



CONTRA COSTA COUNTY

AGENDA

Knightsen Town Advisory Council

Tuesday, April 16, 2024

7:00 PM

Knightsen Farm Bureau 3020 Second
Street, Knightsen, CA 94548

1. **Roll Call and Introductions**
2. **Approval of Agenda**
3. **Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers will be limited to three minutes).**
4. **Agency Reports**
 - a. Contra Costa County Office of the Sheriff
Contra Costa County Fire Protection District
Office of Supervisor Diane Burgis
5. **Consent Items - Items are subject to removal from the consent calendar by request of any MAC member. Items removed from the consent calendar will be considered with the discussion items.**
 - a. APPROVE Record of Actions - February 20, 2024 [24-1098](#)
Attachments: [02-20-24 Draft Record of Actions](#)
6. **Discussion Items**
 - a. APPROVE a date for the 2024 Knightsen Community Clean-up in partnership with Mt. Diablo Resource Recovery. [24-1099](#)
 - b. CONSIDER Agency Comment Request CDDP 24-03008 where the applicant requests approval of a Development Plan with a variance to allow a 6.5-foot setback (where 10 feet is required) for the conversion of an existing, approximately 542 square-foot detached dwelling unit building into a storage building. Interior and exterior improvements include foundation repair/replacement, roof changes from pitched to flat, increase height to 13 feet to match main building, and new doors/windows. [24-1100](#)
Attachments: [Agency Comment Request CDDP24-03008](#)

c. General Plan Amendment and Climate Action Plan - Informational Item

7. Correspondence/Announcements

a. RECEIVE KTAC April 2024 Correspondence

[24-1101](#)

Attachments: [KTAC April 2024 Correspondence](#)

8. Future Agenda Items

9. Adjourn

The next meeting is currently scheduled for May 21, 2024.

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 3361 Walnut Blvd Suite 140, Brentwood, CA 94513, during normal business hours. Staff reports related to items on the agenda are also accessible on line at www.contracosta.ca.gov. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Stephen Griswold, Deputy Chief of Staff, (925) 655-2330.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-1098

Agenda Date: 4/16/2024

Agenda #: a.

Choose an item.

Meeting Date: April 16, 2024

Subject: Record of Action - February 20, 2024

Submitted For: Knightsen TAC

Recommendation(s)/Next Step(s):

APPROVE Record of Action - February 20, 2024.

Knightsen Town Advisory Council



Kim Carone, Chair

Office of Supervisor Diane Burgis
Contact: Stephen Griswold
3361 Walnut Blvd., Suite 140
Brentwood, CA 94513

Respectfully submitted by:
District Representative, Stephen Griswold

*The Knightsen Town Advisory Council serves as an advisory body to the
Contra Costa County Board of Supervisors and the County Planning Agency.*

Draft Record of Actions

7:30 p.m.

February 20, 2024

1. **MEMBERS PRESENT:** Interim Chair Carone, Councilmember Giessman and Councilmember Jehs.
MEMBERS ABSENT: None
2. **APPROVAL OF AGENDA:** Motion to approve the agenda made Councilmember Jehs. Second made by Interim Chair Carone. Motion carried: 3-0. AYES: Carone, Giessman and Jehs.
3. **PUBLIC COMMENT:**
Zahn: Concerned with two properties and code enforcement violations. Wanted to address here and he will contact Conrad in Code Enforcement.
Schlitt: Believes there to be an illegal sheep slaughter occurring on Eagle Lane. He will call Conrad in Code Enforcement.
4. **AGENCY REPORTS:**
 - a. Contra Costa Sheriff's Department ~ Lt. Jacquez with the Sheriff's office provided the report for January and answered community questions.
 - b. California Highway Patrol ~ Officer Thomas – No Report.
 - c. Contra Costa Fire Protection District ~ No Report.
 - d. Knightsen Elementary School District ~ Superintendent Yurkovich – No Report.
 - e. Office of Supervisor Diane Burgis ~ Chief of Staff Alicia Nuchols reported out on her promotion to Chief of Staff and announced Stephen Griswold, Deputy Chief of Staff, will be taking over as staff for KTAC. Announced 2 vacant seats on KTAC. Applications begin received and interviews will be scheduled with the Supervisor.
5. **CONSENT ITEMS:**
 - a. **Approval of the Draft Record October 17, 2023:** Motion to approve as presented by Jehs. Second made by Giessman. Motion Carried: 3-0. AYES: Carone, Giessman and Jehs.
6. **PRESENTATIONS:**
None.
7. **ITEMS FOR DISCUSSION AND/OR ACTION:**
 - a. Review and Approve 2023 Annual Report and 2024 Objectives: Motion to approve as amended, spelling corrections made by Jehs. Second by Giessman. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
 - b. Rotation of 2024 Chair and Vice Chair: Motion for Carone to remain Chair by Councilmember Jehs. Second by Giessman. Motion carried. 3-0 AYES: Carone, Giessman and Jehs.
Motion for Giessman to be Vice Chair made by Carone, second by Jehs. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
 - c. Discuss new KTAC meeting time: Discussed changing the meeting time. Motion to change to 7:00pm beginning with March meeting made by Jehs. Second by Giessman. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
 - d. **Agency Comment Request #CDLP23-02034** The applicant requests a Land Use Permit – Development Plan Combination to allow the sale of pre-packaged alcohol and pre-packaged food (take-out food) in an existing building with no records. A proposed gas dock, picnic area, and stage are proposed to establish a Beer Garden. (Concurrent CDLP23-02048 Food Trucks).

This meeting record is provided pursuant to Better Government Ordinance 95-6, Article 25-2.205(d) of the Contra Costa County Ordinance Code.

Applicant was present and provided an overview of both agenda items 7d and 7e. Answered community questions. Motion to recommend approval of the application was made by Jehs. Second by Carone. Motion carried. AYES: Carone, Jehs and Giessman

- e. **Agency Comment Request #CDLP23 -02048** The applicant requests a Land Use Permit to allow 2-3 food trucks to operate Thursday-Sunday from 8:00am – 6:00pm (Concurrent CDLP23-02034 Beer Garden) located at the eastern end of the lot. Motion to recommend approval of the application was made by Jehs. Second by Carone. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
- f. **Agency Comment Request #CDLP24-02001** The applicant requests a land use permit to establish a dog kennel business within an existing 960 sf agricultural building. The business proposes to have a maximum of 9 dogs at the kennel at one time with business hours of 7:00am – 7:00pm, 7 days a week. Applicant was present to do an overview of the application and answer community questions. Motion to recommend approval of the application made by Carone. Second by Jehs.. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
- g. **Agency Comment Request #CDVR23-01060** The applicant requests a Variance and Small Lot Design review application to allow a 0-foot side yard (where 20 feet is the minimum) and a 20-foot aggregate side yard (where 40feet aggregate) for an existing barn. Applicant was not present. Councilmembers had questions for the applicant. It was noted that the applicants did not follow the appropriate process to erect the barn. Because of that, a motion to deny the application and have them follow the correct process was made by Carone. Second by Jehs. Motion carried 3-0. AYES: Carone, Giessman and Jehs.
- h. Discuss and act as needed on the replacement of the Knightsen Bench at the Post Office – Item tabled for the next meeting.

8. CORRESPONDENCE/ANNOUNCEMENTS (R=Received S=Sent)

- a. R-9/20/23 Notice of Preparation and Notice of Public Scoping Meeting
- b. R-10/05/23 County Planning Commission Meeting Agenda October 11, 2023
- c. R-10/10/23 Contra Costa County Zoning Administrator Meeting Agenda for October 16, 2023
- d. R-10/16/23 County Planning Commission Cancellation Notice for October 25, 2023
- e. R-10/20/23 Contra Costa County Zoning Administrator Meeting Agenda for November 6, 2023
- f. R-10/26/23 County Planning Commission Cancellation Notice for November 8, 2023
- g. R-11/13/23 County Planning Commission Meeting Agenda November 15, 2023
- h. R-11/14/23 Contra Costa County Zoning Administrator Meeting Agenda for November 20, 2023
- i. R-11/29/23 Contra Costa County Zoning Administrator Meeting Agenda for December 4, 2023
- j. R-12/11/23 Contra Costa County Zoning Administrator Meeting Agenda for December 18, 2023
- k. R-11/29/23 Contra Costa County Zoning Administrator Meeting Agenda for December 4, 2023
- l. R-12/26/23 Contra Costa County Zoning Administrator Meeting Agenda for January 8, 2024
- m. R-12/27/23 REVISED Contra Costa County Zoning Administrator Meeting Agenda for January 8, 2023
- n. R-01/04/24 County Planning Commission Meeting Agenda January 10, 2024
- o. R-01/11/24 Contra Costa County Zoning Administrator Meeting Agenda for January 22, 2024
- p. R-01/18/24 County Planning Commission Meeting Agenda January 24, 2024
- q. R-01/29/24 Contra Costa County Zoning Administrator Meeting Agenda for February 5, 2024
- r. R-01/29/24 County Planning Commission Cancellation Notice for February 14, 2023
- s. R-02/02/24 REVISED Contra Costa County Zoning Administrator Meeting Agenda for February 5, 2023
- t. R-02/12/24 Notice From Department of Conservation and Development – Notice of Availability of a Draft Environmental Impact Report and Notice of Public Review and Comment Period for the Contra Costa County 2045 General Plan and Draft Climate Action Plan 2024 Update
- u. R-02/12/24 Contra Costa County Zoning Administrator Meeting Agenda for February 21, 2024

9. FUTURE AGENDA ITEMS

10. ADJOURNMENT

There being no further business before the Knightsen Town Advisory Council, Interim Chair Carone motioned to adjourn the meeting at 8:50pm. The next regularly scheduled Knightsen Town Advisory Council meeting on March 19, 2024 at 7:00pm



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-1099

Agenda Date: 4/16/2024

Agenda #: a.

Choose an item.

Meeting Date: April 16, 2024

Subject: 2024 Knightsen Community Clean-up Date

Submitted For: Knightsen TAC

Recommendation(s)/Next Step(s):

APPROVE a date for the 2024 Knightsen Community Clean-up in partnership with Mt. Diablo Resource Recovery from the list below:

June 22, 2024

July 20, 2024

July 27, 2024

August 24, 2024

October 5, 2024

October 26, 2024



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-1100

Agenda Date: 4/16/2024

Agenda #: b.

Choose an item.

Meeting Date: April 16, 2024

Subject: CONSIDER CDDP24-03008

Submitted For: Knightsen TAC

Recommendation(s)/Next Step(s):

CONSIDER Agency Comment Request CDDP 24-03008 where the applicant requests approval of a Development Plan with a variance to allow a 6.5-foot setback (where 10 feet is required) for the conversion of an existing, approximately 542 square-foot detached dwelling unit building into a storage building. Interior and exterior improvements include foundation repair/replacement, roof changes from pitched to flat, increase height to 13 feet to match main building, and new doors/windows.



AGENCY COMMENT REQUEST

Date 3/6/2024

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input checked="" type="checkbox"/> Building Inspection Advance Planning Trans. Planning ALUC Staff APC PW Staff </td> <td style="width: 50%; vertical-align: top;"> Grading Inspection Housing Programs Telecom Planner <input checked="" type="checkbox"/> HCP/NCCP Staff County Geologist </td> </tr> </table> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input checked="" type="checkbox"/> Environmental Health <u>PUBLIC WORKS DEPARTMENT</u> Engineering Services (1 Full-size + 3 email Contacts) Traffic Flood Control (Full-size) </td> <td style="width: 50%; vertical-align: top;"> Hazardous Materials Special Districts </td> </tr> </table> <p><u>LOCAL</u></p> <input checked="" type="checkbox"/> Fire District _____ San Ramon Valley – (email) rwendel@srvfire.ca.gov <input checked="" type="checkbox"/> Consolidated – (email) fire@cccfd.org East CCC – (email) brodriguez@cccfd.org Sanitary District _____ <input checked="" type="checkbox"/> Water District <u>Diablo Water</u> _____ City of _____ School District(s) _____ LAFCO _____ Reclamation District # _____ East Bay Regional Park District _____ Diablo/Discovery Bay/Crockett CSD _____ <input checked="" type="checkbox"/> MAC/TAC <u>Knightsen TAC</u> _____ Improvement/Community Association _____ <input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email) _____ <u>OTHERS/NON-LOCAL</u> CHRIS (email only: nwic@sonoma.edu) _____ CA Fish and Wildlife, Region 3 – Bay Delta _____ Native American Tribes _____ <u>ADDITIONAL RECIPIENTS</u> Delta Protection Committee; Delta Stewardship Council _____ _____ _____	<input checked="" type="checkbox"/> Building Inspection Advance Planning Trans. Planning ALUC Staff APC PW Staff	Grading Inspection Housing Programs Telecom Planner <input checked="" type="checkbox"/> HCP/NCCP Staff County Geologist	<input checked="" type="checkbox"/> Environmental Health <u>PUBLIC WORKS DEPARTMENT</u> Engineering Services (1 Full-size + 3 email Contacts) Traffic Flood Control (Full-size)	Hazardous Materials Special Districts	<p><i>Please submit your comments to:</i></p> Project Planner <u>Dominique Vogelpohl</u> Phone # <u>925-655-2880</u> E-mail <u>dominique.vogelpohl@dcd.cccounty.ca.gov</u> County File # <u>CDDP24-03008</u> Prior to <u>April 3, 2024</u> <p style="text-align: center;">*****</p> We have found the following special programs apply to this application: <input checked="" type="checkbox"/> Active Fault Zone (Alquist-Priolo) Flood Hazard Area, Panel # _____ <input checked="" type="checkbox"/> 60-dBA Noise Control CA EPA Hazardous Waste Site High or Very High FHSZ <p style="text-align: center;">*****</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: None Below Attached</p> Print Name _____ Signature _____ DATE _____ Agency phone # _____
<input checked="" type="checkbox"/> Building Inspection Advance Planning Trans. Planning ALUC Staff APC PW Staff	Grading Inspection Housing Programs Telecom Planner <input checked="" type="checkbox"/> HCP/NCCP Staff County Geologist				
<input checked="" type="checkbox"/> Environmental Health <u>PUBLIC WORKS DEPARTMENT</u> Engineering Services (1 Full-size + 3 email Contacts) Traffic Flood Control (Full-size)	Hazardous Materials Special Districts				



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDDP24-03008

File Date: 3/5/2024

Applicant:

Debra Fromme
Choice Plans and Permit Services
1021 Vineyard Drive
Oakley, CA 94561

choicepps@yahoo.com
(925) 783-1858

Property Owner:

ROBERT CORT
757 3RD AVE
SAN FRANCISCO, CA 941183908

cortproperty@gmail.com
(415) 573-7443

Project Description:

The applicant requests approval of a Development Plan with a Variance to allow a 6.5-foot setback (where 10 feet is required) for the conversion of an existing, approximately 542 square-foot detached dwelling unit building into a storage building. Interior and exterior improvements include foundation repair/replacement, roof change from pitched to flat, increase height to 13 feet to match main building, and new doors/windows.

Project Location: (Address: 3011 KNIGHTSEN AVE, KNIGHTSEN, CA 945480328), (APN: 020073008)

Additional APNs:

General Plan Designation(s): CO

Zoning District(s): "R-B, -CE"

Flood Hazard Areas: X

AP Fault Zone: Liquefaction

60-dBA Noise Control: Yes

MAC/TAC: Knightsen TAC

Sphere of Influence: None

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: None

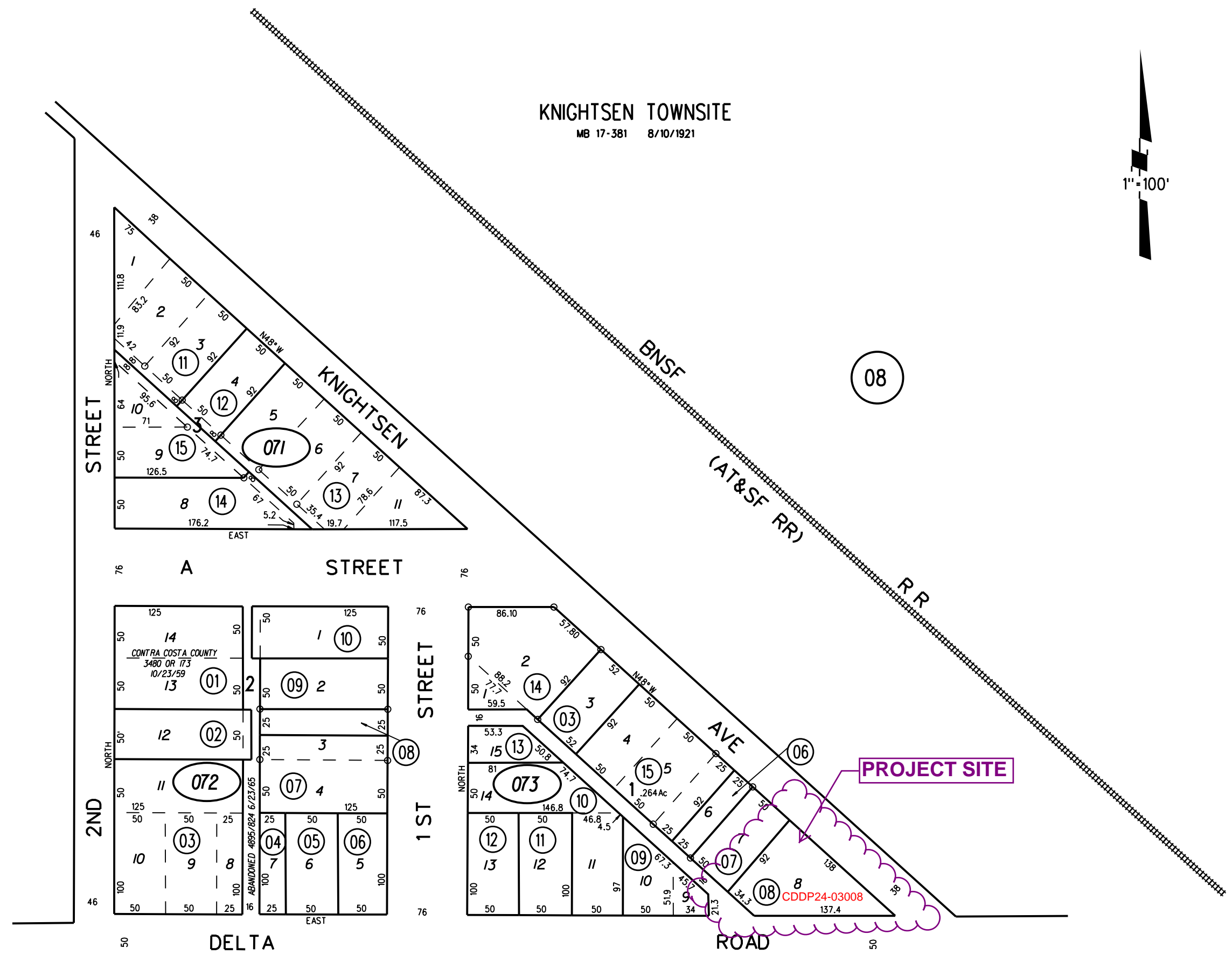
Housing Inventory Site: No

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DP016A	Dev Plan Minor Modification (Administrative)	002606-9660-REV-000-5B016A	1500.00	1500.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
Total:			1662.00	1662.00

KNIGHTSEN TOWNSITE

MB 17-381 8/10/1921



06

08

08

08

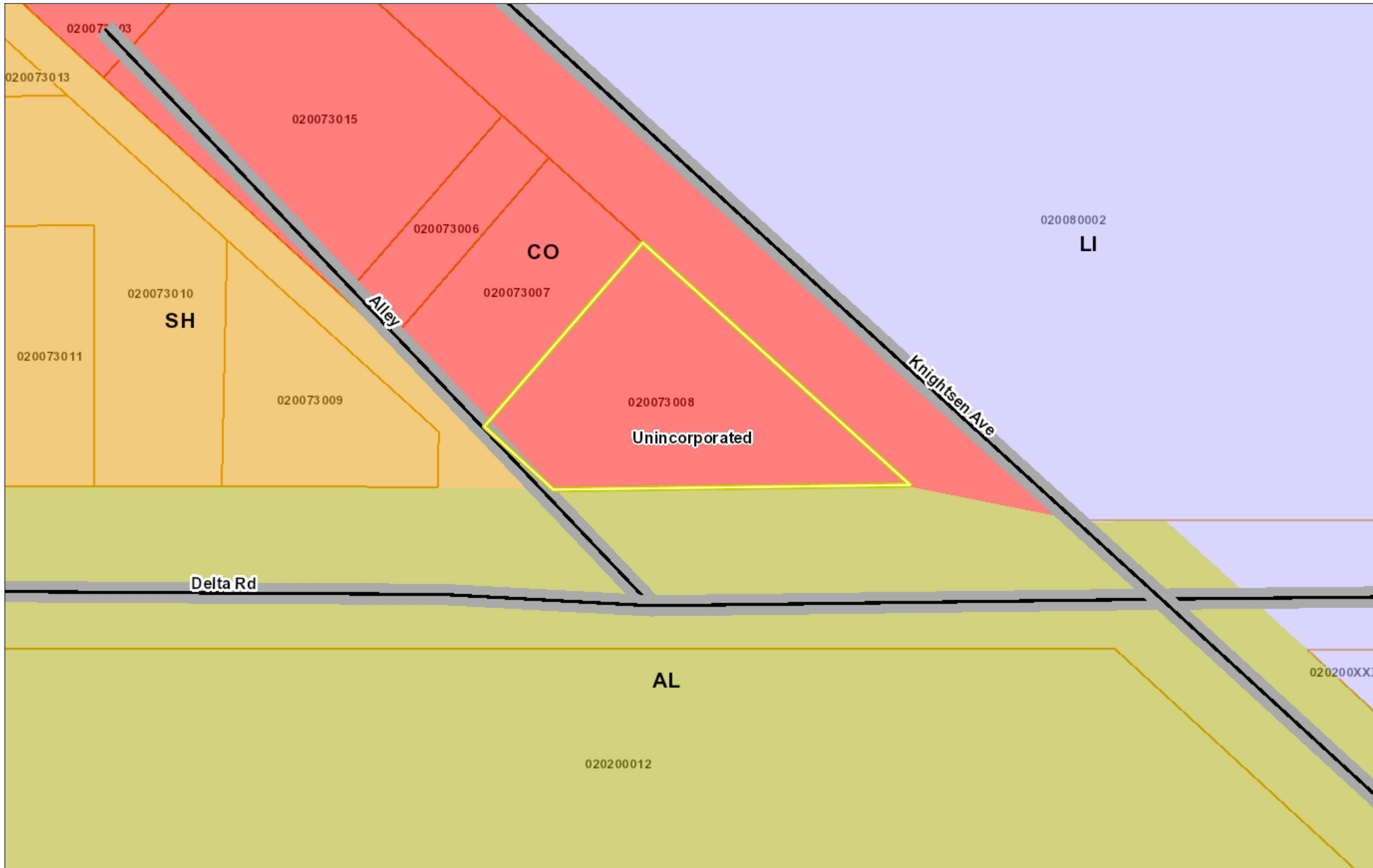
PROJECT SITE

CDDP24-03008

20

- 071
- 072
- 073
- 15 12/10/04
- 15 MAP CORRECTION 7/16/09
- 15 01/25/23

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



Legend

- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- General Plan**
- SV (Single Family Residential - Very Low Density)
- SL (Single Family Residential - Low Density)
- SM (Single Family Residential - Medium Density)
- SH (Single Family Residential - High Density)
- ML (Multiple Family Residential - Low Density)
- MM (Multiple Family Residential - Medium Density)
- MH (Multiple Family Residential - High Density)
- MV (Multiple Family Residential - Very Low Density)
- MS (Multiple Family Residential - Very Low Density)
- CC (Congregate Care/Senior Housing)
- MO (Mobile Home)
- M-1 (Parker Avenue Mixed Use)
- M-2 (Downtown/Waterfront Rodeo Island)
- M-3 (Pleasant Hill BART Mixed Use)
- M-4 (Willow Pass Road Mixed Use)
- M-5 (Willow Pass Road Commercial)
- M-6 (Bay Point Residential Mixed Use)
- M-7 (Pittsburg/Bay Point BART Station)
- M-8 (Dougherty Valley Village Center)
- M-9 (Montalvin Manor Mixed Use)
- M-10 (Willow Pass Business Park)
- M-11 (Appian Way Mixed Use)
- M-12 (Triangle Area Mixed Use)
- M-13 (San Pablo Dam Road Mixed Use)
- M-14 (Heritage Mixed Use)
- CO (Commercial)
- OF (Office)
- BP (Business Park)
- LI (Light Industry)
- HI (Heavy Industry)
- AL, OIBA (Agricultural Lands & Off-Road)
- CR (Commercial Recreation)
- ACO (Airport Commercial)

1: 564



0.0 0 0.01 0.0 Miles

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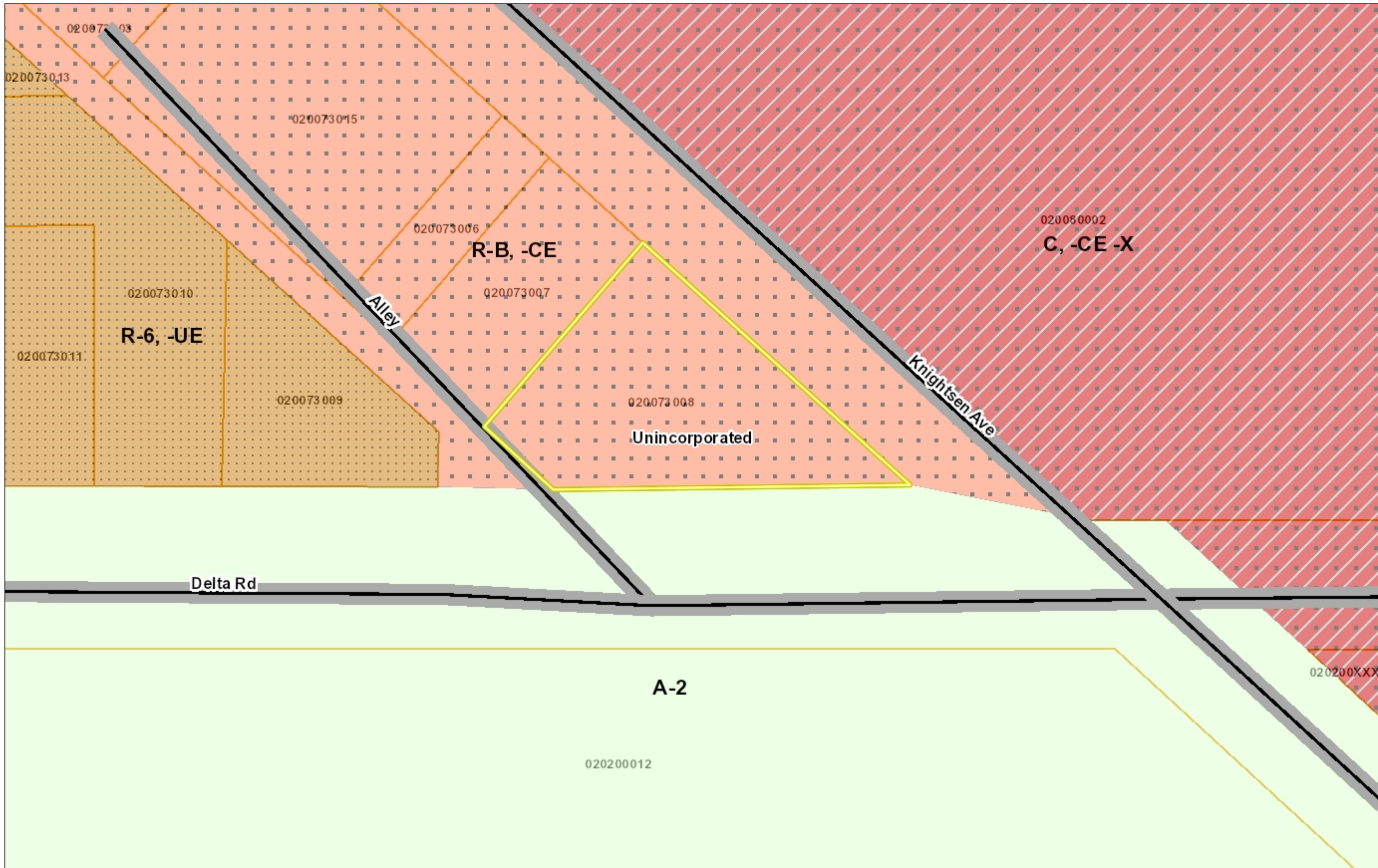
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Contra Costa County -DOIT GIS

Zoning: R-B, -CE



Legend

- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Zoning
 - R-6 (Single Family Residential)
 - R-6, -FH -UE (Flood Hazard and A
 - R-6 -SD-1 (Slope Density Hillside I
 - R-6 -TOV -K (Tree Obstruction anc
 - R-6, -UE (Urban Farm Animal Excl
 - R-6 -X (Railroad Corridor Combinir
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combinir
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exc
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exc
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and A
 - R-40, -UE (Urban Farm Animal Exc
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining Dist
 - D-1, -UE (Urban Farm Animal Excl
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combining
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)
 - F-R -FH (Flood Hazard Combining I
 - F-1 (Water Recreational)
 - F-1 -FH (Flood Hazard Combining I
 - A-2 (General Agriculture)
 - A-2, -BS (Boat Storage Combining I
 - A-2, -BS -SG (Boat Storage and So

1: 564



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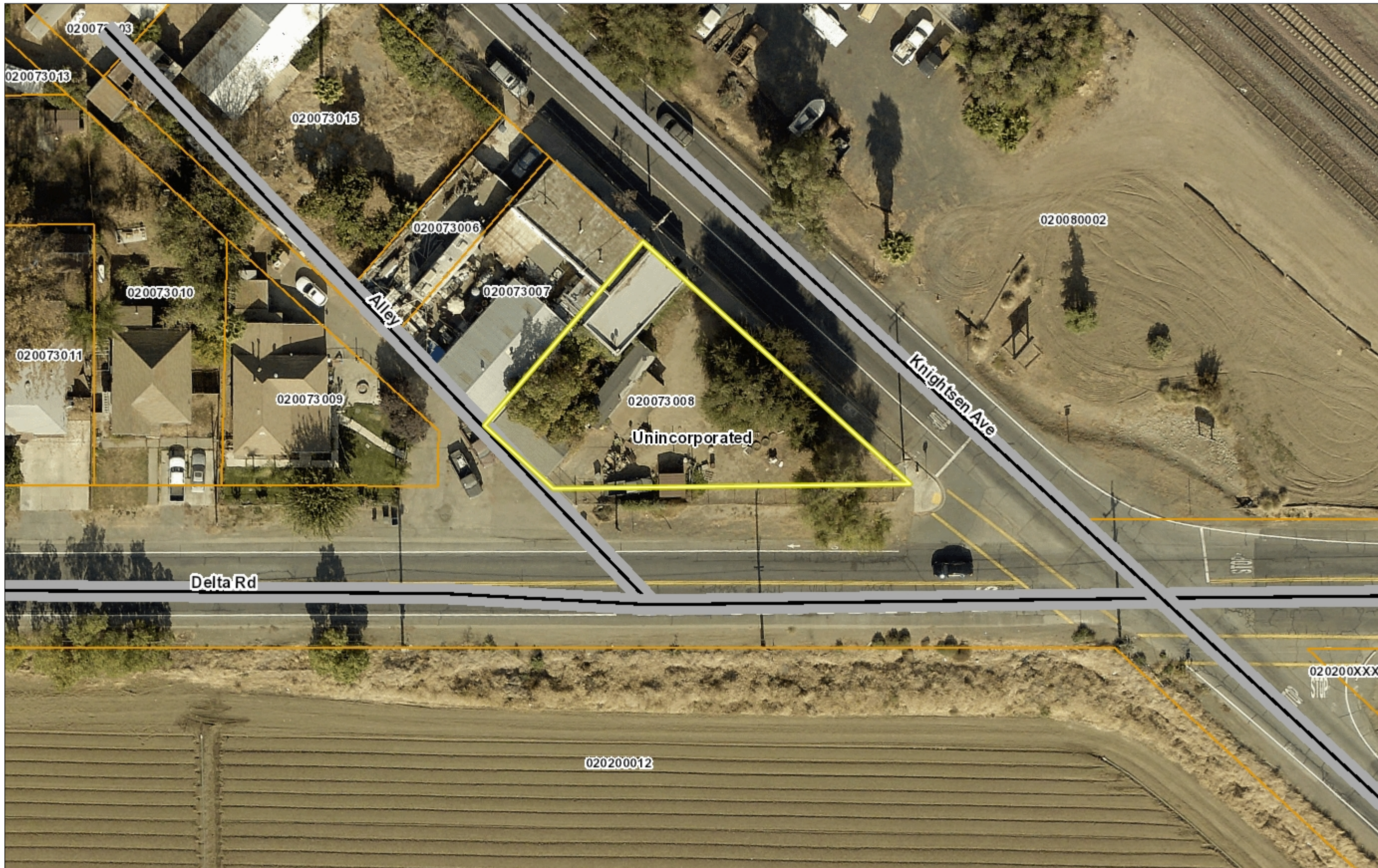
WGS_1984_Web_Mercator_Auxiliary_Sphere

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Notes

Contra Costa County -DOIT GIS



Legend

-  City Limits
-  Unincorporated
-  Highways
-  Highways Bay Area
-  Streets
-  Water Bodies
-  County Boundary
-  Bay Area Counties
-  Assessment Parcels
-  World Imagery
-  Low Resolution 15m Imagery
-  High Resolution 60cm Imagery
-  High Resolution 30cm Imagery
-  Citations

1: 564



0.0 0 0.01 0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

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Notes

Contra Costa County -DOIT GIS



RECEIVED on 03/05/2024 CDDP24-03008
 By Contra Costa County
 Department of Conservation and Development

Cort Properties
 (415) 573-7443

Project:
 Accessory
 Building
 Repair/
 Alteration

Project Address:
 3011 Knightsen
 Avenue,
 Knightsen

Sheet Title:
 Title Page

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
 Date:
 16Jan24
 Scale:
 N/A

Page
T

SCOPE OF WORK

- REPAIR/ALTER EXISTING LIVING UNIT INTO STORAGE BUILDING IN SAME LOCATION; NO CHANGE IN SIZE

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA CALGREEN CODE

PROJECT DATA

OCCUPANCY TYPE: U
 TYPE OF CONSTRUCTION: V
 STORIES: SINGLE
 AREA OF WORK: STORAGE BUILDING
 FIRE SPRINKLERS: NO
 RISK CATEGORY: II
 SEISMIC DESIGN CATEGORY: D
 ADDRESS: 3011 KNIGHTSEN AVE
 CITY: KNIGHTSEN
 APN: 020-073-008

SHEET INDEX

TITLE PAGE
 A GENERAL NOTES
 A1 SITE PLAN
 A2 EXISTING/PROPOSED FLOOR PLAN
 A3 EXISTING ELEVATIONS
 A4 PROPOSED ELEVATIONS
 S1 FOUNDATION/FRAMING PLAN
 CD1 CONSTRUCTION DETAILS
 E1 ELECTRICAL PLAN
 P1 PLUMBING PLAN

General Notes

1. Contractor is responsible for construction. Subcontractors are the responsibility of the contractor.
2. Contractor shall comply with all local laws and ordinances of the public agencies having jurisdiction on this project.
3. The scope of plan services are limited to providing a plan set. The plan set is for obtaining a permit, but may not contain all materials and methods for construction.
4. All standard notes are typical U.O.N.
5. Construction design is based on current California Codes (Title 24).
6. Habitable rooms designed with adequate natural light and ventilation according to code minimums.
7. Property line setback requirements based on current zoning regulations. Actual setback distances in the field for structures are the responsibility of the property owner.
8. Existing structures and construction based on field conditions and are not the responsibility of the plan designer.
9. Hard wired smoke alarms (detectors) installed in each bedroom and the adjacent hallway. Smoke alarms to be interconnected. Smoke alarms located per CRC 314.3.3.
10. Hard wired Carbon Monoxide (CO) alarm (detector) installed in hallway adjacent to bedrooms. CO alarms to be interconnected. CO alarms located per manufacture.
11. Site address installed visible from the street. Address installed with min 4 inch height numbers.
12. Attic Access provided with a min 22x30 inch opening.

Grading Notes

1. Contractor shall be responsible for adequate temporary drainage facilities during rainy season operation and protect all areas from erosion. Contractor shall repair any areas of erosion
2. All excavated soil for foundation work shall be redistributed on site or if removed from site should be properly disposed
3. Finished grade shall match existing grade and topography of the property including proper drainage away from the foundation with a minimum .5% slope

Concrete Notes

1. All rebar #3 in size required to be grade 40 minimum. All rebar #4 in size or greater required to be grade 60 minimum.
2. Minimum strength for structural concrete required to be 2500 psi.
3. Rebar clearances 3 inches to earth & 1 1/2 inches to form boards
4. 5/8" anchor bolts spaced at 4 ft on center
5. Epoxy used for drill and epoxy into existing concrete foundation required to be XP type minimum

Framing Notes

1. Wood members to be Douglas-Fir and grade No. 2 or better.
2. Mud sill required to be pressure treated
3. Studs to be continuous from floor to roof or ceiling.
4. Exterior stud framing to be 2x6 spaced 16 inch on center
5. Interior stud framing to be 2x6 spaced 16 inch on center
6. Project using conventional light framing.
7. All wood framing connections per CRC Table 602.3(1) Fastening Schedule.

Electrical Notes

1. All electrical equipment to be listed and installed per manufacture.
2. Electrical branch circuits and service equipment to be calculated and sized accordingly.
3. Electrical conductor sizing based on current NEC sizing table 310.15(B)16
4. AFCI protection installed for all new and modified 15 and 20 amp branch circuits located in rooms per CEC 210.12 (A).
5. GFCI protection installed for receptacles located in bathrooms, garage, outdoors, kitchens, and laundry rooms.
6. Exterior equipment installed is rated for outdoors.
7. Outdoor receptacles to be weather-resistive type and have proper covers.
8. All circuits to be properly labeled for the devices served.

Plumbing Notes

1. Domestic water lines material is copper piping.
2. Atmospheric breakers required at exterior hose bibbs.
3. Drain, waste, vent (DWV) system to be ABS.
4. Toilets installed with min 24 inch clearance in front and 15 inch clearance on sides from the centerline.
5. Toilets installed with max 1.28 gallons per flush.

Finishes Notes

1. Stucco installed per manufacture with underlayment installed per manufacture.
2. Roof material to match existing and is the responsibility of the property owner and contractor
3. Roof gutters to be installed and properly drained to lawn or subsurface drain.

Energy/CalGreen

1. All new lighting to be high efficacy and will meet the requirements of CEC table 150A
2. New outdoor lighting to have photocell control and motion sensor

Cort Properties
(415) 573-7443

Project:
Accessory Building Repair/Alteration

Project Address:
3011 Knightsen Avenue,
Knightsen

Sheet Title:
General Notes

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort

Date:
16Jan24

Scale:
N/A

Page

A

Project:
Accessory
Building
Repair/
Alteration

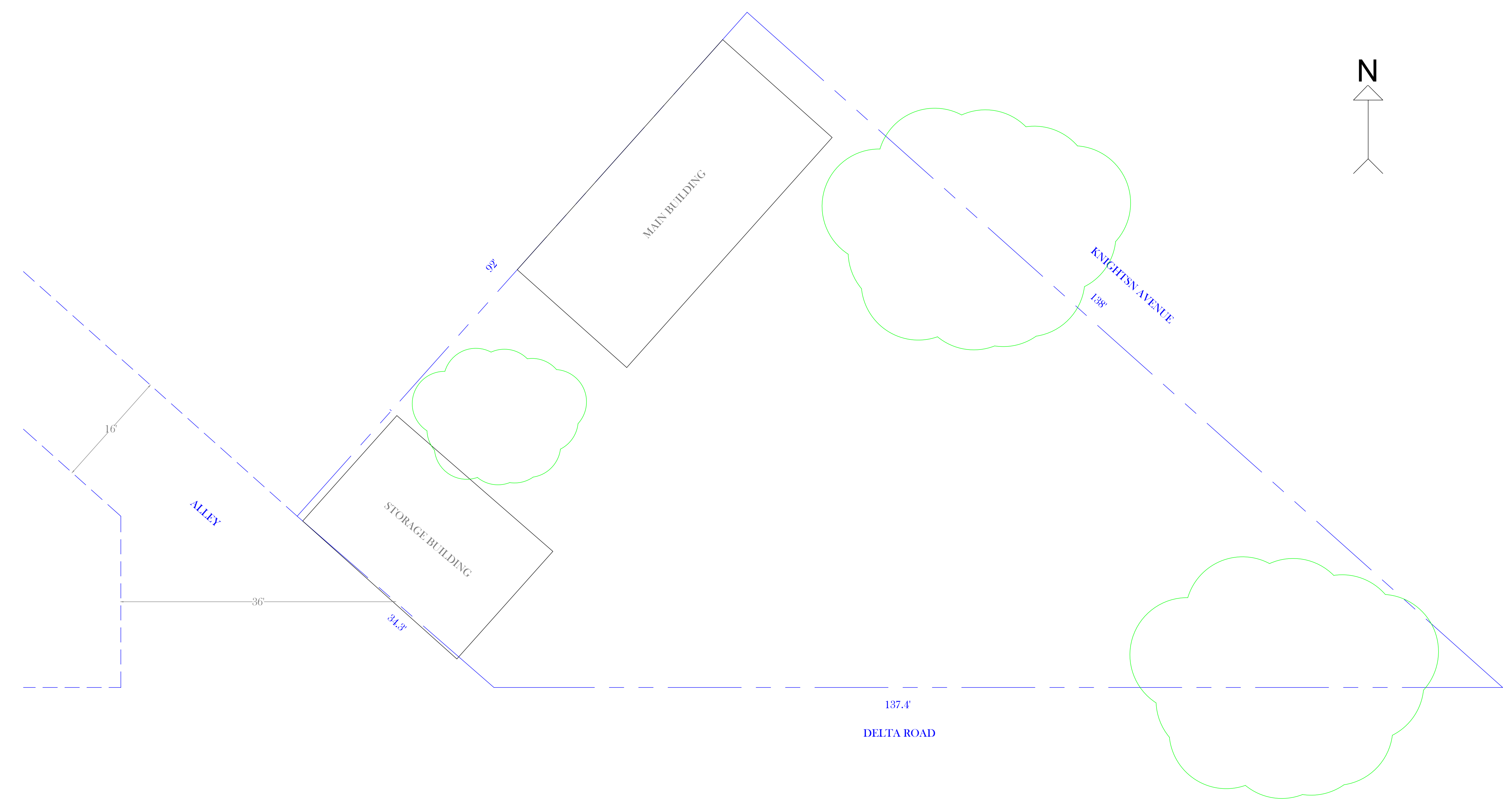
Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Site Plan

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
Date:
16Jan24
Scale:
1/8" = 1' 0"

Page
A1



1 SITE PLAN

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Existing &
Proposed
Floor Plan

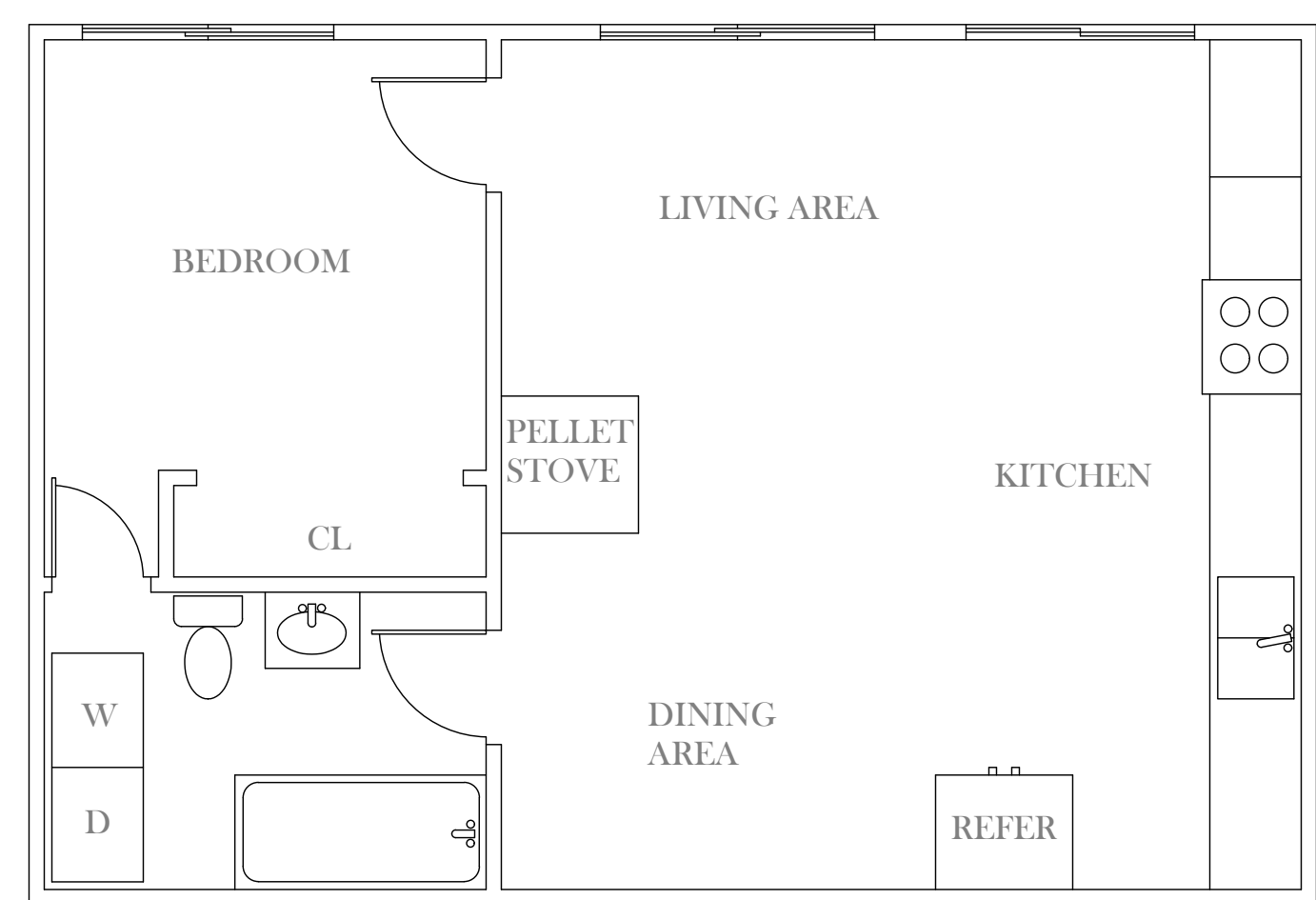
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No.	Descrptn	Date

Drawn By:
Robert Cort

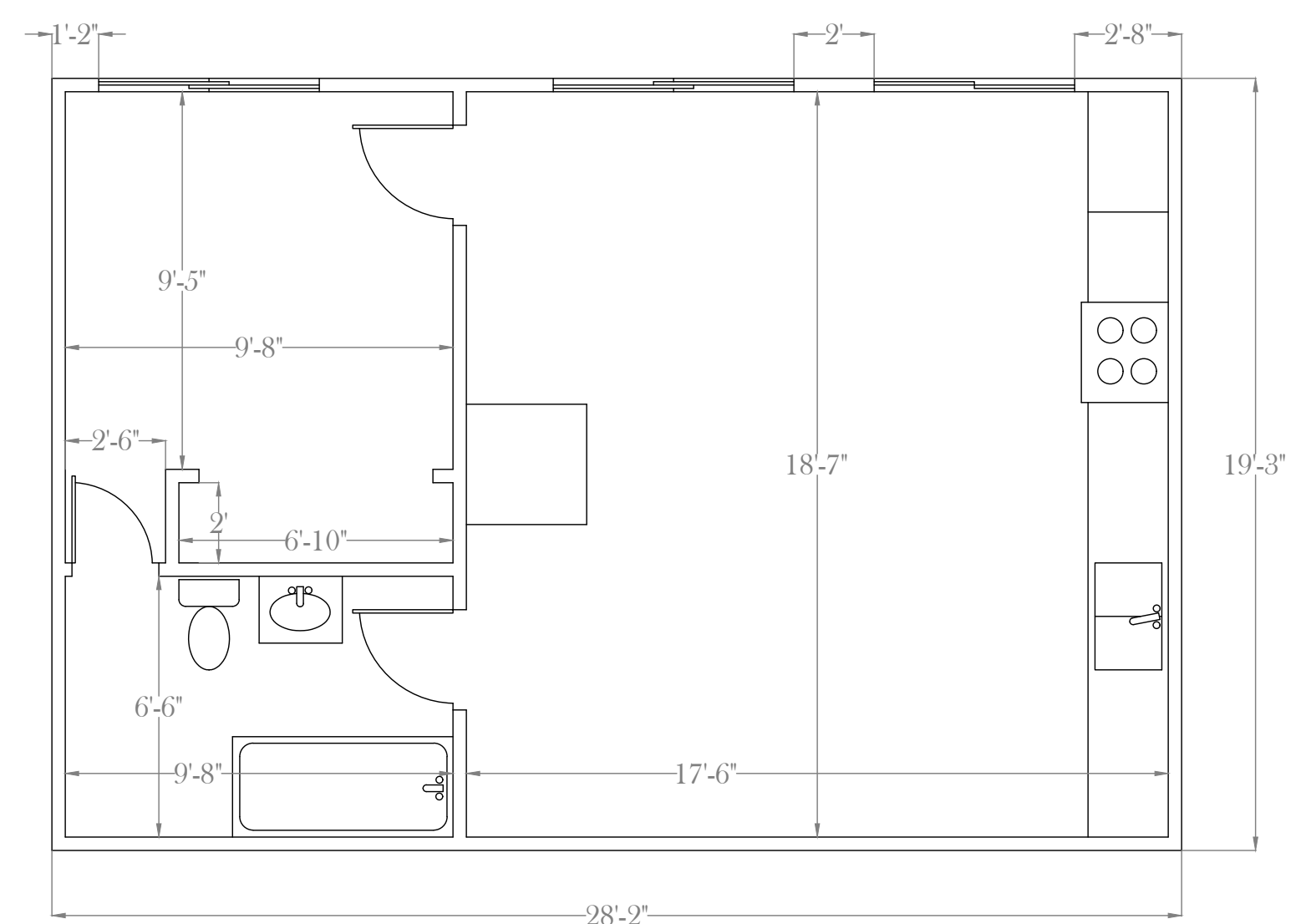
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16Jan24

Scale:
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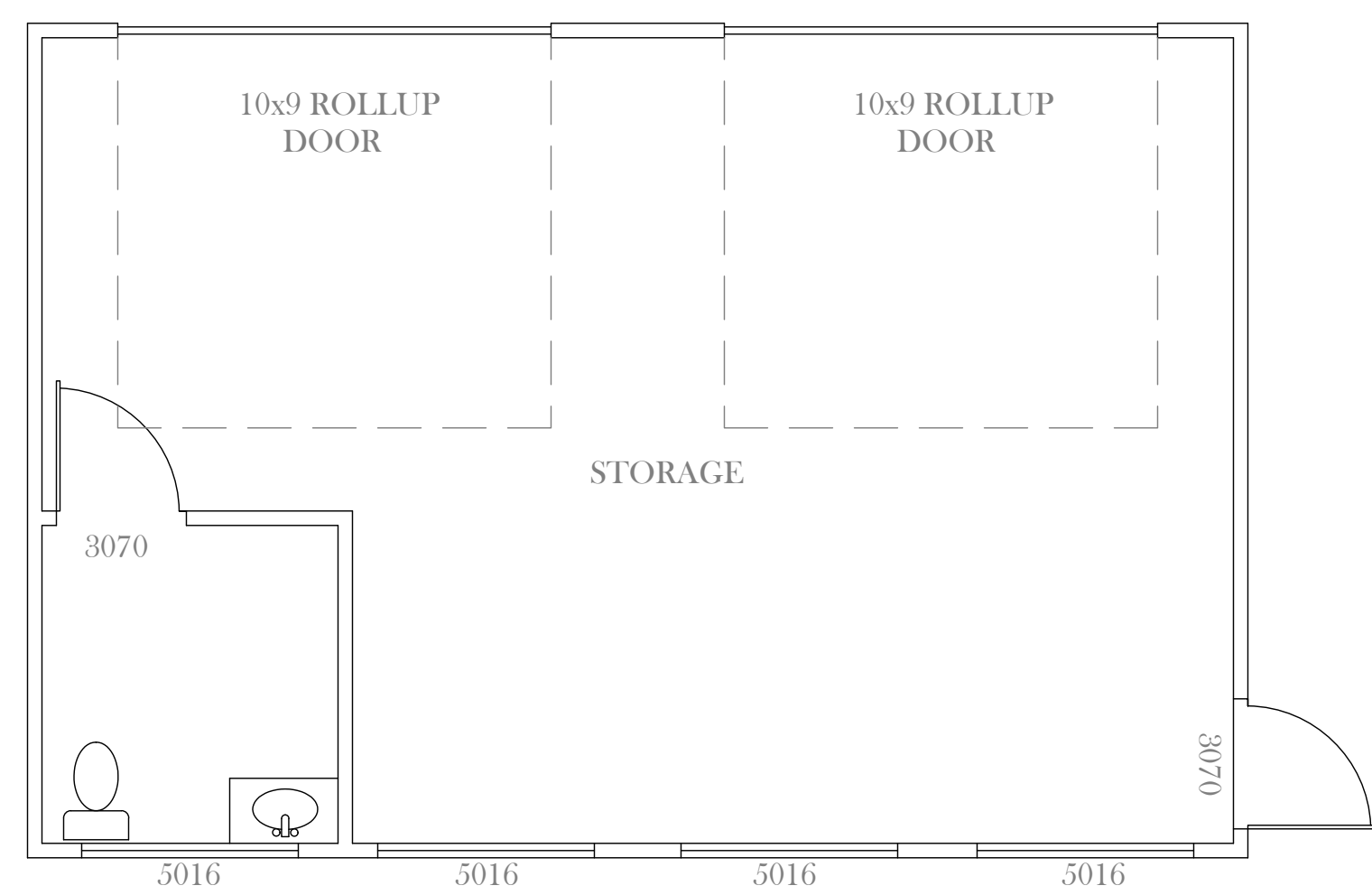


1 - EXISTING FLOOR PLAN

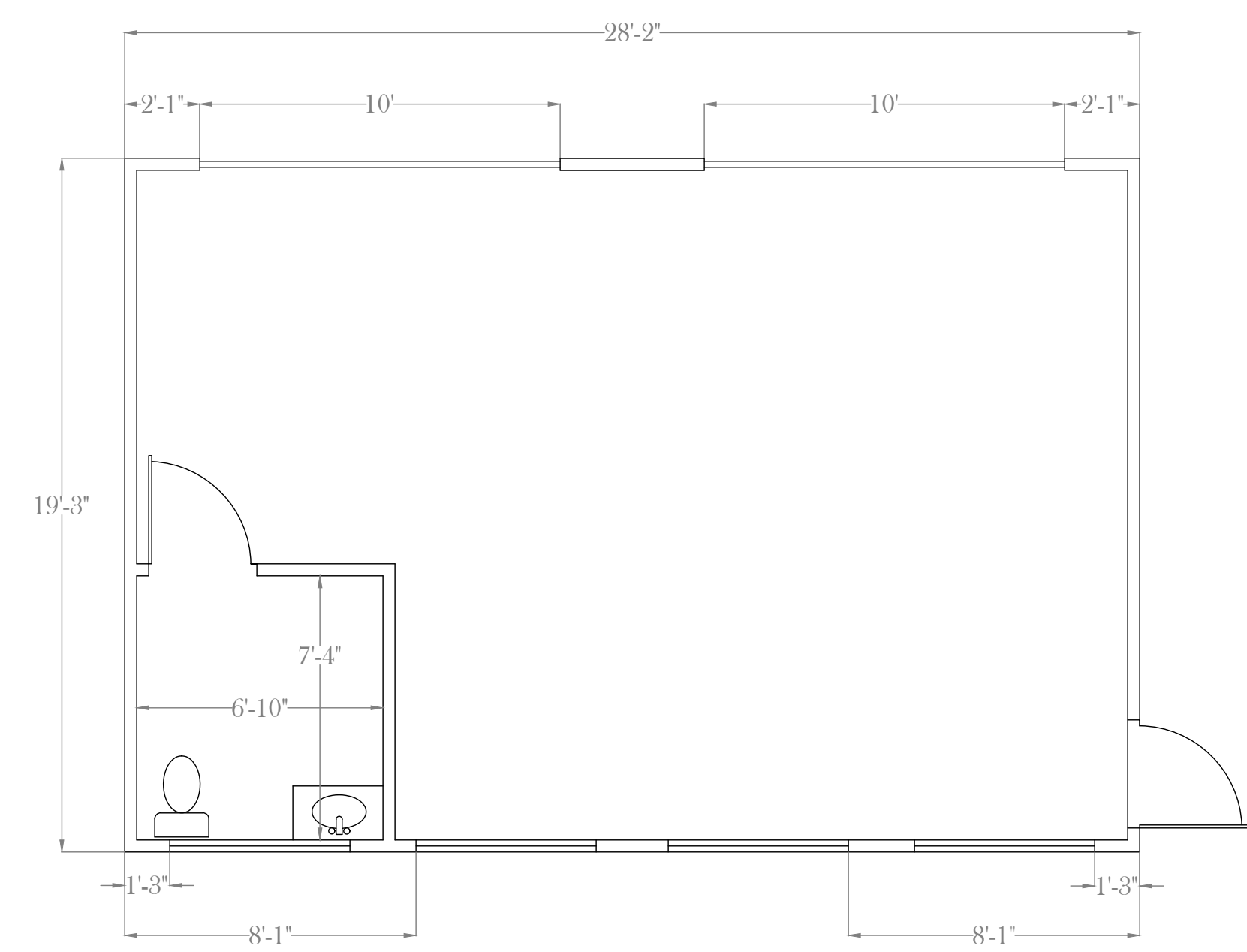


2 - EXISTING FLOOR PLAN WITH DIMENSIONS

SCOPE OF WORK:
 -CONVERT EXISTING LIVING UNIT INTO A STORAGE BUILDING
 -REPLACE FOUNDATION AS NEEDED DUE TO SETTLING/DAMAGE
 -REPAIR/REPLACE WALLS AS NEEDED DUE TO DRYROT/DAMAGE PER PLAN
 -RECONFIGURE BATHROOM IN NEW STORAGE BUILDING FROM EXISTING LIVING UNIT
 -EXTEND EXISTING WALLS RAISING THE ROOF AND CREATING A FLAT ROOF TO MATCH THE EXISTING MAIN BUILDING WITH A PARAPET
 -INSTALL NEW DOORS AND WINDOWS PER PLAN
 -REPLACE MAIN ELECTRICAL PLAN AND REWIRE PER PLAN



3 - PROPOSED FLOOR PLAN



4 - PROPOSED FLOOR PLAN WITH DIMENSIONS

Cort Properties
(415) 573-7443

Project:
Accessory
Building
Repair/
Alteration

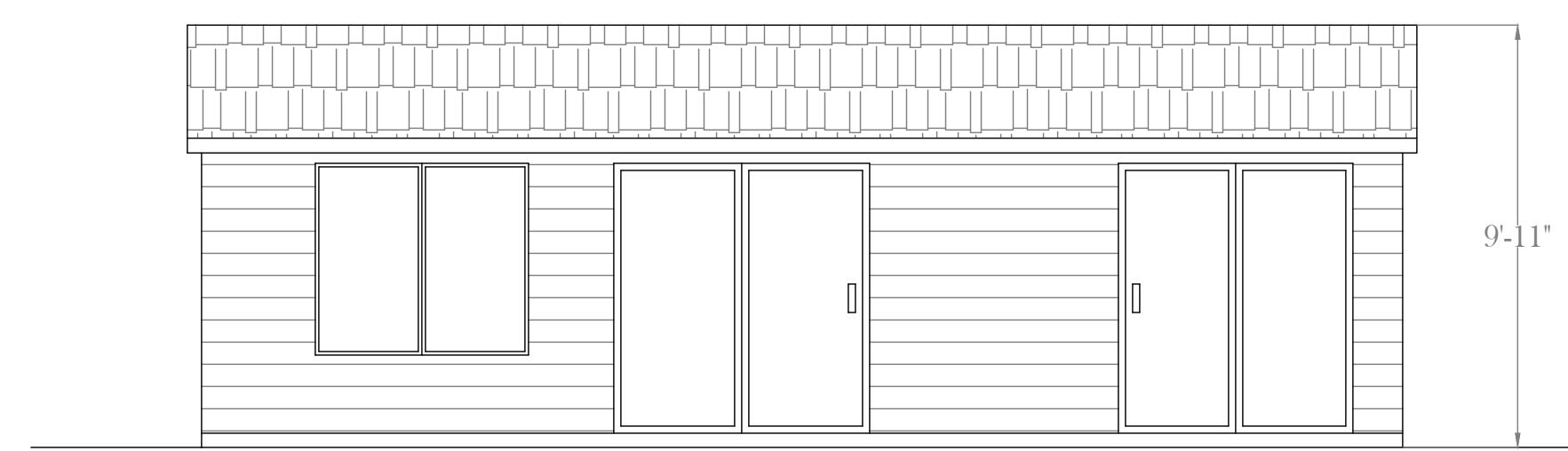
Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Existing
Elevations

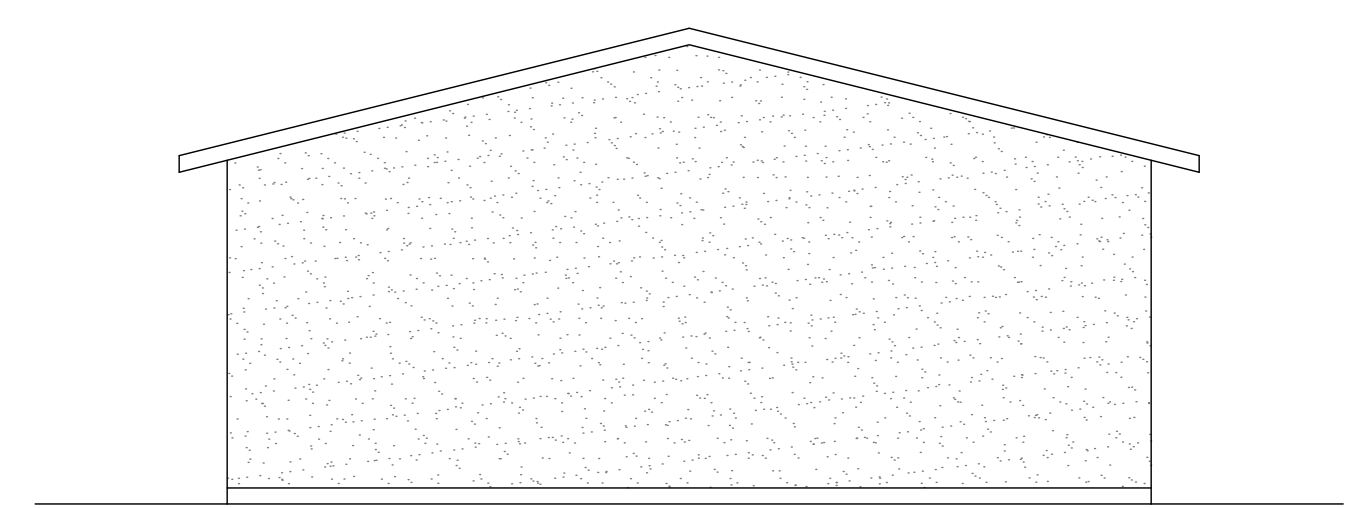
Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
Date:
16Jan24
Scale:
1/4" = 1' 0"

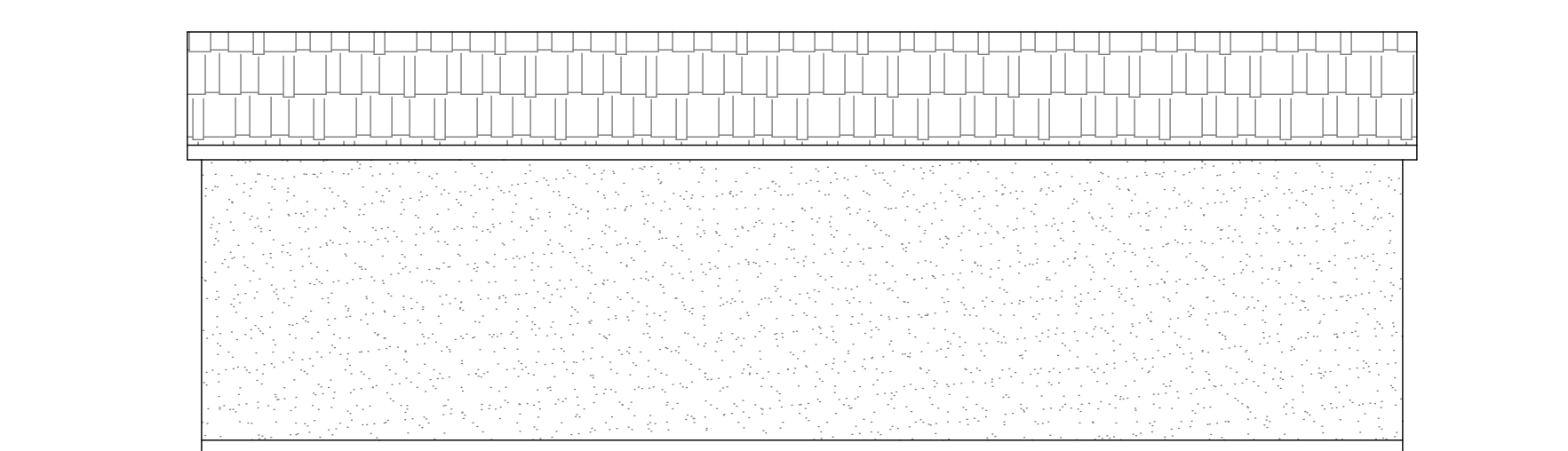
Page
A3



1 FRONT/NORTHEAST ELEVATION



2 SIDE/NORTHWEST ELEVATION



3 REAR/SOUTHWEST ELEVATION



4 SIDE/SOUTHEAST ELEVATION

Project:
Accessory
Building
Repair/
Alteration

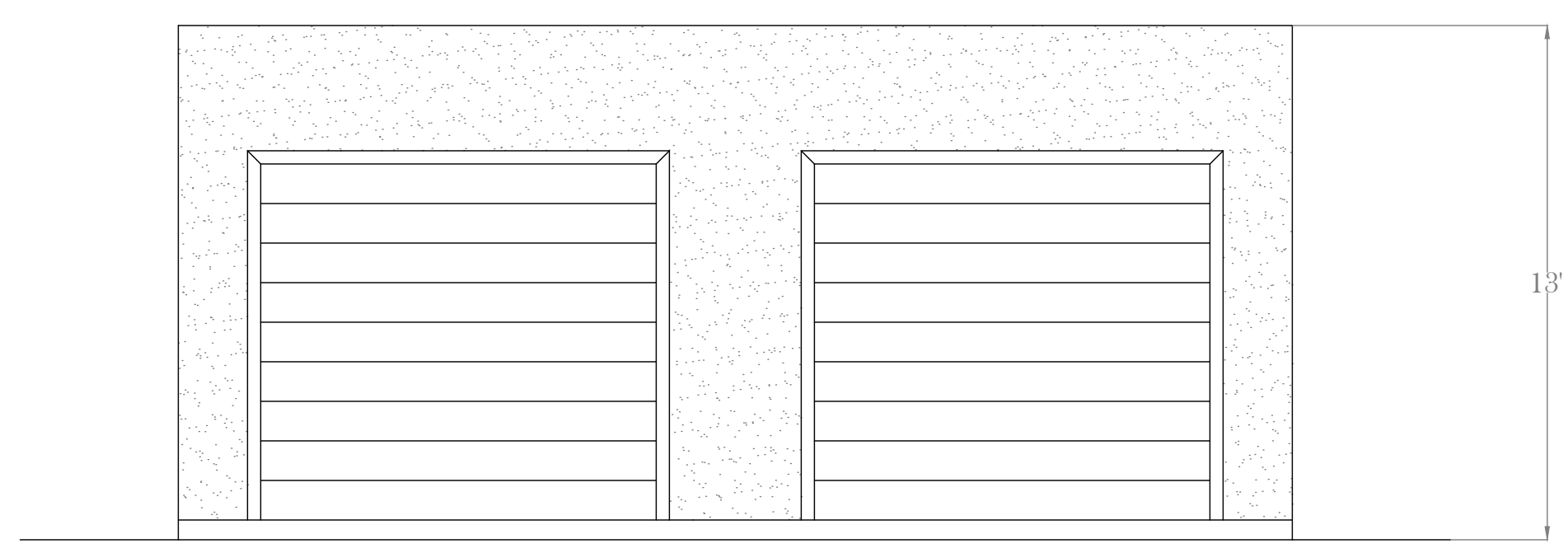
Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Proposed
Elevations

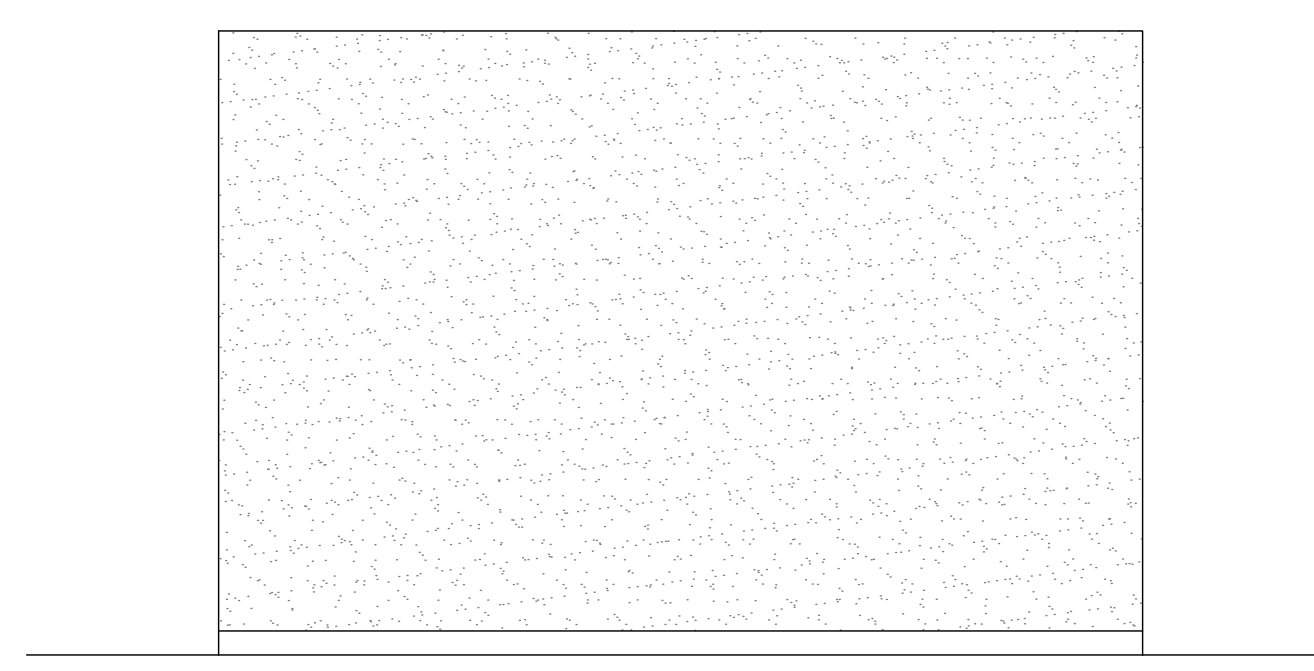
Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
Date:
16Jan24
Scale:
1/4" = 1' 0"

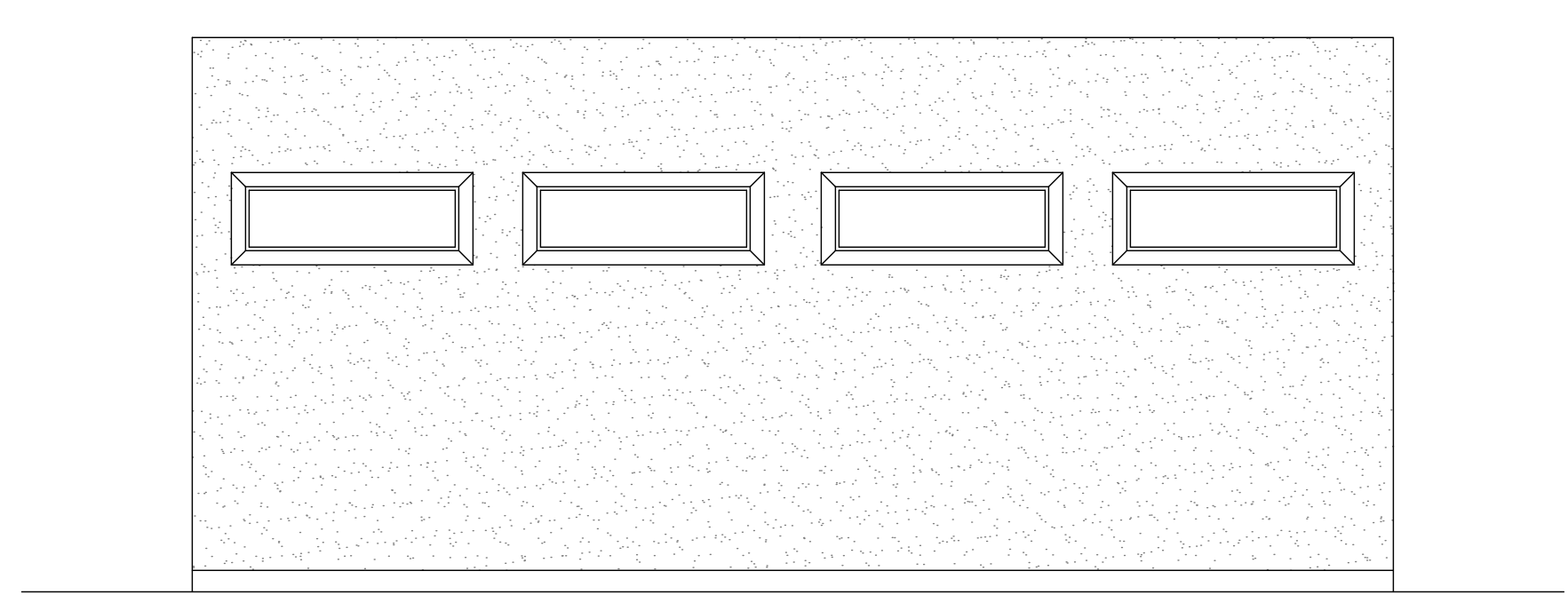
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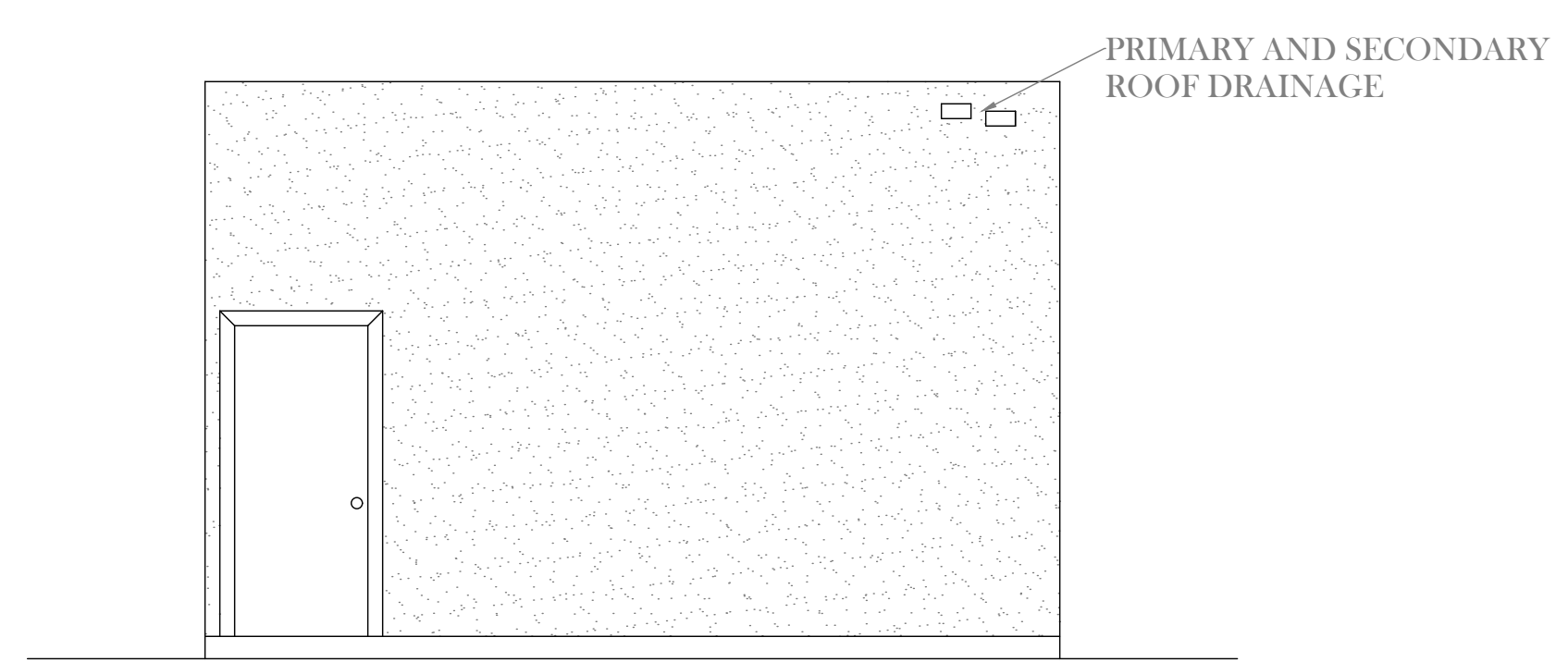
1 FRONT/NORTHEAST ELEVATION



2 SIDE/NORTHWEST ELEVATION



3 REAR/SOUTHWEST ELEVATION



4 SIDE/SOUTHEAST ELEVATION

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Foundation
and Framing
Plan

Revisions

No.	Descrptn	Date

Drawn By:

Robert Cort

Date:

16Jan24

Scale:

1/4" = 1' 0"

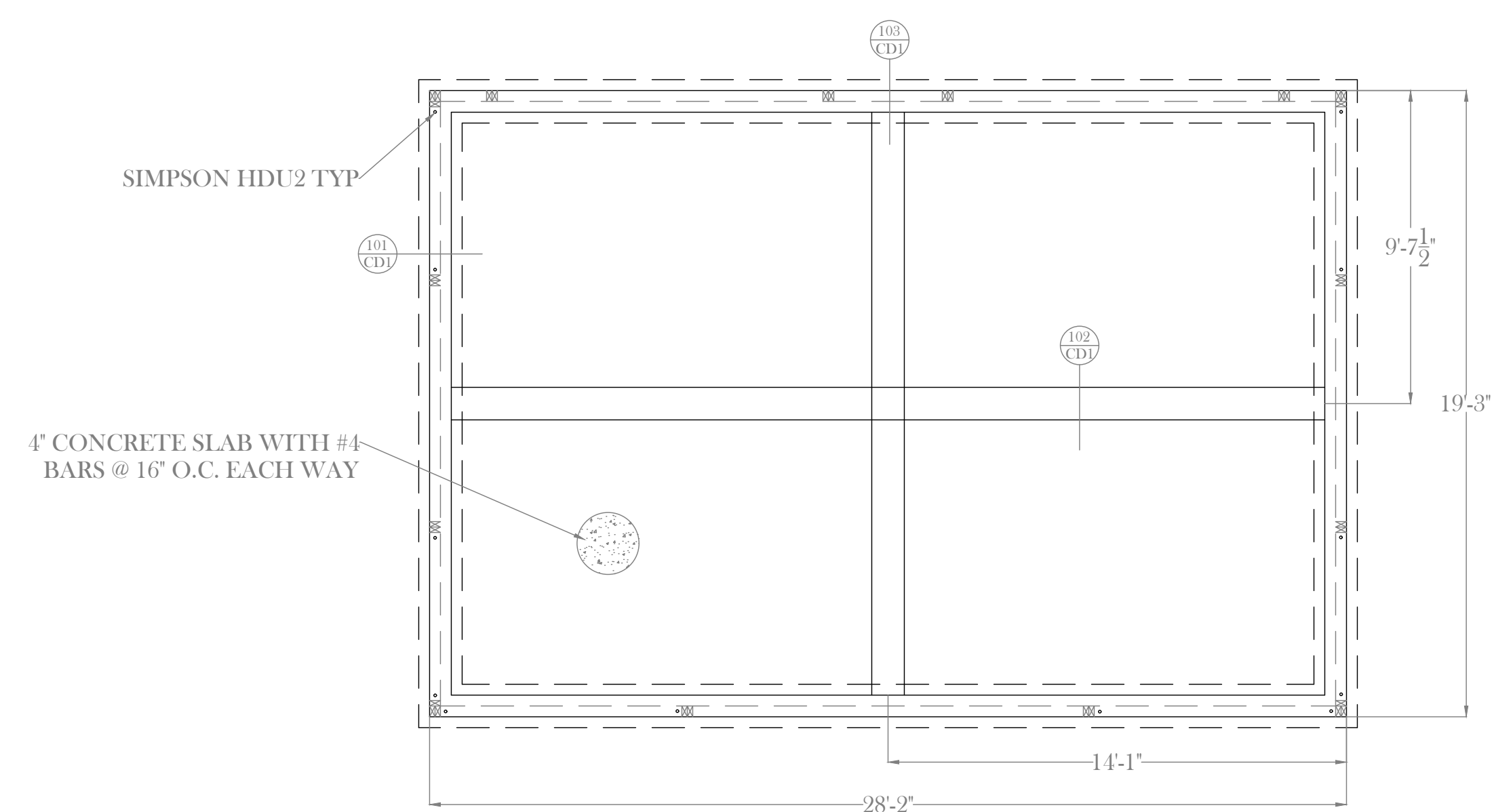
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S1

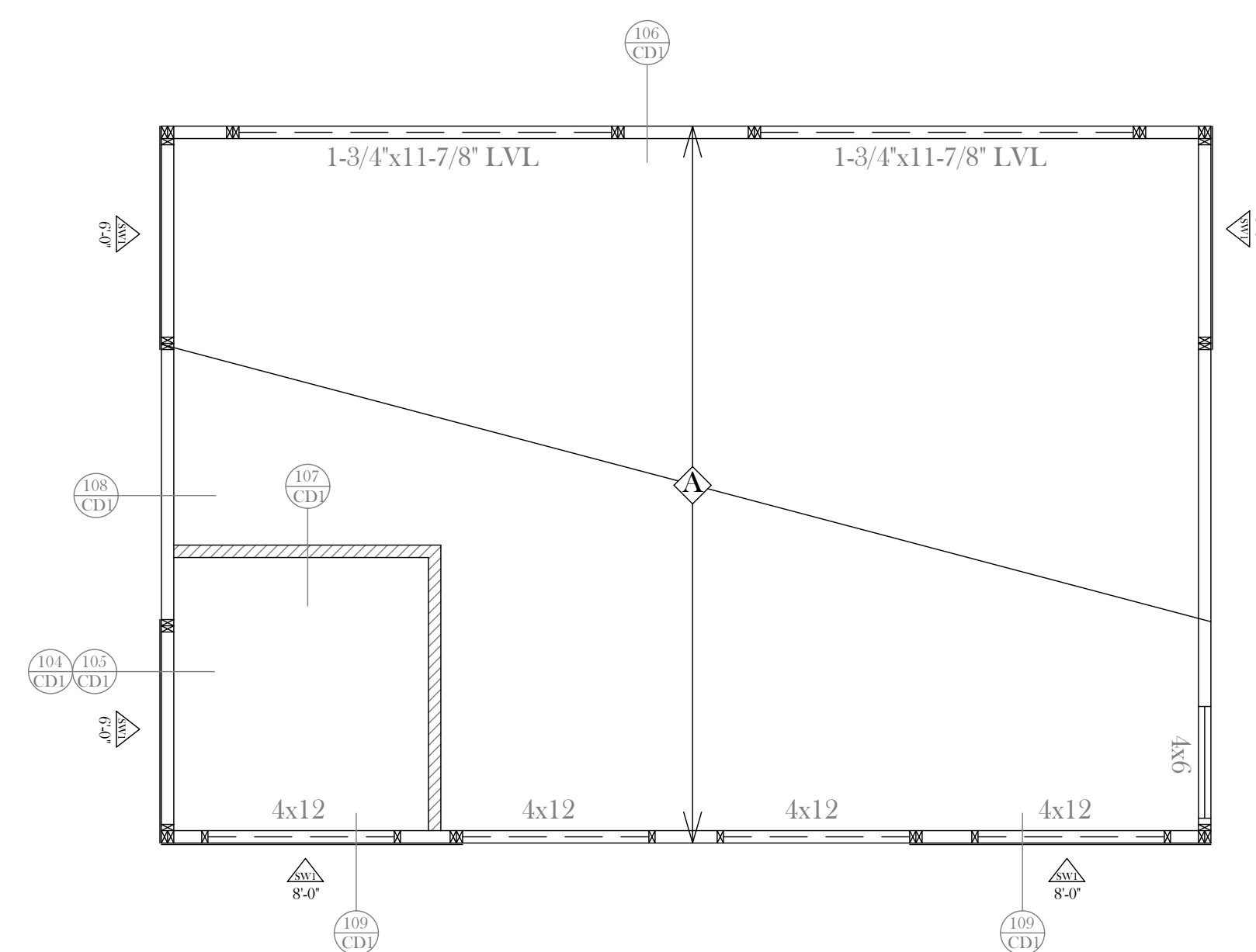
BRACED WALL PANEL SCHEDULE

	Plywood or OSB Sheathing	10d Edge Nailing	10d Field Nailing	Framing member at adjoining panel edges	5/8 anchor bolts at 2x mudsill	Top connector
SW1	15/32"	10d @ 4" o.c.	10d @ 12" o.c.	3x or 2 - 2xs stitched	48" o.c. max	A35 @ 24" o.c.

12' MITEK OPEN WEB WOOD ROOF TRUSSES @ 16" O.C.



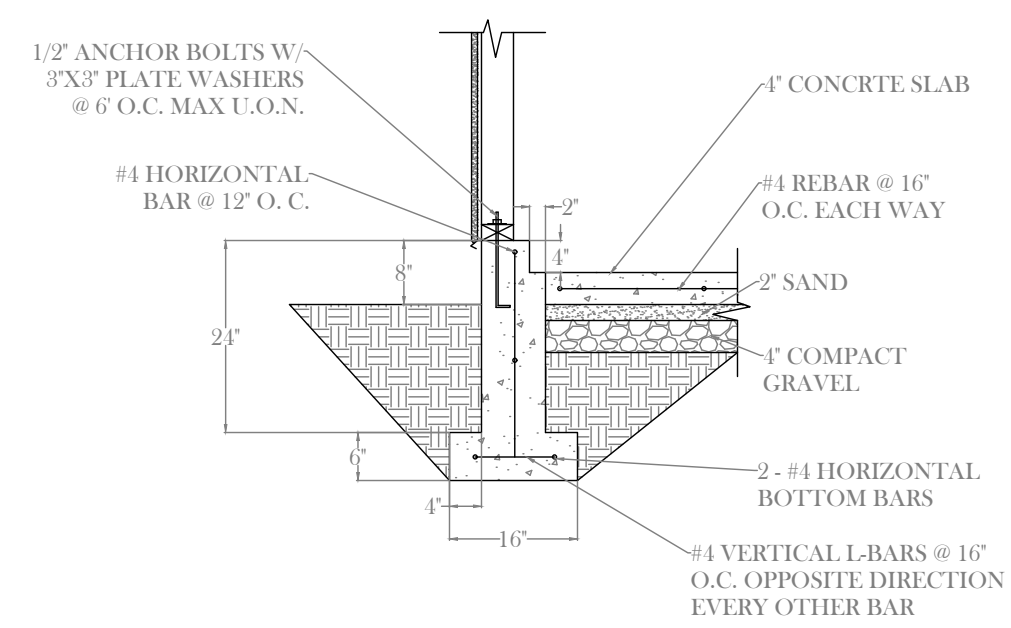
1 FOUNDATION PLAN



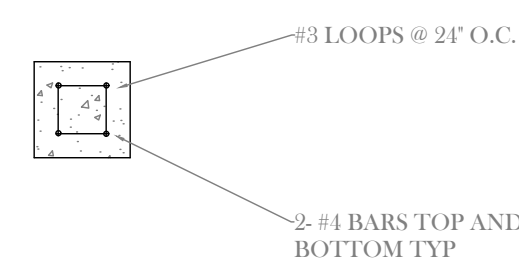
1 BRACED WALL/FRAMING PLAN

*10'-6" CEILING HEIGHT

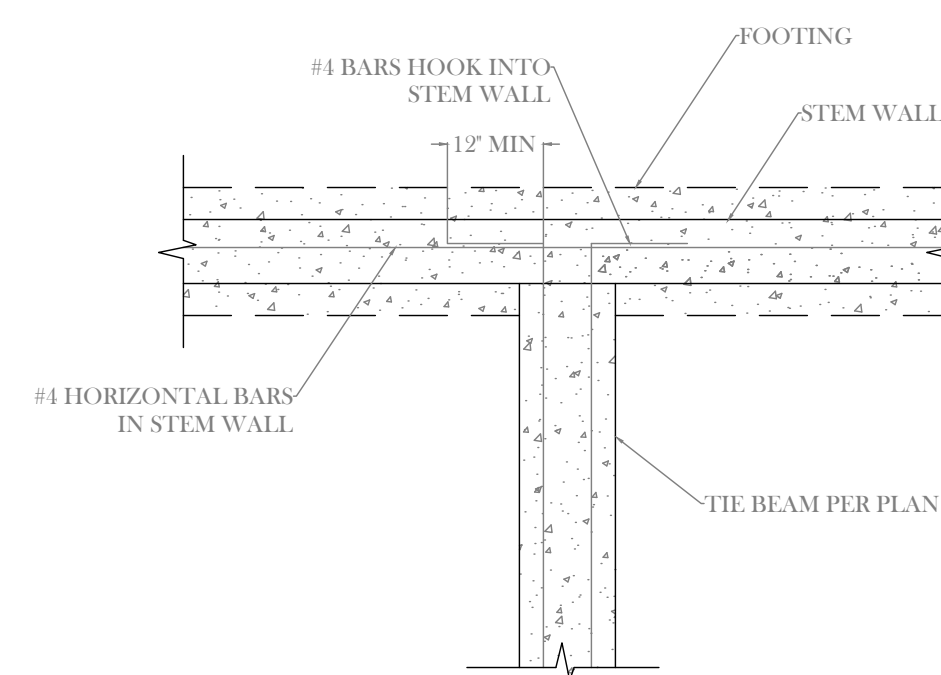
- NEW 2X4 BEARING WALLS
- NEW 2X4 NON-BEARING WALLS



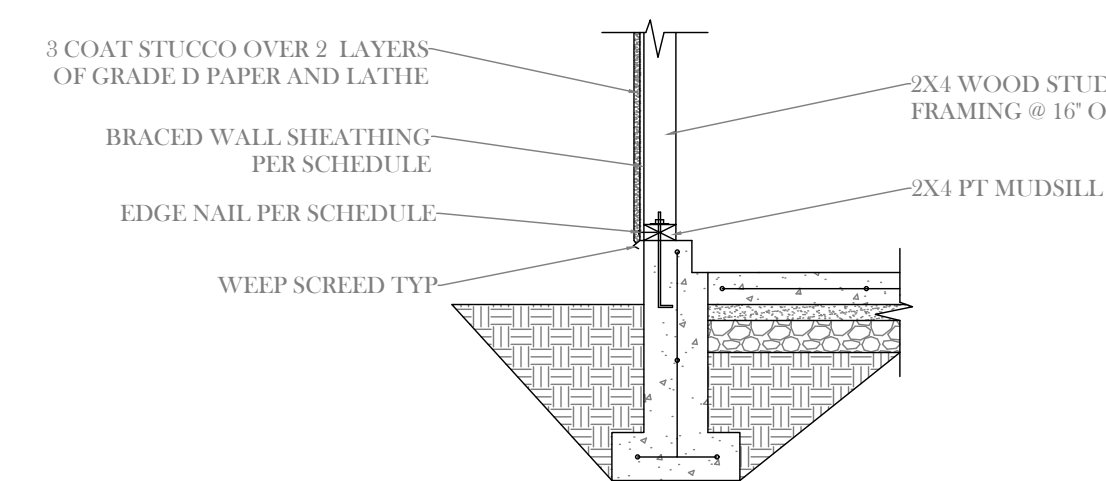
101 PERIMETER FOOTING



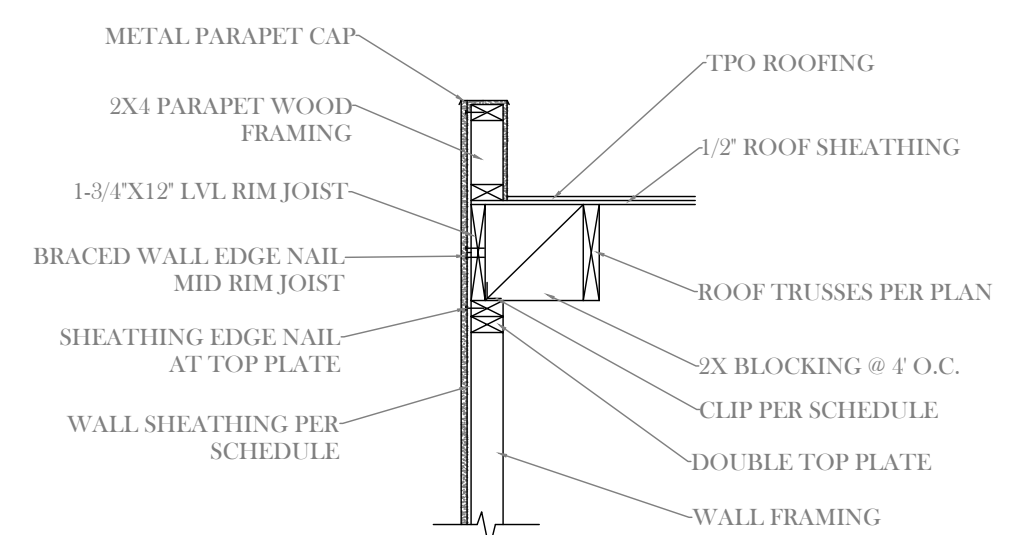
102 CONCRETE TIE BEAM



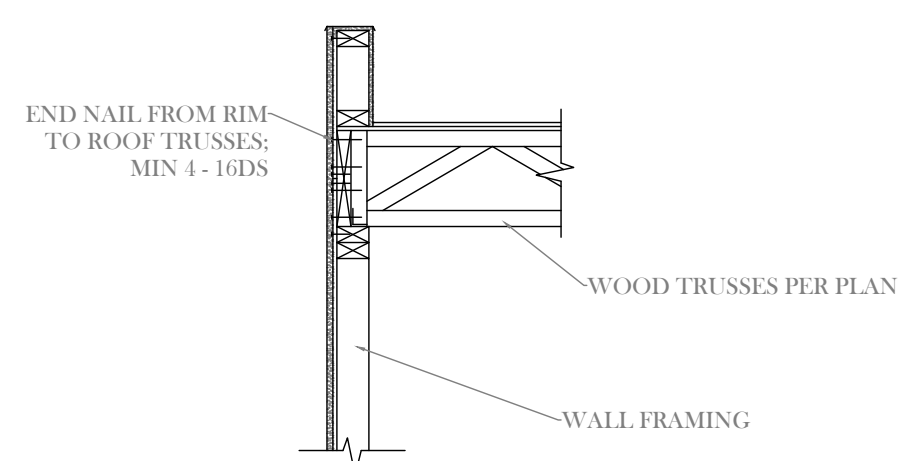
103 TIE BEAM INTERSECTION



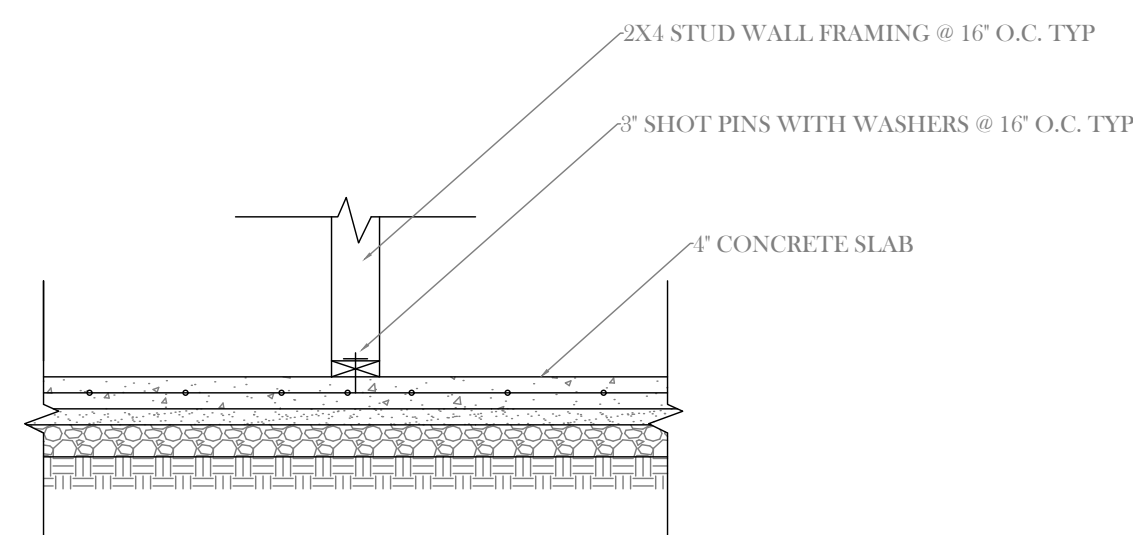
104 BRACED WALL CONNECTION



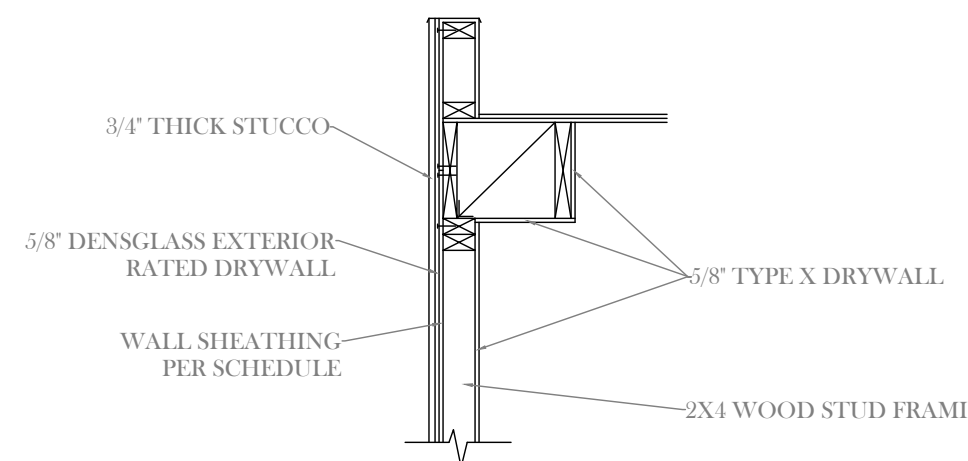
105 ROOF CONNECTION PARALLEL



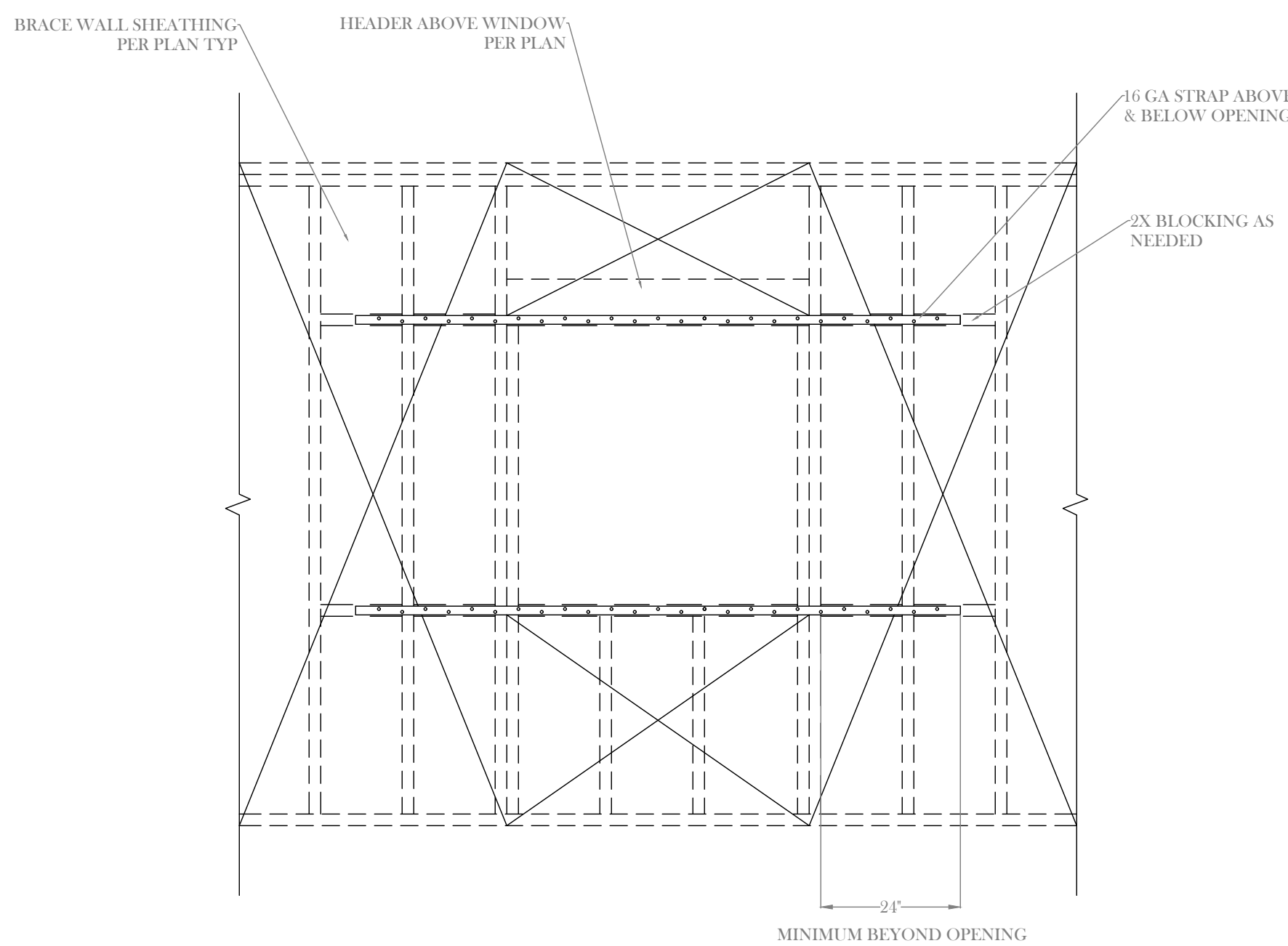
106 ROOF CONNECTION PERPENDICULAR
SEE 104 FOR DETAILS



107 INTERIOR WALL FRAMING DETAIL TYP



108 1 HOUR RATED WALL
UL U305 / GA WP 8130



109 BRACE WALL @ OPENING TYP

Cort Properties
(415) 573-7443

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Construction
Details

Revisions		
No.	Descrptn	Date

Drawn By:

Robert Cort

Date:

16Jan24

Scale:

1/2" = 1' 0"

Page

CD1

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Electrical Plan

Revisions

No.	Descriptn	Date

Drawn By:

Robert Cort

Date:

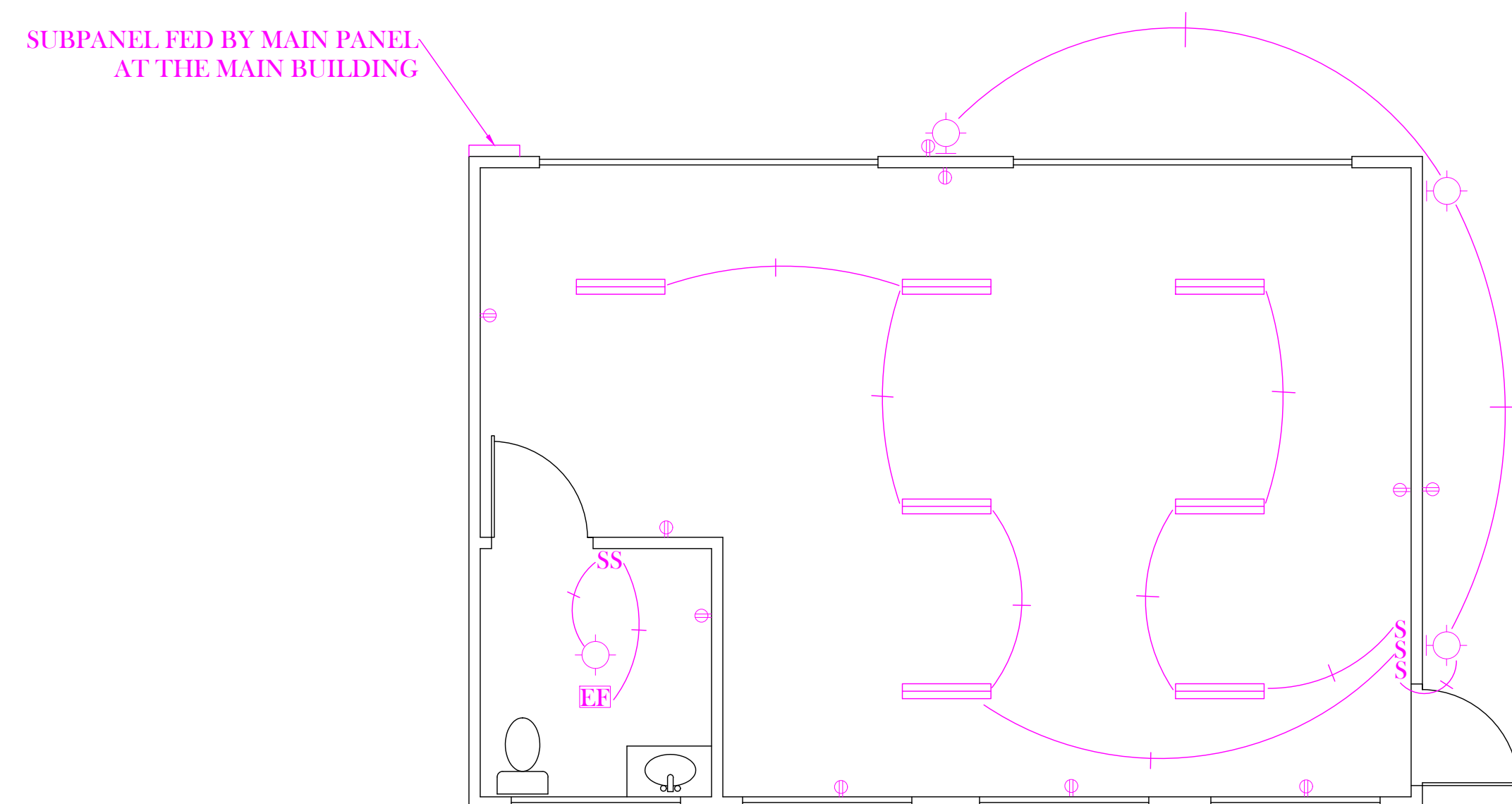
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Page

E1



ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	COMMENTS
○	LIGHT FIXTURE	
▭	DROP LIGHT	
○	EXTERIOR LIGHT	
S	SWITCH	
EF	EXHAUST FAN	
⊕	RECEPTACLE	GFCI AS REQ

SCOPE OF WORK:
 -EXISTING 100 AMP SUBPANEL UPGRADED TO 200 AMP;
 -REPLACE FEEDERS TO 2/0 AWG THWN CONDUCTORS
 -NEW ELECTRICAL THROUGHOUT PER PLAN
 -RECEPTACLES IN BATHROOM AND EXTERIOR TO BE GFCI PROTECTED
 -EXTERIOR RECEPTACLES TO BE WEATHERPROOF (WP) TYPE WITH PROPER WATER RESISTANT COVER
 -ALL LIGHTING TO BE LED TYPE
 -EXHAUST FAN & LIGHTING TO BE CONTROLLED SEPARATELY IN THE BATHROOMS
 -EXTERIOR LIGHTS TO HAVE PHOTOCELL AND MOTION OR AUTOMATIC CONTROL
 -EXTERIOR LIGHTING TO SHALL BE SUITABLE FOR WET LOCATIONS
 -VACANCY SENSORS REQUIRED FOR LIGHTING CONTROL IN BATHROOMS

Project:
Accessory
Building
Repair/
Alteration

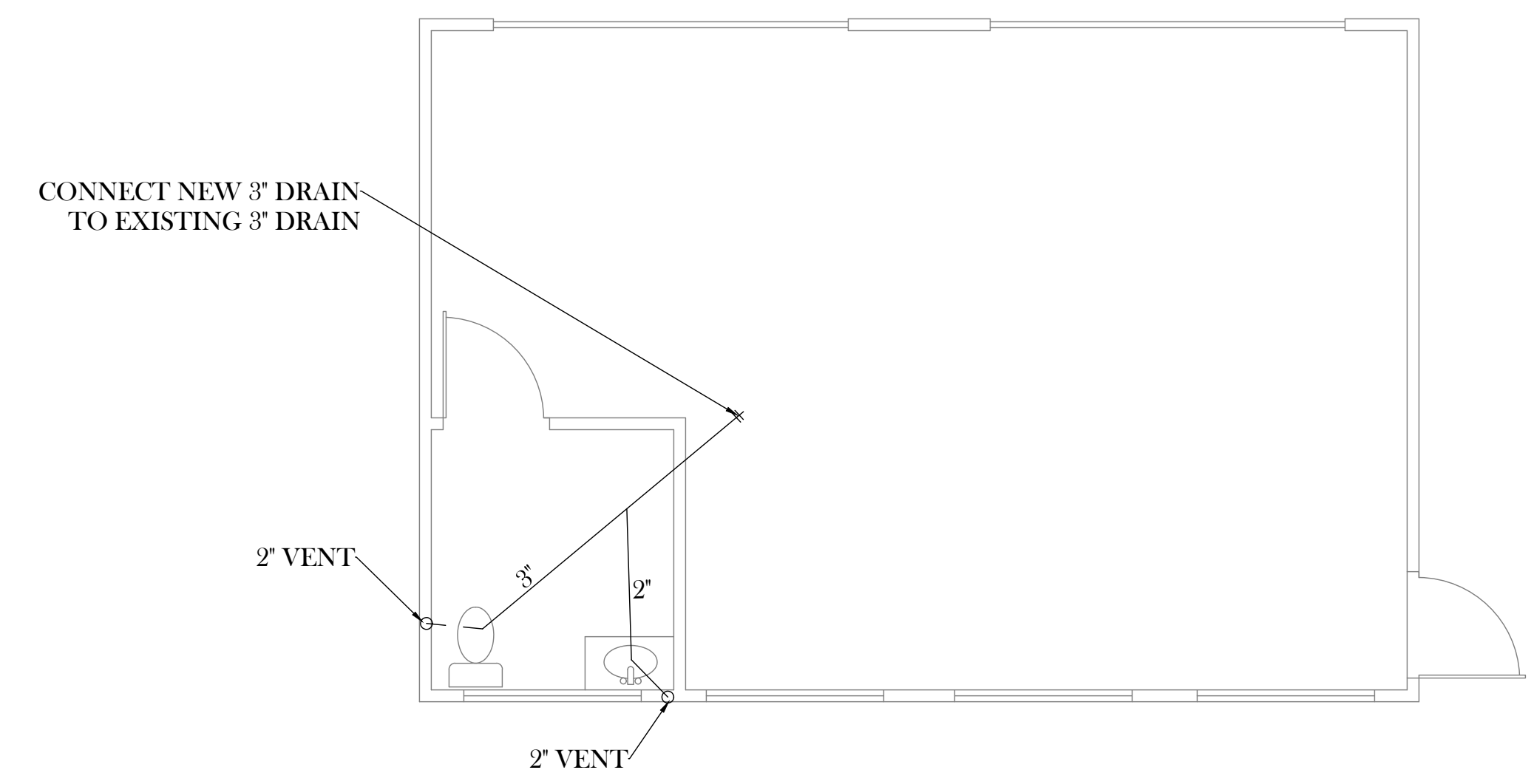
Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Plumbing Plan

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
Date:
16Jan24
Scale:
1/4" = 1' 0"

Page
P1



SCOPE OF WORK:
-INSTALL NEW TOILET AND SINK IN
NEW CONFIGURED BATHROOM
-CONNECT NEW DRAIN LINES TO
EXISTING BUILDING MAIN DRAIN
-RECONFIGURE EXISTING COLD
WATER LINE FOR NEW TOILET AND
SINK
-ADD ON-DEMAND HOT WATER
HEATER UNDER THE SINK FOR HOT
WATER

1 PLUMBING PLAN



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-1101

Agenda Date: 4/16/2024

Agenda #: a.

Choose an item.

Meeting Date: April 16, 2024

Subject: RECEIVE KTAC April 2024 Correspondence

Submitted For: Knightsen TAC

Recommendation(s)/Next Step(s):

RECEIVE KTAC April 2024 Correspondence

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, APRIL 15, 2024

ZONING ADMINISTRATOR HEARING ROOM
30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

APR 05 2024

1:30 P.M.

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at:

http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link: <https://ccccounty-us.zoom.us/j/89580629496>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS:

2. MINOR SUBDIVISION: PUBLIC HEARING

- 2a. MILANI & ASSOCIATES (Applicant) - CRISTOBAL HERNADEZ CRUZ (Owner), County File CDMS20-00011: The applicant requests approval of a Vesting Tentative Map for a two-lot Minor Subdivision application to subdivide a 10-acre lot into a 5-acre Parcel A and a 5-acre Parcel B. Parcel A is vacant. Parcel B includes a barn in the northeastern portion of the parcel. The Vesting Tentative Map shows building pads to accommodate a future single-family residence and a future detached accessory dwelling unit on each parcel, along with proposed locations for wells, septic systems, and detention basin improvements; however, residential development of the parcels is not part of this application. Access to the parcels would be provided by Wildhorse Road, a private road that provides access to the parcels from Sellers Avenue to the west and Knightsen Avenue to the east. The applicant is also requesting an Exception to the requirements and regulations of County Code Division 914 (Collect and Convey). The project site is located at 0 Wildhorse Road, approximately 865 feet east of Sellers Avenue, in the Knightsen area of unincorporated Contra Costa County. (Zoning: A-2, General Agricultural District) (Assessor's Parcel Number: 020-010-023) AV Staff Report

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. THERESA AMURAO, SGPA ARCHITECTURE AND PLANNING (Applicant) - DWF V 2999 OAKL LLC (Owner), County File CDLP24-02005: The applicant requests approval of a Land Use Permit to add outdoor entertainment to the restaurant at 2999-A Oak Road. The entertainment will be subsidiary to the restaurant use and will include televisions, audio speakers, and live music performances, both amplified and non-amplified, in the restaurant's outdoor dining area. The project site is 2999 Oak Road in the Contra Costa Centre area of

unincorporated Contra Costa County. (Zoning: P-1, Planned Unit District; -CE, Cannabis Exclusion Combining District) (Assessor's Parcel Number: 148-250-091) MLL Staff Report

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. LOREN MOORE, LOREN MOORE CONSTRUCTION INC. (Applicant) - MARSHALL AND JENNIFER WHITE (Owners), County File CDDP23-03031: The applicant requests approval of a Kensington Design Review Development Plan to allow a 19-square-foot exterior addition to an existing residence and the legalization of an existing 387-square-foot attached carport that results in a total gross floor area of approximately 3,079 square feet, which will exceed the 2,300 square-foot Kensington Combining District gross floor area threshold. A Variance is requested as part of the application, to allow a front yard setback of 3 feet where a minimum of 20 feet is required, a side yard setback of 0.5 feet where a minimum of 3 feet is required, and an aggregate side yard setback of 3.5 feet where a minimum of 8 feet is required. The project site is located at 418 Colusa Avenue in the Kensington area of unincorporated Contra Costa County. (Zoning: R-6 Single-Family Residential District, -TOV Tree Obstruction of Views Combining District, -K Kensington Combining District) (Assessor's Parcel Number: 571-320-013) GF Staff Report
- 4b. RCI STATION PLAZA LLC (Applicant) - RCI STATION PLAZA LLC & DAVID KAROL (Owners), County File #CDDP23-03035. The applicant requests approval of a Development Plan permit pursuant to County File #CDDP84-3060 to allow personal health and dental services as defined in the Pleasant Hill BART/Contra Costa Centre Specific Plan within an existing office building. No development or signage is proposed. The project is located at 3100 Oak Road in the unincorporated Walnut Creek area. (Zoning: Planned Unit District, P-1) (Assessor's Parcel Number: 148-202-057) SS Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MAY 6, 2024.

*****REVISED*****

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, MARCH 18, 2024
ZONING ADMINISTRATOR HEARING ROOM
30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

MAR 15 2024

BY: _____

*****1:30 P.M.*****

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at:

http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

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1. PUBLIC COMMENTS:

2. NOTICE OF FINE APPEAL: CONTINUED PUBLIC HEARING

2a. MELBA D MYGRANT TRE (Owner)- This is an appeal hearing for a Notice of Fine that was issued for Code Enforcement Case BIRF19-00485. This case is for violations of Lazy M Marina operating in non-compliance of the land use permit LP97-2091. Associated violations include the operation of a recreational vehicle (RV)/travel trailer storage not in compliance with the land use permit and shipping containers used as storage buildings. Also, several buildings were constructed without building permits, to include the installation of a manufactured home used as a residence, two public restroom buildings, a snack bar building/trailer, a garage and two covered boat storage buildings. The subject property is located at 5050 Clifton Court in the Discovery Bay area. (Zoning: (A-3) (APN: 001-031-022) (Continued from 12/18/23 RH) CF Staff Report

2b. GAIL L. FUGERE TRE (Owner): This is an appeal hearing for a Notice of Fine that was issued for Code Enforcement Case CECF23-00453. This case is for violation(s) for a car wash and detailing business operating in a P-1 Zoning District. The site address is 3000 Golden Meadow Dr, Alamo, CA 94507 (Continued from 02/21/2024 RH) LT Staff Report

3. MINOR SUBDIVISION: CONTINUED PUBLIC HEARING

3a. CHUCK MCCALLUM, KIER + WRIGHT (Applicant) - JOHN SATHRI (Owner), County File CDMS21-00014: The applicant requests approval of a Tentative Parcel Map for a three-lot Minor Subdivision application to subdivide a 20.07-acre lot into a 9.20-acre Parcel A, a 5.42-acre Parcel B, and a 5.45-acre Parcel C. Parcel A includes two existing single-family residences. Parcels B and C would be vacant. The Tentative Parcel Map shows building pads to accommodate future single-family residences on Parcels B and C; however, development

of the parcels is not part of this application. Access to the parcels would be provided by a private road that is currently partially paved and provides access to Parcels A and C with the remainder an existing gravel roadway that would be paved to provide access to Parcel B. The project site is 30-32 Century Oaks Court in the San Ramon area of unincorporated Contra Costa. (Zoning: A-2, General Agricultural District) (Assessor's Parcel Number: 211-010-035) (Continued from 03.04.2024 WRN) GF Staff Report

4. RECONSIDERATION REQUEST: PUBLIC HEARING

- 4a. KEVIN GALLAGHER ON BEHALF OF AT&T WIRELESS (Applicant) - ALHAMBRA CREEK RANCH LLC (Owner), COUNTY FILE #CDLP23-02009: This is a request for a reconsideration of the County Zoning Administrator's approval of a Land Use Permit to establish a new AT&T wireless telecommunications facility. The request is for a reconsideration of Condition of Approval #30, which requires the applicant to plant 16 new trees required for restitution for approved tree removal. The subject property is located approximately 1,370 feet south of the intersection of Alhambra Valley Road and Briones Road in the Martinez area of unincorporated Contra Costa County. (Zoning: R-20 and A-2) (Assessor's Parcel Number: 365-140-009) EL Staff Report

5. LAND USE PERMIT: PUBLIC HEARING

- 5a. MARIA FERNANDO FOR NEOWORKS (Applicant) - NIKHIL PATEL (Owner); County File #CDLP23-02026: The applicant requests approval of a Land Use Permit to allow the establishment of an auto repair shop in an existing tenant space where there is also a Valero gas station. The auto repair services that will be provided are related to vehicle maintenance and repair such as brake services, oil change, suspension, transmission, engine tune-ups, and spark plug replacements. The subject property is located at 3753 San Pablo Dam Road in the El Sobrante area of unincorporated Contra Costa County. Zoning: El Sobrante Planned Unit area (P-1); APN: 420-021-022 DV Staff Report
- 5b. RENEWABLE AMERICA, LLC (Applicant) - JEFFREY JAY JESS (Owner), County File CDLP22-02036: The applicant requests approval of a Land Use Permit for a commercial solar energy facility on a 7.02-acre portion of the 14.27-acre project site. The facility includes a solar panel array generating 2.82 megawatts of solar energy and a 5.22 megawatt battery storage system. The facility would interconnect with Pacific Gas and Electric Company's existing electrical distribution system along the Byer Road frontage of the project site. The applicant is also requesting an Exception to the requirements and regulations of County Code Division 914 (Collect and Convey). The project site is 0 Byer Road, immediately east of 3600 Byer Road, in the Byron area of unincorporated Contra Costa County. (Zoning: A-3 Heavy Agricultural District, -SG Solar Energy Generation Combining District) (APN: 002-030-018) AV Staff Report

6. DEVELOPMENT PLAN: PUBLIC HEARING

- 6a. JORDAN MOSSA (Applicant & Owner), County File #CDDP23-03022: The applicant requests approval of a Small Lot Design Review Development Plan to construct an approximately 606-square-foot, single-story residential addition to an existing residence with an accessible concrete ramp. The project site is located at 2195 Olympic Boulevard, in the unincorporated area of Walnut Creek. (Zoning: R-10 Single-Family Residential District) (Assessor's Parcel Number: 184-301-023) EL Staff Report

- 6b. DAVID GILL (Applicant) - DANIEL LEVINE (Owner); County File #CDDP24-03001: The applicant requests approval of a Kensington Design Review Development Plan for a 350 square-foot addition to the existing lower level, and a light well. The proposed development results in a gross floor area of 3,213 square-feet, which exceeds the threshold standard of 2,700 square-feet. The subject property is located at 233 Purdue Avenue in the Kensington area of unincorporated Contra Costa County. Zoning: Single-Family Residential, and Tree Obstruction of Views and Kensington Combining Districts (R-6, -TOV -K); APN: 570-191-015 DV Staff Report

*****3:30 P.M.*****

1. PUBLIC COMMENTS
2. SCOPING SESSION: PUBLIC HEARING
- 2a. ENVISION CONTRA COSTA (County File #GP18-0001): This is a study session to receive written and oral comments on the adequacy of the Draft EIR for the Contra Costa County 2045 General Plan and Contra Costa County Climate Action Plan 2024 Updates (aka *Envision Contra Costa*), which is Contra Costa County's initiative to update the County General Plan and Climate Action Plan. Further details about the Draft EIR and project are available for public review at <https://envisioncontracosta2040.org/documents/> or at <https://www.contracosta.ca.gov/6970/Envision-Contra-Costa-2040>. The public review and comment period for the Draft EIR began on Friday, February 9, 2024, and closes on Monday, April 8, 2024. Written comments on the adequacy of the Draft EIR must be submitted by 5:00 p.m. on Monday, April 8, 2024. For further details, contact Daniel Barrios, of the Contra Costa County Department of Conservation and Development, at (925) 655-2901 or AdvancePlanning@dcd.cccounty.us DB Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, APRIL 1, 2024.

REVISED

CONTRA COSTA COUNTY ZONING ADMINISTRATOR

MONDAY, MARCH 18, 2024
ZONING ADMINISTRATOR HEARING ROOM
30 MUIR ROAD
MARTINEZ, CA 94553

RECEIVED

MAR 14 2024

BY: _____

1:30 P.M.

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1. PUBLIC COMMENTS:
2. NOTICE OF FINE APPEAL: CONTINUED PUBLIC HEARING
 - 2a. MELBA D MYGRANT TRE (Owner)- This is an appeal hearing for a Notice of Fine that was issued for Code Enforcement Case BIRF19-00485. This case is for violations of Lazy M Marina operating in non-compliance of the land use permit LP97-2091. Associated violations include the operation of a recreational vehicle (RV)/travel trailer storage not in compliance with the land use permit and shipping containers used as storage buildings. Also, several buildings were constructed without building permits, to include the installation of a manufactured home used as a residence, two public restroom buildings, a snack bar building/trailer, a garage and two covered boat storage buildings. The subject property is located at 5050 Clifton Court in the Discovery Bay area. (Zoning: (A-3) (APN: 001-031-022) (Continued from 12/18/23 RH) CF Staff Report
 - 2b. GAIL L. FUGURE TRE (Owner): This is an appeal hearing for a Notice of Fine that was issued for Code Enforcement Case CECF23-00453. This case is for violation(s) for a car wash and detailing business operating in a P-1 Zoning District. The site address is 3000 Golden Meadow Dr, Alamo, CA 94507 (Continued from 02/21/2024 RH) LT Staff Report
3. MINOR SUBDIVISION: CONTINUED PUBLIC HEARING
 - 3a. CHUCK MCCALLUM, KIER + WRIGHT (Applicant) - JOHN SATHRI (Owner), County File CDMS21-00014: The applicant requests approval of a Tentative Parcel Map for a three-lot Minor Subdivision application to subdivide a 20.07-acre lot into a 9.20-acre Parcel A, a 5.42-acre Parcel B, and a 5.45-acre Parcel C. Parcel A includes two existing single-family residences. Parcels B and C would be vacant. The Tentative Parcel Map shows building pads to accommodate future single-family residences on Parcels B and C; however, development

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4. RECONSIDERATION REQUEST: PUBLIC HEARING

- 4a. KEVIN GALLAGHER ON BEHALF OF AT&T WIRELESS (Applicant) - ALHAMBRA CREEK RANCH LLC (Owner), COUNTY FILE #CDLP23-02009: This is a request for a reconsideration of the County Zoning Administrator's approval of a Land Use Permit to establish a new AT&T wireless telecommunications facility. The request is for a reconsideration of Condition of Approval #30, which requires the applicant to plant 16 new trees required for restitution for approved tree removal. The subject property is located approximately 1,370 feet south of the intersection of Alhambra Valley Road and Briones Road in the Martinez area of unincorporated Contra Costa County. (Zoning: R-20 and A-2) (Assessor's Parcel Number: 365-140-009) EL Staff Report

5. LAND USE PERMIT: PUBLIC HEARING

- 5a. MARIA FERNANDO FOR NEOWORKS (Applicant) - NIKHIL PATEL (Owner); County File #CDLP23-02026: The applicant requests approval of a Land Use Permit to allow the establishment of an auto repair shop in an existing tenant space where there is also a Valero gas station. The auto repair services that will be provided are related to vehicle maintenance and repair such as brake services, oil change, suspension, transmission, engine tune-ups, and spark plug replacements. The subject property is located at 3753 San Pablo Dam Road in the El Sobrante area of unincorporated Contra Costa County. Zoning: El Sobrante Planned Unit area (P-1); APN: 420-021-022 DV Staff Report

- 5b. RENEWABLE AMERICA, LLC (Applicant) - JEFFREY JAY JESS (Owner), County File CDLP22-02036: The applicant requests approval of a Land Use Permit for a commercial solar energy facility on a 7.02-acre portion of the 14.27-acre project site. The facility includes a solar panel array generating 2.82 megawatts of solar energy and a 5.22 megawatt battery storage system. The facility would interconnect with Pacific Gas and Electric Company's existing electrical distribution system along the Byer Road frontage of the project site. The applicant is also requesting an Exception to the requirements and regulations of County Code Division 914 (Collect and Convey). The project site is 0 Byer Road, immediately east of 3600 Byer Road, in the Byron area of unincorporated Contra Costa County. (Zoning: A-3 Heavy Agricultural District, -SG Solar Energy Generation Combining District) (APN: 002-030-018) AV Staff Report

6. DEVELOPMENT PLAN: PUBLIC HEARING

- 6a. JORDAN MOSSA (Applicant & Owner), County File #CDDP23-03022: The applicant requests approval of a Small Lot Design Review Development Plan to construct an approximately 606-square-foot, single-story residential addition to an existing residence with an accessible concrete ramp. The project site is located at 2195 Olympic Boulevard, in the unincorporated area of Walnut Creek. (Zoning: R-10 Single-Family Residential District) (Assessor's Parcel Number: 184-301-023) EL Staff Report

- 6b. DAVID GILL (Applicant) - DANIEL LEVINE (Owner); County File #CDDP24-03001: The applicant requests approval of a Kensington Design Review Development Plan for a 350 square-foot addition to the existing lower level, and a light well. The proposed development results in a gross floor area of 3,213 square-feet, which exceeds the threshold standard of 2,700 square-feet. The subject property is located at 233 Purdue Avenue in the Kensington area of unincorporated Contra Costa County. Zoning: Single-Family Residential, and Tree Obstruction of Views and Kensington Combining Districts (R-6, -TOV -K); APN: 570-191-015 DV Staff Report

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3. MINOR SUBDIVISION: CONTINUED PUBLIC HEARING

TO BE CONTINUED
AND RE-NOTICED TO
MARCH 18, 2024

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- 3b. ROBERT NEWELL (Applicant and Owner), County File CDMS22-00010: The applicant requests approval of a Tentative Parcel Map for a Two-Lot Minor Subdivision application to subdivide a 22,720 square-foot legal lot into two parcels, including a 10,000 square-foot Parcel A and a 12,720 square-foot Parcel B. An existing single-family residence on the lot would remain on Parcel A. Parcel B would be vacant. Residential development of Parcel B is not part of this application; however, if approved, the parcel may be developed with a single-family residence or other permitted uses within the R-7 Single-Family Residential Zoning District. A Tree Permit is requested as part of the application for construction work within the driplines of three code-protected trees, including two Coast Live Oak trees and one Eucalyptus tree, for installation of private roadway, sewer line, and water line improvements associated with future residential development on Parcel B. The applicant is also requesting Exceptions to the requirements and regulations of County Code Chapters 96-8 (Sidewalks and Paths), 96-10 (Underground Utilities), and 96-12 (Curbs and Gutters). The project site is 4642 Hilltop Drive in the El Sobrante area of unincorporated Contra Costa. (Zoning: R-7, Single-Family Residential District) (Assessor's Parcel Number: 425-072-017) AV Staff Report
4. LAND USE PERMIT: PUBLIC HEARING
- 4a. VIRTUAL SITE WALK, LLC ON BEHALF OF CROWN CASTLE, LLC (Applicant) - EAST BAY MUNICIPAL UTILITY DISTRICT (Owner), County File #CDLP23-02039. The applicant requests approval of a Land Use Permit for the renewal of Land Use Permit CDLP13-02093, to authorize the continued operation of an existing Crown Castle wireless telecommunications facility, and to combine the expired Land Use Permit CDLP12-02076 under this Land Use Permit renewal request so that the two wireless carriers, AT&T and T-Mobile, can continue operating on the existing monopine. No modifications to the existing wireless telecommunications facility are proposed with this request. The project is located on the North side of Stone Valley Road, between Winestone Court and Stone Valley Oaks Drive in Alamo. (Zoning: R-20 Single-Family Residential District) (Assessor's Parcel Number: 193-620-007) NS Staff Report
- 4b. ELEVATED ENTITLEMENTS (Applicant) - AMBROSE RECREATION AND PARK DISTRICT, DAVID AND VIRGINIA JACOBSON, CARIBBEAN SOUTH AMERICAN HISPANIC COUNCIL (Owners), County File CDLP22-02029: The applicant requests approval of a Land Use Permit/Development Plan combination for a 100% affordable multi-family residential apartment complex consisting of 124 units in a stepped three and four-story 129,720 square-foot building. The project includes 2,630 square feet of commercial tenant space on the ground floor of the building, fronting Willow Pass Road and 17,500 square feet of landscaped courtyard areas. The project includes a State Density Bonus with parking reductions and increases in allowable floor area ratio and building height. The applicant is also requesting Exceptions to the requirements and regulations of County Code Division 914 for onsite collect and convey, and detention basins. The project site is 2855- 2867 Willow Pass Road in the Bay Point area of unincorporated Contra Costa. (Zoning: P-1, Planned Unit District) (Assessor's Parcel Numbers: 093-081-027, 093-081-028, and 093-081-029) AV Staff Report
5. DEVELOPMENT PLAN: PUBLIC HEARING
- 5a. YULY WANG CANYON DESIGN BUILD (Applicant) - PANDIT FAMILY TRUST (Owner), County File #CDDP23-03045: The applicant requests approval of a Kensington Design Review Development Plan to allow a new gross floor area of 3,157 square feet and a Variance to allow an approximately 14-foot 8-inch front setback (where 20' is the required minimum) for a 514 square-foot, two-story addition. The total gross floor area proposed exceeds the 2,700 square-foot threshold standard. The project is located at 237 Los Altos Drive, Kensington. (Zoning: Single-Family Residential (R-6), Tree Obstruction of Views (-TOV), and Kensington (-K) Combining Districts) (Assessor's Parcel Number: 570-251-012) JL Staff Report

- 5b. AZADEH ESKANDARI NADDAF (Applicant) - KEVIN WAGNER & PARAND MALEKI (Owners), County File #CDDP23-03039. The applicant requests approval of a Development Plan/Kensington Design Review to allow the construction of interior and exterior improvements to an existing residence, including 871 square feet of residential additions and approximately 59 square feet of new covered porch/entry area that will result in a gross floor area that exceeds the 2,800-square-foot gross floor area threshold for the lot. The project also includes a Variance request to allow a 13.5-foot front setback (where 20 feet is required) for construction of a new covered front porch. The project is located at 74 Eureka Avenue in the Kensington area. (Zoning: Single-Family Residential, R-6; -K, Kensington Combining District; and -TOV, Tree Obstruction of Views Combining District) (Assessor's Parcel Number: 572-234-001) SS Staff Report

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4. LAND USE PERMIT: PUBLIC HEARING
- 4a. VIRTUAL SITE WALK, LLC ON BEHALF OF CROWN CASTLE, LLC (Applicant) - EAST BAY MUNICIPAL UTILITY DISTRICT (Owner), County File #CDLP23-02039. The applicant requests approval of a Land Use Permit for the renewal of Land Use Permit CDLP13-02093, to authorize the continued operation of an existing Crown Castle wireless telecommunications facility, and to combine the expired Land Use Permit CDLP12-02076 under this Land Use Permit renewal request so that the two wireless carriers, AT&T and T-Mobile, can continue operating on the existing monopine. No modifications to the existing wireless telecommunications facility are proposed with this request. The project is located on the North side of Stone Valley Road, between Winestone Court and Stone Valley Oaks Drive in Alamo. (Zoning: R-20 Single-Family Residential District) (Assessor's Parcel Number: 193-620-007) NS Staff Report
- 4b. ELEVATED ENTITLEMENTS (Applicant) - AMBROSE RECREATION AND PARK DISTRICT, DAVID AND VIRGINIA JACOBSON, CARIBBEAN SOUTH AMERICAN HISPANIC COUNCIL (Owners), County File CDLP22-02029: The applicant requests approval of a Land Use Permit/Development Plan combination for a 100% affordable multi-family residential apartment complex consisting of 124 units in a stepped three and four-story 129,720 square-foot building. The project includes 2,630 square feet of commercial tenant space on the ground floor of the building, fronting Willow Pass Road and 17,500 square feet of landscaped courtyard areas. The project includes a State Density Bonus with parking reductions and increases in allowable floor area ratio and building height. The applicant is also requesting Exceptions to the requirements and regulations of County Code Division 914 for onsite collect and convey, and detention basins. The project site is 2855- 2867 Willow Pass Road in the Bay Point area of unincorporated Contra Costa. (Zoning: P-1, Planned Unit District) (Assessor's Parcel Numbers: 093-081-027, 093-081-028, and 093-081-029) AV Staff Report
5. DEVELOPMENT PLAN: PUBLIC HEARING
- 5a. YULY WANG CANYON DESIGN BUILD (Applicant) - PANDIT FAMILY TRUST (Owner), County File #CDDP23-03045: The applicant requests approval of a Kensington Design Review Development Plan to allow a new gross floor area of 3,157 square feet and a Variance to allow an approximately 14-foot 8-inch front setback (where 20' is the required minimum) for a 514 square-foot, two-story addition. The total gross floor area proposed exceeds the 2,700 square-foot threshold standard. The project is located at 237 Los Altos Drive, Kensington. (Zoning: Single-Family Residential (R-6), Tree Obstruction of Views (-TOV), and Kensington (-K) Combining Districts) (Assessor's Parcel Number: 570-251-012) JL Staff Report

- 5b. AZADEH ESKANDARI NADDAF (Applicant) - KEVIN WAGNER & PARAND MALEKI (Owners), County File #CDDP23-03039. The applicant requests approval of a Development Plan/Kensington Design Review to allow the construction of interior and exterior improvements to an existing residence, including 871 square feet of residential additions and approximately 59 square feet of new covered porch/entry area that will result in a gross floor area that exceeds the 2,800-square-foot gross floor area threshold for the lot. The project also includes a Variance request to allow a 13.5-foot front setback (where 20 feet is required) for construction of a new covered front porch. The project is located at 74 Eureka Avenue in the Kensington area. (Zoning: Single-Family Residential, R-6; -K, Kensington Combining District; and -TOV, Tree Obstruction of Views Combining District) (Assessor's Parcel Number: 572-234-001) SS Staff Report

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, MARCH 18, 2024.

RECEIVED

FEB 23 2024

BY: _____

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, FEBRUARY 28, 2024
6:30 p.m.
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

CHAIR: Kevin Van Buskirk
VICE-CHAIR: Bhupen Amin
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at:
<https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

TO JOIN THE MEETING VIA ZOOM CLICK THE FOLLOWING LINK:

<https://ccccounty-us.zoom.us/j/83239430053>

TO JOIN THE MEETING BY PHONE CALL THE FOLLOWING NUMBER:

Call-In Number: 1-888-278-0254

Access Code: 198675

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

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For assistance with remote access, please contact County staff at (925) 494-4516.

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The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

****** 6:30 P.M. ******

1. PUBLIC HEARINGS

- a) DAVID S. PEARSON (Applicant) - CHRISTOPHER FOSKETT, SUCCESSOR TRUSTEE, TRUSTEE OF THE MARY DODGE FOSKETT TRUST DATED SEPTEMBER 24, 1984, JEAN E. FOSKETT, TRUSTEE OF THE JEAN E. FOSKETT TRUST DATED JANUARY 31, 2023, CHERYLE A. FOSKETT, TRUSTEE OF THE FOSKETT TRUST DATED SEPTEMBER 13, 2000, AND FOSKETT RANCH, LLC (Owner), County File #CDAP21-00001: Applicant requests approval of a rezone from General Agricultural District (A-2) to Agricultural

Preserve District (A-4) for APNs 007-030-011, 007-040-001, and 007-050-001. This rezone is requested for the purpose of placing the property into a new land conservation contract and agricultural preserve. The subject property consists of three legal parcels of 326.59-acres, 628.39 acres, and 629.32 acres, respectively, located at 15900 Marsh Creek Road in the unincorporated Brentwood area. [Zoning: General Agricultural District (A-2), APN: 007-030-011, 007-040-001, and 007-050-001] DB Staff Report

2. PUBLIC COMMENTS
3. STAFF REPORT
4. COMMISSIONERS' COMMENTS
5. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE WEDNESDAY, MARCH 13, 2024, AT 6:30 P.M.

Knightsen TAC
3361 Walnut Blvd., Suite 140
Brentwood, CA 94513
Lea Castleberry, District III

****REVISED****
COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, FEBRUARY 28, 2024
*****6:30 p.m.*****
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553

RECEIVED

FEB 26 2024

BY: _____

CHAIR: Kevin Van Buskirk
VICE-CHAIR: Bhupen Amin
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

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****** 6:30 P.M. ******

1. PUBLIC HEARINGS

- a) DAVID S. PEARSON (Applicant) - CHRISTOPHER FOSKETT, SUCCESSOR TRUSTEE, TRUSTEE OF THE MARY DODGE FOSKETT TRUST DATED SEPTEMBER 24, 1984, JEAN E. FOSKETT, TRUSTEE OF THE

JEAN E. FOSKETT TRUST DATED JANUARY 31, 2023, CHERYLE A. FOSKETT, TRUSTEE OF THE FOSKETT TRUST DATED SEPTEMBER 13, 2000, AND FOSKETT RANCH, LLC (Owner), County File #CDAP22-0001: Applicant requests approval of a rezone from General Agricultural District (A-2) to Agricultural Preserve District (A-4) for APNs 007-030-011, 007-040-001, and 007-050-001. This rezone is requested for the purpose of placing the property into a new land conservation contract and agricultural preserve. The subject property consists of three legal parcels of 326.59-acres, 628.39 acres, and 629.32 acres, respectively, located at 15900 Marsh Creek Road in the unincorporated Brentwood area. [Zoning: General Agricultural District (A-2), APN: 007-030-011, 007-040-001, and 007-050-001] DB Staff Report

2. PUBLIC COMMENTS
3. STAFF REPORT
4. COMMISSIONERS' COMMENTS
5. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE **WEDNESDAY, MARCH 13, 2024, AT 6:30 P.M.**

RECEIVED

MAR 04 2024

BY: _____

CONTRA COSTA COUNTY PLANNING COMMISSION

CONTRA COSTA COUNTY
WEDNESDAY, MARCH 13, 2024
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553

CHAIR: Kevin Van Buskirk
VICE-CHAIR: Bhupen Amin
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The Wednesday, March 13, 2024, Meeting of the County Planning Commission is Cancelled

*****MEETING CANCELLED*****

*****MEETING CANCELLED*****

*****MEETING CANCELLED*****

*****MEETING CANCELLED*****

*****MEETING CANCELLED*****

**Information on County Planning Commission can be found online at
<https://www.contracosta.ca.gov/4314/County-Planning-Commission>**

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION
WILL BE WEDNESDAY, MARCH 27, 2024, AT 6:30 P.M.

RECEIVED

MAR 22 2024

BY: _____

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, MARCH 27, 2024
6:30 p.m.
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

CHAIR: Kevin Van Buskirk
VICE-CHAIR: Bhupen Amin
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

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****** 6:30 P.M. ******

1. PUBLIC HEARINGS

- a. SHONA ARMSTRONG (Appellant) - CARI ROSNER JELEN (Applicant) - ELENA SAXONHOUSE (Owner), County File CDDP23-03024: This is an appeal of the Zoning Administrator's decision to approve a Kensington Design Review Development Plan to allow a 993 square-foot two-story addition to the northern side of an existing single-family residence. The project site is located at 40 Anson Way in the Kensington area of unincorporated Contra

Costa County. (Zoning: R-6 Single-Family Residential District, -TOV Tree Obstruction of Views Combining District, -K Kensington Combining District) (Assessor's Parcel Number: 572-233-012) AV Staff Report

- 2. PUBLIC COMMENTS
- 3. STAFF REPORT
- 4. COMMISSIONERS' COMMENTS
- 5. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE WEDNESDAY, APRIL 10, 2024, AT 6:30 P.M.

**COUNTY PLANNING COMMISSION
CONTRA COSTA COUNTY
WEDNESDAY, APRIL 10, 2024
6:30 p.m.
30 MUIR ROAD
MARTINEZ, CALIFORNIA 94553**

RECEIVED
APR 04 2024
BY: _____

CHAIR: Kevin Van Buskirk
VICE-CHAIR: Bhupen Amin
COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

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***** 6:30 P.M. *****

1. PUBLIC HEARINGS

- a. CONTINENTAL DEVELOPMENT CONSULTANTS (Applicant) – JASVIR SINGH (Owners), County File #'s CDGP10-00003, CDRZ13-03222 and CDLP/DP13-02025: The applicant is requesting approval of a General Plan Amendment (GPA), rezoning, land use permit/development plan combination, variance, and Title 9 exception request to allow for the demolition/re-construction of a gas station and retail business building. The Commission

will also consider a mitigated negative declaration prepared for the project under the California Environmental Quality Act. The subject property is located at 15031 Byron Highway, in the unincorporated Byron area of the County. (Zoning: A-2 General Agricultural District and R-B Retail Business District) (Assessor's Parcel Numbers: 002-140-010, 025 and 027)

2. PUBLIC COMMENTS
3. STAFF REPORT
4. COMMISSIONERS' COMMENTS
5. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE WEDNESDAY, APRIL 24, 2024, AT 6:30 P.M.

NOTICE OF A PUBLIC HEARING

On MONDAY, APRIL 15, 2024, at 1:30 p.m., the Contra Costa County Zoning Administrator will hold a public hearing at 30 Muir Road, Martinez, California, to consider a MINOR SUBDIVISION.

MILANI & ASSOCIATES (Applicant) - CRISTOBAL HERNADEZ CRUZ (Owner), County File CDMS20-00011: The applicant requests approval of a Vesting Tentative Map for a two-lot Minor Subdivision application to subdivide a 10-acre lot into a 5-acre Parcel A and a 5-acre Parcel B. Parcel A is vacant. Parcel B includes a barn in the northeastern portion of the parcel. The Vesting Tentative Map shows building pads to accommodate a future single-family residence and a future detached accessory dwelling unit on each parcel, along with proposed locations for wells, septic systems, and detention basin improvements; however, residential development of the parcels is not part of this application. Access to the parcels would be provided by Wildhorse Road, a private road that provides access to the parcels from Sellers Avenue to the west and Knightsen Avenue to the east. The applicant is also requesting an Exception to the requirements and regulations of County Code Division 914 (Collect and Convey). The project site is located at 0 Wildhorse Road, approximately 865 feet east of Sellers Avenue, in the Knightsen area of unincorporated Contra Costa County. (Zoning: A-2, General Agricultural District) (Assessor's Parcel Number: 020-010-023)

Members of the public may attend the Zoning Administrator meeting and participate in this public hearing in-person at the above-listed location. Members of the public can view and listen to the live meeting via Contra Costa County Streaming Media Service, which can be found at:

https://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

The public hearing will also be accessible to the public for participation via teleconference (Dial 888-278-0254 followed by access code 198675) and Zoom (the meeting agenda will include Zoom log-in information and will be posted to the following website, under agendas for the current year, not later than 96 hours prior to the start of the meeting: <https://www.contracosta.ca.gov/4328/Zoning-Administrator>).

Persons who wish to address the Zoning Administrator may also submit public comments before or during the hearing via email to planninghearing@dcd.cccounty.us, or via voicemail at (925) 655-2860.

For further details, contact the Contra Costa County Department of Conservation and Development at 925-655-2879 or Adrian.Veliz@dcd.cccounty.us

If you challenge the project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the County at, or prior to, the public hearing.

John Kopchik, Director
Department of Conservation and Development

