



CONTRA COSTA COUNTY

AGENDA - PUBLISHED

Alamo Municipal Advisory Council

Tuesday, June 3, 2025

5:00 PM

Alamo Women's Club - 1401 Danville
Blvd.

Land Use Subcommittee Meeting

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Council.

1. Roll Call and Introductions
2. Public comment on any item under the jurisdiction of the Council and not on this agenda (speakers may be limited to two minutes).

3 CDVR24-01005

[25-2079](#)

Attachments: [CDVR25-01005 - 1524 Manning](#)
[Design Review Rev 0509-1524 Manning Ln Planset](#)

4 Adjourn

The Council will provide reasonable accommodations for persons with disabilities planning to attend the Council meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Council less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Cameron Collins at Cameron.Collins@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-2079

Agenda Date: 6/3/2025

Agenda #: 3

Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01005 - 1524 Manning

Contact: Everett Louie, Everett.Louie@dcd.cccounty.us <<mailto:Everett.Louie@dcd.cccounty.us>>

Information:

The applicant requests a variance, tree permit and small lot design review for the demolition of an existing single-family located at a 13'-2" secondary frontage (where 20' is the minimum), and a 27' side yard aggregate (where 35' is the minimum) and a 5' side yard minimum (where 15' side yard is the minimum) and a tree permit to work within the dripline of a 60" tree (vacant lot) and a small lot design review for the construction of a 5,202 square foot new single family residence on a substandard parcel size.

Recommendation(s)/Next Step(s):

The Alamo MAC is a recommending body only.



AGENCY COMMENT REQUEST

Date 02/04/2025

We request your comments regarding the attached application currently under review.

<u>DISTRIBUTION</u>	
<u>INTERNAL</u>	
<input checked="" type="checkbox"/> Building Inspection	Grading Inspection
Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
County Geologist	
<u>HEALTH SERVICES DEPARTMENT</u>	
<input checked="" type="checkbox"/> Environmental Health	Hazardous Materials
<u>PUBLIC WORKS DEPARTMENT</u>	
Engineering Services	Special Districts
Traffic	
Flood Control (Full-size)	
<u>LOCAL</u>	
<input checked="" type="checkbox"/> Fire District _____	
<input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov	
Consolidated – (email) fire@cccfdpd.org	
<input checked="" type="checkbox"/> Sanitary District <u>Central San</u>	
<input checked="" type="checkbox"/> Water District <u>EBMUD</u>	
City of _____	
School District(s) _____	
LAFCO	
Reclamation District # _____	
East Bay Regional Park District	
Diablo/Discovery Bay/Crockett CSD	
<input checked="" type="checkbox"/> MAC/TAC <u>Alamo</u>	
<input checked="" type="checkbox"/> Improvement/Community Association	
<input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)	
<u>OTHERS/NON-LOCAL</u>	
CHRIS (email only: nwic@sonoma.edu)	
CA Fish and Wildlife, Region 3 – Bay Delta	
Native American Tribes	
<u>ADDITIONAL RECIPIENTS</u>	
AIA	

Please submit your comments to:

Project Planner Everett Louie

Phone # 925-655-2873

E-mail everett.louie@dcd.cccounty.us

County File # CDVR25-01005

Prior to March 4, 2025

We have found the following special programs apply to this application:

<input type="checkbox"/> Landslide	Active Fault Zone (A-P)
<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area
<input checked="" type="checkbox"/> 60-dBA Noise Control	
CA EPA Hazardous Waste Site	
High or Very High FHSZ	

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01005

File Date: 2/4/2025

Applicant:

Javaid Noorzad
1524 MANNING LN
ALAMO, CA 94507

javid.m.noorzad@kp.org
(510) 458-4777

Property Owner:

JAVOID & JOCELY NOORZAD
1524 MANNING LN
ALAMO, CA 945071028

javid.m.noorzad@kp.org
(510) 458-4777

Project Description:

The applicant requests a variance, tree permit and small lot design review for the demolition of an existing single-family located at a 13'-2" secondary frontage (where 20' is the minimum), and a 27' side yard aggregate (where 35' is the minimum) and a 5' side yard minimum (where 15' side yard is the minimum) and a tree permit to work within the dripline of a 60" tree (vacant lot) and a small lot design review for the construction of a 5,202 sf new single family residence on a substandard parcel size.

Project Location: (Address: 1524 MANNING LN, ALAMO, CA 945071028), (APN: 191040028)

Additional APNs:

General Plan Designation(s): RL

Zoning District(s): R-20

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

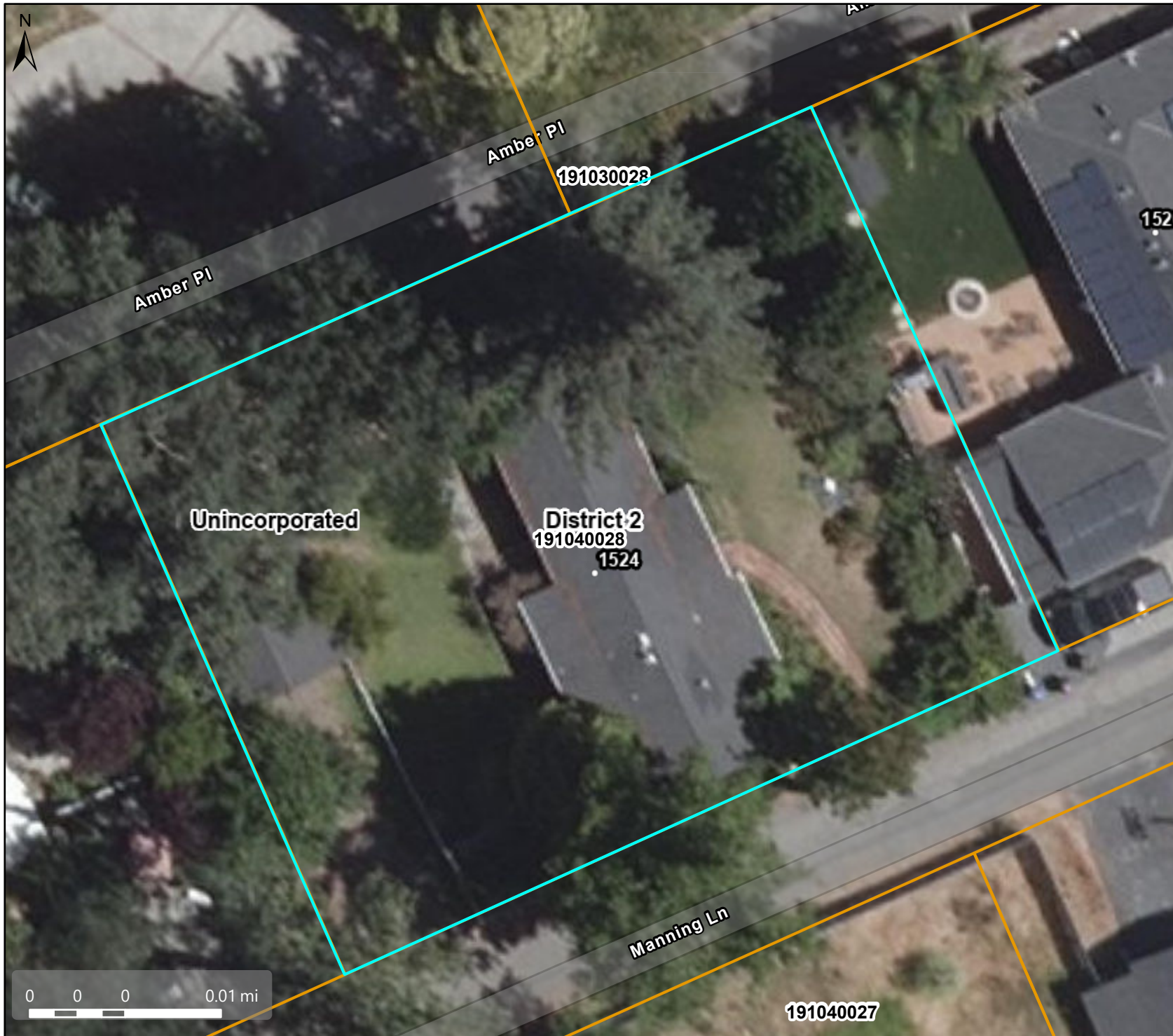
Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3280.00	3280.00

Aerial



Map Legend

Assessment
Parcels

Planning Layers (DCD)

Unincorporated
 Board of
Supervisors'
Districts

Base Data

Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Spheroid
Datum: WGS 1984



Map Legend

Assessment
Parcels

Planning Layers
(DCD)

General Plan

RL (Residential
Low Density)
(1-3 du/na)

Unincorporated

Board of
Supervisors'
Districts

Base Data

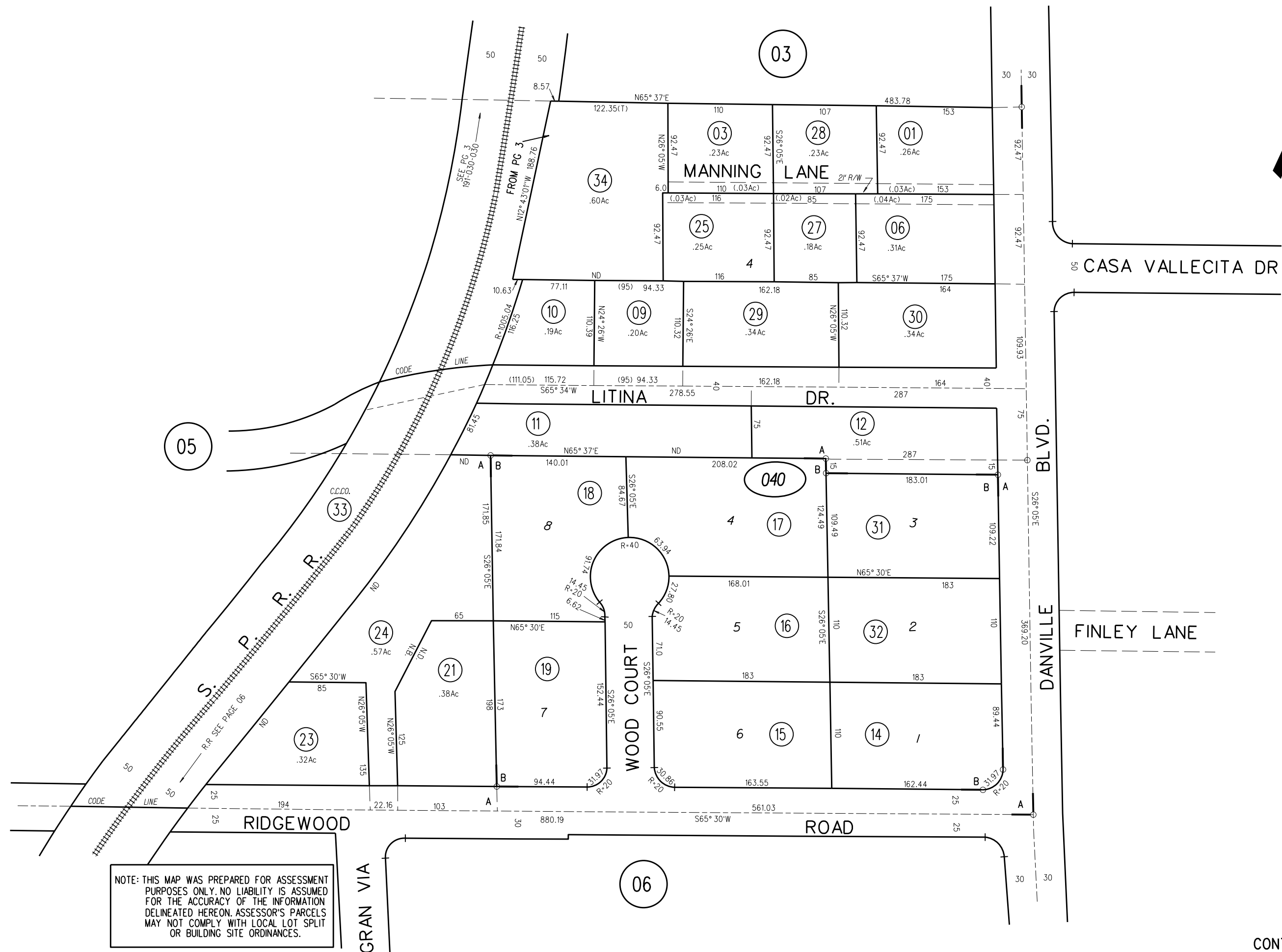
Address Points

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Spheroid
Datum: WGS 1984

A- LITINA HOMESTEAD - POR. LOTS 4-5 225-20 DEEDS
B- RIDGEWOOD ACRES 33-9



1" = 100'

$$\frac{P \ B}{192}$$

040 34
11/17/14

(6-74) 4-18
ASSESSOR'S MAP
BOOK 191 PAGE 4
CONTRA COSTA COUNTY, CALIF
Sanborn Date : 02/01/1999

Zoning - R-20



Map Legend

Assessment
Parcels

Planning Layers
(DCD)

Zoning

ZONE_OVER

R-20 (Single
Family
Residential)

Unincorporated

Board of
Supervisors'
Districts

Base Data

Address Points

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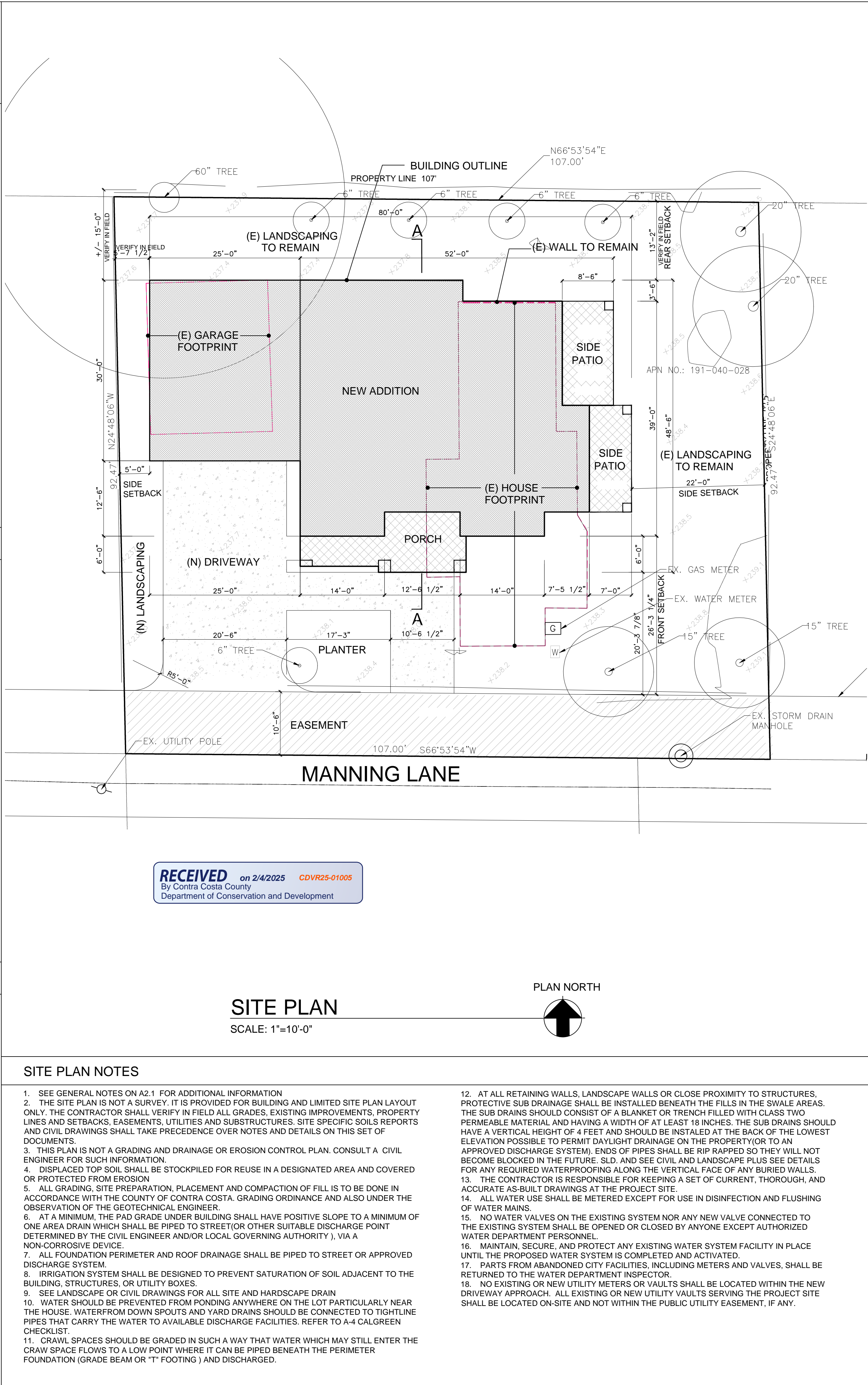
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

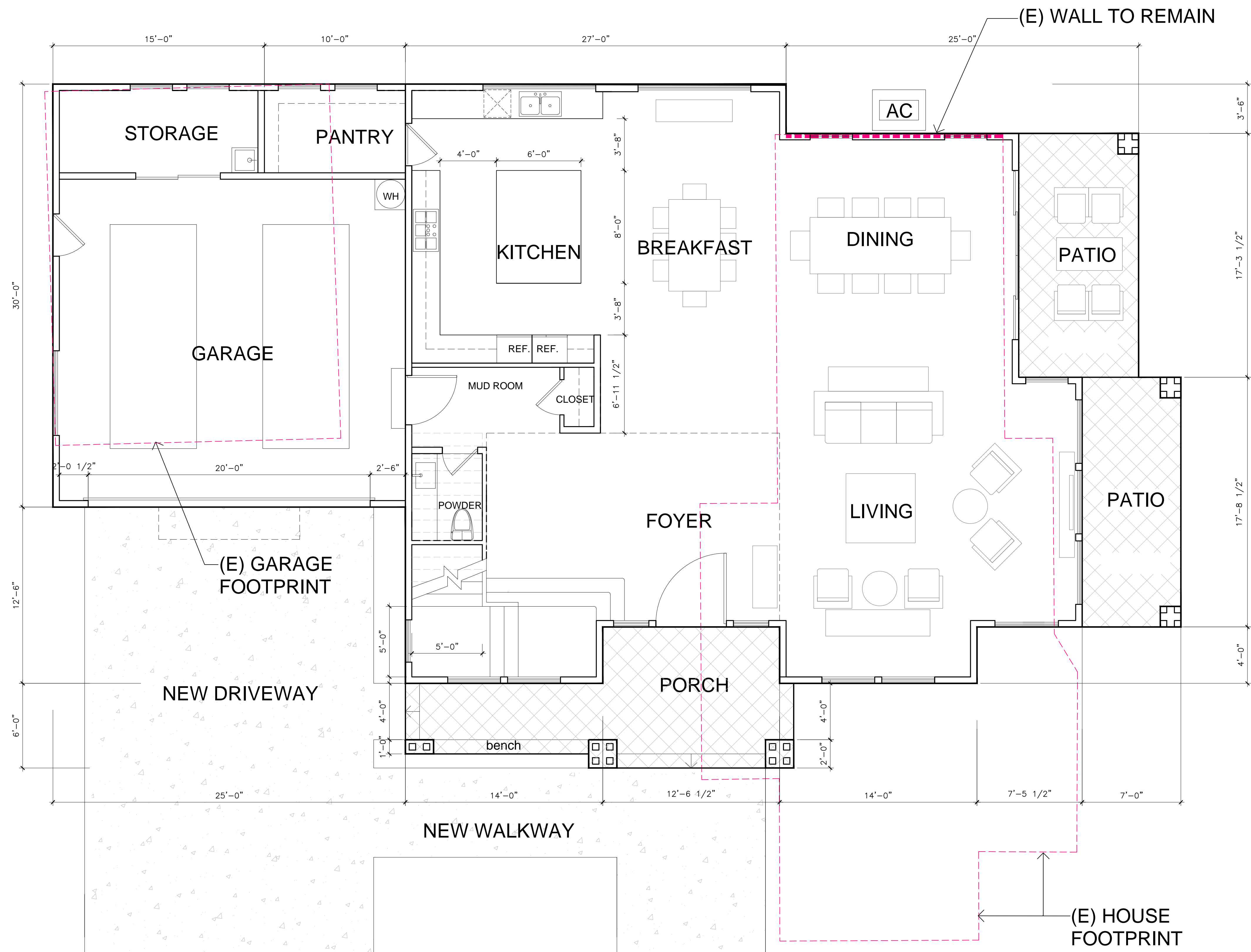
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Spheroid
Datum: WGS 1984

1524 MANNING LN., ALAMO
A RESIDENTIAL EXPANSION PROJECT



VICINITY MAP		PROJECT DIRECTORY	PROJECT INFO.
		<p>Owner : Javaid and Jocelyn Noorzad 1524 Manning Ln., Alamo, CA 94507 Email: jocelynnoorzad@gmail.com Phone #: 510-600-5100</p> <p>Architect: LNX Architecture inc. Address: 6710 Corte Snata Maria, Pleasanton, CA 94566 Responsible Person: Yuan Lin, Architect Phone#: 925 357 5801 Email: yuanlin29@yahoo.com</p>	<p>LOCATION: 1524 Manning Ln., Alamo, CA 94507 APN: 191-040-028-0 ZONING: R-20 LOT SIZE: 9,889 SF CONSTRUCTION TYPE: TYPE V/B; SPRINKLERED OCCUPANCY GROUP: R-3/U(garage)</p> <p>(E) HOUSE: 1140 SF (E) LIVING AREA: 1140 SF (E) GARAGE AREA: 488 SF (E) BUILDING FOOT PRINT: 1745 SF</p> <p>(N) ADDITION: 1876 SF (N) 1ST FLOOR: 2332 SF (N) 2ND FLOOR: 2332 SF (N) TOTAL MAIN HOUSE LIVING AREA: 4208 SF</p> <p>(N) GARAGE AREA: 673 SF (N) COVERED FRONT PORCH : 202 SF</p>
ABBREVIATIONS		CODE COMPLIANCE:	
<p>&: And @: At ABV: Above AC: Air Conditioning, Acoustical ADH: Adhesive ADJ: Adjust, Adjustable, Adjacent AFF: Above Finished Floor AGA: American Gas Association ALT: Alternate, Alteration; Altitude BR: Bedroom, CLG: Ceiling CLO.: CLEAN-OUT CSMT: CASEMENT DTL: DETAIL E: EXISTING ELEC.: ELECTRICAL GA: Gauge, Gage GAL: Gallon GC: General Contractor GFCI: Ground Fault Circuit Interrupted GLZ: Glaze GPH: Gallons Per Hour GVL: Gravel GYP: Gypsum GYP BD: Gypsum Board INSTL.: Install N: NEW OPT.: OPTIONAL PNL.: PANEL S.D.: STRUCTURAL DRAWING SH: SINGLE HUNG U.O.N.: Unless Otherwise Noted V.C.T.: Vinyl Composition Tile V.I.F.: VERIFY IN FIELD VERT.: Vertical VYL: Vinyl WD: Wood WDW: Window W.P.M: Water Proofing Membrane WT: Weight YD: Yard</p>		<p>2022 CBC,CMC,CPC,CEC, CRC, CFC 2022 CAL GREEN STANDARDS 2022 CALIFORNIA ENERGY CODE CONTRA COSTA CO. CODES/ORDINANCES</p>	
GRAPHIC SYMBOL LEGEND		DRAWING DIRECTORY	
<p>WORK POINT, CONTROL POINT OR DATUM POINT INDICATION DETAIL NUMBER DETAIL CUT INDICATOR SHEET LOCATION DETAIL AREA CUT</p> <p>ELEVATION VIEW ELEVATION NUMBER SHEET LOCATION</p> <p>BUILDING SECTION LETTER SHEET LOCATION</p> <p>FULL BUILDING SECTION PARTIAL BUILDING SECTION</p> <p>REVISION NUMBER AREA OF REVISION</p> <p>NORTH 3050</p> <p>WINDOW AND DOOR SIZE TAG: 3'-0"X5'-0" SHEET NOTES TAG</p> <p>DOOR TAG, SEE WINDOW/DOOR SCHEDULE WINDOW TAG, SEE WINDOW/DOOR SCHEDULE</p>		<p>A-1.1 COVER SHEET AND SITE PLAN A-2.1 1ST FLOOR PLAN A-2.2 2ND FLOOR PLAN A-2.3 ROOF PLAN A-3.1 ELEVATIONS & SECTION A-3.2 ELEVATIONS & SECTION G-1 SURVEY MAP</p>	<p>SCOPE OF WORK:</p> <p>1). Expand (E) house of 1140 sf to 1876 sf on 1st floor to accommodate open living/dining/kitchen and foyer. 2). Expand (E) garage to accommodate extra storage and pantry. 3). Add 2nd story, to accomodate 4 bedrooms/ 4 baths 4). Install new 400AMP electrical panel, heat pump water heater and ducted AC unit ; 5). Install new fire sprinkler system, permit separately; 6). Modify (E) driveway and front yard landscaping.</p>





PLUMBING FIXTURE SCHEDULE:

FIXTURE TYPE	# OF FIXTURE	FLOW RATE
W.C .	4	1.28 GL/FLUSH
LAV.	6	1.2 GPM@60psi
SHOWERHEAD	3	1.8 GPM@80psi
TUB FAUCET	2	1.8 GPM@80psi
KITCHEN SINK	1	1.8 GPM@60psi
LAUNDRY SINK	1	1.8 GPM@60psi

FLOOR PLAN NOTES

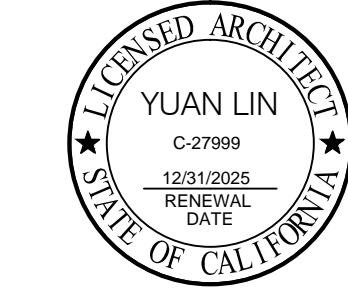
1. ALL EXTERIOR WALLS TO BE 2X6 FRAMING
2. 1ST FLOOR INTERIOR WALLS TO BE 2X6 FRAMING
3.

NOTES FOR STAIRWAY:

1. STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY
2. STAIRS TO HAVE MAXIMUM 7.75" RISE AND MINIMUM 10" RUN. CRC R311.7.4.1
3. STAIRS TO HAVE MINIMUM 80" HEAD room

1 PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT

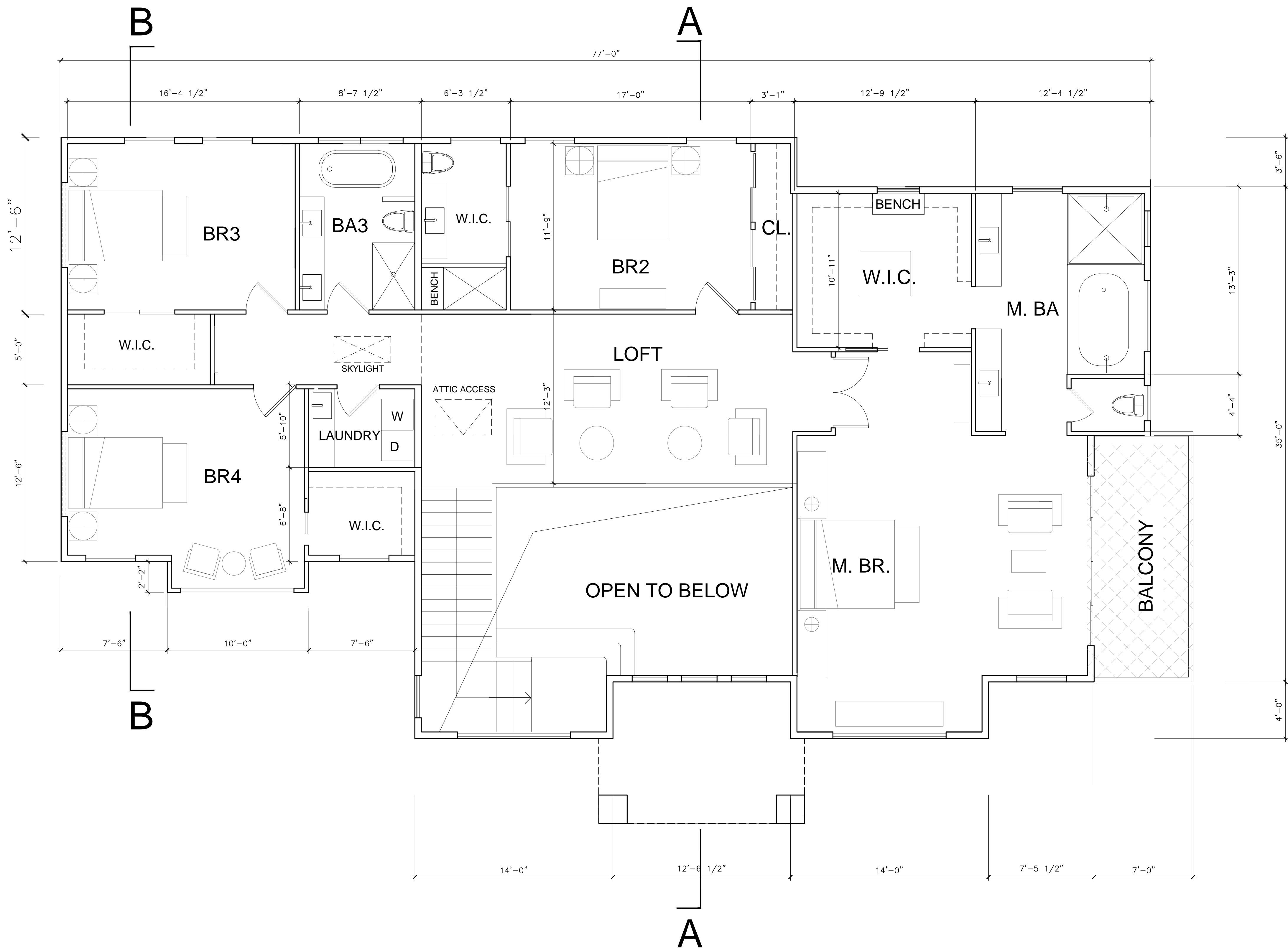
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

1ST FLOOR PLAN

SHEET NO.

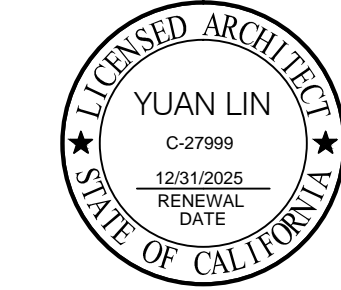
A-2.1



WINDOW / DOOR NOTES

- | | |
|------|---------------------|
| SH | SINGLE HUNG |
| DH | DOUBLE HUNG |
| SLD | SLIDING DOOR |
| SLW | SLIDING WINDOW |
| AWN | AWNING WINDOW |
| FX | FIXED WINDOW |
| PKD | POCKED DOOR |
| CSM | CASEMENT WINDOW |
| COM | COMBINATION WINDOWS |
| STK | STACKED WINDOW |
| 3060 | 3'-0"X6'-0" |
| 2680 | 2'-6"X8'-0" |
| OPT. | OPTIONAL |
| ⊙ | TEMPERED GLASS |

1 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

2ND FLOOR PLAN

SHEET NO.

ROOF PLAN NOTES

ROOF PLATE HEIGHTS ARE REFERENCED FROM TOP OF SUB FLOOR AT ENTRY, U.N.O.

CLASS A ROOF COVERING SHALL BE
MANUFACTURER: OWENS CORNING ROOFING OR EQUAL QUALITY PRODUCT
TYPE 1: COMP. SHINGLE ROOFING FOR SLOPED ROOF
COLOR: GRAY

GUTTERS ON ALL ELEVATIONS SHALL BE PROFILED ALUMINUM GUTTERS BY AMERIMAX OR EQUAL

ROOF PITCH SHALL BE AS NOTED ON ROOF PLAN

OVERHANG DIMENSIONS SHALL BE AS NOTED ON ROOF PLAN

DASHED LINES INDICATE WALL(STRUCTURE) BELOW.

LOCATE GUTTERS AND DOWNSPOUTS AS SHOWN. NOTE: LOCATE DOWNSPOUTS MIN. 8" OFF CORNER WHERE POSSIBLE (U.O.N.)

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE (WHERE POSSIBLE) SEE DETAIL 11 /A-4.1

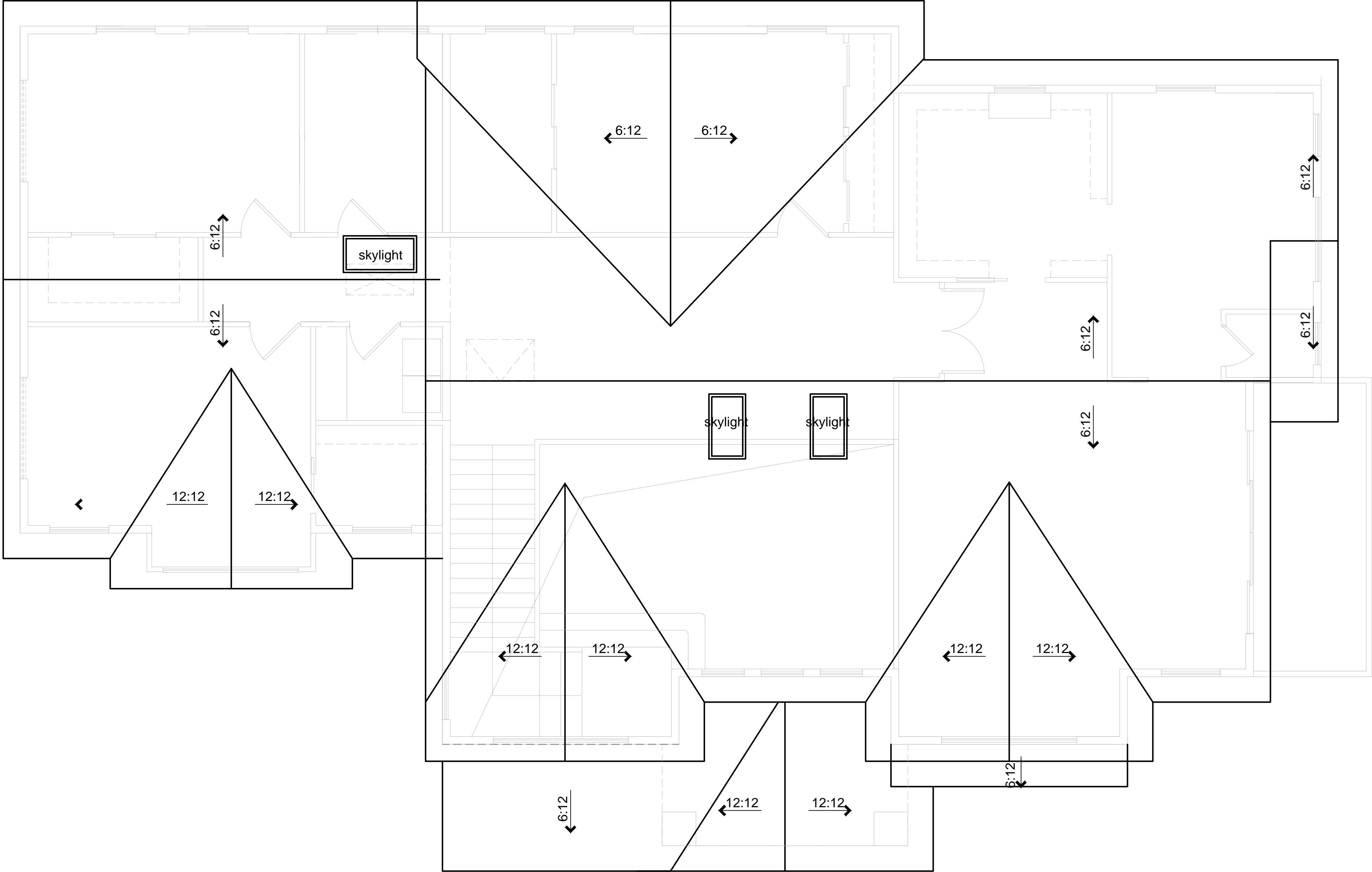
ATTIC VENTILATION SHALL BE PROVIDED PER SECTION 1505.3 OF THE UBC. (SEE CALCULATIONS, THIS SHEET)

LOCATE UPPER AND LOWER ROOF VENTS AS SHOWN ON PLAN.

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I,II,III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. (R905.1.1)

FLASH ALL ROOF VALLEYS (INSTALL FLASHING OVER 30# FELT)


ALL FLASHING SHALL BE 26 GAUGE G.S.M.



1

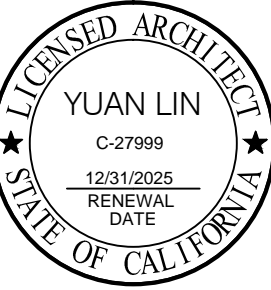
PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



LNx
ARCHITECTURE
INC.

6710 CORTE SANTA MARIA
PLEASANTON, CA 94566
EMAIL: yuanlin1102@yahoo.com
TEL: 925 357 5801



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

ROOF PLAN

SHEET NO.

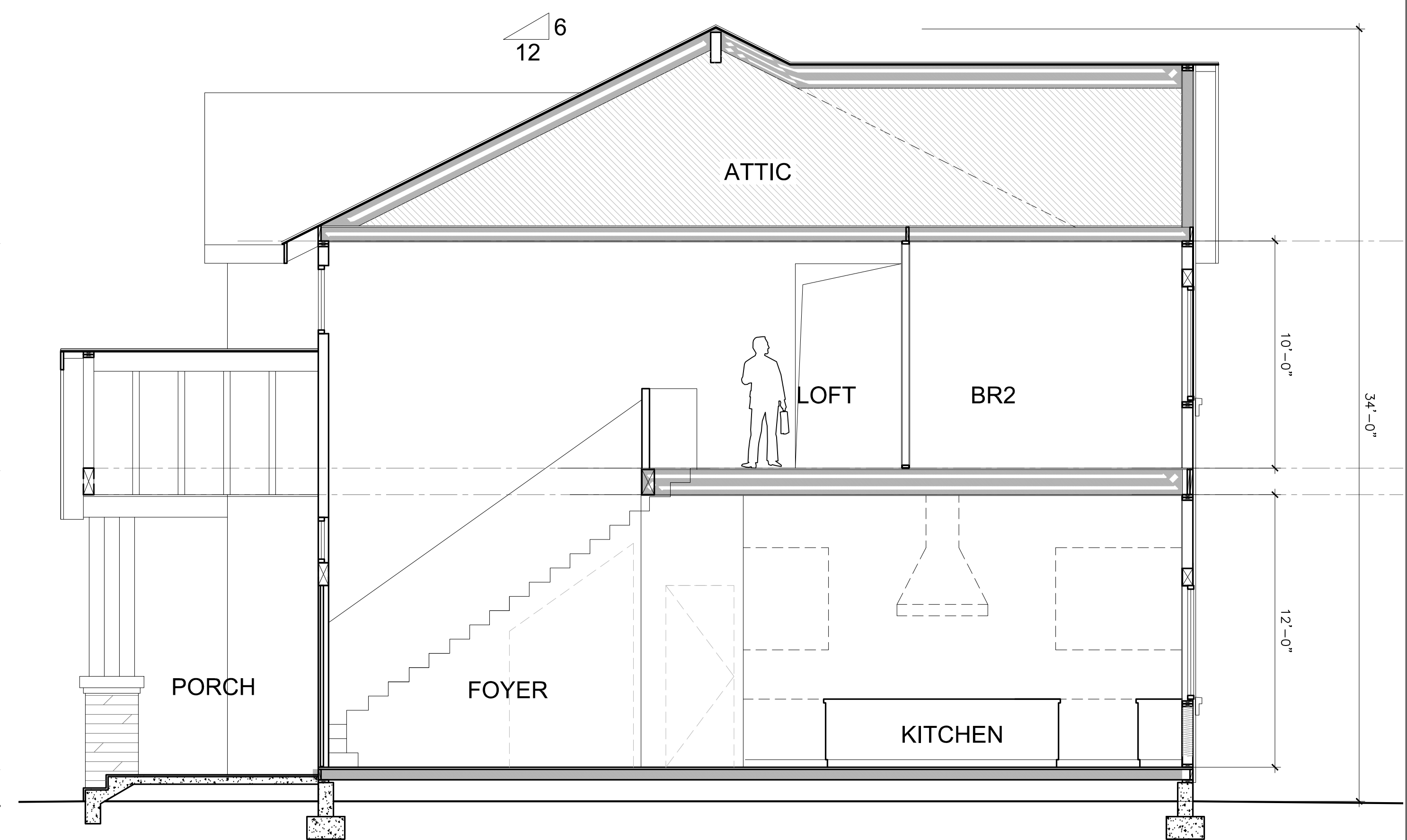
A-2.3



3 FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



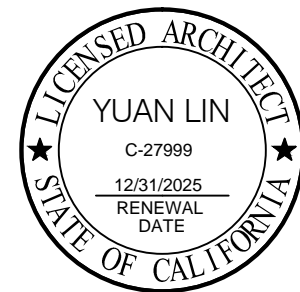
2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



1 BUILDING SECTION A-A
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



LNx
ARCHITECTURE
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6710 CORTE SANTA MARIA
PLEASANTON, CA 94566
EMAIL: yuan.lin29@yahoo.com
TEL: 925 357 5801



REVISIONS

PROJECT NAME

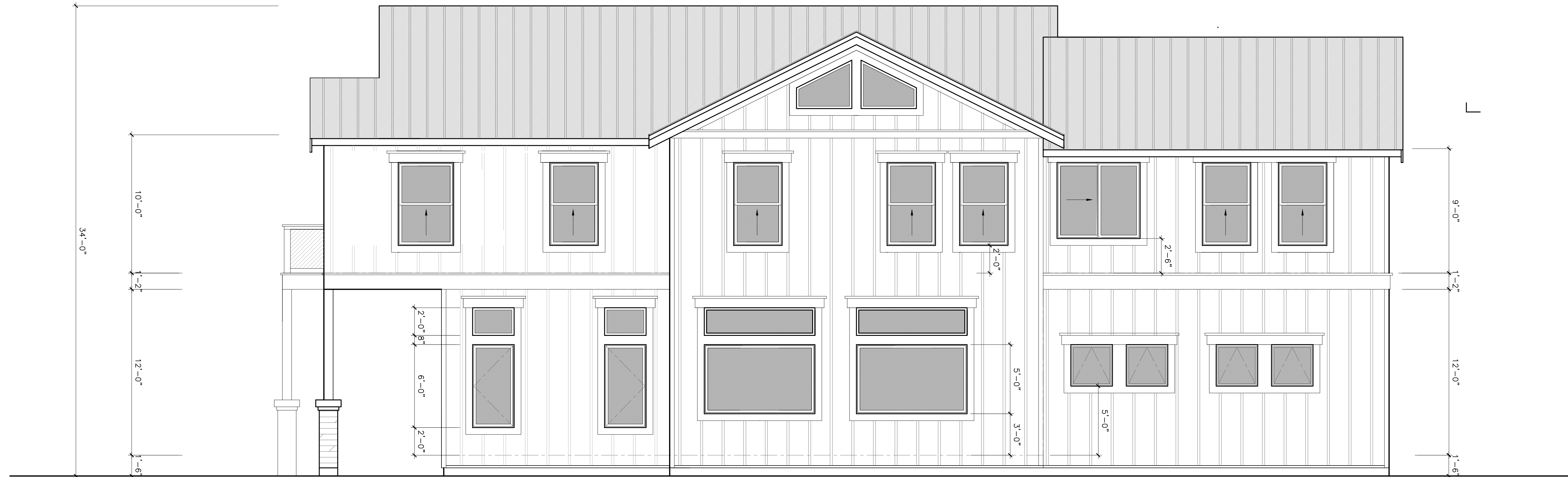
1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

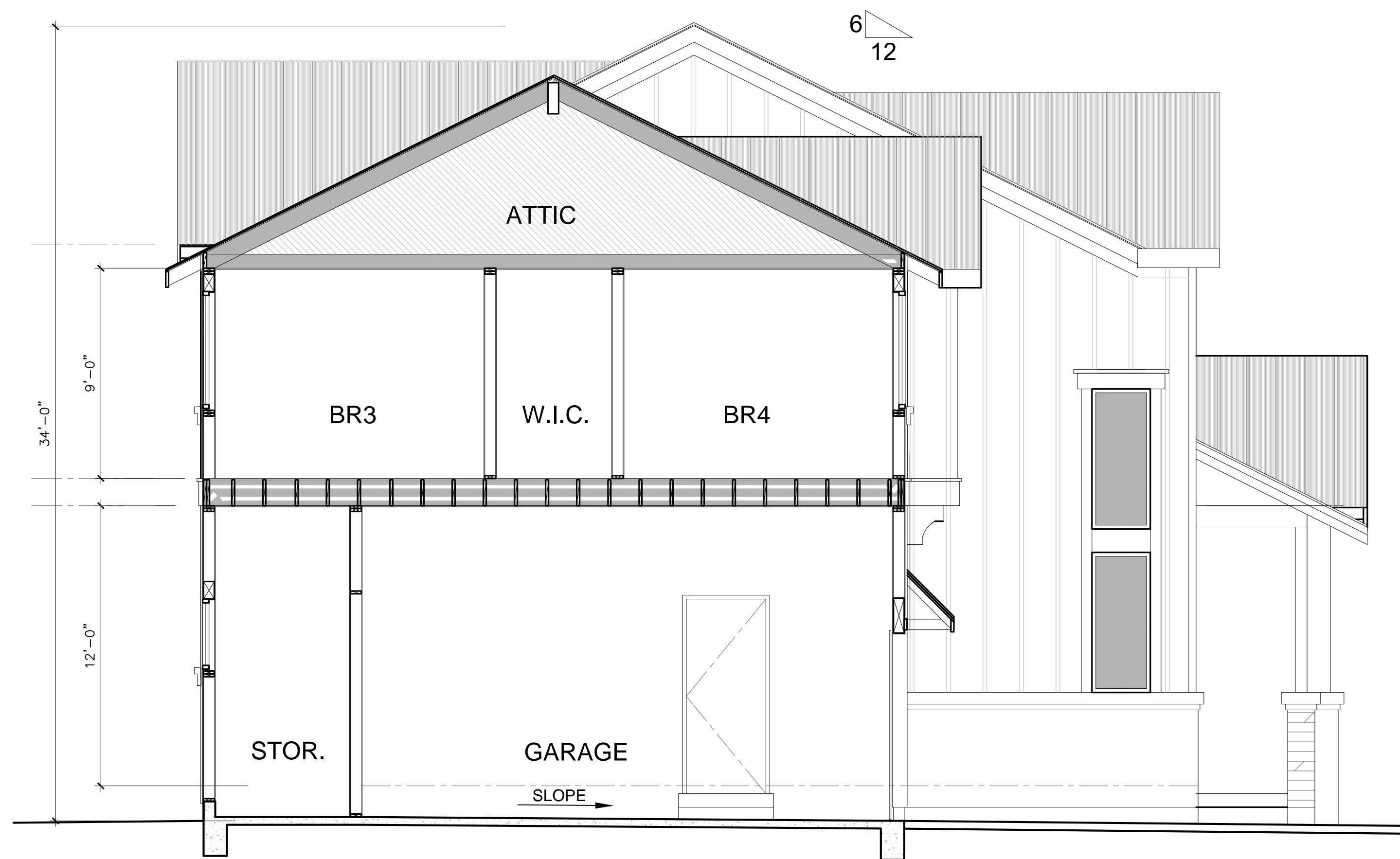
BUILDING
SECTIONS

SHEET NO.

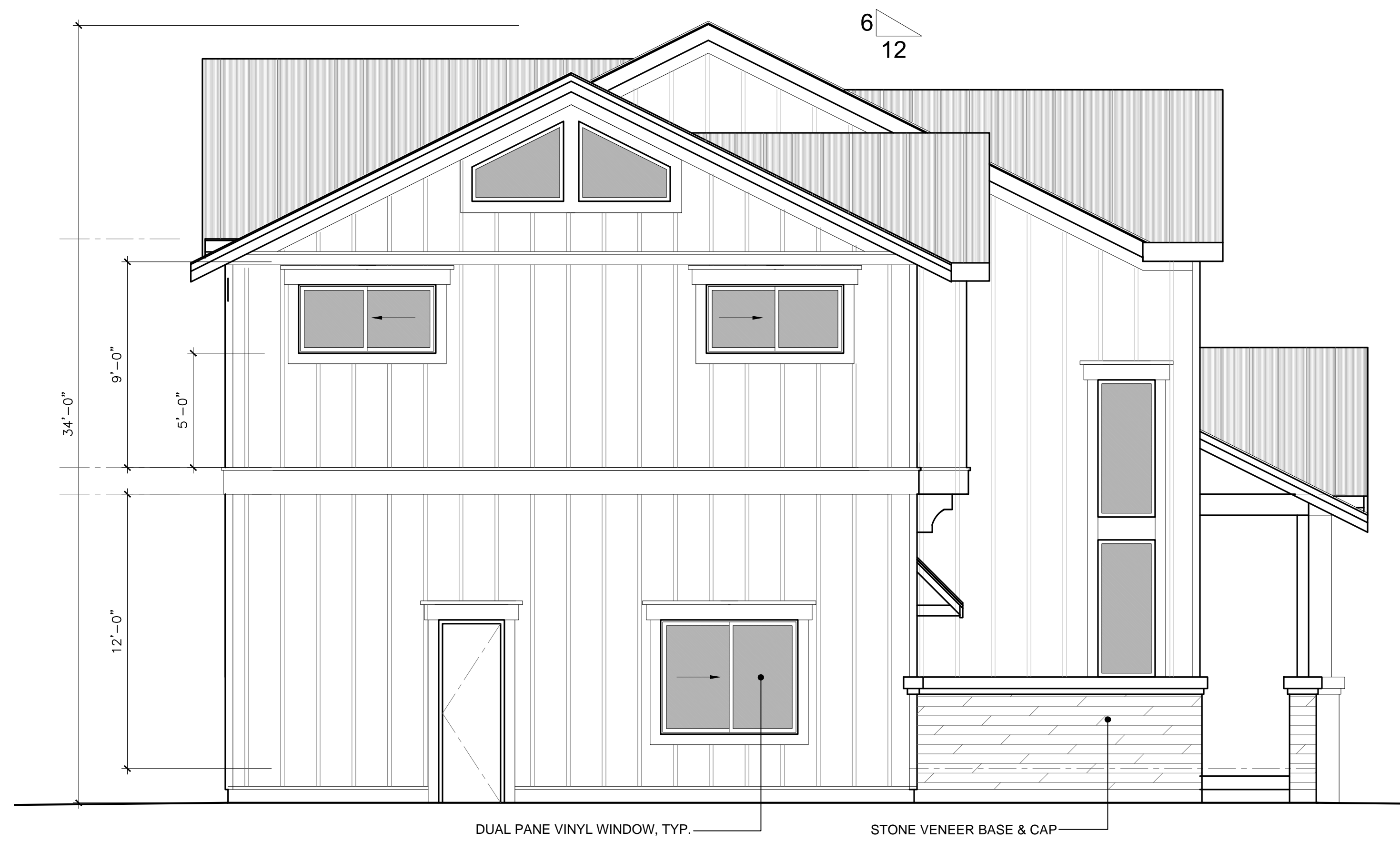
A-3.2



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 SECTION B-B
SCALE: 1/4"=1'-0"

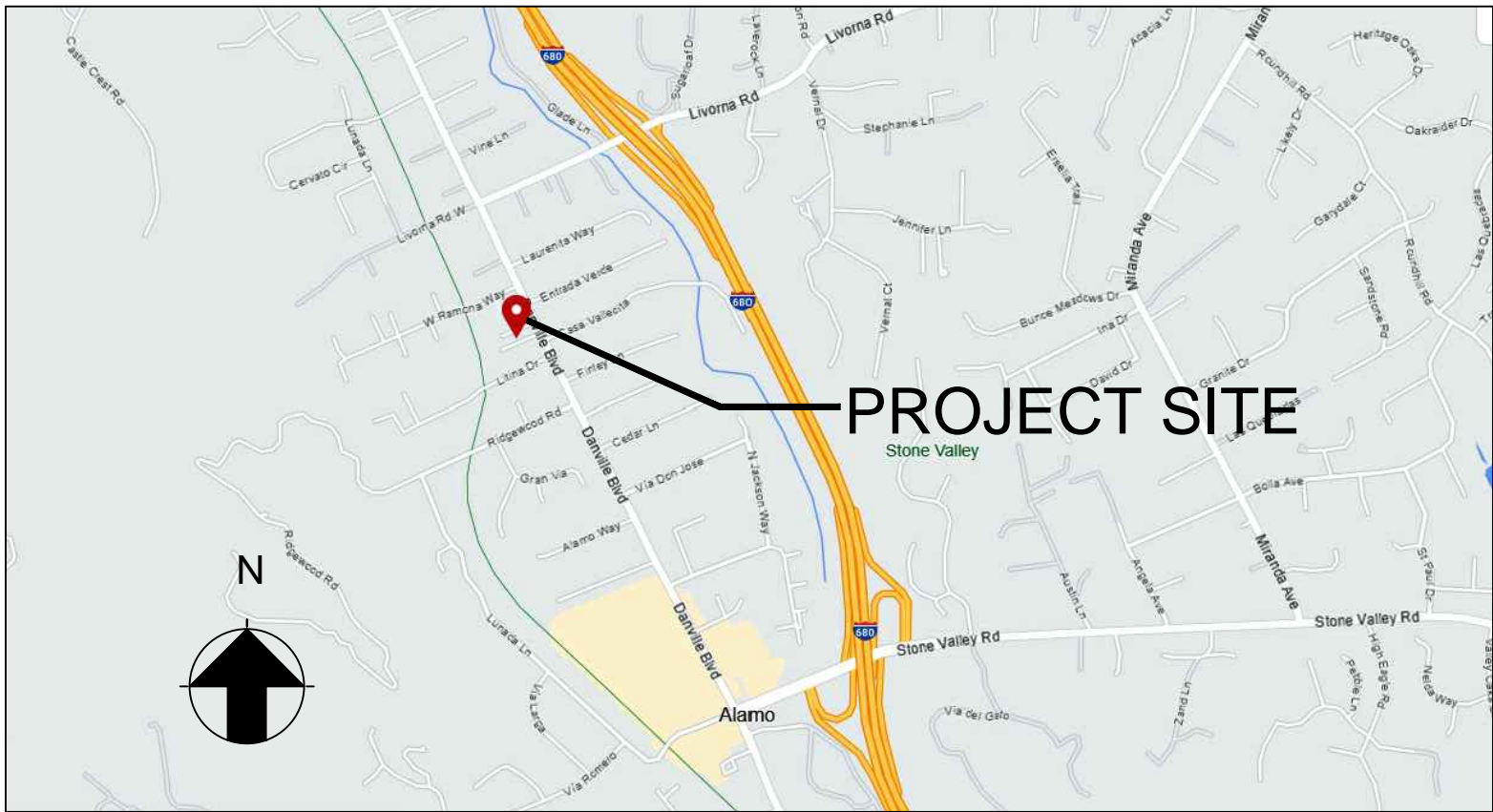


1 LEFT SIDE ELEVATION(EAST)
SCALE: 1/4"=1'-0"

1524 MANNING LN., ALAMO
A RESIDENTIAL EXPANSION PROJECT



VICINITY MAP



PROJECT DIRECTORY

Owner : **Javaid and Jocelyn Noorzad**
1524 Manning Ln., Alamo, CA 94507
Email: jocelynnoorzad@gmail.com
Phone #: 510-600-5100

Architect: LNX Architecture inc.
Address: 6710 Corte Santa Maria,
Pleasanton, CA 94566
Responsible Person: Yuan Lin, Architect
Phone#: 925 357 5801
Email: yuanlin29@yahoo.com

PROJECT INFO.

LOCATION: 1524 Manning Ln., Alamo, CA 94507
APN: 191-040-028-0
ZONING: R-20
LOT SIZE: 9,889 SF
CONSTRUCTION TYPE: TYPE V/B; SPRINKLERED
OCCUPANCY GROUP: R-3/U(garage)
(E) HOUSE:
(E) LIVING AREA: 1140 SF
(E) GARAGE AREA: 488 SF
(E) BUILDING FOOT PRINT: 1745 SF
(N) ADDITION:
(N) 1ST FLOOR: 1741 SF
(N) 2ND FLOOR: 2119 SF
(N) TOTAL MAIN HOUSE LIVING AREA: 3860 SF
(N) GARAGE AREA: 656 SF
(N) COVERED FRONT PORCH : 82 SF
(N) COVERED SIDE PATIO : 272 SF

CODE COMPLIANCE:

2022 CBC,CMC,CPC,CEC, CRC, CFC
2022 CAL GREEN STANDARDS
2022 CALIFORNIA ENERGY CODE
CONTRA COSTA CO. CODES/ORDINANCES

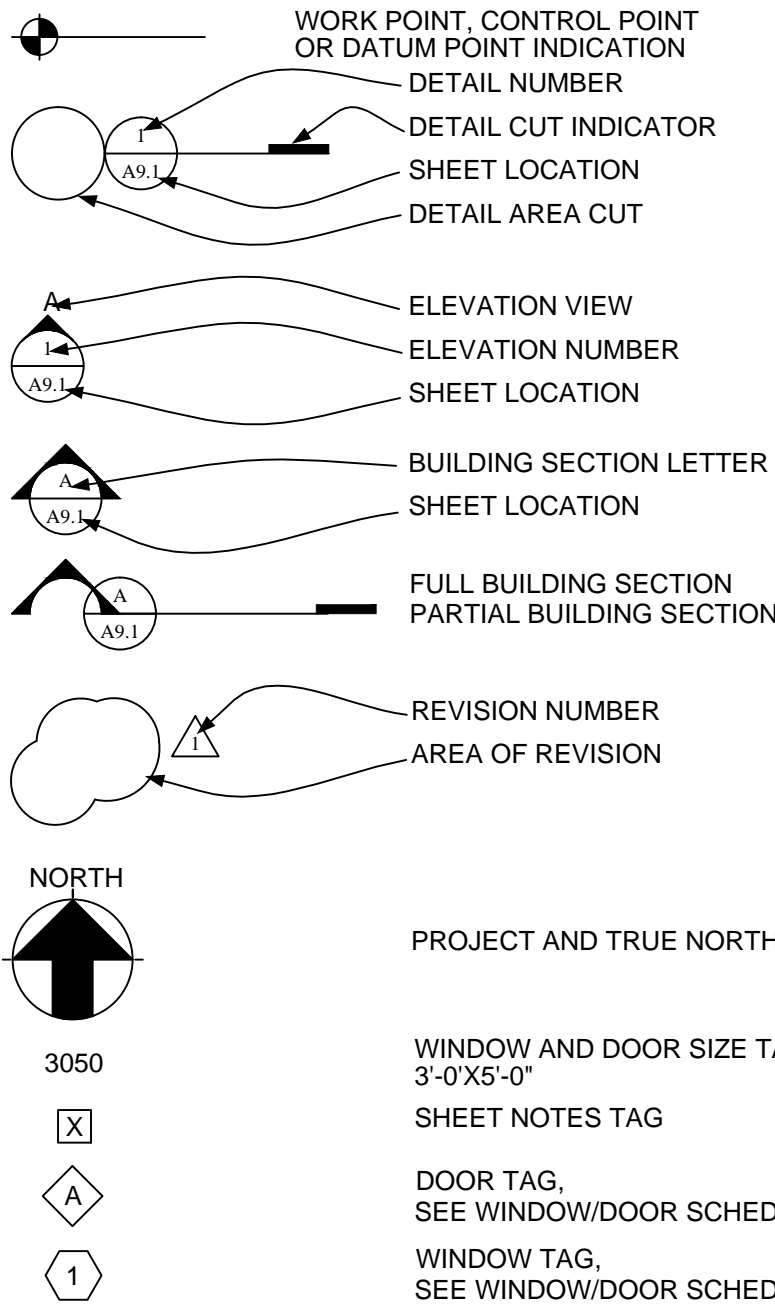
LOT COVERAGE: (1741+656+82+272)/ 9889 = 27.8%
FAR(FLOOR AREA RATIO): 3860/ 9889 = 39%

FIRE SPRINKLERS: YES, DEFERRED SUBMITTAL OF
NFPA 13D 2019 APPROVED FIRE SPRINKLER SYSTEM
PER SMC 16.17.080

ABBREVIATIONS

&: And
@: At
ABV: Above
AC: Air Conditioning, Acoustical
ADH: Adhesive
ADJ: Adjust, Adjustable, Adjacent
AFF: Above Finished Floor
AGA: American Gas Association
ALT: Alternate, Alteration; Altitude
BR: Bedroom,
CLG: Ceiling
CLO.: CLEAN-OUT
CSMT: CASEMENT
DTL: DETAIL
E: EXISTING
ELEC.: ELECTRICAL
GA: Gauge, Gage
GAL: Gallon
GC: General Contractor
GFCI: Ground Fault Circuit Interrupted
GLZ: Glaze
GPH: Gallons Per Hour
GVL: Gravel
GYP: Gypsum
GYP BD: Gypsum Board
INSTL.: Install
N: NEW
OPT.: OPTIONAL
PNL.: PANEL
S.D.: STRUCTURAL DRAWING
SH: SINGLE HUNG
U.O.N.: Unless Otherwise Noted
V.C.T.: Vinyl Composition Tile
V.I.F.: VERIFY IN FIELD
VERT: Vertical
VYL: Vinyl
WD: Wood
WDW: Window
W.P.M Water Proofing Membrane
WT: Weight
YD: Yard

GRAPHIC SYMBOL LEGEND



DRAWING DIRECTORY

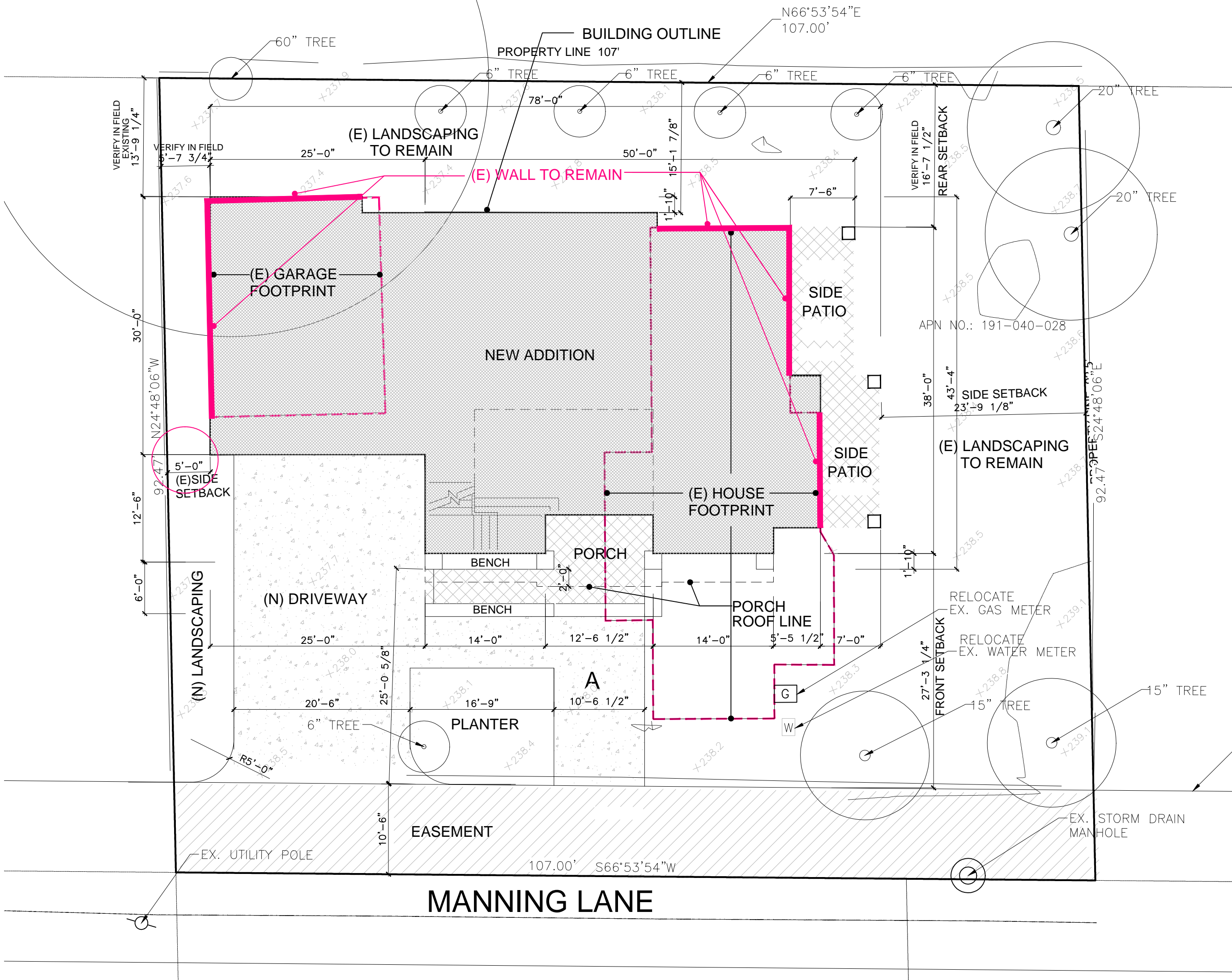
A-1.1 COVER SHEET AND SITE PLAN
A-2.1 1ST FLOOR PLAN
A-2.2 2ND FLOOR PLAN
A-2.3 ROOF PLAN
A-3.1 ELEVATIONS & SECTION
A-3.2 ELEVATIONS & SECTION
G-1 SURVEY MAP

SCOPE OF WORK:

- 1). Expand (E) house of 1140 sf to 1876 sf on 1st floor to accommodate open living/dining/kitchen and foyer.
- 2). Expand (E) garage to accommodate extra storage and pantry.
- 3). Add 2nd story, to accomodate 4 bedrooms/ 4 baths
- 4). Install new 400AMP electrical panel, heat pump water heater and ducted AC unit ;
- 5). Install new fire sprinkler system, permit separately;
- 6). Modify (E) driveway and front yard landscaping.

LEGEND

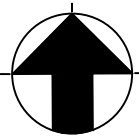
- (E) HOUSE FOOTPRINT
- (E) EXTERIOR WALL TO REMAIN



SITE PLAN

SCALE: 1"=10'-0"

PLAN NORTH

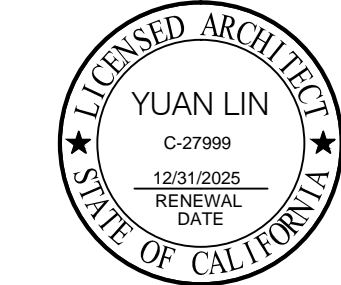


SITE PLAN NOTES

1. SEE GENERAL NOTES ON A2.1 FOR ADDITIONAL INFORMATION
2. THE SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND LIMITED SITE PLAN LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY IN FIELD ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES AND SETBACKS, EASEMENTS, UTILITIES AND SUBSTRUCTURES. SITE SPECIFIC SOILS REPORTS AND CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER NOTES AND DETAILS ON THIS SET OF DOCUMENTS.
3. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. CONSULT A CIVIL ENGINEER FOR SUCH INFORMATION.
4. DISPLACED TOP SOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION
5. ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE COUNTY OF CONTRA COSTA, GRADING ORDINANCE AND ALSO UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
6. AT A MINIMUM, THE PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET(OR OTHER SUITABLE DISCHARGE POINT DETERMINED BY THE CIVIL ENGINEER AND/OR LOCAL GOVERNING AUTHORITY), VIA A NON-CORROSIVE DEVICE.
7. ALL FOUNDATION PERIMETER AND ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DISCHARGE SYSTEM.
8. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO THE BUILDING, STRUCTURES, OR UTILITY BOXES.
9. SEE LANDSCAPE OR CIVIL DRAWINGS FOR ALL SITE AND HARDSCAPE DRAIN
10. WATER SHOULD BE PREVENTED FROM PONDING ANYWHERE ON THE LOT PARTICULARLY NEAR THE HOUSE. WATERFROM DOWN SPOUTS AND YARD DRAINS SHOULD BE CONNECTED TO TIGHTLINE PIPES THAT CARRY THE WATER TO AVAILABLE DISCHARGE FACILITIES. REFER TO A-4 CALGREEN CHECKLIST.
11. CRAWL SPACES SHOULD BE GRADED IN SUCH A WAY THAT WATER WHICH MAY STILL ENTER THE CRAWL SPACE FLOWS TO A LOW POINT WHERE IT CAN BE PIPED BENEATH THE PERIMETER FOUNDATION (GRADE BEAM OR T" FOOTING) AND DISCHARGED.
12. AT ALL RETAINING WALLS, LANDSCAPE WALLS OR CLOSE PROXIMITY TO STRUCTURES, PROTECTIVE SUB DRAINAGE SHALL BE INSTALLED BENEATH THE FILLS IN THE SWALE AREAS. THE SUB DRAINS SHOULD CONSIST OF A BLANKET OR TRENCH FILLED WITH CLASS TWO PERMEABLE MATERIAL AND HAVING A WIDTH OF AT LEAST 18 INCHES. THE SUB DRAINS SHOULD HAVE A VERTICAL HEIGHT OF 4 FEET AND SHOULD BE INSTALED AT THE BACK OF THE LOWEST ELEVATION POSSIBLE TO PERMIT DAYLIGHT DRAINAGE ON THE PROPERTY(OR TO AN APPROVED DISCHARGE SYSTEM). ENDS OF PIPES SHALL BE RIP RAPPED SO THEY WILL NOT BECOME BLOCKED IN THE FUTURE. SLD. AND SEE CIVIL AND LANDSCAPE PLUS SEE DETAILS FOR ANY REQUIRED WATERPROOFING ALONG THE VERTICAL FACE OF ANY BURIED WALLS.
13. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A SET OF CURRENT, THOROUGH, AND ACCURATE AS-BUILT DRAWINGS AT THE PROJECT SITE.
14. ALL WATER USE SHALL BE METERED EXCEPT FOR USE IN DISINFECTION AND FLUSHING OF WATER MAINS.
15. NO WATER VALVES ON THE EXISTING SYSTEM NOR ANY NEW VALVE CONNECTED TO THE EXISTING SYSTEM SHALL BE OPENED OR CLOSED BY ANYONE EXCEPT AUTHORIZED WATER DEPARTMENT PERSONNEL
16. MAINTAIN, SECURE, AND PROTECT ANY EXISTING WATER SYSTEM FACILITY IN PLACE UNTIL THE PROPOSED WATER SYSTEM IS COMPLETED AND ACTIVATED.
17. PARTS FROM ABANDONED CITY FACILITIES, INCLUDING METERS AND VALVES, SHALL BE RETURNED TO THE WATER DEPARTMENT INSPECTOR.
18. NO EXISTING OR NEW UTILITY METERS OR VAULTS SHALL BE LOCATED WITHIN THE NEW DRIVEWAY APPROACH. ALL EXISTING OR NEW UTILITY VAULTS SERVING THE PROJECT SITE SHALL BE LOCATED ON-SITE AND NOT WITHIN THE PUBLIC UTILITY EASEMENT, IF ANY.



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REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT

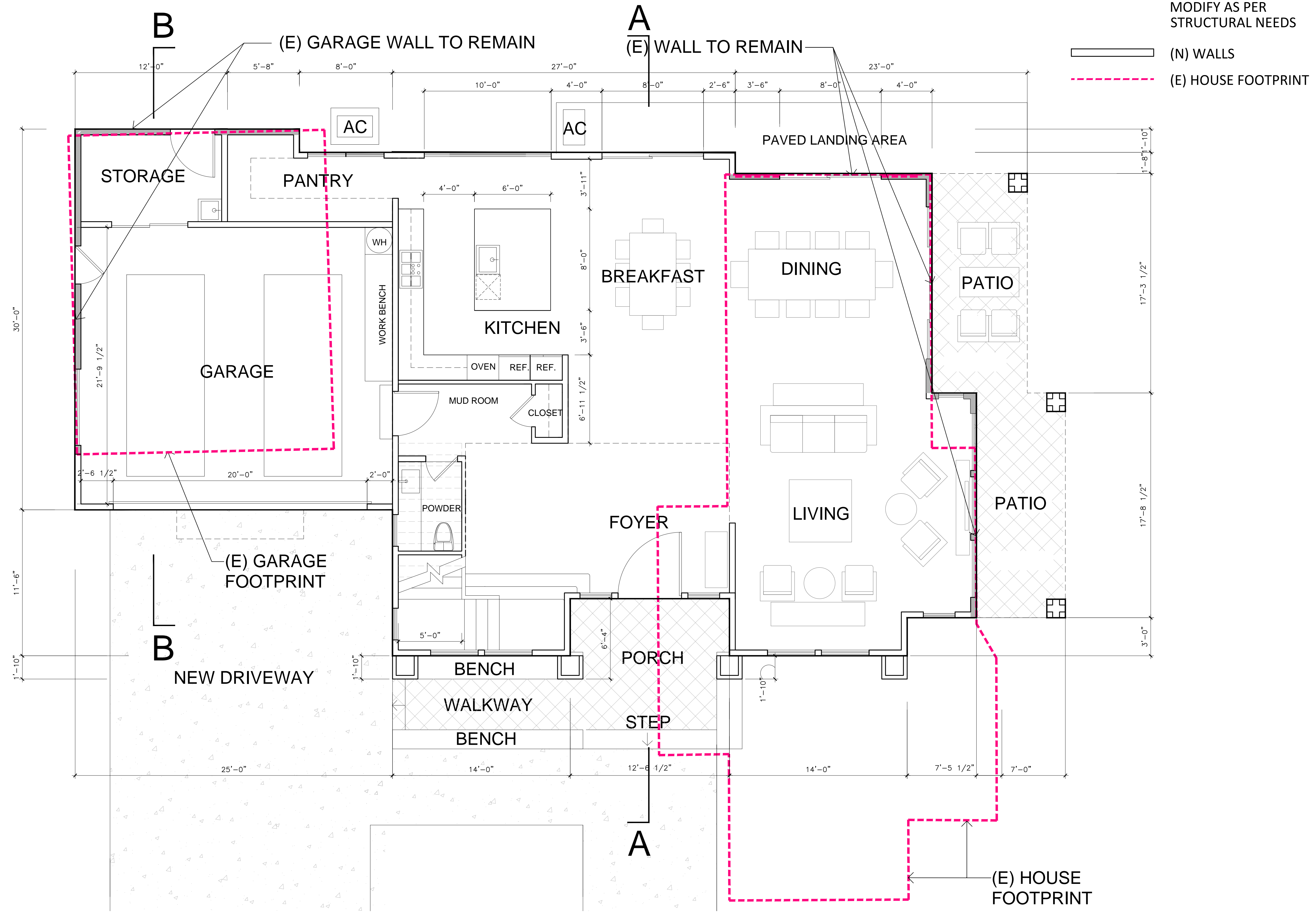
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

COVER SHEET
& SITE PLAN

SHEET NO.

A-1.1



- LEGEND:
- (E) WALL TO REMAIN
MODIFY AS PER
STRUCTURAL NEEDS
 - (N) WALLS
 - (E) HOUSE FOOTPRINT

PLUMBING FIXTURE SCHEDULE:

FIXTURE TYPE	# OF FIXTURE	FLOW RATE
W.C .	4	1.28 GL/FLUSH
LAV.	6	1.2 GPM@60psi
SHOWERHEAD	3	1.8 GPM@80psi
TUB FAUCET	2	1.8 GPM@80psi
KITCHEN SINK	1	1.8 GPM@60psi
LAUNDRY SINK	1	1.8 GPM@60psi

FLOOR PLAN NOTES

- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING
- 1ST FLOOR INTERIOR BEARING WALLS TO BE 2X6 FRAMING
- REMAINING EXTERIOR WALLS TO BE MODIFIED TO MEET STRUCTURAL NEEDS

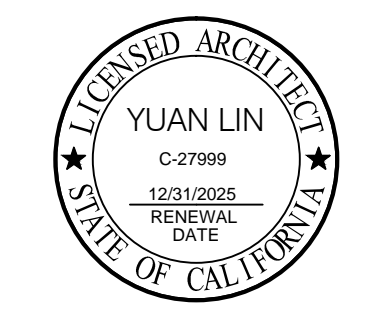
NOTES FOR STAIRWAY:

- STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY
- STAIRS TO HAVE MAXIMUM 7.75" RISE AND MINIMUM 10" RUN. CRC R311.7.4.1
- STAIRS TO HAVE MINIMUM 80" Head room

1ST FL. LIVING AREA: 1741
2ND FL. LIVING AREA: 2119
TOTAL LIVING AREA: 3860
GARAGE AREA: 656
FRONT PORCH: 82
SIDE PATIO: 255

1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

6710 CORTE SANTA MARIA
PLEASANTON, CA 94566
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TEL: 925 357 5801



REVISIONS

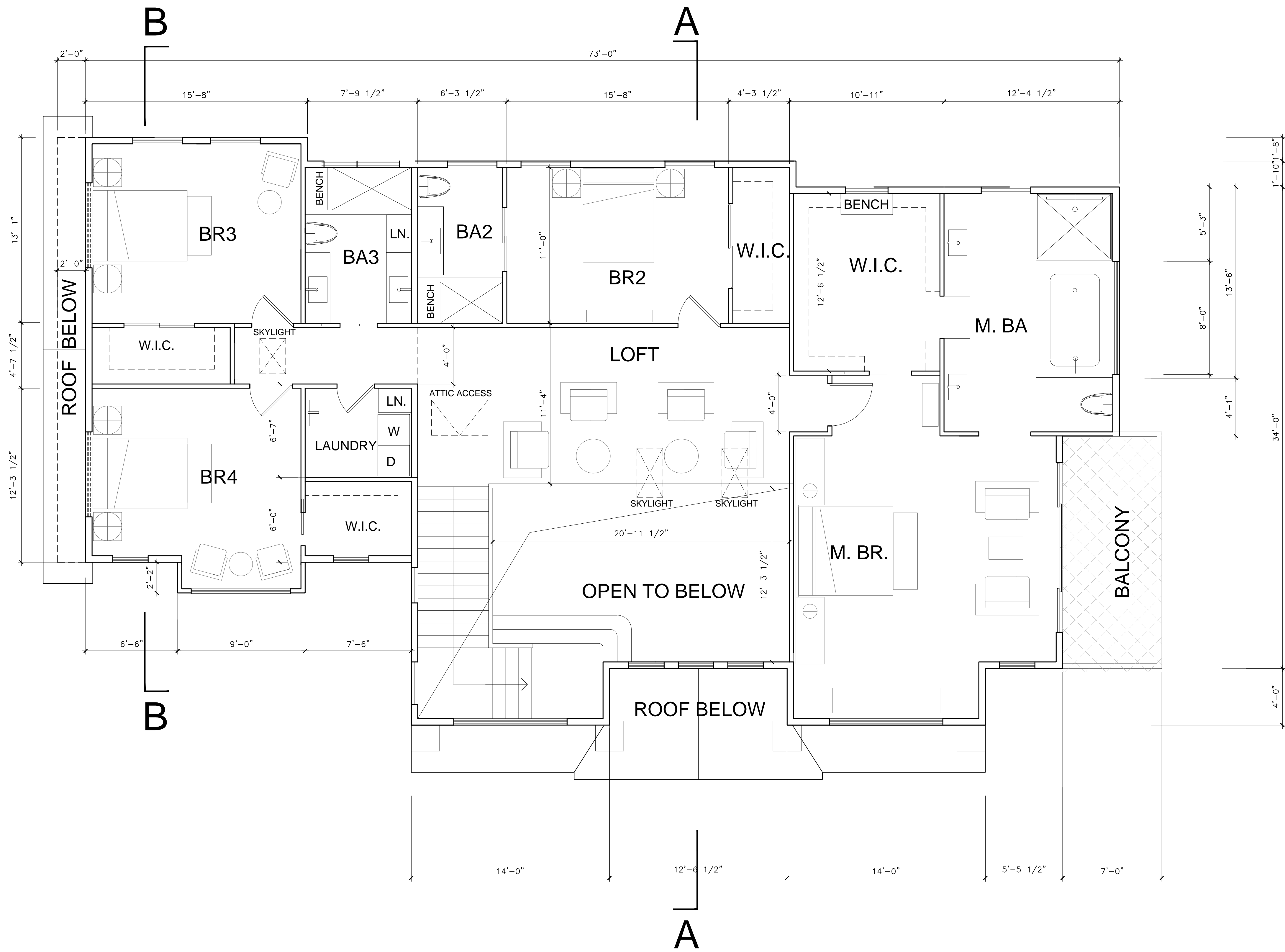
PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid NoorZad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

1ST FLOOR PLAN

SHEET NO.

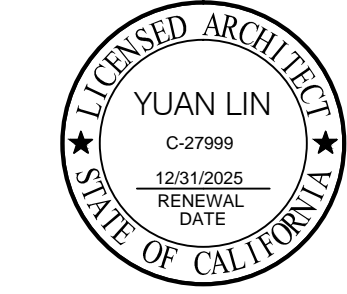


WINDOW / DOOR NOTES

- | | |
|------|---------------------|
| SH | SINGLE HUNG |
| DH | DOUBLE HUNG |
| SLD | SLIDING DOOR |
| SLW | SLIDING WINDOW |
| AWN | AWNING WINDOW |
| FX | FIXED WINDOW |
| PKD | POCKET DOOR |
| CSM | CASEMENT WINDOW |
| COM | COMBINATION WINDOWS |
| STK | STACKED WINDOW |
| 3060 | 3'-0"X8'-0" |
| 2680 | 2'-6"X8'-0" |
| OPT. | OPTIONAL |
| ⊙ | TEMPERED GLASS |

1 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

LIVING AREA: 2119 SF



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
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OWNER: Mr. & Mrs. Javald Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

2ND FLOOR PLAN

SHEET NO.

A-2.2

ROOF PLAN NOTES

ROOF PLATE HEIGHTS ARE REFERENCED FROM TOP OF SUB FLOOR AT ENTRY, U.N.O.

CLASS A ROOF COVERING SHALL BE
MANUFACTURER: OWENS CORNING ROOFING OR EQUAL QUALITY PRODUCT
TYPE 1: COMP. SHINGLE ROOFING FOR SLOPED ROOF
COLOR: GRAY

GUTTERS ON ALL ELEVATIONS SHALL BE PROFILED ALUMINUM GUTTERS BY AMERIMAX OR EQUAL

ROOF PITCH SHALL BE AS NOTED ON ROOF PLAN

OVERHANG DIMENSIONS SHALL BE AS NOTED ON ROOF PLAN

DASHED LINES INDICATE WALL(STRUCTURE) BELOW.

LOCATE GUTTERS AND DOWNSPOUTS AS SHOWN. NOTE: LOCATE DOWNSPOUTS MIN. 8" OFF CORNER WHERE POSSIBLE (U.O.N.)

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE (WHERE POSSIBLE) SEE DETAIL 11 /A-4.1

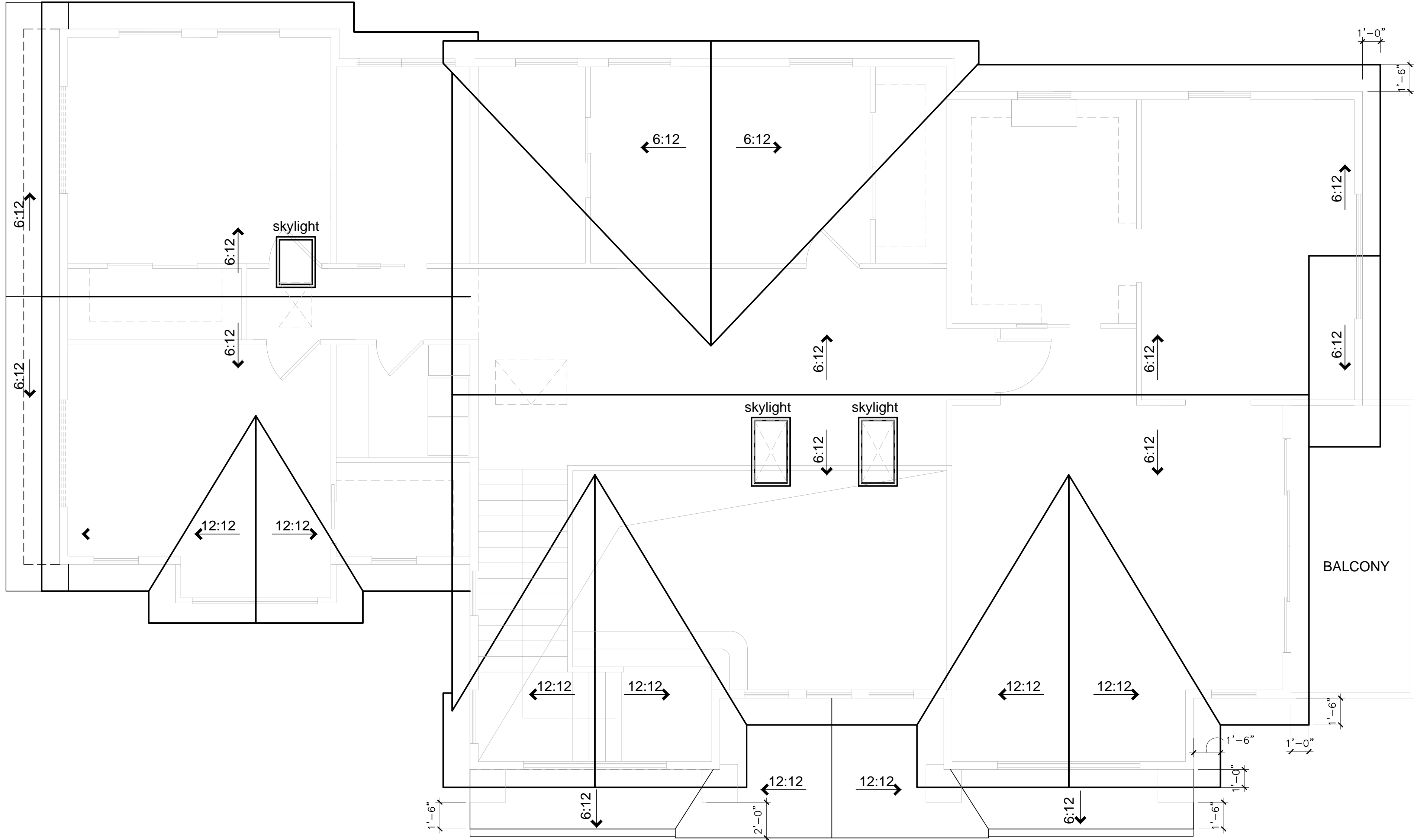
ATTIC VENTILATION SHALL BE PROVIDED PER SECTION 1505.3 OF THE UBC. (SEE CALCULATIONS, THIS SHEET)

LOCATE UPPER AND LOWER ROOF VENTS AS SHOWN ON PLAN.

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I,II,III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. (R905.1.1)

FLASH ALL ROOF VALLEYS (INSTALL FLASHING OVER 30# FELT)

ALL FLASHING SHALL BE 26 GAUGE G.S.M.



1

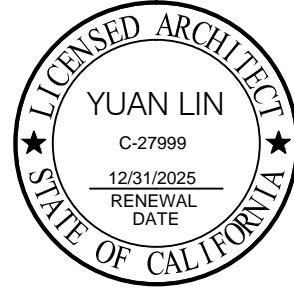
PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



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TEL: 925 357 5801



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PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT

OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

ROOF PLAN

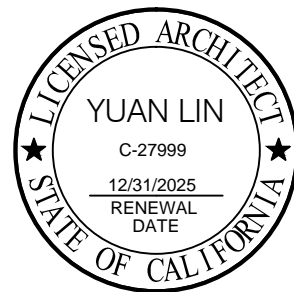
SHEET NO.

A-2.3



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A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

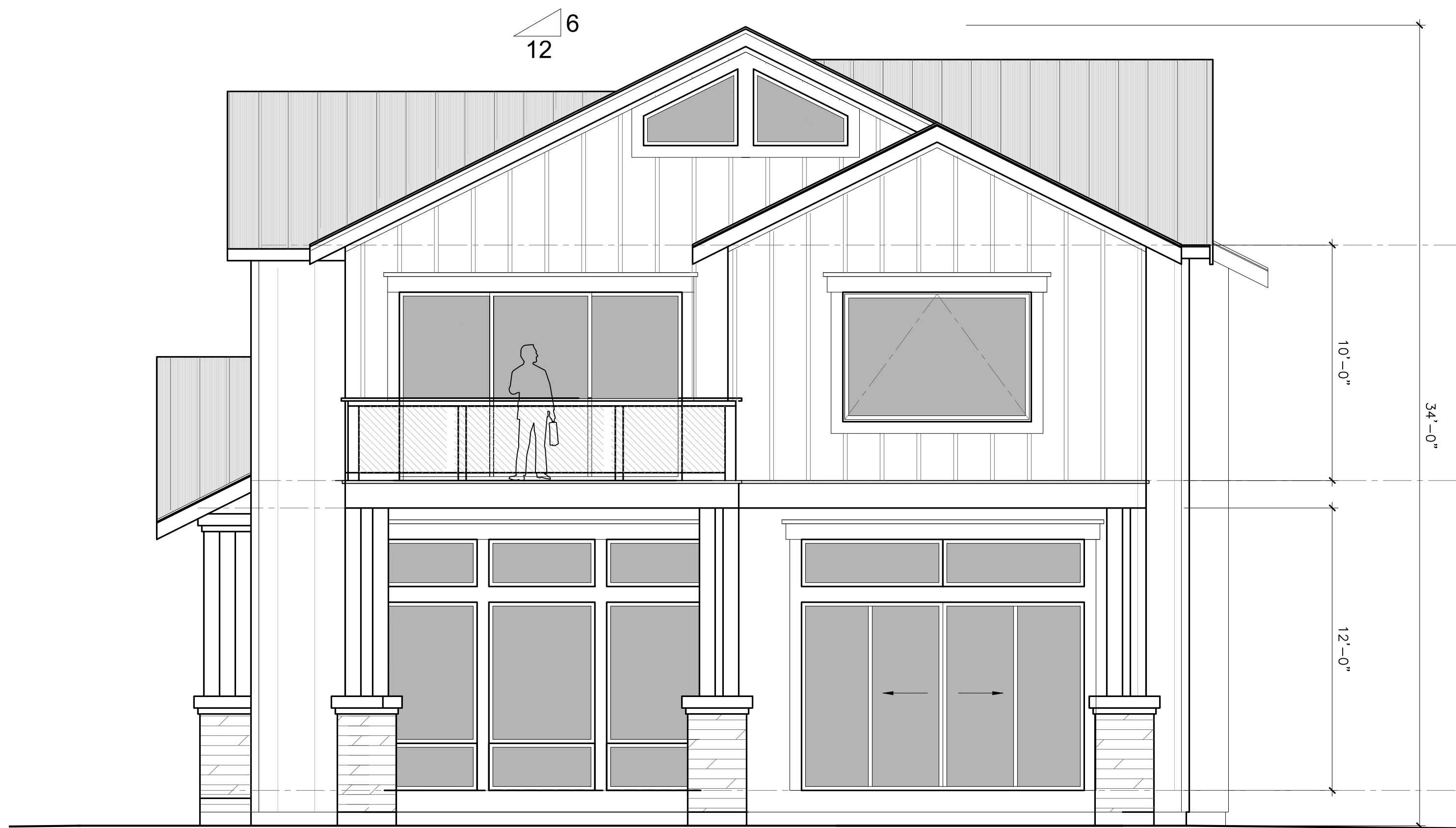
BUILDING
ELEVATIONS
& SECTION

SHEET NO.

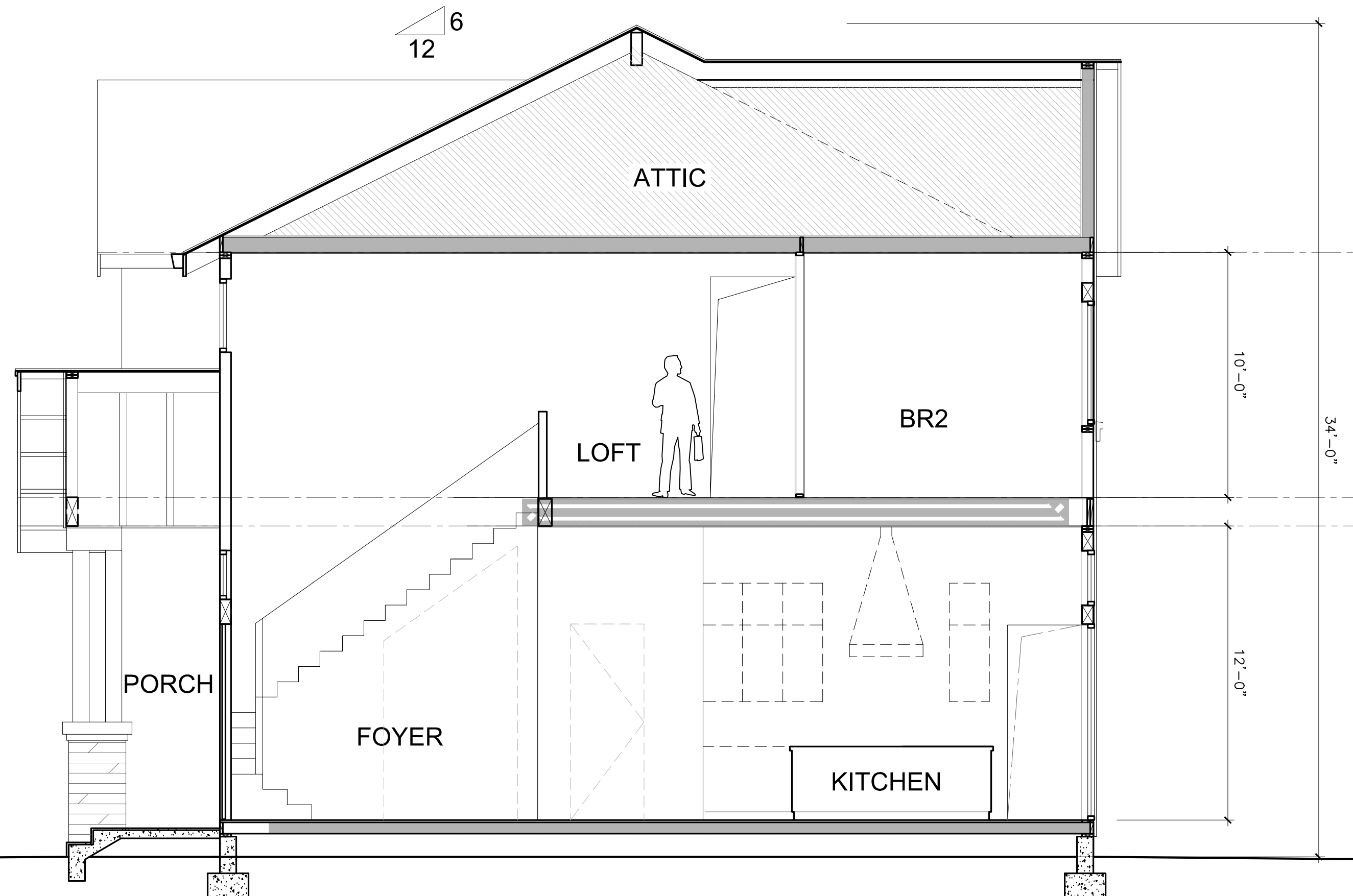
A-3.1



3 FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



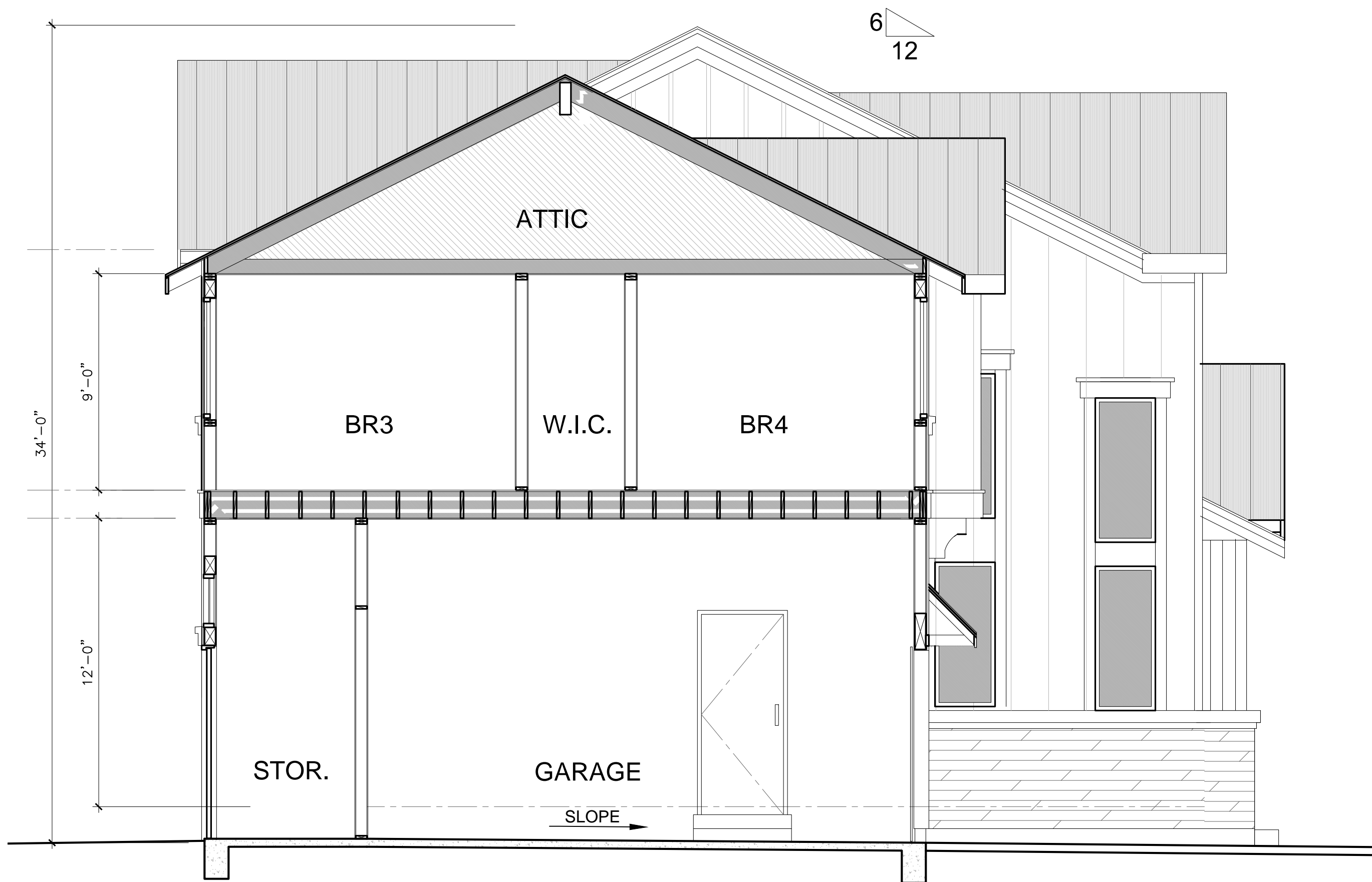
2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



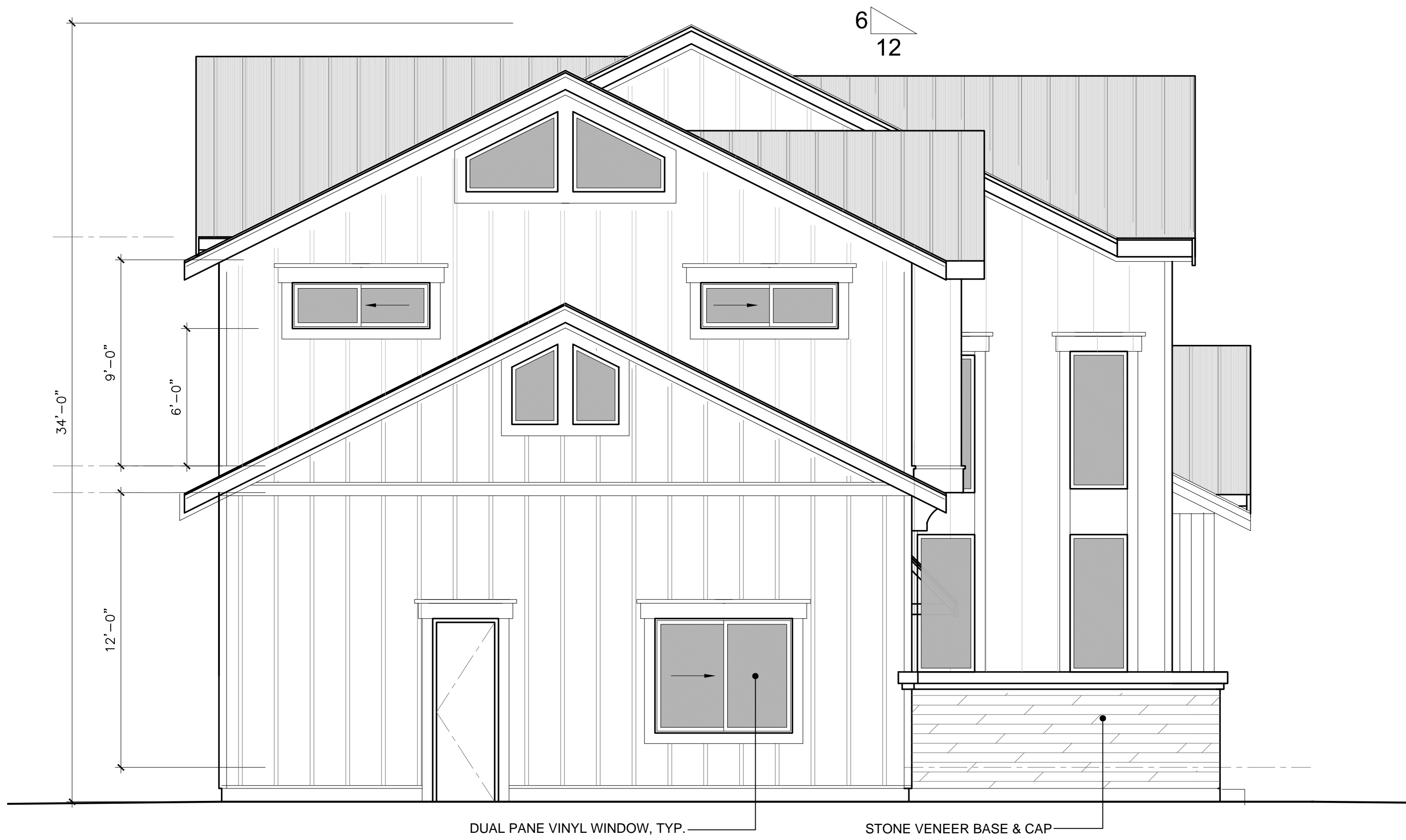
1 BUILDING SECTION A-A
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 SECTION B-B
SCALE: 1/4"=1'-0"

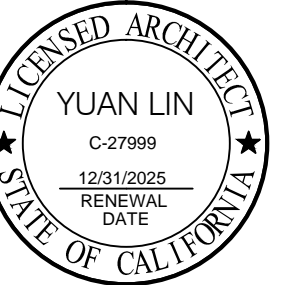


1 LEFT SIDE ELEVATION(EAST)
SCALE: 1/4"=1'-0"



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A HOME EXPANSION PROJECT

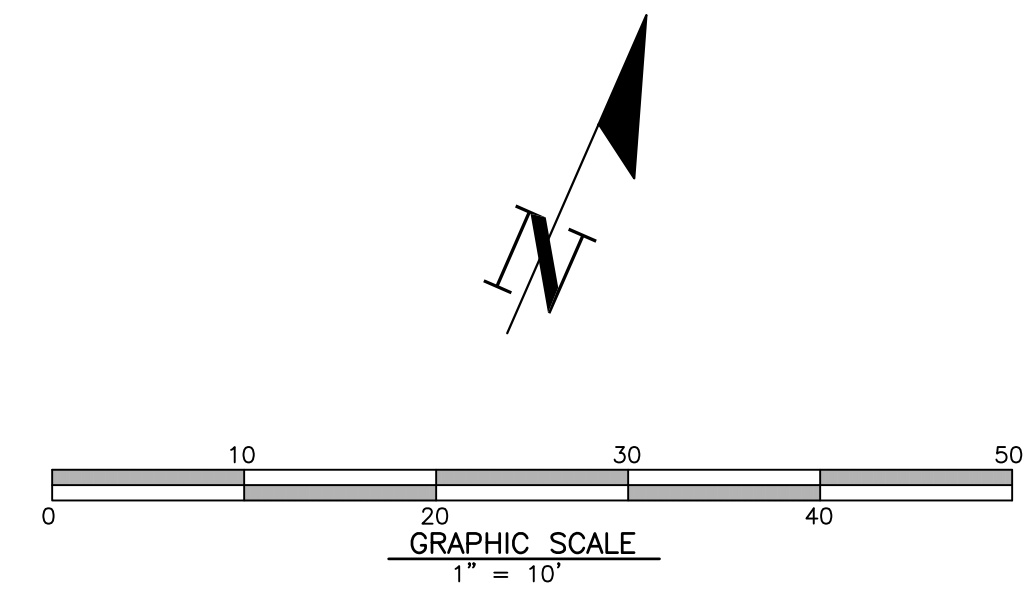
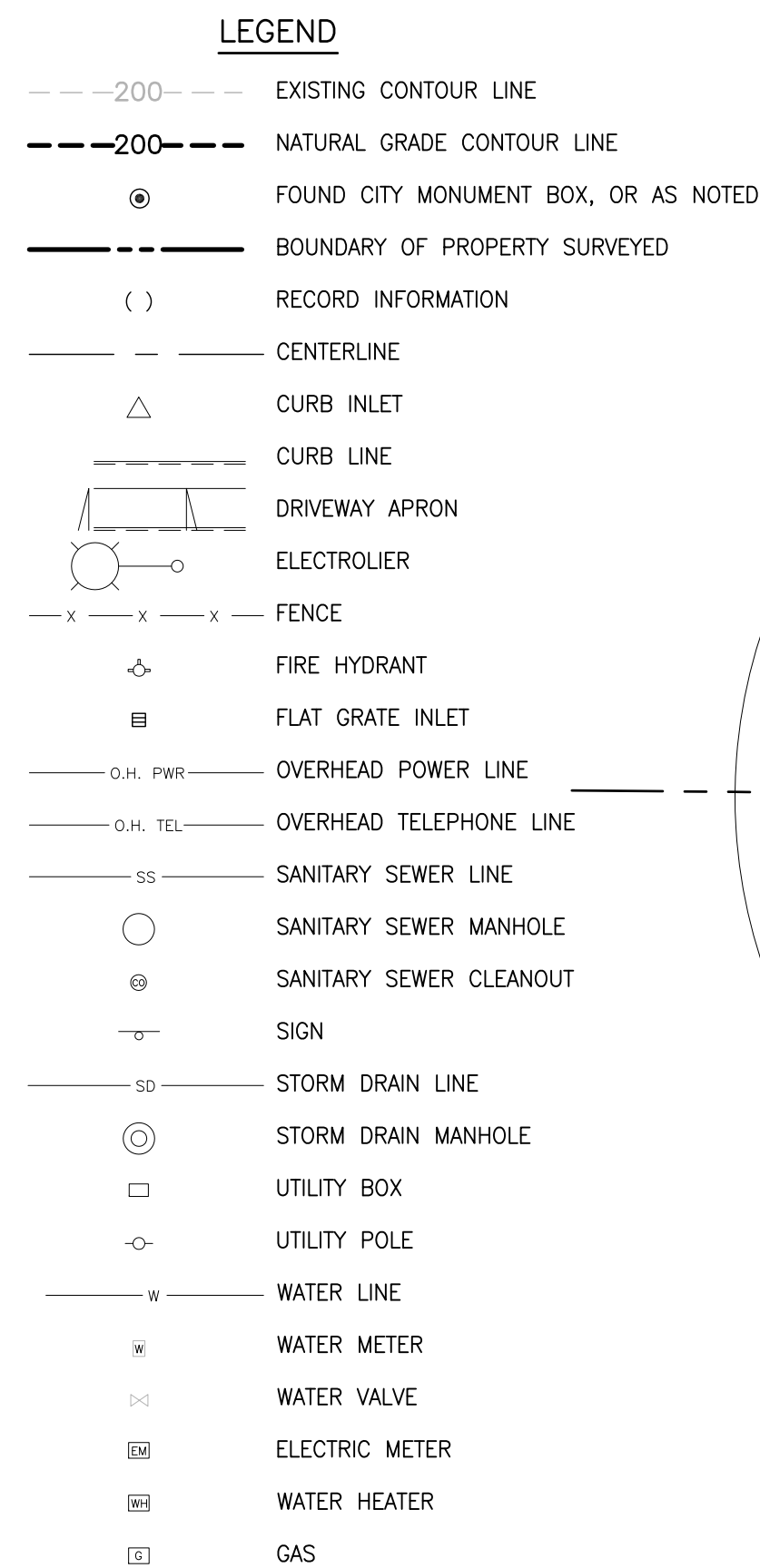
OWNER: Mr. & Mrs. Javald Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

BUILDING
SECTIONS

SHEET NO.

A-3.2



BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE
SOUTH EASTERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 238.86' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
AE	ANCHOR EASEMENT
BM	BENCH MARK
BSL	BUILDING SETBACK LINE
BTRC	BACK/TOP OF ROLLED CURB
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
OFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
R#	REFERENCE DOCUMENT
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT
WCE	WIRE CLEARANCE EASEMENT

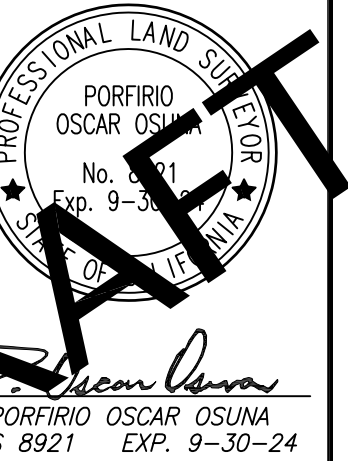
NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. TREES' SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
3. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
4. UNLESS SPECIFICALLY NOTED, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
6. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
7. TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN


RECORD OF SURVEY NOTE:

THIS PRELIMINARY SURVEY BOUNDARY IS INTENDED FOR INITIAL STUDIES OR PLANNING DESIGN. TO FINALIZE THIS BOUNDARY SURVEY A RECORD OF SURVEY MUST BE FILED PER THE MANDATORY FILING PROVISIONS OF SECTION 8762(B) OF THE PROFESSIONAL LAND SURVEYORS' ACT. OSUNA ENGINEERING, IS CURRENTLY WORKING TOGETHER WITH THE NEIGHBOR SURVEYOR (BAY LAND CONSULTING). BAY LAND CONSULTING WILL FILE A RECORD OF SURVEY WITHIN THE TIME LIMITS PRESCRIBED BY STATE LAW. NOTE THAT ONCE SAID RECORD OF SURVEY IS RECORDED, OSUNA ENGINEERING, INC. WILL FILE A CORNER RECORD OR RECORD OF SURVEY, WHATEVER IS APPROPRIATE, AT THE SET-BACK CORNERS.

NOTE THAT CONSTRUCTION STAKING, NOR PERMANENT FIELD MARKERS/CORNERS, ARE TO BE SET IN THE FIELD UNTIL THE BOUNDARY SURVEY IS FINALIZED.

[illegible]

OSUNA
ENGINEERING INC.
Planning | Surveying | Civil Engineering

 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

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SAN JOSE, CA 95119
TEL. (408) 772-4381
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ALAMO,

1524 MANNING LANE

APN.: 191-040-028-0

Project No. 3010

Drawn By: J.L./A.Z

CHECKED: O.O.

DATE: 6/12/20

CALIFORNIA

SHEET
1
1 SHEETS