



## AGENCY COMMENT REQUEST

Date 03/24/25

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**

INTERNAL

☒ Building Inspection      Grading Inspection  
Advance Planning      Housing Programs  
Trans. Planning      Telecom Planner  
ALUC Staff      HCP/NCCP Staff  
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health      Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services      Special Districts  
Traffic  
Flood Control (Full-size)

LOCAL

☒ Fire District \_\_\_\_\_  
San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)  
☒ Consolidated – (email) [fire@cccfdpd.org](mailto:fire@cccfdpd.org)

☒ Sanitary District Central San

☒ Water District EBMUD

City of \_\_\_\_\_  
School District(s) \_\_\_\_\_  
LAFCO  
Reclamation District # \_\_\_\_\_  
East Bay Regional Park District  
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Alamo MAC

☒ Improvement/Community Association AIA

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
CA Fish and Wildlife, Region 3 – Bay Delta  
Native American Tribes

ADDITIONAL RECIPIENTS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please submit your comments to:

Project Planner Maria Lara-Lemus  
Phone # (925) 655-2904  
E-mail Maria.Lara-Lemus@dcd.cccounty.us  
County File # CDVR25-01017

Prior to April 15, 2025

\*\*\*\*\*

We have found the following special programs apply to this application:

☐ Landslide      Active Fault Zone (A-P)  
☒ Liquefaction      Flood Hazard Area  
☒ 60-dBA Noise Control  
CA EPA Hazardous Waste Site  
High or Very High FHSZ

\*\*\*\*\*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments:      None      Below      Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR25-01017**

**File Date: 3/20/2025**

**Applicant:**

Joel Herr  
41 Viejo Vista  
Alamo, CA 94507

emupilot@hotmail.com  
(925) 818-3421

**Property Owner:**

Joel Herr  
41 Viejo Vista  
Alamo, CA 94507

emupilot@hotmail.com  
(925) 818-3421

**Project Description:**

The applicant requests a variance to replace a retaining wall ranging from 3 to 5 feet in height, having a 0' setback to the front property line (where 25 feet is required). The project also involves construction activity within the dripline of one code-protected Valley Oak tree.

**Project Location: (Address: 41 VIEJO VISTA , ALAMO, CA 945072640), (APN: 188262021)**

**Additional APNs: 188262022**

**General Plan Designation(s):** RL

**Zoning District(s):** R-20

**Flood Hazard Areas:** X

**AP Fault Zone:** NO

**60-dBA Noise Control:** YES

**MAC/TAC:** Alamo MAC

**Sphere of Influence:** N/A

**Fire District:** CONSOLIDATED FIRE

**Sanitary District:** CENTRAL SANITARY

**Housing Inventory Site:** NO

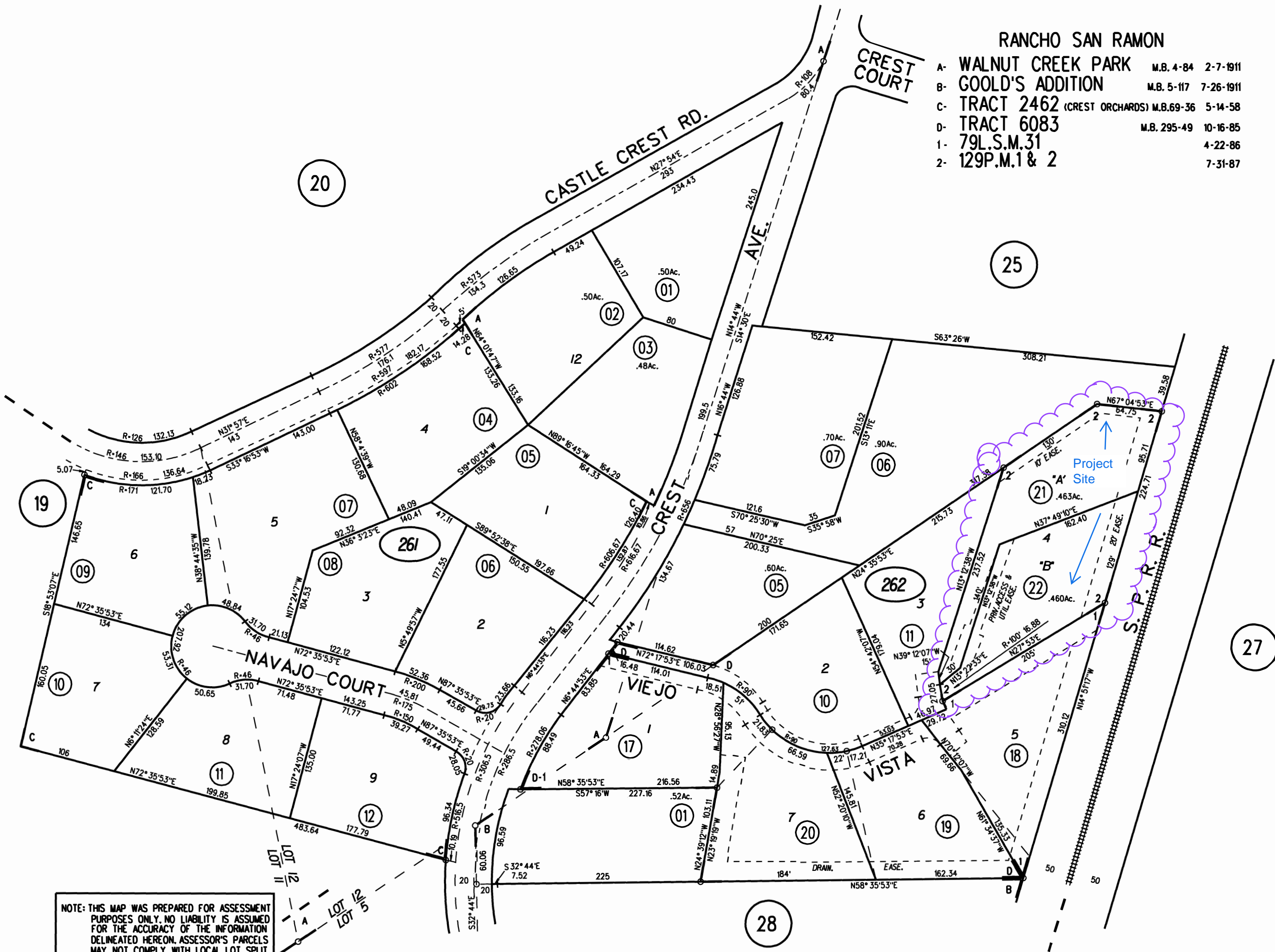
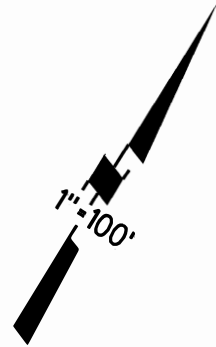
**Specific Plan:** N/A

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3337.00</b>	<b>3337.00</b>

# RANCHO SAN RAMON

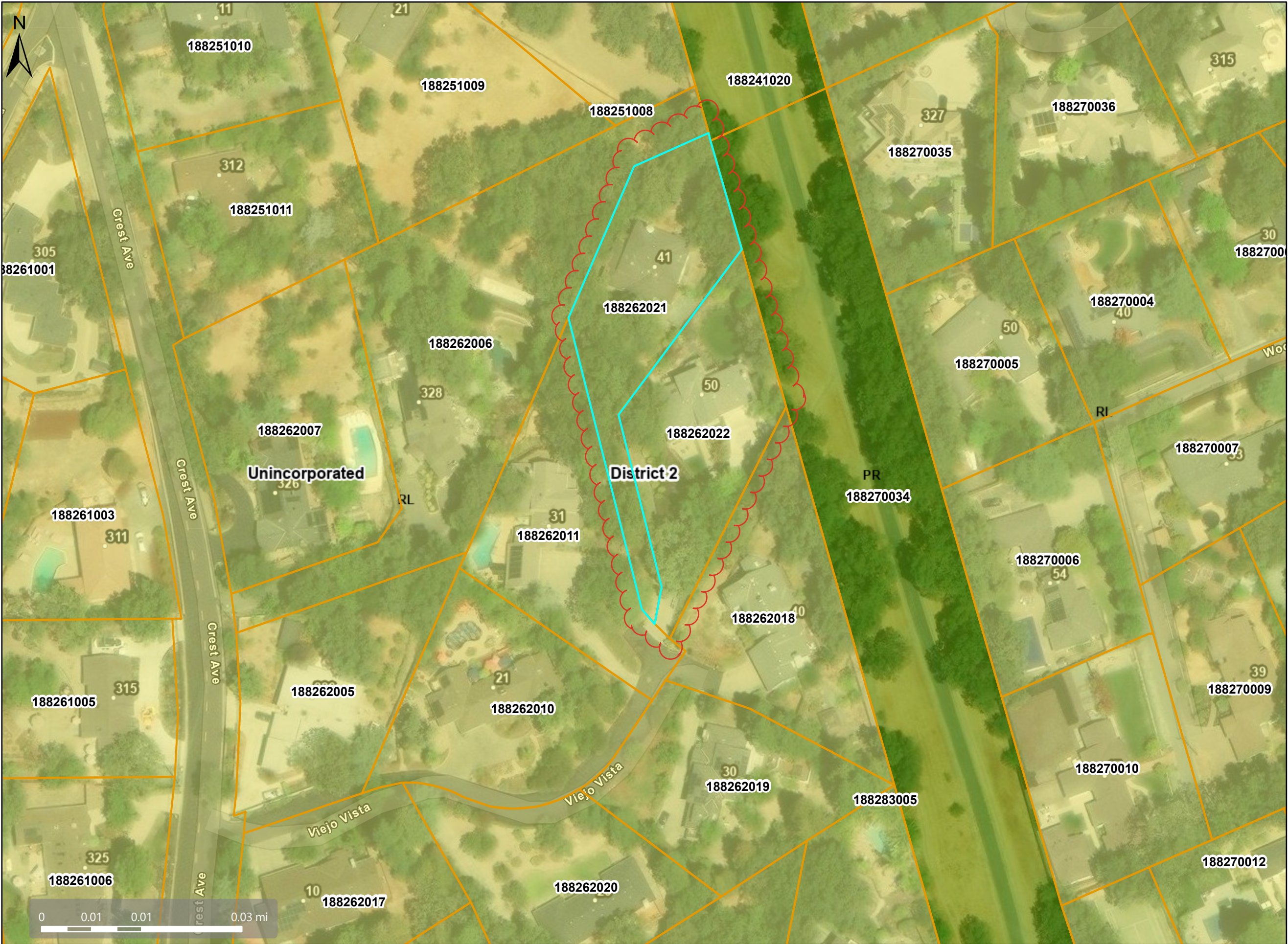
- A- WALNUT CREEK PARK M.B. 4-84 2-7-1911
- B- GOOLD'S ADDITION M.B. 5-117 7-26-1911
- C- TRACT 2462 (CREST ORCHARDS) M.B. 69-36 5-14-58
- D- TRACT 6083 M.B. 295-49 10-16-85
- 1- 79L.S.M. 31 4-22-86
- 2- 129P.M. 1 & 2 7-31-87



261  
262



General Plan: Residential Low Density, RL



Map Legend

Assessment

Parcels

General Plan

RL (Residential Low Density) (1-3 du/na)

PR (Park and Recreation)

Unincorporated

Board of Supervisors' Districts

Address Points



Zoning: Single-Family Residential, R-20



## Map Legend

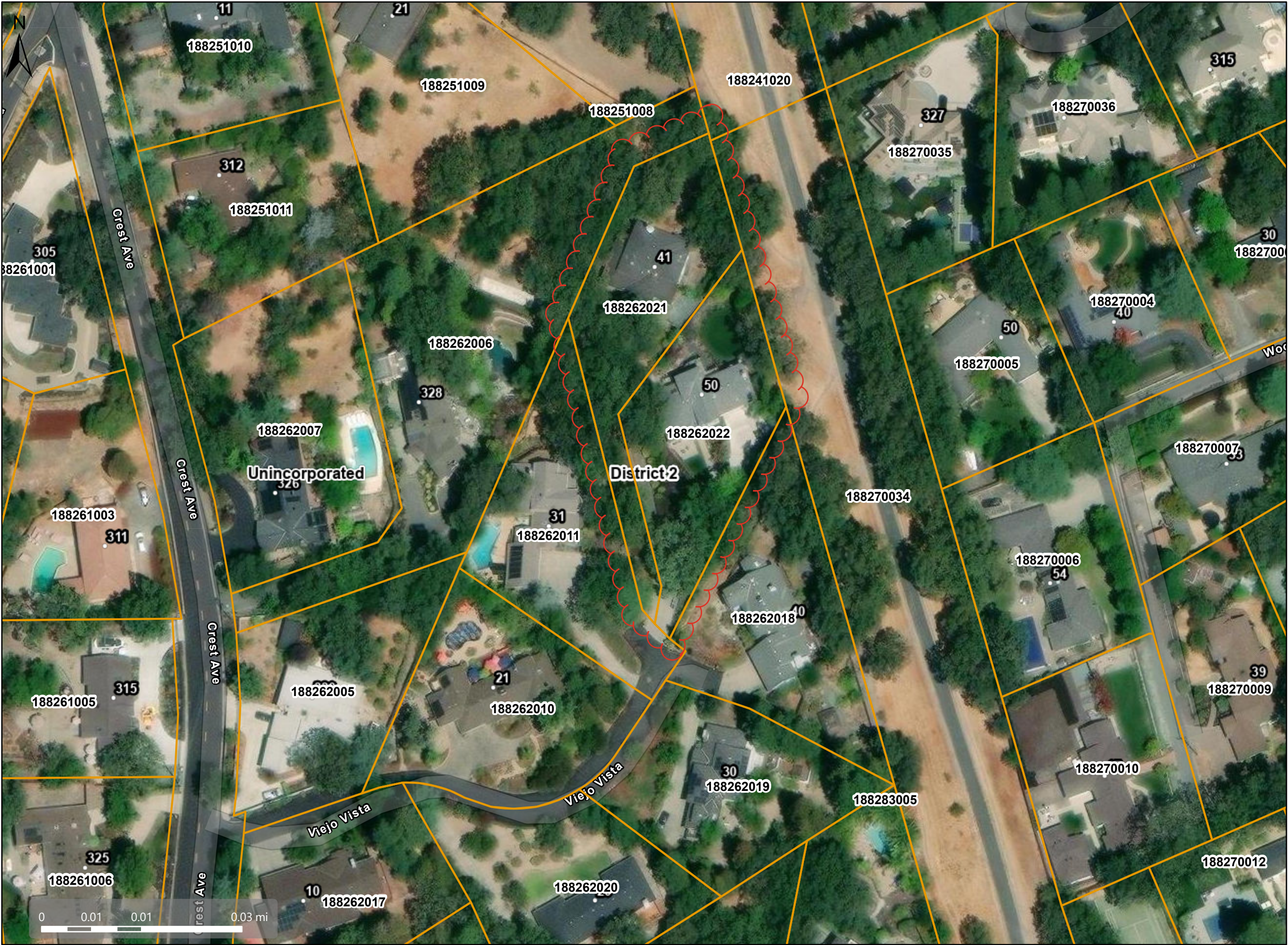
- Assessment  
Parcels
- Zoning
- ZONE\_OVER
- R-20 (Single  
Family  
Residential)
- Unincorporated
- Board of  
Supervisors'  
Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.  
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION.  
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.  
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.  
Please direct all data inquiries to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984



Orthophotography

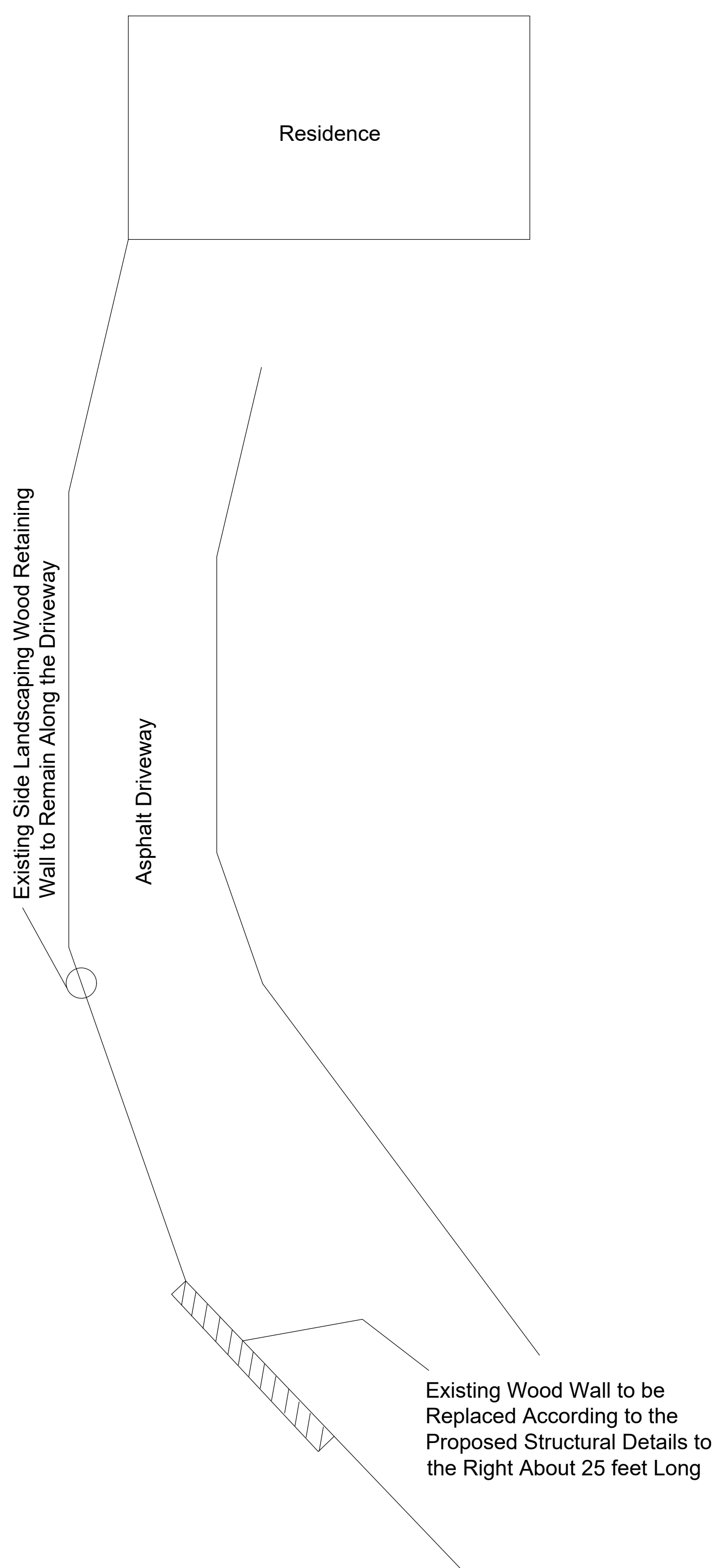


**Map Legend**

- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

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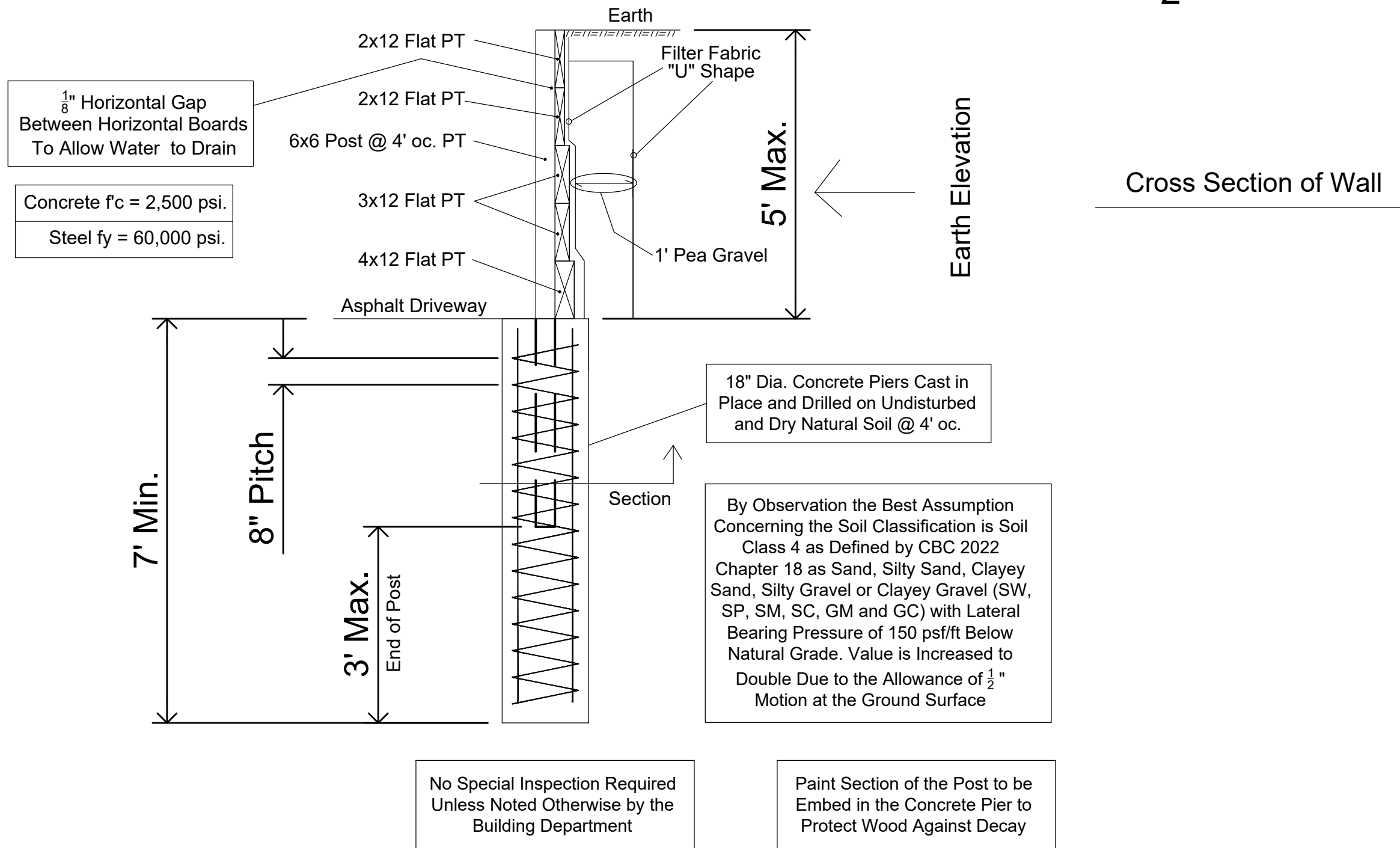




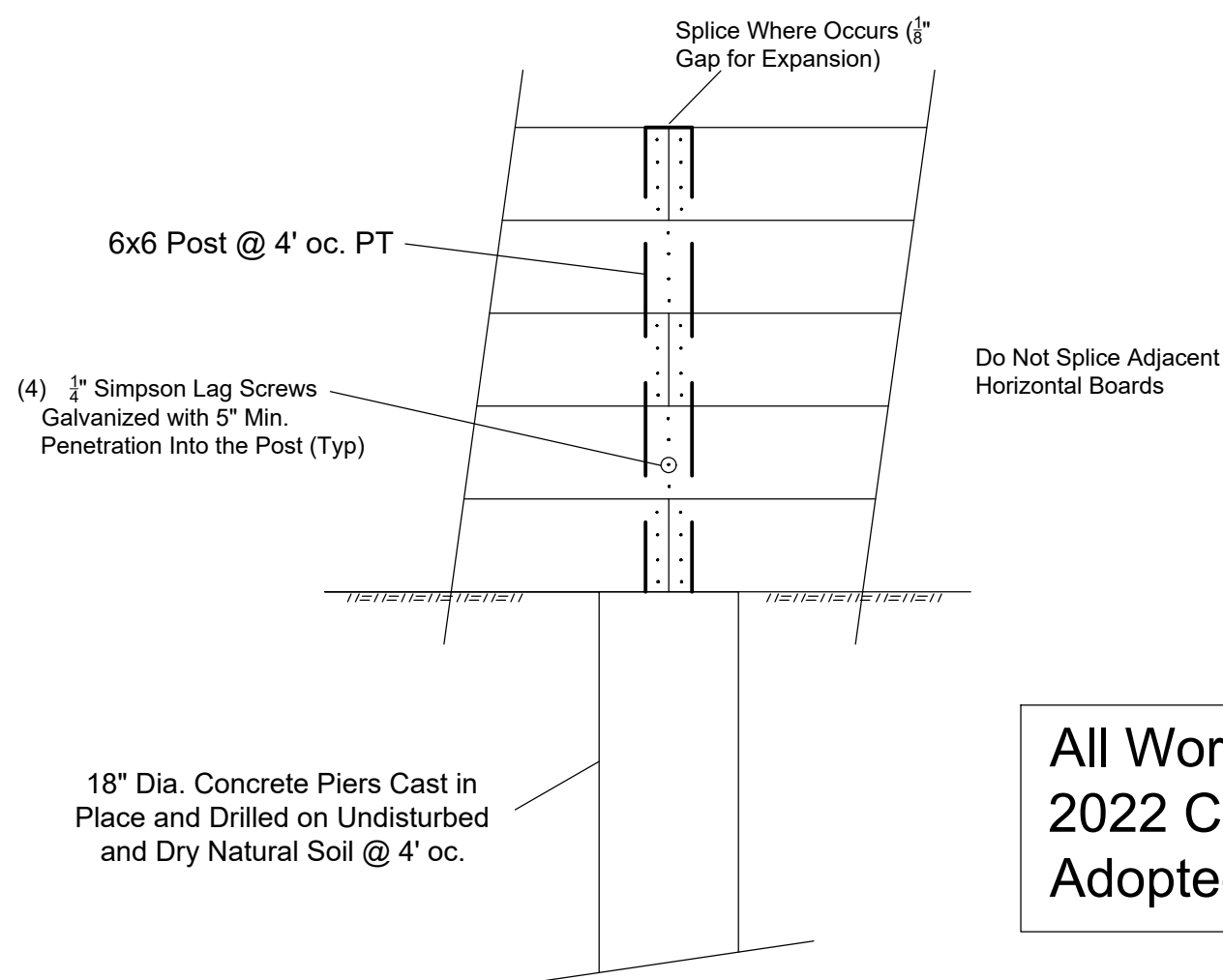
Sketch of Site Plan (Not to Scale)

Proposed Wood Landscaping Retaining Wall Plan

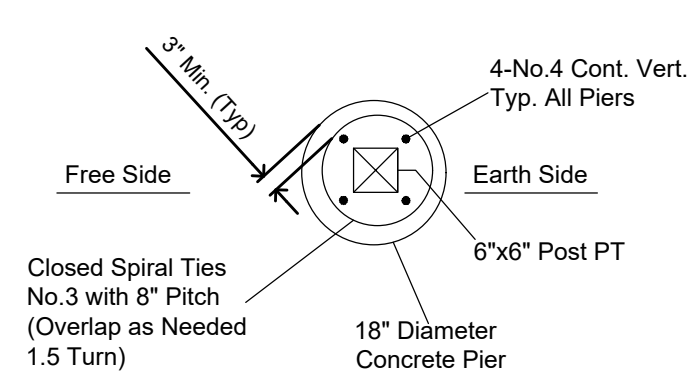
Scale  $\frac{1}{2}" = 1'$



Typical Fasteners Post/Board Connection  
(Earth Side Elevation)



Cross Section of Concrete Pier



All Work Must Comply With 2022 California Building Code, 2022 California Residential Code, ASCE 7-16 and Any Adopted Local or County Regulations at Time of Construction

Permitee/Contractor Must Verify Field Conditions (Existing and/or Proposed) to Ensure than All the Information Provided in the Foundation Plans, Framing Plans and Structural Details Plans, Can be Met and No Conflict Occurs Prior to Purchasing Materials & Installation or Construction Related Activities for Other Trades. In the Event of Conflict, Before Making any Changes, Contact the Engineer in Writing to Address Conflicts, so Alternatives Can be Revised. Verify for Framing Water and or Rotten Wood Damage. All Structural Details are Typical and Must be Used in Similar Field Condition



Engineer : Hugo Barron  
2619 Lowell St  
Richmond, CA 94804  
Phone : (925) 408-8638  
engineeringhb@yahoo.com

Owner & Project Site :  
Joel Herr & Brooke Vermeer Owners  
41 Viejo Vista, Alamo, CA  
Tel : (925) 818-3421

Project : Replacement of a Section of a Wood Landscaping Retaining Wall Adjacent to the Asphalt Driveway

Description : Structural Drawings as Shown

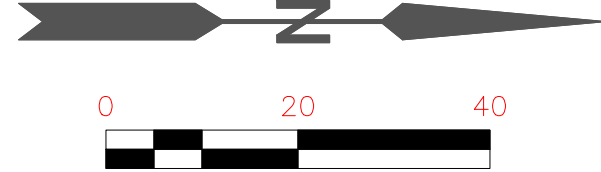
Revision  
11/19/24

SHEET  
S1 of S1



BOUNDARY  
NOT TO SCALE

**RECEIVED** on 03/20/2025 CDVR25-01017  
By Contra Costa County  
Department of Conservation and Development



# TOPOGRAPHIC AND BOUNDARY SURVEY

PARCEL A AS SHOWN UPON THE PARCEL MAP FILED JULY 3, 1987 IN BOOK 129  
OF PARCEL MAPS AT PAGE 1, CONTRA COSTA COUNTY, STATE IN CALIFORNIA.

TOTAL LOT AREA= 20.155 sqFT

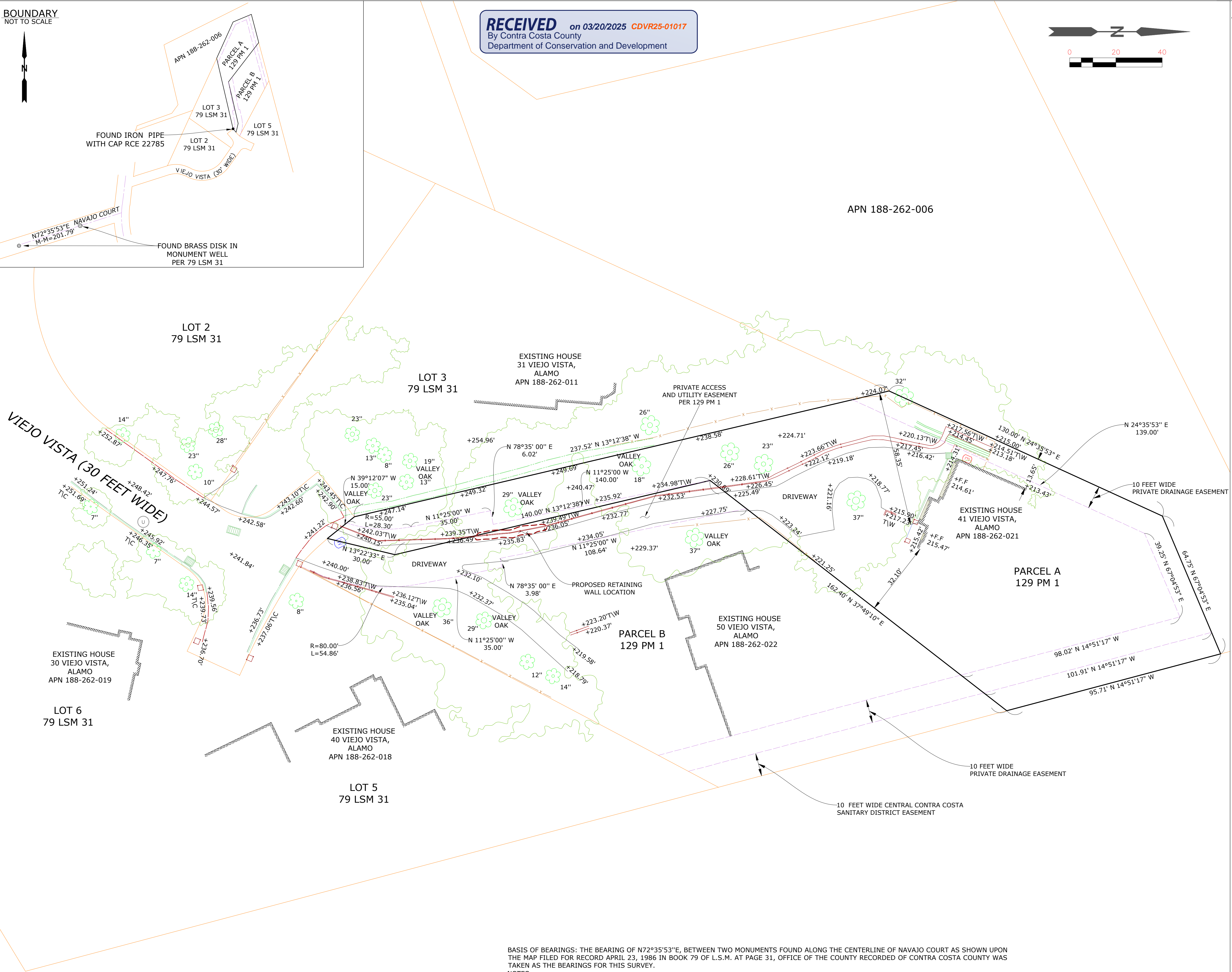
**FEBRUARY 2025 SCALE 1"=20"**

## LEGEND

	PROPERTY BOUNDARY
	FENCE
	STAIRS
	BUILDING
	SIDEWALK/PATHWAY
	RETAINING WALL
	ROAD CENTERLINE
	CURB FLOWLINE
	ROAD CURB LINE
	EASEMENT
	LOT LINE
	DRIVEWAY
	TREE DRIPLINE
	PROPOSED WALL REBUID AREA
	EXISTING CONCRETE GUTTER

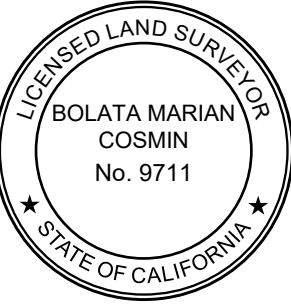
## SYMBOL LEGEND

	TREE
	ELECTRIC METER
	DRAIN INLET
	WATER METER
	UNKNOWN MANHOLE
	BUILDING ENTRANCE
F.F	FINISH FLOOR ELEVATION
T/C	TOP OF CURB
T/W	TOP OF WALL



## MAJO SURVEYING

WALNUT CREEK, CA 94597  
925-365-6881  
BOLATA MARIAN COSMIN, PLS 9711



*Bolata*

BASIS OF BEARINGS: THE BEARING OF N72°35'53"E, BETWEEN TWO MONUMENTS FOUND ALONG THE CENTERLINE OF NAVAJO COURT AS SHOWN UPON THE MAP FILED FOR RECORD APRIL 23, 1986 IN BOOK 79 OF L.S.M. AT PAGE 31, OFFICE OF THE COUNTY RECORDED OF CONTRA COSTA COUNTY WAS TAKEN AS THE BEARINGS FOR THIS SURVEY.

NOTES:

1. ALL HORIZONTAL DISTANCES TO PROPERTY LINES ARE GIVEN TO THE NEAREST 0.05 FEET
2. ELEVATIONS ARE FIELD LOCATED AND ARE BASED ON AN NAVD88 DATUM
3. TOPOGRAPHIC DATA SHOW ON THIS MAP HAS BEEN FIELD VERIFIED PER SURVEY DATED FEBRUARY 15, 2025
4. TREE SPECIES ARE IDENTIFIED TO THE BEST OF OUR ABILITY BUT SHOULD BE VERIFIED BY A CERTIFIED ARBORIST IF PRECISE CLASSIFICATION IS REQUIRED