

LAND USE SUMMARY	
NET LOT AREA	2.40 AC
WALNUT BOULEVARD RIGHT OF WAY	0.16 AC
PRIVATE ROAD EASEMENT	0.29 AC
EMERGENCY VEHICLE ACCESS EASEMENT	0.03 AC
TOTAL (GROSS LOT AREA)	2.88 AC

* LOT 4 IS DESIGNATED AS AN AFFORDABLE UNIT

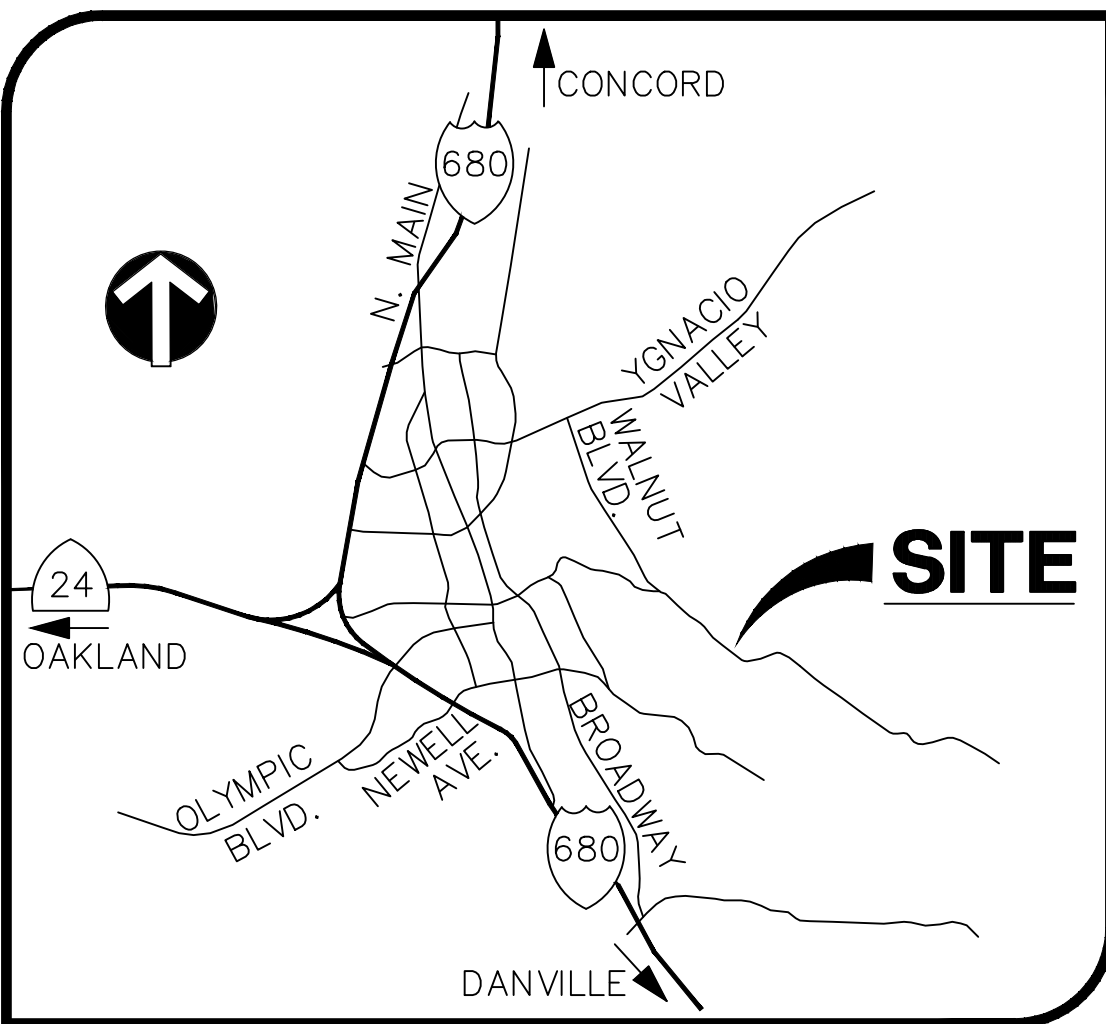
VESTING TENTATIVE MAP
3180 WALNUT BOULEVARD
 WALNUT CREEK, CALIFORNIA
 JANUARY 02, 2024



1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DKENGIN.COM (925) 932-6988

VESTING TENTATIVE MAP

F:\PROJECTS\2023\31-007 3180 WALNUT BLVD - WALNUT CREEK\DWG\3180-WALNUT-TENTATIVE-MAP-2023.DWG 1/2/2024



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
BGL	BOTTOM OF GRAVEL LAYER
BSW	BACK OF SIDEWALK
BW	BOTTOM OF WALL
C&G	CURB & GUTTER
CB	CATCH BASIN
CCC	CONTRA COSTA COUNTY
CL	CENTERLINE
CONC	CONCRETE
CR	CURB RETURN
EG	EXISTING GRADE
EX	EXISTING
FC	FACE OF CURB
FG	FINISH GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOW LINE
GB	GRADE BREAK
LF	LINEAL FEET
LIP	LIP OF GUTTER
LP	LOW POINT
MIN	MINIMUM
PL	PROPERTY LINE
PVI	POINT OF VERTICAL INTERSECTION
R/W	RIGHT OF WAY
S/W	SIDEWALK
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TGL	TOP OF GRAVEL LAYER
TPF	TREE PROTECTION FENCING
TSL	TOP OF SOIL LAYER
TW	TOP OF WALL
TYP	TYPICAL
W	WATER MAIN

PROJECT TEAM

APPLICANT
CALIBR VENTURES
115 JENNIFER COURT
ALAMO, CA 94507
VICE PRESIDENT: ANDY BYDE

CIVIL ENGINEER
JK ENGINEERING
1931 SAN MIGUEL DRIVE, SUITE 100
WALNUT CREEK, CA 94596
(925) 932-6868
PROJECT MANAGER: ANDREW DUARTE

ARBORIST
TRAVERSO TREE SERVICE, INC
4080 CABRILHO DRIVE
MARTINEZ, CA 94553
(925) 448-3387
ARBORIST: JENNIFER TSO

GEOTECHNICAL ENGINEER
ENCOE
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-9000
JERRY CHEN

SITE INFORMATION

SITE LOCATION: 3180 WALNUT BOULEVARD
WALNUT CREEK, CA

BASIS OF BEARING: BEARINGS SHOWN HEREON ARE ON CALIFORNIA
STATE PLANE COORDINATE SYSTEM, ZONE 3 (GRID),
HORIZONTAL DATUM USING NAD 83 (2011)
(EPOCH 2010.0000) US SURVEY FOOT

BENCHMARK: VERTICAL DATUM NAVD88 GEOD 12B DERIVED FROM
OPUS SOLUTION

PARCEL APN NO.: 180-240-002

EXISTING ZONING: R-20

NUMBER OF UNITS: 10 UNITS

SITE ACREAGE: 2.88

EXISTING CONTOURS: 1' INTERVAL

PROPOSED CONTOURS: 1' INTERVAL

UTILITIES & SERVICES:
WATER: EAST BAY MUNICIPAL UTILITY DISTRICT
SEWER: CONTRA COSTA COUNTY SANITARY DISTRICT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC

LAND USE SUMMARY

NET LOT AREA	2.40 AC
WALNUT BOULEVARD RIGHT OF WAY	0.16 AC
PRIVATE ROAD EASEMENT	0.29 AC
EMERGENCY VEHICLE ACCESS EASEMENT	0.03 AC
TOTAL (GROSS LOT AREA)	2.88 AC

PRELIMINARY EARTHWORK QUANTITIES		
CUT	FILL	IMPORT/EXPORT
11,960	4,570	7,390



SITE MAP
SCALE: 1"=50'

EXISTING	LEGEND	PROPOSED
	PROJECT BOUNDARY	
	RIGHT OF WAY LINE	
	EASEMENT	
	DAYLIGHT	
	CONTOUR LINE, MAJOR	
	CONTOUR LINE, MINOR	
	CURB AND GUTTER	
	EDGE OF PAVEMENT	
	ROAD CENTER LINE	
	CONCRETE V-DITCH	
	FENCE	
	RETAINING WALL	
	PERVIOUS PAVERS	
	TREE, TREE TO BE REMOVED	
	TREE PROTECTION FENCE	
	STORM DRAIN LINE, MANHOLE, FIELD INLET, CATCH BASIN	
	SANITARY SEWER LINE, MANHOLE	
	WATER LINE, METER, VALVE, FIRE HYDRANT	
	OVERHEAD LINE	
	RECORD GAS LINE	
	RECORD ELECTRIC LINE	

SHEET INDEX

SHEET	DESCRIPTION
1	REGIONAL CONTEXT MAP
2	VESTING TENTATIVE MAP
3	BOUNDARY & TOPOGRAPHIC SURVEY
4	PRELIMINARY GRADING & UTILITY PLAN
5	CROSS SECTIONS & ROAD SECTIONS
6	CROSS SECTIONS & ROAD SECTIONS
7	SITE SETBACKS

VESTING TENTATIVE MAP
3180 WALNUT BOULEVARD
WALNUT CREEK, CALIFORNIA
JANUARY 02, 2024



1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
WWW.GKENGIN.COM (925) 932-6868

REGIONAL CONTEXT MAP



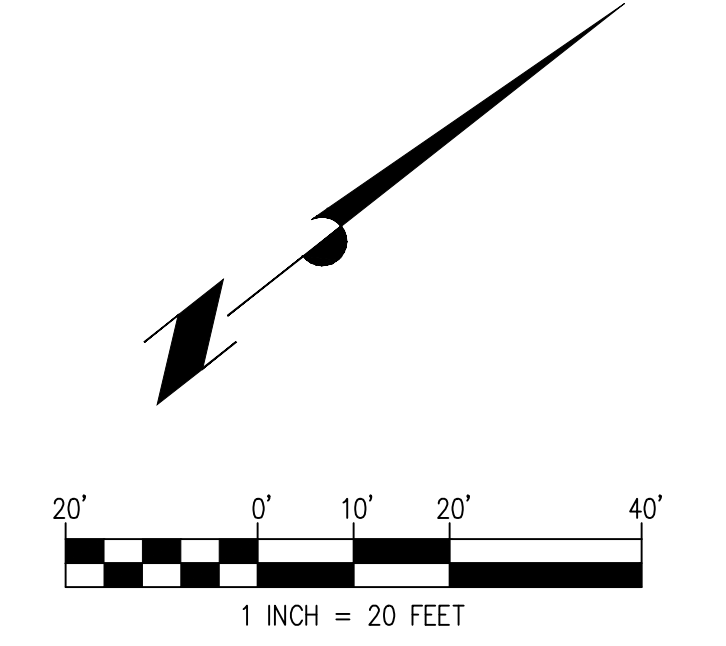
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JAMES & CAROL FULLER
& VICTORIA ALVIS
APN 180-240-003

ZAIJIE & LIJI WANG
APN 180-240-036

PINZA FAMILY
LIVING TRUST
APN 180-240-035

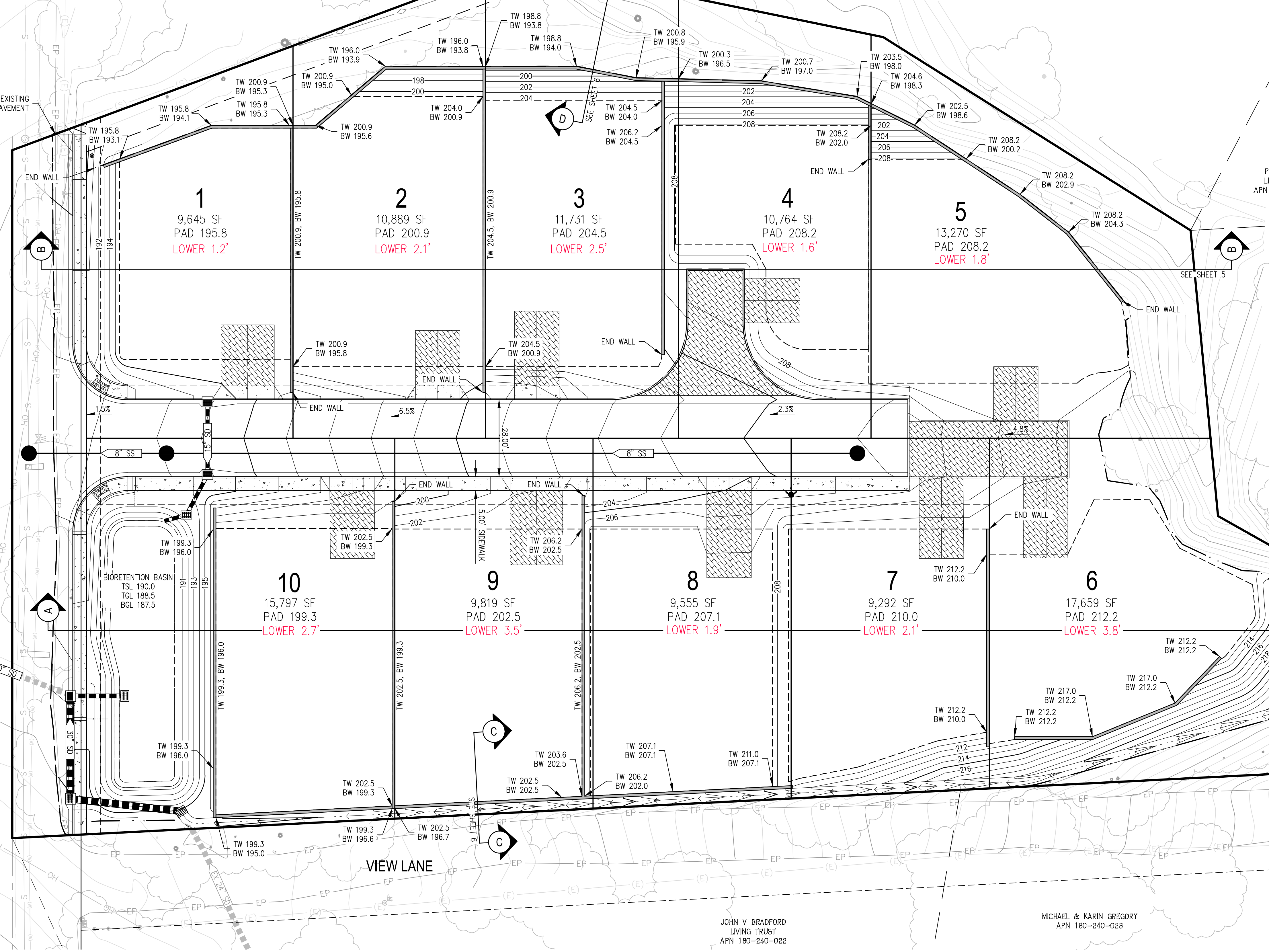
VIRGIL & CELIA SIACUNCO
APN 180-240-043



PRELIMINARY EARTHWORK QUANTITIES		
CUT	FILL	EXPORT
11,960	4,570	7,390

WALNUT BOULEVARD

VIEW LANE



RICHARD WATTS &
DIVYA KANICHAR
APN 180-240-033

JOHN V BRADFORD
LIVING TRUST
APN 180-240-022

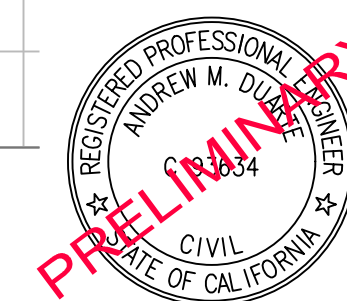
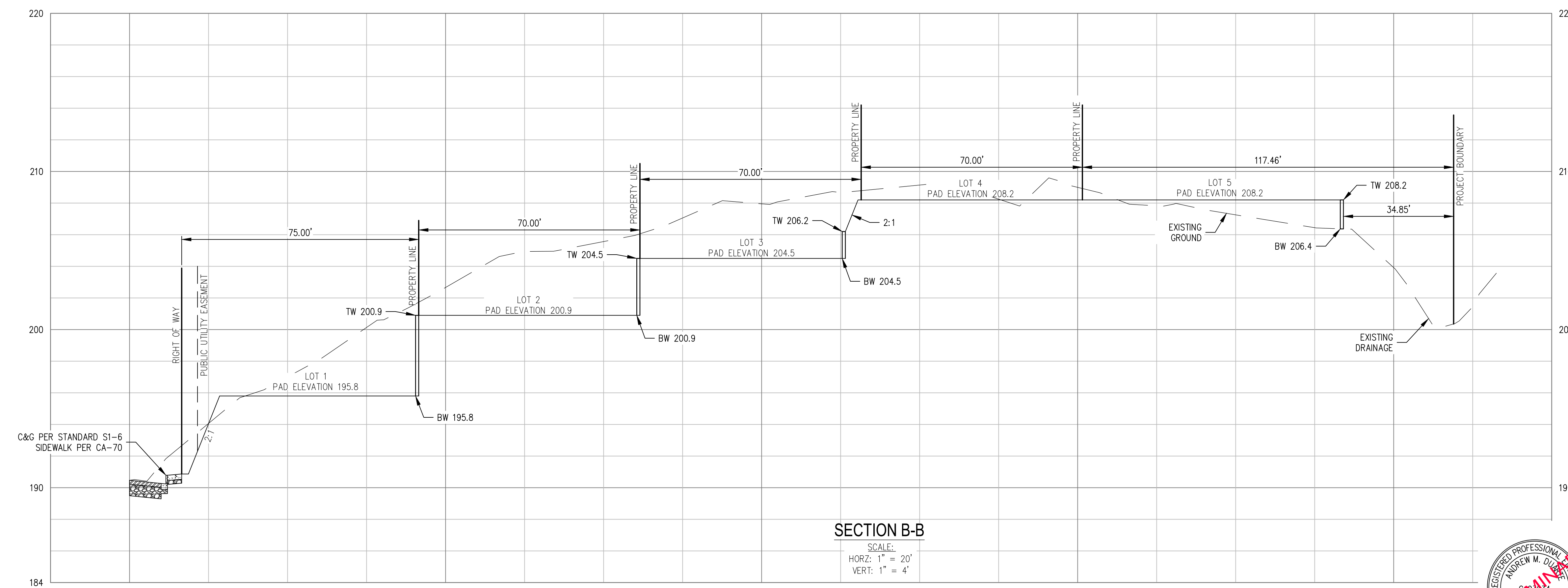
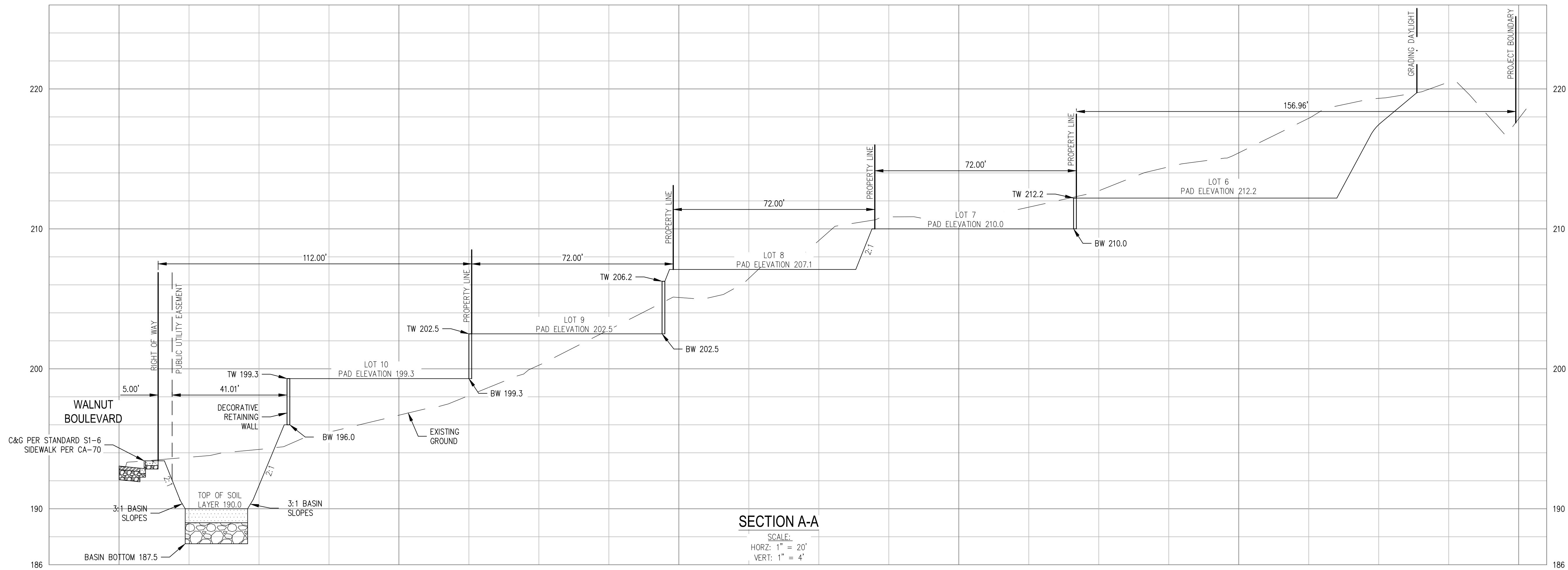
MICHAEL & KARIN GREGORY
APN 180-240-023

CHANGE IN PAD ELEVATION
3180 WALNUT BOULEVARD
WALNUT CREEK, CALIFORNIA
JANUARY 03, 2024



1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
WWW.DRENGR.COM (925) 932-8888
PRELIMINARY GRADING & UTILITY PLAN

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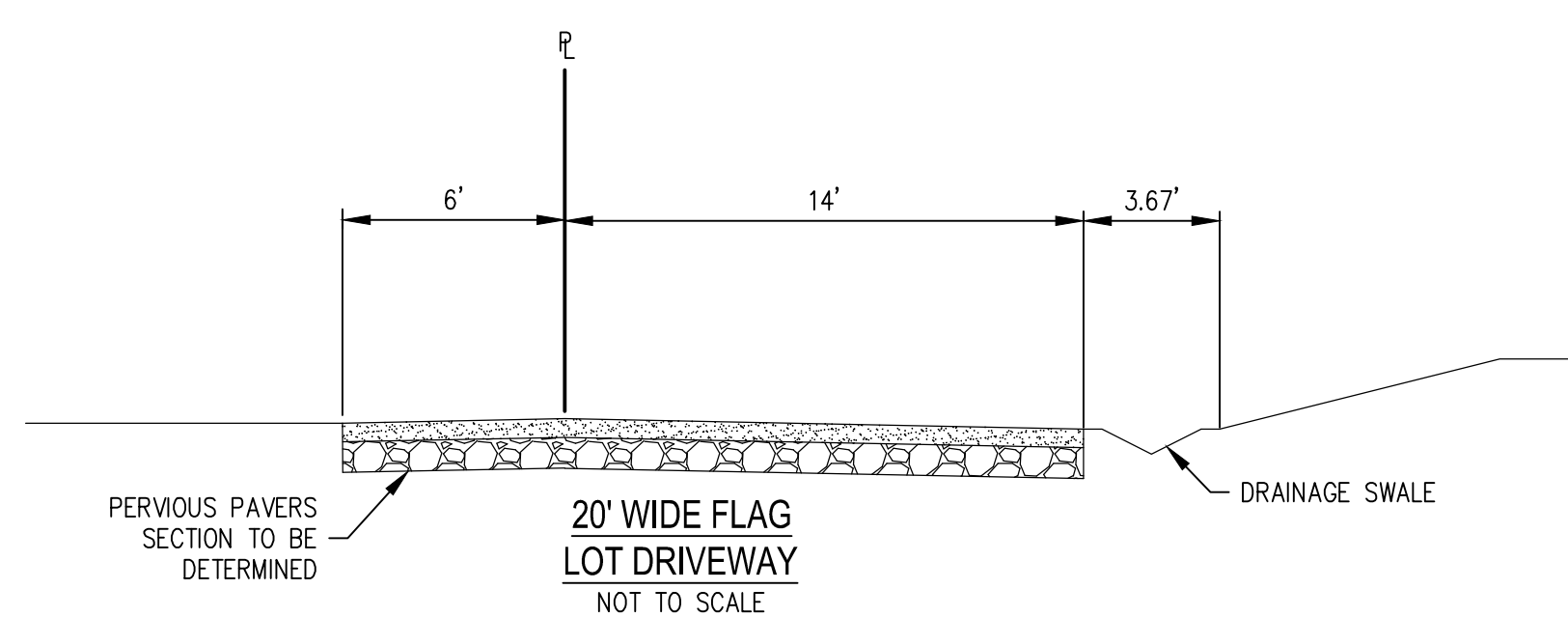
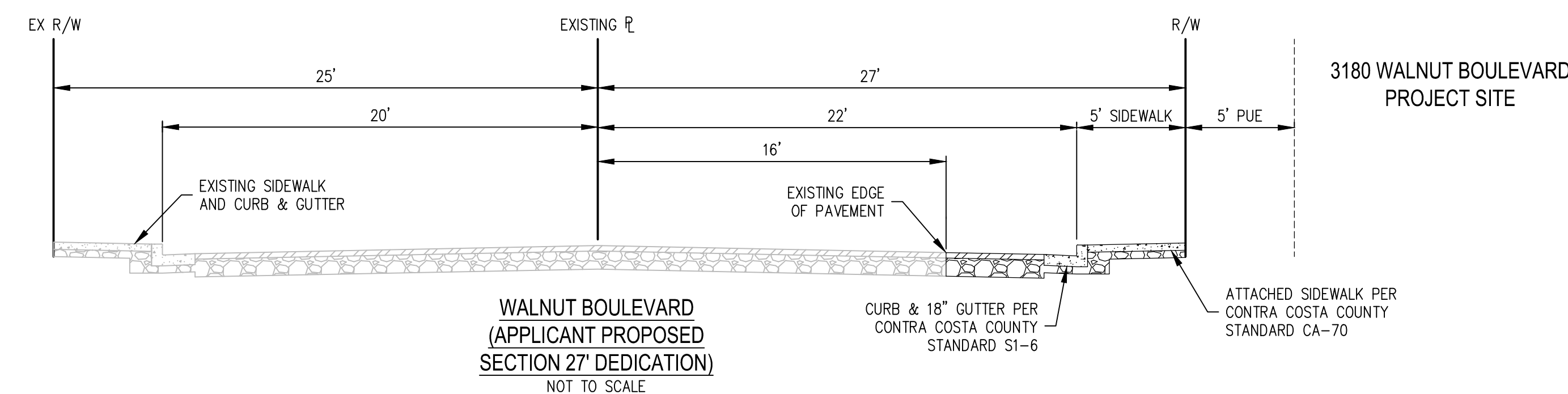
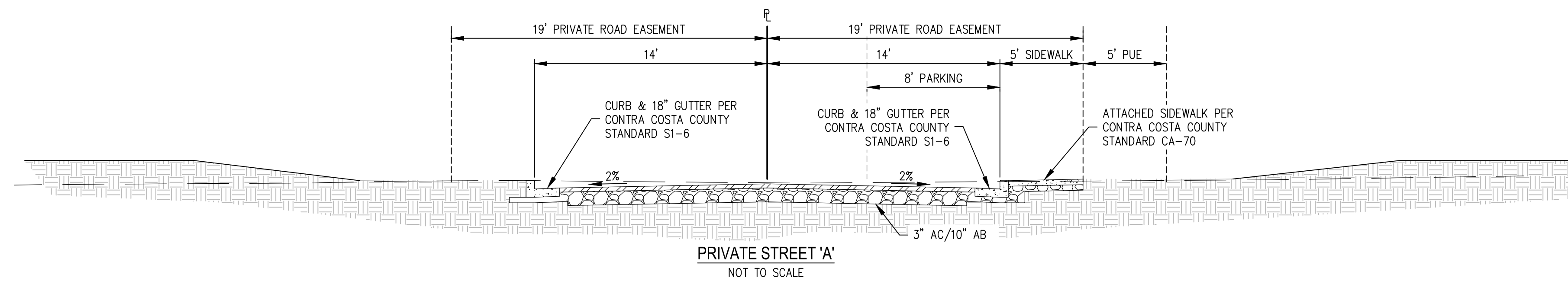
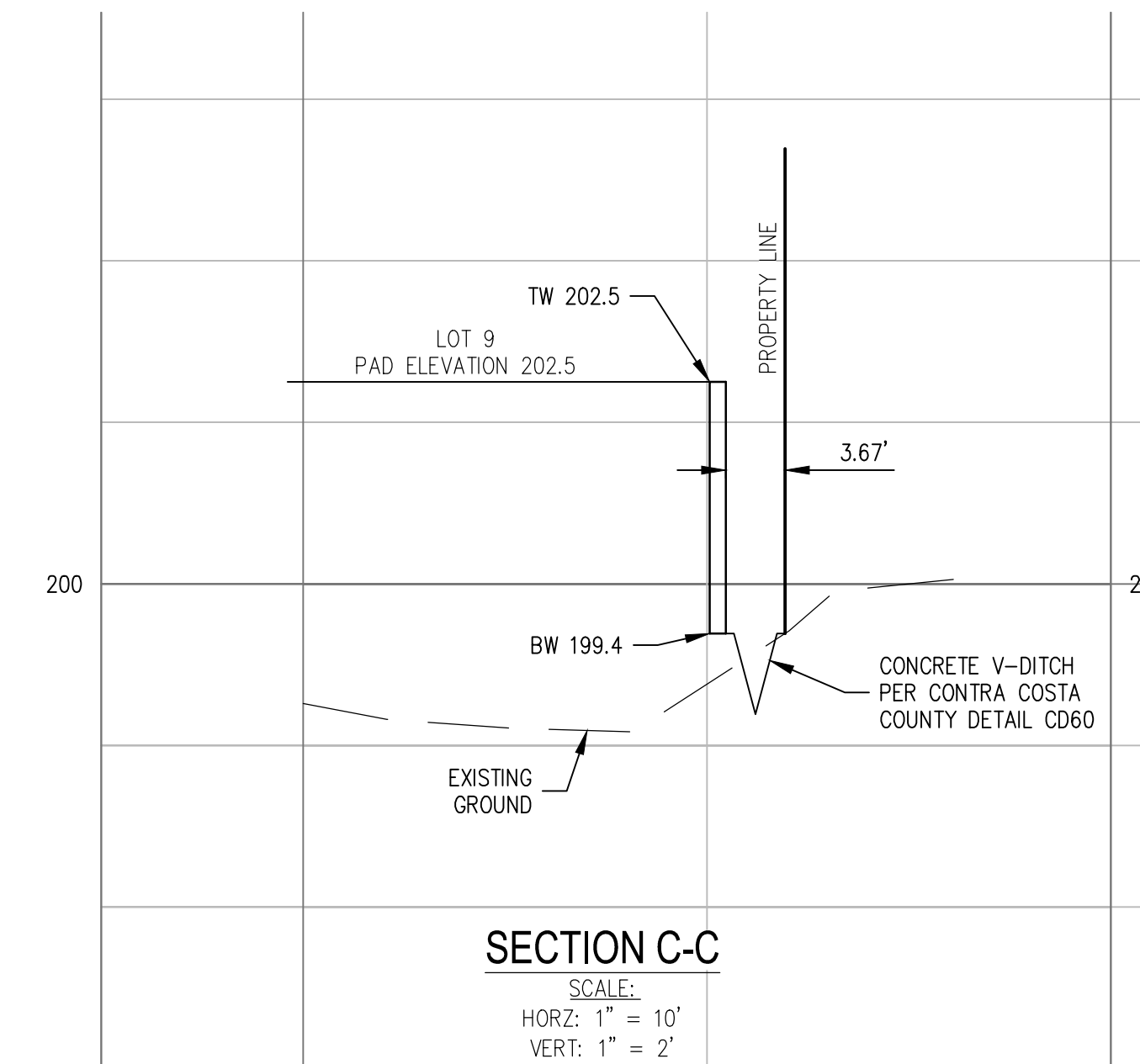
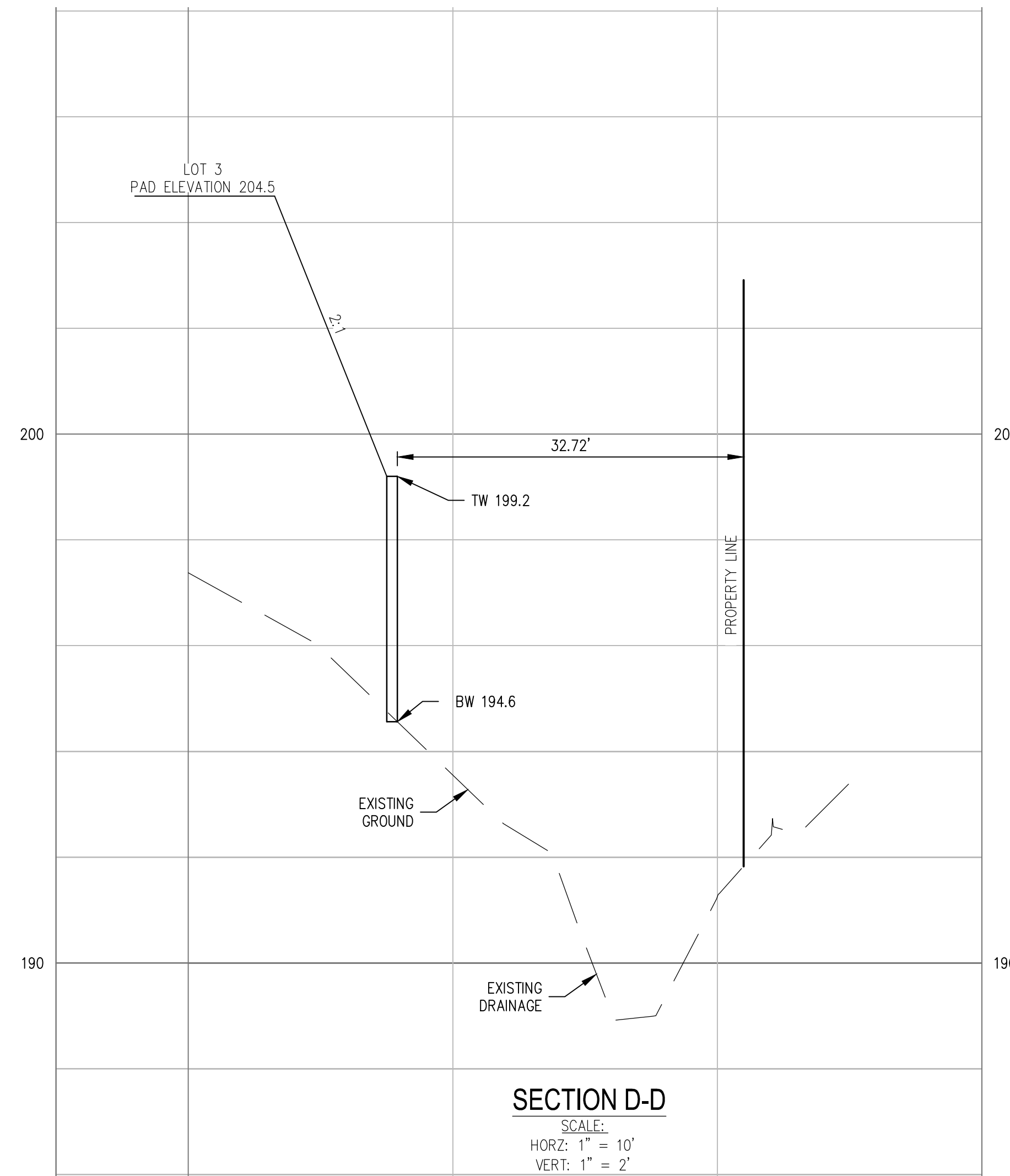
VESTING TENTATIVE MAP
 3180 WALNUT BOULEVARD
 WALNUT CREEK, CALIFORNIA
 JANUARY 02, 2024



1931 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DKENGIN.COM (925) 952-6988

CROSS SECTIONS & ROAD SECTIONS

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VESTING TENTATIVE MAP
3180 WALNUT BOULEVARD
 WALNUT CREEK, CALIFORNIA
 JANUARY 02, 2024



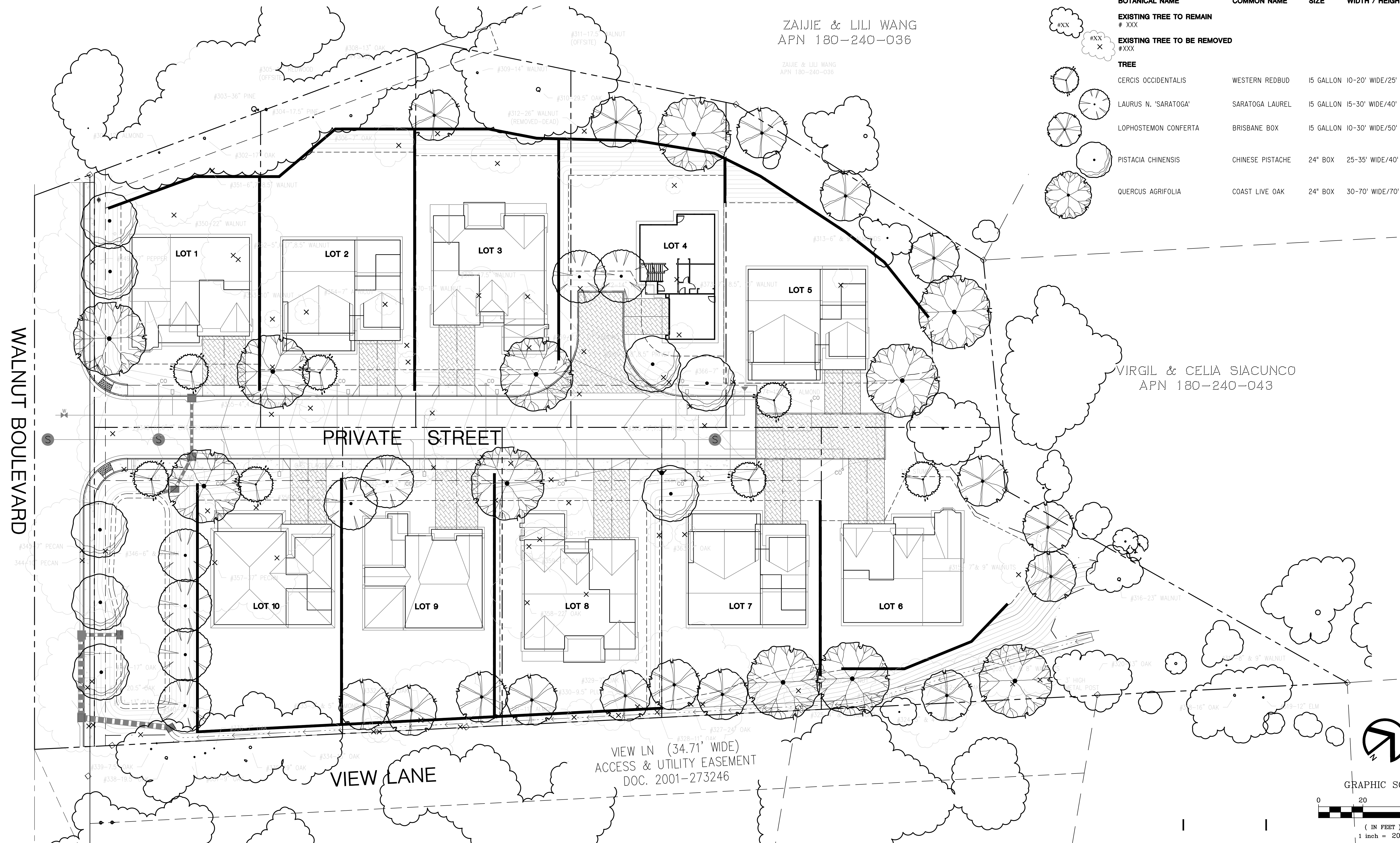
1831 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DKENGIN.COM (925) 952-6988

CROSS SECTIONS & ROAD SECTIONS

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TREE LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	WIDTH / HEIGHT	WATER USE
EXISTING TREE TO REMAIN # XXX				
EXISTING TREE TO BE REMOVED #XXX				
TREE				
CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GALLON	10-20' WIDE/25' HIGH	LOW
LAURUS N. 'SARATOGA'	SARATOGA LAUREL	15 GALLON	15-30' WIDE/40' HIGH	LOW
LOPHOSTEMON CONFERTA	BRISBANE BOX	15 GALLON	10-30' WIDE/50' HIGH	MEDIUM
PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	25-35' WIDE/40' HIGH	LOW
QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	30-70' WIDE/70' HIGH	LOW



ZAIJIE & LILI WANG
APN 180-240-036

VIRGIL & CELIA SIACUNCO
APN 180-240-043

RIPLEY DESIGN GROUP
LANDSCAPE ARCHITECTURE
LAND PLANNING
1615 BONANZA STREET
SUITE 314
WALNUT CREEK, CA 94596
TEL: 925.938.7377
www.ripleydesign.com

CALIBR VENTURES
115 Jennifer Court
Alamo, CA 94507

3180 WALNUT BLVD
Walnut Creek, CA

Preliminary Landscape Site Plan

JAMES & CAROL FULLER
& VICTORIA ALVIS
APN 180-240-003

ZAIJIE & LIJI WANG
APN 180-240-036

PINZA FAMILY
LIVING TRUST
APN 180-240-035

VIRGIL & CELIA SIACUNCO
APN 180-240-043

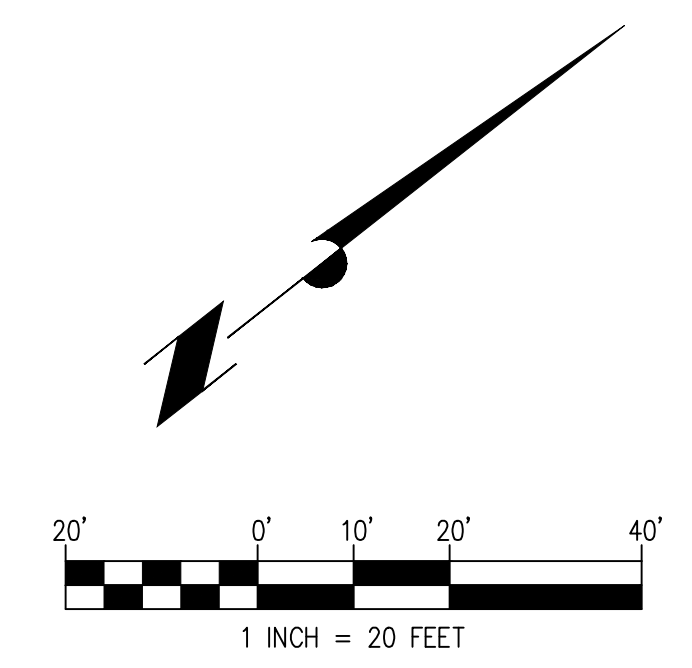
KATHRYN SWIFT
APN 180-240-013

RICHARD WATTS &
DIVYA KANICHAR
APN 180-240-033

JOHN V BRADFORD
LIVING TRUST
APN 180-240-022

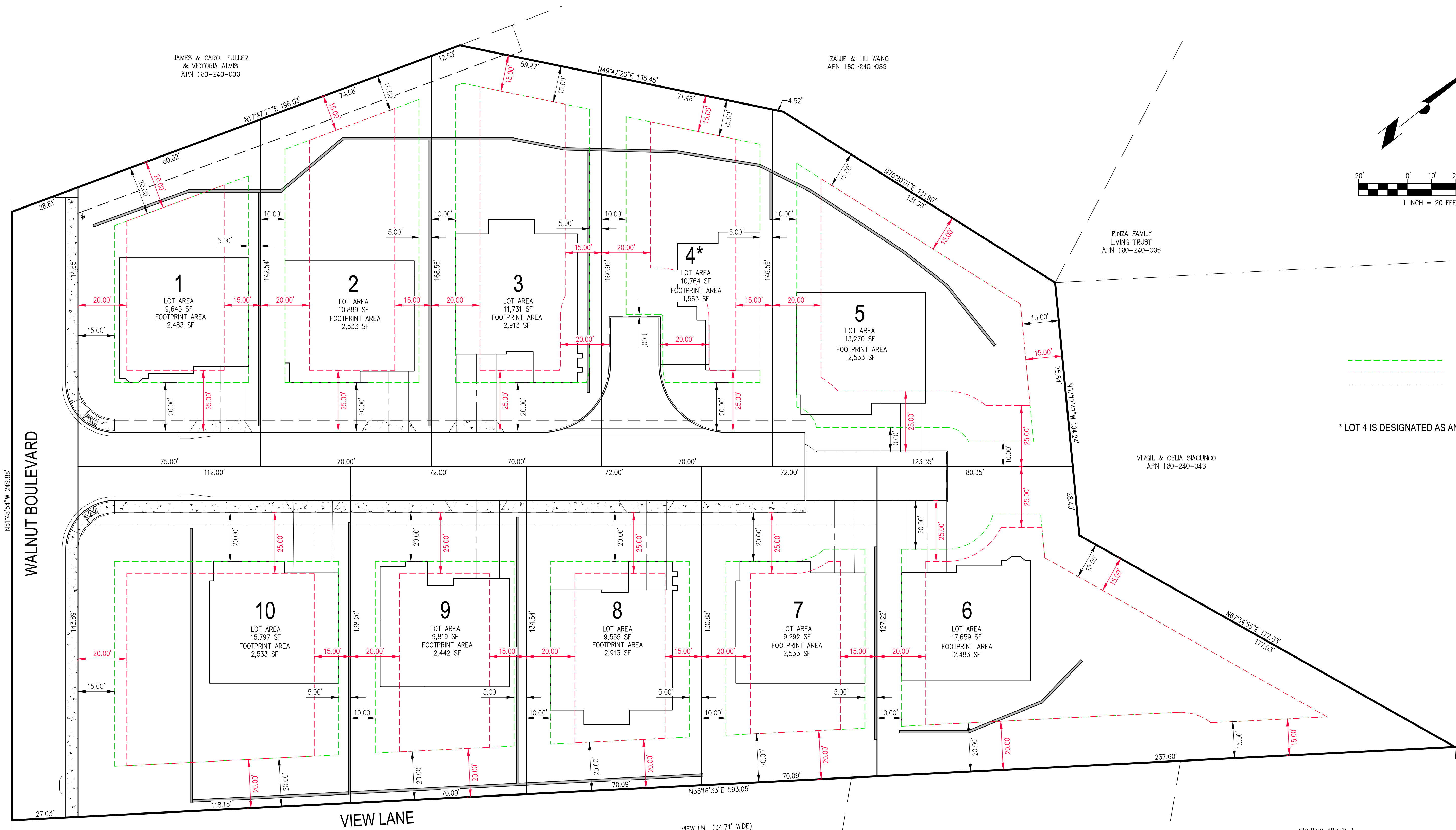
MICHAEL & KARIN GREGORY
APN 180-240-023

VIEW LN (34.71' WIDE)
ACCESS & UTILITY EASEMENT
DOC. 2001-273246



--- PROPOSED SETBACKS
--- R-20 SETBACKS
--- EASEMENTS

* LOT 4 IS DESIGNATED AS AN AFFORDABLE UNIT



VESTING TENTATIVE MAP 3180 WALNUT BOULEVARD WALNUT CREEK, CALIFORNIA JANUARY 02, 2024



1831 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
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SITE SETBACKS

F:\PROJECTS\2023\1-007 3180 WALNUT BLVD - WALNUT CREEK\DWG\SETBACKS-2023.DWG 1/7/2024

Project Name: WALNUT BOULEVARD
Project Type: Treatment Only
Location: Contra Costa County, CA
APN: 180-240-002
Drainage Area: 125283 sf
Mean Annual Precipitation: 19.5 in

I. Self-Treating Areas

DMA Name	Area (sq ft)
ST 1	21160

IV. Areas Draining to IMPs

IMP Name: IMP1 (Soil Type: D)
IMP Type: Bioretention Facility
Soil Type: D

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing			
					IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
RDMA - 1	28,687	Conventional Roof	1.00	28,687				
LDMA - 1	19,305	Landscape	0.10	1,931				
GDMA - 1	6,228	Solid Unit Pavers	0.20	1,246				
GDMA - 2	9,366	Concrete or Asphalt	1.00	9,366				
GDMA - 4 (IN-LIEU)	3,475	Concrete or Asphalt	1.00	3,475				
GDMA - 3	1,689	Concrete or Asphalt	1.00	1,689				
LDMA - 2	28,088	Landscape	0.10	2,809				
Total				49,202				
				Area	0.040	1.000	1,968	2,012



PLAN 3
Modern Farmhouse Elevation

PLAN 1
American Foursquare Elevation

PLAN 3
Spanish Colonial Elevation

PLAN 1
Craftsman Elevation

PLAN 2
Northern European Elevation

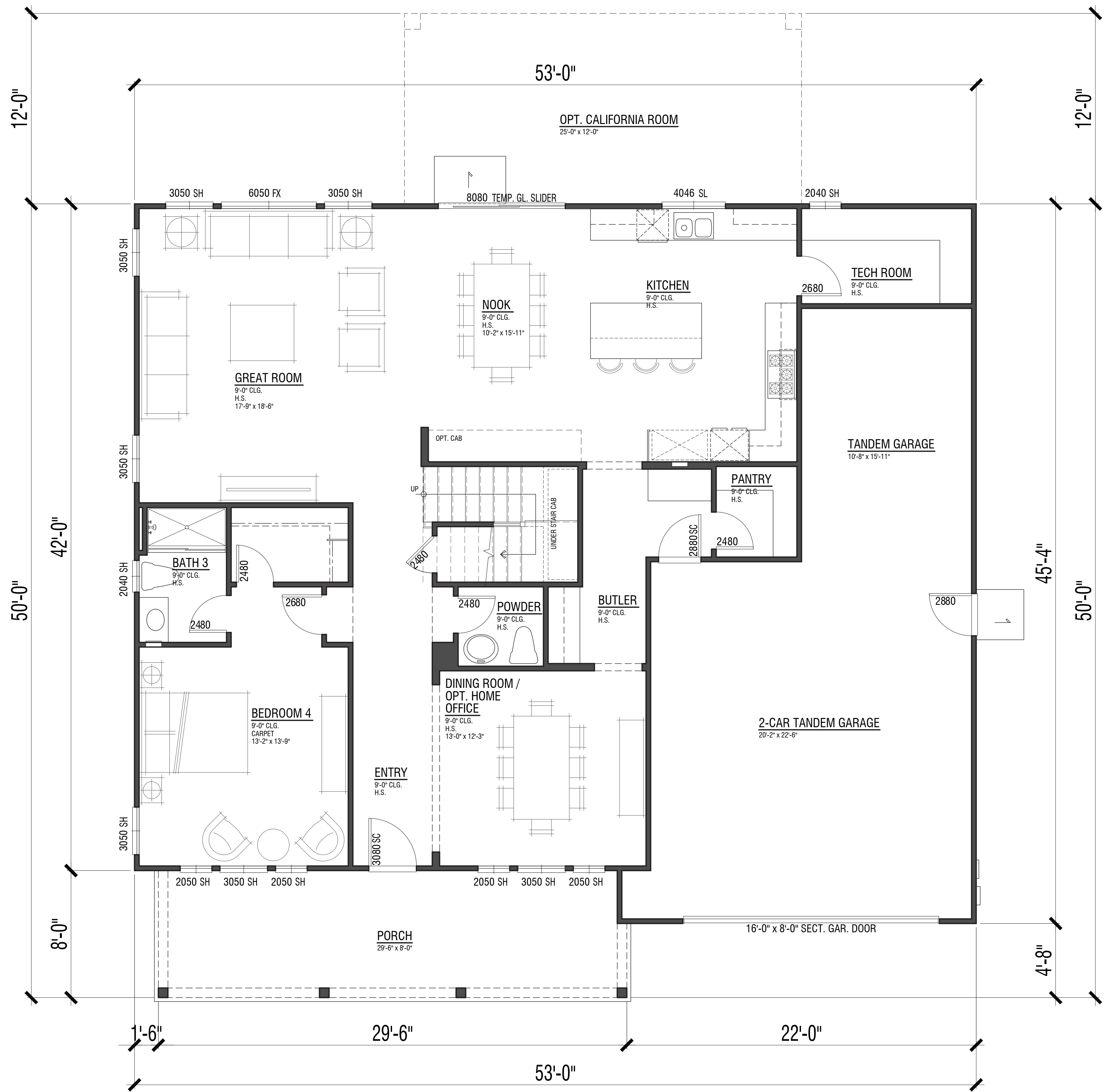
CONCEPTUAL STREETSCENE



Second Floor 1,675 SF

PLAN 1

3,326 SF
4 Bdrm | 3.5 Bath | Bonus | Dining
3-Car Garage



First Floor 1,651 SF

3180 WALNUT BOULEVARD

WALNUT CREEK, CA



A1.1
0 2 4 8



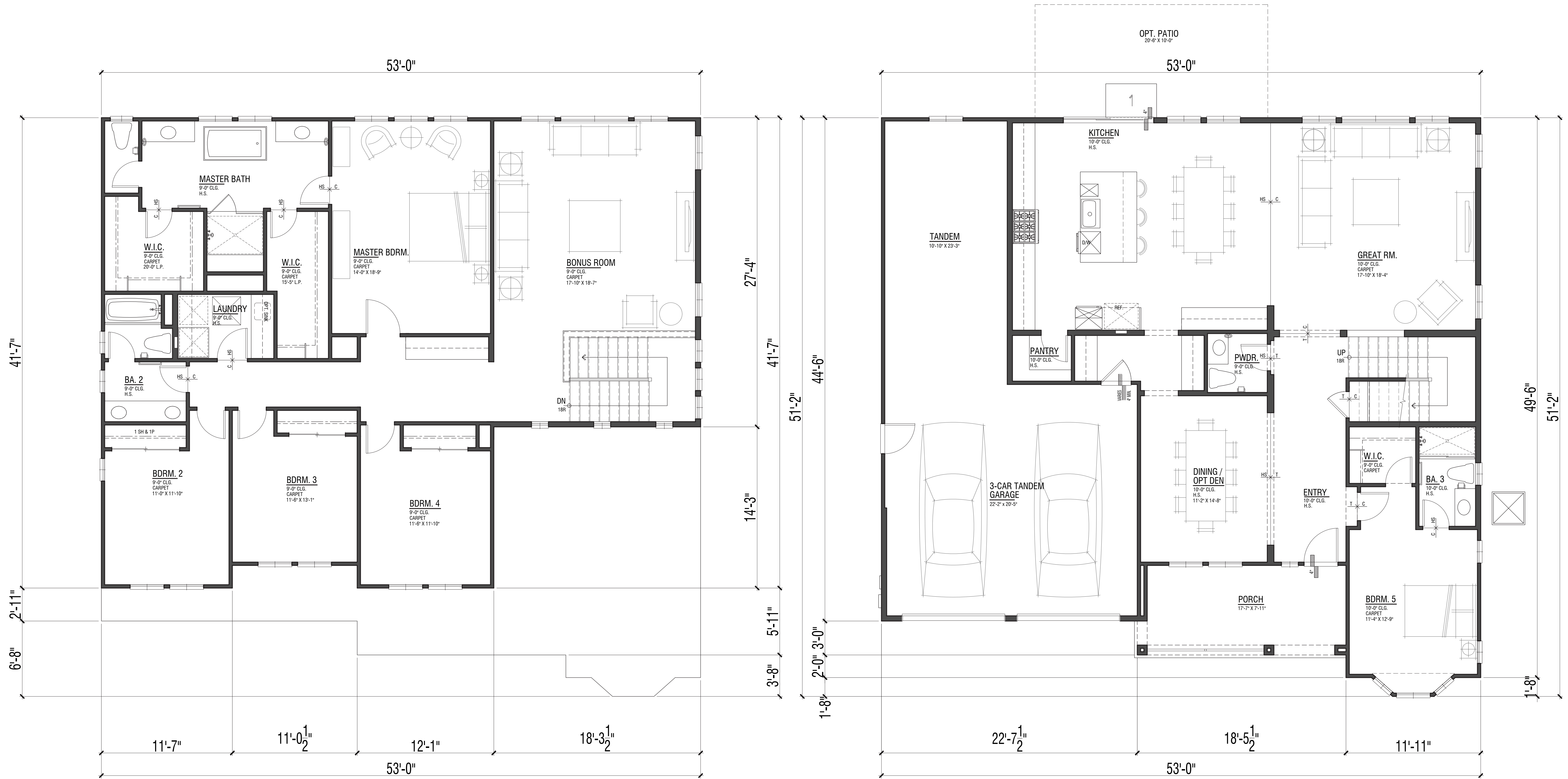


Craftsman Elevation



American Foursquare Elevation

PLAN 1
Front Elevations



PLAN 2

3,430 SF
 5 Bdrm | 3.5 Bath | Bonus | Dining
 3-Car Garage

3180 WALNUT BOULEVARD

WALNUT CREEK, CA



A2.1
 0 2 4 8





Northern European Elevation

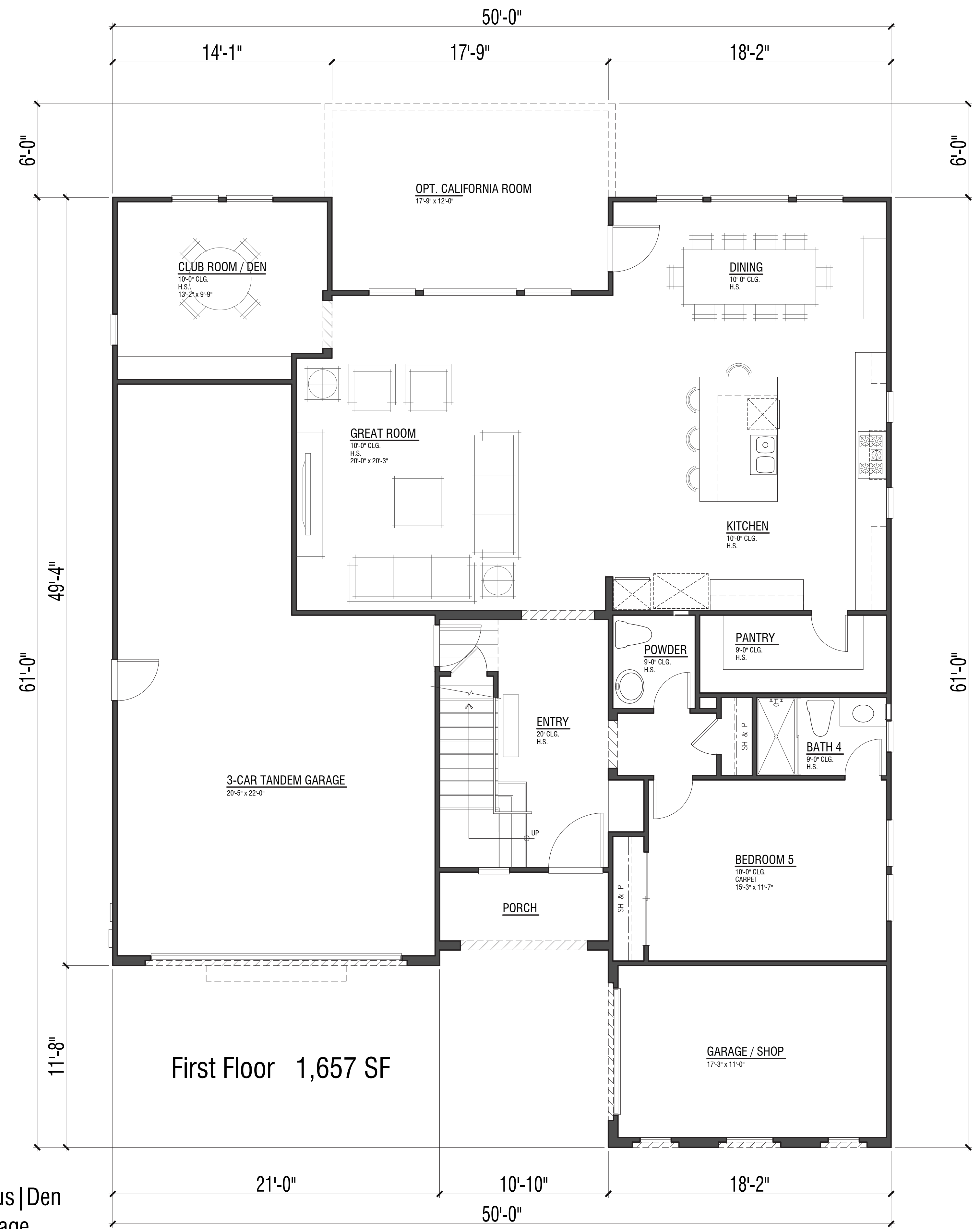
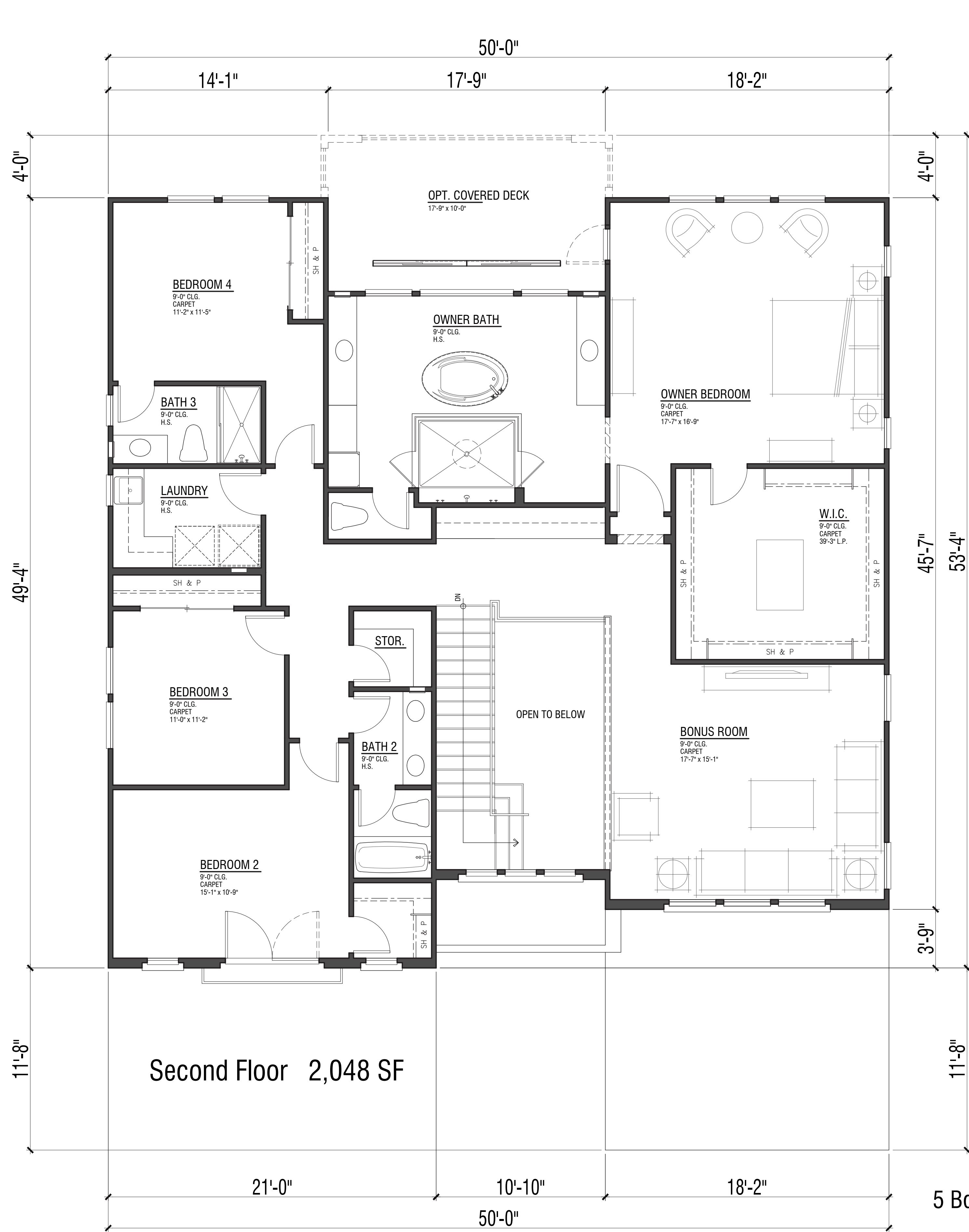


Traditional Elevation

PLAN 2
Front Elevations

3180 WALNUT BOULEVARD

WALNUT CREEK, CA



PLAN 3
 3,705 SF
 5 Bdrm | 4.5 Bath | Bonus | Den
 3-Car Tandem Garage
 1-Car Garage / Shop

3180 WALNUT BOULEVARD
 WALNUT CREEK, CA



A3.1
 0 2 4 8



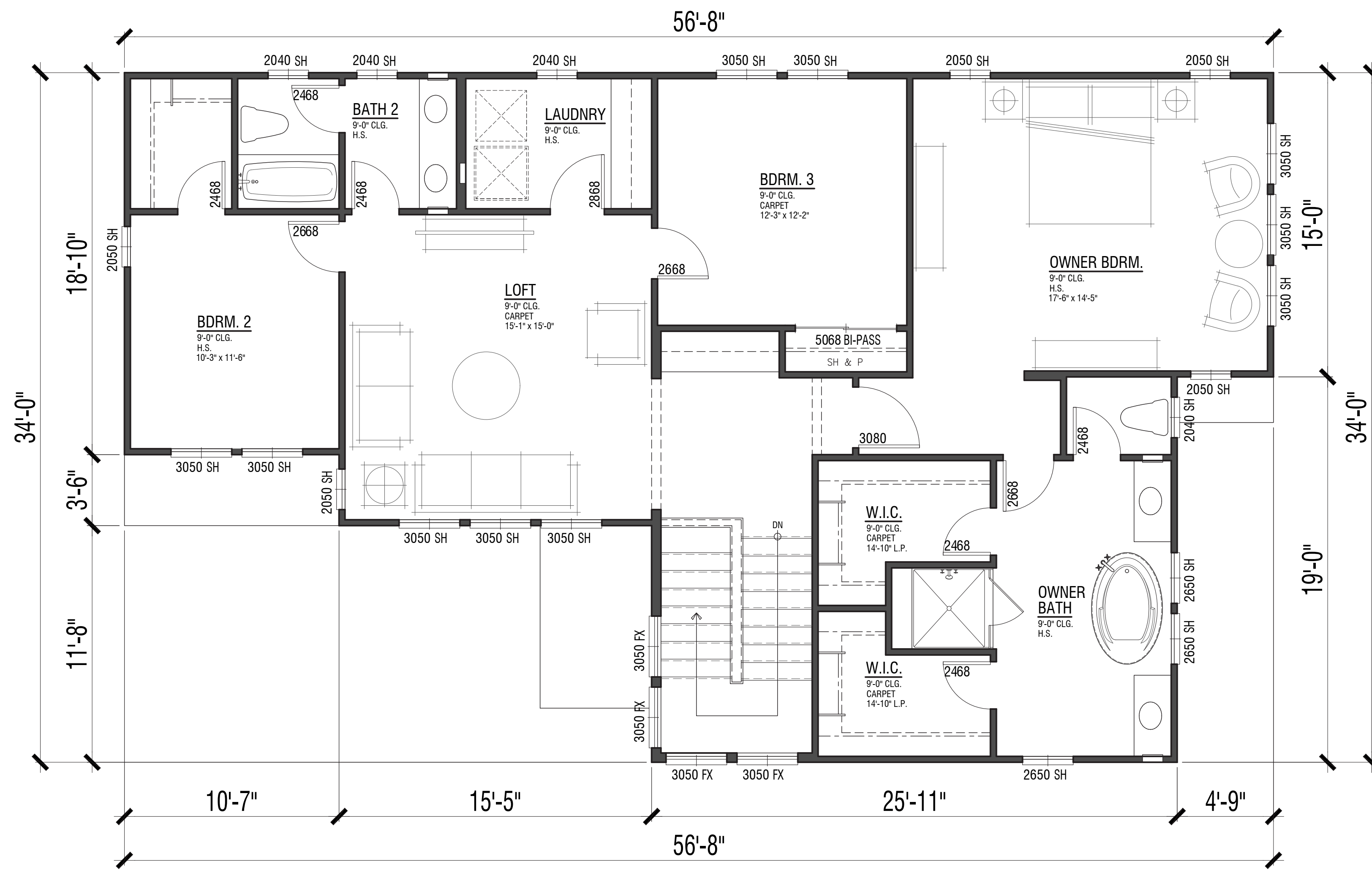


Spanish Colonial Elevation

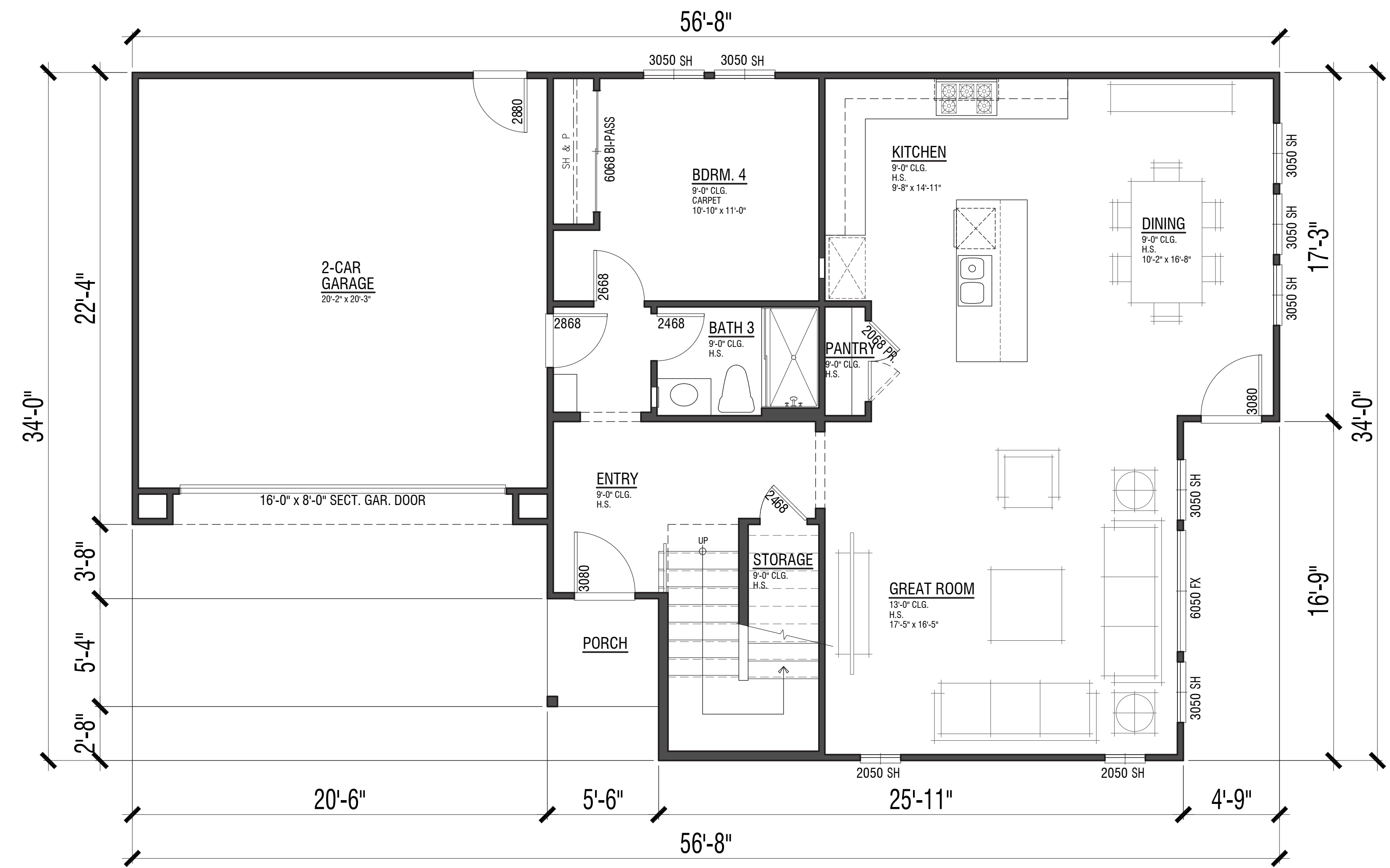


Modern Farmhouse Elevation

PLAN 3
Front Elevations



Second Floor 1,409 SF



First Floor 1,106 SF

PLAN 4
 2,513 SF
 4 Bdrm | 3 Bath | Loft
 2-Car Garage



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

EXTERIOR MATERIALS:
Elevation A - Color Scheme 2

- | | |
|--|----------------------------------|
| 1 CONCRETE SLATE TILE ROOFING | 7 FIBER CEMENT TRIM |
| 2 INSULATED VINYL WINDOWS | 8 MANUFACTURED STONE VENEER |
| 3 FIBERGLASS FRONT DOOR | 9 MANUFACTURED STONE CAP |
| 4 STUCCO | 10 FASCIA |
| 5 STUCCO OVER FOAM TRIM | 11 SECTIONAL ROLL-UP GARAGE DOOR |
| 6 FIBER CEMENT BOARD AND BATTEN SIDING | |

PLAN 4
2,513 SF
4 Bdrm | 3 Bath | Loft
2-Car Garage



A.4.2
0 2 4 8





January 10, 2023

Andy Bye
Calibr Ventures
925-683-5493 | andy@calibrventures.com

Re: Arborist Report for 3180 Walnut Blvd, Walnut Creek

Dear Andy,

This arborist report addresses the proposed subdivision at 3180 Walnut Blvd. Per the Contra Costa County Tree Protection and Preservation Ordinance Chapter 816-6 for developed property, the scope of work includes:

- Tag, identify and measure all trees with diameters 6.5" or larger within 50' of proposed improvements. Multi-stemmed trees will be included if the total circumference of their stems exceeds 40".
- Note protected trees, defined as:
 - Any tree that is adjacent to or part of a riparian, foothill woodland or oak savanna area, or part of a stand of 4 or more trees, and measures 6.5" in diameter or more, and is of one of the following species: Bigleaf maple (*Acer macrophyllum*), Box elder (*Acer negundo*), California buckeye (*Aesculus californica*), White alder (*Alnus rhombifolia*), Madrone (*Arbutus menziesii*), Toyon (*Heteromeles arbutifolia*), California Black Walnut (*Juglans hindsii*), California juniper (*Juniperus californica*), Tanoak (*Lithocarpus densiflora*), Knobcone pine (*Pinus attenuata*), Digger pine (*Pinus sabiniana*), California sycamore (*Platanus racemosa*), Fremont cottonwood (*Populus fremontii*), Black cottonwood (*Populus trichocarpa*), Coast live oak (*Quercus agrifolia*), Blue oak (*Q. douglasii*), California black oak (*Q. kelloggii*), Valley oak (*Q. lobata*), Interior live oak (*Q. wislizenii*), Yellow willow (*Salix lasiandra*), Red willow (*Salix laevigata*), Arroyo willow (*Salix lasiolepis*), Coast red elderberry (*Sambucus callicarpa*), Coast redwood (*Sequoia sempervirens*), California bay (*Umbellularia californica*).
 - Any tree shown to be preserved on an approved tentative map, development or site plan or required to be retained as a condition of approval.
 - Any tree required to be planted as a replacement for an unlawfully removed tree.
- Assess proposed improvements for potential encroachment.
- Based on proposed encroachment, tree health, structure, and species susceptibility, make recommendations for preservation.
- Provide above information on a Tree Protection Plan, to include: tag #s, approximate dripline, whether a tree is removed or preserved, tree protection fencing locations, and tree protection recommendations.

Project Summary

The property is a 2.88 acre site with an existing but uninhabited single-family home in the very center of the property. The original driveway off Walnut Blvd has been reduced to a dirt path. A semi-natural drainage swale parallels the entire north property line, terminating in a culvert at the northwest corner of the property. The proposed project will subdivide the property and construct ten (10) homes, with a road down the center of the property and a bio-retention basin at the south corner.

I included seventy-four (74) trees in my tree inventory, including fourteen (14) protected trees. Orchard remnants, including mature & aging pecans, almonds and walnuts, are distributed across the site, while the highest density of native oaks is found along the south property line. After my site visit, I provided recommendations for preserving key trees along the property lines, both to maintain

screening and to reduce encroachment on off-site and/or spectacular specimens. These recommendations were incorporated into the latest plan set.

It is my opinion that a total of forty-three (43) trees will need to be removed to accommodate the proposed project, which includes four (4) protected trees. The remaining thirty-one (31) trees can be retained given that the protection measures within this report are followed.

Assumptions & Limitations

This report is based on my site visit on 5/19/21 and the vesting tentative map package by DK Engineering dated 12/22. It was assumed that the trees and the proposed improvements were accurately surveyed. A few trees were not surveyed, so I approximately located them on the tree protection plan. Their precise locations will not affect the recommendations in this report. Significant changes to the plans shall be reviewed to update the tree protection recommendations.

The health and structure of the trees were assessed visually from ground level. No drilling, root excavation, or aerial inspections were performed. Internal or non-detectable defects may exist and could lead to part or whole tree failures. Due to the dynamic nature of trees and their environment, it is not possible for arborists to guarantee that trees will not fail in the future.

Discussion

Due to the significant grading required to construct the site improvements, the majority of the trees in the center of the property & along Walnut Blvd will need to be removed. Of the 43 proposed removals, 4 are considered protected per County ordinance (trees # 340-343). Separately, four are recommended for removal solely based on their poor condition (trees #321, 325, 330 & 333) – while they can be preserved with low encroachment, their declining health means that they will not be an asset for long to both the current and future site. Tree preservation efforts are best focused on healthy trees that can provide benefits for years to come.

Such trees include the valley oaks along the southeast property line along View Lane, at the end of the proposed subdivision road (tree #314, Figure 1),



Figure 1. Proposed grading originally required the removal of valley oak #314 – the design has been adjusted so it can remain at the end of the main road.



Figure 2. Valley oak #310 is across the swale from the proposed retaining walls and homes. An arborist shall be on site during grading beneath its canopy.

and along the west property line. I provided recommendations on where to terminate grading, which reduced overall encroachment along the perimeter and increased the ability to preserve most of the mature trees. Still, I recommend having an arborist on site during grading within the driplines of selected trees to ensure that their roots are not excessively encroached. For instance, oak #310 is located on the west side of the drainage swale – the proposed retaining walls will occur at the top of the bank opposite of this tree (Figure 2). Although the likelihood of encountering large roots is lower, it is not zero, and the worthy character of this tree warrants additional caution with an arborist on site.

Two general recommendations apply across all the trees that will be preserved. The temporary protection fencing must be chain-link on posts driven into the ground. Movable footings or plastic/wire fencing is not sufficient, as these make it easy to move or remove fencing. The contractors may only adjust fencing with my approval – otherwise, encroachment would be far too easy given the size of the development and the site's gentle slopes. If the fencing is moved without my knowledge, the extent of tree impact becomes unknown and can jeopardize the long-term condition of the trees. Additionally, pruning shall be done by certified arborists or tree workers, who receive the credentials from the International Society of Arboriculture (ISA) once they have demonstrated a baseline level of knowledge and skill. Improper pruning of trees results in compromised growth and/or permanently destroys the trees' architecture, leading to increased issues in future years.

Lastly, although the proposed design has been adjusted to preserve the neighbor's pine (#303, Figure 3), this tree is likely to continue to decline. Monterey pines are short lived, native to coastal regions, and are highly vulnerable to drought stress when planted in inland environments. Once stressed, they become susceptible to infestation by red turpentine beetle and can rapidly die within a few months – this has been observed throughout the county, especially in the last year or two. This specific tree is aging and does not have many years left – it is likely to continue its decline regardless of construction.



Figure 3. The neighbor's Monterey pine #303 is heading into its twilight years and is likely to continue to decline regardless of construction. The species has been rapidly dying throughout the county.

Tree Protection Recommendations (to be printed on site plans)

Pre-Construction Phase

- Remove trees # 315, 321, 325, 326, 330, 332, 333, 335 & 340-374 (43 trees).
- Mulch from tree removals may be spread out under the driplines of trees that will be retained, keeping at least 12" away from the trunks.
- Prior to construction or grading, contractor shall install 6' chain-link fencing on steel posts driven into the ground to construct a temporary Tree Protection Zone (TPZ) around each tree or grove of trees as indicated on the tree protection plan. Wire or plastic fencing shall not be used as it is easy to damage or remove.

- TPZ fencing shall remain in an upright sturdy manner from the start of grading until the completion of construction. Fencing shall not be adjusted or removed without consulting the project arborist.

Foundation, Grading, and Construction Phase

- The project arborist shall be on-site during excavation/grading within the driplines of trees #310, 327-331, 334 & 335 to monitor root encroachment and to provide additional tree protection recommendations as needed. Roots ≥ 2 " shall be cleanly pruned with a handsaw or sawzall, immediately covered, and kept moist till backfilled.
- All pruning – especially of trees #310, 327-331, 334 & 335 - shall be performed by personnel certified by the International Society of Arboriculture (ISA). All pruning shall adhere to ISA and American National Standards Institute (ANSI) Standards and Best Management Practices.
- Should Tree Protection Zone (TPZ) encroachment be necessary, the contractor shall contact the project arborist for consultation and recommendations.
- Contractor shall keep TPZs free of all construction-related materials, debris, fill soil, equipment, etc. The only acceptable material is mulch spread out beneath the trees.
- Should any damage to the trees occur, the contractor shall promptly notify the project arborist to appropriately mitigate the damage.

Landscaping Phase (if applicable)

- The Tree Protection Zone (TPZ) fencing shall remain in place with the same restrictions until landscape contractor notifies and meets with the project arborist.
- Contractor shall avoid trenching and grade changes within oak driplines.
- All planting and irrigation shall be kept a minimum of 10' away from native oaks. All irrigation within the driplines shall be targeted at specific plants, such as drip emitters or bubblers. No overhead irrigation shall occur within the driplines of native oaks.
- All planting within oak driplines shall be compatible with oaks, consisting of plant material that requires little to no water after two years' establishment. A list of oak-compatible plants can be found in a publication from the California Oak Foundation, available at: <http://californiaoaks.org/wp-content/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf>

Thank you for the opportunity to provide this report, and please do not hesitate to contact me if there are any questions or concerns.

Please see tree inventory table below & attached tree protection plan.

Sincerely,



Jennifer Tso
Certified Arborist #WE-10270A
Tree Risk Assessor Qualified

Tree Inventory & Assessment Table

#s: Each tree was given a square metal tag with numbers ranging from #301-374. Their locations are given in the tree protection plan.
DBH (Diameter at Breast Height): Trunk diameters in inches were measured at 4.5' above average grade with a diameter tape. Height of measurement may deviate from the standard on atypical trunks; deviations are noted under the "Comments" section.

Health & Structural Condition Rating

Dead: Dead or declining past chance of recovery.

Poor (P): Stunted or declining canopy, poor foliar color, possible disease or insect issues. Severe structural defects that may or may not be correctable. Usually not a reliable specimen for preservation.

Fair (F): Fair to moderate vigor. Minor structural defects that can be corrected. More susceptible to construction impacts than a tree in good condition.

Good (G): Good vigor and color, with no obvious problems or defects. Generally more resilient to impacts.

Very Good (VG): Exceptional specimen with excellent vigor and structure. Unusually nice.

Dripline: Canopy radius was visually estimated in each cardinal direction.

Age

Young (Y): Within the first 20% of expected life span. High resiliency to encroachment.

Mature (M): Between 20% - 80% of expected life span. Moderate resiliency to encroachment.

Overmature (OM): In >80% of expected life span. Low resiliency to encroachment.

DE: Dripline Encroachment (X indicates encroachment)

CI: Anticipated Construction Impact (L = Low, M = Moderate, H = High)

Tree Encroachment Summary

- Trees that will need to be removed: 315, 321, 325, 326, 330, 332, 333, 335, 340-374 (43 trees)
 - Trees #321, 325, 330 & 333 are recommended for removal strictly based on poor condition; they will not be significantly encroached by construction.
 - Protected trees to be removed: #340-343 (4 trees)
- Trees to be saved that will be subjected to dripline encroachment: 301-303, 306, 309, 310, 314, 316, 322-324, 327, 328, 331, 334, 338, 339 (17 trees)
- Trees to be saved that will not be encroached: 304, 305, 307, 308, 311, 312, 313, 317-320, 329, 336, 337 (14 trees)

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
301	Almond (<i>Prunus dulcis</i>)	12	F-P	F	0	0	12	12	M	X	L	Large dead branches. Multiple branches at 2.5'; diameter measured below. 11' from proposed grading outside retaining wall.	Install temporary protection fencing.
302	Valley oak (<i>Quercus lobata</i>)	17	G	F	0	10	20	20	M	X	L	Phototropic lean to S due to declining pine. Trunk flare buried. Co-dominant stems at 6' with wide attachment. 11' from proposed limit of grading; 15' from proposed retaining wall.	Install temporary protection fencing.

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
303	Monterey pine (<i>Pinus radiata</i>)	36	F-P	F	10	20	20	18	OM	X	L-M	DBH estimated due to clutter below. Sparse canopy with yellowing needles. Debris obscuring base. 28' from proposed retaining wall. Note: species has been declining in area and is likely to die from drought stress regardless of construction.	Install temporary protection fencing.
304	Monterey pine	17.5	F	F	15	25	0	0	M		L	Debris obscuring base. Phototropic lean to E. 25' from proposed retaining wall.	None.
305	Coast redwood (<i>Sequoia sempervirens</i>)	11	G-F	G	12	12	12	12	Y		L	Off-site; DBH estimated; tag on fence. Top sparse. 22' from proposed retaining wall.	None.
306	Holly oak (<i>Quercus ilex</i>)	7	G-F	F	12	12	12	12	Y	X	L	Top sparse. 9' from proposed retaining wall.	Install temporary protection fencing.
307	Coast redwood	12	F-P	G	8	8	8	8	Y		L	Off-site; DBH estimated; tag on fence. Browned and sparse foliage; early loss of old foliage. 22' from proposed retaining wall.	Install temporary protection fencing.
308	Valley oak	13	G	F	10	15	15	10	Y		L	Off-site; DBH estimated; tag on fence. Co-dominant stems at 8'. 23' from proposed retaining wall.	Install temporary protection fencing.
309	California black walnut (<i>Juglans hindsii</i>)	14	G-F	F	0	25	15	10	M	X	L-M	Protected tree. Diameter measured at 5' above grade above large co-dominant swelling (other stem removed). Several dead stems & removed scaffolds exaggerating diameter. Remaining canopy healthy. 14' from proposed retaining wall.	Install temporary protection fencing.
310	Valley oak	29.5	G-F	G	20	25	25	20	M	X	L-M	Protected tree. Top moderately sparse with typical amount of dead lower branches. Wide co-dominant stems at 18'. Swale cuts next to trunk; wide trunk flare. 13' from proposed retaining wall (to be built on opposite side of swale).	Install temporary protection fencing - arborist on site during grading. For lower retaining wall.
311	California black walnut	17.5	G-F	F	20	15	0	25	M		L	Protected tree. Off-site tree. 5" dead scaffold, other lower branches dead. Remaining canopy is healthy. Clear of construction.	None.
312	California black walnut	26	F-P	F	20	20	20	20	M	X	H	Protected tree. Diameter measured at 18" above grade due to swelling for co-dominant stems above (at 6'). Sparse upper canopy. Small diameter dieback at top.	Install temporary protection fencing.
313	Almond	9, 6	G	F	10	12	12	5	M	X	H	Good health. Some minor lower dieback.	None.
314	Valley oak	14	VG	G	15	15	15	15	Y	X	L	Nice tree. Close to top of swale. Co-dominant stems at 6'. Proposed grading terminates 13' radius from tree.	Install temporary protection fencing.

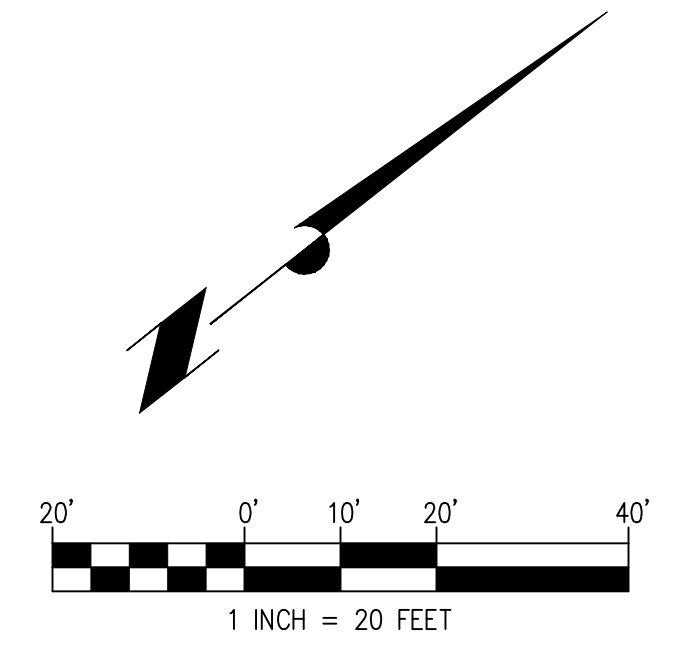
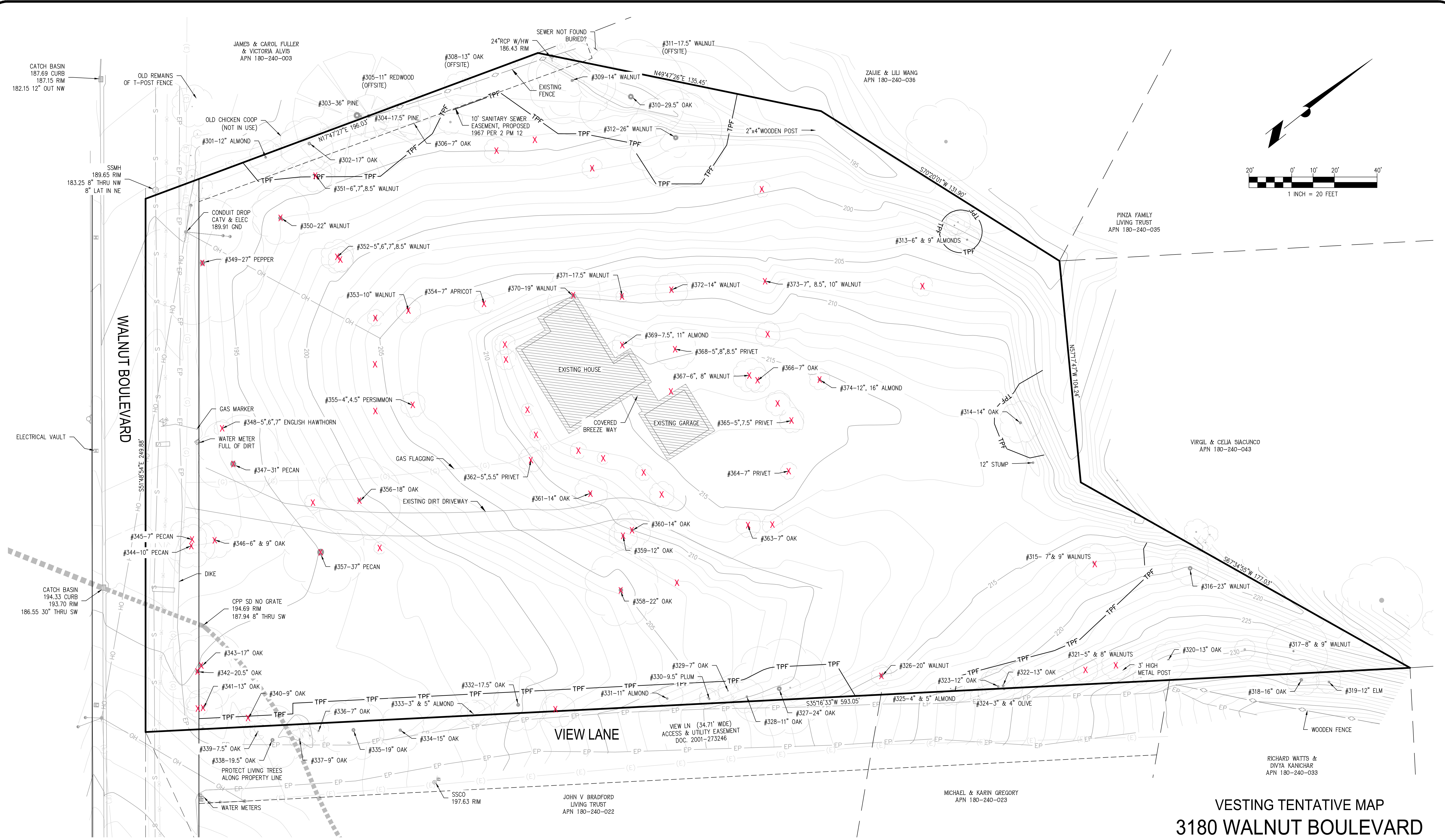
#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
315	English walnut (<i>Juglans regia</i>)	7.5, 9, 7, 7, 9, 6	P	P	15	10	10	12	OM	X	H	Half dead. Rootstock resprouting. Canopy died back to smaller crown. Decay throughout tree. In proposed grading.	Remove.
316	California black walnut	23	G	P	12	12	12	12	M	X	L-M	Topped at 12' with healthy regrowth. Trunk sounds hollow. Proposed grading daylight 22' from tree.	Install temporary protection fencing.
317	California black walnut	8, 8, 9, 6	F-P	F	15	10	20	15	M		L	Sparse canopy; one trunk dead. Co-dominant trunks at base. Clear of construction.	None.
318	Valley oak	16	G	G	20	15	15	12	M		L	Off-site tree. Co-dominant stems at 7' with wide attachment. Slightly sparse canopy. Clear of construction.	None.
319	Siberian elm (<i>Ulmus pumila</i>)	12	F-P	F-P	8	10	10	15	M		L	Off-site tree. Large branch dieback throughout canopy with remaining foliage healthy. Clear of construction.	None.
320	Valley oak	13	G	G	18	15	15	15	M		L	Very good structure with wide attachments. Large scaffold branch at 3'. Clear of construction.	None.
321	California black walnut	8, 5	VP	P	15	12	10	0	OM		L	Noted as dead on survey. All other stems are dead. Sparse canopy with mistletoe. 18' from proposed limit of grading.	Remove (due to condition).
322	Valley oak	13	VG	G-F	15	15	15	0	M	X	L	Buried trunk flare. Minor phototropic lean to E. Power lines to E across road. 10' from proposed limit of grading.	Install temporary protection fencing.
323	Valley oak	12	G	F	15	0	10	18	M	X	L	Phototropic lean to NW with bowed top; still understory. Buried trunk flare. 10' from proposed limit of grading.	Install temporary protection fencing.
324	Olive (<i>Olea europea</i>)	4, 4, 3, 4, 3	G	G-F	8	8	10	10	Y	X	L	Multiple trunks. Minor phototropic lean to S. 12' from proposed limit of grading.	Install temporary protection fencing.
325	Almond	4, 4, 5, 5	P	P	5	3	6	5	OM		L	Aging tree. Several dead trunks, remaining healthy foliage consists of water-sprouts. 10' from proposed limit of grading.	Remove (due to condition).
326	California black walnut	20	VP	P	10	15	6	12	OM	X	H	Main trunk decayed and nearly dead - diameter exaggerated. Live branches actually only up to 5" diameter. Sparse stunted foliage with significant mistletoe. 2' from proposed limit of grading.	Remove.
327	Valley oak	24	G	G-F	20	18	15	25	M	X	M/M-H	Large branches extended to W, multiple large stems between 5'-7'. Proposed retaining wall 13' from trunk; V-ditch/swale 9' from tree.	Install temporary protection fencing. Arborist on site during grading within tree dripline. Pruning to be done by certified personnel
328	Valley oak	11	G	G-F	0	18	15	0	Y	X	L	Trunk winds through branches of larger oak. Proposed retaining wall 13' from trunk; V-ditch/swale 8' from tree.	Install temporary protection fencing.

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
329	Valley oak	7	VG	F	0	0	0	20	Y		L	Phototropic lean to W. 7' from proposed retaining wall; 4' from proposed V-ditch/swale.	Install temporary protection fencing.
330	Plum (<i>Prunus</i> sp.)	9.5	P	F-P	0	10	12	4	OM	X	M/M-H	Half dead. In cluster with dead almond and oak. 10' from proposed retaining wall; 6' from proposed V-ditch/swale.	Remove (due to condition).
331	Almond	11	G	F	10	10	10	10	M	X	M	Diameter measured at 3' - narrow co-dominant stems at 4' exaggerating DBH. Minor dead lower branches. 9' from proposed retaining wall; 5' from proposed V-ditch/swale.	Install temporary protection fencing. Arborist on site during grading within tree dripline.
332	Valley oak	17.5	F	F	20	15	18	20	M	X	H	Small branch dieback and responding with vigorous epicormic growth. Unknown cause of stress. 9' from proposed retaining wall; 5' from proposed V-ditch/swale.	Remove.
333	Almond	5, 4, 3	F-P	F-P	0	10	12	5	OM	X	L-M	Dieback with epicormic sprouts comprising canopy. Dead black walnut at base (3" & 4"). 12' from proposed retaining wall; 8' from proposed V-ditch/swale.	Remove (due to condition).
334	Valley oak	15	VG	G-F	18	18	18	18	M	X	L	Protected tree. Buried flare. Multiple stems at 15' with narrow attachment. 14' from proposed drainage.	Install temporary protection fencing. Arborist on site during grading within tree dripline.
335	Valley oak	19	G	G	15	18	15	18	M	X	L-M	Protected tree. Buried flare. Some areas of canopy lacking branches. 13' from proposed drainage.	Install temporary protection fencing. Arborist on site during grading within tree dripline.
336	Valley oak	7	G	F	10	0	0	15	Y		L	Protected tree. Asymmetrical canopy to NW. 12' from proposed drainage.	Install temporary protection fencing.
337	Valley oak	9	G	G-F	6	15	4	4	Y		L	Protected tree. Co-dominant stems at 6' with narrow attachment. Unusually narrow canopy with elongated branches over small road. Buried trunk flare. 18' from proposed drainage.	Install temporary protection fencing.
338	Valley oak	19.5	G	G-F	18	18	18	18	M	X	L	Protected tree. Co-dominant stems at 8'. Minor small diameter deadwood. Buried trunk flare. 13' from proposed bioretention basin.	Install temporary protection fencing.
339	Valley oak	7.5	G	G	4	10 SE	10	6	Y	X	L	Protected tree. Phototropic lean to SE. 8' from proposed bioretention basin.	Install temporary protection fencing.
340	Valley oak	9	G	G-F	0	15 SE	12	15	Y	X	H	Protected tree. Minor asymmetrical canopy to W. Within 1' of proposed bioretention basin.	Remove.

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
341	Valley oak	13	G	G-F	12	15	15 SE	0	M	X	H	Protected tree. Phototropic lean to SE has corrected at top. Buried flare. 3' from proposed bioretention basin.	Remove.
342	Valley oak	20.5	G-F	G-F	18	18	18	18	M	X	H	Protected tree. Multiple large spreading stems at 7'-9' above grade. Some dead branches at outer edge of canopy, 3" dead secondary branch to N. Trunk flare buried. 4" x 6" wound on S side. 3' from proposed bioretention basin; in proposed sidewalk.	Remove.
343	Valley oak	17	G	F	25	0	15 S W	25	M	X	H	Protected tree. Trunk buried. Phototropic lean to NW, not corrected. Within 1' of proposed bioretention basin.	Remove.
344	Pecan (<i>Carya illinoensis</i>)	10, 10	G	F	0	25	20	15	M	X	H	Co-dominant stems at 2' with moderate bark inclusion. Asymmetrical canopy due to shading. Trunk wound on street side (car damage) 16" x 8" surrounded by large woundwood. In proposed sidewalk.	Remove.
345	Pecan	7	G	G-F	12	0	18 S W	18	Y	X	H	Large 2' x 6" scar on N side of trunk, cause unknown. Minor phototropic lean. In proposed sidewalk.	Remove.
346	Valley oak	9, 6	G	G-F	8	20	6	6	Y	X	H	Large secondary stem at 2'. Corrected lean to E; cause unknown. End of chain attached to S side of trunk. In proposed bioretention basin.	Remove.
347	Pecan	31	G-F	F	18	18	20	15	M	X	H	Evidence of branch failures throughout canopy; hanger in tree. 12" x 14" wide cavity on NW side of trunk, surrounded by thick woundwood - may be from failure of old co-dominant stem. Co-dominant stems at 6'. North stem has large canker at 7' above grade. Some large dieback in upper crown. Within 1' of proposed bioretention basin and sidewalk.	Remove.
348	English hawthorn (<i>Crataegus laevigatum</i>)	6, 7, 5	G-F	F	10	10	10	10	M	X	H	Multiple stems at 18" above grade. Vigorous epicormic shoots. Understory tree, dominated by pecan. In proposed road.	Remove.
349	Peruvian pepper (<i>Schinus molle</i>)	27, 27	G	P	20	20	20	25	M	X	H	Tree consists of 2 major trunks - west trunk is horizontal on ground for 3'; other trunk failed at 8' above grade. Large suckers comprise remaining stems - 15" stem failed at base but is alive due to small strip of tissue still attached. <5" oaks within canopy. Within 1' of proposed sidewalk; in proposed grading.	Remove.
350	California black walnut	22	P-VP	P	5	5	5	10	M	X	H	Large deadwood, significant dieback. Live foliage healthy. In proposed grading.	Remove.

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
351	California black walnut	7, 6, 8.5	G-F	P	5	15	3	0	M	X	H	Significant phototropic lean, some small twig dieback. Suckers from original trunk. Within 1' of proposed retaining wall.	Remove.
352	California black walnut	5, 8.5, 7, 5, 6	F	G-F	10	5	10	10	M	X	H	Actually one tree. Sparse canopy, small twig dieback throughout, including upper canopy. In proposed grading.	Remove.
353	English walnut	10	F-P	F	5	5	5	5	M	X	H	Diameter measured at 2.5'; below co-dominant branches. Dieback in upper canopy. In proposed grading.	Remove.
354	Apricot (<i>Prunus armeniaca</i>)	7	VP	F	0	5	5	5	OM	X	H	Main scaffold dead, remaining canopy very sparse. In proposed grading.	Remove.
355	Persimmon (<i>Diospyros</i> sp.)	4.5, 4, 4.5, 4.5, 4	F-P	F	7	5	5	5	M	X	H	Top dieback and dead twigs, some water sprouts, sparse canopy. In proposed grading.	Remove.
356	Valley oak	18	F	G-F	20	15	5	15	M	X	H	Phototropic lean to N, corrected at 25'. Scaffolds at 15' with included bark. Small twig dieback, somewhat sparse. In proposed grading.	Remove.
357	Pecan	37	G-F	F-P	25	20	30	45	M	X	H	Co-dominant stems at 6' with included bark. Sparser canopy on north side, southern side very full. Overextended, heavy limbs, swelling on main scaffolds may indicate internal defects. Decay from prior pruning. In proposed grading.	Remove.
358	Valley oak	22	F-P	F	20	15	20	15	Y-M	X	H	Small twig dieback throughout canopy, sparse upper canopy, lots of epicormic growth on main stems and scaffolds. In proposed grading.	Remove.
359	Holly oak	12	F	P/P-VP	5	5	0	8	Y	X	H	Co-dominant stems with included bark at 1' wrapping around each other. Sparse upper canopy. In proposed grading.	Remove.
360	Holly oak	14	F-P/P	F-P	5	5	10	10	Y	X	H	Diameter measured at 4', twig dieback throughout upper canopy. Interior waterspouts. Decay pocket on N co-dominant stem. In proposed grading.	Remove.
361	Valley oak	14	F	G	10	15	10	15	Y	X	H	Dead mistletoe. Epicormic sprouts in interior canopy, small twig dieback in outer canopy. In proposed grading.	Remove.
362	Privet (<i>Ligustrum lucidum</i>)	5.5, 5, 4, 5	F-P	VP	3	5	5	5	M	X	H	Large shrub with sucker growth and rubbing stems. Twig dieback especially on N side. Chlorotic and sparse canopy. In proposed grading.	Remove.
363	Holly oak	7	G	F/F-P	3	8	8	8	Y	X	H	Previously topped at 6' with multiple upright stems. In proposed grading.	Remove.
364	Privet	7	F	F	5	5	8	5	M	X	H	Somewhat sparse and chlorotic canopy, nice structure for a privet. Surrounded by shrubs. In proposed grading.	Remove.

#	Species	DBH	Health	Structure	Dripline				Age	DE	CI	Comments	Action
					N	E	S	W					
365	Privet	5, 5, 7.5	F/F-P	P	5	3	7	5	M	X	H	Main stems rubbing/fusing with narrow attachment, some twig dieback on north side. Slightly chlorotic and sparse canopy. In proposed grading.	Remove.
366	Holly oak	7	F/F-P	F	5	3	0	5	M	X	H	Lean to south due to partially uprooted (now stable) root ball. Some twig dieback in upper canopy. In proposed grading.	Remove.
367	California black walnut	6, 8	F	F-P	0	0	10	5	Y	X	H	Co-dominant stems at 1' with significant included bark. Large scaffold branch on north side previously removed. Twig and tip dieback throughout canopy. In proposed grading.	Remove.
368	Privet	8, 5, 5.5, 8.5	P	F	10	10	10	10	M	X	H	Twig dieback throughout, sparse & chlorotic canopy. Small cavity at base between trunks. In proposed grading.	Remove.
369	Almond	11, 7.5	VP	P	0	0	0	0	OM	X	H	Small live shoots, large deadwood, severe decline. Less than 5% live canopy. In proposed grading.	Remove.
370	California black walnut	19	F/F-P	F	5	0	5	0	M	X	H	Diameter measured at 3'. N scaffold dead; top dieback. In proposed grading.	Remove.
371	English walnut	17.5	P	F	5	0	10	5	M	X	H	Leader died back and bark missing on N side of trunk up to 5'. Significant decay in main stem. Dieback and very sparse canopy. In proposed grading.	Remove.
372	California black walnut	14	G-F	F-P	5	5	8	5	M	X	H	Diameter measured at 2.5'. Some twig dieback and larger deadwood. In proposed grading.	Remove.
373	English walnut	10, 7, 8.5	F/F-P	F	10	5	7	10	M	X	H	Top dieback, live foliage healthy. In proposed grading.	Remove.
374	Almond	12, 16	F-P	F-P	5	0	0	5	M	X	H	Large dead limbs, sparse canopy on east side, spiraling trunks. In proposed grading.	Remove.



VESTING TENTATIVE MAP
3180 WALNUT BOULEVARD
 WALNUT CREEK, CALIFORNIA
 JANUARY 11, 2023



1831 SAN MIGUEL DRIVE, SUITE 100, WALNUT CREEK, CA 94596
 WWW.DRENGIN.COM (925) 932-6968

BOUNDARY & TOPOGRAPHIC SURVEY



NOTE: THE PROPOSED DEVELOPMENT WILL REMOVE 43 TREES FROM THE PROJECT SITE. THE REMAINING 31 TREES WILL BE RETAINED. REFERENCE THE ARBORIST REPORT FOR 3180 WALNUT BOULEVARD DATED MAY 25, 2021 FOR FURTHER DETAILS ON THE TREES TO BE REMOVED.

F:\PROJECTS\2023\31-007 3180 WALNUT BLVD - WALNUT CREEK\DWG\TOPO-BOUNDARY & TMAP-2102.DWG 1/11/2023

WALNUT HEIGHTS
M.B.10-245
1- RECORD OF SURVEY 43 L.S.M.28 7-5-66
2- PARCEL MAP 2 P.M.12 12-5-67
3- 22L.S.M.42 7-3-63

4- 20P.M.7 12-23-71
5- 99P.M.28 1-20-82
6- 167PM25 9-26-95

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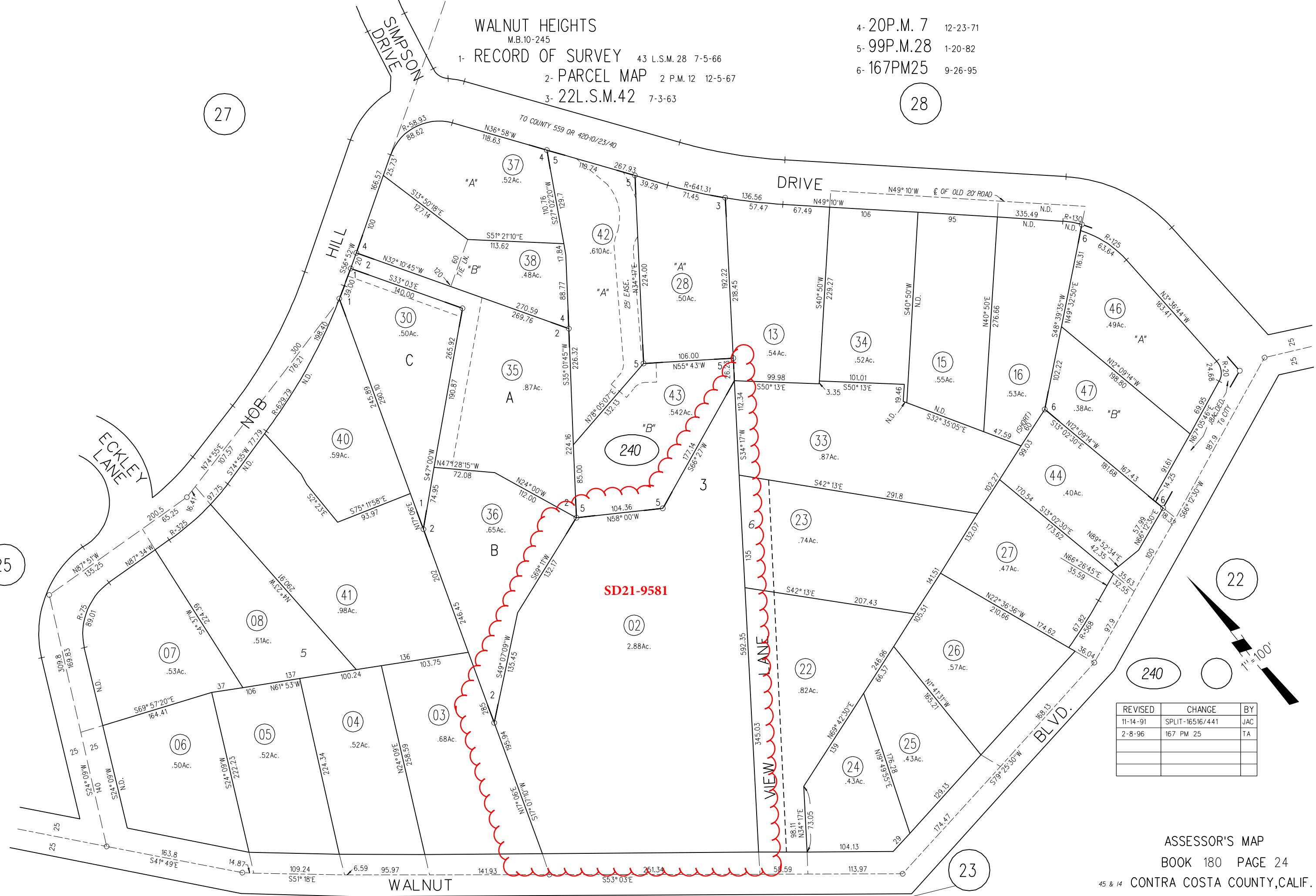
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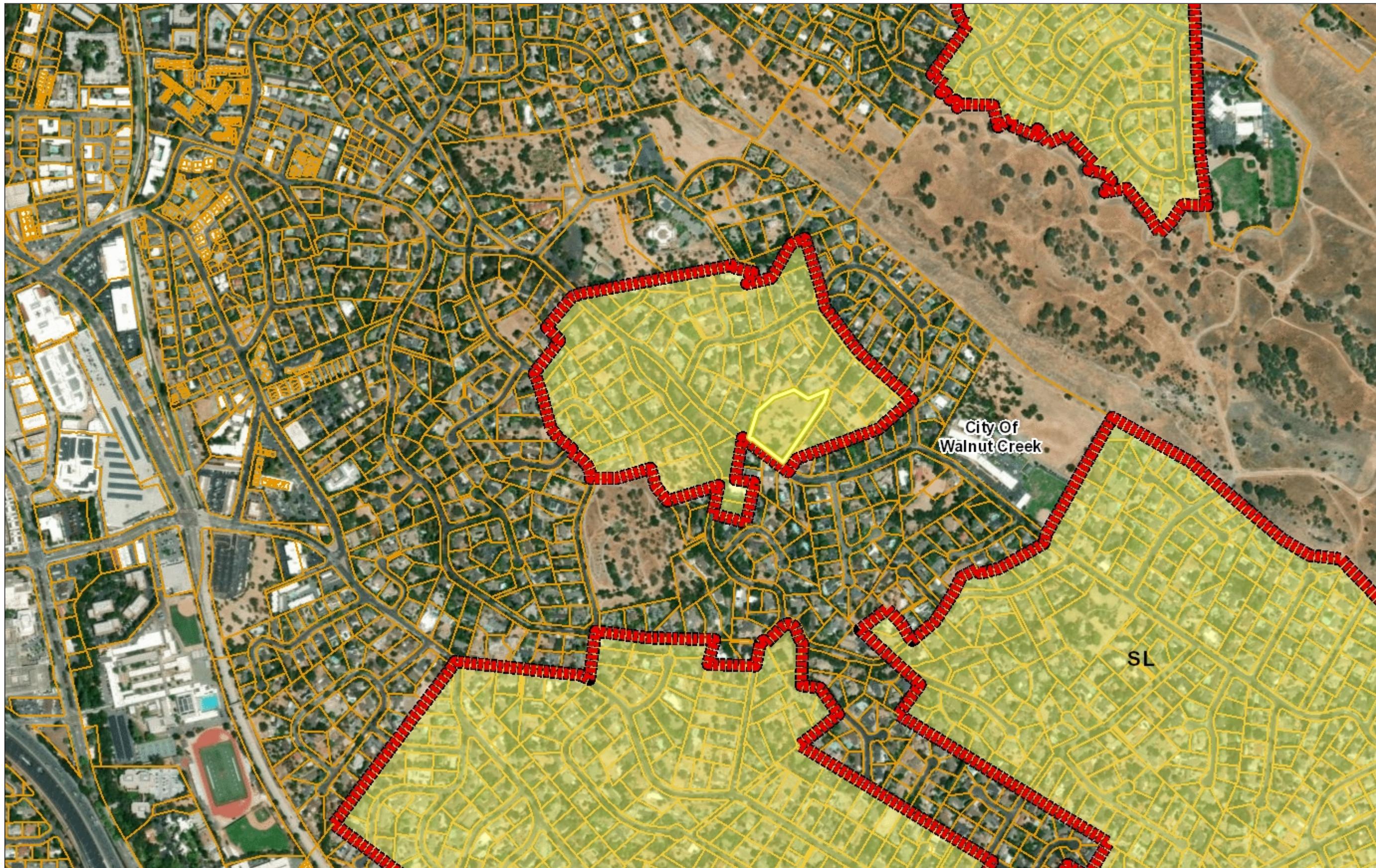
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SD21-9581

REVISED	CHANGE	BY
11-14-91	SPLIT-16516/441	JAC
2-8-96	167 PM 25	TA

General Plan: Single-Family Residential, Low Density (SL)



Legend

-  City Limits
- General Plan**
-  SV (Single Family Residential - Ver
-  SL (Single Family Residential - Low
-  SM (Single Family Residential - Me
-  SH (Single Family Residential - Hig
-  ML (Multiple Family Residential - Lc
-  MM (Multiple Family Residential - M
-  MH (Multiple Family Residential - H
-  MV (Multiple Family Residential - V
-  MS (Multiple Family Residential - V
-  CC (Congregate Care/Senior Housi
-  MO (Mobile Home)
-  M-1 (Parker Avenue Mixed Use)
-  M-2 (Downtown/Waterfront Rodeo I
-  M-3 (Pleasant Hill BART Mixed Use
-  M-4 (Willow Pass Road Mixed Use)
-  M-5 (Willow Pass Road Commercia
-  M-6 (Bay Point Residential Mixed U
-  M-7 (Pittsburg/Bay Point BART Sta
-  M-8 (Dougherty Valley Village Cent
-  M-9 (Montalvin Manor Mixed Use)
-  M-10 (Willow Pass Business Park M
-  M-11 (Appian Way Mixed Use)
-  M-12 (Triangle Area Mixed Use)
-  M-13 (San Pablo Dam Road Mixed
-  M-14 (Heritage Mixed Use)
-  CO (Commercial)
-  OF (Office)
-  BP (Business Park)
-  LI (Light Industry)
-  HI (Heavy Industry)
-  AL, OIBA (Agricultural Lands & Off
-  CR (Commercial Recreation)
-  ACO (Airport Commercial)
-  LF (Landfill)
-  PS (Public/Semi-Public)
-  PR (Parks and Recreation)
-  OS (Open Space)

1: 9,028



0.3 0 0.14 0.3 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

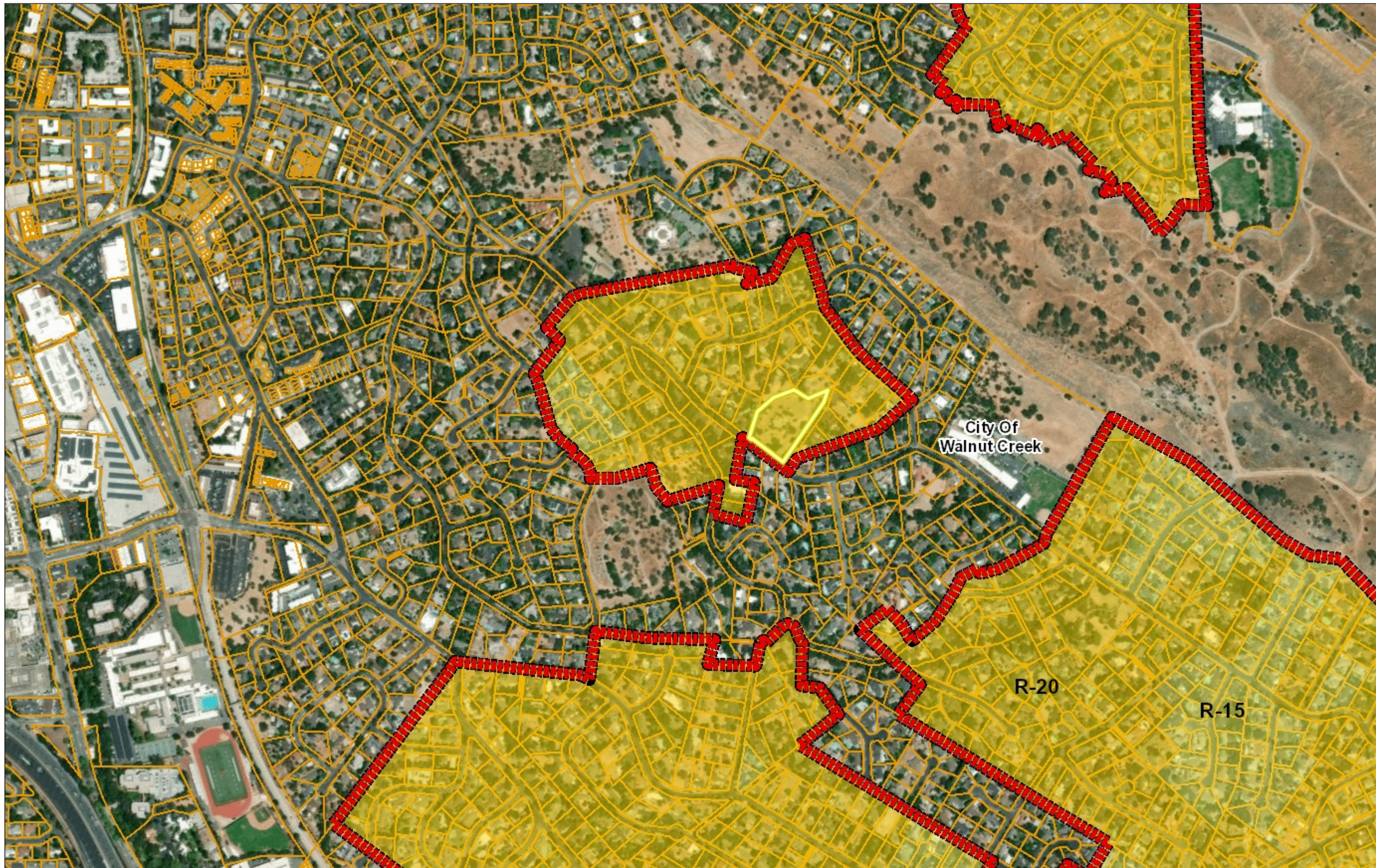
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION







































Notes

CDS21-09581

Zoning: Single-Family Residential (R-20)



Legend

-  City Limits
- Zoning**
-  R-6 (Single Family Residential)
-  R-6, -FH -UE (Flood Hazard and A
-  R-6 -SD-1 (Slope Density Hillside I
-  R-6 -TOV -K (Tree Obstruction anc
-  R-6, -UE (Urban Farm Animal Excl
-  R-6 -X (Railroad Corridor Combinir
-  R-7 (Single Family Residential)
-  R-7 -X (Railroad Corridor Combinir
-  R-10 (Single Family Residential)
-  R-10, -UE (Urban Farm Animal Exc
-  R-12 (Single Family Residential)
-  R-15 (Single Family Residential)
-  R-20 (Single Family Residential)
-  R-20, -UE (Urban Farm Animal Exc
-  R-40 (Single Family Residential)
-  R-40, -FH -UE (Flood Hazard and A
-  R-40, -UE (Urban Farm Animal Exc
-  R-65 (Single Family Residential)
-  R-100 (Single Family Residential)
-  D-1 (Two Family Residential)
-  D-1 -T (Transitional Combining Dist
-  D-1, -UE (Urban Farm Animal Excl
-  M-12 (Multiple Family Residential)
-  M-12 -FH (Flood Hazard Combining
-  M-17 (Multiple Family Residential)
-  M-29 (Multiple Family Residential)
-  F-R (Forestry Recreational)
-  F-R -FH (Flood Hazard Combining I
-  F-1 (Water Recreational)
-  F-1 -FH (Flood Hazard Combining I
-  A-2 (General Agriculture)
-  A-2, -BS (Boat Storage Combining I
-  A-2, -BS -SG (Boat Storage and So
-  A-2 -FH (Flood Hazard Combining I
-  A-2, -FH -SG (Flood Hazard and Sc
-  A-2 -SD-1 (Slope Density Hillside D
-  A-2, -SG (Solar Energy Generation

1: 9,028



0.3 0 0.14 0.3 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

CDS21-09581



Legend

-  City Limits
-  Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1: 9,028



0.3 0 0.14 0.3 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

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Notes

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