



# CONTRA COSTA COUNTY

## AGENDA

### El Sobrante Municipal Advisory Council

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Wednesday, October 8, 2025

7:00 PM

El Sobrante Library (4300 Garden Rd.  
El Sobrante), Zoom:  
<https://ccccounty-us.zoom.us/j/875691450>

41

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Thomas Lang (Chair), George Cleveland (Vice-Chair), Tom Owens, Dr. Melinda V. McLain, Jim Hermann, Randy Loyd, Mikki Norris, Teri Edlinger, Jedd Hart

*Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee*

**1. Roll Call and Introductions**

**2. Treasurer's Report**

**3. Approval of Minutes**

APPROVE the September 10, 2025 esMAC Minutes

[25-4041](#)

**Attachments:** [9.10.25 esMAC Minutes](#)

**4. Presentations**

*P.1. County Update, Supervisor John Gioia*

*P.2. Sheriff's Office Bay Station Update, Lt. Fitzgerald*

*P.3. Contra Costa County Fire Protection District Update, Michelle Rinehart*

*P.4. California Highway Patrol (tentative)*

*P.5 San Pablo Dam Road Safety Improvements, Contra Costa County Traffic Engineering*

*P.6 Center for Elders' Independence-West County PACE Healthcare Center, Uche Uwahemu*

**5. Discussion Items: DI. Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearing**

*DI.1 - (Update) Countywide Noise Ordinance*

*D.I.2 - County File Number: CDVR25-01044 (41 HELTSLEY PL, EL SOBRANTE, CA 94803) The applicant requests approval of a variance to allow a 12-foot secondary front setback (where 15 feet is the minimum required) to replace an existing deck.*

County File Number: CDVR25-01044

[25-4039](#)

**Attachments:** [CDVR25-01044 Agency Comment Packet](#)

6. Public comment on any item under the jurisdiction of the Council and not on this agenda (speakers may be limited to two minutes).
7. **Information Items**
8. **Subcommittee Reports – Next Clean Up, October 18, 2025**
9. **Agenda Items / Speakers for Upcoming ESMAC Meetings**

The next meeting is currently scheduled for November 12

### **Adjourn**

The Council will provide reasonable accommodations for persons with disabilities planning to attend the Council meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Council less than 96 hours prior to that meeting are available for public inspection at El Sobrante Library (4191 Appian Way, El Sobrante, CA 94803) during normal business hours. Staff reports related to items on the agenda are also accessible online at [www.contracosta.ca.gov](http://www.contracosta.ca.gov). If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the Council will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Ronnie Mills, [ronnie.mills@bos.cccounty.us](mailto:ronnie.mills@bos.cccounty.us), 510-942-2222



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-4041

**Agenda Date:** 10/8/2025

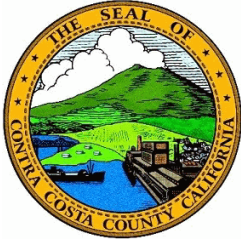
**Agenda #:**

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Advisory Board: El Sobrante Municipal Advisory Council

Subject: approve the September 10, 2025 esMAC Minutes

Information: approve the September 10, 2025 esMAC Minutes



# Meeting Minutes

## CONTRA COSTA COUNTY El Sobrante Municipal Advisory Council

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Wednesday, September 10, 2025

7:00 PM

El Sobrante Library (4300 Garden Rd. El  
Sobrante)

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Thomas Lang (Chair), George Cleveland (Vice-Chair), Tom Owens, Dr. Melinda V. McLain, Jim Hermann, Randy Loyd, Mikki Norris, Teri Edlinger, Jedd Hart

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call and Introductions

00:00:32

<b>Present</b>	George Cleveland, Teri Edlinger, Jedd Hart, Thomas Lang, Randy Loyd, Mikki Norris, and Tom Owens
<b>Absent</b>	James Hermann
<b>Late</b>	Melinda McLain

2. Treasurer's Report

00:01:07

The Treasurer's Report was presented, showing a current balance of \$3,000.

3. Approval of Minutes

[25-3508](#)

**Attachments:** [8.13.25\\_esMAC Minutes](#)

00:02:01

The minutes from the previous meeting were reviewed and approved.

**This Discussion Item was approved.**

<b>Motion:</b>	Cleveland
<b>Second:</b>	Loyd
<b>Aye:</b>	Cleveland, Edlinger, Lang, Loyd, Norris, and Owens
<b>Absent:</b>	Hermann
<b>Late:</b>	McLain
<b>Result:</b>	Passed

4. Presentations

00:03:10



*P.1. County Update, Supervisor John Gioia*

00:09:26

Supervisor Gioia presented a comprehensive update on Contra Costa County's immigrant protection efforts, highlighting the County's commitment to immigrant rights and public health. He shared information about recent settlements, including \$20 million dedicated to air quality improvements and \$16 million allocated for broader initiatives.

Concerns were raised about the impact of proposed federal budget cuts on programs such as Head Start and Section 8 rental assistance, with an estimated 70,000 residents potentially losing healthcare. Supervisor Gioia also provided updates on the County's policies regarding cooperation with ICE, emphasizing a commitment to non-cooperation. The Council expressed strong support for the Supervisor's efforts and discussed the importance of additional measures, including legislative advocacy, business training, and community education.

Supervisor Gioia outlined current and upcoming homelessness response strategies, including the expansion of shelter beds and modular housing units in North Richmond. The County has also invested in constructing a 45-bed mental health rehabilitation center to address gaps in care. He emphasized a focus on transitional and permanent housing models as long-term solutions to reduce homelessness and encampments.

*P.2. Sheriff's Office Bay Station Update, Lt. Fitzgerald*

00:04:09

Lieutenant Fitzgerald of the Contra Costa County Sheriff's Office provided an update on public safety. For the month of August, there were 676 service calls, including incidents involving theft, domestic violence, and other serious crimes. The Council briefly discussed differences between petty and grand theft and touched on issues involving uninsured food vendors and code enforcement challenges. Lieutenant Fitzgerald also noted ongoing difficulties with vendors who were cited for violations and became aggressive toward county staff.

*P.3. Contra Costa County Fire Protection District Update, Michelle Rinehart*

00:41:17

Michelle Reinhart from the Contra Costa County Fire Protection District shared information on upcoming events, including an open house and pancake breakfast. She also provided an update on the East Richmond Heights shaded fuel break project, which includes prescribed burning, mechanical, and manual treatments. Michelle stressed the importance of resident participation in maintaining fuel break zones and preparing for evacuation routes.

*P.4. California Highway Patrol (tentative)**P.5 Re-introduction Presentation, Contra Costa County Public Works, Monish Sen*

5. Discussion Items: DI. Development plan applications, variance reports, building modification requests, appeals etc., received in the previous month from the Contra Costa County Conservation and Development Department and Notices of Public Hearing

*DI.1 - County File Number: CDLP25-02031 (435 VALLEY VIEW RD, EL SOBRANTE, CA 94803)  
The applicant requests approval of a land use permit to allow for the renewal of an existing T-Mobile Wireless telecommunications facility previously approved under the currently valid (County File CDLP15-02052 expires: 4/1/2026). No modifications or changes are proposed with this application.*

01:03:12

[25-3509](#)

**Attachments:**      [CDLP25-02031 ACR](#)

*DI.2 - (Update) Countywide Noise Ordinance*

01:05:46

Ronnie Mills shared that Grant Farrington spoke with the Director of the Department of Conservation and Development at the beginning of the month. According to the update, the department is working on a proposed plan that is expected to be brought before the Board of Supervisors in the coming months, with a tentative timeline targeting October. While the update was brief, it confirmed that progress is ongoing and the process is moving forward.

*DI.3 - MAC Recommendation on County Policy for Resident Protection from ICE Cooperation*

01:06:43

The Council engaged in a broader conversation about federal ICE policies and their local impacts. Members suggested writing a letter to Supervisor Gioia commending his leadership and recommending additional actions, including support for state legislation requiring ICE officers to display identification and remove face coverings, as well as increasing training and outreach to businesses and immigrant communities. The Council also discussed expanding the "Stand Together Contra Costa" initiative to further assist West County residents.

*DI. 4 - Impact of SOS Richmond Service Loss and Potential MAC Response*

01:31:35

The Council received an update on the Warm Hands Wellness and Resource Center located at the San Pablo Library. Over the past year, the center has provided 896 showers and 564 loads of laundry, serving approximately 100 individuals per month. The center will soon relocate to the Church of Christ parking lot and continues to take a person-centered approach to support services. Additionally, 8.135 tons of trash have been collected from encampments in the past month, highlighting the significant need for continued sanitation efforts. Challenges with funding were discussed, particularly the City of Richmond's reduction in financial support.

An update was provided on the Pinole Creek Restoration Project, which is offering participants hands-on training in environmental stewardship. The program also supports workforce development by equipping individuals with transferable skills while promoting creek health. The Council discussed funding gaps and the need for sustained investment, recommending that a letter be sent to Supervisor Gioia outlining the unique services offered and the importance of continued financial support.

6. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).

01:54:51

Concerns were raised about a proposed bike trail in Wildcat Canyon, citing potential environmental impacts and increased traffic. There was general concern regarding the lack of transparency and public engagement in the project's planning phase. The Council recommended setting up a meeting with East Bay Regional Park District staff to better understand the environmental review process and provide public input.

Concerns about speeding on Dam Road were raised, with residents describing unsafe driving conditions. The effectiveness of California Highway Patrol (CHP) patrols was noted, though it was acknowledged that staffing limitations may hinder regular enforcement. The Council agreed on the importance of pursuing affordable traffic calming solutions and suggested inviting CHP representatives to future meetings.

Attendees reiterated support for wellness services and housing initiatives. Council members agreed to draft a formal letter to Supervisor Gioia based on the meeting's discussions.

An update was provided on The Good Table, a new community-serving space. Power has been connected, and gas service is expected soon. The project is on track for an October opening. The Council expressed support for continued investment to ensure the space can meet the community's needs for gatherings, events, and meetings.

#### 7. Information Items

Updates were shared on several upcoming community events. The El Sobrante Pride event was announced, with encouragement for local organizations to host informational booths and volunteer. The El Sobrante Stroll was also discussed, featuring vendors, music, and family-friendly activities.

#### 8. Subcommittee Reports – Next Clean Up, September 20, 2025

02:15:04

The Green Team provided updates on cleanup events, including a Coastal Cleanup Day and plans for a themed parade float. Councilmembers emphasized the importance of volunteer participation in making these events successful.

#### 9. Agenda Items / Speakers for Upcoming ESMAC Meetings

02:19:42

The next meeting is currently scheduled for October 8, 2025

Adjourn

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# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-4039

**Agenda Date:** 10/8/2025

**Agenda #:**

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Advisory Board: El Sobrante Municipal Advisory Council

Subject: **County File Number: CDVR25-01044**

Information:

**County File Number: CDVR25-01044**



## AGENCY COMMENT REQUEST

Date 09/05/25

We request your comments regarding the attached application currently under review.

<u>DISTRIBUTION</u>	
<u>INTERNAL</u>	
<input checked="" type="checkbox"/> Building Inspection	Grading Inspection
<input checked="" type="checkbox"/> Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
County Geologist	
<u>HEALTH SERVICES DEPARTMENT</u>	
<input checked="" type="checkbox"/> Environmental Health	Hazardous Materials
<u>PUBLIC WORKS DEPARTMENT</u>	
Engineering Services	Special Districts
Traffic	
Flood Control (Full-size)	
<u>LOCAL</u>	
<input checked="" type="checkbox"/> Fire District _____	
San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>	
<input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfd.org">fire@cccfd.org</a>	
<input checked="" type="checkbox"/> Sanitary District _____	West County Wastewater
<input checked="" type="checkbox"/> Water District _____	EBMUD
<input checked="" type="checkbox"/> City of _____	Richmond
School District(s) _____	
LAFCO	
Reclamation District # _____	
East Bay Regional Park District	
Diablo/Discovery Bay/Crockett CSD	
<input checked="" type="checkbox"/> MAC/TAC _____	El Sobrante MAC
Improvement/Community Association	
<input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)	
<u>OTHERS/NON-LOCAL</u>	
CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a> )	
CA Fish and Wildlife, Region 3 – Bay Delta	
Native American Tribes	
<u>ADDITIONAL RECIPIENTS</u>	
El Sobrante Planning and Zoning	
_____	
_____	

Please submit your comments to:

Project Planner Maria Lara-Lemus

Phone # 925-655-2904

E-mail Maria.Lara-Lemus@dcd.cccounty.us

County File # CDVR25-01044

Prior to September 30, 2025

\*\*\*\*\*

We have found the following special programs apply to this application:

Landslide                      Active Fault Zone (A-P)

Liquefaction                  Flood Hazard Area

60-dBA Noise Control

CA EPA Hazardous Waste Site

High or Very High FHSZ

\*\*\*\*\*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments:                  None                  Below                  Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR25-01044**

**File Date: 9/3/2025**

**Applicant:**

moji hakimi  
2 tunnel rd  
berkeley, CA 94705

mhakimi@mac.com  
(925) 683-3072

**Property Owner:**

ADAM MORGENTHALER  
41 HELTSLEY PL  
EL SOBRANTE, CA 94803 165

adam.morgenthaler@gmail.com  
(408) 891-6012

**Project Description:**

The applicant requests approval of a variance to allow a 12-foot secondary front setback (where 15 feet is the minimum required) to replace an existing deck.

**Project Location: (Address: 41 HELTSLEY PL, EL SOBRANTE, CA 94803 165), (APN: 426243037)**

**Additional APNs:**

**General Plan Designation(s):** RLM

**Zoning District(s):** R-7

**Flood Hazard Areas:** X

**AP Fault Zone:** NO

**60-dBA Noise Control:** NO

**MAC/TAC:** El Sobrante MAC

**Sphere of Influence:** Richmond

**Fire District:** CONSOLIDATED FIRE

**Sanitary District:** WEST CO WASTEWATER

**Housing Inventory Site:** NO

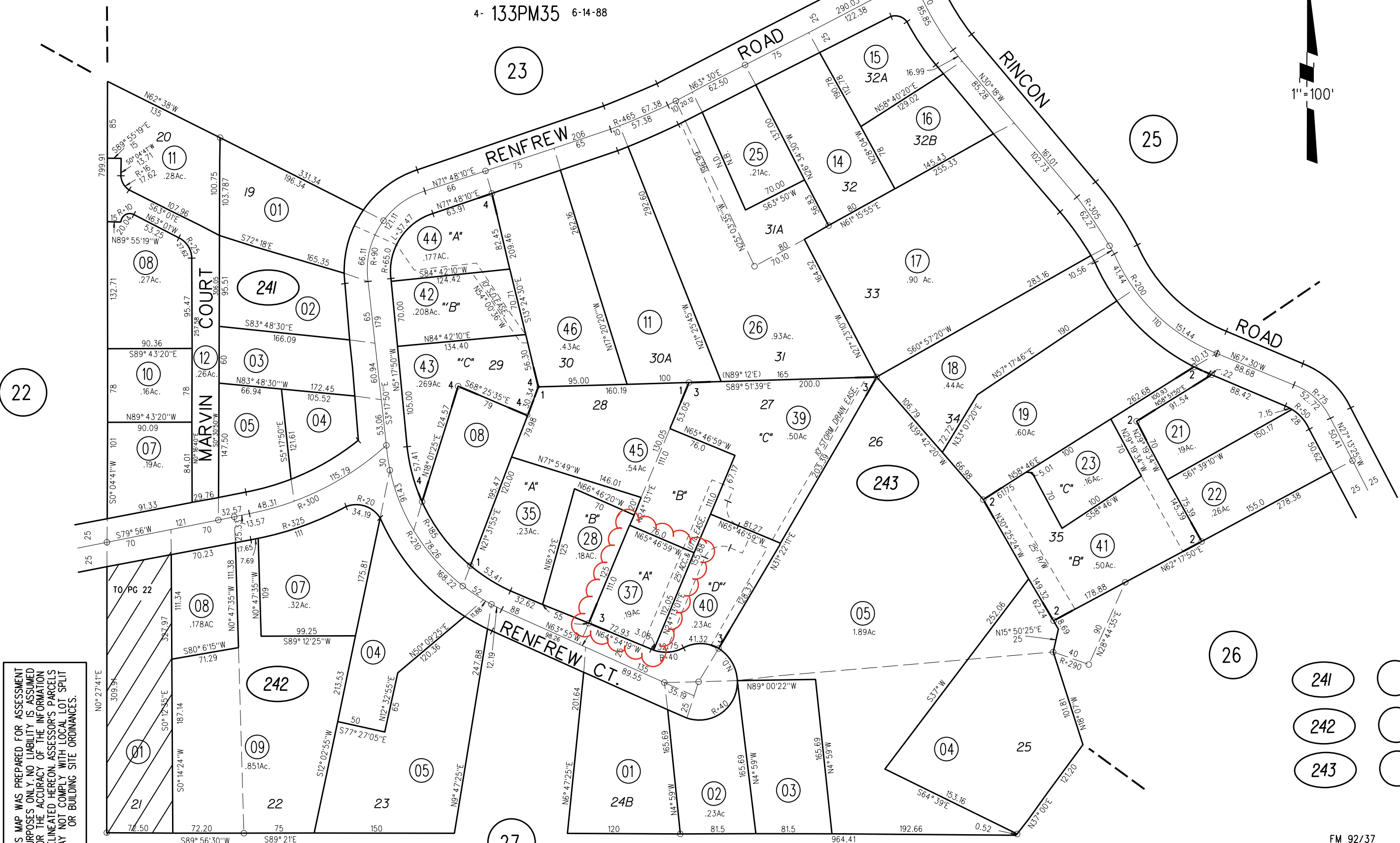
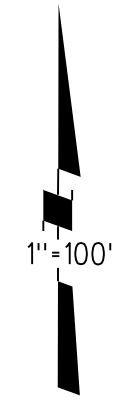
**Specific Plan:** N/A

**Fees:**

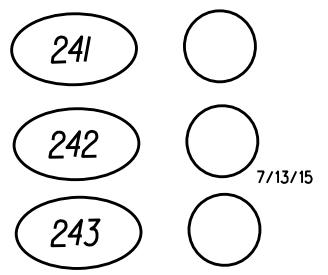
Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3337.00</b>	<b>3337.00</b>

POR EL SOBRANTE ACRES UNIT NO 1

- 1- RECORD OF SURVEY 32LSM24 1-27-65
- 2- RECORD OF SURVEY 34LSM32 5-25-65
- 3- 85PM24 3-21-80
- 4- 133PM35 6-14-88



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.





General Plan



Map Legend

Assessment  
Parcels

General Plan

RLM  
(Residential  
Low-Medium  
Density) (3-7  
du/na)

Unincorporated

Board of  
Supervisors'  
Districts

Address Points



Zoning



Map Legend

Assessment

Parcels

Zoning

ZONE\_OVER

R-7 (Single

Family

Residential)

Unincorporated

Board of

Supervisors'

Districts

Address Points



Orthophotography



**Map Legend**

- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points



# 64' Long Second-Story Balcony Repair/Rebuild Project

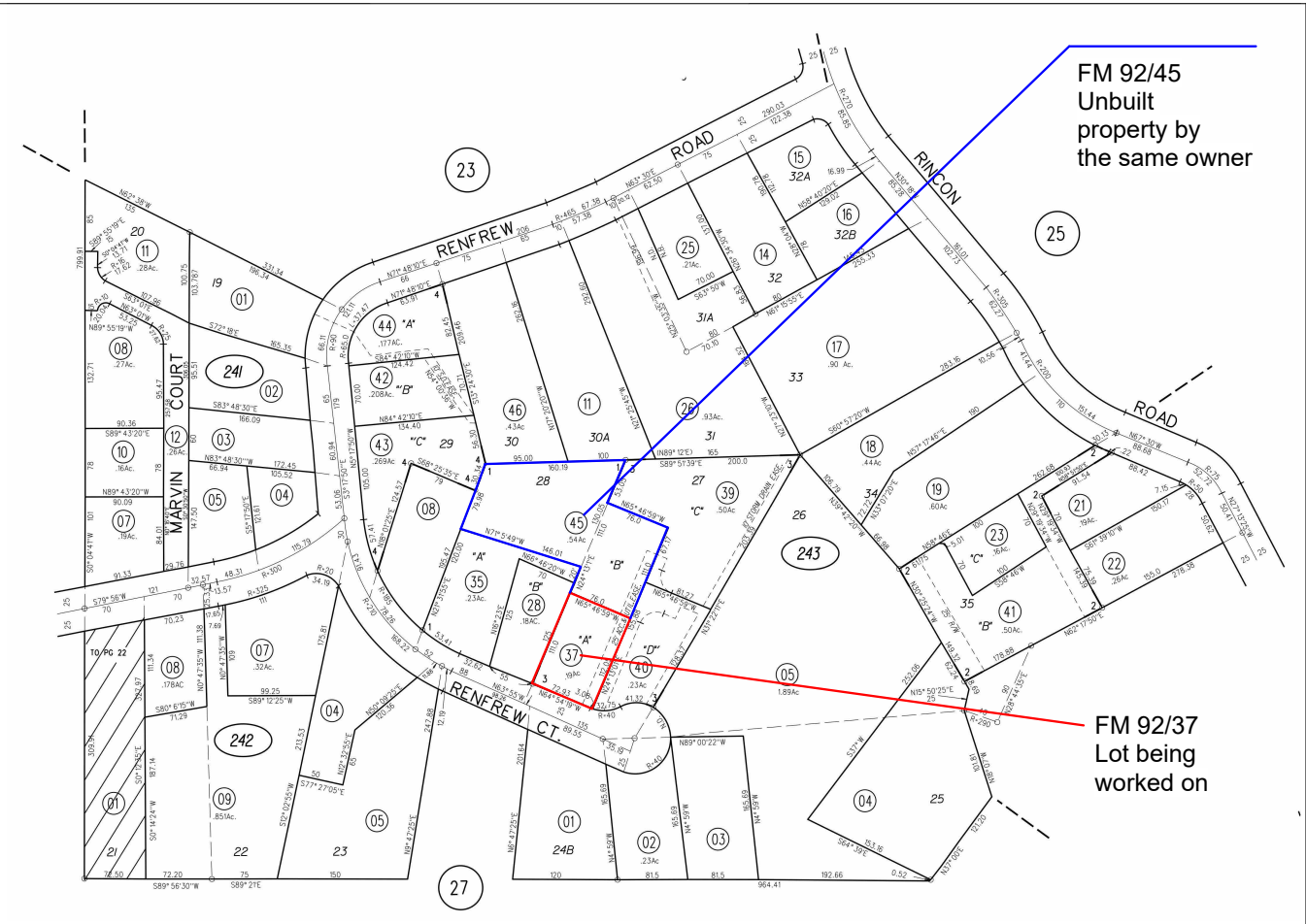
41 Heltsey Pl, El Sobrante, CA 94803

RECEIVED on 09/03/2025 CDVR25-01044  
By Contra Costa County  
Department of Conservation and Development

ASSESSOR'S PARCEL #	426-243-037-6
OCCUPANCY:	TYPE R-3
CONSTRUCTION TYPE:	TYPE - V
BUILDING MATERIAL:	Framing: Pressure-treated lumber Decking: Composite (Trex or equivalent) Footings: Concrete w/ Rock Veneer Hardware/Fasteners: Corrosion-resistant (HDG Typ.) Guardrails/Handrails: Aluminum
SQUARE FOOTAGE OF DECK:	800 SQ. FT.
BUILDING CODE:	CALIFORNIA BUILDING CODE 2022 CODE (IBC 2021)

SHEET NO.	SHEET NAME:	SCALE:
AA-01	General notes	N/A
AA-02	Site (Plot) Plan	N/A
AA-03	Topographic Contours Map	1/8" = 1'-0"
AA-04	Context Photo Page	1" =10'-0"
AA-05	Site Plan - Existing	N/A
AR-01	Deck Demolition Plan	3/16" = 1'
AR-02	Site Plan - Proposed Structures	3/16" = 1'
AR-03	Proposed Deck Plan	3/16" = 1'
AR-04	Proposed deck visualization	N/A
AR-05	Proposed deck visualization	N/A
S-01	Structural Engineer Drawings	As dispayed
S-02	Structural Engineer Drawings	As dispayed
S-03	Structural Engineer Calculations Sheets	N/A
S-04	Structural Engineer Calculations Sheets	N/A
S-05	Structural Engineer Calculations Sheets	N/A
ST-01	Proposed Deck Plan	3/8" = 1'
ST-02	Foundation Layout Plan - Proposed Deck	3/8" = 1'
ST-03	Column Layout Plan - Proposed Deck	3/8" = 1'
ST-04	Beam Framing Plan - Proposed Deck	3/8" = 1'
ST-05	Deck Framing Plan - Joists	3/8" = 1'
ST-06	Deck Framing Plan - Diagonal Bracing	3/8" = 1'
ST-07	Deck Boards Plan	3/8" = 1'
ST-08	Front Elevation	3/8" = 1'
ST-09	Side Elevation 1 - Railing Structural Details	3/8" = 1'
ST-10	Side Elevation 2	3/8" = 1'
EL-01	Lighting Layout Plan	3/8" = 1'
EL-02	Lighting Detail	N/A
EL-03	Lighting Layout Elevation	3/8" = 1'

Project Team	
Owner	Architect
Quinn & Adam Morgenthaler (408) 891-6012 Adam.Morgenthaler@gmail.com	Zen Life Design +57 (314) 503-6394 Notyuriy@gmail.com
Structural Engineer	Electrical Engineer
Andersen Engineering (415) 250-8473 erik@andersen-engineering.com	AC3 LLC Electric (510) 390-6002 Allcurrents@gmail.com

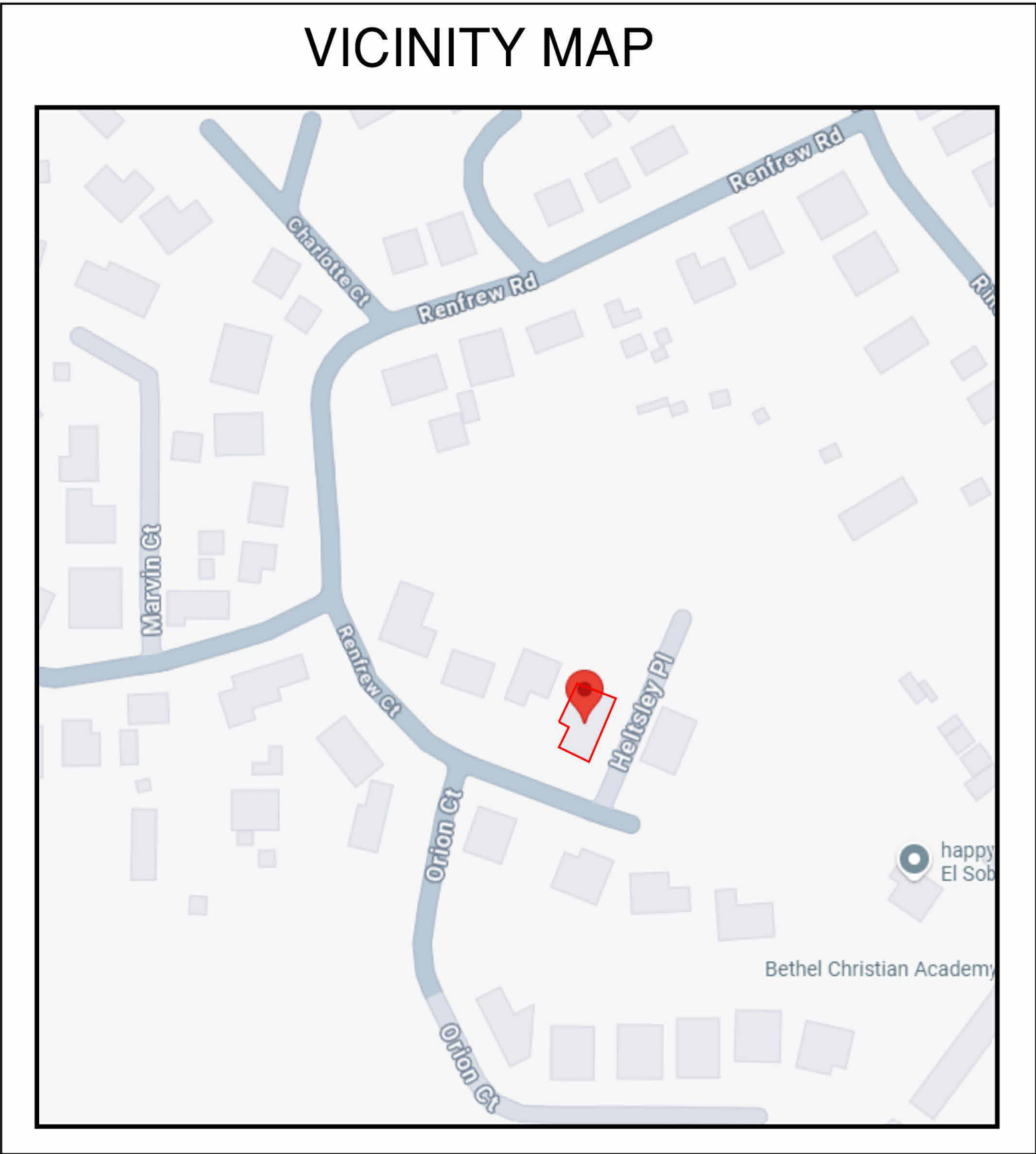


FM 92/37  
ASSESSOR'S MAP  
BOOK 426 PAGE 24  
CONTRA COSTA COUNTY, CALIFORNIA

Project Name  
64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address  
41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description  
Existing balcony is a cantilevered structure extending 4' beyond the outside wall. The existing balcony has become weathered/rotted due to elements and is in need of repair.  
  
Repair of the existing deck as built is not possible due to the extent of rotting joists, which precludes re-use or sistering. Instead it is proposed that the existing balcony will be demolished. Joists will be cut flush with side of house and damage repaired as needed prior to start of rebuild. The new structure will be attached via ledger board, extend 10' from the existing structure and be supported by new posts placed in existing yard.



DATE & APPROVAL

8		
7		VALUE ENGINEERING REVISIONS
6		ISSUED FOR ISSUANCE OF PERMIT
5		ISSUED FOR PRICING
4		ISSUED FOR PERMIT
3	C	2025-08-18 ISSUED FOR OWNER REVIEW
2	B	2025-08-05 ISSUED FOR OWNER REVIEW
1	A	2025-07-21 ISSUED FOR OWNER REVIEW
IS	RE	DATE DESCRIPTION

Sheet Title  
Cover Sheet

N  
↑

Project number1

Date2025-08-18

Drawn byZen Life Design

Checked byAdam Morgenthaler

AA-01

Scale



General Notes:

- 1.The Contract for construction shall generally follow the general conditions of AIA contract A201, 2017 version.
- 2.The Contractor shall keep the jobsite clean and safe at all times and shall leave the premises clean and orderly, and ready for occupancy.
- 3.Contractor shall provide work completely and in accordance with current applicable codes.
- 4.Contractor shall be responsible for any damage incurred through any errors or omissions within their work to this property or to the adjacent private and/or publicly owned properties.
- 5.Contractor shall not perform any work that will result in a change order without prior written approval from owner. Change orders must be provided in writing and shall be for either additions or subtractions to the construction contract. Change orders must be signed by the owner before the work proceeds.
- 6.Contractor to review all design changes or substitutions with the Owner & structural engineer and receive approval for all changes.
- 7.Written dimensions take precedence over scale. Do not scale the drawings.
- 8.Contractor to verify all field conditions and measurements before starting construction. Alert architect of all discrepancies and/or variation before proceeding with work.
- 9.Contractor to report on the progress of work to the owner at a minimum, on a bi-weekly basis or more frequently as conditions warrant. Meetings with the owner shall be scheduled to allow for time required to provide appropriate response to any questions or site conditions.
- 10.Contractor shall arrange for a meeting after determining the project dimensional layout for review by the architect and owner.
- 11.Code upgrade work not required by building inspectors is to be reviewed with the architect and owner to determine course of action. If the contractor believes code upgrade is necessary and it has not been required by the building inspector, the architect and owner shall determine whether the work is to be undertaken.
- 12.Install all equipment, fixtures, and materials per manufacturer's recommendations.
- 13.Contractor to coordinate with owner for owner-provided materials and products.
- 14.CRC317.3.1 fasteners for preservative-treated wood: “fasteners, including nuts and washers, for preservative-treated wood shall be of hot-dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. coating types and weights for connectors in contact with preservative-treated wood shall be in accordance with the connector manufacturer's recommendations. in the absence of manufacturer's recommendations, a minimum of ASTM A653 type G185 zinc-coated galvanized steel, or equivalent, shall be used.
- 15.All cuts of pressure treated lumber are to be treated with Copper-Green Wood Preservative prior to installation. Alternatives by owner approval only.
- 16.Joist tape to be used on all horizontal members prior to installation of any other pieces atop. Ensure all joist tops, beams, and ledger boards are clean and dry. Remove dirt, sawdust, and debris for best adhesion. Fold overhangs down each side. If overhang >1cm trim excess
- 17.Alignment of the posts with bases is critical and shall be off by no more than 1 inch from center in any direction.
- 18.Install decking with spacing per manufacturer’s recommendations.
- 19.All joist hangers, diagonal braces, blocking/bridging, and structural mounting hardware must be secured using approved, manufacturer-specified structural fasteners (not drywall or generic screws) such as galvanized or stainless steel nails, screws, or bolts, to ensure code compliance and maximum load-bearing safety.
- 20.Seams of decking boards are to be randomly staggered without a evident pattern.
- 21.Miter cuts for decking are to be 90° ± 2° to avoid the appearance of end stepping. End joining of the decking shall be on a shared joist with adequate spacing as defined by the manufacturer to enable thermal expansion and contraction

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

GENERAL NOTES

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

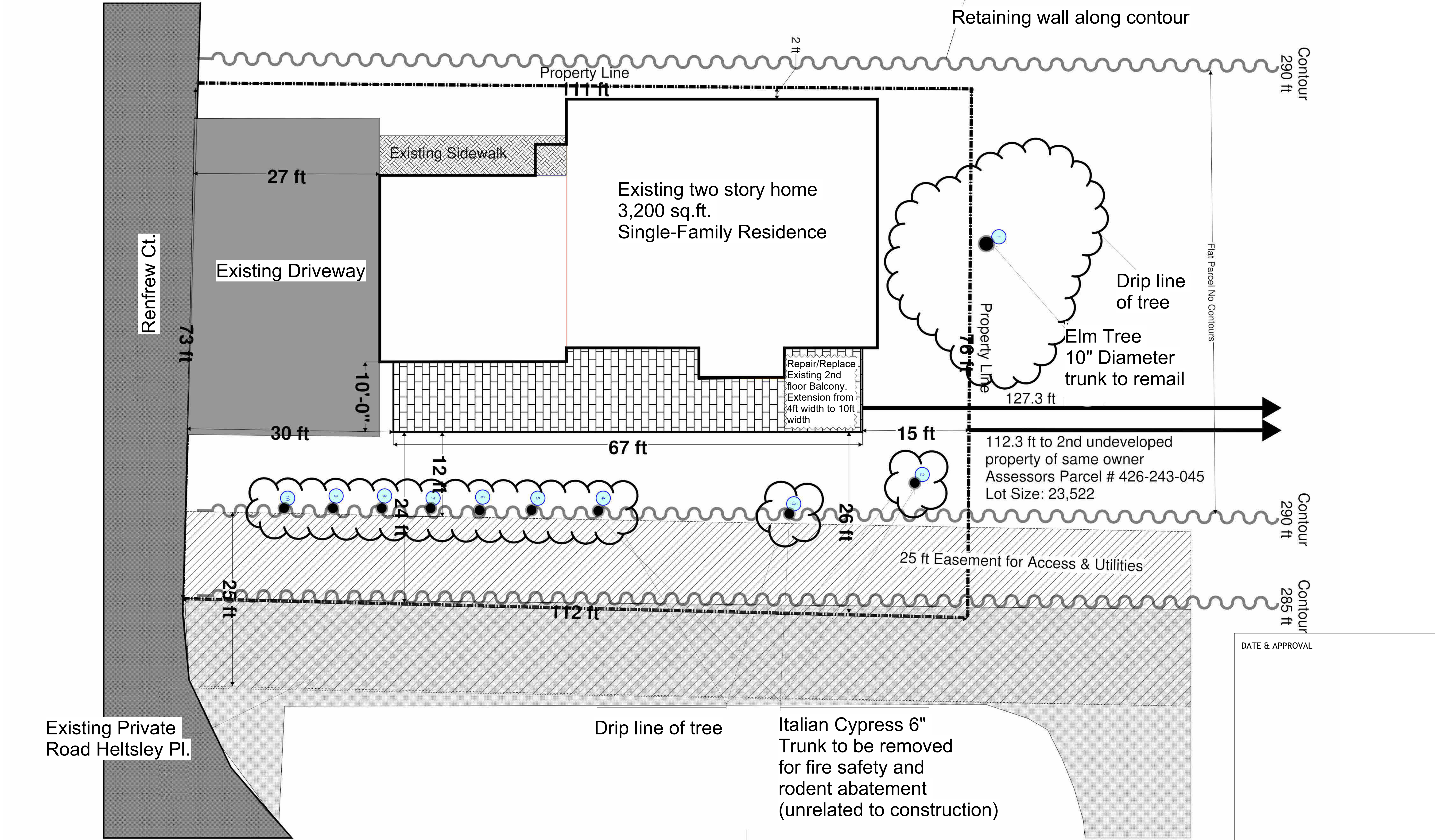
Adam Morgenthaler

AA-02

Scale

DATE & APPROVAL			
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION





Project Name  
**64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project**

Project Address  
**41 Heltsey Pl, El  
Sobrante, CA 94803**

Project Description  
Description of Proposed Work:  
•Repair / Replace existing 2nd story  
balcony  
•Extend Balcony from 4ft width to 10ft width  
•Posts with footers in side yard to support  
the extension  
•Remove Italian cypress to mitigate fire  
danger and rodents

DATE & APPROVAL

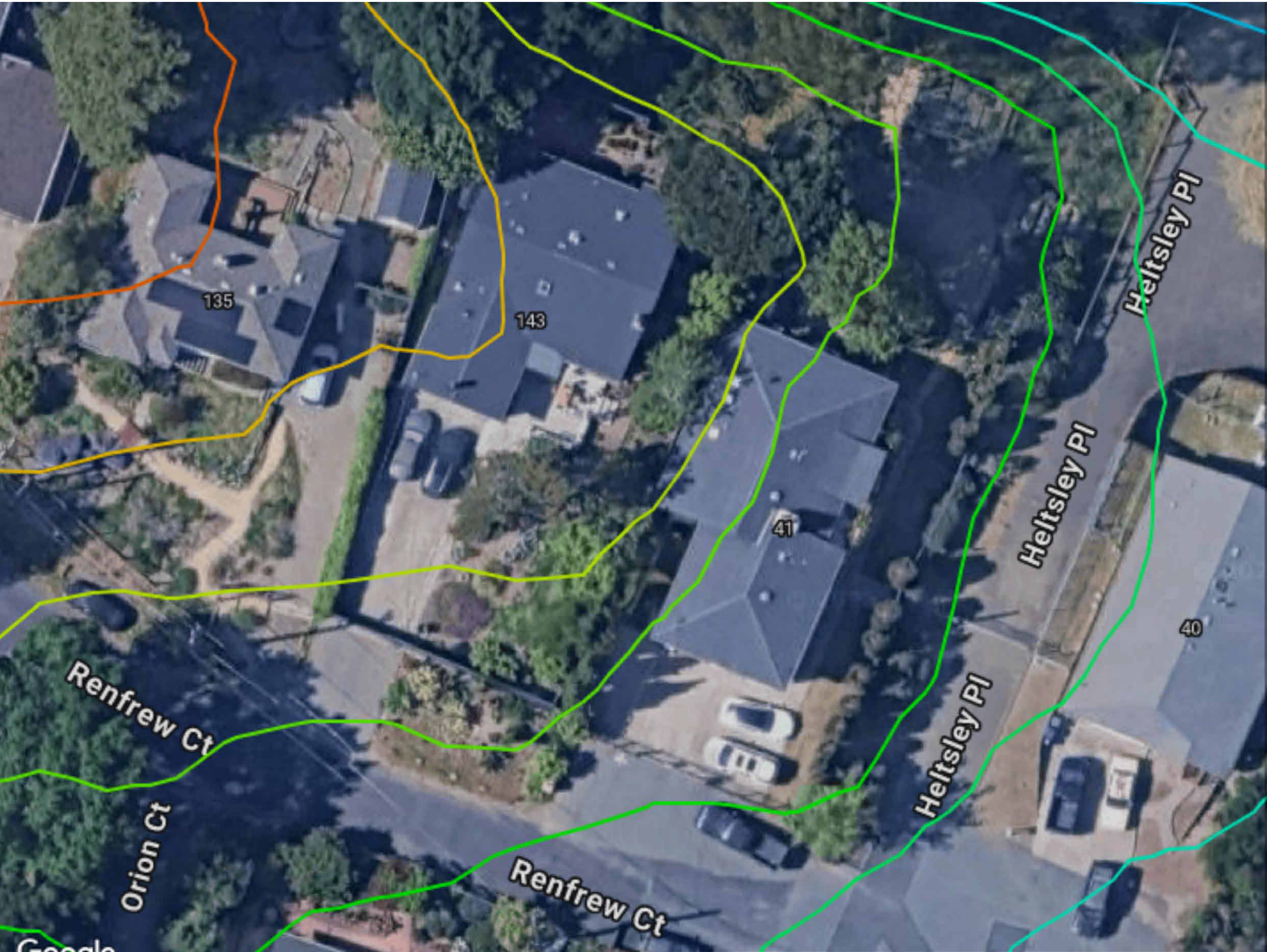
Sheet Title  
**SITE (PLOT) PLAN**

8		
7		VALUE ENGINEERING REVISIONS
6		ISSUED FOR ISSUANCE OF PERMIT
5		ISSUED FOR PRICING
4		ISSUED FOR PERMIT
3	C	2025-08-18 ISSUED FOR OWNER REVIEW
2	B	2025-08-05 ISSUED FOR OWNER REVIEW
1	A	2025-07-21 ISSUED FOR OWNER REVIEW
IS	RE	DATE DESCRIPTION

Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaler  
**AA-03**  
Scale 1/8"=1'-0"

Property Owner Name: Adam Morgenthaler  
Project Address: 41 Heltsley Pl, El Sobrante, CA 94803, USA  
Assessors Parcel #426-243-037  
Lot Size: 8,300 sq. ft.





Project Name  
64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address  
  
41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

DATE & APPROVAL

8		
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1	A	2025-07-21 ISSUED FOR OWNER REVIEW
IS	RE	DATE DESCRIPTION

Sheet Title  
  
TOPOGRAPHIC  
CONTOURS MAP



Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler
AA-04	
Scale	1"=10'-0"





Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description



DATE & APPROVAL

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IS	RE	DATE DESCRIPTION

Sheet Title

CONTEXT PHOTO PAGE

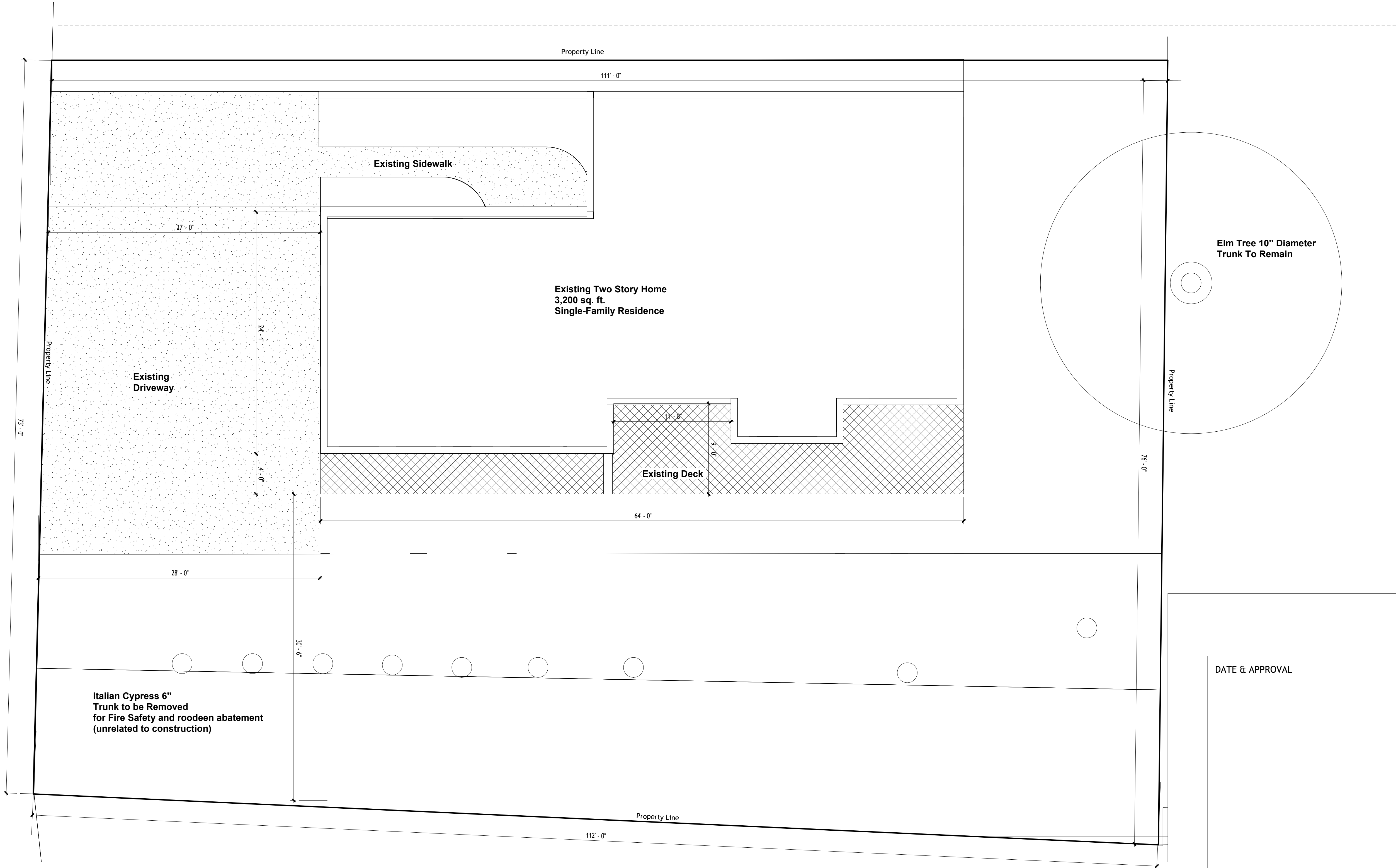
Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaler

AA-05

Scale



Renfrew Ct.



DATE & APPROVAL			
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
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4			ISSUED FOR PERMIT
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2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Site (Plot) Plan

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

Adam Morgenthaler

AR-01

Scale

3/16" = 1'-0"

8

7

6

5

4

3

2

1

IS

C

B

A

RE

2025-08-18

2025-08-05

2025-07-21

DATE

VALUE ENGINEERING REVISIONS

ISSUED FOR ISSUANCE OF PERMIT

ISSUED FOR PRICING

ISSUED FOR PERMIT

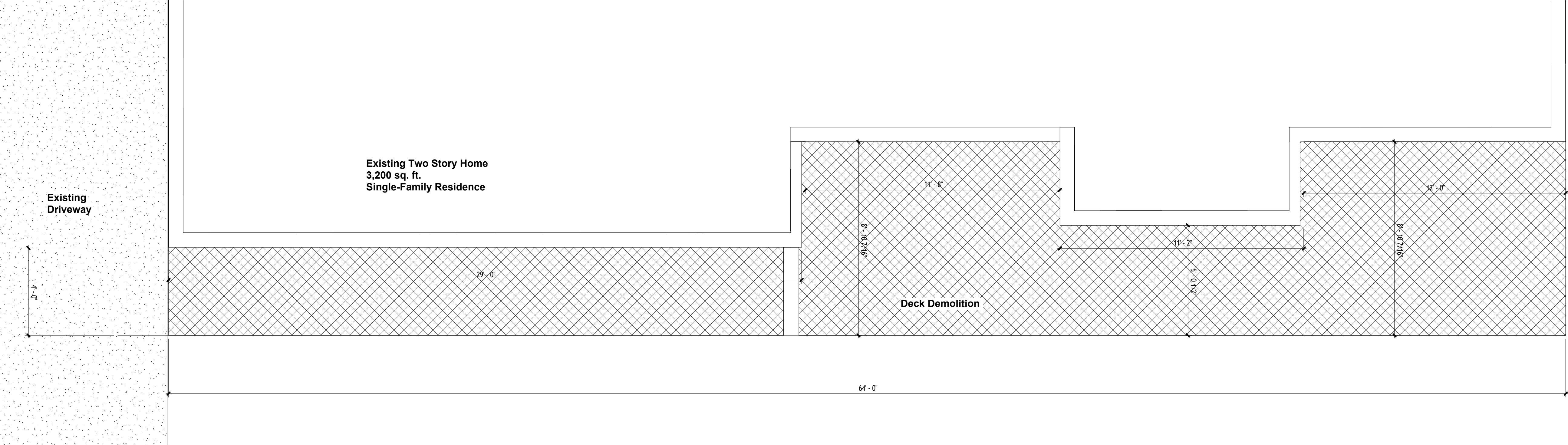
ISSUED FOR OWNER REVIEW

ISSUED FOR OWNER REVIEW

ISSUED FOR OWNER REVIEW

DESCRIPTION

21



NOTES

- 1) Contractor is responsible for coordinating all demolition with new construction, ensuring all utilities are safe, and restoring disturbed surfaces to original or better condition. Immediately report any unforeseen conditions to the owner/engineer for direction.
- 2) No access through the house for demolition. Use of ladders and scaffolding required for access.
- 3) Do not walk/stand on existing structure. All weight bearing must be independently ground supported.
- 4) Place tarps/canvas on ground in demolition area to catch falling debris.
- 5) Cut existing cantilevered joists flush with inside edge of exterior wall (refer to structural engineering drawings for details)
- 6) To comply with CalGreen’s 65% waste diversion requirement, re-useable boards to be provided to homeowner while deteriorated ones will be disposed of as construction debris at approved local landfill or transfer station. Records to be maintained for estimated re-used materials vs disposed materials.
- 7) Remove debris and demolished building materials promptly and store in designated containers or protected staging areas. Segregate wood, metal, and other recyclable construction debris to maximize recycling per state (CalGreen) and county requirements. Salvage materials when feasible.
- 8) Dispose of all pressure treated wood as hazardous waste.

DATE & APPROVAL			
8			
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4			ISSUED FOR PERMIT
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1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

Deck Demolition Plan

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

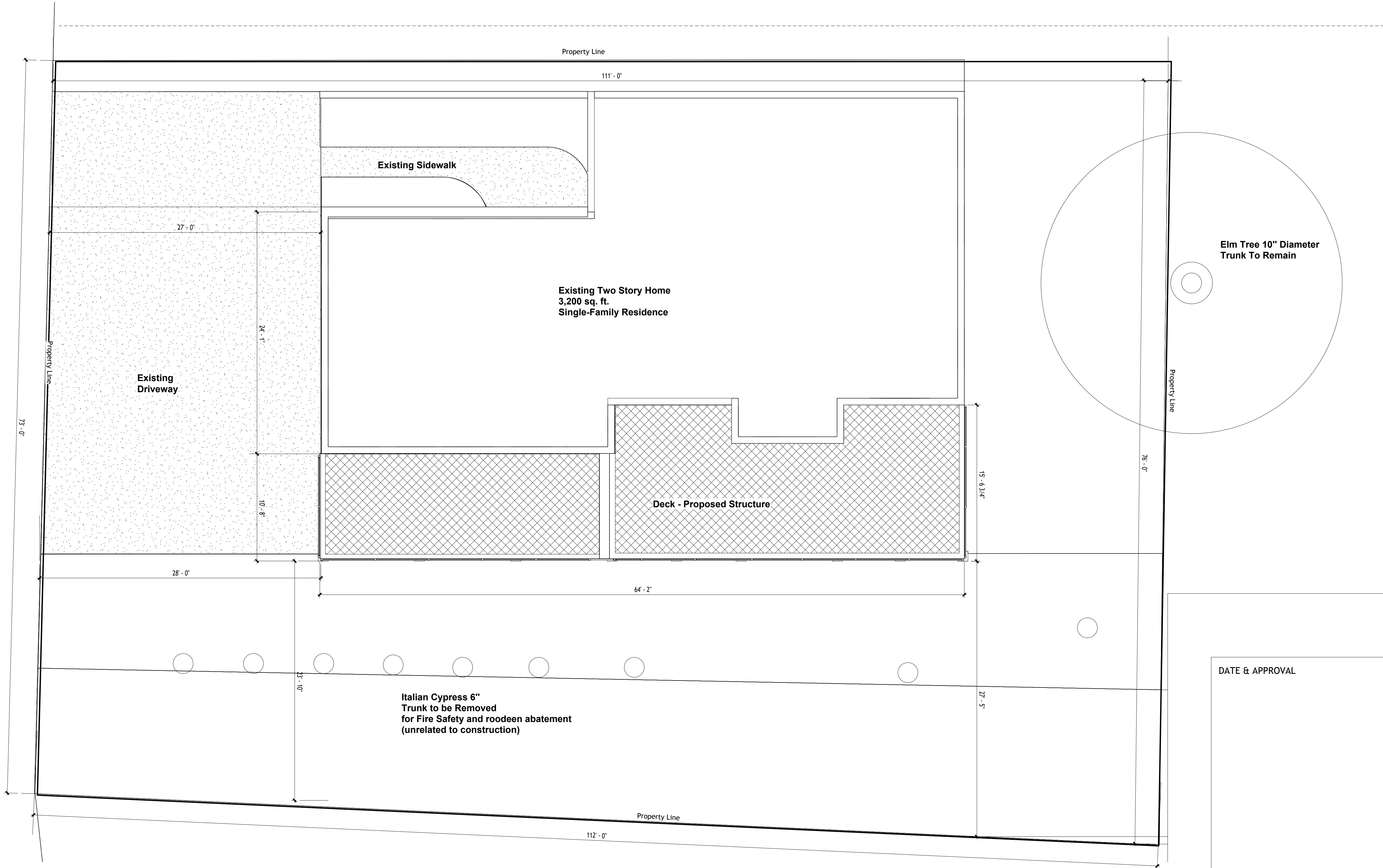
Adam Morgenthaler

AR-02

Scale

3/8" = 1'-0"

Renfrew Ct.



DATE & APPROVAL			
8			
7			VALUE ENGINEERING REVISIONS
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4			ISSUED FOR PERMIT
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1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Site Plan - Proposed  
Deck

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

Adam Morgenthaler

AR-03

Scale

3/16" = 1'-0"





Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

24

DATE & APPROVAL

8		
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IS	RE	DATE DESCRIPTION

Sheet Title

3D VISUALIZATION -  
Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Author
Checked by	Checker
AR-04	
Scale	





Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

DATE & APPROVAL

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IS	RE	DATE DESCRIPTION

Sheet Title

3D VISUALIZATION -  
Proposed Deck

Project number

1

Date

2025-08-18

Drawn by

Author

Checked by

Checker

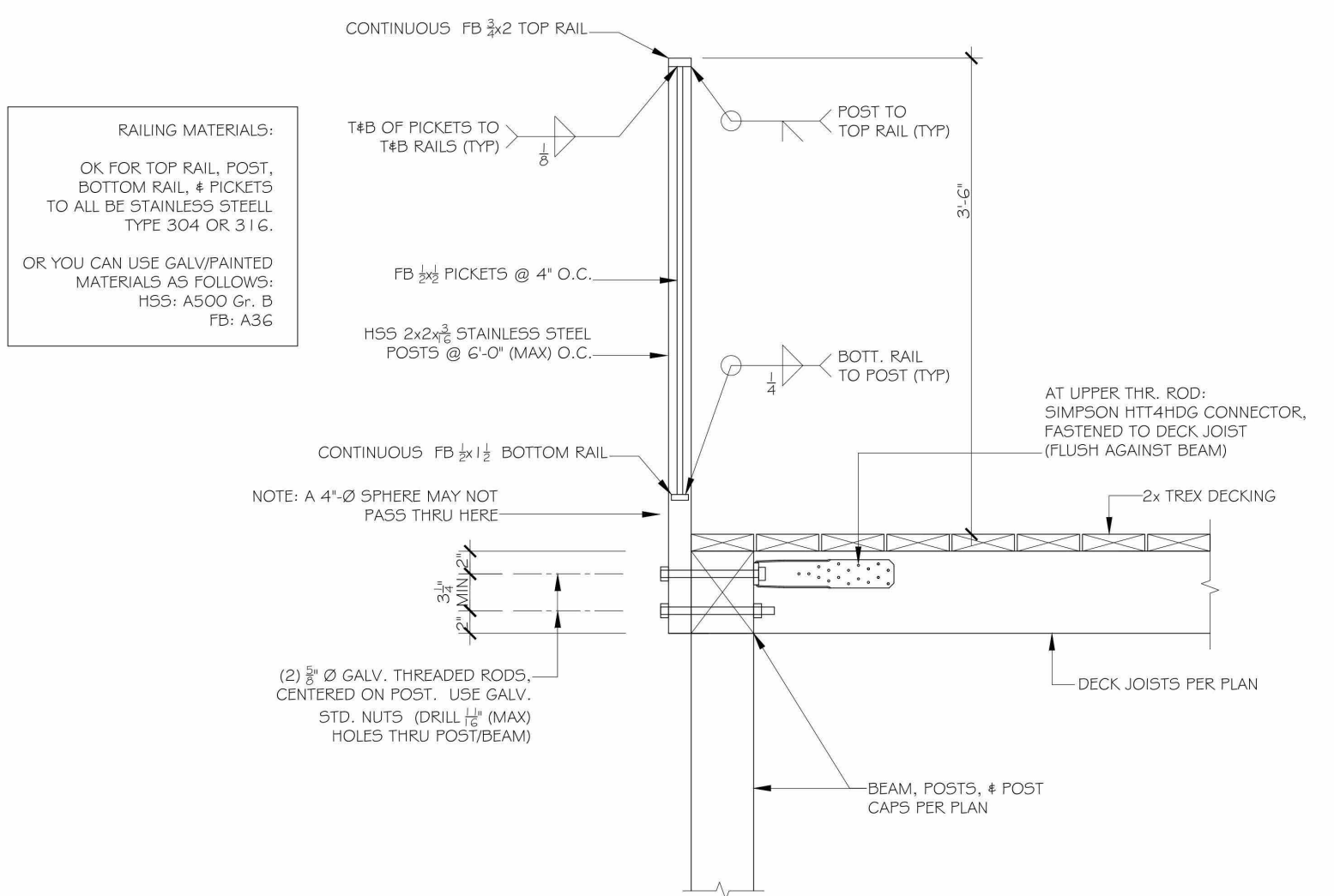
AR-05

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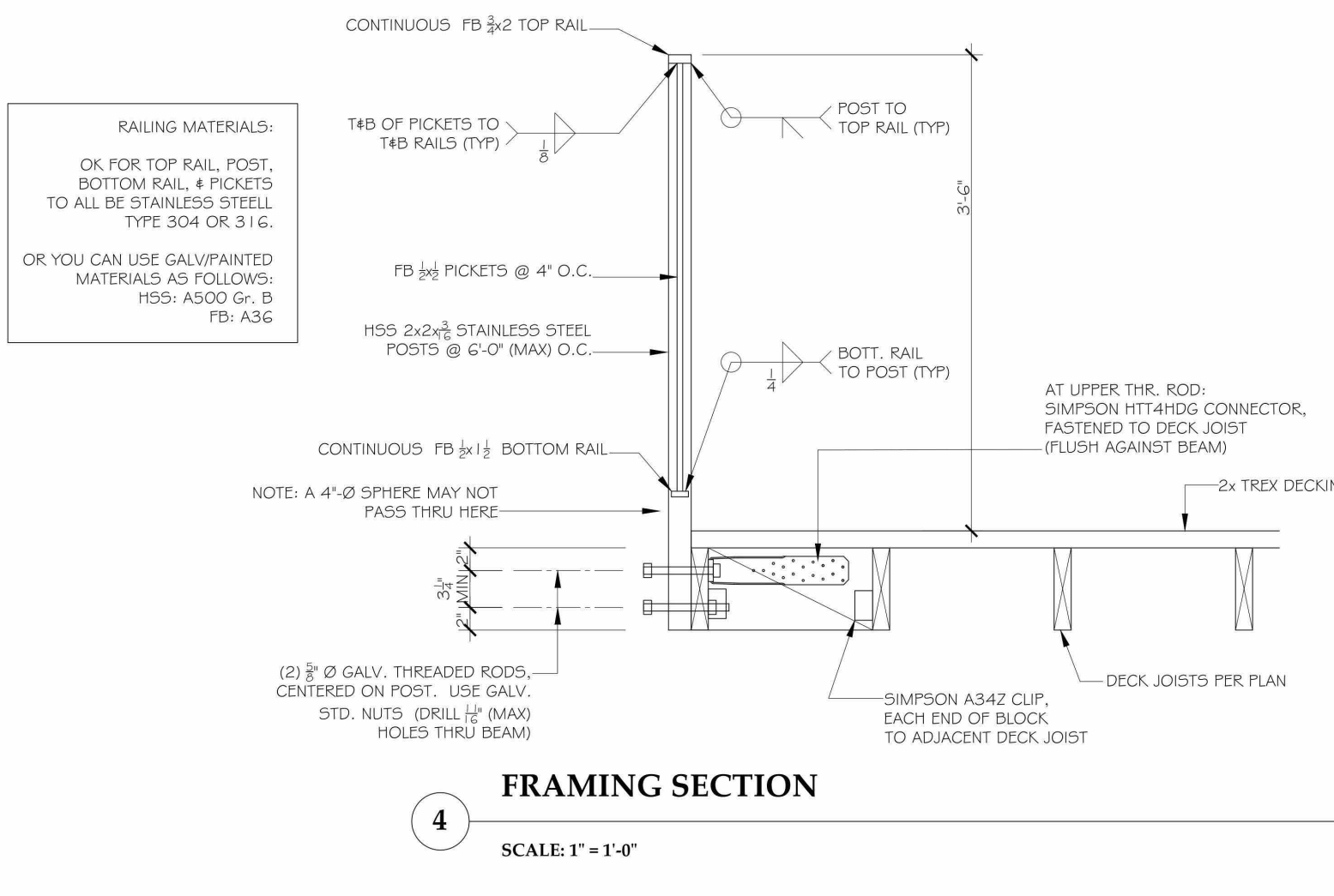


<b>GENERAL NOTES</b> <p>A. Construction shall conform to 2022 CALIFORNIA RESIDENTIAL CODE and local regulatory agencies' requirements. B. Contractor shall verify all pertinent dimensions prior to beginning construction. C. Conflicts, differences in information, and omissions in drawings shall be brought to the attention of the Engineer for resolution. D. Refer to Architectural Plans for all dimensions and elevations not shown.</p>
<b>SCOPE OF WORK</b> <p>There is an existing deteriorating 6'-0"-long cantilevered balcony along the side of an existing single-family residence. It is proposed to demolish the entire balcony back to the exterior wall of the building and build a new exterior deck. The new deck will be supported by a line of beam/posts at the outer edge (not a cantilevered structure).</p>
<b>SOILS &amp; FOUNDATIONS</b> <p>A. All new foundations have been designed per CBC Chapter 18.</p>
<b>MATERIALS</b> <p>A. Timber: A.1. Unless otherwise noted, Sawm lumber, 2x4, 2x6, 3x4 &amp; 3x6 shall conform to or exceed Douglas Fir grade number 2 requirements. Unless otherwise noted, Sawm lumber, 2x8, 2x10, 2x12 &amp; 4x4, 4x6, 4x8 shall conform to or exceed Douglas Fir grade number 1 requirements. Larger material shall conform to or exceed Douglas Fir select structural. A.2. Mudslits and all lumber in contact with concrete or exposed to weather shall be pressure-preservative treated Douglas Fir unless noted otherwise. A.3. All framing lumber shall have 19% maximum moisture content at time of installation. B. Concrete: Hardrock, normal weight concrete minimum 28 day compressive strength equals 3,000 psi. (2500 psi used in design calculations to permit no special inspection). C. Reinforcing Steel: ASTM A615, Grade 40 for #3 bars and smaller. ASTM A615, Grade 60 all bars larger than #3. D. Bolts and Threaded Rods: 1. Threaded Rod: F1554 (Grade as noted per drawings) 2. Anchor Bolts: F1554 (Grade 36, U.O.N. on drawings) Bent bar "J" anchor bolts shall have a hook with a 90-degree bend with an inside diameter of three bolt diameters, plus an extension of one and one half bolt diameters at the free end. 3. Bolts *Timber Connections: ASTM A307 *Steel Connections: ASTM A325N U.O.N. Provide washers under all bolt heads and nuts bearing against wood. E. Epoxy Simpson SET-3G (ESR-4057)</p>
<b>TIMBER CONSTRUCTION</b> <p>A. Framing connections not specified shall conform to CBC nailing schedule, refer to Table 2304.10.1. B. Wood framing connections such as post-to-beam, beam-to-beam, and beam-to-column, and column-to-foundation connections, and hold downs and splices shall be made with standard metal connectors, hangers, etc. unless otherwise noted. Connectors designated on the drawings are manufactured by the SIMPSON Strong-Tie Company. Connectors for pressure-preservative treated or fire-retardant treated wood, or permanently exposed to weather shall be stainless steel or ZMAZHDG galvanized. C. Fasteners for pressure-preservative treated or fire-retardant treated wood shall be of hot-dipped zinc coated galvanized, stainless steel, silicon bronze or copper.</p>
<b>CONCRETE CONSTRUCTION</b> <p>A. Concrete footings shall be constructed in single continuous pours, without construction joints, unless otherwise approved by the Engineer. B. Splices in rebar are not allowed in footings less than 20 feet long. Splices in rebar shall develop the full strength of the bar. Lap splices shall be at least 48 diameters in length and shall be staggered at least 3 ft. in adjacent bars. C. Bends and hook in rebar shall conform to CBC and ACI requirements regarding bend radius and extension.</p>
<b>REINFORCING STEEL</b> <p>A. Bends and hook in rebar shall conform to CBC and ACI requirements regarding bend radius and extension. B. Splices in rebar shall develop the full strength of the bar. Lap splices shall be at least 48 bar diameters in length and shall be staggered at least 3 feet in adjacent bars. C. Suitable devices of some standard manufacture shall be used to hold reinforcement in its true horizontal and vertical positions. These devices shall be sufficiently rigid and numerous to prevent displacement of the reinforcement during placing of the concrete. All such devices shall have the prior approval of the Engineer. D. Unless otherwise noted, maintain coverage to the face of the bars as follows: D.1. 3 inches where concrete is deposited against earth, except slab-on-grade D.2. 2 inches where concrete is exposed to earth, but formed. D.3. 1½ inches for beams, columns, and exterior surfaces. D.4. ¾" for interior slabs and walls.</p>
<b>TESTING AND INSPECTION</b> <p>A. Provide Special Inspections, as required by the 2019 CBC and local regulatory agencies requirements, for the following items:  NO SPECIAL INSPECTIONS ARE REQUIRED.  (Per Exception 1 of Section 1704.2, "Special inspections and tests are not required for construction of a minor nature or as warranted by conditions in the jurisdiction as approved by the building official.")</p>

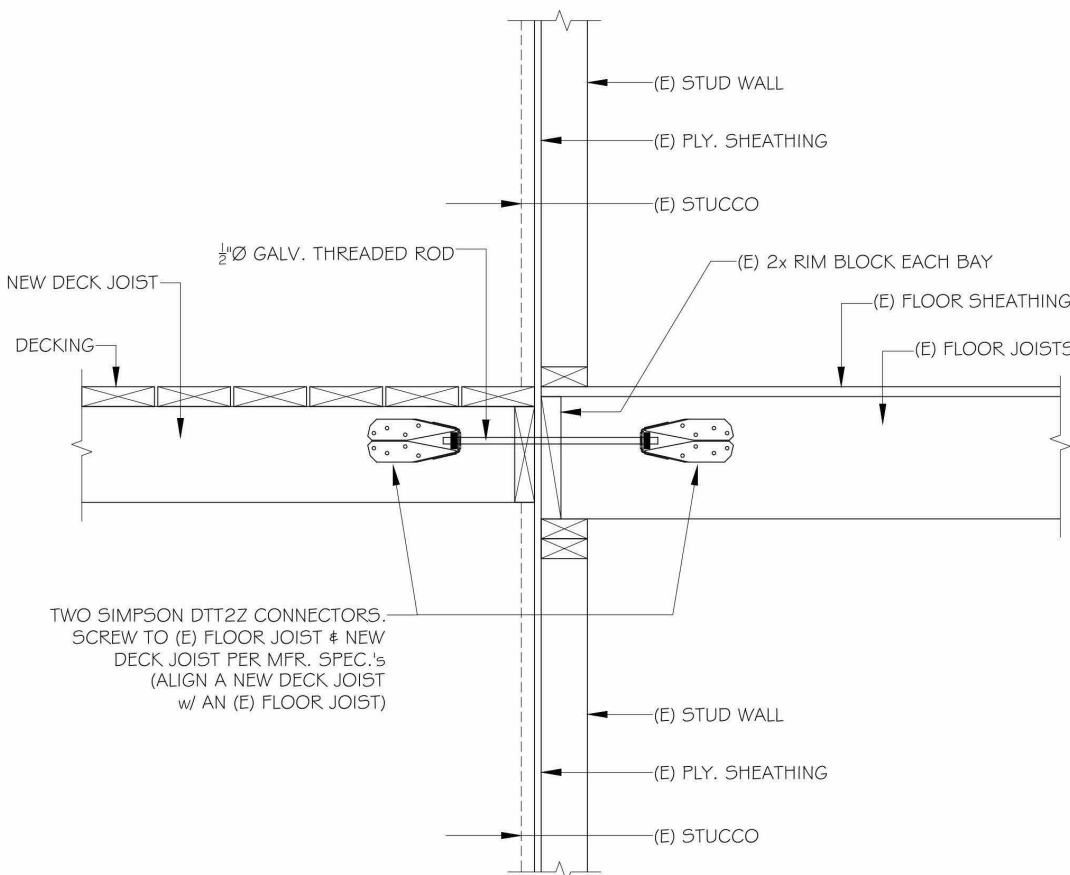
PROJECT INFORMATION	
LIVE LOADS	
DECK LIVE LOAD (psf)	60
ROOF LIVE LOAD (psf)	20
RAIN LOAD (psf)	0
GROUND SNOW LOAD (psf)	0



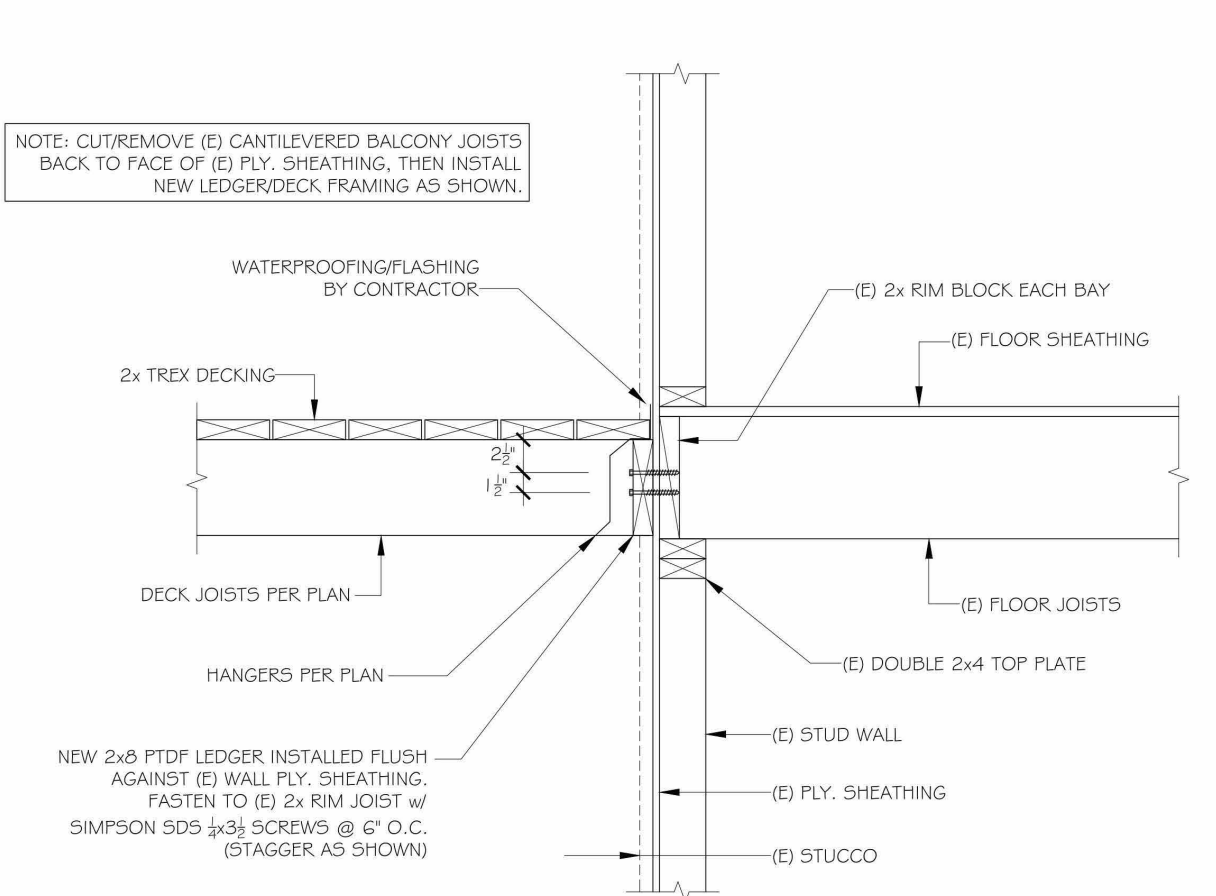
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FRAMING SECTION  
SCALE: 1" = 1'-0"



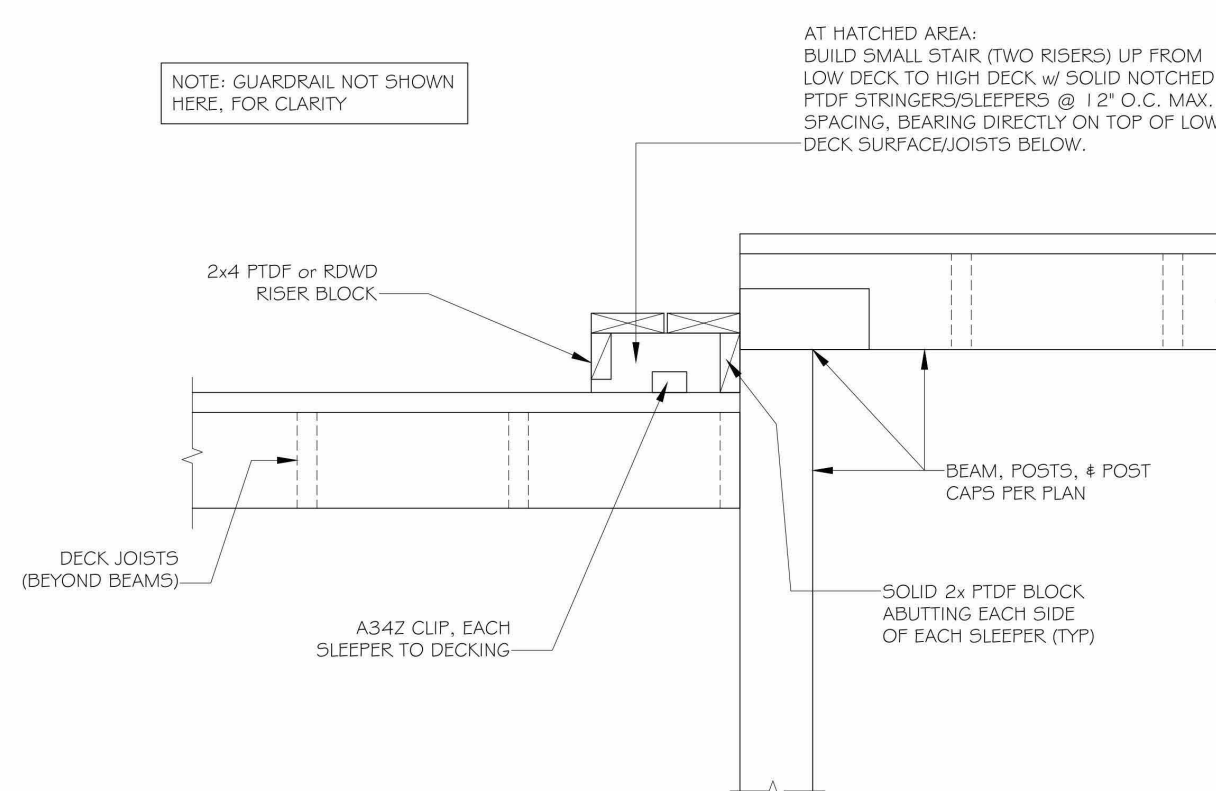
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FRAMING SECTION  
SCALE: 1" = 1'-0"



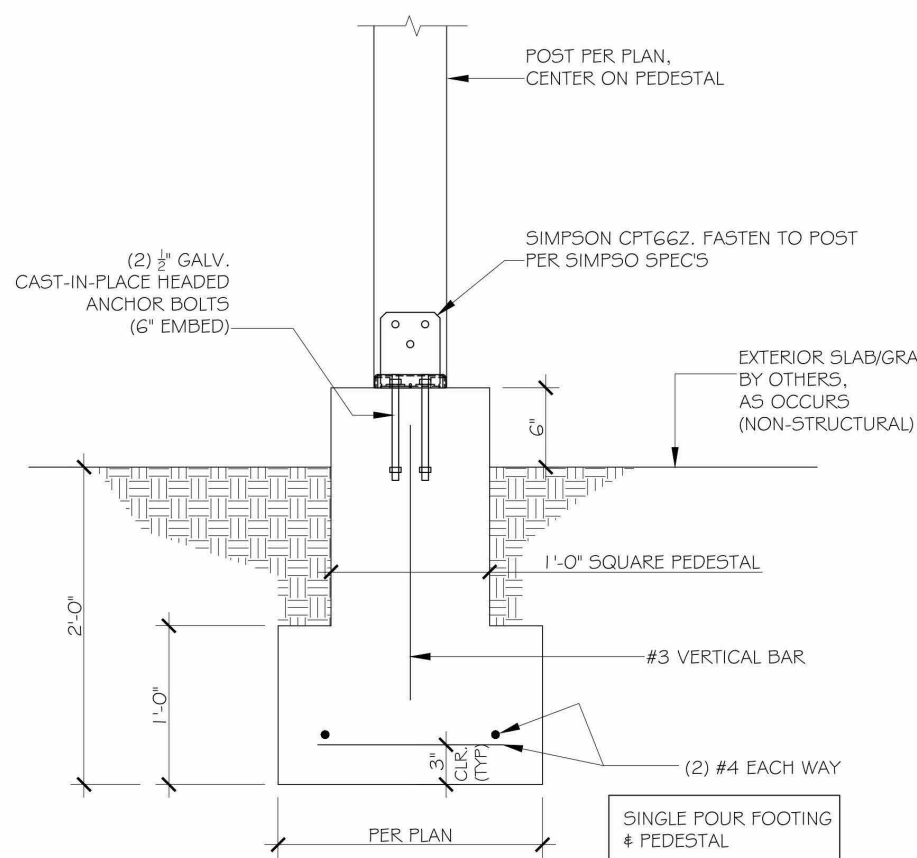
6  
DECK ANCHORAGE DETAILS  
SCALE: 1" = 1'-0"



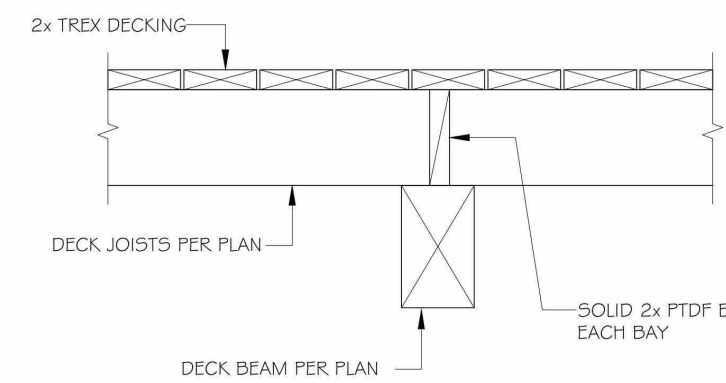
2  
FRAMING SECTION  
SCALE: 1" = 1'-0"



5  
FRAMING SECTION  
SCALE: 1" = 1'-0"

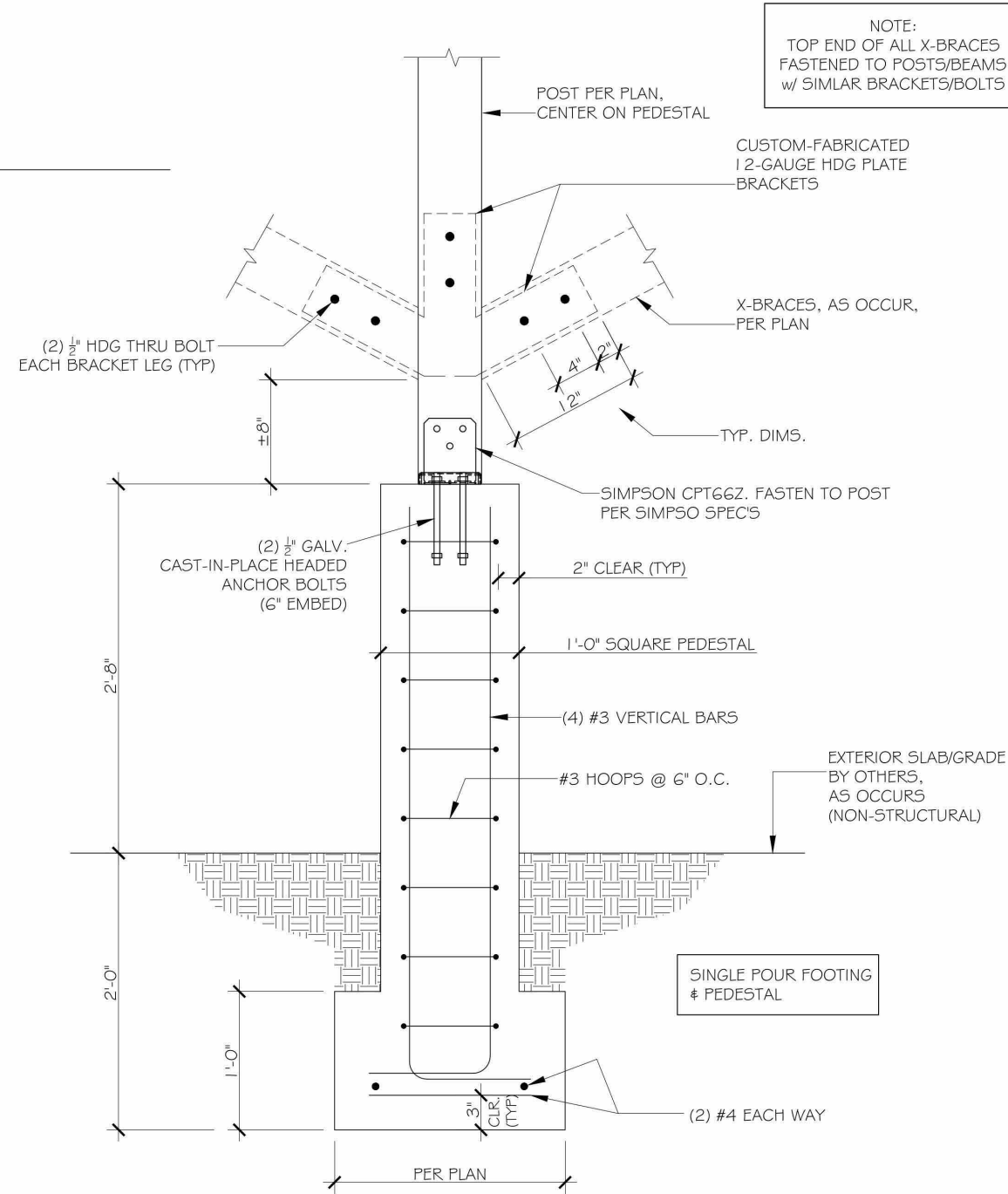


7  
TYPICAL FOOTING DETAILS  
SCALE: 1" = 1'-0"



3  
FRAMING SECTION  
SCALE: 1" = 1'-0"

NOTE:  
ALL GALVANIZED METALS/FASTENERS SHALL BE HOT-DIPPED GALVANIZED (HDG) OR ZMAX.  
DO NOT USE ELECTRO-GALVANIZED HARDWARE.



ANDERSEN  
ENGINEERING  
2301 Carlson Blvd.  
Richmond, CA 94804  
(415) 250-8473



41 Heltsley Place  
El Sobrante, CA

JOB #25028

08/14/25

NOTES  
DETAILS

S1

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsley Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

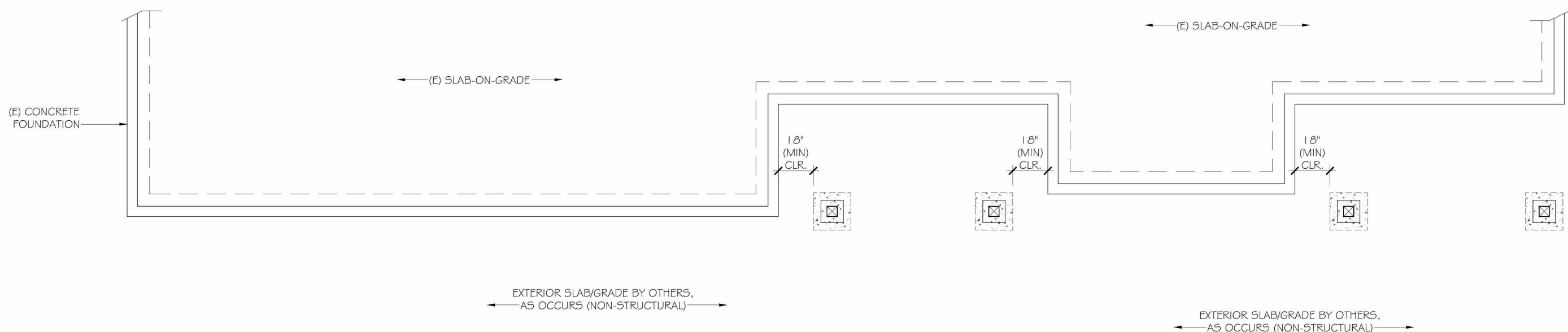
Structural Engineer  
Drawings S1

Project number 1  
Date 2025-08-18  
Drawn by Andersen Engineering  
Checked by Adam Morgenthaler

S-01

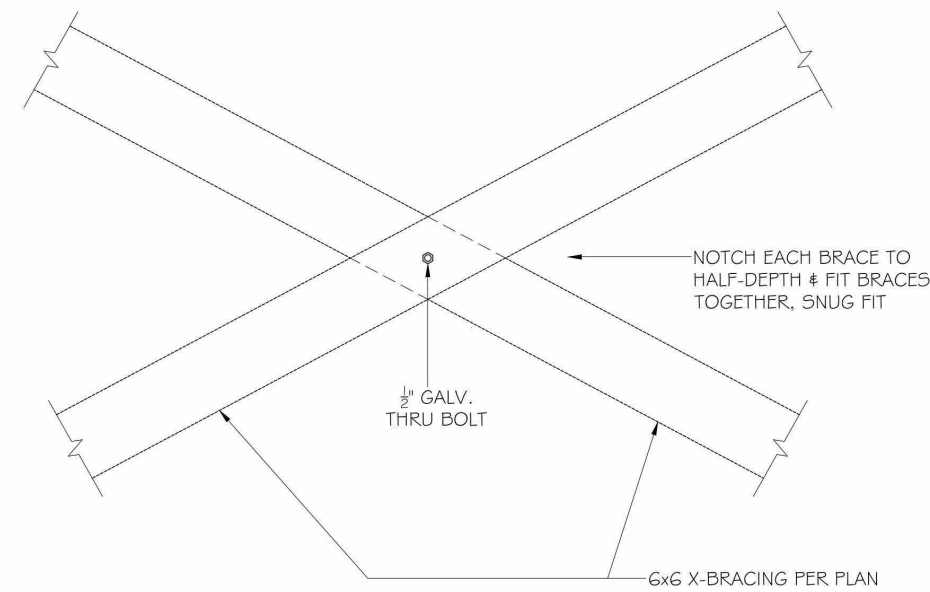
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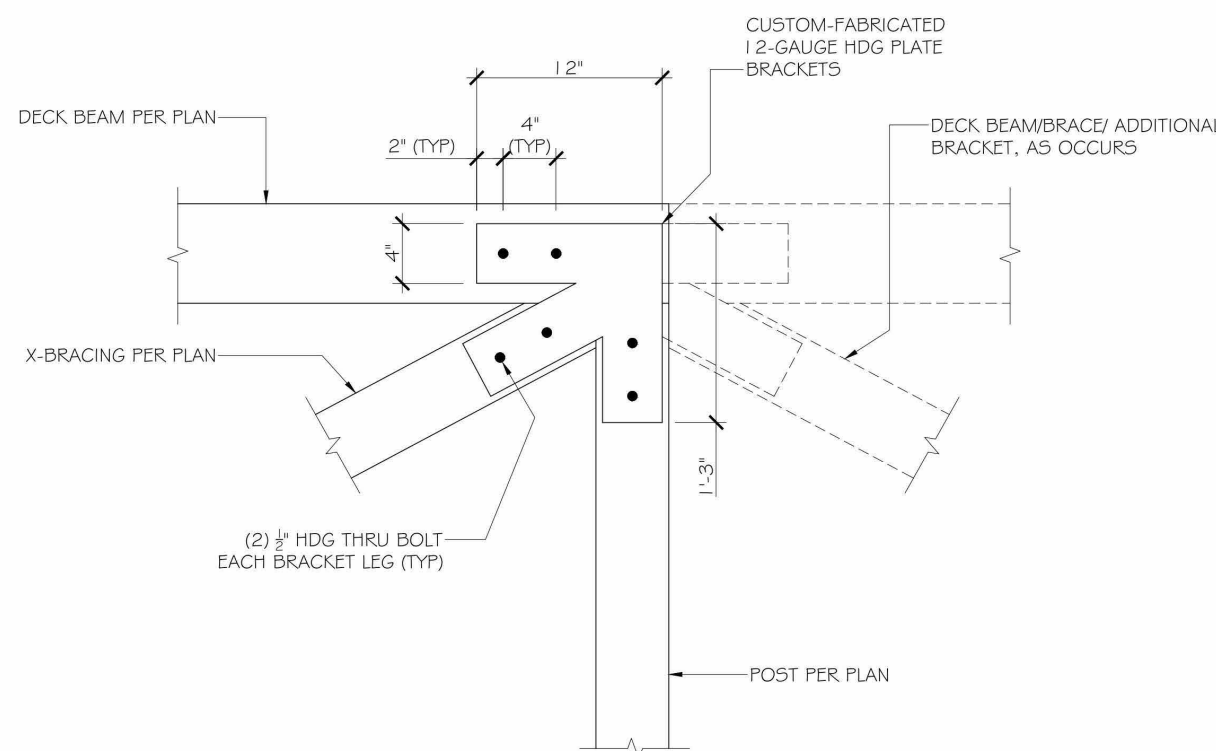


TYPICAL @ THIRTEEN LOCATIONS:  
NEW 1'-5\"/>

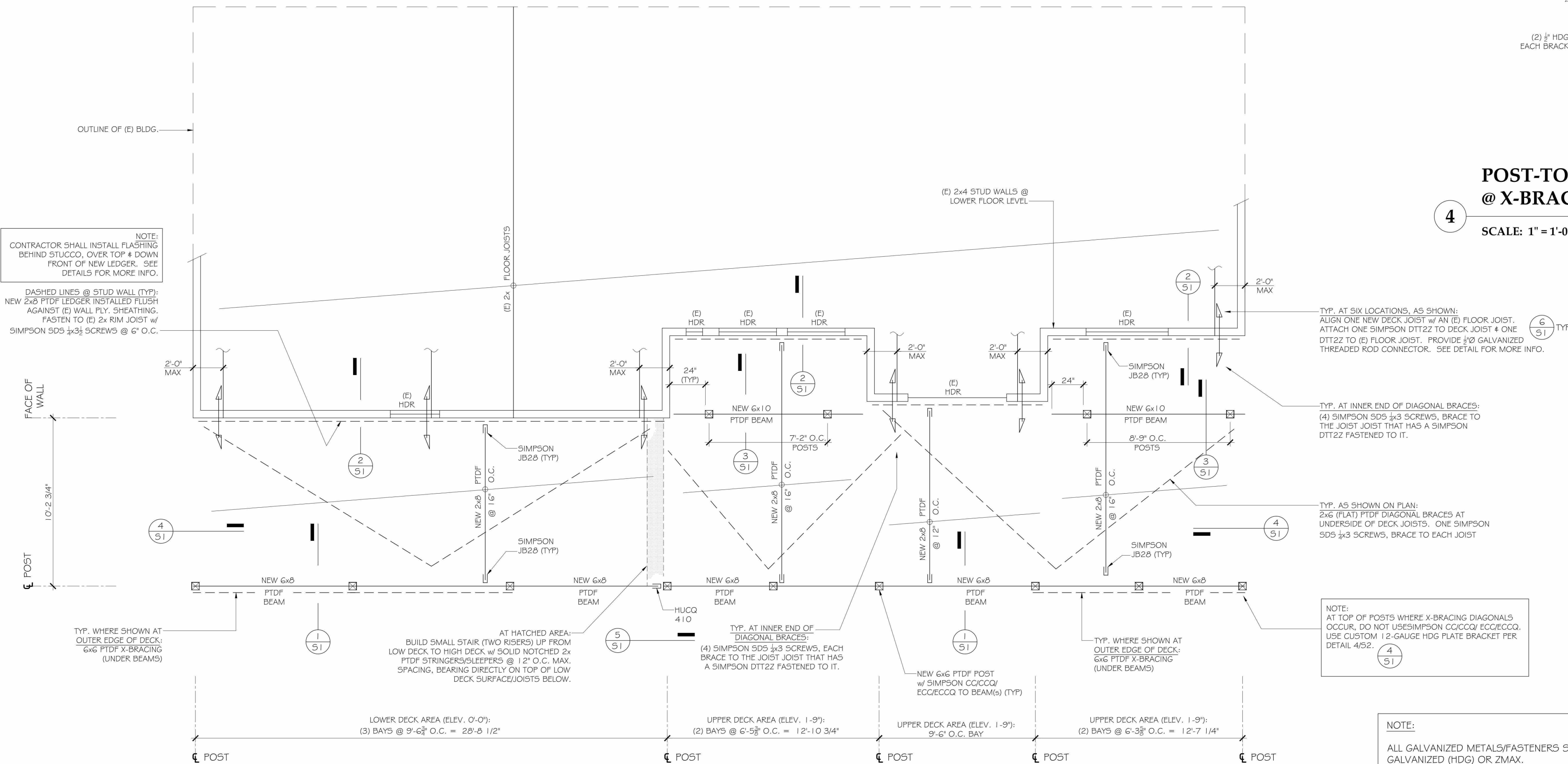
**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**3 TYPICAL X-BRACING INTERSECTION DETAIL**  
SCALE: 1" = 1'-0"



**4 POST-TO-BEAM PLATE BRACKET @ X-BRACE LOCATIONS**  
SCALE: 1" = 1'-0"



**2 DECK FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



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Richmond, CA 94804  
(415) 250-8473



41 Heltsley Place  
El Sobrante, CA

JOB #25028

08/14/25

PLANS  
DETAIL

S2

Project Name  
**64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project**

Project Address  
**41 Heltsey Pl, El  
Sobrante, CA 94803**

Project Description

Sheet Title  
**Structural Engineer  
Drawings S2**

Project number 1  
Date 2025-08-18  
Drawn by Andersen Engineering  
Checked by Adam Morgenthaler  
**S-02**  
Scale



41 Heltsley Place, El Sobrante, CA  
New/Replacement Exterior Deck

Date = 14-Aug-25  
Job No. 25028

Loads:  
Exterior Deck

Dead Loads = 2x Decking 5 psf  
framing 3 psf

Total (psf) 8.0 psf  
Live Load (psf) 60 psf



41 Heltsley Place, El Sobrante, CA

Job No. 25028

Beam Type	Type	Fb (ksi)	Fv (ksi)	E (ksi)	Fc // (ksi)	Fc (ksi)	EC (ksi)	pcf
Doug Fir #1	1	varies	varies	1700	0.925		1600	36
Doug Fir #2	2	varies	varies	1600	0.925		1600	36
GLULAM (24F-V4)	3	2.40	0.265	1800	1.65		1600	36
PSL Parallam 2.0E	4	2.90	0.29	2000	0.5	0.75	1000	45
Steel	5	23.76	14.40	29000		22	22000	490
LVL Microllam 1.9E	6	2.6	0.285	1900	2.51	0.75		41.5
LSL TimberStrand 1.55E	7	2.325	0.31	1550	2.05	0.8		44
TJI	8	varies	varies	varies				
RFPI	9	varies	varies	varies				

Note: Fb values for 2x material include 1.15 repetitive member factor.

Beam Ref on plans	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members
F1 - deck joist	3	2x08 no1	10	120	1
LOADS					
Uniform loads (plf)			Point Load from Left (k)		
Self Weight	2.7		Distance (ft)		
DL	11.0	=8(1.33')	Ci=	DL	
LL	80.0	=60(1.33')	0.80	LL	
Total	93.7		Total	0.0	
PROPERTIES					
Beam Type	1	E (ksi)	1700.00	a (in)	0
Ix (in4)	48	Depth (in)	7.25	b (in)	120
Sx (in3)	13	A (in2)	11		
REACTIONS (k)					
	DL	0.07	0.07		
	LL	0.40	0.40		
	Total	0.47	0.47	Fv (ksi)	fv (ksi)
SHEAR (k)	Total (k)	0.41	0.41	0.180	0.057
MOMENT (in-k)					
	Uniform	Point Load Max	Total	Fb (ksi)	fb (ksi)
Moment (in-k)	14.06	0	14.06	1.10	1.07
DEFLECTION (in)					
	Δ TL (in)	0.260	L/in TL	461	pass > 240
	Δ LL (in)	0.222	L/in LL	540	pass > 360

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Structural Engineer  
Calculations Sheets

Project number

1

Date

2025-08-18

Drawn by

Andersen Engineering

Checked by

Adam Morgenthaler

S-03

Scale



41 Heltsley Place, El Sobrante, CA

Job No.

25028

Beam Ref on plans	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members
F2 - deck beam	14	6x08 no1	9.5	114	1
LOADS					
Uniform loads (plf)			Point Load from Left (k)		
Self Weight	10.3		Distance (ft)		
DL	40.0	=8(5')	Ci=	DL	
LL	300.0	=60(5')	0.80	LL	
Total	350.3		Total	0.0	
PROPERTIES					
Beam Type		1	E (ksi)	1600.00	a (in)
Ix (in4)		193	Depth (in)	7.50	b (in)
Sx (in3)		52	A (in2)	41	0
REACTIONS (k)					
		Left	Right		
DL		0.24	0.24		
LL		1.43	1.43		
Total		1.66	1.66	Fv (ksi)	fv (ksi)
SHEAR (k)		1.45	1.45	0.170	0.053
MOMENT (in-k)		0	47.42	0.96	0.92
DEFLECTION (in)		0.208	L/in TL	549	pass > 240
		0.178	L/in LL	641	pass > 360

Beam Ref on plans	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members
F3 - deck beam	15	6x10 no1	10	120	1
LOADS					
Uniform loads (plf)			Point Load from Left (k)		
Self Weight	13.1		Distance (ft)		
DL	60.0	=8(7.5')	Ci=	DL	
LL	450.0	=60(7.5')	0.80	LL	
Total	523.1		Total	0.0	
PROPERTIES					
Beam Type		1	E (ksi)	1600.00	a (in)
Ix (in4)		393	Depth (in)	9.50	b (in)
Sx (in3)		83	A (in2)	52	0
REACTIONS (k)					
		Left	Right		
DL		0.37	0.37		
LL		2.25	2.25		
Total		2.62	2.62	Fv (ksi)	fv (ksi)
SHEAR (k)		2.20	2.20	0.170	0.063
MOMENT (in-k)		0	78.46	1.08	0.95
DEFLECTION (in)		0.187	L/in TL	641	pass > 240
		0.161	L/in LL	745	pass > 360

CONSIDER A 24" (MAX) BEAM CANTILEVER:

$$M = (44 \text{ #/in} \times 24") \left(\frac{1}{2}\right) = 12672 \text{ lb-in}$$

$$f_b = \frac{12672 \text{ lb-in}}{83 \text{ in}^3} = 152 \text{ psi}$$

$$F_b = 1080 \text{ psi}$$

OK

PROJECT :  
CLIENT :  
JOB NO. :  
DATE :  
PAGE :  
DESIGN BY :  
REVIEW BY :

Wood Post, Wall Stud, or King Stud Design Based on NDS

INPUT DATA

DESIGN SUMMARY

HEIGHT

Effective Length (NDS 3.7)

AXIAL LOAD

LATERAL LOAD

SPECIES (1 = DFL, 2 = SP, 3 = LSL, 4 = PSL)

GRADE (1, 2, 3, 4, 5, or 6)

SECTION

WET / DRY ? (1 = DRY, 2 = WET)

11 ft  
11 ft, (strong axis bending)  
11 ft, (weak axis bending)  
P<sub>DL</sub> = 480 lbs  
P<sub>LL</sub> = 2860 lbs  
Total P = 3,340 lbs  
w = 0 plf  
F = lbs, at ft, from bottom  
Max Section M = 0 ft-lbs, at 11.00 ft from bottom  
Max Section V = 0 s, at top end  
1 DOUGLAS FIR-LARCH  
4 No. 2  
1 pcs, b = 4 in  
h = 4 in  
1 DRY

USE: 1 - 4" x 4" DOUGLAS FIR-LARCH No. 2

1. CHECK VERTICAL LOADS : f<sub>c</sub> < F<sub>c</sub>' ?  
273 psi < 319 psi [Satisfactory]

2. CHECK BENDING LOADS : f<sub>b</sub> < F<sub>b</sub>' ?  
0 psi < 1350 psi [Satisfactory]

3. CHECK INTERACTION :  $\left(\frac{f_c}{F_c'}\right)^2 + \left(\frac{1}{1 - f_c / F_{cEx}}\right) \frac{f_{bx}}{F_{bx}} \leq 1$  ?  
0.732 < 1 [Satisfactory]

4. CHECK SHEAR LOADS : f<sub>v</sub> < F<sub>v</sub>' ?  
0 psi < 180 psi [Satisfactory]

5. MAXIMUM HORIZONTAL DEFLECTION  
Δ = 0.00

ANALYSIS

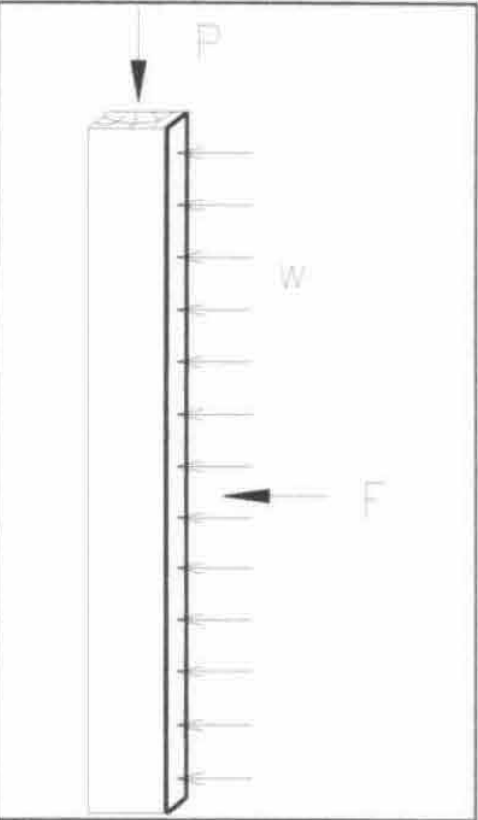
COLUMN BASIC DESIGN STRESSES:

COLUMN PROPERTIES:

ADJUSTMENT FACTORS:

ADJUSTED PROPERTIES:

ACTUAL STRESSES:



COMPRESSION STRESS F<sub>c</sub> = 1350 psi  
MODULUS OF ELASTICITY E = 1600 ksi  
BENDING STRESS (X-Axis) F<sub>bx</sub> = 900 psi  
SHEAR STRESS (X-Axis) F<sub>v</sub> = 180 psi  
STANDARD DRESSED SIZE dy = 3.50 in  
dx = 3.50 in  
AREA A = 12.25 in<sup>2</sup>  
SECTION PROPERTIES Abt. x-x Sx = 7.15 in<sup>3</sup>  
Ix = 12.51 in<sup>4</sup>  
LENGTH-DEPTH RATIO Le x-x / dy = 37.7  
Le y-y / dx = 37.7  
MODULUS OF ELASTICITY E' = 580 ksi  
COLUMN PARAMETER c = 0.80  
BEAM PARAMETER R<sub>B</sub> = N/A  
BUCKLING VALUES F<sub>cE</sub> = 335 psi  
F<sub>c</sub>\* = 1553 psi  
F<sub>bE</sub> = N/A  
F<sub>b</sub>\* = N/A  
AXIAL STRESS F<sub>c</sub>' = 319 psi  
SHEAR STRESS F<sub>v</sub>' = 180 psi  
SHEAR STRESS f<sub>v</sub> = 0 psi

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Structural Engineer  
Calculations Sheets

Project number

1

Date

2025-08-18

Drawn by

Andersen Engineering

Checked by

Adam Morgenthaler

S-04

Scale



Andersen Engineering

2301 Carlson Blvd.  
Richmond, CA 94804  
(415) 250-8473

JOB # 25028

TYPICAL FOOTING - SOIL BEARING

$$P_{MAX} = (1660 \# \text{ BEAM REACTION}) (2 \text{ SPANS}) = 3320 \#$$

$$P_{ALLOW} = (1500 \text{ PSF}) (1.67')^2 = 4183 \# \quad \underline{\underline{OK}}$$

Andersen Engineering

2301 Carlson Blvd.  
Richmond, CA 94804  
(415) 250-8473

JOB # 25028

TYPICAL DECK LEDGER CONNECTION

NEW 2x8 PINE LEDGER INSTALLED DIRECTLY AGAINST  
(E) 2x RIM JOIST. FASTEN W/ SIMPSON  
SDS 1/4 x 3 1/2 @ 6" O.C.

$$W_{LEDGER} = (8+60)(5' \text{ TRIB}) = 340 \text{ PLF}$$

$$W_{ALLOW \text{ SDS SCREENS}} = (190 \#_{SDS}) \left( \frac{12''}{6''} \right) = 380 \text{ PLF} \quad \underline{\underline{OK}}$$

Andersen Engineering

2301 Carlson Blvd.  
Richmond, CA 94804  
(415) 250-8473

JOB # 25028

STEEL GUARDRAIL

TYP. POST: HSS 2x2 x 1/8 POSTS @ 6'0" (MAX) O.C.

$$M = (0.2 \text{ k})(42'') = 8.4 \text{ k in}$$

$$\frac{M_n}{\phi} = \frac{(0.797 \text{ in}^3)(36 \text{ ksi})}{1.67} \left[ \frac{(2'') - (\frac{11}{16}'')}{2''} \right] = 14.9 \text{ k in} \quad \underline{\underline{OK}}$$

ACCOUNTS FOR REDUCED  
SECTION STRENGTH  
DUE TO BOLT HOLES

$F_y = 36 \text{ ksi}$  (STAINLESS OPTION - TYPE 304 OR 316)

TOP RAIL: FB 3/4 x 2

$$M = (0.2 \text{ k})(72'') \left( \frac{1}{4} \right) = 3.6 \text{ k in}$$

$$\frac{M_n}{\phi} = \frac{(0.75)(2')^2}{4} \frac{36}{1.67} = 16.1 \text{ k in} \quad \underline{\underline{OK}}$$

ANCHORAGE TO DECK: (2) 5/8" THRU BOLTS @ 3 1/4" (MIN)  
SPACING, THRU POST & RIM TO DECK FRAMING.  
SIMPSON HTT4 HDG FASTENER.

Project Name

64' Long Second-Story  
Balcony  
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Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Structural Engineer  
Calculations Sheets  
Copy 1

Project number

1

Date

2025-08-18

Drawn by

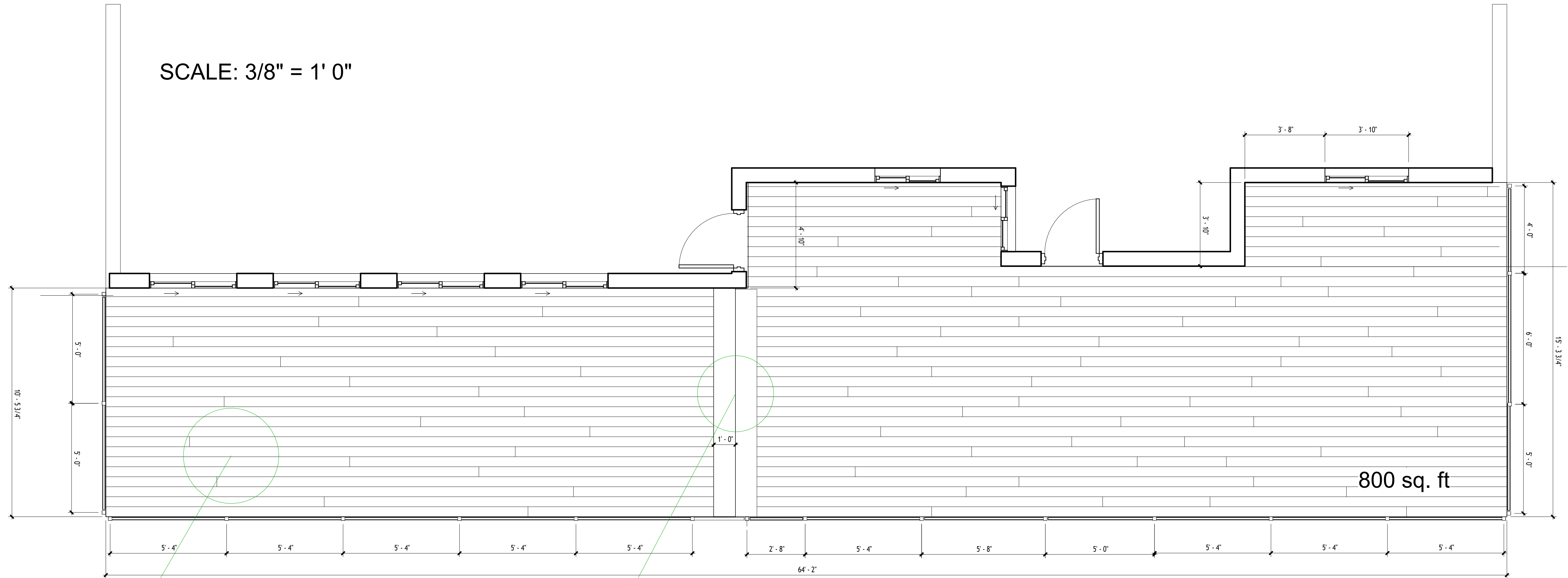
Andersen Engineering

Checked by

Adam Morgenthaler

S-05

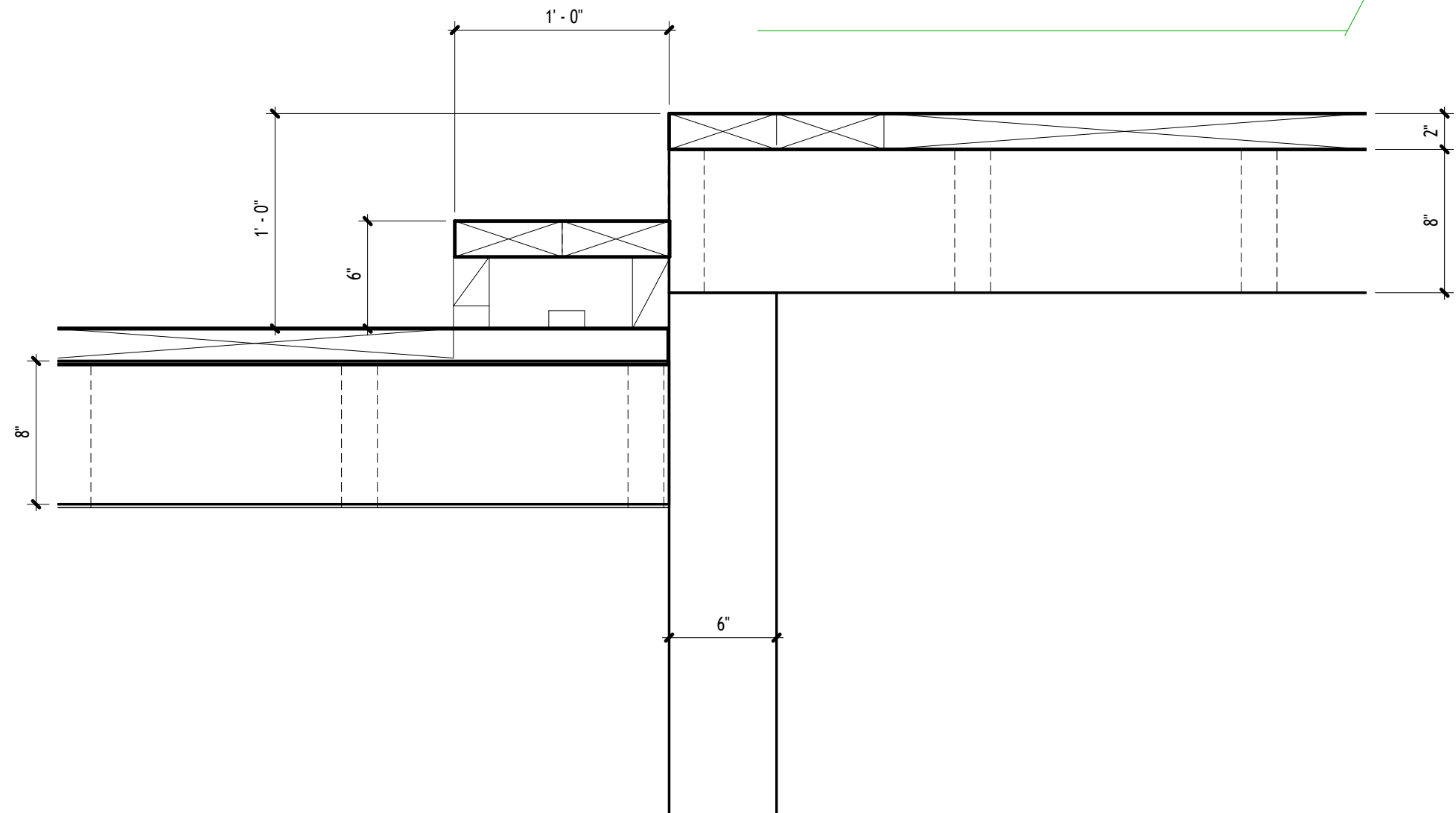
Scale



SCALE: 3/8" = 1' 0"

**NOTE:**  
All Decking Boards to  
Have Random Staggering  
of End Cuts

**NOTE:**  
Elevation Change  
D1 -> 1xStep -> D2



Step Framing Detail

SCALE: 3" = 1' 0"

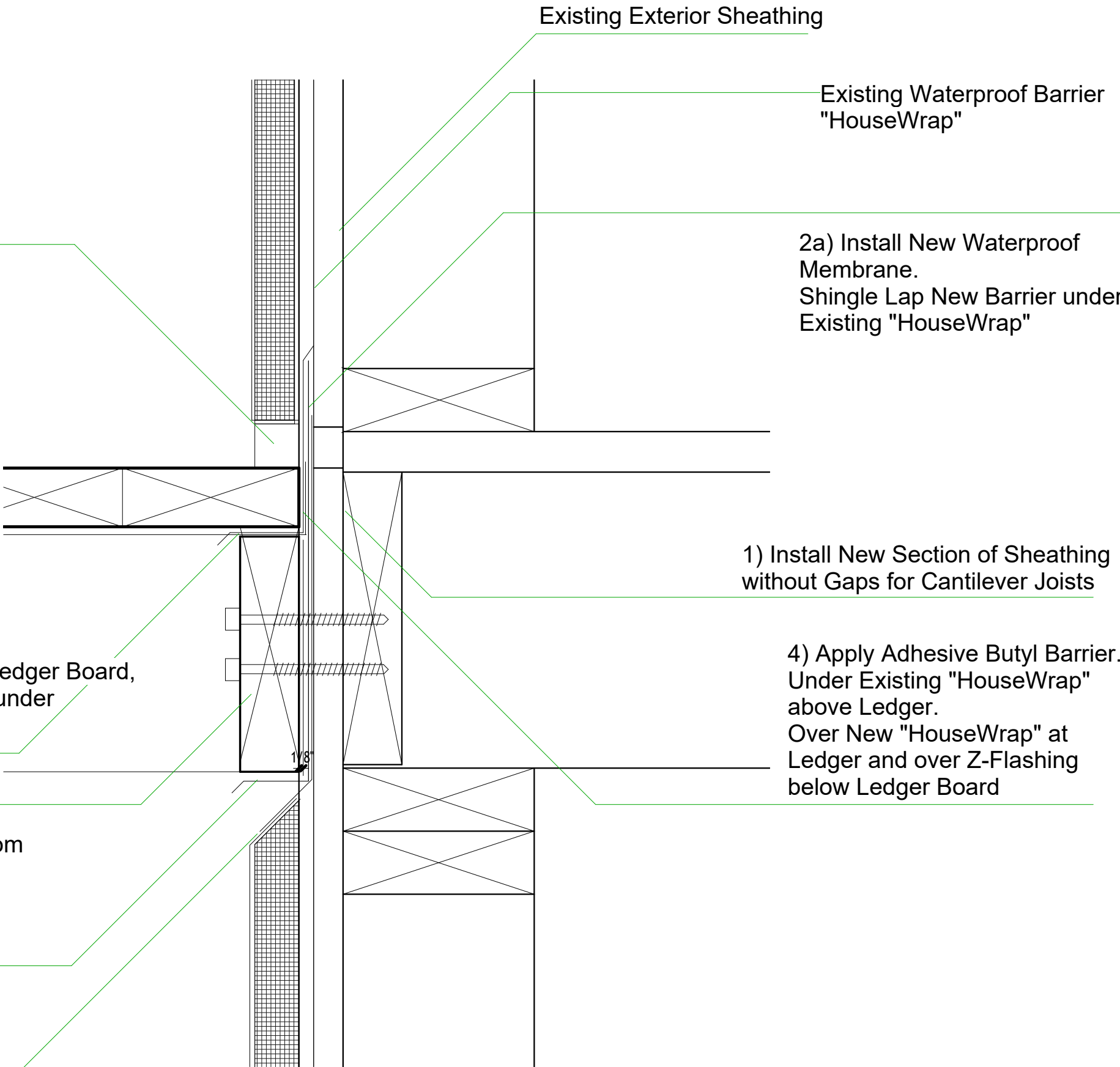
7) Fill/Trim out with PVC  
exterior board (White).  
White silicone caulk joints.

6) Install Z-Flashing Above Ledger Board,  
Installed in Shingle Fashion under  
Existing "HouseWrap"

5) Install Ledger Board

3) Install Z-Flashing for Bottom  
of Ledger Board. ~1/4" Gap  
Left between Bottom of  
Ledger Board and lip of  
Z-Flashing

2b) Overlap Existing Sloped  
Joint by >=1". Seal/Tie-in  
to Existing Slope Top with  
APOC 515 Liquid Flash



Deck Flashing Detail

SCALE: 3" = 1' 0"

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
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4			ISSUED FOR PERMIT
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IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

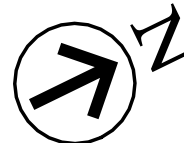
Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

Proposed Deck Plan



Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaller

ST-01

Scale As indicated

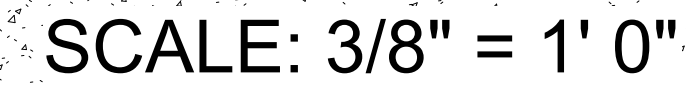
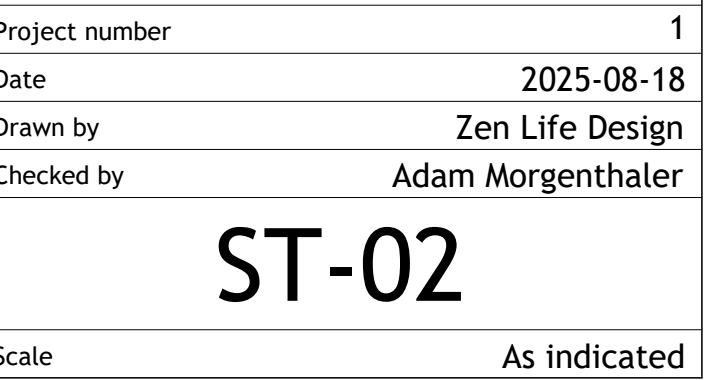


# 64' Long Second-Story Balcony Repair/Rebuild Project

41 Heltsey Pl, El  
Sobrante, CA 94803

---

## Foundation Layout Plan - Proposed Deck



Second Floor  
Perimeter Outline  
Indicated with  
Dashed Line

## EXISTING SLAB ON GRADE

F2

F1

SCALE: 3/4" = 1' 0"

F2

SCALE: 3/4" = 1' 0"

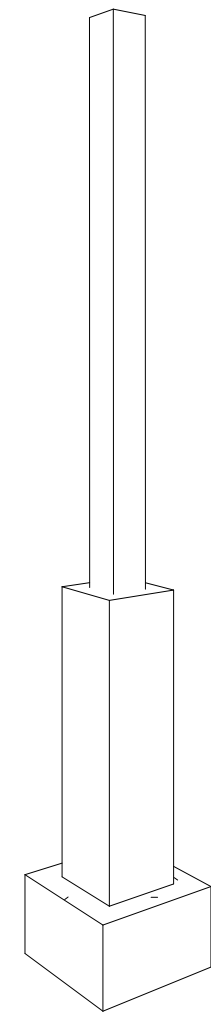
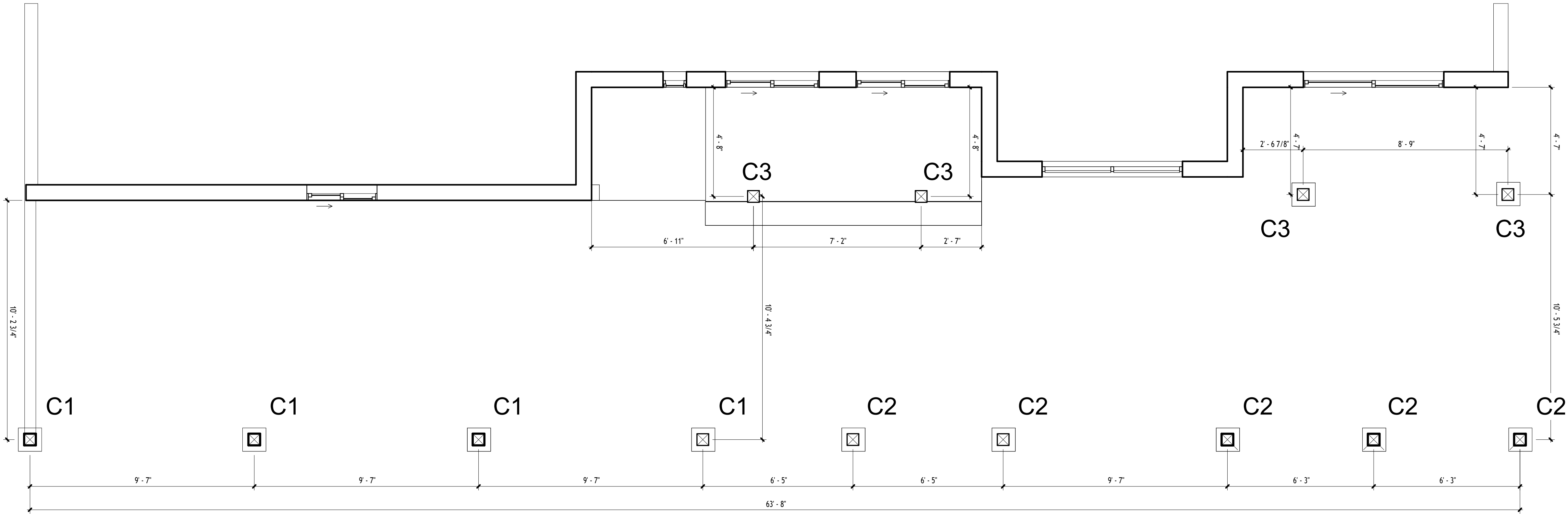
## Mounting Detail

For Outer Post Cap F1

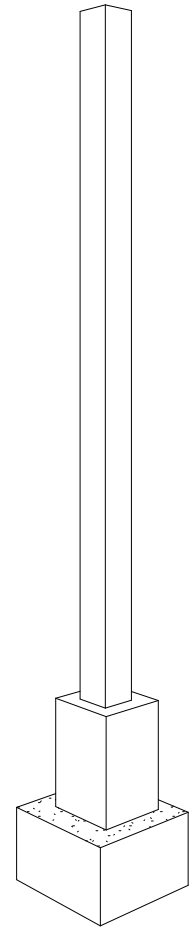
SCALE: 1" = 1' 0"

SCHEDULE OF FOOTING								
MARK	BASE SIZE	BASE HEIGHT	RISER SIZE	RISER HEIGHT	Concrete Strength	Finish/ Tretment	Reinforcement	NOTES
F1 (Outer)	20" x 20" Square	12"	12" x 12"	12" Below The Grade + 2' 8" Above The Grade	3000 PSI	Top: 1' 10" Flagstone Topper sloped away from post, Type M color Matched mortar Troweled to 2 deg. slope; 1/2" PVC nominal half- round for Drainage Sides: Stone Venner	#4 Bars Each Way in Base, #3 Vertical Bars, Hoops @ 6" O.C., See: Sheet CBQ66 or CPT66Z as Poat Anchor	Flagstone Topper glued atop post. Adjust post length for elevation change. Simpson CBQ66 or CPT66Z as Poat Anchor
F2 (Inner)	20" x 20" Square	12"	12" x 12"	12" Below The Grade + 6" Above The Grade	3000 PSI	Post Cast coated in color-matched Type M mortar. No veneer or stone topper. Top to be troweled sloped at 2 deg. outward for drinage around mounting bracket	#4 Bars Each Way in Base, #3 Vertical Bars, Hoops @ 6" O.C., See: Sheet S-01 Detail 7	Inner footing. Adjust post length for elevation change

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IS	RE	DATE
		DESCRIPTION



C1/C2



C3

SCHEDULE OF COLUMNS				
MARK	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C1	6"	6"	7' 10"*	6x6 Post Supporting D1 Outer coulmn Starting 2' 8" above ground
C2	6"	6"	8' 10"*	6x6 Post Supporting D2 Outer coulmn Starting 2' 8" above groundand
C3	6"	6"	10' 10"*	6x6 Post Supporting D2 Inner coulmn Starting 6" above groundand

\* Column Height may vary according to the distance between Footing  
Heigth and Deck Height

DATE & APPROVAL			
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IS	RE	DATE	DESCRIPTION

Project Name  
**64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project**

Project Address  
  
**41 Heltsey Pl, El  
Sobrante, CA 94803**

Project Description  
New posts to be installed.  
Post height dictated by footing type and height of deck. Deck has 2 levels (Refer to ST-07 D1 and D2).  
  
C1 corresponds to outer posts supporting deck at D1 height atop elevated footings.  
C2 corresponds to outer posts supporting deck at D2 height with elevated footings.  
C3 corresponds to inner posts supporting deck at D2 height with lower footings (See S-01 Detail 7)."

Sheet Title  
  
**COLUMN LAYOUT PLAN  
- Proposed Deck**

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler
<b>ST-03</b>	
Scale	3/8" = 1'-0"

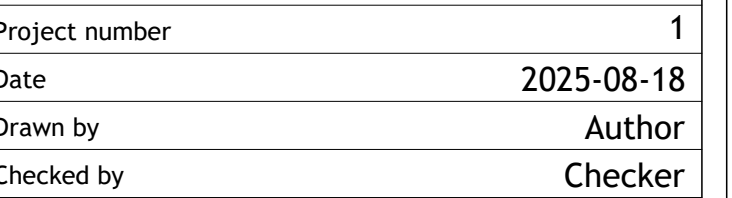




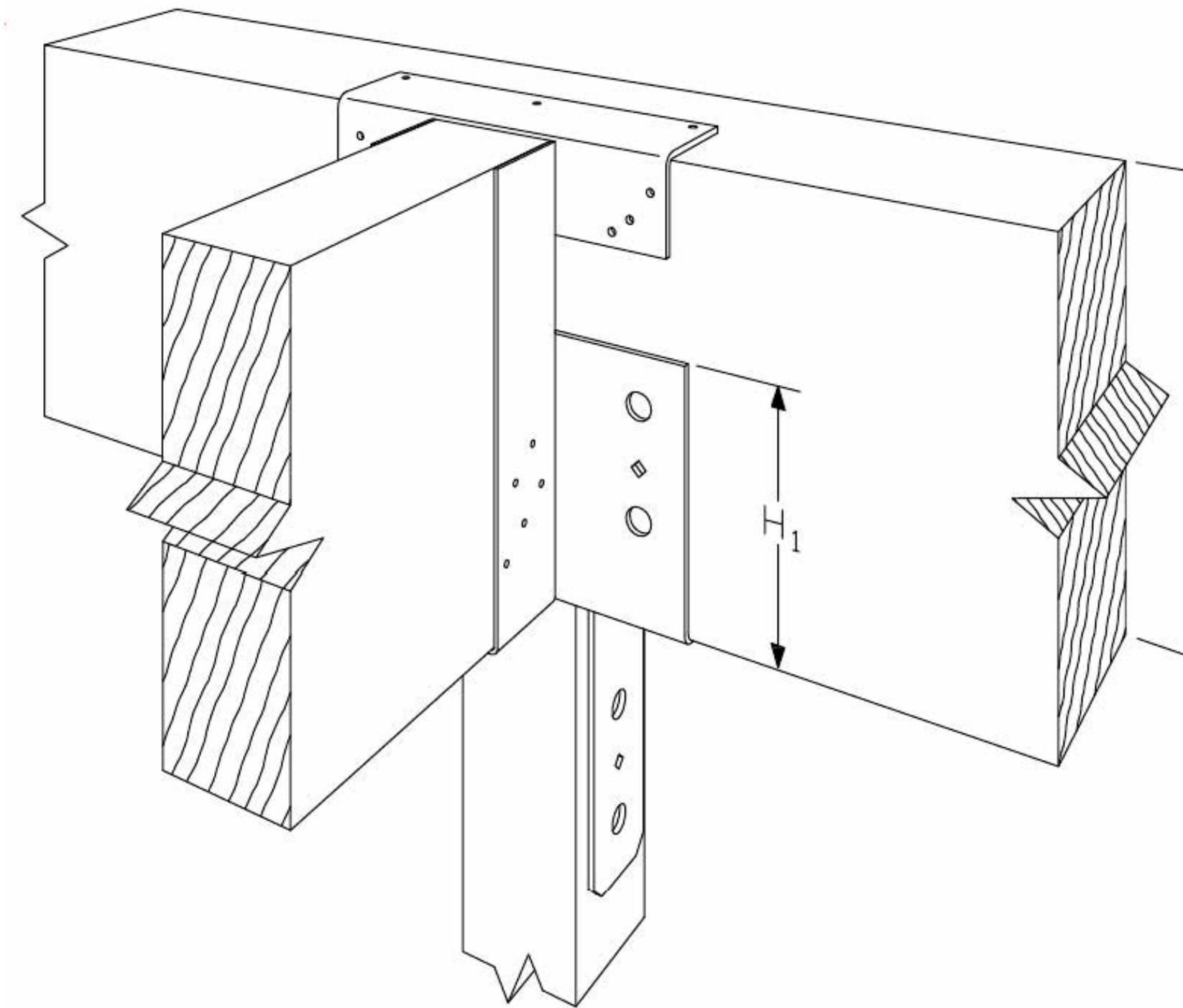
# 64' Long Second-Story Balcony Repair/Rebuild Project

41 Heltsey Pl, El  
Sobrante, CA 94803

## DECK FRAMING PLAN - JOISTS

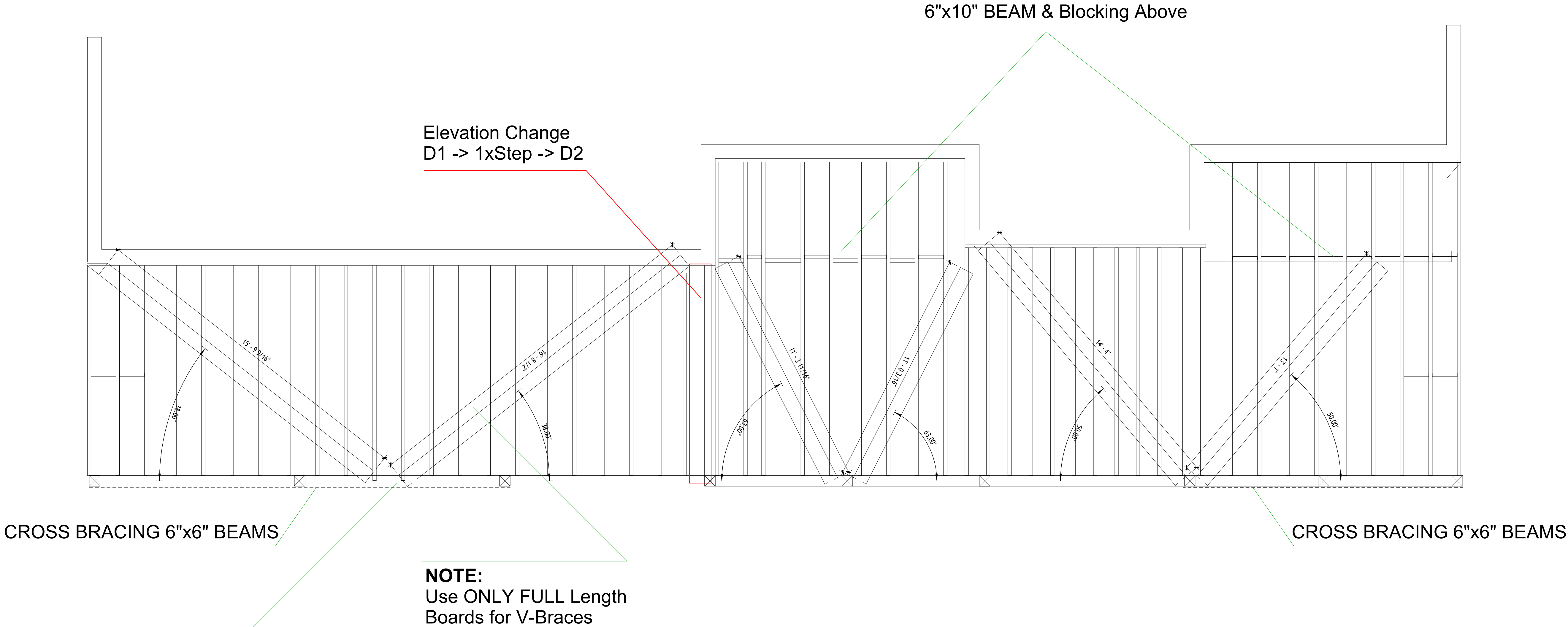


Scale	$3/8" = 1'-0"$
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IS	RE	DATE	DESCRIPTION

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IS	RE	DATE	DESCRIPTION



CROSS BRACING 6"x6" BEAMS

CROSS BRACING 6"x6" BEAMS

**NOTE:**  
Use ONLY FULL Length  
Boards for V-Braces

**NOTE:**  
Miter Cut Boards Flush  
with Interior Edge of Beam

DATE & APPROVAL

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IS	RE	DATE DESCRIPTION

Project Name  
**64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project**

Project Address  
**41 Heltsey Pl, El  
Sobrante, CA 94803**

Project Description

Sheet Title  
**DECK FRAMING PLAN -  
DIAGONAL BRACING**



Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaler  
**ST-06**  
Scale 3/8" = 1'-0"



SCALE: 3/8" = 1'

Elevation Change  
D1 -> 1xStep -> D2

DETAIL 2

DETAIL 1

DETAIL 3

2"x2" POST

2"x2" POST

HTT4HDG

HTT4HDG

HTT4HDG

DETAIL 1  
SCALE: 1 1/2" = 1'

DETAIL 2  
SCALE: 1 1/2" = 1'

DETAIL 3  
SCALE: 1 1/2" = 1'

DATE & APPROVAL

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Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

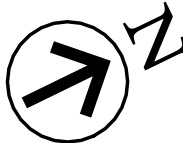
Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

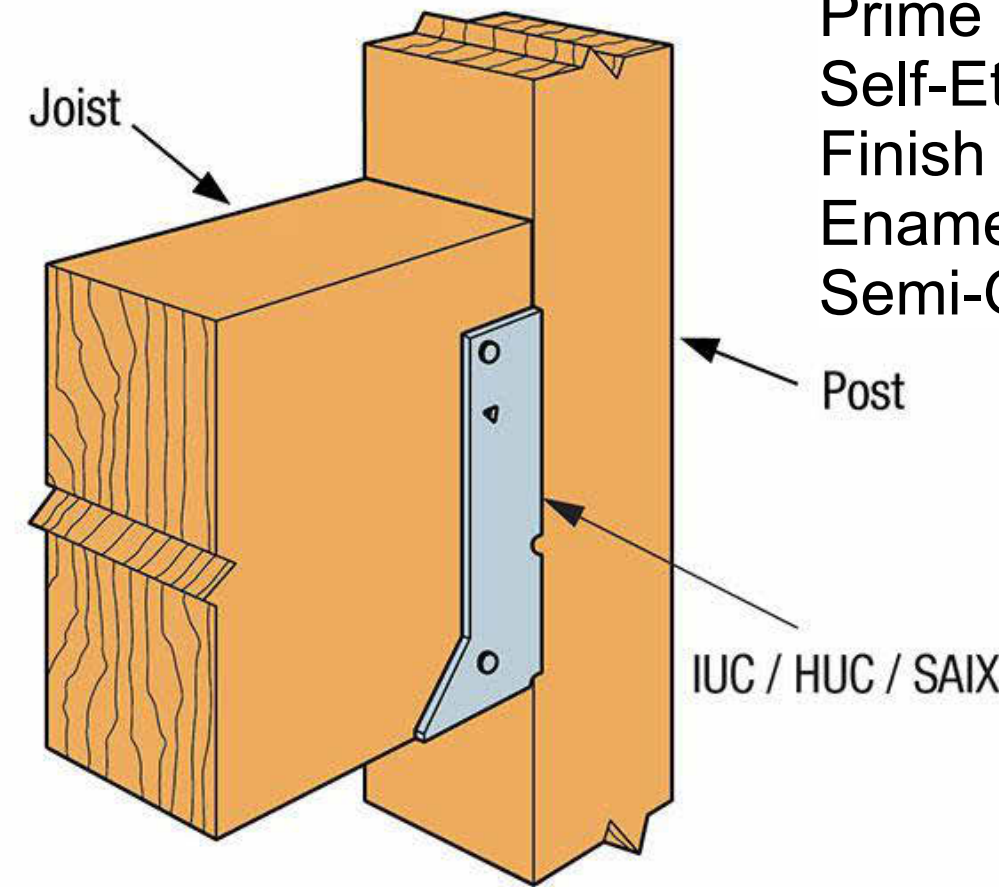
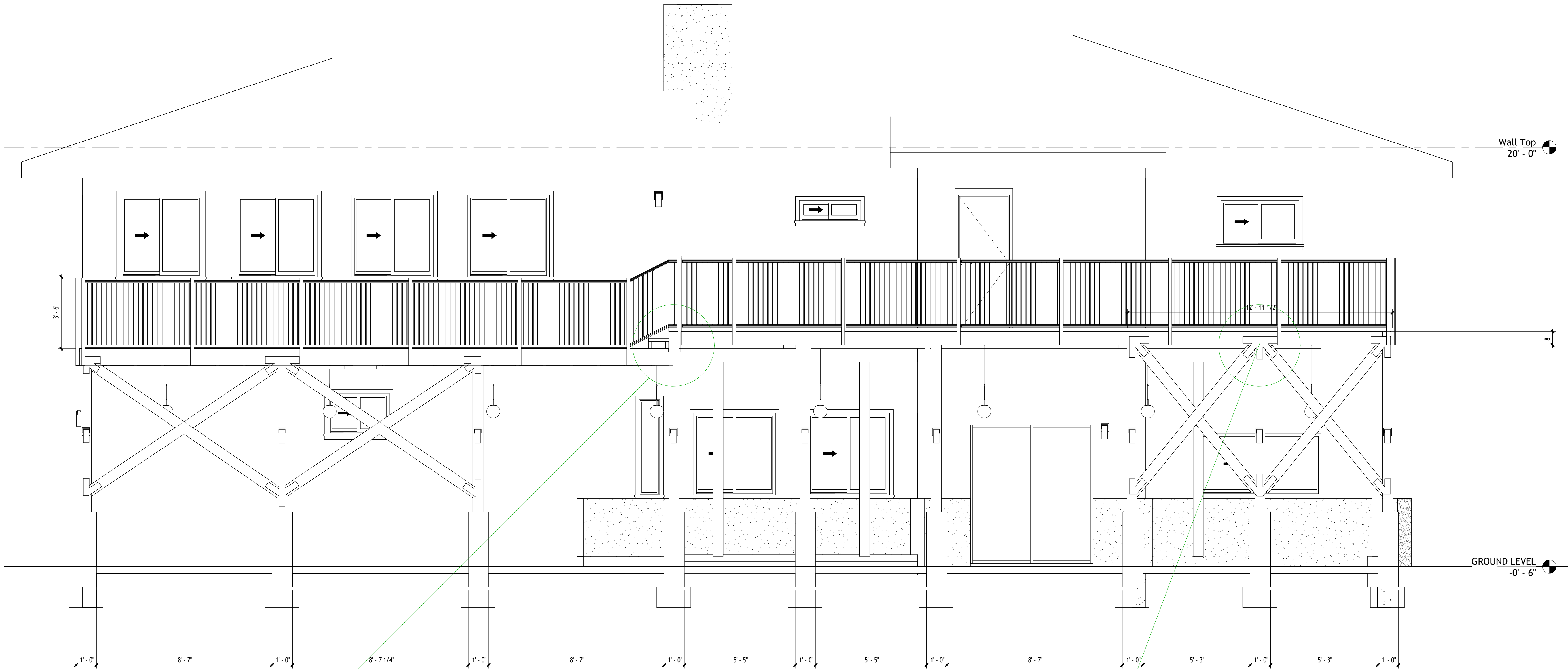
DECKING BOARDS &  
RAILING PLAN



Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaler

ST-07

Scale As indicated



SIMPSON Strong-Tie®  
IUC/HUC/SAIX Installation  
on a Post

**NOTE:**  
Prime with Seymour PBE  
Self-Etch Black Primer.  
Finish with Seymour Hi-Tech  
Enamel Spray Paint -  
Semi-Gloss Black



DATE & APPROVAL

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IS	RE	DATE DESCRIPTION

Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

FRONT ELEVATION

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

Adam Morgenthaler

ST-08

Scale

3/8" = 1'-0"





Project Name  
**64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project**

Project Address  
**41 Heltsey Pl, El  
Sobrante, CA 94803**

Project Description

Sheet Title  
**SIDE ELEVATION**

Project number 1  
Date 2025-08-18  
Drawn by Zen Life Design  
Checked by Adam Morgenthaler

**ST-09**

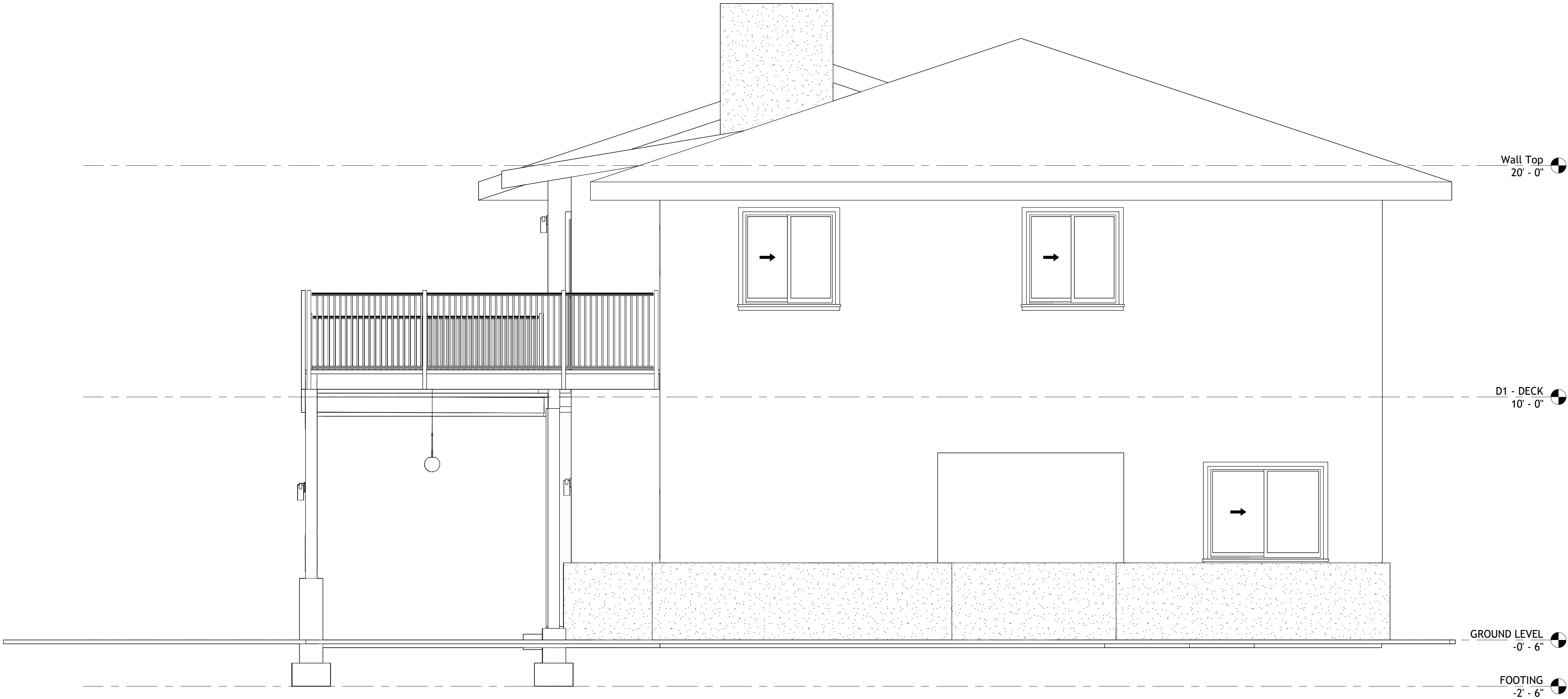
Scale 3/8" = 1'-0"



DATE & APPROVAL

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IS	RE	DATE	DESCRIPTION





Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description

Sheet Title

SIDE ELEVATION

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

Adam Morgenthaler

ST-10

Scale

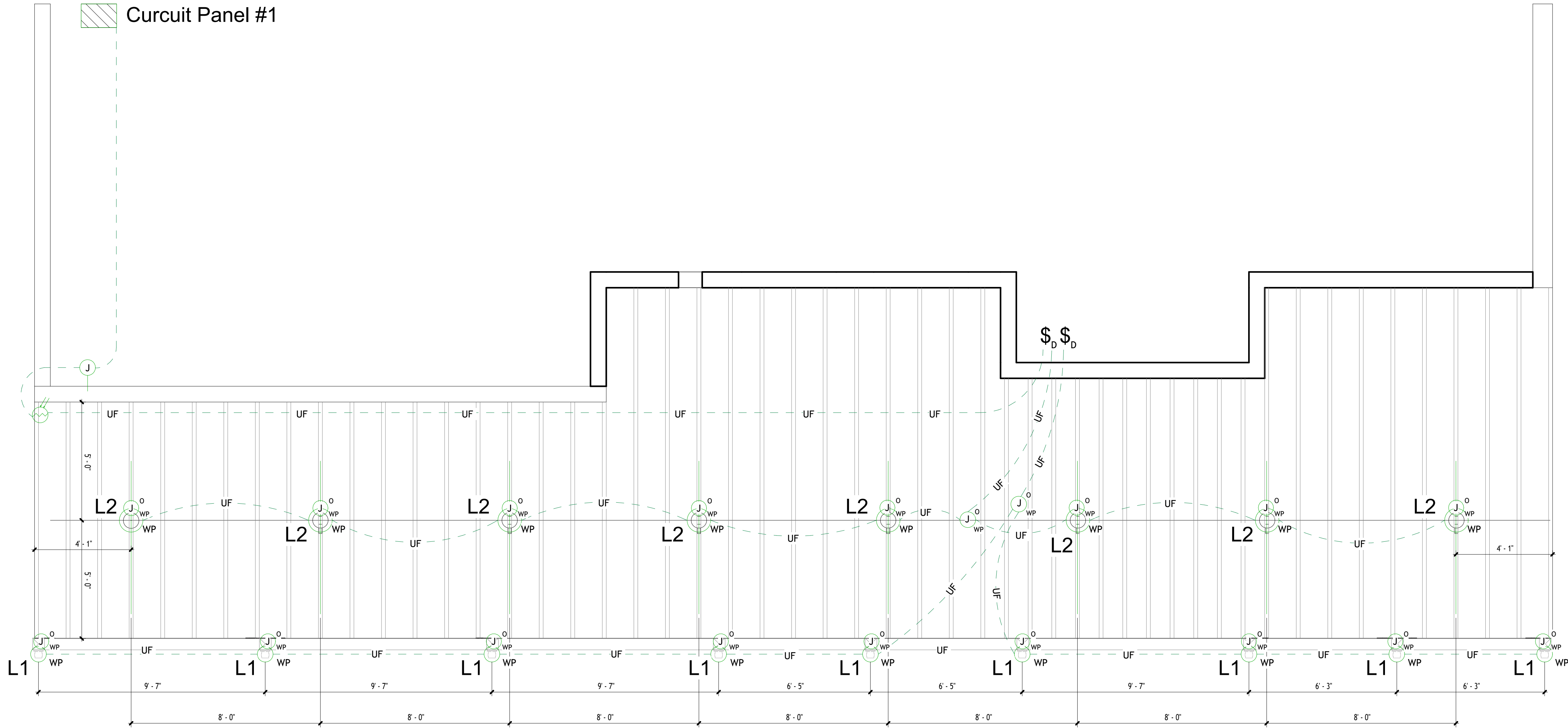
3/8" = 1'-0"

DATE & APPROVAL



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IS	RE	DATE DESCRIPTION







SCHEDULE OF LIGHTING

MARK	VISUAL	COUNT	DISCRIPTION	Watts MAX	SUBTOTAL Watts	Volts	TOTAL Watts	TOTAL Amps
L1		9	Outdoor Wall Sconce Matte Black with Clear Glass	60	540	120	1,020	8.5
L2		8	Glass Globe Pendants	60	480			



DATE & APPROVAL

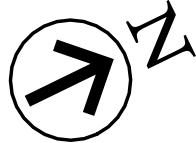
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IS	RE	DATE
		DESCRIPTION

Project Name  
**64' Long Second-Story Balcony Repair/Rebuild Project**

Project Address  
**41 Heltsey Pl, El Sobrante, CA 94803**

Project Description  
Summary of Scope:  
Supply: 120 Vac  
Bulbs: A19, E26, dimmable, 4000K neutral white, ~100 W equivalent (≈ 1600 lm)  
Total fixtures: 17  
Total run length (loop out and back to switch): ~150 ft  
Installation:  
Exterior/under-deck; use outdoor-rated junction boxes, fittings, and UF cable staples/clamps  
Photocell mounted on canopy/box with swivel stem aimed away from fixture light.

Sheet Title  
**Lights Layout Plan**

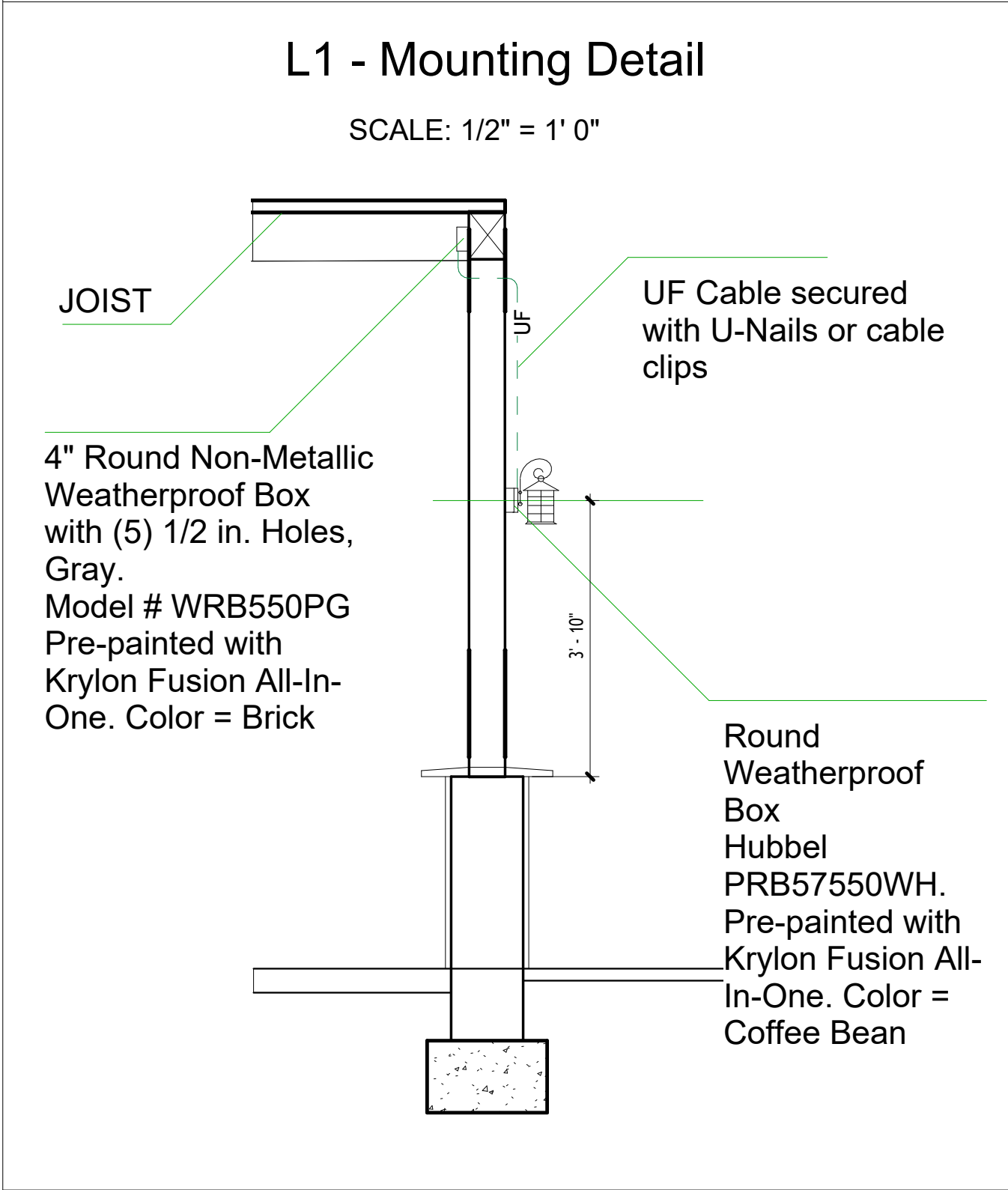


Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler
<b>EL-01</b>	
Scale	3/8" = 1'-0"



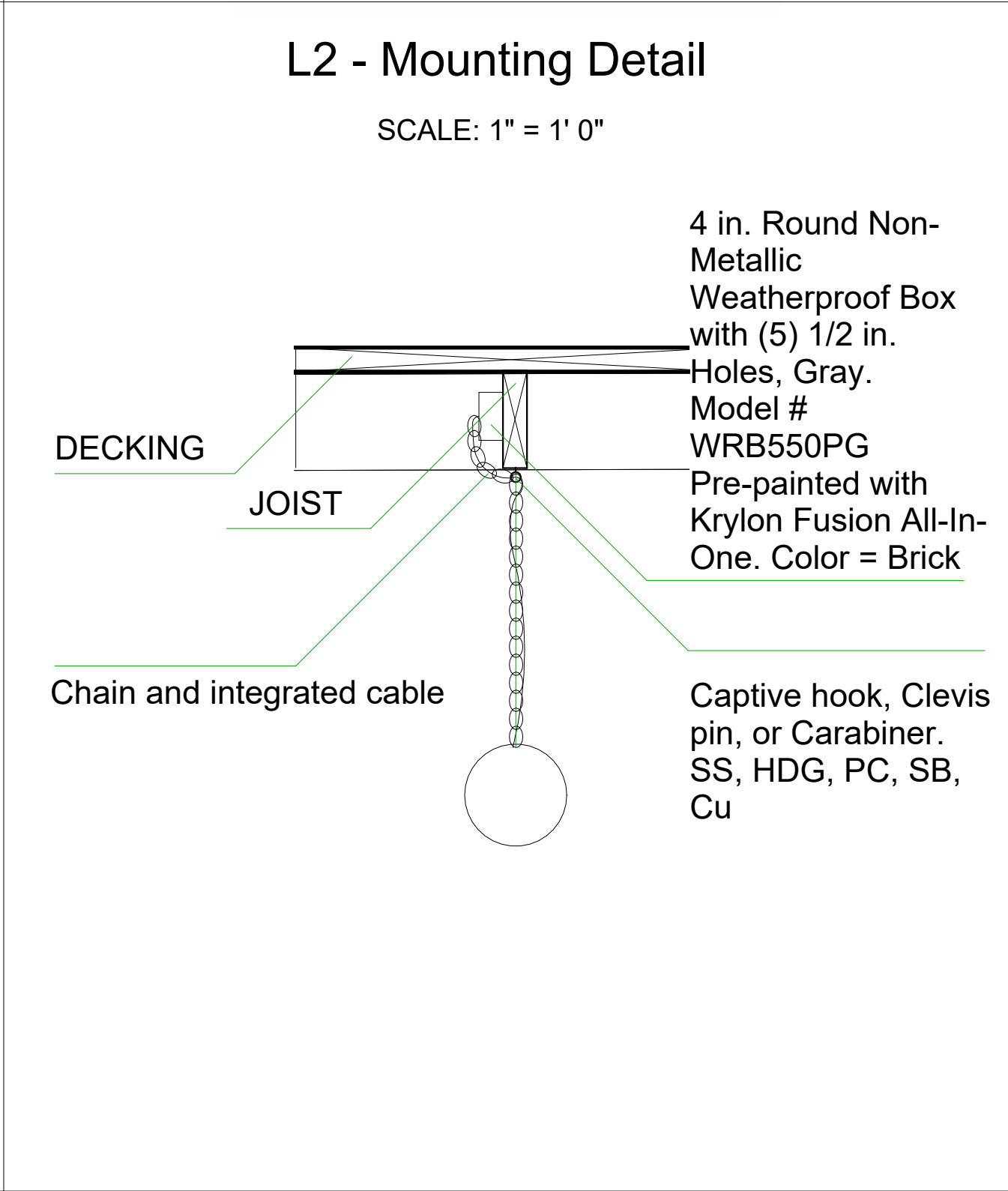
L1

**Brand:** Home Decorators Collection  
**Model:** Brimfield 3-Light Outdoor Wall Lantern Sconce  
**Product ID:** 204294432  
**Materials:** Metal; Glass/Lens Type: Seedy  
**Finish:** Aged Iron  
**Shade:** Clear Seeded Glass panels  
**Fixture dimensions (body):** 11" D x 9" W x 17.38" H  
**Weight:** 6.33 lb  
**Mounting type:** Wall mount; Sconce Type: Wall Lantern  
**Location rating:** Outdoor; Water Resistant, Waterproof, Weather Resistant; UL Listed (1-UL Listed)  
**Voltage:** 120V  
**Power type:** Hardwired  
**Socket/base:** E26  
**Max wattage:** 60 W  
**Dimming:** With compatible dimmable bulb  
**Light sources supported:** Incandescent, L



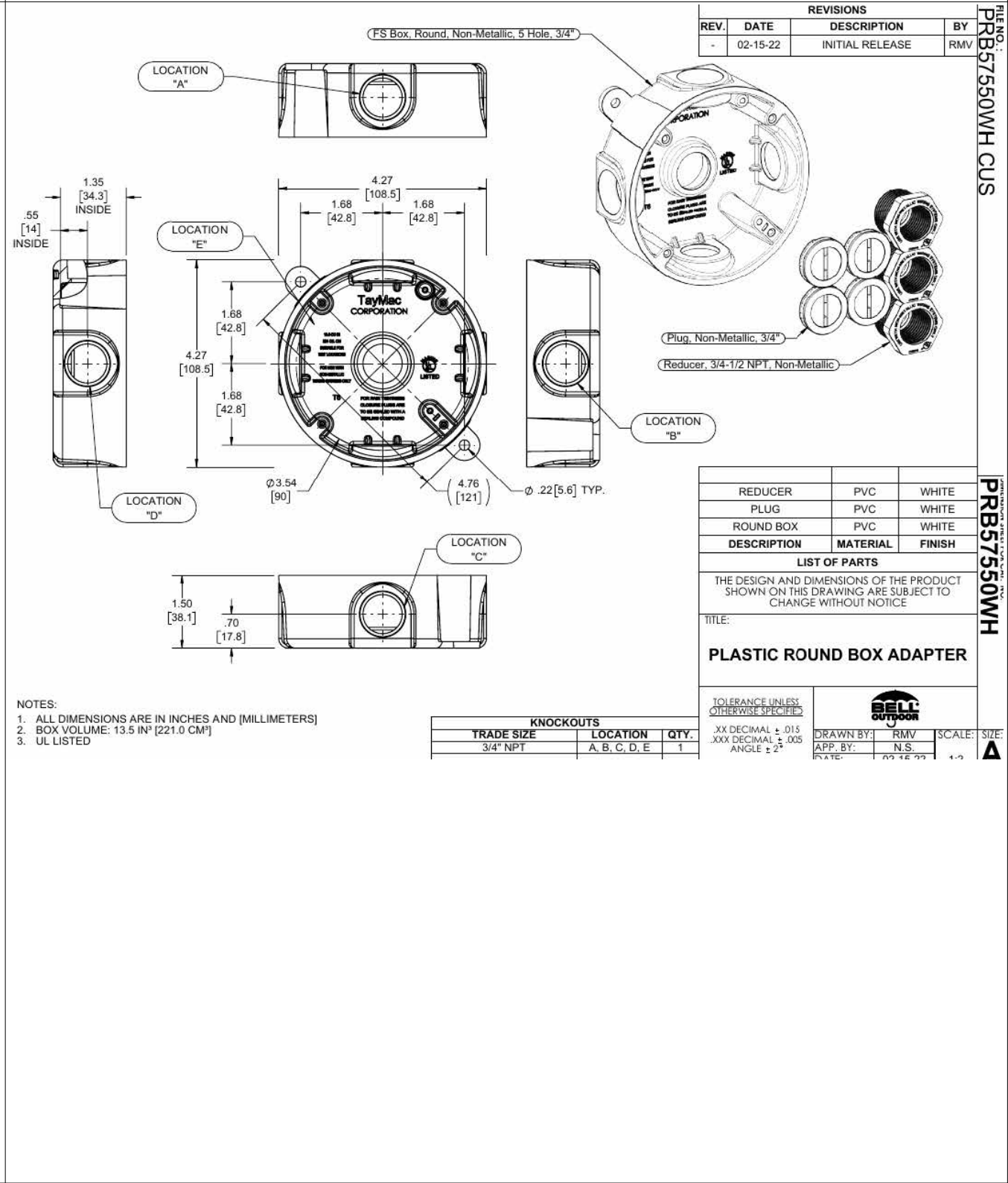
L2

**Brand:** Zanritelit  
**Model:** 006outdoor pendant light  
**ASIN:** B0CRYBQW1G  
**Materials:** Aluminum, Glass  
**Finish:** Sand Black (matte)  
**Shade:** Amber Glass, Globe  
**Fixture dimensions (body):** 9.1" L x 9.1" W x 13" H  
**Overall height (max):** 35.03" (with chain)  
**Chain length:** 20" adjustable  
**Canopy diameter:** 4"  
**Weight:** 3.69 lb  
**Mounting type:** Ceiling mount; hanging  
**Location rating:** IP65  
**Voltage:** 120 V  
**Power type:** Hardwired  
**Socket/base:** E26  
**Max wattage:** 60 W  
**Dimming:** With compatible dimmable bulb  
**Light sources supported:** LED, CFL, incandescent, halogen



Junction Boxes

**Make:** BELL  
**Model:** PRB57550WH  
**Internet/SKU:** 202284522  
**Material:** Nonmetallic, high-impact PVC  
**Color/finish:** White  
**NEMA rating:** NEMA 3R (raintight; protects from rain, sleet, dust; not submersible)  
**Listing:** UL Listed  
**Volume:** 13.5 in<sup>3</sup> (221 cm<sup>3</sup>)  
**Product dimensions:** H 4.38 in × W 4.25 in × D 1.13 in  
**Outlet/entry count:** 5 outlets  
**Thread sizes supported:** 3/4 in NPT at A, B, C, D, E locations; includes reducers for 1/2 in  
Mounting: Box with integral hubs; includes ground screw installed  
**Cover/fixture compatibility:** Houses cluster covers and lampholders; can be used as a weatherproof junction box



Photocell

**Make:** Intermatic  
**Model:** K4221C  
**Internet/SKU:** Varies by distributor; Intermatic catalog K4221C  
**Material:** UV-resistant polycarbonate housing; stainless hardware; cadmium sulfide (CdS) photo sensor; bimetallic thermal switch  
**Color/finish:** Gray housing with black swivel/stem hardware  
**NEMA rating:** Raintight; suitable for wet locations when properly installed (typical use on outdoor luminaires and boxes)  
**Listing:** UL Listed (UL 773), cCSAus; California Title 20 compliant  
**Voltage/frequency:** 120 VAC, 50/60 Hz  
**Load ratings:** 15 A tungsten (1800 W) at 120 V; 8.3 A, 1000 VA magnetic ballast at 120 V  
**Control type:** Thermal (bimetal), SPST; fail mode ON; built-in 30–90 s turn-on/turn-off time delay to prevent nuisance switching  
**Light levels:** Turn ON approx. 1–5 fc; Turn OFF approx. 3–15 fc (factory set)  
**Stem/thread:** 1/2"-14 NPSM threaded stem with swivel mount; includes gasket and locknut  
**Leads:** 9 in. (approx.) 18 AWG wire leads  
**Temperature range:** –40 °C to +70 °C operating  
**Mounting:** Stem-and-swivel through 1/2" threaded hub/opening on a weatherproof box or luminaire; aim sensor away from stray light  
**Cover/fixture compatibility:** For outdoor luminaires, junction and lampholder boxes; compatible with 1/2" hubs on weatherproof boxes (use supplied gasket/locknut)



DATE & APPROVAL

8		
7		VALUE ENGINEERING REVISIONS
6		ISSUED FOR ISSUANCE OF PERMIT
5		ISSUED FOR PRICING
4		ISSUED FOR PERMIT
3	C	2025-08-18 ISSUED FOR OWNER REVIEW
2	B	2025-08-05 ISSUED FOR OWNER REVIEW
1	A	2025-07-21 ISSUED FOR OWNER REVIEW
IS	RE	DATE DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Summary of Scope:

Supply: 120 Vac

Bulbs: A19, E26, dimmable, 4000K neutral white, ~100 W equivalent (≈ 1600 lm)

Total fixtures: 17

Total run length (loop out and back to switch): ~150 ft

Installation:  
Exterior/under-deck; use outdoor-rated junction boxes, fittings, and UF cable staples/clamps

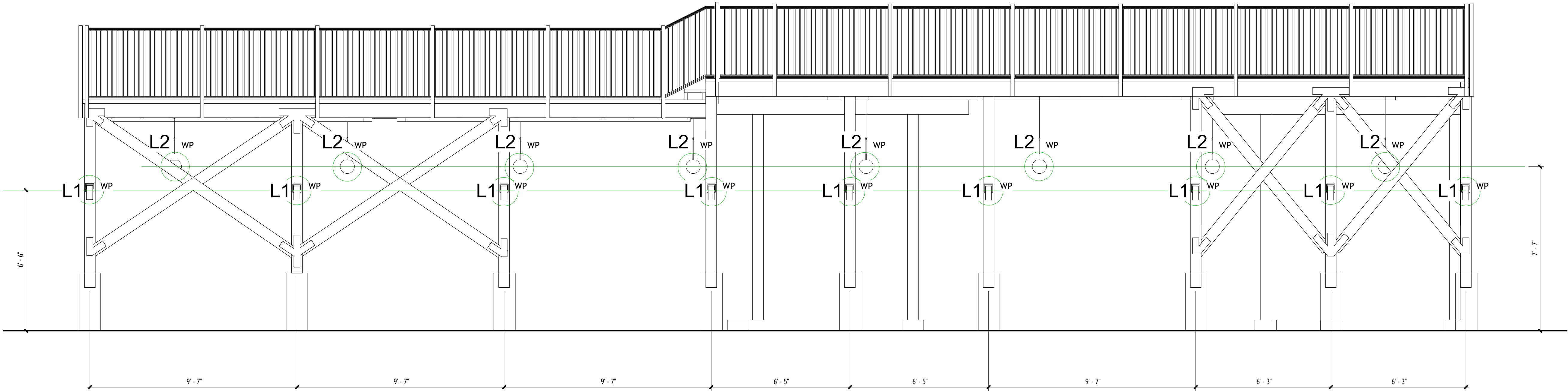
Photocell mounted on canopy/box with swivel stem aimed away from fixture light.

Sheet Title

Lights Detail

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler
EL-02	
Scale	As indicated





Project Name

64' Long Second-Story  
Balcony  
Repair/Rebuild  
Project

Project Address

41 Heltsey Pl, El  
Sobrante, CA 94803

Project Description



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IS	RE	DATE DESCRIPTION

Sheet Title

Lighting Layout  
Elevation

Project number

1

Date

2025-08-18

Drawn by

Zen Life Design

Checked by

Adam Morgenthaler

EL-03

Scale

3/8" = 1'-0"