



AGENCY COMMENT REQUEST

Date 10/28/24

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
Advance Planning Housing Programs
Trans. Planning Telecom Planner
ALUC Staff HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

☒ Engineering Services Special Districts
Traffic
Flood Control (Full-size)

LOCAL

☒ Fire District _____
☒ San Ramon Valley – (email) rwendel@srvfire.ca.gov
Consolidated – (email) fire@cccfdp.org

☒ Sanitary District Central San

☒ Water District EBMUD

City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Alamo

☒ Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

AIA

Please submit your comments to:

Project Planner Everett Louie
Phone # 925-655-2873
E-mail everett.louie@dcd.cccounty.us
County File # CDDP24-03044

Prior to Nov. 25, 2024

We have found the following special programs apply to this application:

Landslide Active Fault Zone (A-P)
Liquefaction Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDDP24-03044

File Date: 10/24/2024

Applicant:

Jonathan James William Wood Architects
301 Hartz Ave. Suite 203
DANVILLE, CA 945263328

jonathan@williamwood.com
(925) 820-8233

Property Owner:

Stephane Miles
1110 Burnett Ave suite C
Concord, CA 945204462

smiles@nortomcorp.com
(925) 932-4656

Project Description:

The applicant requests approval of a Development Plan Design Review to determine if a New 4621 square foot single family residence with an attached 283 square foot one car garage and an attached 590 square foot two car garage is consistent with the design guidelines of CDDP93-03015. A tree permit to work within the dripline of a Coast Live Oak (54" and vacant lot).

Project Location: (Address: 438 LEGACY DR, ALAMO, CA 945071722), (APN: 193010030)

Additional APNs:

General Plan Designation(s): AL

Zoning District(s): P-1

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC: ALAMO MAC

Sphere of Influence:

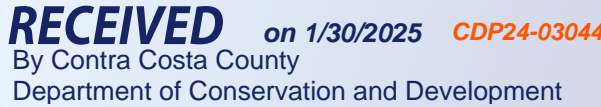
Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
DPS039B	Dev. Plan Non-Subst. Modif. P-1 DCD	002606-9660-REV-000-5B039B 0.931	2000.00	2000.00
DPS039BP	Dev. Plan Non-Subst. Modif. P-1 PW	000651-9660-REV-000-6L039B 0.931	1500.00	1500.00
Total:			3500.00	3500.00



CLYDE-MILES CONST - LOT 8

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
CONTRA COSTA COUNTY MUNICIPAL CODE

SCOPE OF WORK

- NEW 5,571 SQUARE FOOT RESIDENCE

PROJECT DIR

OWNER
NORTON CORPORATION
1850 MT. DIABLO BLVD. #440
WALNUT CREEK, CA 94565
(925) 932-4655
CONTACT: STEPHANIE SEENO-MILES

ARCHITECT
WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, STE. 203
DANVILLE, CA 94526
(925) 820-8233
CONTACT: BILL WOOD

CIVIL
DK & ASSOCIATES
1932 SAN MIGUEL DRIVE
WALNUT CREEK, CA 94596
(925) 932-6868

ARBORIST
ATLAS TREE SERVICES, INC.
P.O. BOX 23343
PLEASNT HILL, CA 94523
(925) 687-3631
CONTACT: JARRED JUAREZ

LANDSCAPE ARCHITECT
CAMP AND CAMP AND ASSOCIATES
2520 CAMINO DIABLO,
WALNUT CREEK, CA 94597
(925) 941-6490
CONTACT: TERRY CAMP

BUILDING DATA

LEGAL OWNER:

CLYDE MILES CONSTRUCTION
1110 BURNETT AVE. SUITE C
CONCORD, CA. 94520

PROJECT ADDRESS:

LOT 8
438 LEGACY DR.
ALAMO, CA 94507

APN & ZONING:

APN: 193-010-030

FIRE SPRINKLERS:

REQUIRED

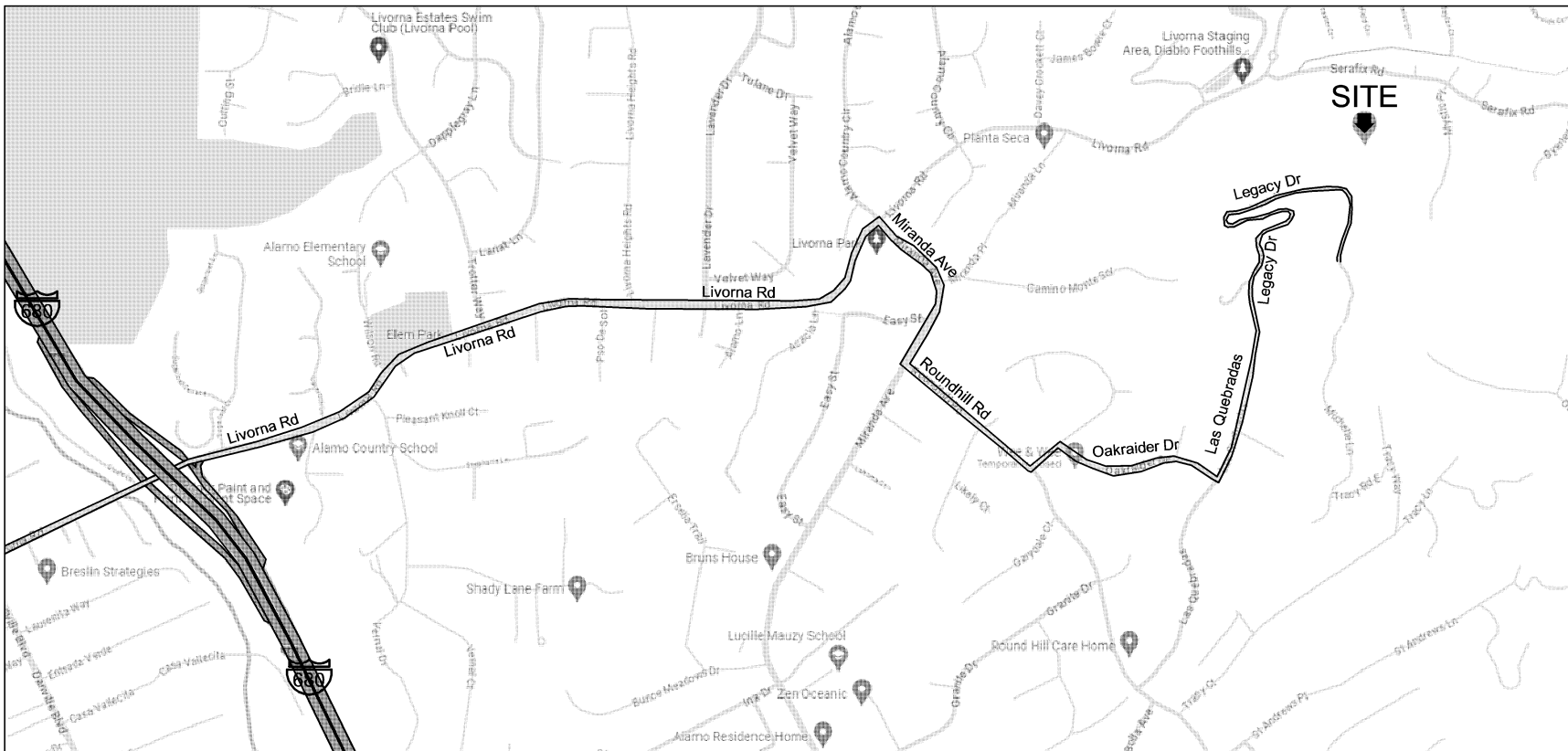
FLOOR AREA:

FIRST FLOOR	2,316	S.F.
SECOND FLOOR	2,305	S.F.
TOTAL AREA	4,621	S.F.

1 - CAR GARAGE 283 S.F.

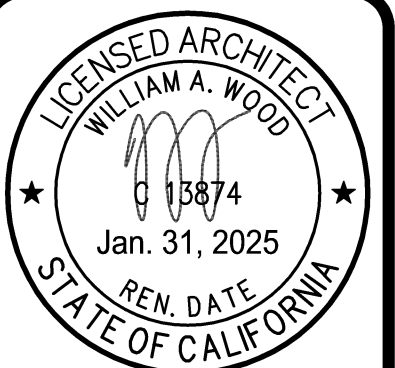
2 - CAR GARAGE 590 S.F.

VICINITY MAP



INDEX TO DRAWINGS

CS1	COVER SHEET		
A1	OVERALL SITE PLAN		
A1.5	SITE PLAN		
A2	FIRST FLOOR PLAN		
A3	SECOND FLOOR PLAN		
A4	ROOF PLAN		
A5	FIRST FLOOR REFLECTED CEILING PLAN		
A6	SECOND FLOOR REFLECTED CEILING PLAN		
A7	BUILDING SECTIONS		
A8	INTERIOR ELEVATIONS		
A9	EXTERIOR ELEVATIONS		
A10	EXTERIOR ELEVATIONS		
A11	FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN		
A12	SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN		
CE -2	GRADING AND DRAINAGE PLAN		
L-1.0	PLANTING PLAN		
L-1.1	PLANT IMAGES		
L-2.0	PRELIMINARY HYDROZONE PLAN		
L-2.1	LANDSCAPE DOCUMENTATION PACKAGE		
L-3.0	PLANTING DETAILS & NOTES		

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CLYDE-MILES CONST - LOT 8

ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

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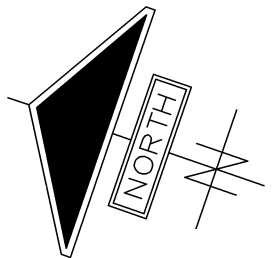
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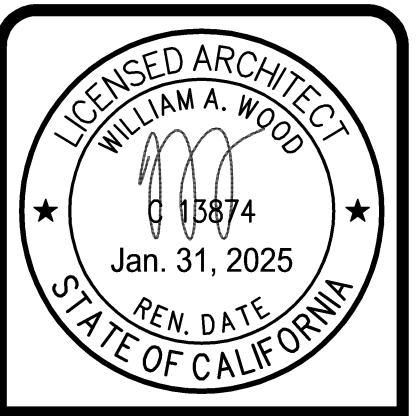


OVERALL SITE PLAN - LOT 8

SCALE: 1" = 20'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

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DATE 10-21-24
SCALE AS SHOWN
JOB NO. 24.2047R
SHEET A1
OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:55am A1 Site Flooding

NOTES:

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA., TYP. U.N.O. V.I.F.
- 2) WINDOWS MARKED W/ (T) SHALL BE TEMPERED SAFETY GLASS
- 3) ALL WINDOW HEAD HTS. SHALL BE 8'-0" TYP. U.O.N.
- 4) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY EGRESS WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURE.
- 5) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 6) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SHOWER ENCLOSURES.
- 7) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONG. SLAB W/ #10 W.W.M. ALL NECESSARY PLUMBING & ELECTRICAL.
- 8) ALL GUARDRAILS TO BE +42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 9) HANDRAIL IS REQUIRED PER SECT. 504 WHEN DROP EXCEEDS 30".
- 10) HANDRAIL SHALL BE CAPABLE OF SUPPORTING LATERAL LOAD PER TABLE 16-B, FN #8 (200# LATERAL LOAD AT THE TOP RAIL), AND FN #9 (250# LATERAL LOAD AT THE INTERMEDIATE PICKETS, AND 200# APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAIL).
- 11) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 13) SEE ELECTRICAL MECHANICAL PLAN FOR HOSE BIBB LOCATIONS.
- 14) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 15) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- 16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILING JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEETROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 16 GAGE SHEET METAL THAT IS "L" SHAPED WITH A MINIMUM DIMENSION OF 2.5"x2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEETROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL) SPECIFY 5/8" TYPE "X" GYPBOARD ON CEILINGS AND SUPPORTING MEMBERS (E.G., BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.
- 17) ANY PENETRATION OF THE WALL COMMON TO THE HOUSE & GARAGE SHALL BE MADE WITH MINIMUM 26 GAGE METAL AND INSULATED TO AT LEAST R4.2
- 18) FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES AT BOTH THE TOP AND BOTTOM OF STAIR STRINGERS AND ALONG THE STRINGERS IN BETWEEN THE STUD WITHIN THE WALLS WHETHER FINISHED OR UNFINISHED. THIS FOR BOTH FIRESTOPPING AND THE ATTACHMENT OF THE EDGE NAILING ATTACHMENT FOR THE ONE-HOUR CONSTRUCTION 5/8-INCH TYPE "X" GYPBOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS.
- 19) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA AS WELL AS THE MIXING BOXES, PLENUMS ETC., SHALL BE 26 GA MINIMUM AND INSULATED TO AT LEAST R4.2.
- 20) PROVIDE MINIMUM 26 GA. GALVANIZED KEEF SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).
- 21) GLAZING IN DOORS AND IN TUB SHOWER ENCLOSURES TO BE TEMPERED.
- 22) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

UNDER FLOOR VENTILATION CALCULATIONS

CRAWL SPACE: 2,752 S.F.

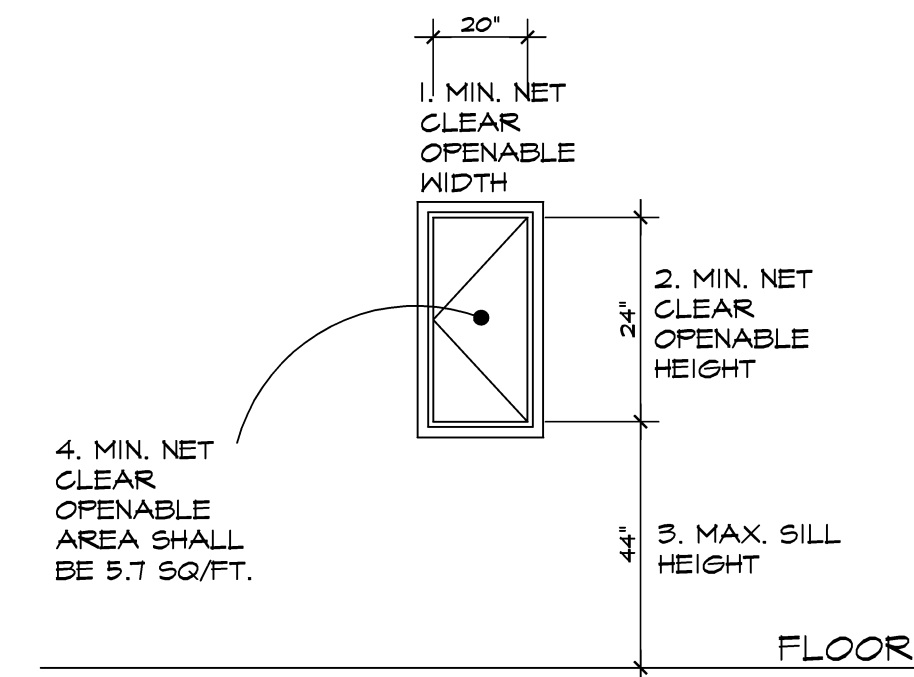
$2,752/150 = 18.34$ S.F. REQUIRED
USE 14X6 FOUNDATION VENT
50 SQ. INCHES FREE VENT AREA = .347 S.F.
 $18.34/.347 = 53$ VENTS REQUIRED

DUE TO PORCHES, PATIOS AND THE GARAGE NATURAL UNDER FLOOR VENTILATION CANNOT BE ACHIEVED CONTRACTOR TO PROVIDE A MECHANICAL UNDER FLOOR VENTILATION SYSTEM.

1202.4.3.1 CONTINUOUS MECHANICAL VENTILATION. CONTINUOUSLY OPERATED MECHANICAL VENTILATION SHALL BE PROVIDED AT A RATE OF 1.0 CUBIC FOOT PER MINUTE (CFM) FOR EACH 50 SQUARE FEET (1.02 L/S FOR EACH 10 M²) OF CRAWL SPACE GROUND SURFACE AREA AND THE GROUND SURFACE SHALL BE COVERED WITH A CLASS I VAPOR RETARDER.

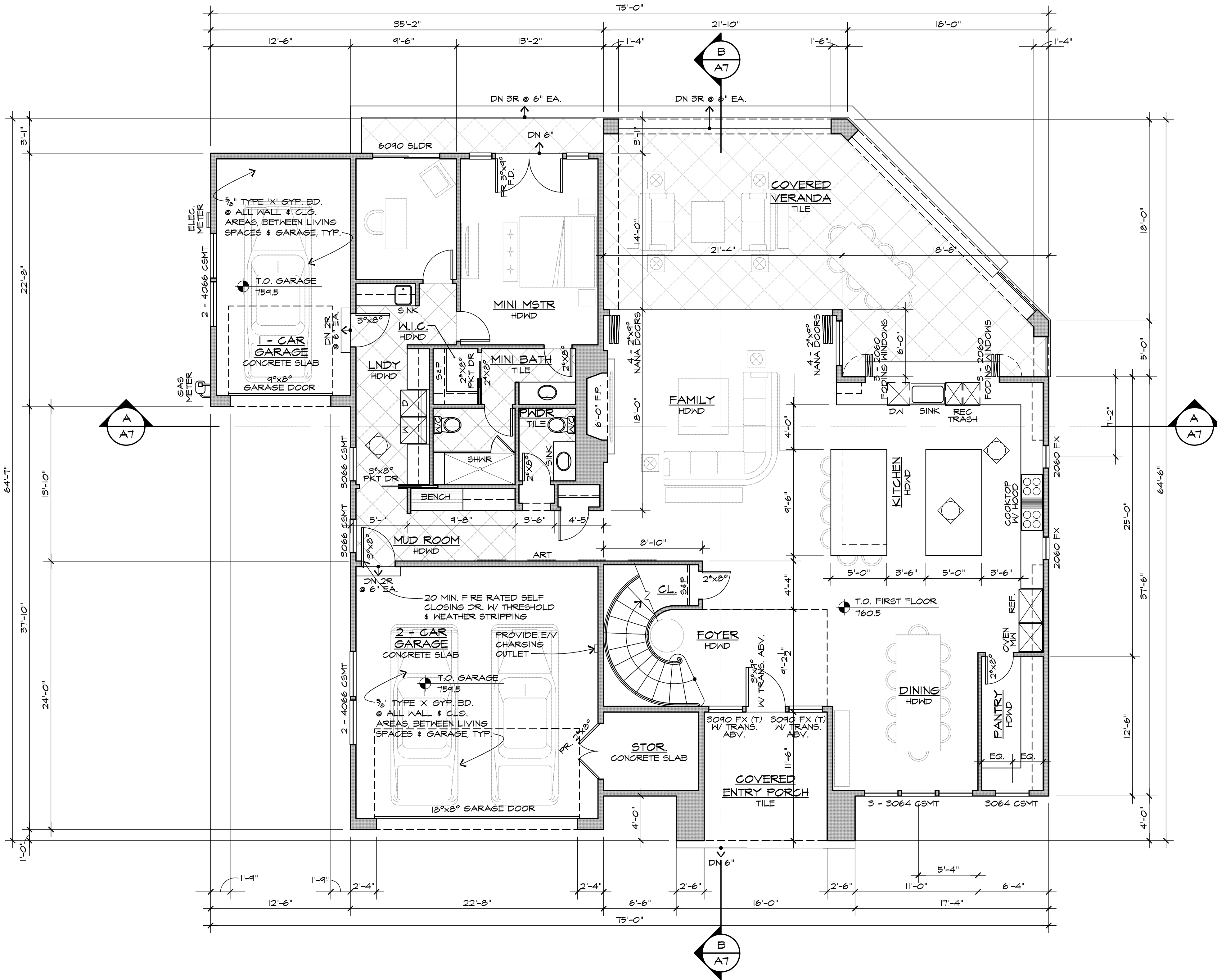
EGRESS WINDOW DETAIL

EGRESS WINDOWS SHALL COMPLY W/ ALL 4 CONDITIONS ILLUSTRATED BELOW.



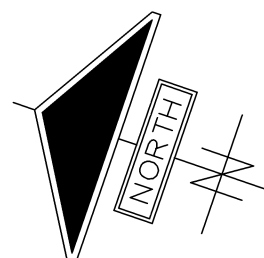
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ/FT. (0.53 M²). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (609.6 MM). THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. CBC SECTION 310.4

CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

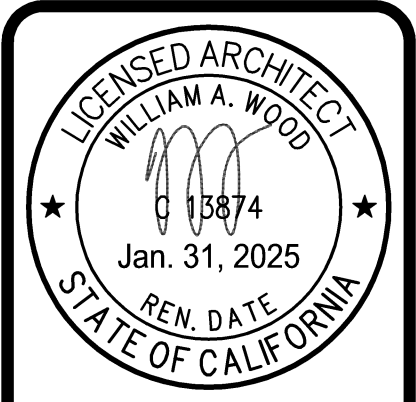


FIRST FLOOR PLAN - LOT 8

SCALE: 3/8" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

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DATE	10-21-24
SCALE	AS SHOWN
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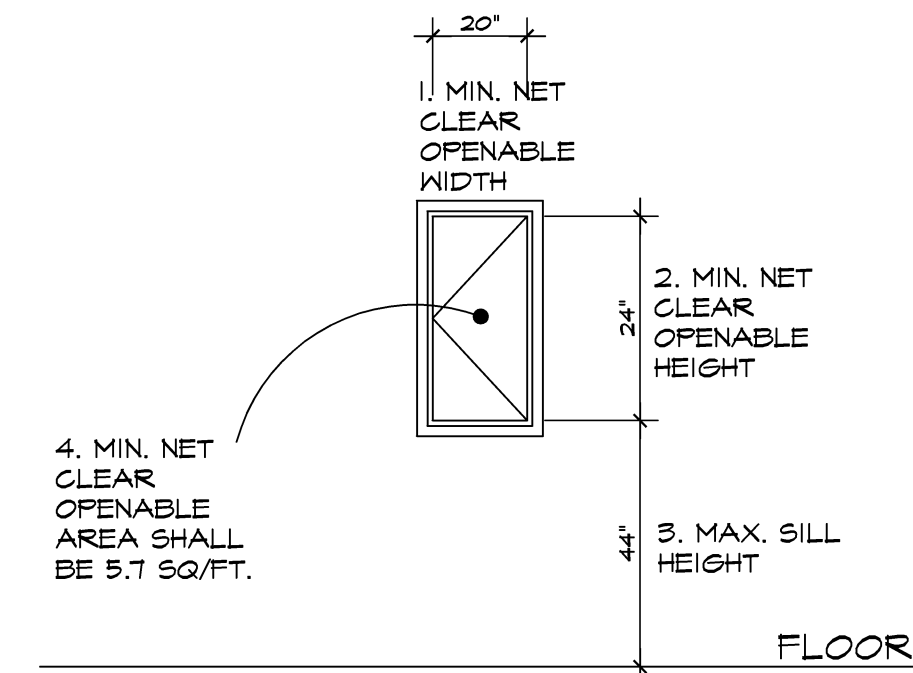
PLOT DATE: Jan 30, 2025 - 8:46am A2 First Floor Plans - Lot 8.dwg

NOTES:

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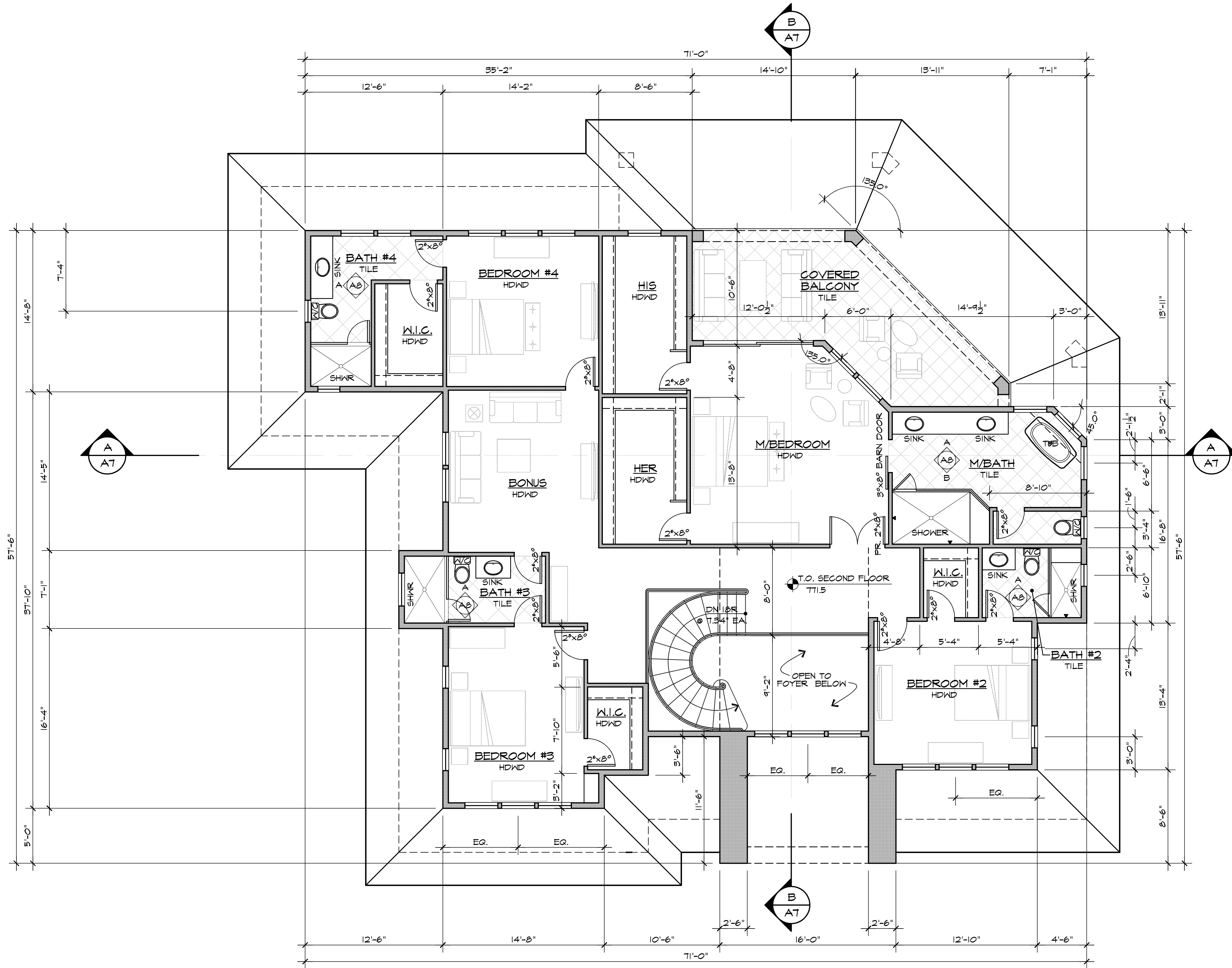
✱ EGRESS WINDOW DETAIL

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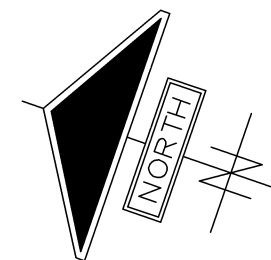
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CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

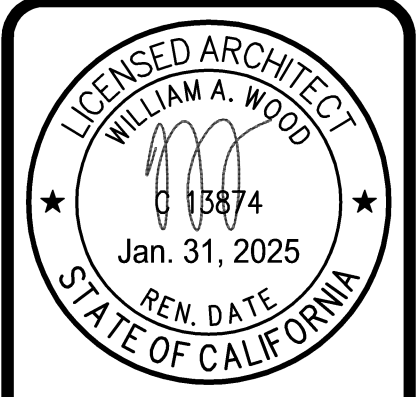


SECOND FLOOR PLAN - LOT 8

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

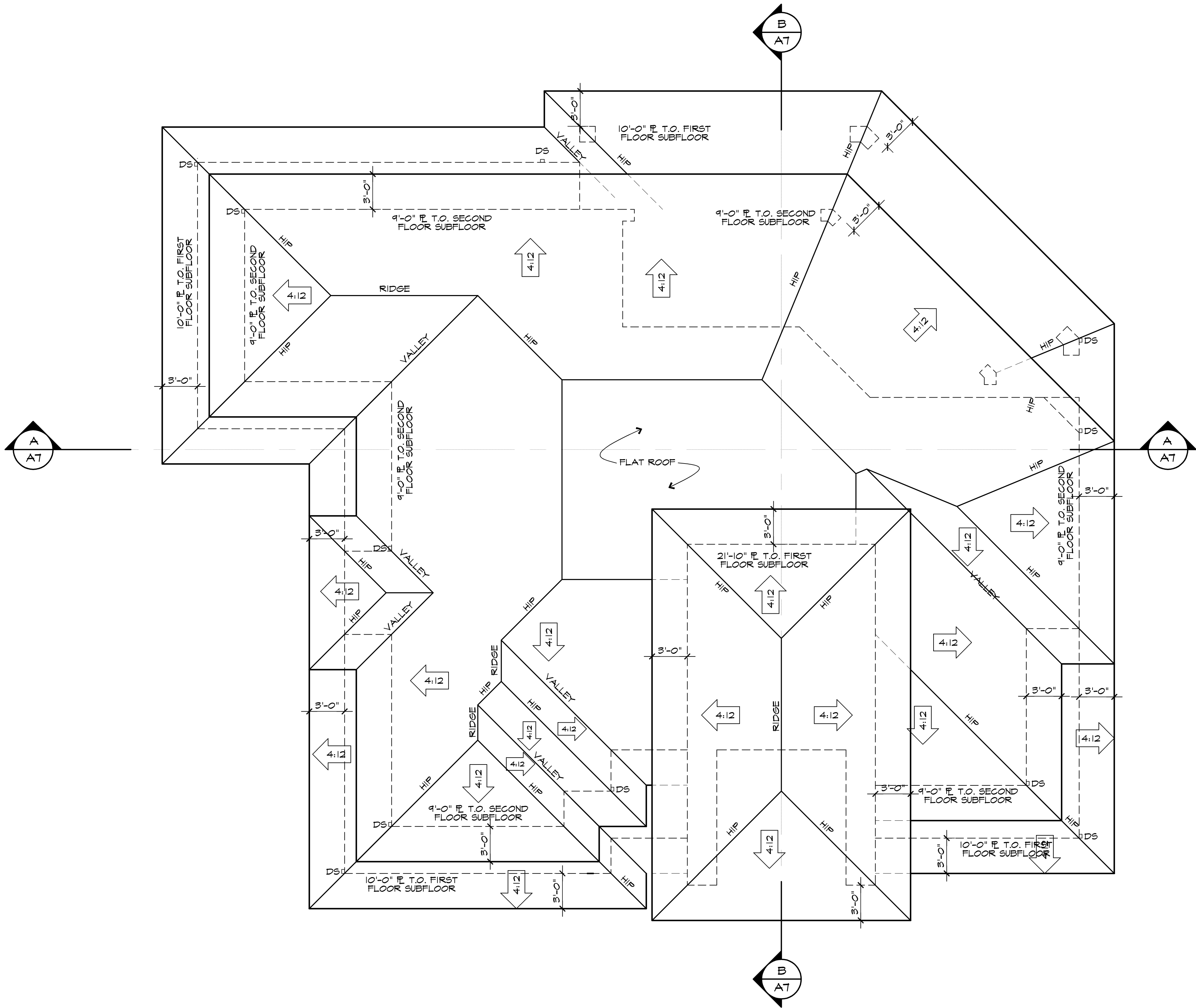
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DRAWN KL
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OF SHEETS

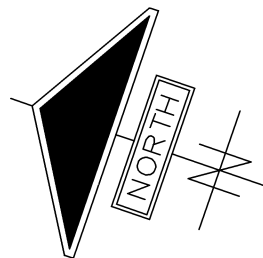
ROOF NOTES:

- 1) ROOF SLOPE = 4:12, U.N.O.
2) 3'-0" OVERHANG, TYP. U.N.O.
3) FINAL LOCATION OF VENTS BY CONTRACTOR.
4) ROOF MATERIAL SEE EXTERIOR ELEVATIONS.
5) COLLECT ALL NEW DOWNSPOUTS AND CONNECT TO AN EXISTING APPROVED DRAINAGE SYSTEM.

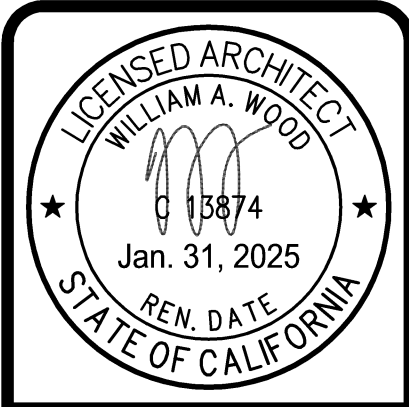


ROOF PLAN - LOT 8

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

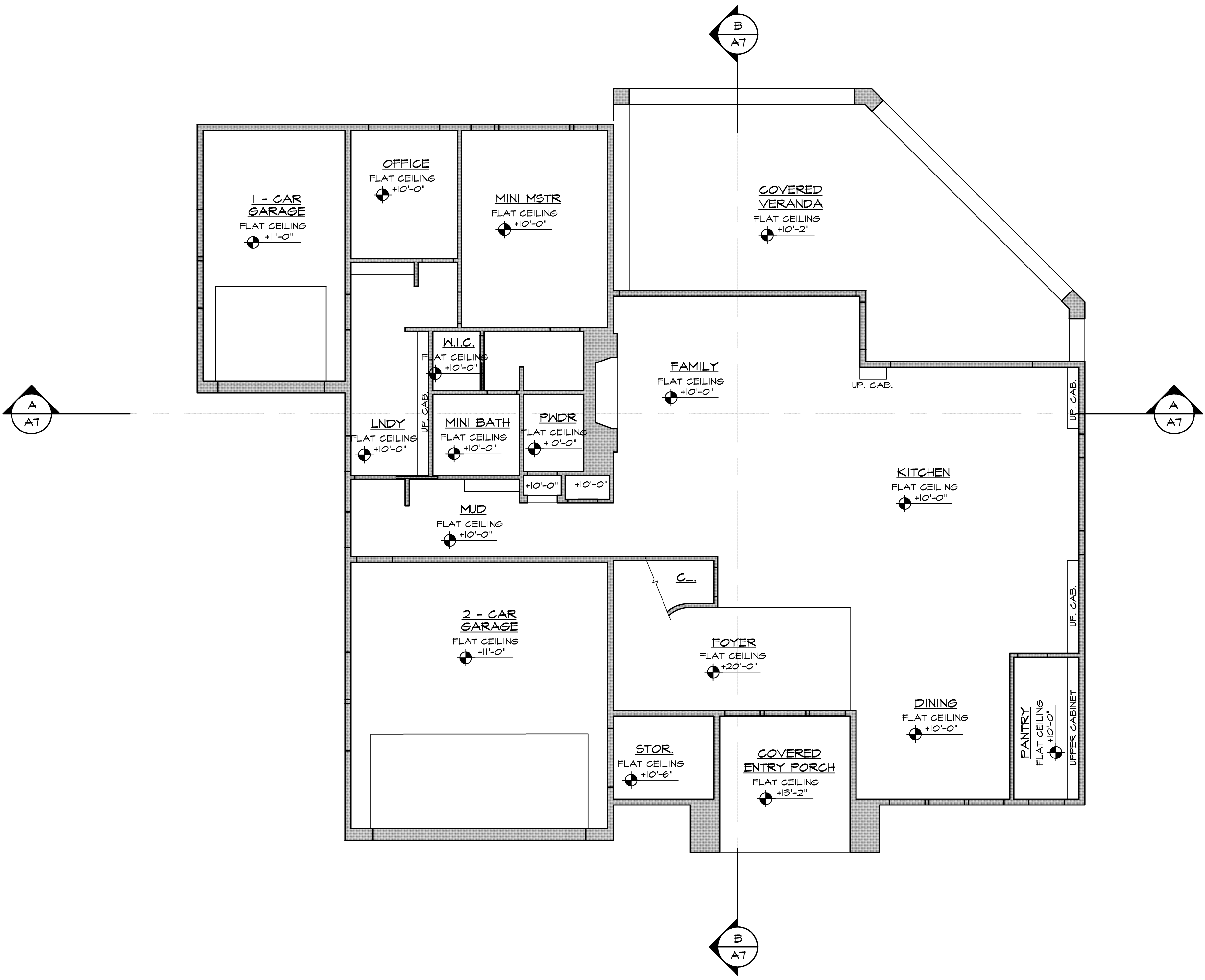
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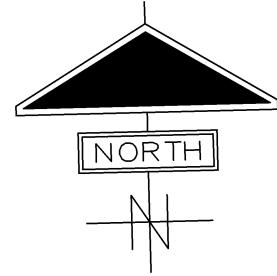
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CHECKED WW
DATE 10-21-24
SCALE AS SHOWN
JOB NO. 24.2047R
SHEET A4
OF SHEETS

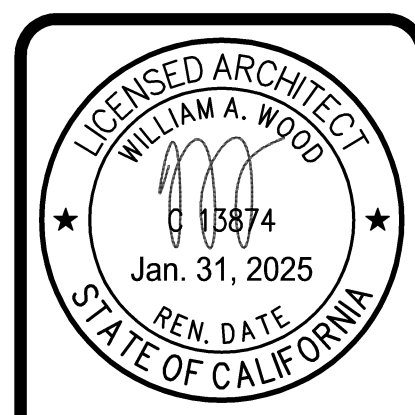


FIRST FLOOR REFLECTED CEILING PLAN - LOT 8

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

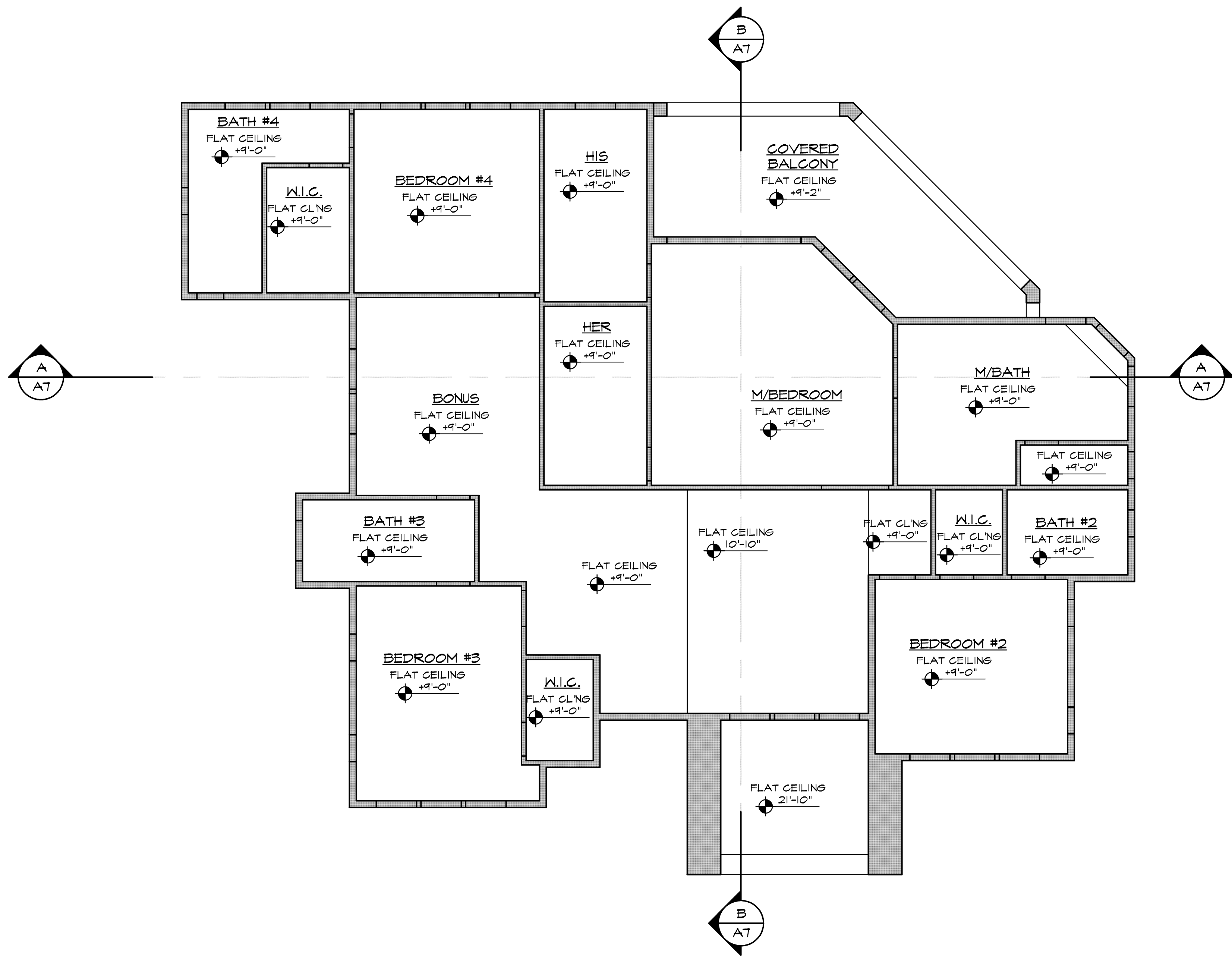
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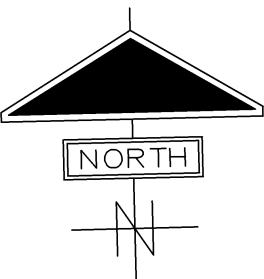
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JOB NO. 24.2047R
SHEET A5
OF SHEETS

Plot Date: Jan 30, 2025 - 4:07am A5-A6 Reflected Ceiling Plans - Lot 8.dwg

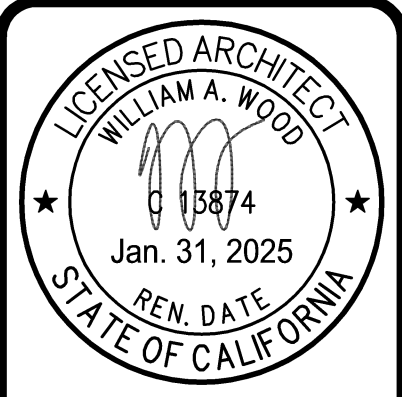


SECOND FLOOR REFLECTED CEILING PLAN - LOT 8

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

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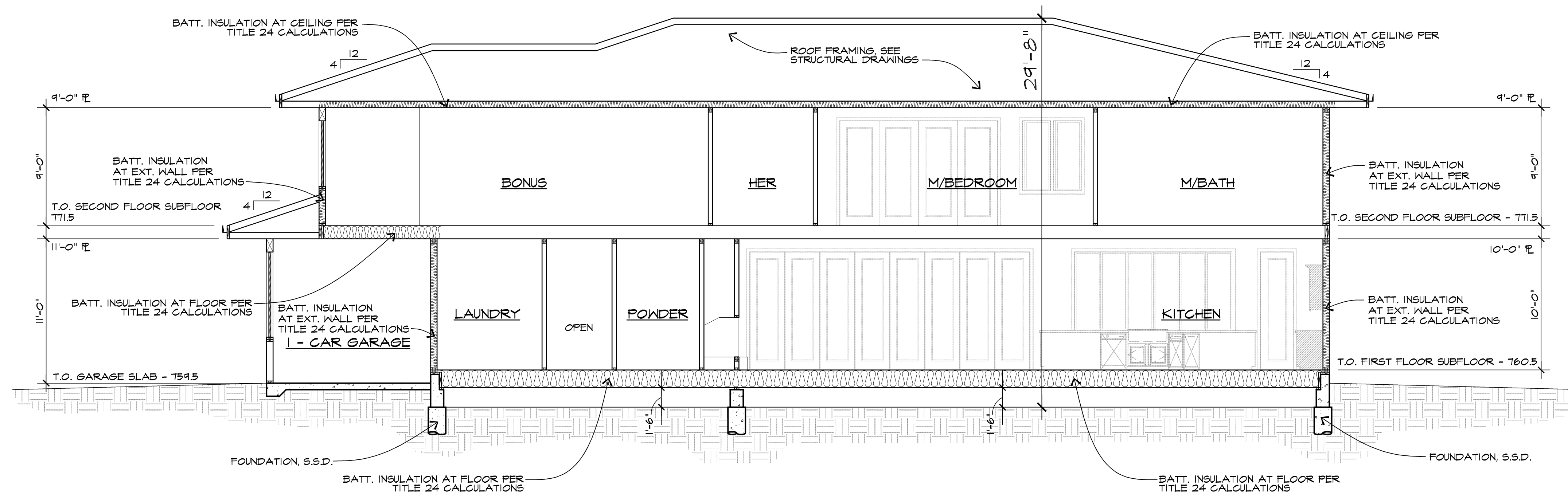
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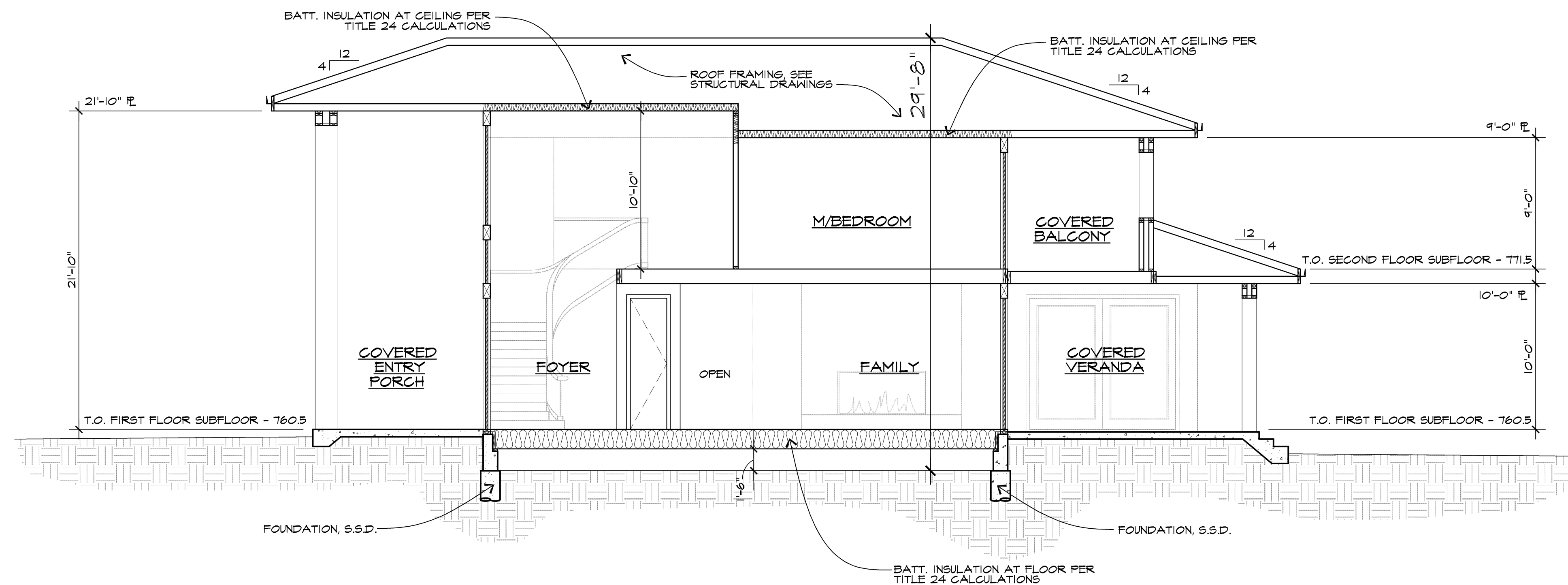
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SCALE AS SHOWN
JOB NO. 24.2047R
SHEET A6
OF
SHEETS

Plot Date: Jan 30, 2025 - 4:01pm AS-A6 Reflected Ceiling Plans - Lot 8.dwg



BUILDING SECTION - A/A7

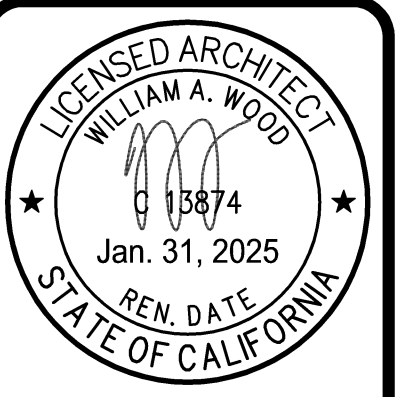
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BUILDING SECTION - B/A7

SCALE: $\frac{3}{8}" = 1'-0"$

REVISIONS	DATE



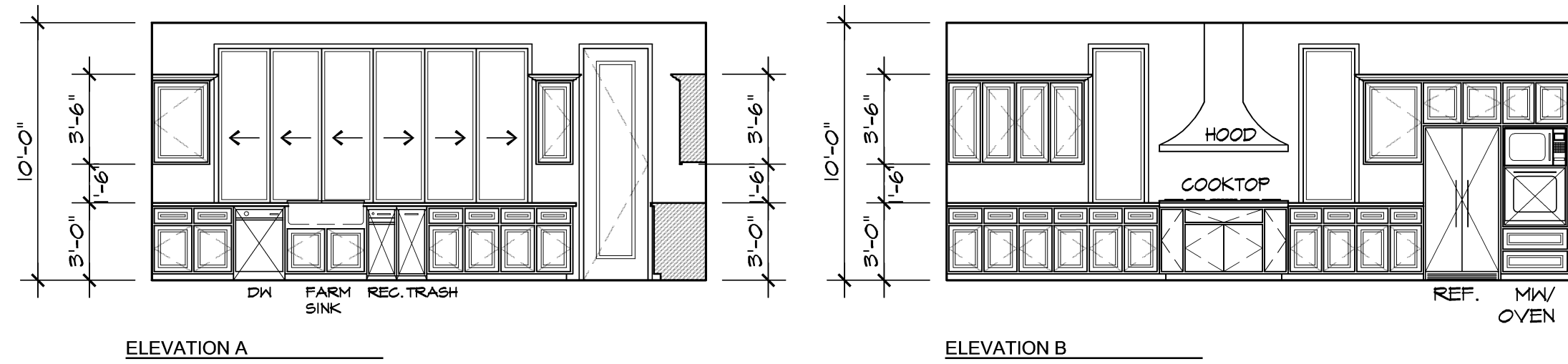
CLYDE-MILES CONST - LOT 8

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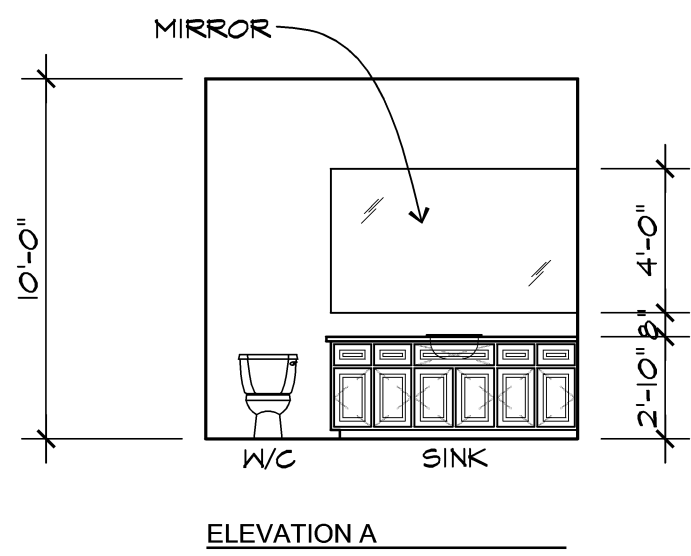
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SHEET A7
OF SHEETS



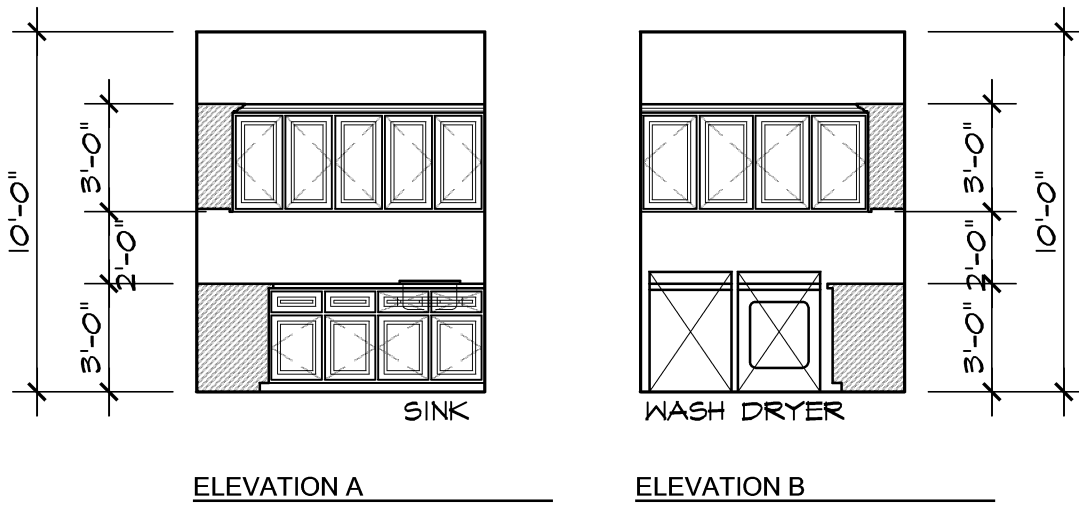
KITCHEN

SCALE: 3/16" = 1'-0"



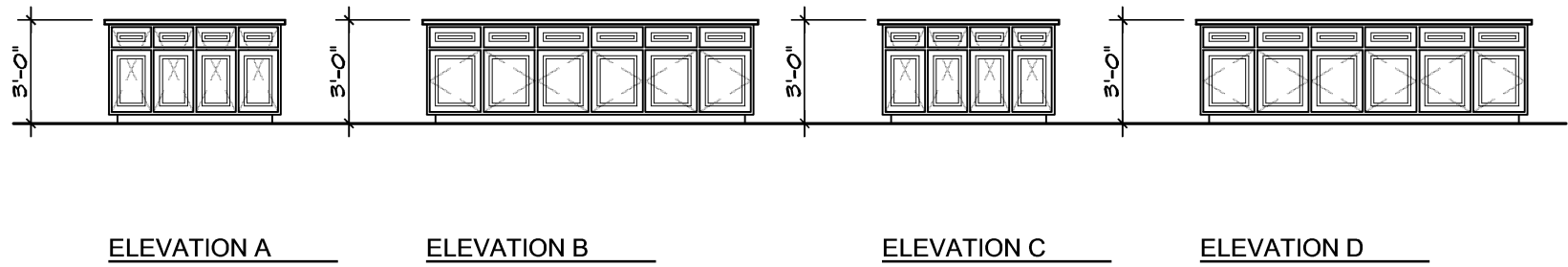
POWDER

SCALE: 3/16" = 1'-0"



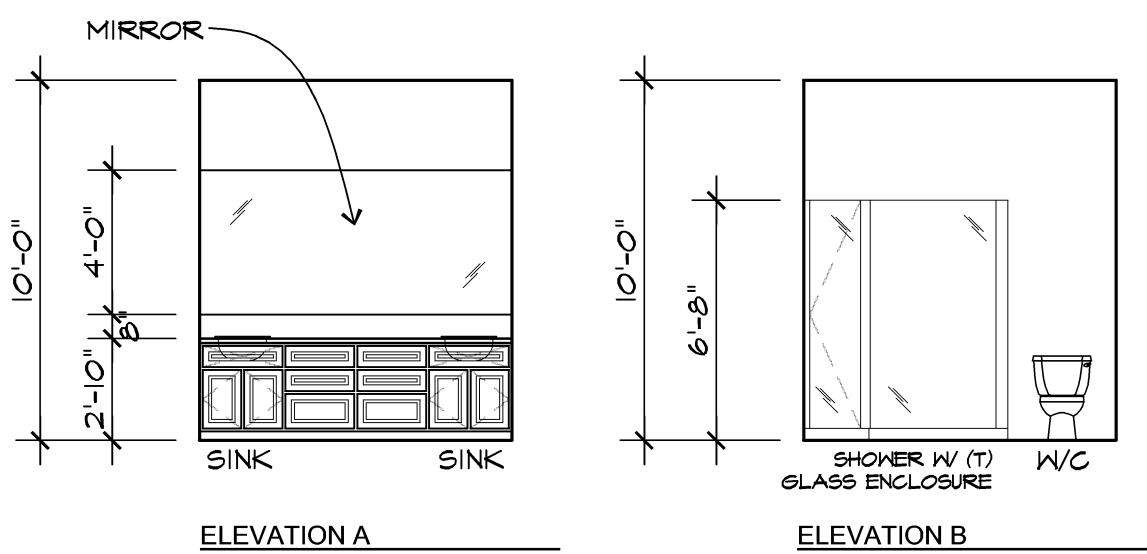
LAUNDRY

SCALE: 3/16" = 1'-0"



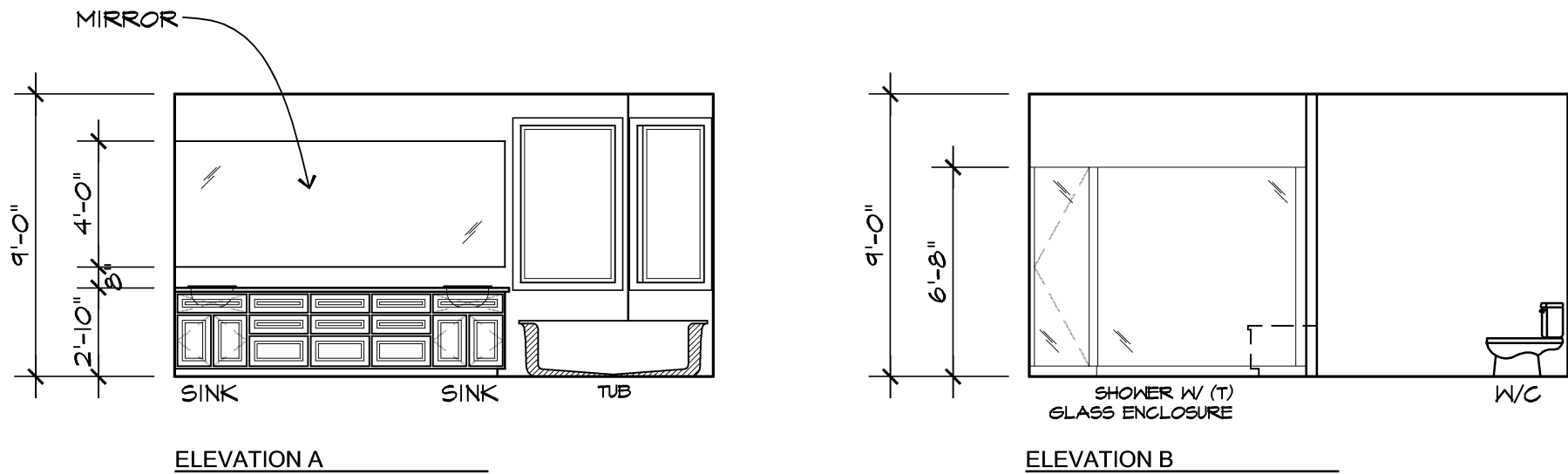
KITCHEN ISLAND

SCALE: 3/16" = 1'-0"



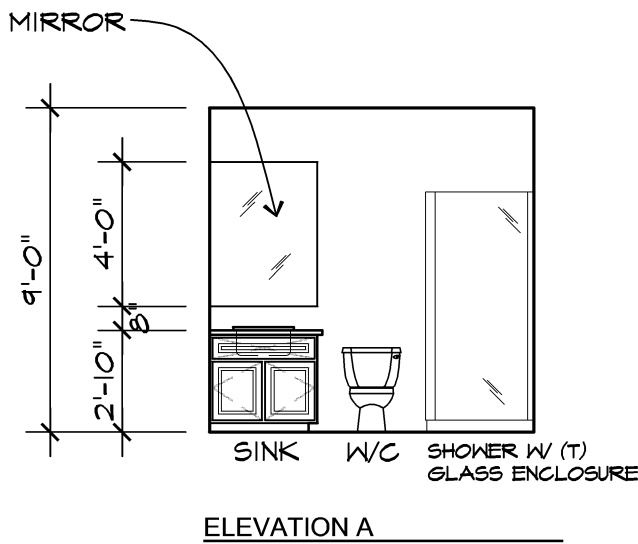
MINI BATH

SCALE: 3/16" = 1'-0"



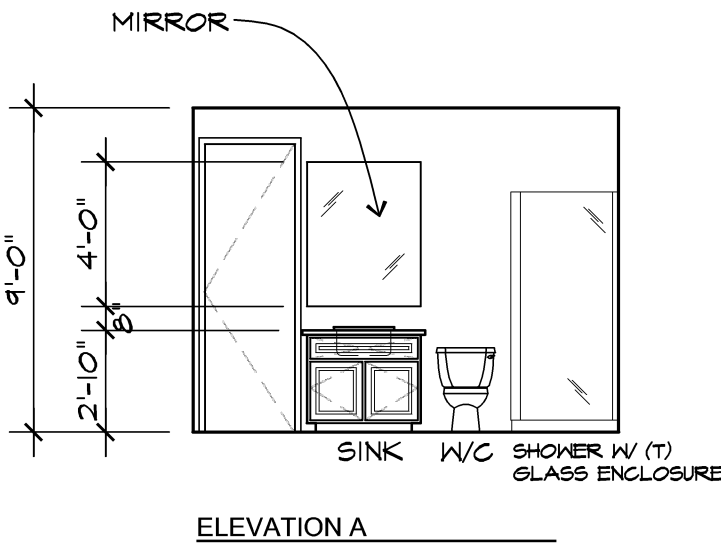
M/BATH

SCALE: 3/16" = 1'-0"



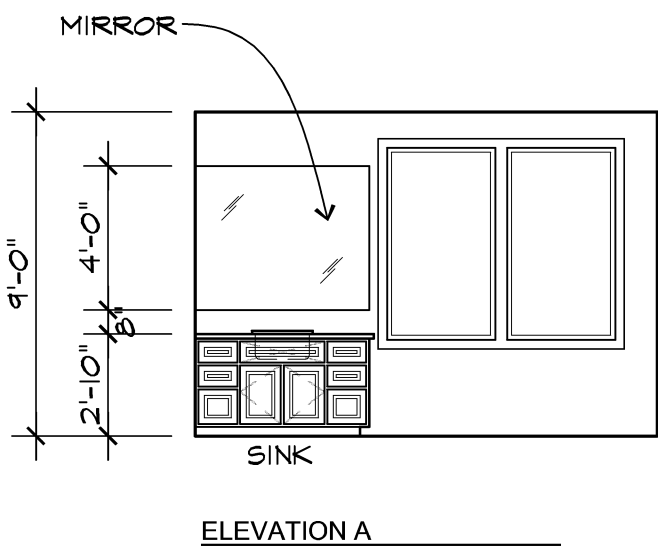
BATH #2

SCALE: 3/16" = 1'-0"



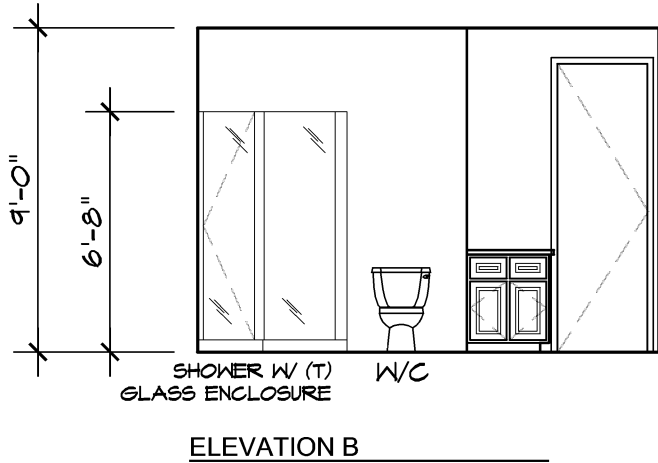
BATH #3

SCALE: 3/16" = 1'-0"

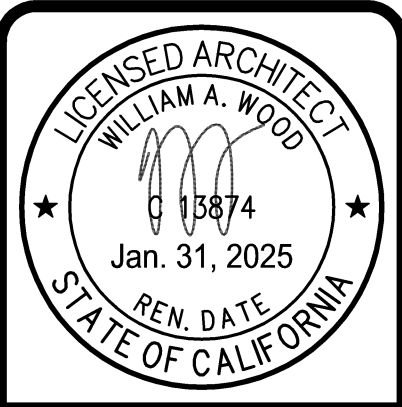


BATH #4

SCALE: 3/16" = 1'-0"



REVISIONS		DATE
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CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

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OF	SHEETS

PLOT DATE: Jan 30, 2025 - 8:34am AT-ALO Elevations.dwg



EAST ELEVATION (FRONT)

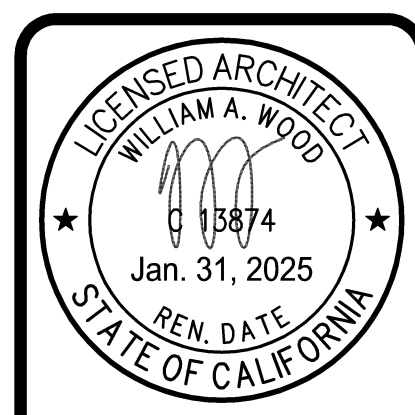
SCALE: 3/16" = 1'-0"



NORTH ELEVATION (RIGHT)

SCALE: 3/16" = 1'-0"

REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

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SHEET A9
OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:34am AT-AIO Elevations.dwg



NORTH ELEVATION (LEFT)

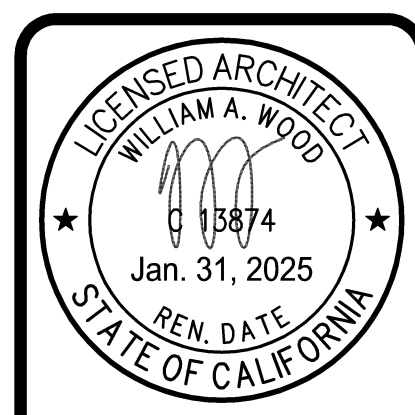
SCALE: 3/8" = 1'-0"



WEST ELEVATION (REAR)

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

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SHEET A10
OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:34am A1-A10 Elevations.dwg

ELECTRICAL NOTES

- 1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
2) PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. PER 2022 CEC.
3) PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER TO PROTECT ALL RECEPTACLES IN THE BEDROOMS. PER 2010 CEC.
4) PROVIDE RECEPTACLE OUTLETS IN FOLLOWING LOCATIONS:
A. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" LOCATED SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE.
B. AN EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME. THEY MUST BE WITHIN 6 FEET, 6 INCHES OF GRADE AND WATERPROOF.
C. ONE RECEPTACLE FOR THE LAUNDRY. (I.E. WASHER). CEC 210-52(F)
D. IN ANY HALLWAY 10 FT OR MORE IN LENGTH. CEC 210-52 (H)
5) FLOOR OUTLETS MAY BE USED AS REQUIRED WALL OUTLETS WHEN LOCATED WITHIN 18" OF THE WALL IN ACCORDANCE WITH 2022 CEC. SUCH AS THE DINING ROOM, PARLOR AND FAMILY ROOM.
6) KITCHEN COUNTERTOP RECEPTACLES SHALL BE LOCATED ABOVE THE COUNTERTOP NOT MORE THAN 18", AND MAY NOT BE INSTALLED FACE-UP IN THE COUNTER.
7) CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-FRONG OUTLET IS REQUIRED FOR DRYERS AND COOKING UNITS.
8) KITCHEN COUNTER OUTLETS FOR SMALL APPLIANCES ARE REQUIRED TO BE POWERED FROM TWO SEPARATE CIRCUITS.
9) ELECTRICAL OUTLETS IN THE BEDROOMS ARE REQUIRED TO HAVE AFCI PROTECTION.
10) ELECTRICAL OUTLETS IN BATHROOMS, LAUNDRY ROOMS, GARAGE AND KITCHEN COUNTER AND OUTSIDE ARE REQUIRED TO HAVE GFCI PROTECTION.
11) ELECTRICAL OUTLETS OUTSIDE THE BUILDING REQUIRE WEATHER-PROTECTED GFI PER ART. 210-52
12) PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED)
13) CONTRACTOR TO PROVIDE THE OPTION OF GAS OR 220V @ THE COOK TOP (VERIFY W/ OWNER)
14) PROVIDE APPROVED EXCESS GAS SHUT-OFF DEVICES, NON-MOTION SENSITIVE TO BE TRIGGERED WHEN THE GAS FLOW EXCEEDS THE DESIGN FLOW LIMIT, AT EACH CONNECTION OF A GAS APPLIANCE TO A GAS LINE PER C.C.C. ORDINANCE 2004-27.
15) PRESSURE TEXT IS REQUIRED FOR GAS LINES PRIOR TO FINAL (MINIMUM 10 PSI FOR 15 MINUTES.
16) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
17) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER, TYP.
18) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
19) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
20) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
21) SHOWER HEADS AREA ALLOWED MAXIMUM 2.5 GPM FLOW PER.
22) KITCHEN FAUCETS MAX. 2.2 GPM
23) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT 402.5
24) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VAVLE TYPE. CFC 420.0
25) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5552(U).
26) LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS. THIS GENERAL LIGHTING SHALL BE CONTROLLED BY A SWITCH ON A READILY ACCESSIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. 150 (K). ROOMS WITH A SHOWER OR BATHTUB MUST HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 50 (K)2, AND RECESSED CEILING FIXTURES ARE 1C (INSULATION COVER) APPROVED. 150 (K) 2
27) ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABEL "SUITABLE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS > 8 FT. BE PROTECTED BY GFCI. CEC 410-4(A)208
28) RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE THE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS 1 AND 6, OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 19, 2022.
29) HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.
30) ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE
31) PROVIDE AIR TIGHT RECESSED LUMINARIES
32) IC RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.
33) THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.
34) FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.
35) INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO THE FIELD INSPECTOR @ THE TIME OF INSPECTION.
36) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. (CFC 2001 SEC 901.4.4). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.
37) ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS OR LOCATED IN BATHROOMS. CEC 240-24(D) AND 240-24 (E)
38) CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR FURRED SPACE. THE SECONDARY DRAIN LINE MUST BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED. CMC310.2
39) CONTRACTOR TO SPECIFY SEISMIC ANCHORAGE OF THE FURNACE PER MANUFACTURES LISTING.
40) UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURE'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE ADMINISTRATIVE AUTHORITY, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN (14) FEET, INCLUDING 2 NINETY DEGREE ELBOWS. TWO (2) FEET SAHLL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO. PER 2022 CMC 504.3.2.2.
41) GROUND CLEANOUT SHALL BE WATER TIGHT AND GAS-TIGHT (IF IT'S LEAVE INSIDE UNDER THE BUILDING) OTHERWISE EXTEND TO THE EXTERIOR OF THE BUILDING.
42) VENTS SHALL TERMINATE AT LEAST 10 FT. HORIZONTALLY FROM AND AT LEAST 3 FT. ABOVE ANY OPENABLE SKYLIT/WINDOW, AIR INTAKE OR PLUMBING VENT SHIFT. CFC 906.2
43) PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE FOLLOWING ROOMS: BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS. CBC 1209.3

ELECTRICAL/MECHANICAL KEY

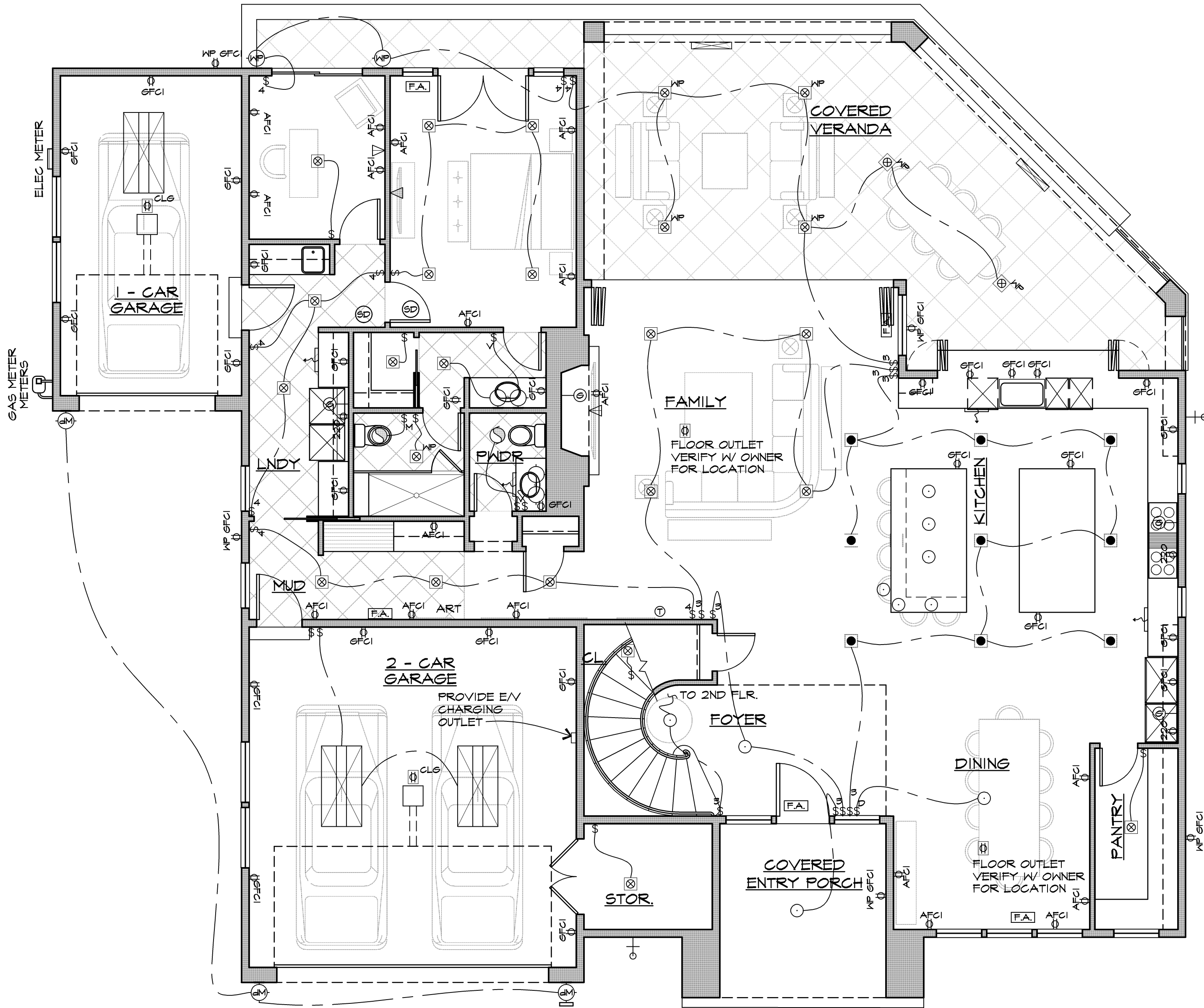
- Ⓛ DUPLEX RECEPTACLE OUTLET @ 12" U.N.O.
Ⓛ^{AFCI} DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER
Ⓛ^{GFCI} DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
Ⓛ^{WP} WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-8(a)3)
Ⓛ²²⁰ DUPLEX RECEPTACLE OUTLET - 220 VOLT
4-FLEX RECEPTACLE OUTLET
Ⓛ^{CL6} CEILING DUPLEX RECEPTACLE OUTLET
Ⓛ FLOOR DUPLEX RECEPTACLE OUTLET
\$ SINGLE POLE SWITCH @ 48" U.N.O.
\$ THREE-WAY SWITCH
\$ FOUR-WAY SWITCH
\$ SWITCH W/ DIMMER
\$ SWITCH W/ MOTION LIGHT

- Ⓛ WALL WASHER
Ⓛ CEILING MOUNTED LIGHT FIXTURE
Ⓛ CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
Ⓛ LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
Ⓛ WALL MOUNTED LIGHT FIXTURE
Ⓛ^{WP} WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS
Ⓛ HANGING LIGHT
Ⓛ CEILING MOUNTED LIGHT/FAN COMBO
Ⓛ RECESSED LOW VOLTAGE CEILING LIGHT

- Ⓛ^{RF} RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
Ⓛ^F RECESSED FLUORESCENT LIGHT FIXTURE
Ⓛ^F RECESSED FLUORESCENT LIGHT/FAN COMBO
Ⓛ RECESSED LIGHT FIXTURE
Ⓛ FLOOD LIGHT
Ⓛ FLUORESCENT LIGHT FIXTURE
Ⓛ FLUORESCENT LIGHT FIXTURE (UNDER CABINET)
Ⓛ OVERHEAD PATIO HEATER
Ⓛ EXHAUST FAN

- Ⓛ^{SD} SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
Ⓛ^{CD} CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
Ⓛ CAT V
Ⓛ TELEVISION OUTLET
Ⓛ HOSE BIBB W/ VACUUM BREAKER
Ⓛ HOSE BIBB (1/2" CW) W/ NON- REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB)
Ⓛ GAS OUTLET
Ⓛ GAS KEY
Ⓛ THERMOSTAT

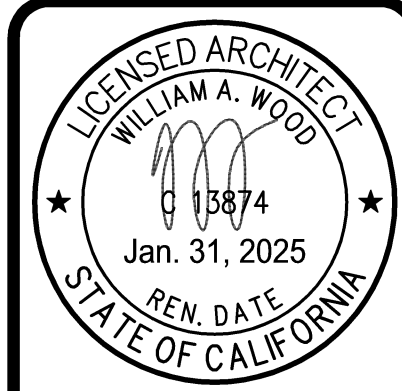
- Ⓛ AIR SUPPLY LOCATED IN TOE SPACE
Ⓛ^{CA} CEILING SUPPLY AIR REGISTER
Ⓛ^{FA} FLOOR AIR SUPPLY REGISTER
Ⓛ^{RA} COLD AIR RETURN @ CEILING
Ⓛ LIGHTED WALL MOUNTED ADDRESS (72" HIGH U.O.N.)
Ⓛ GARAGE DOOR OPENER, W/ PUSH BUTTON OPENER INSIDE OF GARAGE & PROVIDE CEILING OUTLET
Ⓛ CEILING FAN & LIGHT COMBO
Ⓛ CEILING FAN



FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN - LOT 8

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

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SHEET

A11

OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:55am All First Floor Elec Plans - lot 8.dwg

ELECTRICAL NOTES

- 1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
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16) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
17) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER. TYP.
18) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
19) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
20) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
21) SHOWER HEADS AREA ALLOWED MAXIMUM 2.5 GPM FLOW PER.
22) KITCHEN FAUCETS MAX. 2.2 GPM
23) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT. 402.5
24) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VAVLE TYPE. CPC 420.0
25) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5352(J).
26) LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING. IN KITCHENS, THIS GENERAL LIGHTING SHALL BE CONTROLLED BY A SWITCH ON A READILY ACCESSIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. 150 (K). ROOMS WITH A SHOWER OR BATHTUB MUST HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 150 (K)2. AND RECESSED CEILING FIXTURES ARE 1C (INSULATION COVER) APPROVED. 150 (K) 2
27) ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABEL "SUITABLE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS > 8 FT. BE PROTECTED BY GFCI. CEC 410-4(A)208
28) RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE THE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS I AND 6, OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 19, 2022.
29) HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.
30) ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE
31) PROVIDE AIR TIGHT RECESSED LUMINAIRES
32) 1C RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.
33) THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.
34) FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.
35) INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO THE FIELD INSPECTOR @ THE TIME OF INSPECTION.
36) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
(CFG2001SEC.901.4.4). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.
37) ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS OR LOCATED IN BATHROOMS. CEC 240-24(D) AND 240-24 (E)
38) CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL FAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR FURRED SPACE. THE SECONDARY DRAIN LINE MUST BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED. CMG310.2
39) CONTRACTOR TO SPECIFY SEISMIC ANCHORAGE OF THE FURNACE PER MANUFACTURES LISTING.
40) UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURES INSTALLATION INSTRUCTIONS AND APPROVED BY THE ADMINISTRATIVE AUTHORITY, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN (14) FEET, INCLUDING 2 NINETY DEGREE ELBOWS. TWO (2) FEET SHAHL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO. PER 2022 CMG 504.3.2.2.
41) GROUND CLEANOUT SHALL BE WATER TIGHT AND GAS-TIGHT (IF IT'S LEAVE INSIDE UNDER THE BUILDING) OTHERWISE EXTEND TO THE EXTERIOR OF THE BUILDING.
42) VENTS SHALL TERMINATE AT LEAST 10 FT. HORIZONTALLY FROM AND AT LEAST 3 FT. ABOVE ANY OPENABLE SKYLT/WINDOW, AIR INTAKE OR PLUMBING VENT SHFT. CPC 906.2
43) PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE FOLLOWING ROOMS: BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS. CBC 1209.3

ELECTRICAL/MECHANICAL KEY

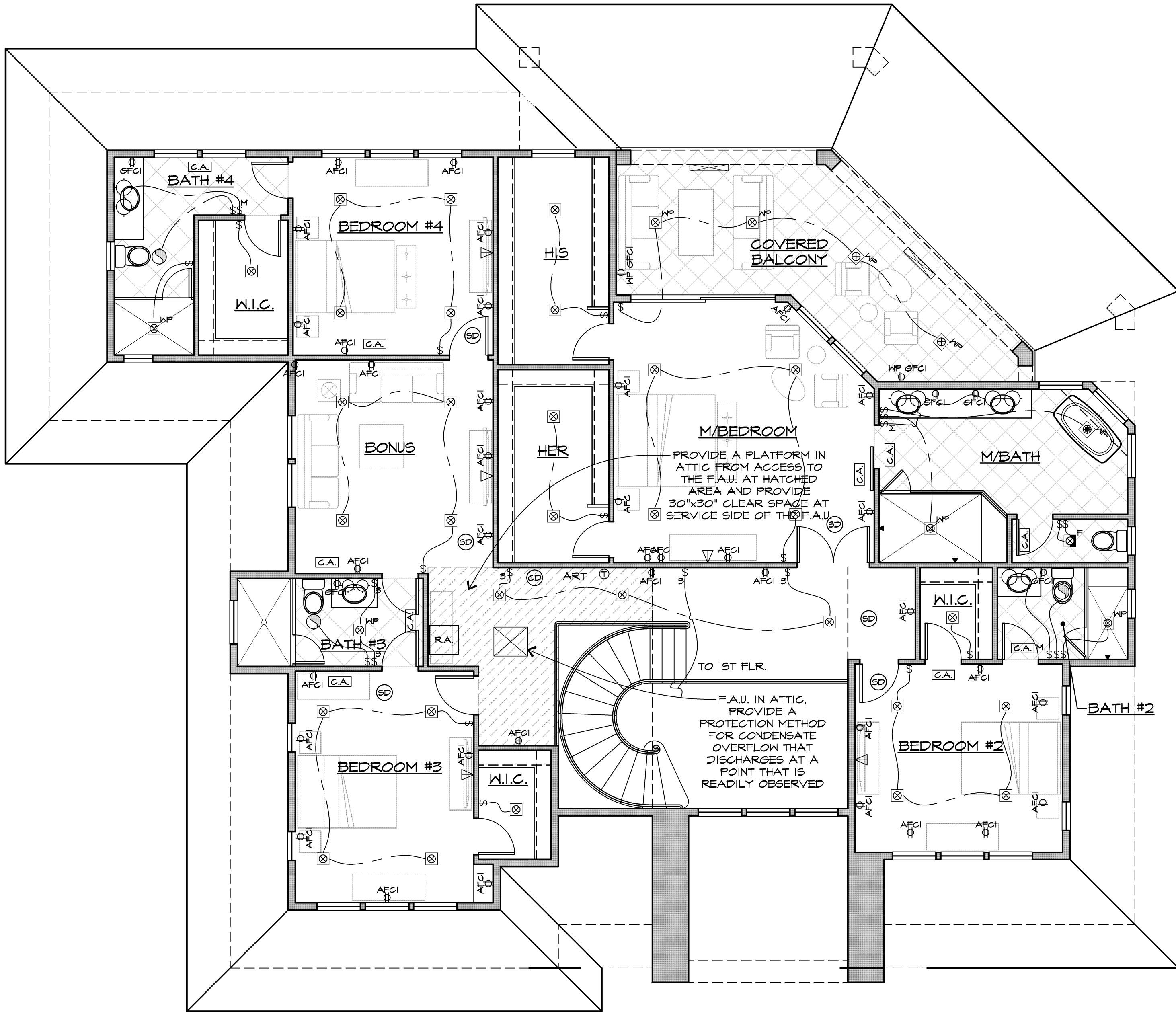
- Ø DUPLEX RECEPTACLE OUTLET @ 12" U.N.O.
Ø^{AFCI} DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER
Ø^{GFCI} DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER
Ø^{NP} WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-8(g)3)
Ø²²⁰ DUPLEX RECEPTACLE OUTLET - 220 VOLT
4-PLEX RECEPTACLE OUTLET
Ø^{CLG} CEILING DUPLEX RECEPTACLE OUTLET
Ø FLOOR DUPLEX RECEPTACLE OUTLET
\$ SINGLE POLE SWITCH @ 48" U.N.O.
\$ THREE-WAY SWITCH
\$ FOUR-WAY SWITCH
\$ SWITCH W/ DIMMER
\$ SWITCH W/ MOTION LIGHT

- WALL WASHER
CEILING MOUNTED LIGHT FIXTURE
CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
WALL MOUNTED LIGHT FIXTURE
WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS
HANGING LIGHT
CEILING MOUNTED LIGHT/FAN COMBO
RECESSED LOW VOLTAGE CEILING LIGHT

- Ø^{NP} RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS
Ø^F RECESSED FLUORESCENT LIGHT FIXTURE
Ø^F RECESSED FLUORESCENT LIGHT/FAN COMBO
Ø RECESSED LIGHT FIXTURE
Ø FLOOD LIGHT
FLUORESCENT LIGHT FIXTURE
FLUORESCENT LIGHT FIXTURE (UNDER CABINET)
OVERHEAD PATIO HEATER
EXHAUST FAN

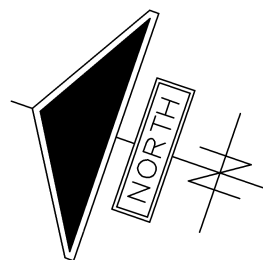
- Ø^{SD} SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
Ø^{CD} CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED
▽ CAT V
▽ TELEVISION OUTLET
+Ø HOSE BIBB W/ VACUUM BREAKER
+Ø HOSE BIBB (1/2" CW) W/ NON- REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB)
-Ø GAS OUTLET
+ GAS KEY
Ø THERMOSTAT

- AIR SUPPLY LOCATED IN TOE SPACE
CEILING SUPPLY AIR REGISTER
FLOOR AIR SUPPLY REGISTER
COLD AIR RETURN @ CEILING
LIGHTED WALL MOUNTED ADDRESS (72" HIGH, U.O.N.)
GARAGE DOOR OPENER, W/ PUSH BUTTON OPENER INSIDE OF GARAGE & PROVIDE CEILING OUTLET
CEILING FAN & LIGHT COMBO
CEILING FAN

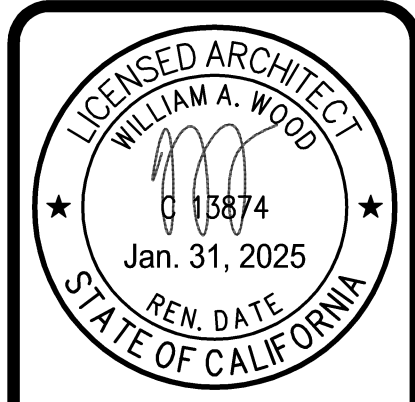


SECOND FLOORELECTRICAL/ MECHANICAL PLAN - LOT 8

SCALE: 3/8" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 8

438 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

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DRAWN KL
CHECKED WW
DATE 10-21-24
SCALE AS SHOWN
JOB NO. 24.2047R
SHEET A12
OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:46am A12 Second Floor Elec Plans - Lot 8.dwg

GENERAL NOTES

1.

TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER.
2.

CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS AND SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
3.

CONTRACTOR SHALL NOTIFY DEBOLT CIVIL ENGINEERING TWO WORKING DAYS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION FOR CONSTRUCTION STAKES.
4.

SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DEBOLT CIVIL ENGINEERING AT 925/837-3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
5.

CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT 800/227-2600 72 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
6.

ALL REVISIONS TO THIS PLAN MUST BE APPROVED BY THE TOWN OF DANVILLE PRIOR TO CONSTRUCTION.
7.

CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM SOILS REPORT.
8.

ALL TREES SHALL REMAIN EXCEPT FOR THOSE SHOWN ON THE IMPROVEMENT PLAN TO BE REMOVED. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. AN ARBORIST SHALL BE PRESENT FOR ANY CONSTRUCTION WORK NEAR OR UNDER THE TREES' DRIPLINE. TREE REMOVAL SHALL BE ALLOWED ONLY UPON PRIOR WRITTEN APPROVAL FROM THE PLANNING DIVISION.
9.

CONTRACTOR TO USE CARE IN THE VICINITY OF EXISTING TREES TO REMAIN. A TEMPORARY FENCE SHOULD BE INSTALLED AROUND TREE FOR PROTECTION. CONTRACTOR TO FOLLOW ARBORIST'S RECOMMENDATION.
10.

IN THE EVENT THAT SUBSURFACE ARCHAEOLOGICAL REMAINS ARE DISCOVERED DURING ANY CONSTRUCTION OR PRE-CONSTRUCTION ACTIVITIES ON THE SITE, ALL LAND ALTERATION WORK WITHIN 30.5 METERS (100 FEET) OF THE FIND SHALL BE HALTED, THE TOWN PLANNING DIVISION NOTIFIED, AND A PROFESSIONAL ARCHAEOLOGIST, CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY, SHALL BE NOTIFIED. SITE WORK IN THIS AREA SHALL NOT OCCUR UNTIL THE ARCHAEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND OUTLINE APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY. IF PREHISTORIC ARCHAEOLOGICAL DEPOSITS ARE DISCOVERED DURING DEVELOPMENT OF THE SITE, LOCAL NATIVE AMERICAN ORGANIZATIONS SHALL BE CONSULTED AND INVOLVED IN MAKING RESOURCE MANAGEMENT DECISIONS.
11.

CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE PERIOD BETWEEN THE WEEKDAY HOURS OF 7:30 A.M. TO 5:30 P.M. (MONDAYS THROUGH FRIDAYS), UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER FOR GENERAL CONSTRUCTION ACTIVITY AND THE CHIEF BUILDING OFFICIAL FOR BUILDING CONSTRUCTION ACTIVITY. PRIOR TO ANY CONSTRUCTION WORK ON THE SITE, INCLUDING GRADING, THE CONTRACTOR SHALL INSTALL A MINIMUM 3'X3' SIGN AT THE PROJECT ENTRY WHICH SPECIFIES THE ALLOWABLE CONSTRUCTION WORK DAYS AND HOURS, AND LISTS THE NAME AND CONTACT PERSON FOR THE OVERALL PROJECT MANAGER AND ALL CONTRACTORS AND SUB-CONTRACTORS WORKING ON THE JOB.
12.

THE CONTRACTOR SHALL PROVIDE SECURITY FENCING, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR THE CHIEF BUILDING OFFICIAL, AROUND THE SITE DURING CONSTRUCTION OF THE PROJECT.
13.

THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE-GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE. WARMING OF CONSTRUCTION EQUIPMENT AND/OR SERVICING SUCH EQUIPMENT SHALL OCCUR ONLY WITHIN THE AUTHORIZED WORK PERIODS.
14.

A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF-SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
15.

ANY GRADING ON ADJACENT PROPERTIES WILL REQUIRE PRIOR WRITTEN APPROVAL OF THOSE PROPERTY OWNERS AFFECTED.
16.

AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF GRADING, THE CONTRACTOR SHALL POST THE SITE AND MAIL TO THE OWNERS OF THE PROPERTY WITHIN 300 FEET OF THE EXTERIOR BOUNDARY OF THE PROJECT SITE, TO THE HOMEOWNER ASSOCIATIONS OF NEARBY RESIDENTIAL PROJECTS AND TO THE TOWN OF DANVILLE DEVELOPMENT SERVICES DEPARTMENT, A NOTICE THAT CONSTRUCTION WORK WILL COMMENCE. THE NOTICE SHALL INCLUDE A LIST OF CONTRACT PERSONS WITH NAME, TITLE, PHONE NUMBER AND AREA OF RESPONSIBILITY. THE PERSON RESPONSIBLE FOR MAINTAINING THE LIST SHALL BE INCLUDED. THE LIST SHALL BE KEPT CURRENT AT ALL TIMES AND SHALL CONSIST OF PERSONS WITH AUTHORITY TO INITIATE CORRECTIVE ACTION IN THEIR AREA OF RESPONSIBILITY. THE NAMES OF INDIVIDUALS RESPONSIBLE FOR DUST, NOISE AND LITTER CONTROL SHALL BE EXPRESSLY IDENTIFIED IN THE NOTICE.
17.

ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER 1.5 METERS (FIVE FEET) IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
18.

ALL EARTH SWALES SHALL BE 1% MINIMUM SLOPES, AND 4% MAXIMUM SLOPES.
19.

WHERE SOILS OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THAT ANTICIPATED IN THE SOILS REPORT, A REVISED SOILS REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEER. IT SHALL BE ACCOMPANIED BY AN ENGINEERING AND GEOLOGICAL OPINION AS TO THE SAFETY OF THE SITE FROM SETTLEMENT AND SEISMIC ACTIVITY.
20.

ALL DEVELOPMENT SHALL TAKE PLACE IN COMPLIANCE WITH THE TOWN EROSION CONTROL ORDINANCE (ORD. 91-25). RESTRICTIONS INCLUDE LIMITING CONSTRUCTION PRIMARILY TO THE DRY MONTHS OF THE YEAR (MAY THROUGH OCTOBER) AND, IF CONSTRUCTION DOES OCCUR DURING THE RAINY SEASON, THE DEVELOPER SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN SHALL INCORPORATE EROSION CONTROL DEVICES SUCH AS THE USE OF SEDIMENT TRAPS, SILT FENCING, PAD BERMING AND OTHER TECHNIQUES TO MINIMIZE EROSION.
21.

ALL NEW DEVELOPMENT SHALL BE CONSISTENT WITH MODERN DESIGN FOR RESISTANCE TO SEISMIC FORCES. ALL NEW DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND TOWN OF DANVILLE ORDINANCES.
22.

ALL CUT AND FILL AREAS SHALL BE APPROPRIATELY DESIGNED TO MINIMIZE THE EFFECTS OF GROUND SHAKING AND SETTLEMENT.
23.

STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
24.

IF TOXIC OR CONTAMINATED SOIL IS ENCOUNTERED DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY IN THAT AREA SHALL CEASE UNTIL THE APPROPRIATE ACTION IS DETERMINED AND IMPLEMENTED. THE CONCENTRATIONS, EXTENT OF THE CONTAMINATION AND MITIGATION SHALL BE DETERMINED BY THE CONTRA COSTA COUNTY HEALTH DEPARTMENT. SUITABLE DISPOSAL AND/OR TREATMENT OF ANY CONTAMINATED SOIL SHALL MEET ALL FEDERAL STATE AND LOCAL REGULATIONS. IF DEEMED APPROPRIATE BY THE HEALTH DEPARTMENT, THE APPLICANT SHALL MAKE PROVISIONS FOR IMMEDIATE CONTAINMENT OF THE MATERIALS. RUNOFF FROM ANY CONTAMINATED SOIL SHALL NOT BE ALLOWED TO ENTER ANY DRAINAGE FACILITY, INLET OR CREEK.
25.

ALL GRADING ACTIVITY SHALL ADDRESS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONCERNS. SPECIFIC MEASURES TO CONTROL SEDIMENT RUNOFF, CONSTRUCTION POLLUTION AND OTHER POTENTIAL CONSTRUCTION CONTAMINATION SHALL BE ADDRESSED THROUGH THE EROSION CONTROL PLAN (ECP) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A NPDES CONSTRUCTION PERMIT MAY BE REQUIRED, AS DETERMINED BY THE CITY ENGINEER.
26.

THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN ANY PUBLIC RIGHT-OF-WAY OR EASEMENT.
27.

ALL MUD OR DIRT CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE SWEEPED EACH DAY. WATER FLUSHING OF SITE DEBRIS OR SEDIMENT OR CONCRETE WASHING IS EXPRESSLY PROHIBITED.
28.

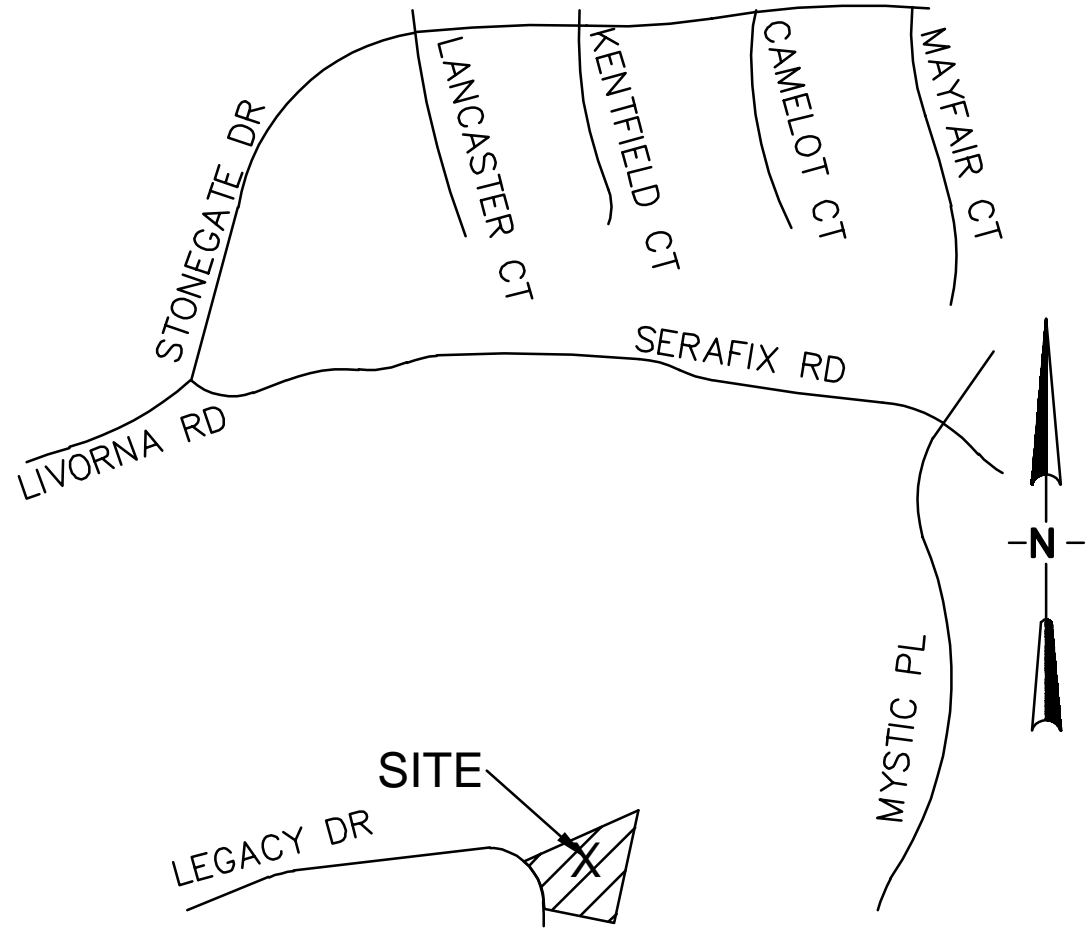
ANY DAMAGE TO STREET IMPROVEMENTS NOW EXISTING OR DONE DURING CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER, AT FULL EXPENSE TO THE CONTRACTOR. THIS SHALL INCLUDE SLURRY SEAL, OVERLAY OR STREET RECONSTRUCTION IF DEEMED WARRANTED BY THE CITY ENGINEER.
29.

ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING CURB, GUTTER, SIDEWALKS, DRIVEWAYS, PAVING AND UTILITIES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS AND/OR PLANS AND SHALL COMPLY WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE DEVELOPMENT SERVICES DEPARTMENT AND CHAPTERS XII AND XXXI OF THE TOWN CODE.
30.

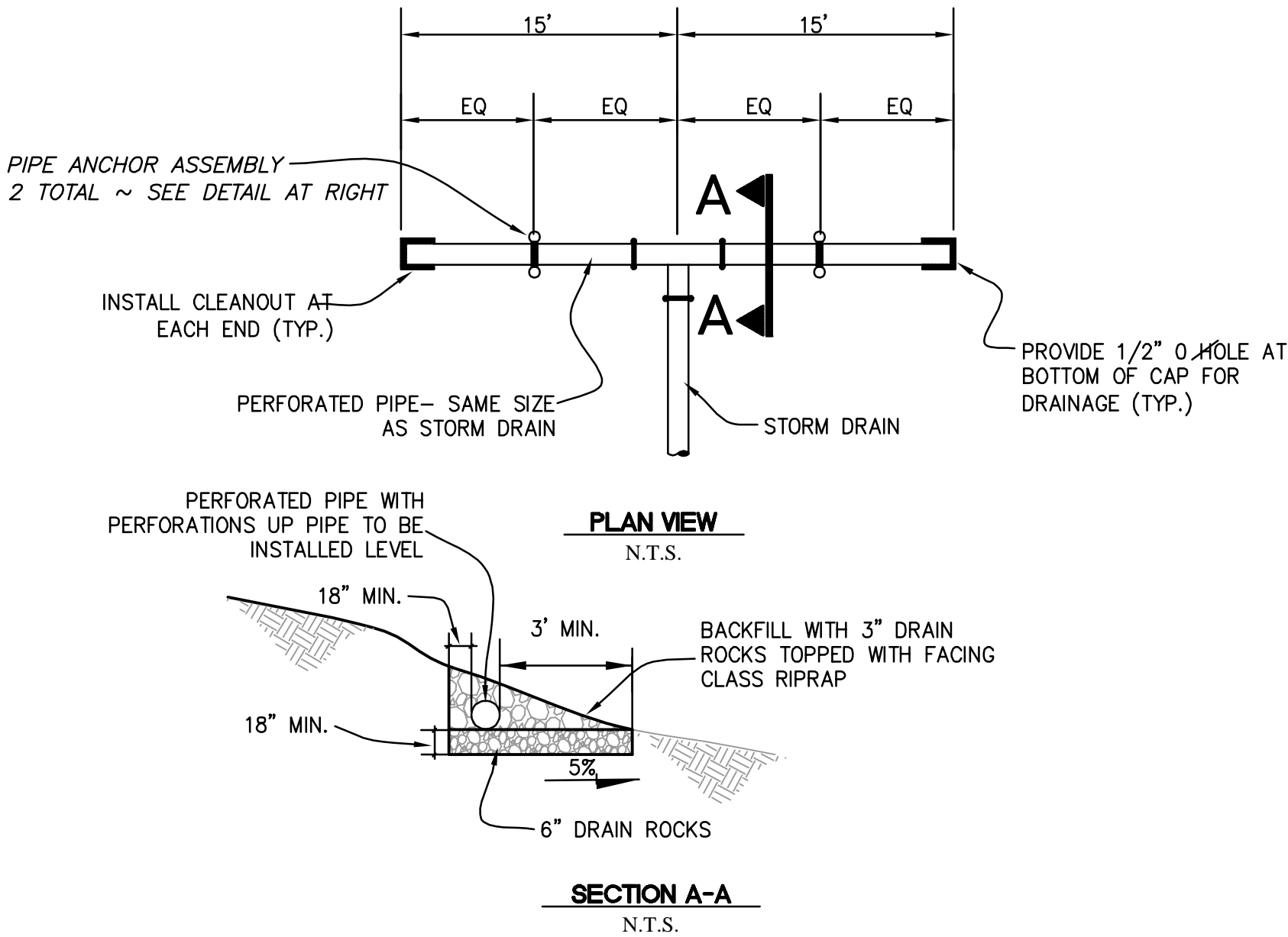
ALL NEW UTILITIES REQUIRED TO SERVE THE DEVELOPMENT SHALL BE INSTALLED UNDERGROUND.
31.

LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR TO EXPOSE AND VERIFY.
32.

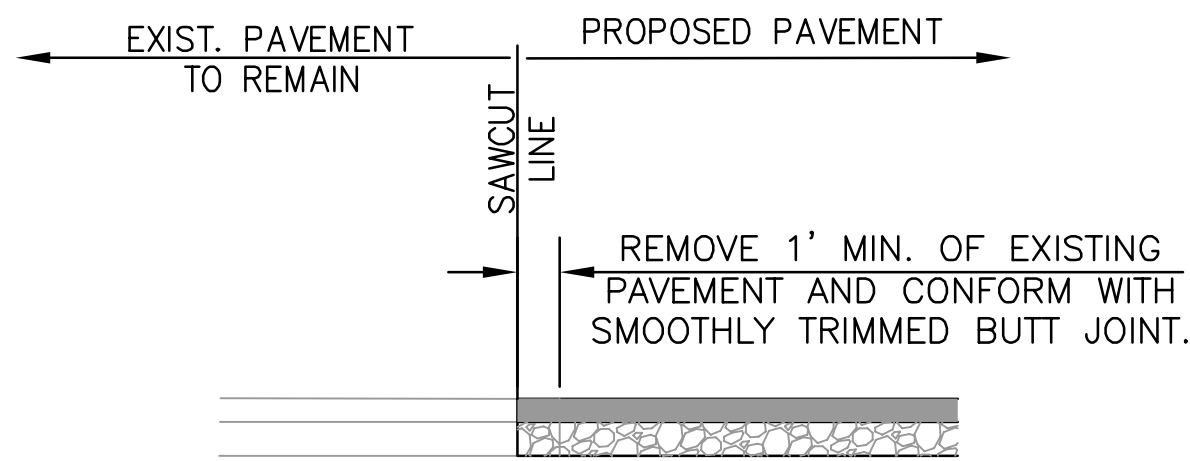
ANY ON-SITE WELLS SHALL BE RESET TO FINISH GRADE IN ACCORDANCE WITH CONTRA COSTA COUNTY HEALTH SERVICES DEPARTMENT -- ENVIRONMENTAL HEALTH DIVISION REGULATIONS.



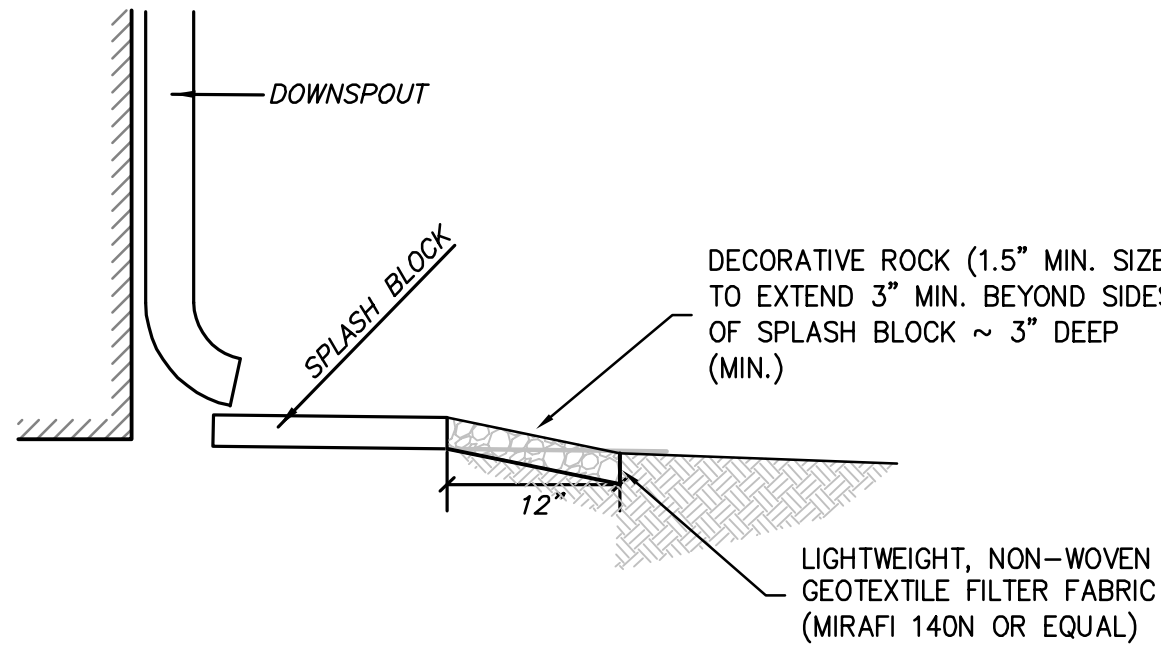
VICINITY MAP
N.T.S.



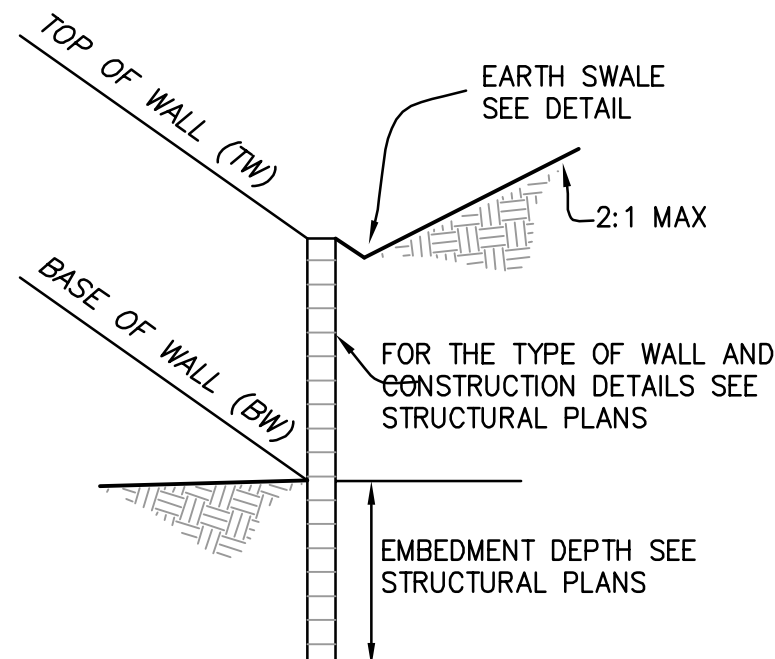
4
-
DISSIPATOR TRENCH DETAIL
N.T.S.



1
-
PAVEMENT SAWCUT DETAIL
N.T.S.



2
-
SPLASH BLOCK
ENERGY DISSIPATOR DETAIL
N.T.S.



3
-
RETAINING WALL
TYPICAL SECTION
N.T.S.

ABBREVIATIONS:

BLDG	BUILDING
CONC	CONCRETE
(E)/EX	EXISTING
ESMT	EASEMENT
FNC	FENCE
INV.	INVERT
P.U.E	PRIVATE UTILITY EASEMENT
REBAR.	REBAR
()	RECORD DATA
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDDI	STORM DRAIN DRAIN INLET
(T)	TOTAL
WM	WATER METER
WV	WATER VALVE

LEGEND:

	SANITARY SEWER MANHOLE
	WATER VALVE
	FOUND MONUMENT AS NOTED
	STANDARD STREET MONUMENT
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	BOUNDARY LINE
	TIE LINE
	CENTERLINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING ELECTRIC CABLE
	EXISTING SANITARY SEWER LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING TREE

SHEET INDEX	
SHEET NO.	DESCRIPTION
CE-1	COVER SHEET
CE-2	GRADING AND DRAINAGE PLAN
CE-3	EROSION CONTROL PLAN
CE-4	STORMWATER CONTROL PLAN

COVER SHEET

438 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 12/18/24
Scale: N.T.S.
By: EM
Job No.: 24205

LEGEND

- IMPERVIOUS ASPHALT PAVEMENT PER GEOTECH RECOMMENDATIONS.
- IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
- PATIO / DECK
- BUILDING OUTLINE

GRADING NOTES:

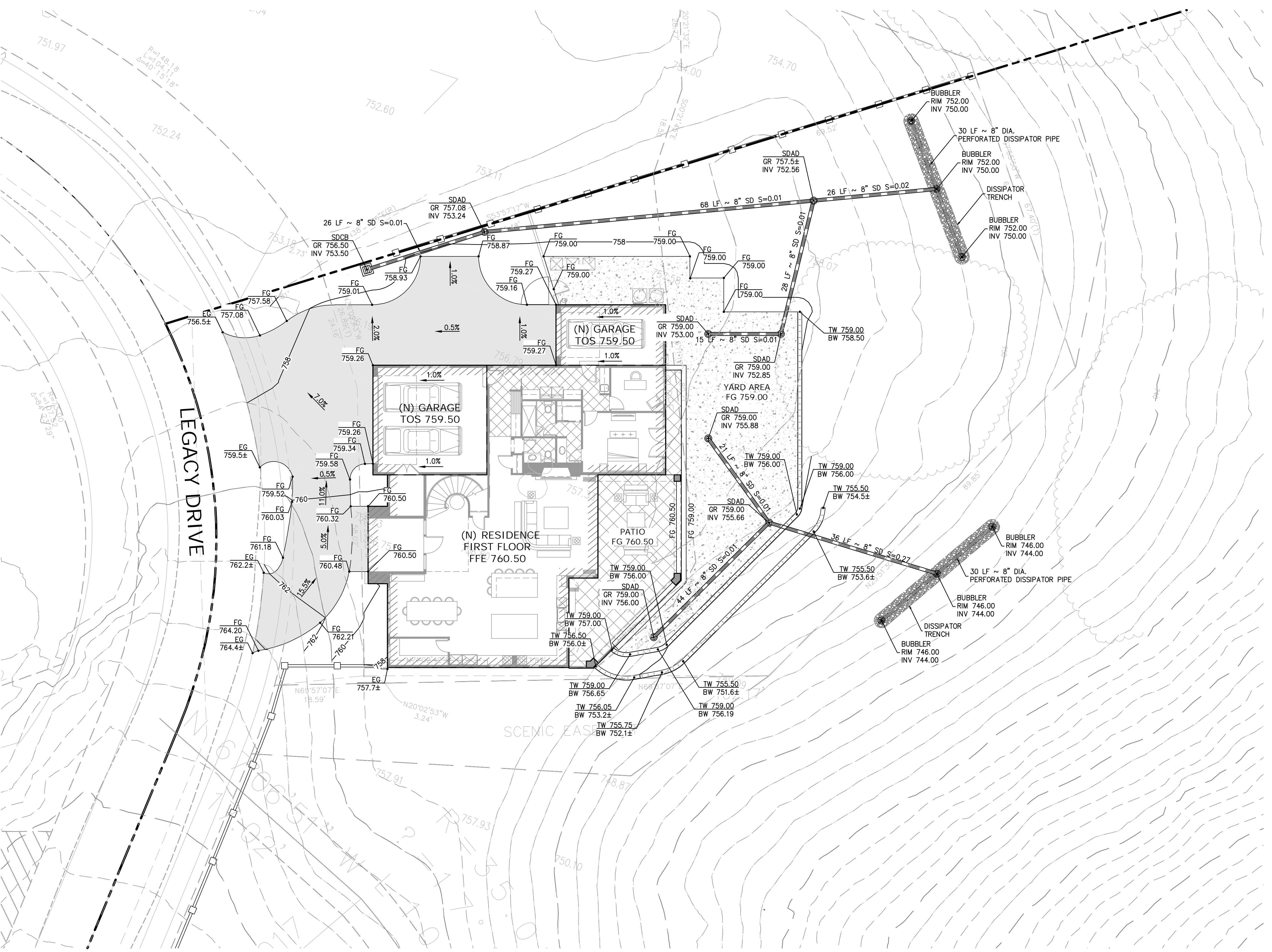
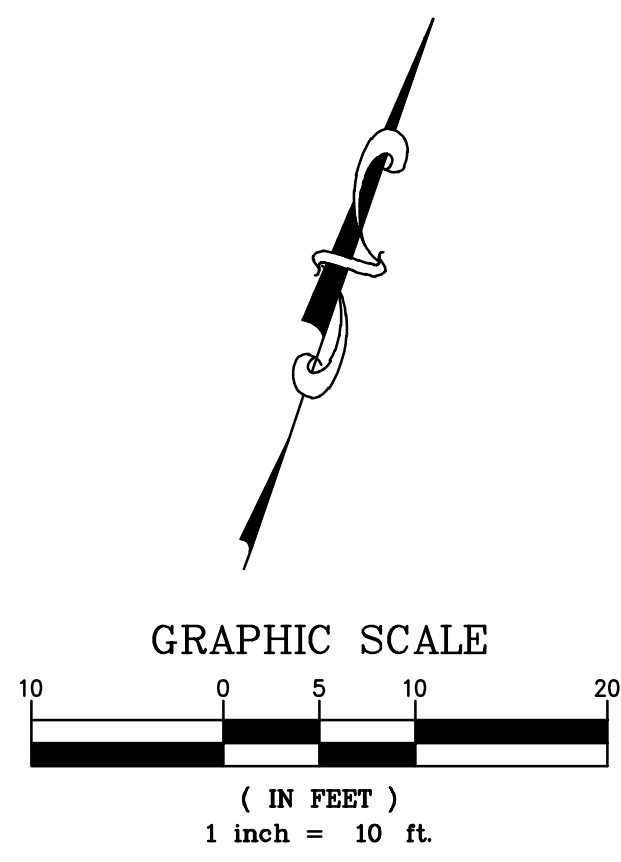
- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) ROOF DOWNSPOUTS SHALL BE DIRECTED TO ADJACENT LANDSCAPING WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 3) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 4) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8" BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.

EARTHWORK QUANTITIES		
ITEMS	CUT (CYS.)	FILL (CYS.)
HOUSE PADS	0	439
DRIVEWAY / SIDEWALK	0	119
YARDS & HILLSIDE	0	210
TOTAL	0	768

PROJECT NET BALANCE: IMPORT 768± CY

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

AREA OF LAND DISTURBANCE IS 9,477± SF



GRADING AND DRAINAGE PLAN

438 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

DEBOLT
50+ YEARS
CIVIL ENGINEERING

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 12/18/24
Scale: 1" = 10'
By: EM
Job No.: 24205

EROSION CONTROL NOTES

1. THIS EROSION CONTROL PLAN REPRESENTS THE MINIMUM REQUIRED EFFORT TO PREVENT TRANSPORT OF SEDIMENTATION DURING CONSTRUCTION ACTIVITIES AND DOES NOT REPRESENT A COMPREHENSIVE SOLUTION TO ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE PROTECTION TO PREVENT EROSION AND ANY POTENTIAL DAMAGE CAUSED BY EROSION TO THE SITE, NEIGHBORING PROPERTIES OR THE REGIONAL STORM DRAINAGE SYSTEM.

2. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS.

3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.

4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.

5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.

6. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG FOR THE FULL WIDTH AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.

7. TEMPORARY EROSION CONTROL DEVICES WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED ONLY WHEN THE GRADING INSPECTOR SO DIRECTS.

8. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND REMOVED DAILY AND AS DIRECTED BY THE INSPECTOR.

9. AFTER SEWER LATERAL AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHALL BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.

10. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL ALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40 % AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).

11. STRAW WATTLES AND SANDBAGS SHALL BE STOCKPILED AS SHOWN ON THE EROSION CONTROL PLAN READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 40% OR WHEN DIRECTED BY THE INSPECTOR.

12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE, AND/OR GRAVEL OR OTHER MATERIALS APPROVED BY THE INSPECTOR.

13. THE DOWNSTREAM STORM SYSTEM SHOULD BE INSPECTED TO VERIFY THAT THE SYSTEM IS CLEAR OF OBSTRUCTIONS AND FUNCTIONING PROPERLY.




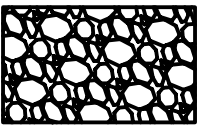
14. AS PART OF THE EROSION CONTROL MEASURES, THE UNDERGROUND STORM DRAIN FACILITIES SHOULD BE INSTALLED COMPLETE AS SHOWN ON THESE PLANS.

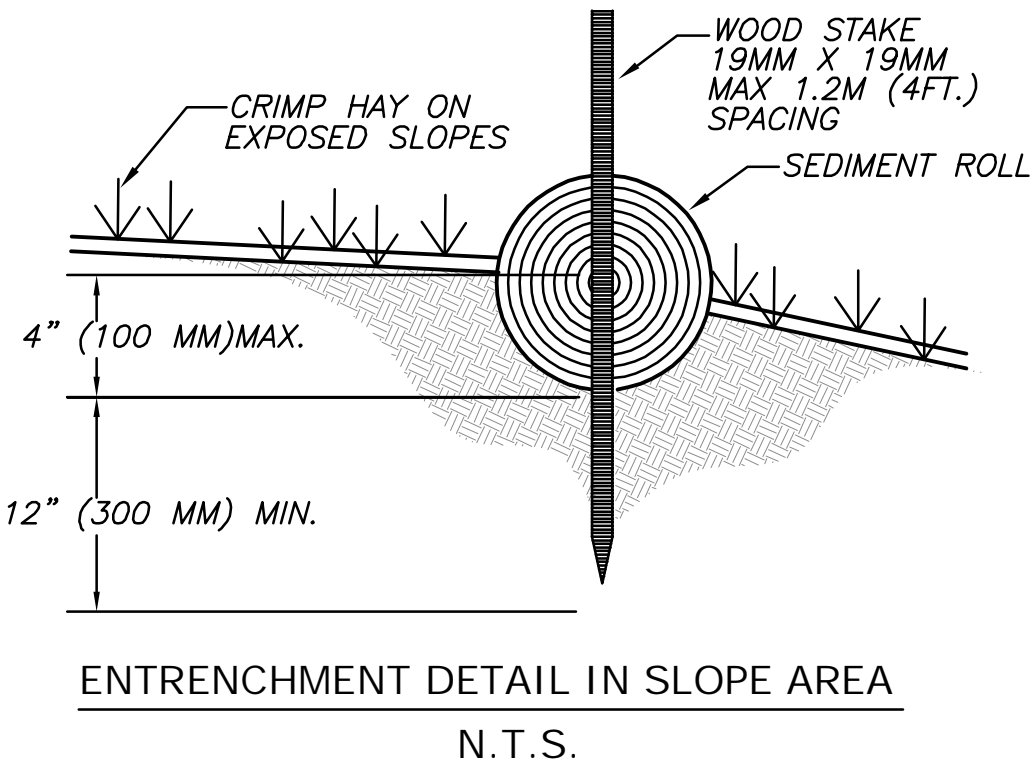
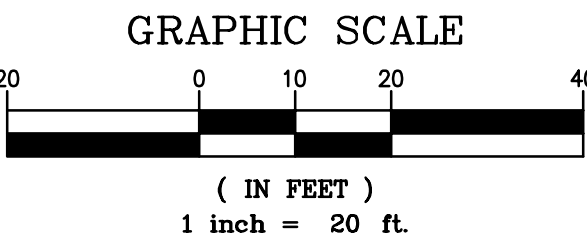
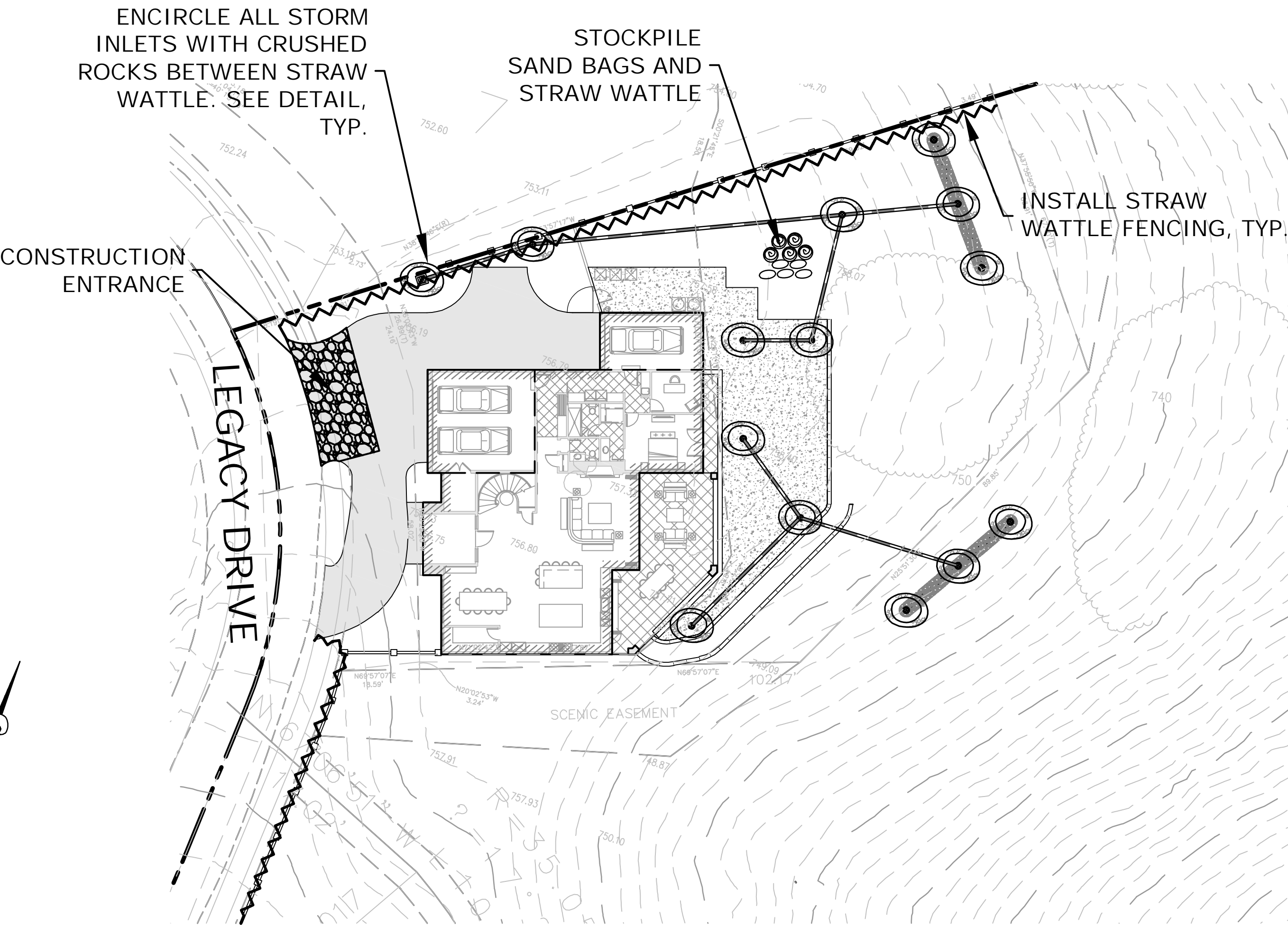
15. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.

16. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL." MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER.

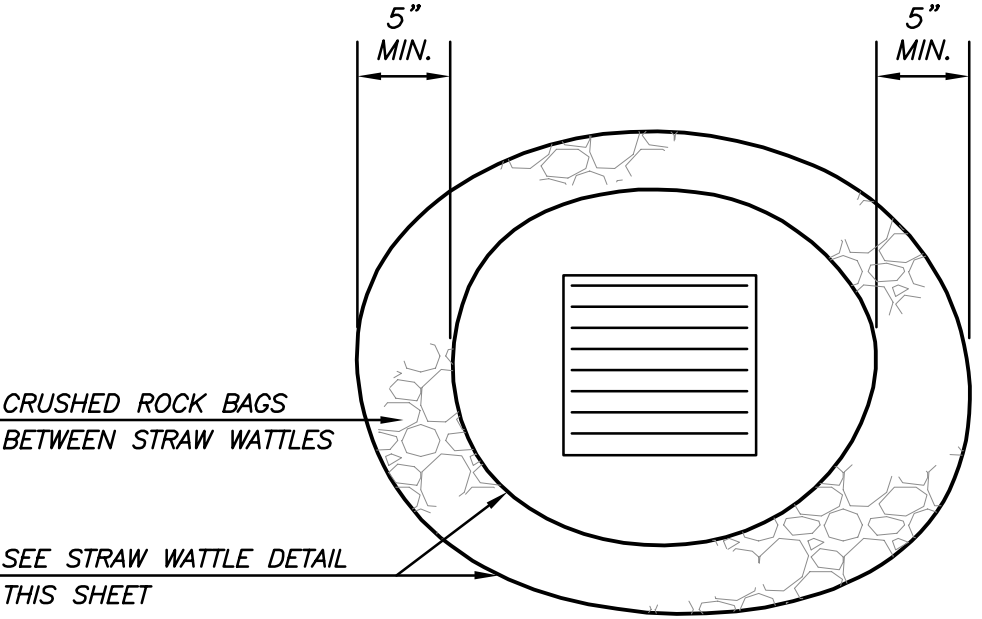
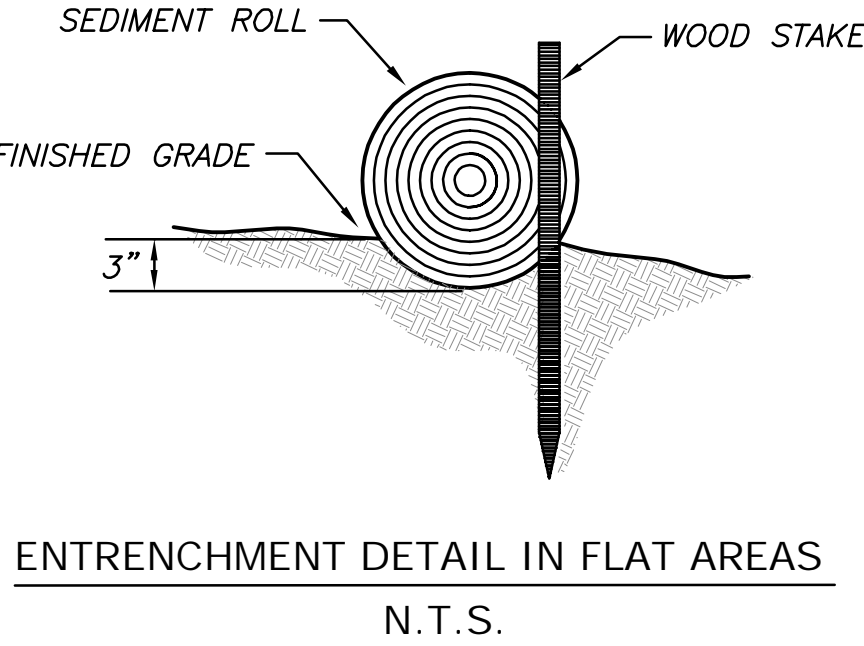
17. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (SEEDED) TO THE SATISFACTION OF THE INSPECTOR.

LEGEND

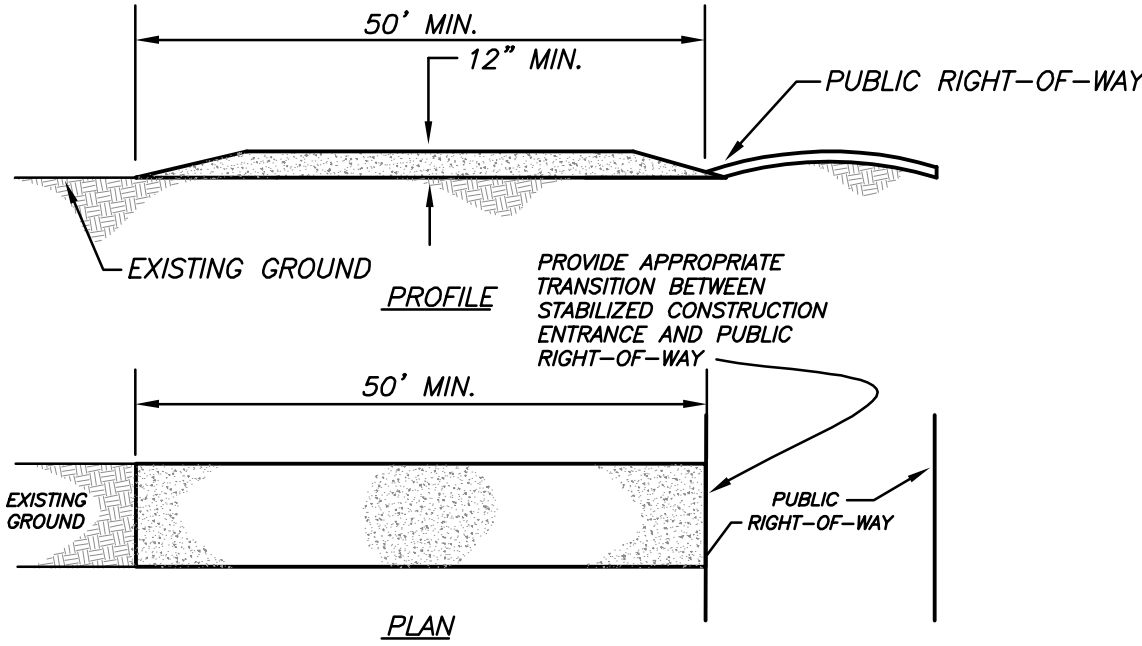
-  STRAW WATTLE
-  STRAW WATTLE / SILT FENCE
-  CRUSHED ROCK BETWEEN STRAW WATTLE
-  CONSTRUCTION ENTRANCE



STRAW WATTLE DETAILS
N.T.S.



INLET PROTECTION DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 12/18/24
Scale: 1" = 20'
By: EM
Job No.: 24205

EROSION CONTROL PLAN

438 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

► STEP 1: PROJECT DATA FORM AND RUNOFF REDUCTION MEASURE SELECTION

Complete all fields.

Project Name/Number	438 Legacy Drive
Application Submittal Date [to be verified by municipal staff]	12/18/2024
Project Location [Street Address if available, or intersection and/or APN]	438 Legacy Drive
Name of Owner or Developer	Seeno Properties
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence
Total Project Site Area (acres)	1.86 acres
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces]	7,801 square feet
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces.]	0 square feet
Total Pre-Project Impervious Surface Area	0 square feet
Total Post-Project Impervious Surface Area	7,801 square feet
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

► STEP 2: DELINEATE IMPERVIOUS AREAS AND LOCATIONS OF RUNOFF REDUCTION MEASURES

Delineate the impervious area. On a site plan or sketch, show the impervious area—for example, a roof, or portion of a roof, or a paved area—that will drain to your runoff reduction measure. Typically these delineations follow roof ridge lines or grade breaks. Alternatively, show the type and extent of pervious paving. An example sketch is attached.

Indicate the location and kind of runoff reduction measure you have selected. At least one option, designed to manage runoff from some amount of impervious area—or to avoid creating runoff—is required.

APPENDIX C

9th Edition — APRIL 12, 2024

C-2

For each option selected, there is a brief checklist to confirm your design and your submittal meet minimum requirements.

► STEP 3: COMPLETE AND SUBMIT YOUR PLAN

Consult with municipal staff about when and how to submit your Stormwater Control Plan for Small Projects.

Option 1: Disperse runoff from roofs or pavement to vegetated areas.

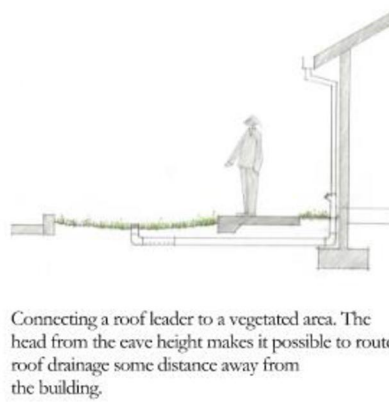
This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- ☒ Each impervious area from which runoff will be directed, and its square footage.
- ☒ The vegetated areas that will receive runoff, and the approximate square footage of each.
- ☐ If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.

Confirm the following standard specifications are met:

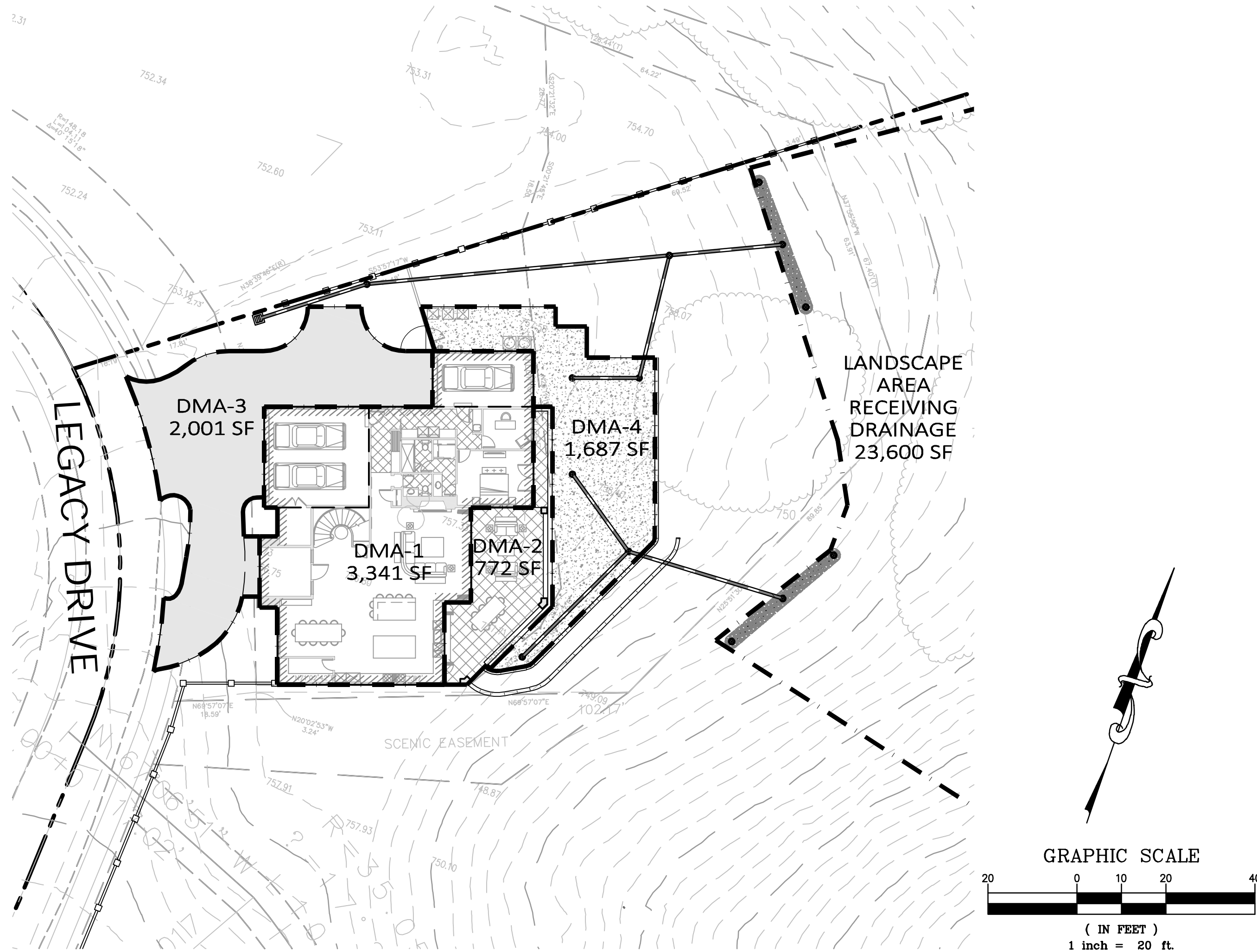
- ☒ Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- ☒ Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- ☒ Paved areas are sloped so drainage is routed to the receiving pervious area.
- ☒ Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- ☒ Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- ☐ Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.



APPENDIX C

9th Edition — APRIL 12, 2024

C-3



STORMWATER CONTROL PLAN

438 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

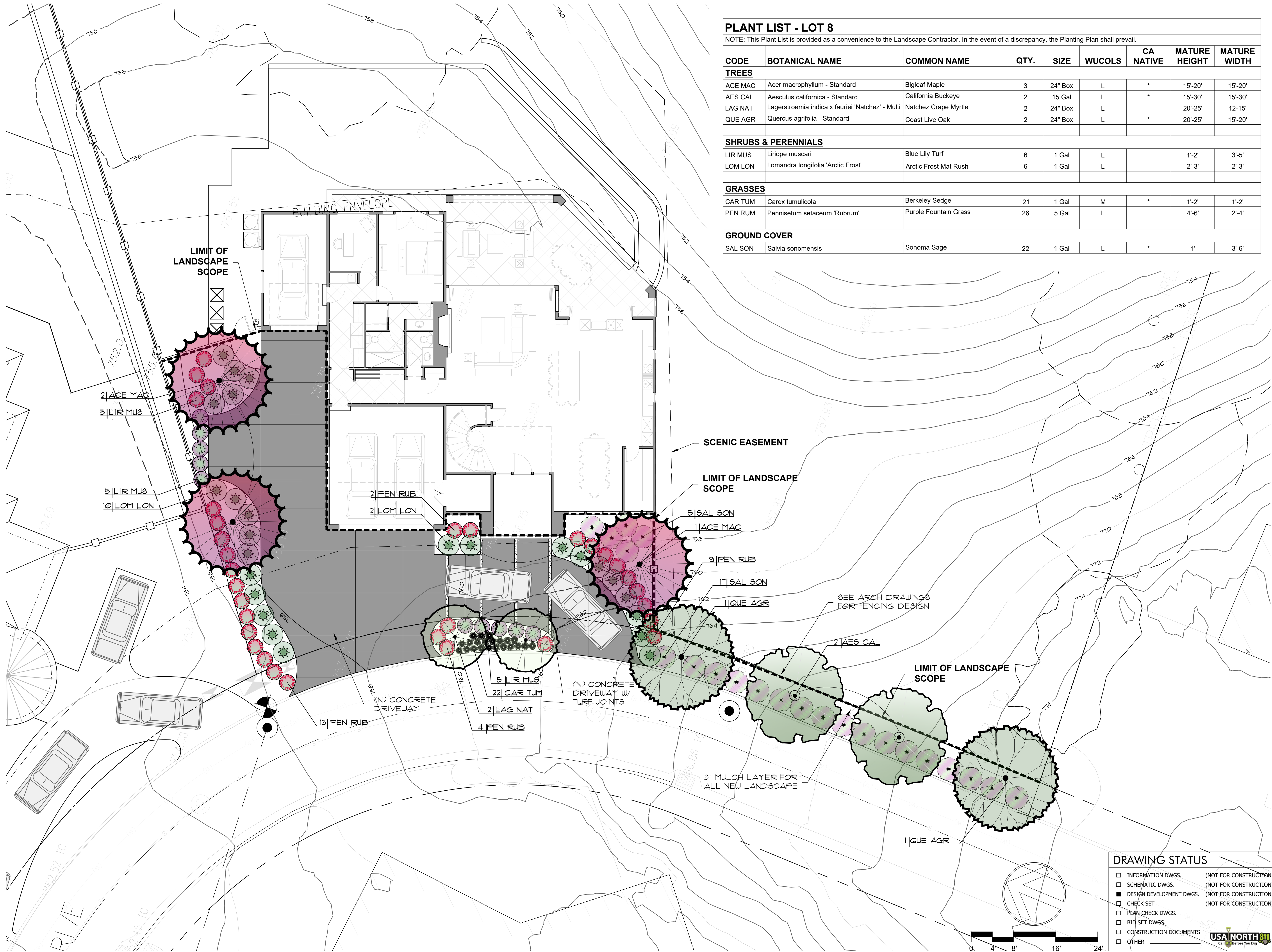
CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE



Date:
12/18/24
Scale:
1" = 20'
By:
EM
Job No.:
24205



TREES



Acer macrophyllum
Bigleaf Maple



Aesculus californica
California Buckeye



Lagerstroemia indica 'Natchez'
Natchez Crape Myrtle



Quercus agrifolia
Coast Live Oak

SHRUBS



Liriope muscari
Blue Lily Turf



Lomandra longifolia 'Arctic Frost'
Arctic Frost Mat Rush

GRASS



Carex tumulicola
Berkeley Sedge



Pennisetum setaceum 'Rubrum'
Purple Fountain Grass

GROUND COVER



Salvia sonomensis
Sonoma Sage

PLANT LIST - LOT 8								
NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.								
CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH
TREES								
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	3	24" Box	L	*	15'-20'	15'-20'
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'
LAG NAT	Lagerstroemia indica x fauriei 'Natchez' - Multi	Natchez Crape Myrtle	2	24" Box	L		20'-25'	12'-15'
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	2	24" Box	L	*	20'-25'	15'-20'
SHRUBS & PERENNIALS								
LIR MUS	Liriope muscari	Blue Lily Turf	6	1 Gal	L		1'-2'	3'-5'
LOM LON	Lomandra longifolia 'Arctic Frost'	Arctic Frost Mat Rush	6	1 Gal	L		2'-3'	2'-3'
GRASSES								
CAR TUM	Carex tumulicola	Berkeley Sedge	21	1 Gal	M	*	1'-2'	1'-2'
PEN RUM	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	26	5 Gal	L		4'-6'	2'-4'
GROUND COVER								
SAL SON	Salvia sonomensis	Sonoma Sage	22	1 Gal	L	*	1'	3'-6'

DRAWING STATUS	
<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



REVISIONS:

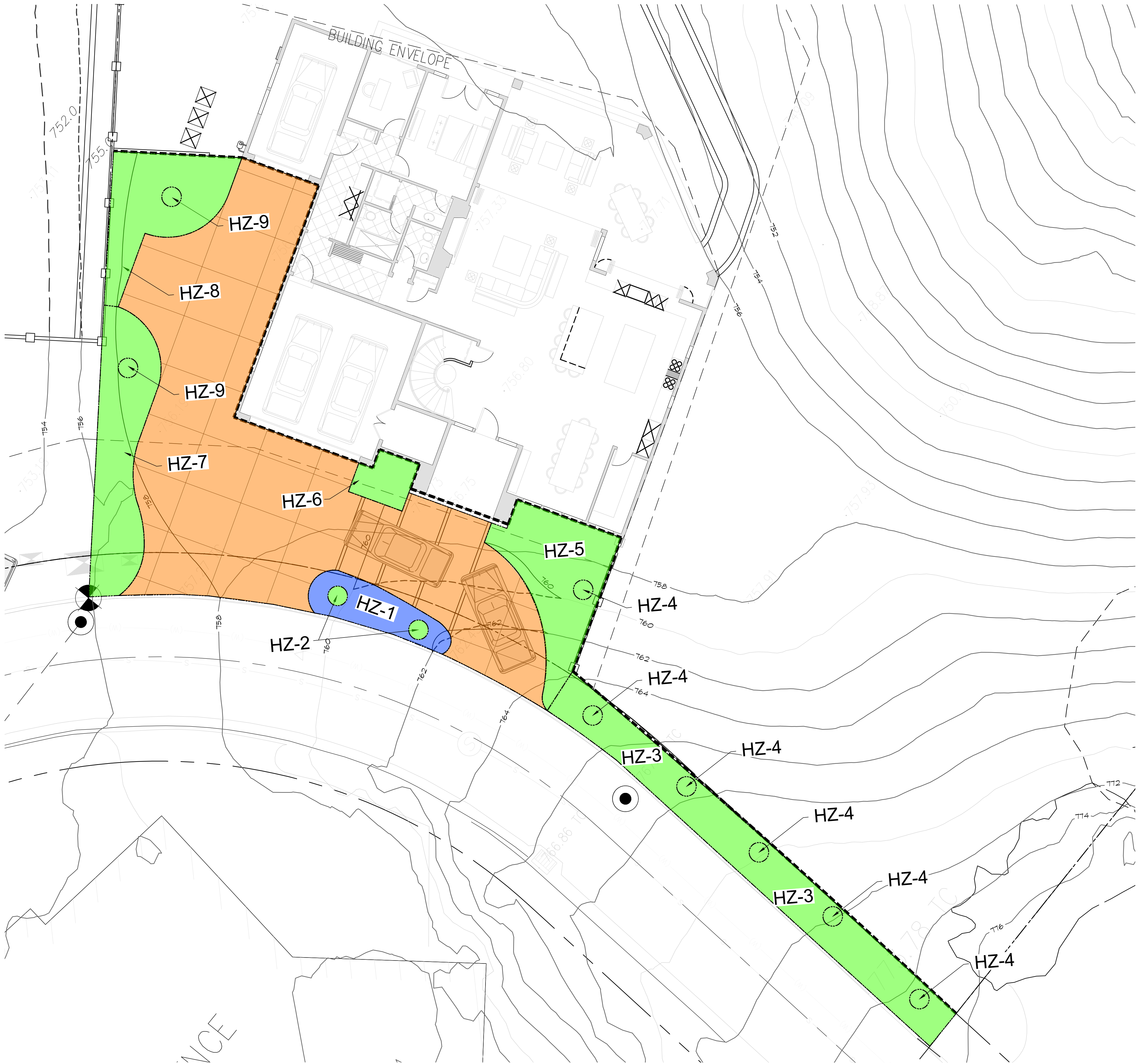
- 12/18/2024
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DATE: 09/24/24

SCALE: NO SCALE

JOB: 24-028

SHEET



HYDROZONE LEGEND

SYMBOL	DESCRIPTION
	Master Valve (Normally Open)
	Point of Connection
	Irrigation Controller
	Hydrozone Boundary / Callout

LANDSCAPE AREA *SUBJECT* TO MWEO

1,554 SF	SPECIAL LANDSCAPE AREA HYDROZONE (AREA OF THE LANDSCAPE DEDICATED SOLELY TO EDIBLE PLANTS)
0 SF	VERY LOW HYDROZONE (LOW WATER USE LANDSCAPE)
1,439 SF	LOW HYDROZONE (LOW WATER USE LANDSCAPE)
115 SF	MEDIUM HYDROZONE (MEDIUM WATER USE LANDSCAPE)
0 SF	HIGH HYDROZONE (HIGH WATER USE LANDSCAPE, POOLS, AND FOUNTAINS)
1,554 SF	TOTAL LANDSCAPE AREA SUBJECT TO MWEO

LANDSCAPE AREA *NOT SUBJECT* TO MWEO

2,020 SF	NON-IRRIGATED LANDSCAPE (DRIVEWAY, DECKS, ARTIFICIAL TURF, GRAVEL, DECOMPOSED GRANITE)
2,020 SF	TOTAL NON-IRRIGATED LANDSCAPE AREA
3,574 SF	TOTAL LANDSCAPE AREA

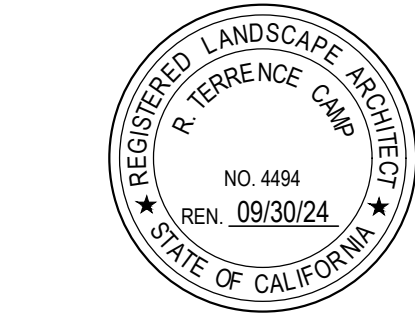
MWEO DOCUMENTATION
SEE SHEET L-4.1

IRRIGATION/MWEO NOTE:

THIS IS A PRELIMINARY HYDROZONE PLAN SHOWING WATER USE DISTRIBUTION. A FULLY AUTOMATIC, IRRIGATION SYSTEM DESIGN COMPLIANT WITH CITY OF MARTINEZ'S MWEO REQUIREMENTS WILL BE PROVIDED DURING BUILDING PERMIT APPLICATION

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the Irrigation Design Plan."
Signature:
R. Terrence Camp
Landscape Architect No. 4494

DRAWING STATUS	
<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	



REVISIONS:

- 12/18/2024
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-
-

DATE: 09/24/24

SCALE: 1/8" = 1' - 0"

JOB: 24-028

SHEET

LANDSCAPE DOCUMENTATION PACKAGE
CHECK LIST

- ✗

1. Water Efficient Landscape Worksheet
-Hydrozone Information Table
-ETWU & MAWA
- ✗

2. Landscape Design Plan
- ✗


3. Irrigation Design Plan
- ✗

4. Grading Plan - See Civil Plans
- ✗

5. Soil Management Report
- ✗

6. Certificate of Compliance
7. Certificate of Completion
(Upon approval of Landscape Documentation Package by the local agency,
the project applicant shall:
(1) Receive a permit or approval of the plan check or design review and record
the date of the permit in the Certificate of Completion.
(2) Submit a copy of the approved Landscape Documentation Package along
with the record drawings and any other information to the property owner or
his/her designee.
(3) Submit a copy of the Water Efficient Landscape Worksheet to the local
water purveyor.

"I agree to comply with the requirements of the Water Efficient
Landscape Ordinance and submit a complete Landscape
Documentation Package."

Signature: 

R. Terrence Camp
Landscape Architect No. 4494

WATER EFFICIENT LANDSCAPE WORKSHEET							
Project Name:		438 Legacy Dr, Lot 8 - Alamo, CA					
Reference Evapotranspiration (Eto)			49.4				
Hydrozone#	Plant	Irrigation	Irrigation	ETAF	Landscape	ETAF x Area	Estimated
/Planting	Factor (PF)	Method	Efficiency	(PF/IE)	Area (sf)		Total Water
Description			(IE)				Use (ETWU)
Regular Landscape Areas							
#1	0.50	Drip	0.81	0.62	115.00	70.99	2,174.21
#2	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81
#3	0.30	Drip	0.81	0.37	463.00	171.48	5,252.13
#4	0.30	Bubbler	0.81	0.37	42.00	15.56	476.44
#5	0.30	Drip	0.81	0.37	280.00	103.70	3,176.24
#6	0.30	Drip	0.81	0.37	60.00	22.22	680.62
#7	0.30	Drip	0.81	0.37	314.00	116.30	3,561.92
#8	0.30	Drip	0.81	0.37	252.00	93.33	2,858.61
#9	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81
				Totals	1,554.00	603.95	18,497.80
Special Landscape Areas							
				Totals	0.00	0.00	0.00
						EWU TOTAL	18,497.80
				Maximum Allowed Water Allowance (MAWA)			26,177.75
ETAF Calculations					MAWA (Annual Gallons Allowed) =		
Regular Landscape Areas					(Eto x 0.62) ((ETAF x LA) + ((1-ETAF) x SLA))		
Total ETAF x Area	603.95				ETAF for residential = 0.55		
Total Area	1,554.00				ETAF for non-residential = 0.45		
Average ETAF	0.39		PASS				
			Average ETAF for Regular Landscape Areas				
All Landscape Areas					must be 0.55 or below for residential areas		
Total ETAF x Area	603.95				and 0.45 or below for non-residential areas		
Total Area	1,554.00						
Sitewide ETAF	0.39		PASS				

PROJECT INFORMATION
DATE: 12.18.2024
PROJECT APPLICANT: Clyde-Miles Const
PROJECT ADDRESS: 438 Legacy Dr - Lot 8 Alamo, CA
TOTAL LANDSCAPE AREA: 3,574 sf
TOTAL IRRIGATED AREA: 1,554 sf
PROJECT TYPE: PRIVATE
WATER SUPPLY: Potable, EBMUD

"A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

IRRIGATION NOTES

1. Irrigation equipment may be shown within hardscape for graphic clarity only. Install all irrigation equipment within planted areas. Irrigation pipe and wire crossing beneath hardscape surfaces shall be contained within sleeving or schedule 40 pvc conduit. Sleeving size shall be a minimum of two times the aggregate diameter of all pipes contained within sleeve. Provide vertical sweep for all electrical conduit on each side of hardscape and terminate ends at 12" minimum depth and 12" from hardscape surface.
2. Unsized lateral line piping located down stream of 1" piping shall be 1" in size (Typical).
3. Planting is not to start until the irrigation system is fully operational and the hydrostatic pressure test, coverage review, and grading review is completed and approved by the City Engineer.
2. Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in area dimensions exist that might not have been considered in the engineering. such obstructions or differences shall be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revision necessary.
3. It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, etc. he shall coordinate his work with the general contractor and other sub-consultants for the location of pipe sleeves through walls and under roadways, paving, structures, etc.
4. The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and/or buildings as much as possible. this shall include selecting the best degree of arc to fit the existing site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure for each system.
5. Notify Architect of any aspect of the layout that will provide incomplete or insufficient water coverage of plant material and do not proceed until instructions are obtained.
6. Install valve boxes 12' from and perpendicular to walk, curb, lawn, building or landscape feature. at multiple valve groups, each box shall be an equal distance from the walk, curb, lawn, etc. and each box shall be 12' apart. short side of valve box shall be parallel to walk, curb, lawn, etc.
8. Provide installation by persons familiar with irrigation work and under the supervision of a qualified supervisor.
9. Obtain the permits required and provide labor and materials necessary to fully complete the work in accordance with the drawings and the specifications.
10. Locate and protect new and existing utilities prior to excavation.
11. Do not damage existing utilities, paving or structures. provide the necessary repairs at no additional cost to the city.
12. Remove debris and accumulation of debris as a result of irrigation construction from the site and leave area in a clean condition acceptable to the city engineer.
13. Maintain site for calendar days as specified, following acceptance of work by the city and make corrections or repairs to the irrigation as directed by the City Engineer at the completion of the maintenance period.
14. The drawings are diagrammatic. equipment shown in paving is for clarity only - install in planting areas where possible. Due to the scale of the drawings, all offsets, fittings, sleeves, etc. which may be required are not indicated. Investigate the structural and finished conditions affecting the contract work including obstructions, grade differences or area differences which may have not been considered in the engineering. Where field changes exist, coordinate the installation work accordingly by notification and approval of the the city engineer as per the contract specifications. Coordinate irrigation contract work with all applicable contractors for the location and installation of pipe, conduit, or sleeves of pipe, conduit or sleeves through or under walls, roadways, paving, structure, etc. before construction. assume full responsibility for required revisions if these notifications are not performed.
15. Plastic valve boxes are to be green in color with bolt down, non-hinged cover marked "Irrigation". box body shall have knock outs, manufacturer: carson or approved equal. Valve numbers are to be branded on valve box lid or each valve shall have a valve tag.
16. Flush and adjust sprinkler heads for efficient performance. prevent overspray on the walks, roadways, signs, lights, and/or buildings. select the best degree of arc to fit the existing site conditions and throttle the flow control or pressure regulation device at each valve to obtain the best operating pressure for each system.
17. Compost incorporated at a rate of 4 cubic yards per 1,000 SF into the top 6 inches of soil or compost per horticultural soil report recommendations.
18. All planting areas shall be top-dressed with 3" layer of chipped mulch.
19. Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
20. Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
21. Irrigation system is designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas.
22. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
23. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, the designer of the irrigation plans, or the licensed landscape contractor for the project.
24. An irrigation audit report shall be completed at the time of final inspection. A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit.
25. A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

DRAWING STATUS

- ☐ INFORMATION DWGS.

(NOT FOR CONSTRUCTION)
- ☐ SCHEMATIC DWGS.

(NOT FOR CONSTRUCTION)
- ☒ DESIGN DEVELOPMENT DWGS.

(NOT FOR CONSTRUCTION)
- ☐ CHECK SET

(NOT FOR CONSTRUCTION)
- ☐ PLAN CHECK DWGS.
- ☐ BID SET DWGS.
- ☐ CONSTRUCTION DOCUMENTS
- ☐ OTHER



Call Before You Dig



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597

P. (925) 941-6490
EMAIL: tc@campandcamp.com

Clyde-Miles Const -Lot 8
438 Legacy Dr
Alamo, CA 94507
(APN: 193-010-030)

LANDSCAPE
DOCUMENTATION
PACKAGE



REVISIONS:

- 12/18/2024
-
-
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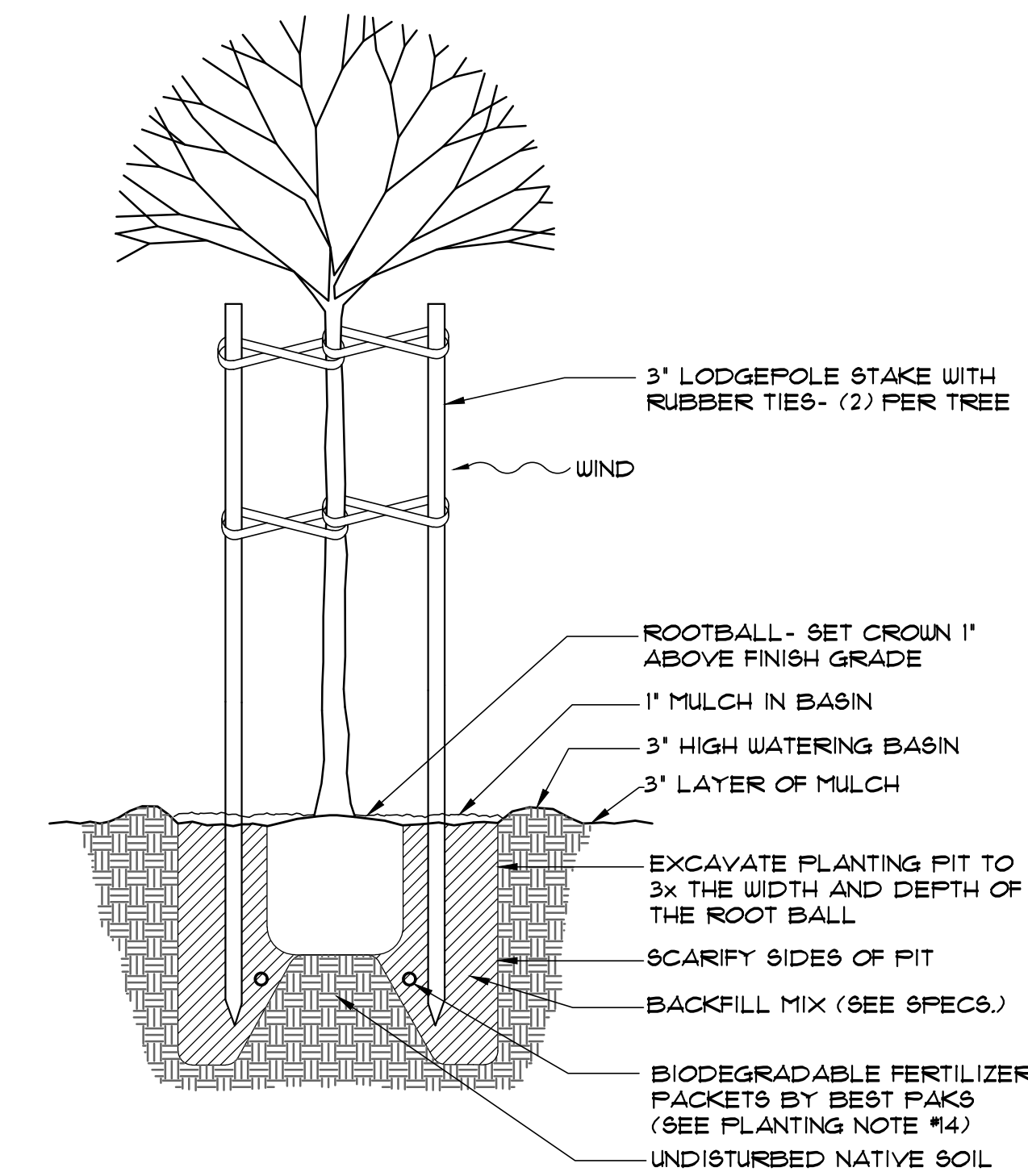
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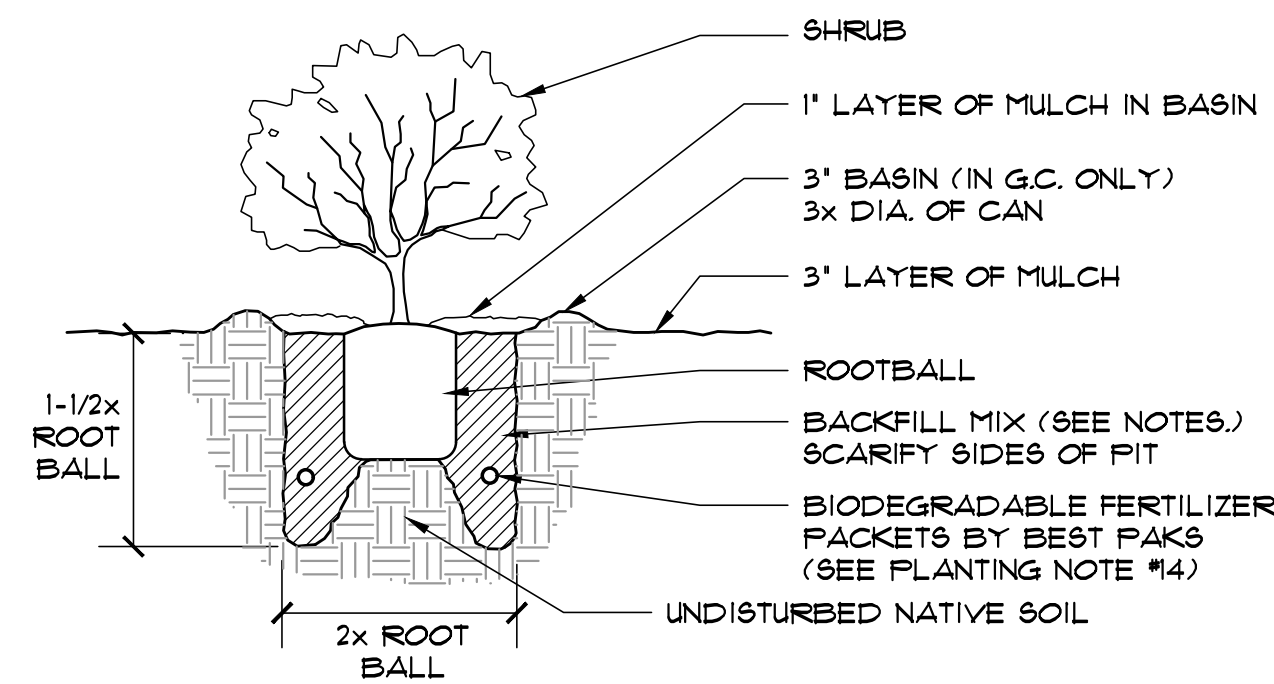
JOB: 24-028

SHEET

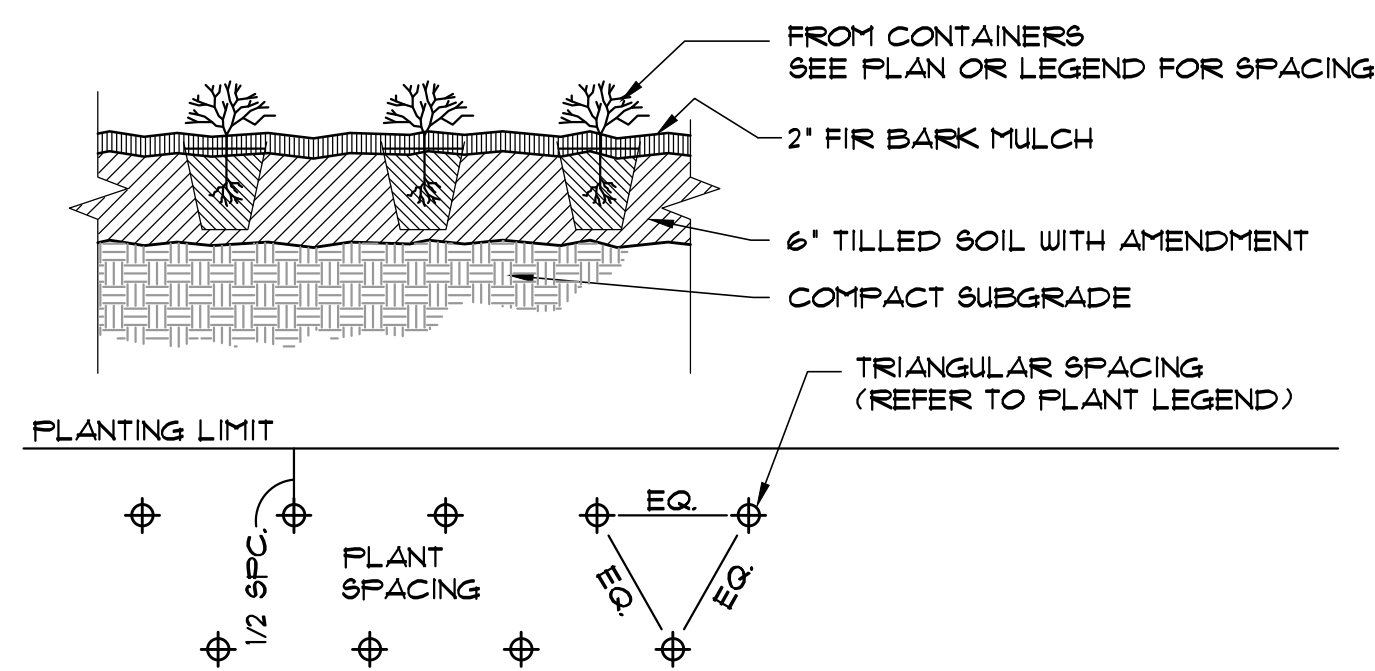
L-2.1



1 TREE STAKING
SCALE: 3/4"=1'



2 SHRUB PLANTING
SCALE 3/4"=1'



3 GROUNDCOVER PLANTING
SCALE 3/4"=1'

PLANTING NOTES

- Plant material locations are diagrammatic and may be subject to change by the landscape architect before the maintenance period begins.
- All trees to be staked as shown in the tree planting detail.
- Contractor shall ensure trees do not conflict with existing utilities.
- If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with work.
- All plants will be inspected for acceptable form and condition by Landscape Architect. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.
- All planting work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.
- Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.
- The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.
- Prior to commencement of planting procedures, soil must be inspected for the following:
 - Rough Grading: such that all stones over 1" diameter and pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
 - Amendment: amendments have been incorporated into the soil per the soils test.
 - Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal.
- All asphalt, base course and other debris are to be removed completely below planting areas. Contractor is responsible for supplying top soil as necessary for all planting areas.
- It shall be the Landscape Contractor's responsibility to provide adequate drainage of all plantings, sufficient to insure healthy growth.
- After planting has been approved by Landscape Architect, all plant tags are to be removed.
- Dig planting pits 3 times the width of tree rootball and 2 times the width of shrub root ball. Backfill pits with 10% native on-site soil and 30% nitrolized shavings or equivalent.

Backfill:
10% native soil by volume
30% nitrolized shavings or equivalent
16 lbs. gro-power plus, per cubic yard mix
*other amendments per soil analysis
grow-power planting tablets
- An automatic irrigation system is to be provided to water all planting areas which shall comply with MUELCO. Landscape Contractor is to provide adequate coverage for all indicated planting areas prior to plant installation.
- Compost incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped wood mulch.

DRAWING STATUS

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



PLANTING DETAILS & NOTES



REVISIONS:

- 12/18/2024
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- .
- .
- .

DATE: 09/24/24

SCALE: AS SHOWN

JOB: 24-028

SHEET

L-3.0