



CONTRA COSTA COUNTY

AGENDA - PUBLISHED

Alamo Municipal Advisory Council

Tuesday, February 3, 2026

6:00 PM

Alamo Women's Club - 1401 Danville Blvd., Alamo

Chair Michaela Straznicka, Vice Chair Sharon Burke, Anne Struthers, Cecily Barclay, Robert Brannan, Michelle Parkinson, Michael Sene, Alternate

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Call to Order - Pledge of Allegiance - Roll Call
2. District II Board of Supervisors Staff
3. Presentations - EBMUD Board President Luz Gomez **26-366**
4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
5. CDVR25-01066 - 926 Forest Lane, Alamo **26-367**
Attachments: CDVR25-01066 ACR
6. CDVR25-01065 - 137 Dean Road, Alamo **26-371**
Attachments: CDVR25-01065 ACR
7. CDVR25-01069 - 194 Smith Road, Alamo **26-372**
Attachments: CDVR25-01069 - Agency Comment Request
8. CDSD26-09736 - 3240 Stone Valley Road West **26-373**
Attachments: Agency Comment Request Packet_CDSD26-09736
9. Expansion of Committee Oversight for Community Safety **26-374**
10. Subcommittee Reports **26-375**
11. Future Presentations **26-376**

The next meeting is currently scheduled for Tuesday, March 3rd at 6:00pm at the Alamo Women's Club.

Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours.

For Additional Information Contact: Cameron Collins at Cameron.Collins@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-366

Agenda Date: 2/3/2026

Agenda #: 3.

Advisory Board: Alamo Municipal Advisory Council

Subject: Presentation by EBMUD

Presenter: Luz Gomez, EBMUD Board President

Information:

East Bay Municipal Utility District (EBMUD) is a public agency based in Oakland that provides essential water and wastewater services to communities on the eastern side of the San Francisco Bay. It serves a broad area spanning 332 square miles across Alameda and Contra Costa counties.

EBMUD supplies high-quality treated drinking water to roughly 1.4 million people.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-367

Agenda Date: 2/3/2026

Agenda #: 5.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01066 - 926 Forest Lane, Alamo

Contact: Allison Seoane, Allison.Seoane@dcd.cccounty.us <mailto:Allison.Seoane@dcd.cccounty.us>

Information:

CDVR25-01066 - The applicant requests approval of a Variance to allow for a 25' side yard aggregate setback (where 35' is the required minimum) and for a residential addition and a small lot design review for a 138 sf addition and a 715 sf outdoor covered patio on a lot of substandard area. The address is 926 Forest Lane, Alamo.

Referral History and Update:

The project planner will be recommending approval of this application.



AGENCY COMMENT REQUEST

Date 12/17/2025

We request your comments regarding the attached application currently under review.

<p>DISTRIBUTION</p> <p>INTERNAL</p> <p><input checked="" type="checkbox"/> Building Inspection Grading Inspection</p> <p>Advance Planning Housing Programs</p> <p>Trans. Planning Telecom Planner</p> <p>ALUC Staff HCP/NCCP Staff</p> <p>County Geologist</p> <p>HEALTH SERVICES DEPARTMENT</p> <p>Environmental Health Hazardous Materials</p> <p>PUBLIC WORKS DEPARTMENT</p> <p>Engineering Services Special Districts</p> <p>Traffic</p> <p>Flood Control (Full-size)</p> <p>LOCAL</p> <p><input checked="" type="checkbox"/> Fire District _____ <input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov Consolidated – (email) fire@cccfpd.org</p> <p><input checked="" type="checkbox"/> Sanitary District <u>Central San</u></p> <p><input checked="" type="checkbox"/> Water District <u>EBMUD</u></p> <p>City of _____</p> <p>School District(s) _____</p> <p>LAFCO</p> <p>Reclamation District # _____</p> <p>East Bay Regional Park District</p> <p>Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>Alamo</u></p> <p><input checked="" type="checkbox"/> Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email) _____</p> <p>OTHERS/NON-LOCAL</p> <p>CHRIS (email only: nwic@sonoma.edu)</p> <p>CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>Native American Tribes</p> <p>ADDITIONAL RECIPIENTS</p> <p>AIA, _____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Allison Seoane</u></p> <p>Phone # <u>925-655-2871</u></p> <p>E-mail <u>allison.seoane@dcd.cccounty.us</u></p> <p>County File # <u>CDVR25-01066</u></p> <p>Prior to <u>01/16/2026</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Landslide</td> <td style="width: 50%;">Active Fault Zone (A-P)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Liquefaction</td> <td>Flood Hazard Area</td> </tr> <tr> <td><input checked="" type="checkbox"/> 60-dBA Noise Control</td> <td>CA EPA Hazardous Waste Site</td> </tr> <tr> <td colspan="2" style="text-align: center;">High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">* * * * *</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: None Below Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	Landslide	Active Fault Zone (A-P)	<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area	<input checked="" type="checkbox"/> 60-dBA Noise Control	CA EPA Hazardous Waste Site	High or Very High FHSZ	
Landslide	Active Fault Zone (A-P)								
<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area								
<input checked="" type="checkbox"/> 60-dBA Noise Control	CA EPA Hazardous Waste Site								
High or Very High FHSZ									



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01066

File Date: 12/16/2025

Applicant:

JUSTIN B & KRIS POTTER JUSTIN B justin.potter21@gmail.com
& KRISTA L TRE (817) 480-7434
926 FOREST LN
ALAMO, CA 94507 242

Property Owner:

JUSTIN B & KRIS POTTER justin.potter21@gmail.com
926 FOREST LN (817) 480-7434
ALAMO, CA 94507 242

Project Description:

The applicant requests approval of a Variance to allow for a 25' side yard aggregate setback (where 35' is the required minimum) and for a residential addition and a small lot design review for a 138 sf addition and a 715 sf outdoor covered patio on a lot of substandard area.

Project Location: (Address: 926 FOREST LN, ALAMO, CA 94507 242), (APN: 201061005)

Additional APNs:

General Plan Designation(s): RL

Zoning District(s): R-20

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
		Total:	3412.00	3412.00

RECEIVED on 12/16/2025 CDVR25-01066
By Contra Costa County
Department of Conservation and Development

NOTE:
GC TO MAINTAIN ADJOINING STREETS FREE AND
CLEAN OF PROJECT DIRT, MUD, MATERIAL AND
DEBRIS DURING CONSTRUCTION PERIOD, AND
MAINTAIN FIRE TRUCK ACCESS TO OTHER
PROPERTIES.

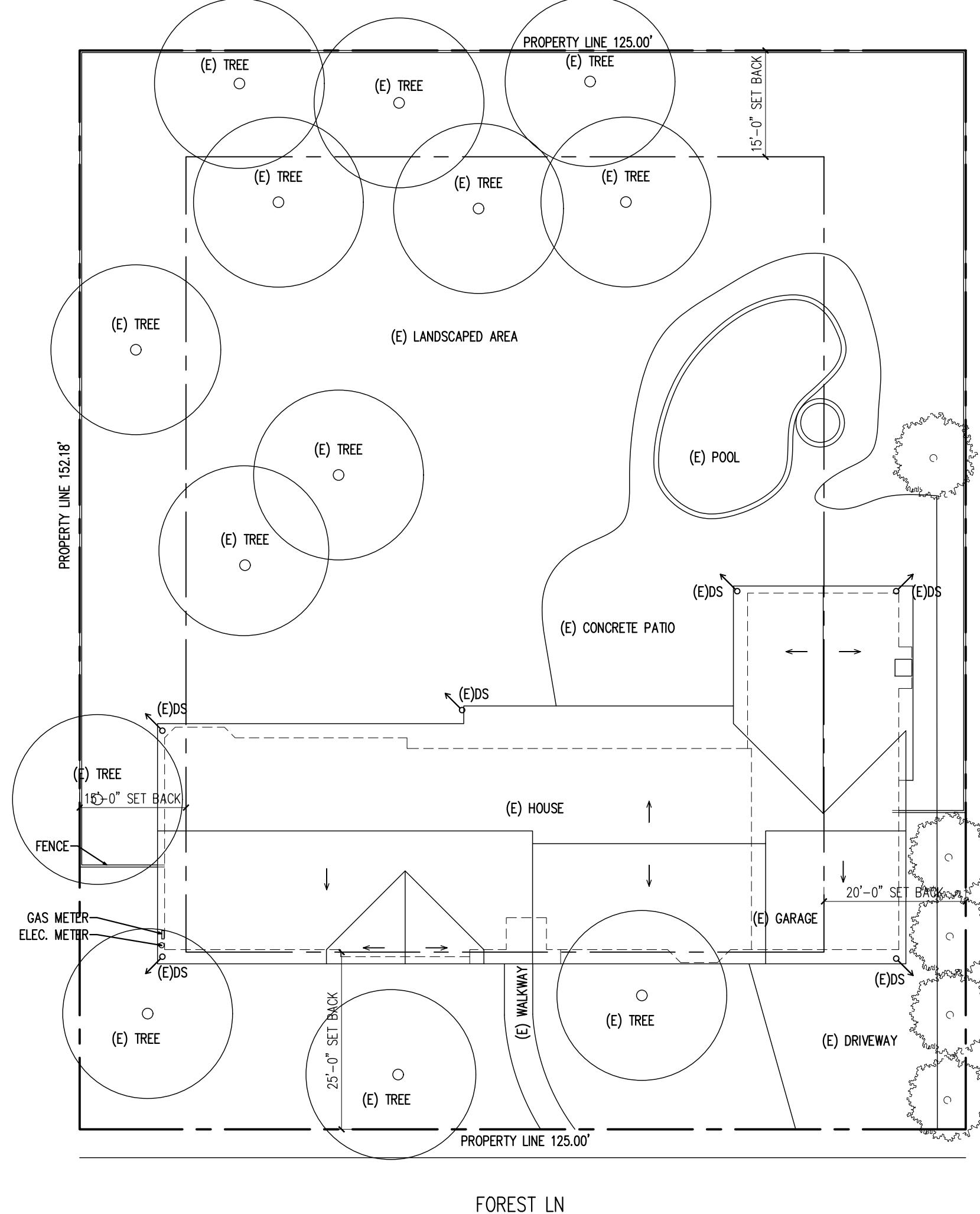
GC TO INSTALL STRAW WATTLE AS NEEDED DURING
CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT
SITES, AND PUBLIC RIGHT OF WAY.

(E) DS TO REMAIN, INSTALL (N) SPLASH PAN AS
NEEDED.

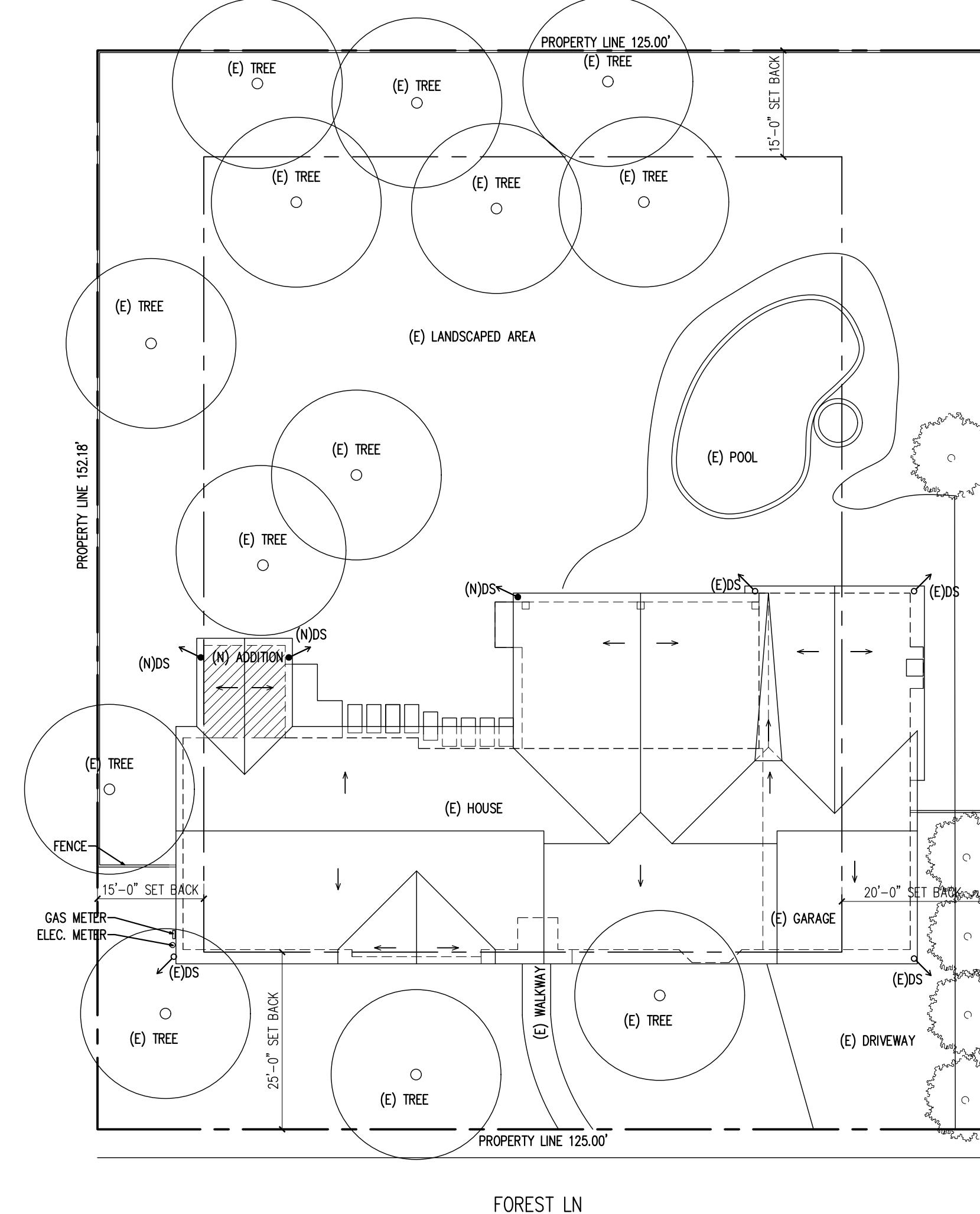
(N) DS TO CONNECT TO (E) DRAIN SYSTEM W/ 4"
PVC AS NEEDED, OR TO STOP ABOVE A SPLASH
PAN.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO
LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND
NOT INTO ADJACENT PROPERTIES.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE
PROJECT, AT THE TIME OF FOUNDATION INSPECTION
WHEN REQUIRED BY CITY INSPECTOR OR PART OF
PERMITTING APPROVAL REQUIREMENTS, CORNER
STAKES OR OFFSET STAKES MUST BE ESTABLISHED
BY A LAND SURVEYOR REGISTERED IN THE STATE
OF CALIFORNIA AND VERIFIED BY THE FIELD
INSPECTOR, TO ENSURE THAT NEW STRUCTURE
CONSTRUCTION IS LOCATED IN ACCORDANCE WITH
THE APPROVED PLANS, AND DOES NOT ENTRANCE
IN THE SETBACK.



1 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

CONTRACTOR'S NOTES:

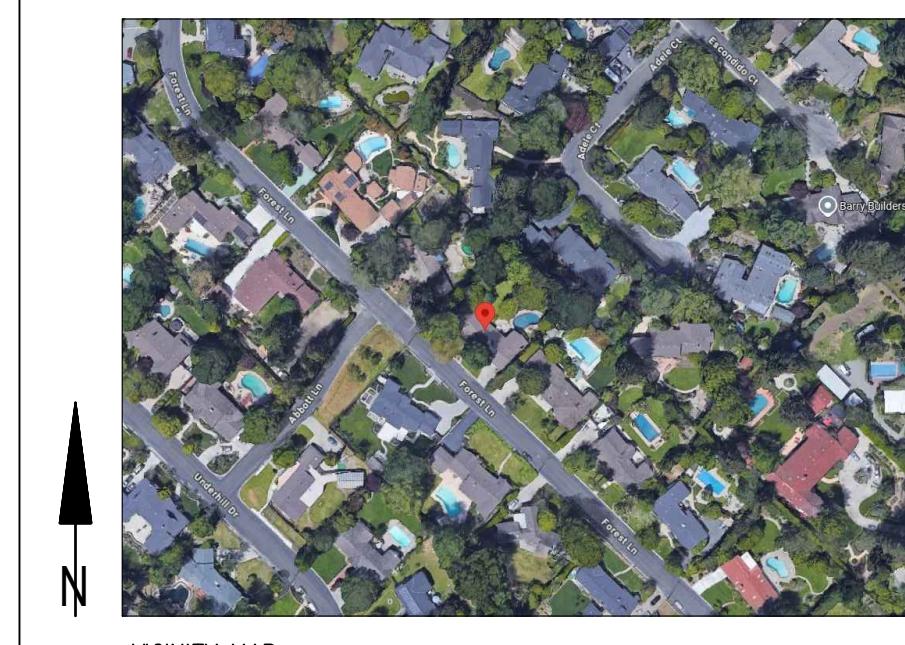
- CONTRACTOR SHALL BE FULLY INSURED AND
LICENCED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR
SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS,
SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING
CONDITIONS ARE VERIFIED IN THE FIELD BY THE
GENERAL CONTRACTOR. THE GC SHALL INFORM THE
ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE
CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN
ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS
GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT
GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE
OWNER AND THE ARCHITECT OF RECORD OF ANY
CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM
THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND
NOTED CONFLICTS FOUND ON THE PLANS OR SHOW
ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF
THE PROJECT, BEFORE SUCH WORK COMMENCES.

- THE GC SHALL REVIEW AND COMPARE THE
STRUCTURAL DRAWINGS WITH ARCHITECTURAL,
PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL
DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD
PRIOR TO POURING CONCRETE; ANY DISCREPANCIES
SHALL BE CALLED TO THE ATTENTION OF THE
ARCHITECT OF RECORD BEFORE PROCEEDING WITH
WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING
EXISTING AND NEW PROPERTIES OF THE OWNER OR
ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT
UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION
FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
MEANS, METHODS, TECHNIQUES AND SEQUENCES OF
CONSTRUCTION. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR ALL SAFETY PROGRAMS AND
PROCEDURES DURING CONSTRUCTION, INCLUDED BUT
NOT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN
AND IMPLEMENT SHORING SYSTEM PRIOR TO THE

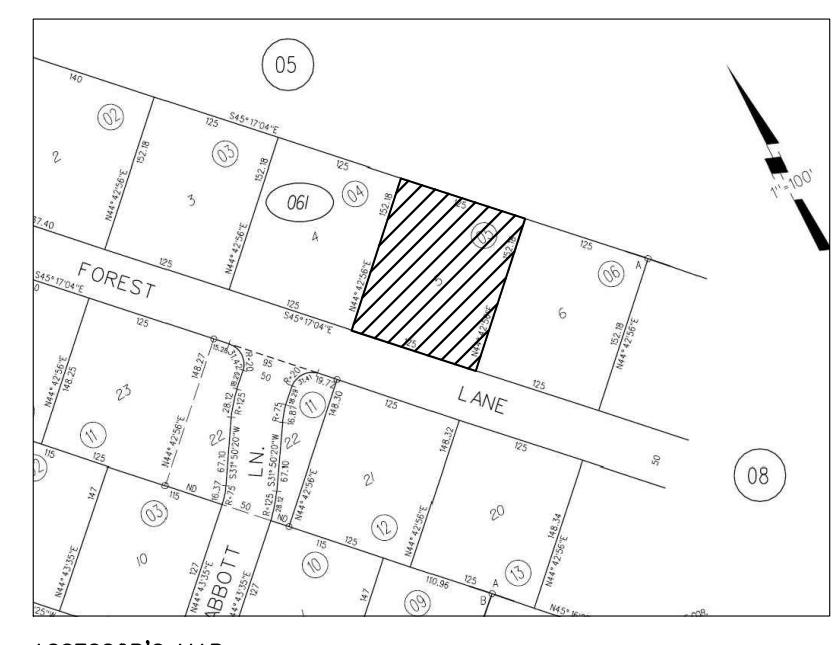
BEGINNING OF CONSTRUCTION.
- WHEN A CONFLICT EXISTS ON THE PLANS AND
SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL
GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER
SCALED MEASUREMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD
PRIOR TO POURING CONCRETE; ANY DISCREPANCIES
SHALL BE CALLED TO THE ATTENTION OF THE
ARCHITECT OF RECORD BEFORE PROCEEDING WITH
WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING
EXISTING AND NEW PROPERTIES OF THE OWNER OR
ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT
UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION
FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
MEANS, METHODS, TECHNIQUES AND SEQUENCES OF
CONSTRUCTION. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR ALL SAFETY PROGRAMS AND
PROCEDURES DURING CONSTRUCTION, INCLUDED BUT
NOT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN
AND IMPLEMENT SHORING SYSTEM PRIOR TO THE

REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE
GENERAL CONTRACTOR FOR THE PROJECT SHALL BE
ULTIMATELY RESPONSIBLE FOR INSURING THAT THE
FINISHED BUILD COMPLIES WITH ALL LOCAL, STATE AND
FEDERAL REGULATIONS, LAWS AND CODE REQUIREMENTS.
- WHEN MANUFACTURED ROOF TRUSSES ARE
INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY
ENGINEER OF RECORD FOR APPROVAL BY CITY OR
COUNTY. CALC TO BE REVIEWED AND APPROVED BY
BUILDING OFFICIAL PRIOR TO BE SUBMITTED TO THE
BUILDING OFFICIAL.
- THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE
MARSHALL WILL REVIEW THE SCOPE OF WORK AND
DETERMINE IF THE EXISTING BUILDING MILL NEED TO BE
REMOVED OR RETROFITTED WITH FIRE SUPPRESSION
SYSTEMS. GC TO CONTACT FIRE DEPARTMENT FOR
VERIFICATION, AND UPGRADE WATER METER LINES AS
NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO
BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.
GC TO READ, BE FAMILIAR AND FOLLOW ALL
STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES
AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE
CODES AND ORDINANCE.

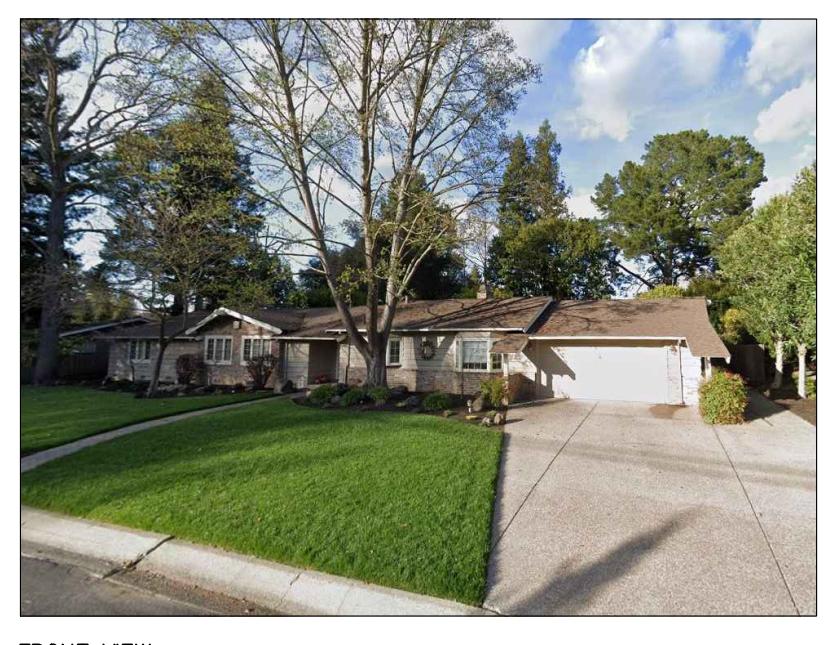
926 FOREST LN, ALAMO, CA 94507



VICINITY MAP



ASSESSOR'S MAP



FRONT VIEW

GENERAL SYMBOLS	
→	ALL DIMENSIONS
—	(E) WALL
---	REMOVED WALL
▨	(N) WALL
—	SHEAR WALL

APPLICABLE CODES & STANDARDS	
CITY / COUNTY CODES AND ORDINANCES	
CALIFORNIA BUILDING CODE 2022	
CALIFORNIA CODE 2022	
CALIFORNIA PLUMBING CODE 2022	
CALIFORNIA MECHANICAL CODE 2022	
CALIFORNIA ELECTRICAL CODE 2022	
CALIFORNIA GREEN BUILDING CODE 2022	
CALIFORNIA ENERGY CODE 2022	
CALIFORNIA FIRE CODE 2022	
2022 EDITION OF THE TITLE 24 STANDARDS	

ARCHITECT:	
ROMAIN CURTIS	LICENSE #C35019
POLYGON DESIGN STUDIO	367 CIVIC DR #3, PLEASANT HILL, CA94523
510.612.0345	romain@polygondesignstudio.com

OWNER:	
GITA JACOBSON	926 FOREST LN ALAMO

PROJECT DATA	
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	NO
STORIES:	1
APN:	201-061-005
FLOOD ZONE:	X
ZONING:	R-20
NET SITE AREA:	19,022 SF
(E) FLOOR:	3,070 SF
(E) GARAGE:	417 SF
(E) PORCH:	25 SF
(E) FOOT PRINT:	3,512 SF
(E) TOTAL CONDITIONED SPACE:	3,070 SF
(E) LOT COVERAGE:	18.46%
(E) FAR:	16.31%
(N) ADDITION:	138 SF
(N) COVERED PATIO:	715 SF
(N) TOTAL CONDITIONED SPACE:	3,208 SF
(N) TOTAL FOOT PRINT:	4,365 SF
(N) LOT COVERAGE:	22.94%
(N) FAR:	16.86%

SCOPE OF WORK	
NEW 138 SF ADDITION AND REMODEL TO AN EXISTING FULLY-DETACHED SINGLE FAMILY RESIDENCE, INCLUDING A NEW OFFICE SPACE TO THE (E) MASTER BEDROOM AND A NEW 715 SF OUTDOOR COVERED PATIO ADDITION.	
NO CHANGE TO PARKING	
NO CHANGE TO IMPERVIOUS AREA	
NO CHANGE TO DRAINAGE	

SHEET INDEX	
A1	SITE PLAN - PROJECT DATA
A2a	EXISTING/ DEMOLITION PLAN
A2b	EXISTING ELEVATIONS
A3	PROPOSED/ ELECTRICAL PLAN
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTION, ROOF, VENT CALC.
A6	DETAILS
GN1	GENERAL NOTES
GN2	MANDATORY MEASURES
GN3	MANDATORY MEASURES
GN4	CALGREEN FORMS
GN5	POLLUTION PREVENTION PLAN
EN1	TITLE 24
EN2	TITLE 24
SUR	SURVEY
S-1	STRUCTURAL NOTES
S-1.1	STRUCTURAL NOTES
S-2	FOUNDATION, RAISED FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD1	Typical DETAILS
SD1.1	Typical FRAMING DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
SD3.1	STRUCTURAL DETAILS
SD4	STRUCTURAL DETAILS
SD4.1	STRUCTURAL DETAILS
SD5	STRONG WALL DETAILS
SD6	STRONG WALL DETAILS

DRAWN BY	PLG
CHECKED BY	PLG

ISSUE DATE	01/30/2025
SCALE	1/8"=1'-0"

JOB NO	AR-201
NOTE SHEET	

A-1

REVISIONS

1
2
3
4
5

LICENCED ARCHITECT
ROMAIN CURTIS
C-35019
REN 12/12/2024
STATE OF CALIFORNIA

ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3, PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

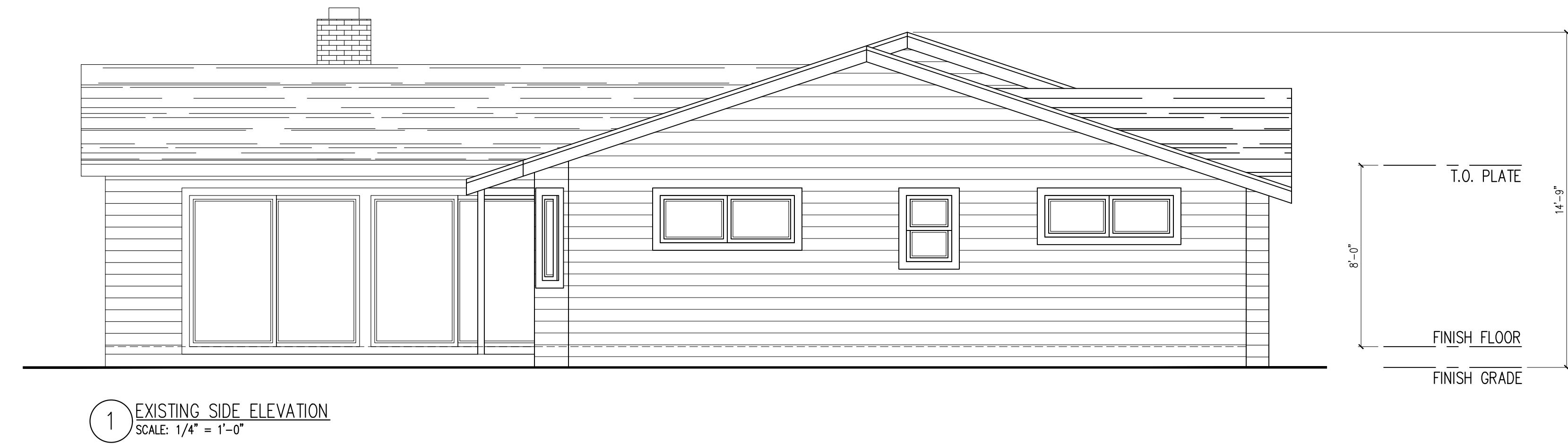
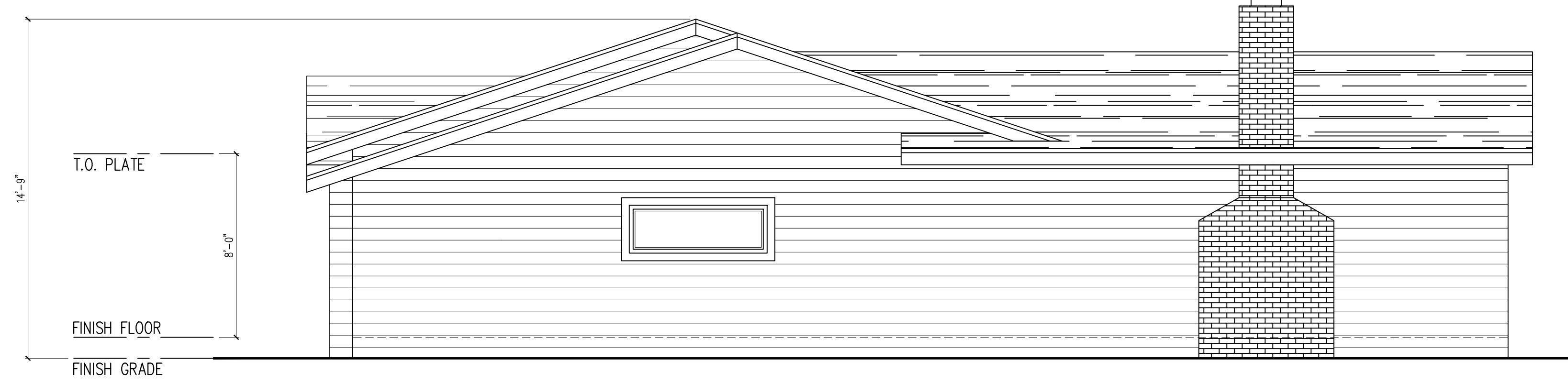
1
2
3
4
5



ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3,
PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL 926 FOREST LN, ALAMO, CA 94507

EXISTING ELEVATIONS



0' 5' 10' 15' 20' 25'

1
2
3
4
5

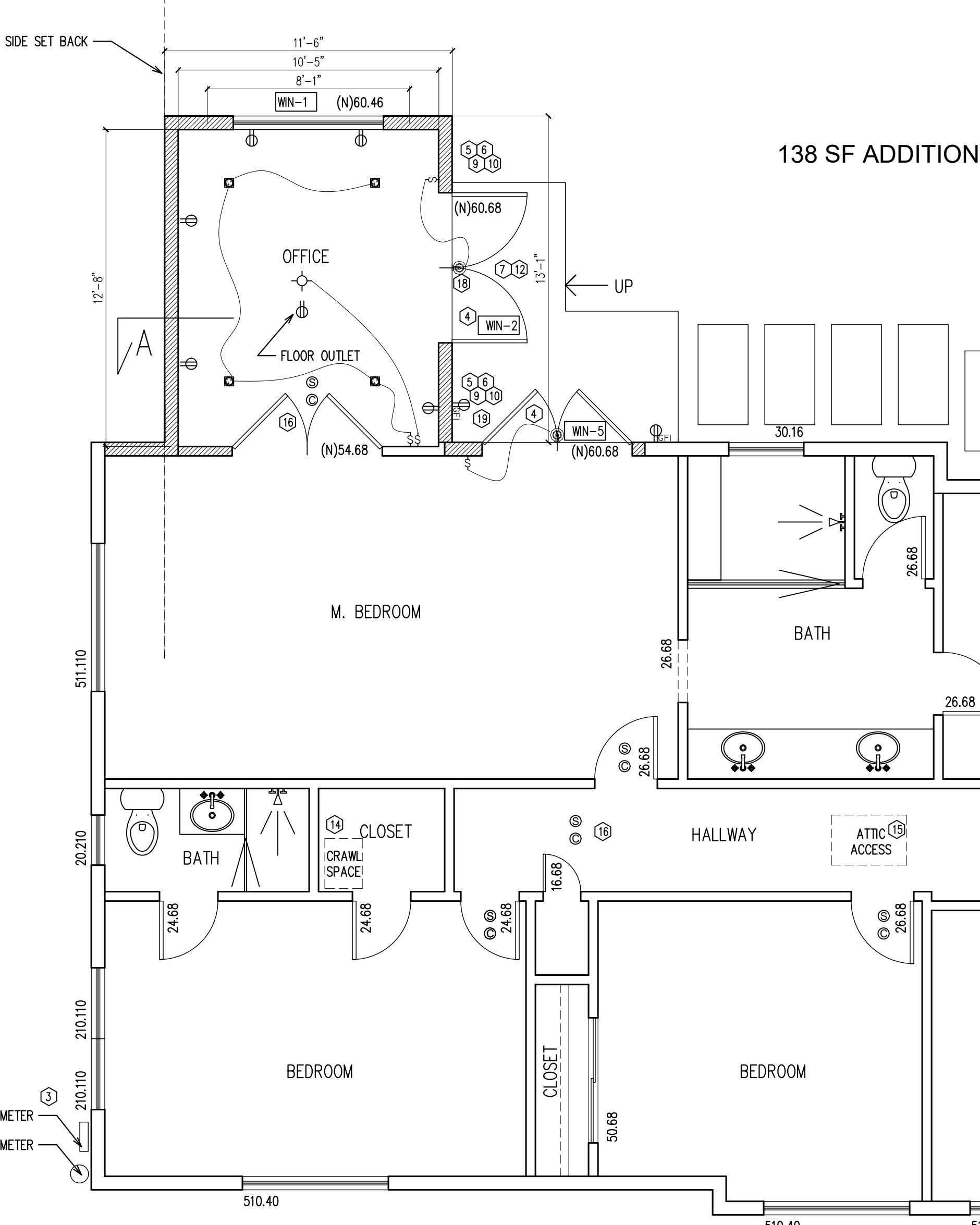


ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3,
PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL 926 FOREST LN, ALAMO, CA 94507

PROPOSED/ ELECTRICAL PLAN

ID	ROOM	TYP	FRAME	QTY	WDT	HEIGHT	GLAZING
1	OFFICE	SLIDER	FIBERGLASS	1	6'-0	4'-6	CLR
2	OFFICE	FRENCH DOOR	FIBERGLASS	1	6'-0	6'-8	CLR TEMPERED
3	GREAT ROOM	FIX	FIBERGLASS	2	3'-0	6'-0	CLR TEMPERED
4	GREAT ROOM	FOLDING DOOR	FIBERGLASS	1	15'-0	7'-0	CLR TEMPERED
5	M. BEDROOM	FRENCH DOOR	FIBERGLASS	1	6'-0	6'-8	CLR TEMPERED



1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

TIMBER FRAMING:
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR GRADE
WITH 160 NAILS AT 12" O.C., STAGGERED
ALL SHEAR WALLS SHALL BE 16" OSB, UON.
PROVIDE HARDWARE MANUFACTURED BY SIMPSON AS
NOTED.
CEILING JOISTS AND RAFTERS - #1 OR #1 AS
NOTED
ALL UNTREATED WOOD FRAMING SHALL BE A MINIMUM
OF 8" ABOVE ADJACENT FINISHED GRADE.
ALL TIMBER LESS THAN 8" FROM FINISHED GRADE SHALL
BE PRESSURE TREATED. ALL SILL PLATE TO BE PT
W/ 100% TREATMENT.
ALL CONCRETE FOUNDATIONS ARE TO BE
POURED MUST METTE NOT LESS THAN 24 HOURS
PROT TO PLACING CONCRETE.
CONCRETE FOUNDATIONS:
ALL CONCRETE SHALL BE MINIMUM 2,500 PSI STRENGTH
WITHIN 28 DAYS - UON SSD
REINFORCING STEEL LARGER THAN #5 SHALL BE GRADE
60 DEFORMED BARS CONFORMING TO ASTM A415,
SAUDI PS. SPICES = 40 BAR DIAMETERS, BENDS
MINIMUM 12".

TREATED WOOD:
FAVOR PLYWOOD INSTEAD OF OSB FOR SHEATHING, AS
OSB CAN LOSE ITS STRUCTURAL STRENGTH ONCE IF
MOISTURE IS TRAPPED IN IT.
STRUCTURAL DETAIL:
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE
POURED MUST BE METTED NOT LESS THAN 24 HOURS
PROT TO PLACING CONCRETE.
CONCRETE FOUNDATIONS:
ALL CONCRETE SHALL BE MINIMUM 2,500 PSI STRENGTH
WITHIN 28 DAYS - UON SSD
REINFORCING STEEL LARGER THAN #5 SHALL BE GRADE
60 DEFORMED BARS CONFORMING TO ASTM A415,
SAUDI PS. SPICES = 40 BAR DIAMETERS, BENDS
MINIMUM 12".

REINFORCEMENT OF CONCRETE SLAB AND SLAB
THICKNESS TO BE AS NOTED ON DRAWINGS.
MIN. 4" THICK WITH 4 BARS AT 18" O.C. E/W
PROVIDE GROOVED JOINTS AT 10'-0" O.C.
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE
POURED MUST BE METTED NOT LESS THAN 24 HOURS
PROT TO PLACING CONCRETE.

FLASHING:
FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT
MOISTURE FROM ENTERING THE WALL AT PENETRATIONS
OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED
TO THE LOCATIONS AND FLASHING INSTALLATION
REQUIREMENTS.

NEW FOUNDATIONS:
AT THE TIME OF FOUNDATION INSPECTION CORNER
STAKES AND CANTERS MUST BE ESTABLISHED BY
A LAND SURVEYOR REGISTERED IN THE STATE OF
CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR
TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS
LOCATED IN ACCORDANCE WITH THE APPROVED PLANS,
AND DOES NOT ENCROACH IN THE SETBACK.

STRUCTURAL:
ALL CONCRETE JOISTS AND RAFTERS - #1 OR #1 AS
NOTED.
CEILING JOISTS AND RAFTERS - #2 OR #1 AS
NOTED
DOOR AND WINDOW HEADERS - #2
STUDS - #2
PLATES AND BLOCKING - #2

**ALL SUB-FLOORS SHALL BE 3/4" TONGUE AND GROOVE
EDGE GOLD OSB, STAGGERED JOINTS GLUE WITH OSB
CONSTRUCTION ADHESIVE, NAIL WITH 16 NAILS AT 6"
O.C. AT EDGES AND 12" O.C. THROUGHOUT.**

RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS
SHALL HAVE AN EXCLUSION THAT IS WEATHERPROOF
AND SHALL BE LISTED WEATHER RESISTANT TYPE.
CLARIFY RECEPTACLE OUTLET LOCATIONS.

**A) RECEPTACLES SHALL BE INSTALLED SO THAT NO
POINT MEASURED HORIZONTALLY ALONG THE FLOOR IN
ANY ONE 6' WIDE SPAN IS OVER 6 FEET**

**B) RECEPTACLES SHALL BE LOCATED ALONG THE FLOOR
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**C) THE INSTALLED LAMPS SHALL BE MARKED WITH
JAB-2022 OR JAB-2022-E.**

**D) RECEPTACLES SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**E) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**F) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**G) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**H) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**I) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**J) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**K) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**L) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**M) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**N) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**O) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**P) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**Q) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**R) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**S) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**T) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**U) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**V) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**W) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**X) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**Y) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**Z) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**AA) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**BB) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**CC) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**DD) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**EE) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**FF) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**GG) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**HH) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**II) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**JJ) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**KK) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**LL) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**MM) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**NN) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**OO) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**PP) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**QQ) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**RR) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**SS) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**TT) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**UU) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**VV) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**WW) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**XX) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**YY) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**ZZ) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**AA) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**BB) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**CC) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**DD) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**EE) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**FF) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**GG) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**HH) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**II) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**JJ) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**KK) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**LL) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**MM) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**PP) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**QQ) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.**

**RR) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LISTED FOR OUTDOOR USE.**

**SS) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG ANY WALL
THAT IS 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL.**

**TT) RECEPTACLES LOCATED IN OUTDOOR AREAS
SHALL BE LOCATED ALONG**

1
2
3
4
5



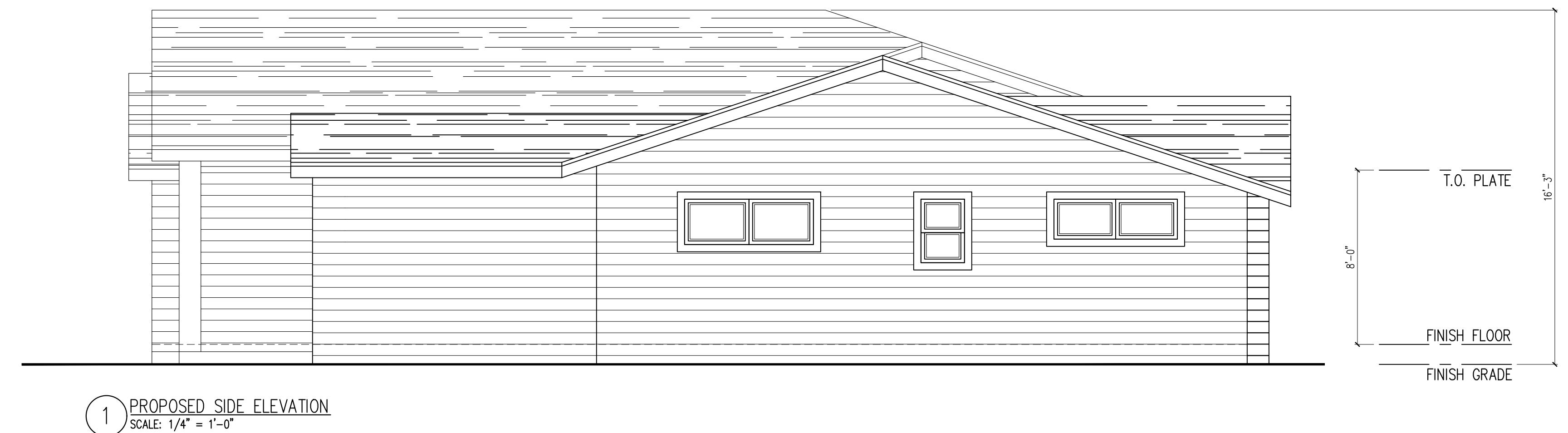
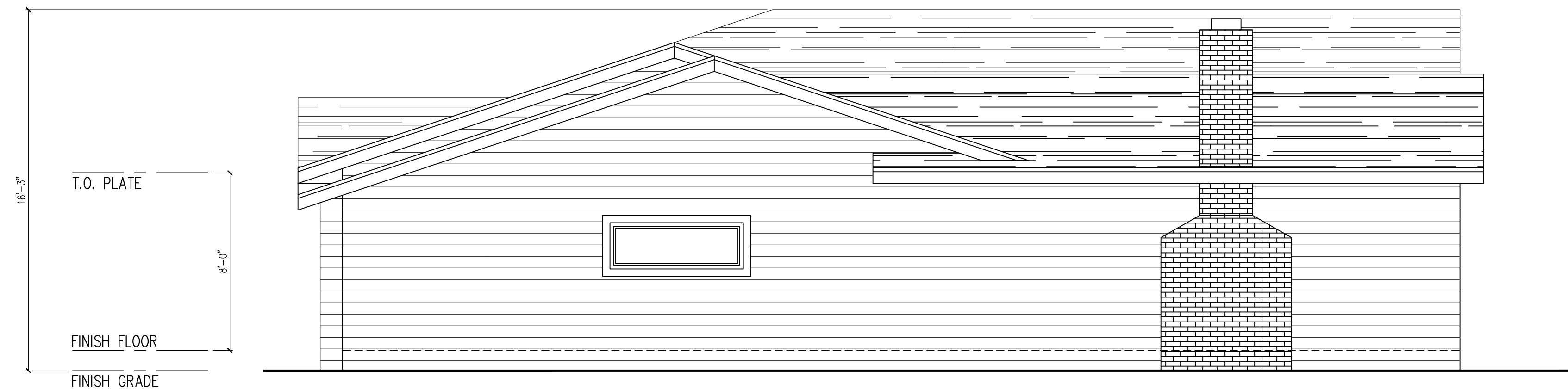
ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3,
PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

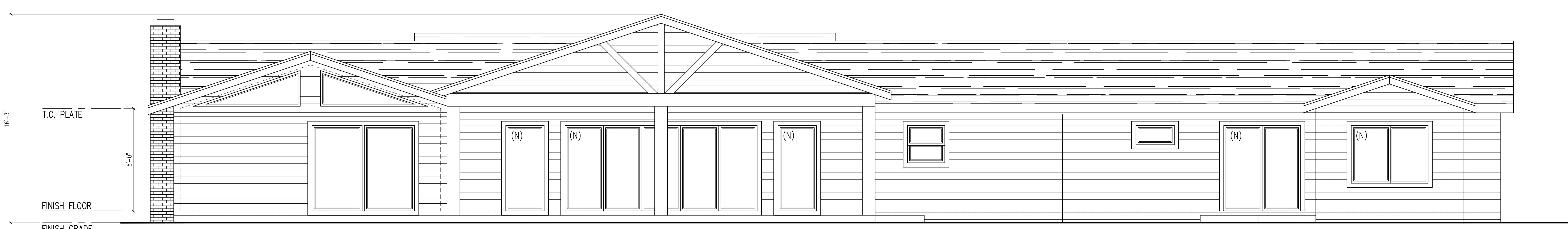
PROPOSED
ELEVATIONS

DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-4



3 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

0' 5' 10' 15' 20' 25'

1
2
3
4
5



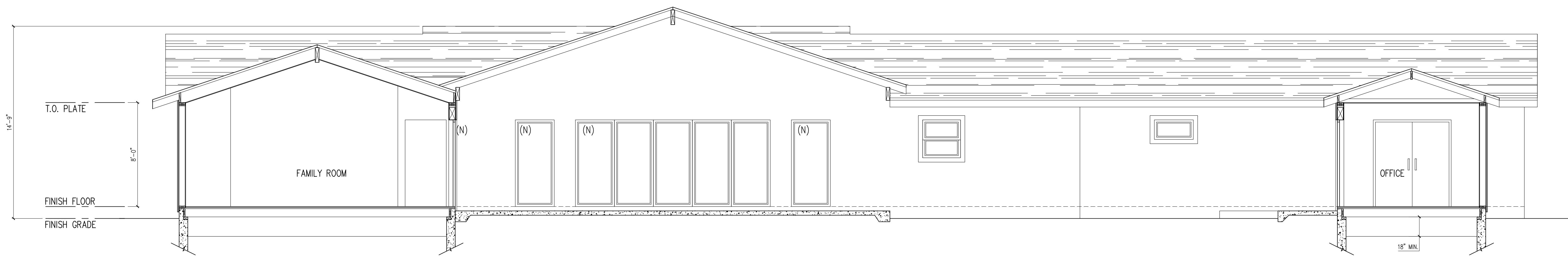
ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3,
PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL 926 FOREST LN, ALAMO, CA 94507

PROPOSED SECTION/ROOF/VENT CALCS & DETAILS

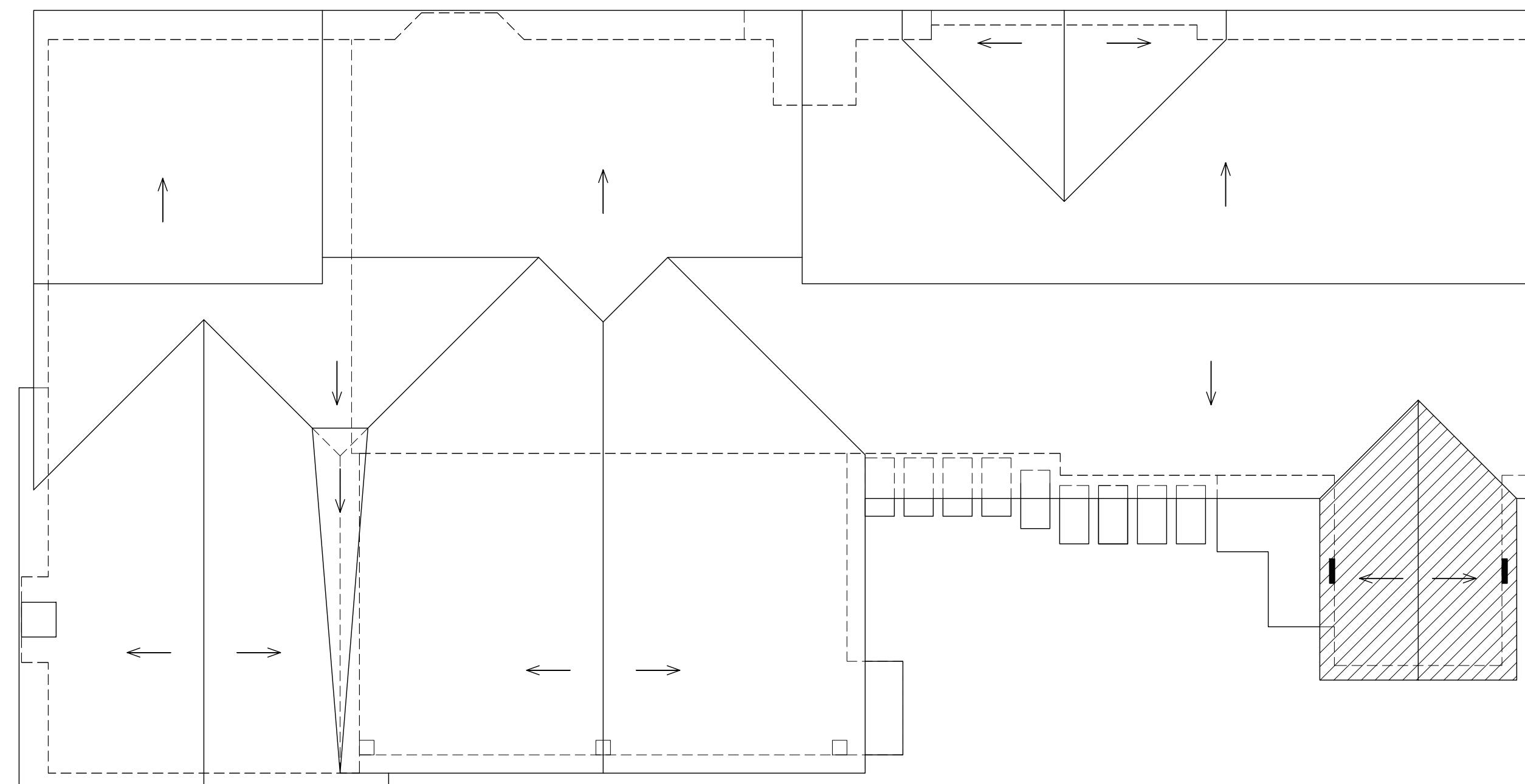
DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-5



1 PROPOSED SECTION A
SCALE: 1/4" = 1'-0"

0' 5' 10' 15' 20' 25'



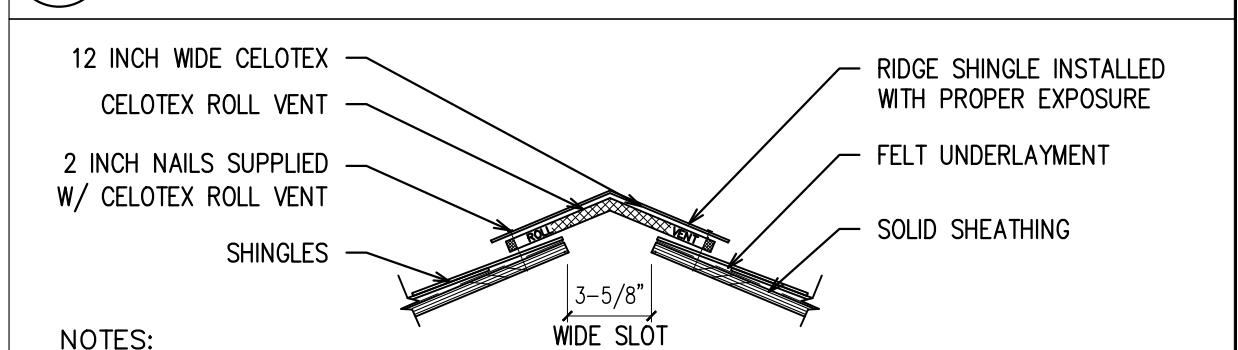
2 ROOF & FLOOR VENT CALCULATIONS
SCALE: 1/4" = 1'-0"

SUB FLOOR VENT CALCULATION: (OFFICE)
SUB FLOOR AREA = 864 SF
138 / 150 = 0.92 SF OF VENT NEEDED
VENTS W/ GALVANIZED BIRD SCREENS
14" X 8" = 0.77 SF
PROVIDED (2) VENTS MINIMUM THROUGHOUT THE
SUB FLOOR. VENTS TO BE EVENLY SPACED.

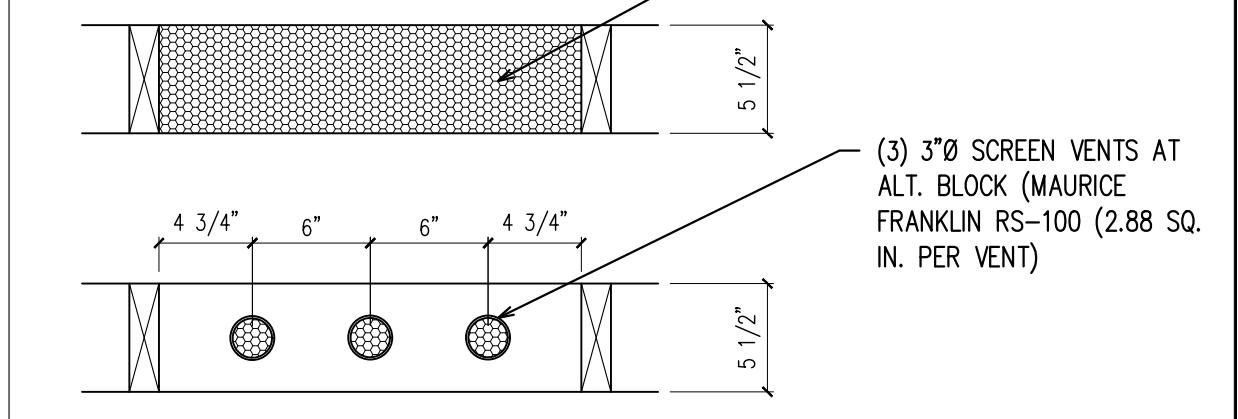
ROOF VENT CALCULATION 648 SF ATTIC: (OFFICE)
138 / 150 = 0.92 SF OF VENT NEEDED
EAVES VENTS
1 EAVE VENT 4" X 20" = 0.5 SF EACH
(2) EAVE VENTS = 1 SF
PROVIDE (2) EAVE VENTS EVENLY SPACED (1 SF)

PHYSICAL PROPERTIES	TEST	VALUE
FIRE RATING	ASTM E84-09	CLASS 1 / CLASS A
EMISSIVITY	ASTM C1371-04A	0.04
REFLECTIVITY	-	0.96
WATER VAPOR TRANSMISSION	ASTM E96-05	13.9 PERMS
CORROSIVENESS	ASTM D3310-00	PASSES
BLEEDING AND DELAMINATION	ASTM C1313-05	NO BLEEDING OR DELAMINATION
PLIABILITY	ASTM C1313-05	NO CRACKING
GROWTH OF FUNGI	ASTM C1313-08	DOES NOT PROMOTE GROWTH
TENSILE STRENGTH	ASTM D2261	LENGTH: 27.34 LBS WIDTH: 13.31 LBS

4 ATTIC RADIANT BARRIER
SCALE: N/A



4X20 SCREEN VENTS AT (0.5 SQ. IN. PER VENT)



3 VENTS DETAIL
SCALE: N/A

1
2
3
4
5



ROMAIN CURTIS
ARCHITECT #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3,
PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

ADDITION / REMODEL 926 FOREST LN, ALAMO, CA 94507

DETAILS

DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-6

VENT CAP PER MANUFACTURER (SEE PLAN FOR MAKE/ MODEL AND INSTALL PER MANUFACTURER'S REQUIREMENTS)
PRE-FABRICATED GALVANIZED SHEET METAL STORM COLLAR
FOR HEIGHT REQUIREMENTS SEE MANUFACTURER'S SPECIFICATIONS
PRE-FABRICATED GALVANIZED SHEET METAL CONE - FITTED OVER VENT PIPE PER MANUFACTURER'S SPECIFICATIONS
CUT SHINGLES/TILES TO ACCEPT FLASHING TYPICAL LEAD OR FLEXIBLE APRON FLASHING OVER CONE - PROVIDE MINIMUM 18 INCH SKIRT AROUND CONE & ATTACH TO SHINGLE/ TILE WITH APPROVED ROOFER'S MASTIC
GALVANIZED SHEET METAL BASE FLASHING OVER DECKING (TO EXTEND MINIMUM 6' FROM CONE OR BE COMPLETELY SEALED TO UNDERPANTMENT)
NOTE: VENTING SYSTEM MUST CONFORM WITH ALL LOCAL CODES AND/OR THE CURRENT NATIONAL FUEL GAS CODE ANSI Z223.1/NFPA 54
MAINTAIN 2" CLEARANCE FROM ALL COMBUSTIBLE MATERIAL OR PER MANUFACTURER SPECIFICATIONS

CLASS "A" ASPHALT COMP. ROOFING OVER APPROVED UNDERLayment, LAP ROOFING & UNDERLayment OVER CAP SHEET.
EXTEND CAP SHEET ROOFING UP 6:12 ROOF 18" MIN.
CLASS "A" ROLLED ASPHALT COMP. CAP SHEET ROOFING OVER APPROVED UNDERLayment.
PLYW. SHG. PER STRUCT. DRWGS.
ROOF FRAMING PER STRUCT DRWGS.

ROOF SHINGLES
1 LAYER #15 FELT DRY-IN COURSE
MOD. BIT. VALLEY FLASHING
MTL. VALLEY FLASHING WITH 1" HIGH "V" CRIMP SET IN MASTIC
ROOF SHEATHING
PREFAB. ROOF TRUSS FRAMING
OVERBUILD FRAMING, TYP.
5' WATERPROOFING/ICE SHIELD AT PERIMETER, HIPS VALLEYS AND RIDGES

WOOD SIDING, SHINGLES OR CEMENT BOARD
WEATHER RESISTIVE BARRIER: EITHER 2 LAYERS GRADE 'D' 60 MINUTE BUILDING PAPER OR 1 CRINKLED HOUSEWRAP SUCH AS TYVEK "STUCCOMWRAP" AS A DRAINAGE PLANE UNDER 1 LAYER GRADE 'D' 60 MINUTE BUILDING PAPER AS A BOND BREAK PER RESIDENTIAL CODE R703.6.3
1/2" CDX PLYWOOD, FOR NAILING AND SHEAR LOCATION - S.S.D.
INSULATION PER TITLE 24 REPORT
MIN. 2X6 WOOD STUDS @ 16" O.C. FIRE BLOCK AND DRAFTSTOP PER CBC SECTION 717. S.S.D.
INTERIOR SIDE: 5/8" GYPSUM BOARD, TAPE AND MUD TO LEVEL 5 FINISH

GYPSUM BOARD PER PLAN
TYPICAL WALL FRAMING PER STRUCTURAL DRAWINGS
2X BLOCKING AT OPENING TYPICAL
PRE-FABRICATED GALVANIZED SHEET METAL SLEEVE WITH FIRE-STOP COLLAR PER MANUFACTURER'S REQUIREMENTS
PRE-FABRICATED VENT TERMINATION PER MANUFACTURER'S REQUIREMENTS (MAINTAIN HORIZONTAL PLANE)
PRE-FABRICATED VENT PIPE PER MANUFACTURER'S REQUIREMENTS
SEALANT AT PERIMETER OF VENT TERMINATION TO SIDING & SLEEVE TERMINATION TO SIDING (USE A HIGH TEMPERATURE SILICONE SEALANT RECOMMENDED BY MANUFACTURER)
SIDING PER ELEVATION NOTES
WEATHER RESISTIVE BARRIER PER ELEVATION NOTES
APA RATED SHEATHING PER ELEVATION NOTES
NOTE: VENTING SYSTEM MUST CONFORM WITH ALL LOCAL CODES AND/OR THE CURRENT NATIONAL FUEL GAS CODE ANSI Z223.1/NFPA 54

VENT PIPE
FELT AND SHINGLES OVER FLASHING TOP AND SIDES (SEAL EDGES)
RAIN SHIELDED SLAMP AND SEALANT
G.S.M. FLASHING (PAINT TO MATCH ROOF) FLASH OVER SHINGLES AT LOWER EDGE (SEAL EDGES)
ROOF SHEATHING
2X RAFTERS

ROOF SHEATHING
PEEL-AND-STICK EAVES MEMBRANE
STEP FLASHING
KICKOUT FLASHING
SHEATHING WRAP
PEEL-AND-STICK EAVES MEMBRANE
Drip Edge
ROOF SHEATHING

MIN. 2X4 WOOD STUDS @ 16" O.C.
5/8" GYPSUM BOARD. TAPE AND MUD TO LEVEL 5 FINISH

2X BLOCKING AND 1"X CEDAR FACIA ALTERNATE PERPENDICULAR TO RAFTER - OK
(N) ROOF FRAMING
(N) COMPOSITE SHINGLES
2 LAYERS 30# ROOFING FELT
R-30 OR R-38 INSULATION SEE ENERGY REPORT CLOSE CELL SPRAY ON INSULATION AT VAULTED CEILING - NO AIR GAP
PLYWOOD - SSD
GALVANIZED GUTTER
1X CEDAR FASCIA
1X T&G
TRIM
2X BLOCKING NO VENT
JST OR MANUFACTURED TRUSS - SSD
WOOD SIDING, SHINGLES OR CEMENT BOARD

TYP DBL TOP PLATE FACE NAILING 16D @ 16" O.C.
4-16D AT CORNERS & PARTITIONS, TYP.
3-16D TYP EA END
2X FLAT BLOCKING AT FIRST STUD BAY W/ CS-16 STRAPS EA CORNER
CORNER STUDS SEE CRC FIGURE R602.3(2)
16D @ 12" O.C. AT CORNER STUDS
DBL 2X SILL FOR OPENINGS OVER 6'-0"
ATTACH TRIMMER TO KING W/ 16D@ 12" O.C. TYP
5/8" DIA X 8" EMBED A.B. W/ 3X3X3/4 PLATE WASHER @ 48" O.C. UON PL. SPLICE
DBL 2X TRIMMER & KING STUDS FOR SPANS GREATER THAN 6'-0"
2X PTDF SILL PLATE UON (SEE SHEARWALL SCHEDULE)
5" MIN 12" MAX TYP AT ALL DISCONTINUOUS SILL PLATES

FULL WIDTH DF#1 HEADER 6" DEEP WHEN OPENING IS 4'-0" OR LESS, 10" DEEP WHEN OPENING IS BETWEEN 4'-0" & 6'-0" U.O.N.
PLATE SPLICE (2) ROWS 10d@4" O.C.
2X BLKG AT PLYWD JOINTS OR WHERE WALL EXCEEDS 10'-0" IN HEIGHTS
TYP EXT SHTC W/EN @ 6" O.C. & FN @ 12" O.C., U.O.N.
DOUBLE STUDS EA. SIDE OF OPENING MORE THAN 4'-0" IN WIDTH
SEE CRC FIGURE R602.3(2)
16D @ 12" O.C. AT CORNER STUDS
DBL 2X SILL FOR OPENINGS OVER 6'-0"
ATTACH TRIMMER TO KING W/ 16D@ 12" O.C. TYP
5/8" DIA X 8" EMBED A.B. W/ 3X3X3/4 PLATE WASHER @ 48" O.C. UON PL. SPLICE
DBL 2X TRIMMER & KING STUDS FOR SPANS GREATER THAN 6'-0"
2X PTDF SILL PLATE UON (SEE SHEARWALL SCHEDULE)
5" MIN 12" MAX TYP AT ALL DISCONTINUOUS SILL PLATES

1. CUT, FOLD UP & TEMPORARILY SECURE BUILDING PAPER HOUSEWRAP OR FELT (AS OCCURS)
2. APPLY FLEXIBLE FLASHING STRIP TO EXTERIOR WALL AS SHOWN.
3. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) AT BOTTOM OF JAMB OPENINGS BY FIRST FOLDING STRIPS IN HALF BOTH DIRECTIONS. THEN SLICING ENDS UP TO HORIZONTAL FOLDS. (WHEN SIZING STRIPS, ALLOW FOR A 6" MIN. EXTENSION FROM BOTTOM OF THRESHOLD, ETC.) APPLY STRIP AT INSIDE OF JAMBS FIRST, THEN WRAP DOWN AND AROUND AS SHOWN
4. APPLY FLEXIBLE FLASHING STRIP (BITUTHENE OR EQUAL) TO EXTERIOR JAMB OPENINGS OVER JAMB FLANGES AS SHOWN. (ALLOW FOR MIN. 3" OVERLAP PAST HEAD FLANGE AND A MIN 3" OVERLAP PAST SILL FLANGE WHEN SIZING STRIP.)
5. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR A MIN. OVERLAP OF 3" PAST EACH JAMB FLASHING.) UNFOLD BUILDING PAPER, HOUSEWRAP OR FELT (AS OCCURS) OVER FLASHING AND TAPE EDGES.
6. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR JAMB OPENINGS OVER JAMB FLANGES AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR A MIN. OVERLAP PAST HEAD FLANGE AND A MIN 3" OVERLAP PAST SILL FLANGE WHEN SIZING STRIP.)
7. APPLY FLEXIBLE FLASHING STRIP (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR A MIN. OVERLAP OF 3" PAST EACH JAMB FLASHING.) UNFOLD BUILDING PAPER, HOUSEWRAP OR FELT (AS OCCURS) OVER FLASHING AND TAPE EDGES.
SEE "GENERAL GUIDELINES WHEN FLASHING OPENINGS PER A"

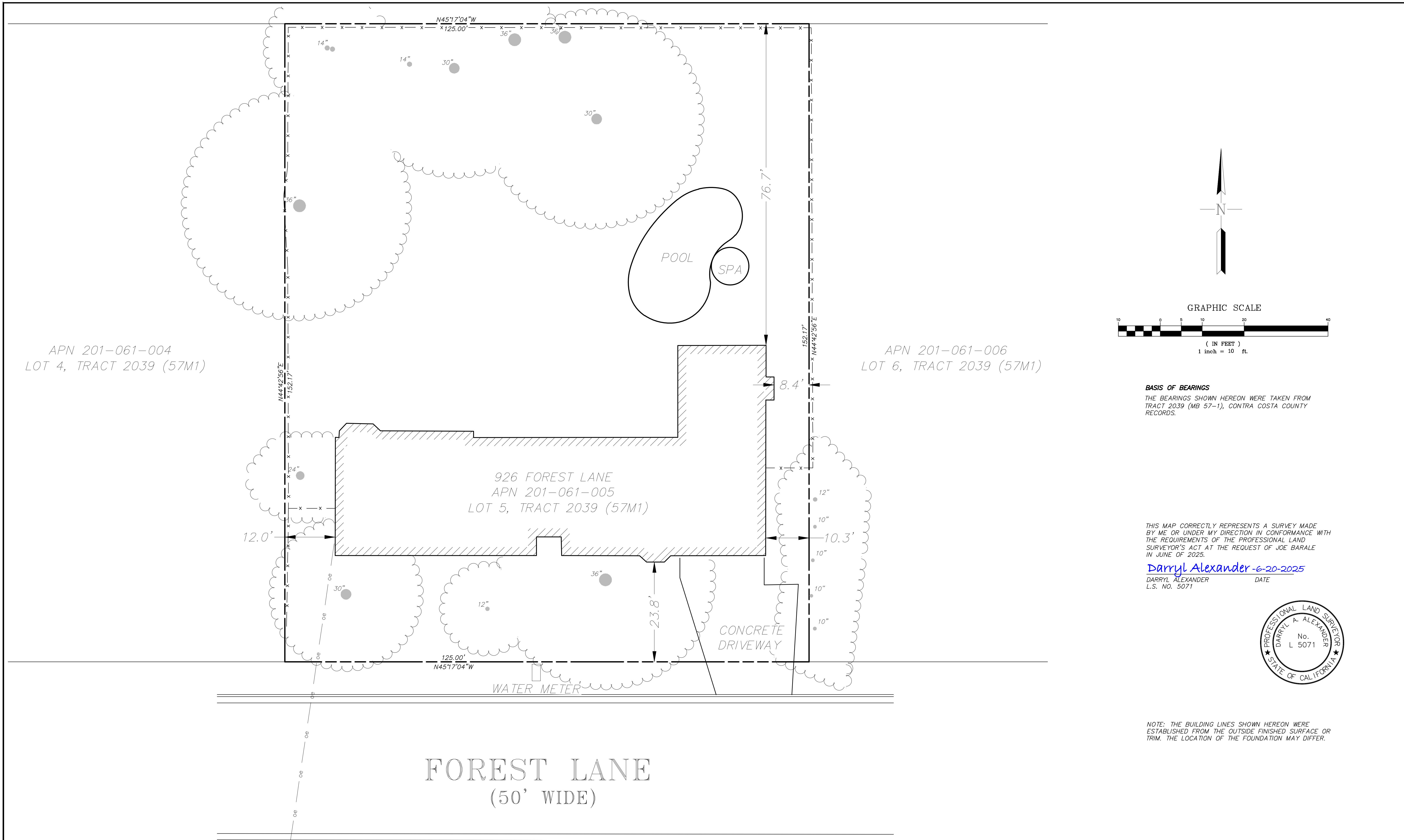
WOOD SIDING, SHINGLES OR CEMENT BOARD
PLYWOOD SHEATHING
2X STUD WALL
2X BASE PLATE
WATER RESISTIVE BARRIER
RIM JOIST
STARTER STRIP
FINISH GRADE - SLOPE AWAY FROM BUILDING
3X SILL PLATE - PRESSURE TREATED W/ SILL GASKET UNDER
SILL GASKET
CLASS I VAPOR RETARDER AT ENTIRE CRAWL SPACE. AT OWNER'S REQUEST - GC TO CHECK W/ OWNER BEFORE INSTALLING
ANCHOR BOLT - SSD
NO PIPES ALLOWED IN SHADeD AREA UNLESS PERPENDICULAR TO FOUNDATION
FOUNDATIONS DETAILS, REBARS AND DIMENSIONS - SSD

1. ALL FRAMING LUMBER TO BE D.F. #2 OR BETTER. 2X STUDS TO BE D.F. STUD OR BETTER.
2. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
3. ALL FRAME WALLS SUBJECT TO WATER SPLASH TO HAVE APPROVED WATERPROOF PAPER.
4. BLOCKING REQUIRED BETWEEN JOISTS AT BEARING PARTITIONS.
5. PROVIDE DOUBLE STUDS AT BOTH ENDS OF OPENINGS.
6. ALL EXTERIOR SIZING TO BE MIN. 5/8" UNLESS OVER SHEATHING. ALL EXTERIOR SIDING JOINTS SHALL CENTER OVER FRAMING MEMBERS W/ CONTINUOUS WOOD BATTING OR JOINTS TO BE WATER PROOFED. NAIL ALL SIDING W/ GALVANIZED NAILS.
7. ALL EXTERIOR WALLS TO HAVE TYVEK OR EQUAL MEMBRANE OVER STRUCTURAL SHEATHING AND/OR STUDS.
8. ALL NAILED CONNECTIONS SHALL COMPLY WITH TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE, UNLESS OTHERWISE NOTED.
9. ALL FRAMING HARDWARE SHALL BE "STRONG-TIE" AS MANUFACTURED BY SIMSON CORPORATION. I.C.B.O. APPROVED ALTERNATIVE HARDWARE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ARCHITECT/ENGINEER.
10. ALL FRAMING HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL. ZMAX OR BATHTOP HOT DIP GALVANIZED. ALL FASTENERS SHALL BE STAINLESS STEEL, BATHTOP HOT DIP GALVANIZED OR MECHANICALLY GALVANIZED. STAINLESS STEEL CONNECTORS AND FASTENERS ARE PREFERRED IN EXTERIOR LOCATIONS.
11. WALL STUDS SHALL BE CONTINUOUS FROM BOTTOM PLATE TO POINT OF LATERAL SUPPORT AT ROOF, FLOOR, OR CEILING INTERSECTION.
12. ALL DECK HARDWARE (HANGERS, STRAPS) FASTENERS ARE REQUIRED TO BE OF THE SAME MATERIAL OR COATING THAT THE SHEATHING.
13. TYPICAL HEADER SIZE = 4x6 DF#2 UNLESS OTHERWISE NOTED.

-FASTEN WINDOW TO WALL PER MANUFACTURE
-ADHESION TO OSB CAN BE A PROBLEM IF IT IS EVEN SLIGHTLY DAMP OR DUSTY - PRIME OSB OR PLYWOOD SHEATHING PRIOR TO SASH INSTALLATION WITH #100 VOC PRIMER BY PROTECTO-WRAP. SEE SHEET A656 FOR SPECIFICATIONS.
-SASH (SELF-ADHERING FLASHING STRIP) - PW 100/40 AIR/ VAPOR BARRIER BY PROTECTO-WRAP. SEE SHEET A656 FOR SPECIFICATIONS. USE ROLLER AT ALL TIMES TO INSTALL SASH.
-SILL PAN SHALL BE COPPER OR STAINLESS STEEL AND PROVIDE SLOPE TO DRAIN TO EXTERIOR OF STRUCTURE.
-SEALANTS, PERMATHANE SM 7108 BY SCHNEE - MOREHEAD. CLEAN ALL METAL FLASHING OF OIL, DIRT PRIOR TO INSTALLATION OF SEALANTS. SHIMS SHALL BE MADE OF HIGH COMPRESSION PLASTIC OR HARDWOOD.
-ALL MATERIALS SUCH AS, BUT NOT LIMITED TO, COATINGS, FLASHING AND SEALANTS THAT COME INTO CONTACT WITH EACH OTHER SHALL EXHIBIT CHEMICAL COMPATIBILITY AND ADHESION FOR THE INTENDED PURPOSE.
-ON THE EXTERIOR SIDE, APPLY BACKER ROD AND A CONTINUOUS EXTERIOR PERIMETER BEAD OF SEALANT, OR AEROSOL FOAM SEALANT WITHOUT BACKER ROD. THIS EFFECTIVELY FORMS A BACK DAM TO PREVENT WATER INTRUSION INTO THE EXTERIOR.
-AFTER INSTALLATION, RECHECK THE SEAL BETWEEN THE SILL OF THE WINDOW AND THE UP TURNED LEG OF THE SILL PAN AND RESEAL AS NEEDED.
-NAIL THE WINDOW SIDE AND TOP FIN FROM THE CENTER TO EDGE EVERY OTHER HOLE ON LARGER WINDOWS, ADD A SINGLE NAIL AT THE CENTER OF THE BOTTOM FIN WITH A SEALANT RING AT THE BACK OF THE FIN AT THE NAIL.
-C.B.C. 1403.3, CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER PROOF. SINCE C.B.C. DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUE SHOWN HERE ARE RECOMMENDED. USE "MOISTOP" FLASHING BY FIBER CORP. OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF THE MINI-TRIM FRAMES BEFORE SETTING USE WINDOWS THAT ARE WATERPROOF.
-26.CA. G.I. FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.
-LINE WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER OR FELT
-BENEATH LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS ARE PRACTICE.
-NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL.
-PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BACKING.

1. CUT, FOLD UP & TEMPORARILY SECURE BUILDING PAPER HOUSEWRAP OR FELT (AS OCCURS)
2. APPLY FLEXIBLE FLASHING STRIP (BITUTHENE OR EQUAL) TO OUTER RECESS AT WINDOW SILL. APPLY FLASHING OVER BOTTOM WINDOW SILL, BEND STRIP DOWN WALL THEN LAP REMAINDER OVER ALREADY APPLIED FLASHING STRIP AT OUTER WINDOW SILL RECESS AS SHOWN
3. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO INNER RECESS JAMB OPENINGS BY FIRST FOLDING STRIPS IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.
4. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO INNER WINDOW HEAD RECESS BY FIRST FOLDING STRIP IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.
5. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO OUTER RECESS JAMB OPENINGS IN THE SAME MANNER AS DESCRIBED ABOVE. (WHEN SIZING STRIP, ALLOW FOR 3" MINIMUM OVERLAP PAST HEAD AND SILL TYPICAL.)
6. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR 3" MINIMUM OVERLAP PAST HEAD AND SILL TYPICAL.)
7. APPLY FLEXIBLE FLASHING STRIP (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD RECESS BY FIRST FOLDING STRIP IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.
8. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR 3" MINIMUM OVERLAP PAST HEAD AND SILL TYPICAL.)
9. APPLY FLEXIBLE FLASHING STRIP (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD RECESS BY FIRST FOLDING STRIP IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.
10. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR 3" MINIMUM OVERLAP PAST HEAD AND SILL TYPICAL.)
11. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD RECESS BY FIRST FOLDING STRIP IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.
12. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD OVER HEAD FLANGE AS SHOWN. (WHEN SIZING STRIP, ALLOW FOR 3" MINIMUM OVERLAP PAST HEAD AND SILL TYPICAL.)
13. APPLY FLEXIBLE FLASHING STRIPS (BITUTHENE OR EQUAL) TO EXTERIOR WINDOW HEAD RECESS BY FIRST FOLDING STRIP IN HALF LENGTHWISE. THEN SLICING ENDS ALONG FOLD TO ALLOW FOR OVERLAP PAST HEAD TO ABUTTING WALL APPLY FLASHING AT INNER JAMB RECESS. THEN FOLD AROUND TO OUTER JAMB AS SHOWN.

- THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE DUE TO EXCESSIVE DAMPNESS, GRANULAR COMPOSITION, SLUFFING, SOFTNESS OR OTHER DEFECT, THE CONTRACTOR SHALL CONTACT THE ENGINEER.
- ALL INFORMATION PERTAINING TO THE SITE SHALL BE AND SHALL REMAIN THE OWNERS RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, AND POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION AVAILABLE TO THE DESIGNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER APPLIED DIMENSIONS.
- PROVIDE UNDER FLOOR VENTING OF (1) SQUARE INCH FOR EVERY 150 SQUARE FEET OF UNDER FLOOR AREA. VENT LOCATIONS SHALL PROVIDE CROSS VENTILATION.
- PROVIDE MINIMUM 18" X 24" ACCESS TO ALL UNDER FLOOR AREAS. ACCESS TO ALL MECHANICAL OR PLUMBING EQUIPMENT SHALL BE SUFFICIENTLY SIZED FOR REMOVAL OF THE UNIT.
- ALL NAILS OR OTHER FASTENERS INSTALLED IN PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR EQUAL.
- THE TOP OF FOUNDATIONS SHALL BE LEVEL. THE BOTTOM OF FOUNDATIONS SHALL NOT SLOPE MORE THAN 1:10. FOUNDATIONS SHALL BE STEPPED WHERE NECESSARY IN ORDER TO MEET THESE REQUIREMENTS.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 POUNDS PER SQUARE INCH UNLESS OTHERWISE NOTED - SSD
- NO ALUMINUM SHALL BE IN CONTACT WITH CONCRETE
- ALL PIPES IN CONCRETE SHALL BE SLEEVED OR WRAPPED
- NO PIPES ALLOWED IN SHADeD AREA UNLESS PERPENDICULAR TO FOUNDATION



PROJECT NAME	APPROVAL
LOT 5, TRACT 2039 (MB 57-1)	
APN 201-061-005	
CONTRA COSTA COUNTY, CALIFORNIA	

REV DATE DESCRIPTION APPROVAL

ALEXANDER & ASSOCIATES INC.
SURVEYORS
ENGINEERS
PLANNERS
147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA 94566
surveyor@trivalley.com (925) 462-2255

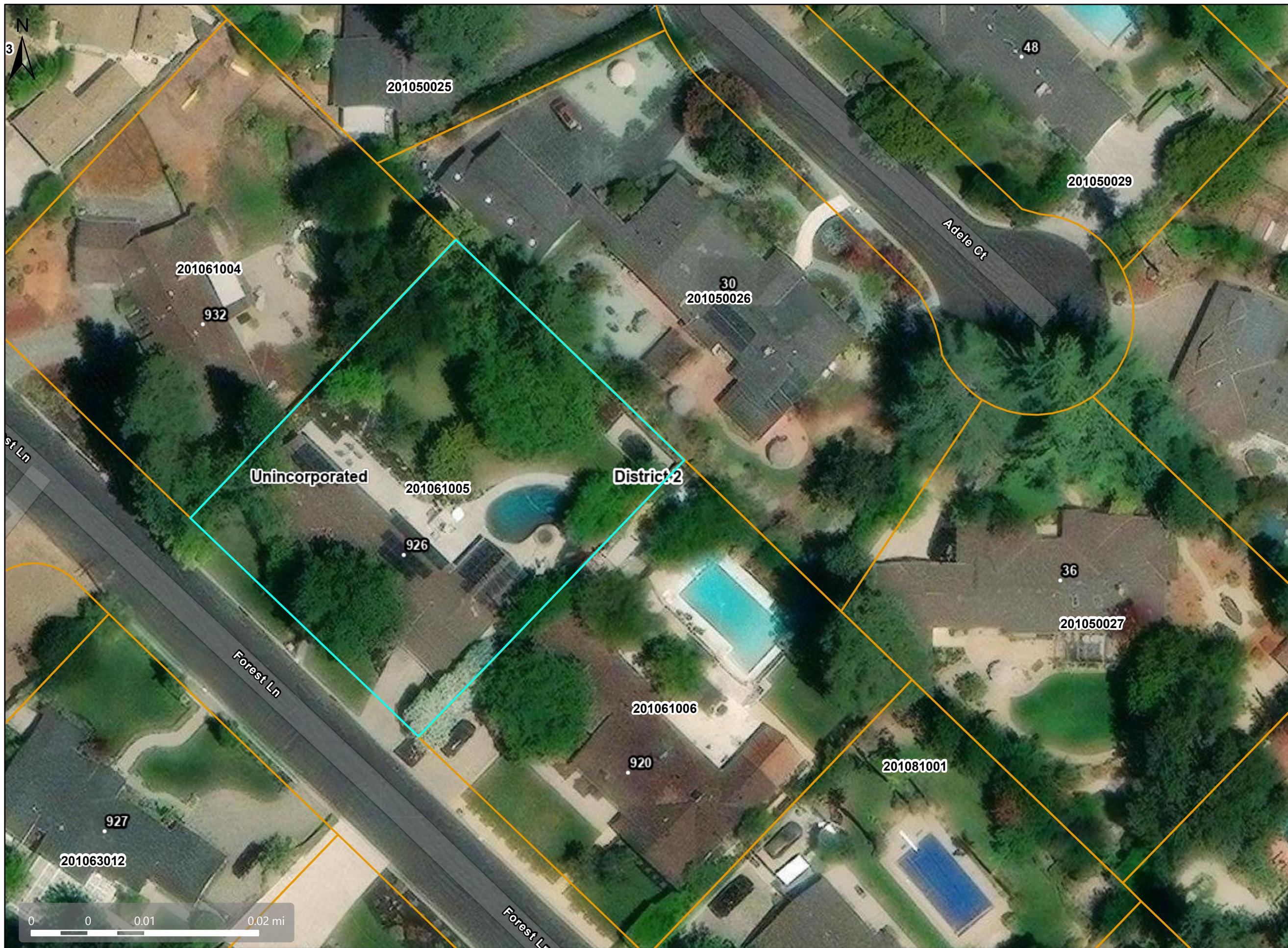
DRAWN BY:
STAFF
DESIGNED BY:
CHECKED BY:
DA
SCALE:
AS SHOWN

SHEET TITLE

SITE PLAN
926 FOREST LANE
ALAMO, CALIFORNIA

JOB NO.: 25172
DISK NO.:
FILE NO.: 25172 C3D
DATE: 6-20-2025
OF 1 SHEETS

Aerial



Map Legend	
County Border	
Assessment Parcels	
Unincorporated	
Board of Supervisors' Districts	
Address Points	

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan - RL



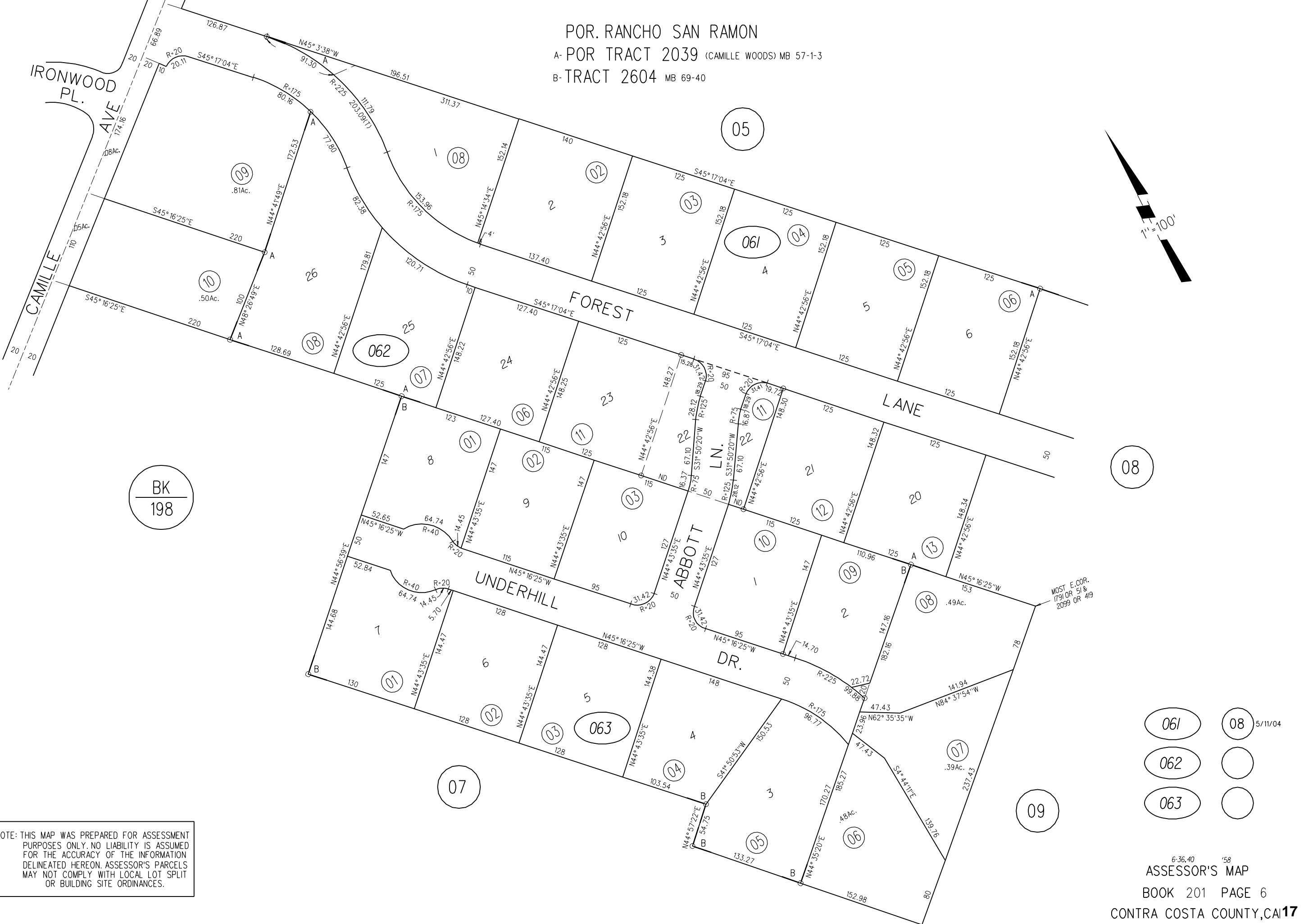
Map Legend	
County Border	
Assessment	
Parcels	
General Plan	
RVL (Residential Very-Low Density) (≤ 1 du/na)	
RL (Residential Low Density) (1-3 du/na)	
Unincorporated	
Board of Supervisors' Districts	
Address Points	

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

POR. RANCHO SAN RAMON

A- POR TRACT 2039 (CAMILLE WOODS) MB 57-1-3

B- TRACT 2604 MB 69-40



Zoning - R-20



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
 Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR NAVIGATION.
 CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
 Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
 Please direct all data inquires to the appropriate department.
 Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-371

Agenda Date: 2/3/2026

Agenda #: 6.

Advisory Board: Alamo Municipal Council
Subject: CDVR25-01065 - 137 Dean Road, Alamo
Contact: Allison Seoane, Allison.Seoane@dcd.cccounty.us <mailto:Allison.Seoane@dcd.cccounty.us>

Information:

The applicant requests a Variance Permit to allow a Lot Line Adjustment involving a substandard sized lot (APN: 196-080-040) that remains substandard with the lot line adjustment (Concurrent CDLL25-00014). The address is 137 Dean Road, Alamo.

Recommendation(s)/Next Step(s):

The project planner does not yet have a recommendation.



AGENCY COMMENT REQUEST

Date 1/14/26

We request your comments regarding the attached application currently under review.

<p>DISTRIBUTION</p> <p>INTERNAL</p> <table> <tr><td>Building Inspection</td><td>Grading Inspection</td></tr> <tr><td>Advance Planning</td><td>Housing Programs</td></tr> <tr><td>Trans. Planning</td><td>Telecom Planner</td></tr> <tr><td>ALUC Staff</td><td>HCP/NCCP Staff</td></tr> <tr><td>County Geologist</td><td></td></tr> </table> <p>HEALTH SERVICES DEPARTMENT</p> <table> <tr><td>Environmental Health</td><td>Hazardous Materials</td></tr> </table> <p>PUBLIC WORKS DEPARTMENT</p> <table> <tr><td>Engineering Services</td><td>Special Districts</td></tr> <tr><td>Traffic</td><td></td></tr> <tr><td>Flood Control (Full-size)</td><td></td></tr> </table> <p>LOCAL</p> <p><input checked="" type="checkbox"/> Fire District _____</p> <p> <input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov Consolidated – (email) fire@cccfpd.org</p> <p><input checked="" type="checkbox"/> Sanitary District <u>Central Sanitary</u></p> <p><input checked="" type="checkbox"/> Water District <u>EBMUD</u></p> <p> City of _____</p> <p> School District(s) _____</p> <p> LAFCO</p> <p> Reclamation District # _____</p> <p> East Bay Regional Park District</p> <p> Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>Alamo</u></p> <p> Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email) _____</p> <p>OTHERS/NON-LOCAL</p> <p> CHRIS (email only: nwic@sonoma.edu)</p> <p> CA Fish and Wildlife, Region 3 – Bay Delta</p> <p> Native American Tribes</p> <p>ADDITIONAL RECIPIENTS</p> <p>_____</p>	Building Inspection	Grading Inspection	Advance Planning	Housing Programs	Trans. Planning	Telecom Planner	ALUC Staff	HCP/NCCP Staff	County Geologist		Environmental Health	Hazardous Materials	Engineering Services	Special Districts	Traffic		Flood Control (Full-size)		<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Allison Seoane</u></p> <p>Phone # <u>925-655-2871</u></p> <p>E-mail <u>allison.seoane@dcd.cccounty.us</u></p> <p>County File # <u>CDVR25-01065</u></p> <p>Prior to <u>Feb. 11, 2026</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table> <tr><td>Landslide</td><td>Active Fault Zone (A-P)</td></tr> <tr><td>Liquefaction</td><td>Flood Hazard Area</td></tr> <tr><td colspan="2">60-dBA Noise Control</td></tr> <tr><td colspan="2">CA EPA Hazardous Waste Site</td></tr> <tr><td colspan="2">High or Very High FHSZ</td></tr> </table> <p style="text-align: center;">* * * * *</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None <input type="checkbox"/> Below <input type="checkbox"/> Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	Landslide	Active Fault Zone (A-P)	Liquefaction	Flood Hazard Area	60-dBA Noise Control		CA EPA Hazardous Waste Site		High or Very High FHSZ	
Building Inspection	Grading Inspection																												
Advance Planning	Housing Programs																												
Trans. Planning	Telecom Planner																												
ALUC Staff	HCP/NCCP Staff																												
County Geologist																													
Environmental Health	Hazardous Materials																												
Engineering Services	Special Districts																												
Traffic																													
Flood Control (Full-size)																													
Landslide	Active Fault Zone (A-P)																												
Liquefaction	Flood Hazard Area																												
60-dBA Noise Control																													
CA EPA Hazardous Waste Site																													
High or Very High FHSZ																													



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01065

File Date: 1/12/2026

Applicant:

Doug Flett D.B. Flett - Civil Engineer
PO Box 143, 3606 Lincoln Way
Lafayette, CA 94549

Doug@dbflett.com
(925) 324-9362

Property Owner:

DAVID S CHRISTENSEN
500 La Gonda Way
Danville, CA 94526 275

dc@milestoneholdings.com
(925) 917-8197

Project Description:

The applicant requests a Variance Permit to allow a Lot Line Adjustment involving a substandard sized lot (APN: 196-080-040) that remains substandard with the lot line adjustment (Concurrent CDLL25-00014).

Project Location: (Address: 137 DEAN RD, ALAMO, CA 94507 275), (APN: 196080043)

Additional APNs: 196080040

General Plan Designation(s): RVL

Zoning District(s): R-40

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

BASIS OF BEARINGS: THE BEARING OF N00°24'30"E, BETWEEN TWO MONUMENTS FOUND ALONG THE EAST WAY OF PARCEL 3 PER 70 LSM 44 AS SHOWN UPON THE MAP FILED FOR RECORD SEPTEMBER 9, 2005 IN BOOK 194 OF PARCEL MAPS AT PAGE 35, OFFICE OF THE COUNTY RECORDED OF CONTRA COSTA COUNTY WAS TAKEN AS THE BEARINGS FOR THIS SURVEY.

BENCHMARK: THE BASIS OF ELEVATION FOR THIS DRAWING IS A STANDARD CONTRA COSTA COUNTY BENCHMARK - BRONZE DISK SET IN CONCRETE AT CURB LINE AT THE SOUTH-EAST CORNER OF THE INTERSECTION OF CAMEO DRIVE AND GREEN VALLEY ROAD, STAMPED "#262" PER COUNTY OF CONTRA COSTA BENCHMARKS RECORDS, TAKEN AS 436.60 FEET (NAVD88 - GEOID 18 VERTICAL DATUM).

LOT LINE ADJUSTMENT

PARCEL A and PARCEL B AS SHOWN UPON THE MAP FILED FOR RECORD SEPTEMBER 9, 2005 IN BOOK 194 OF PARCEL MAPS AT PAGE 35, RECORD OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA.

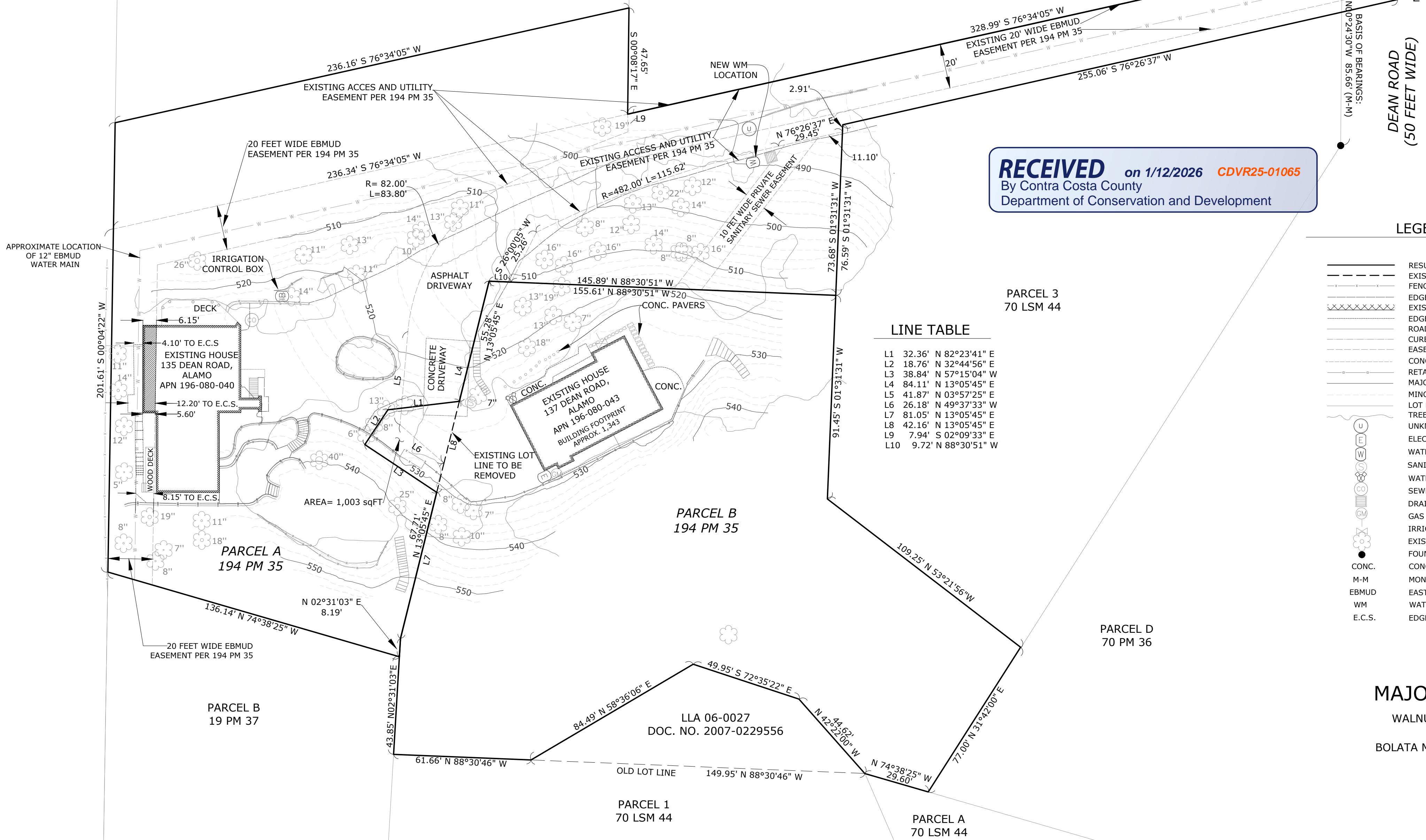
CONTOUR INTERVAL= 2 FEET

JULY 2025 SCALE 1'=30"

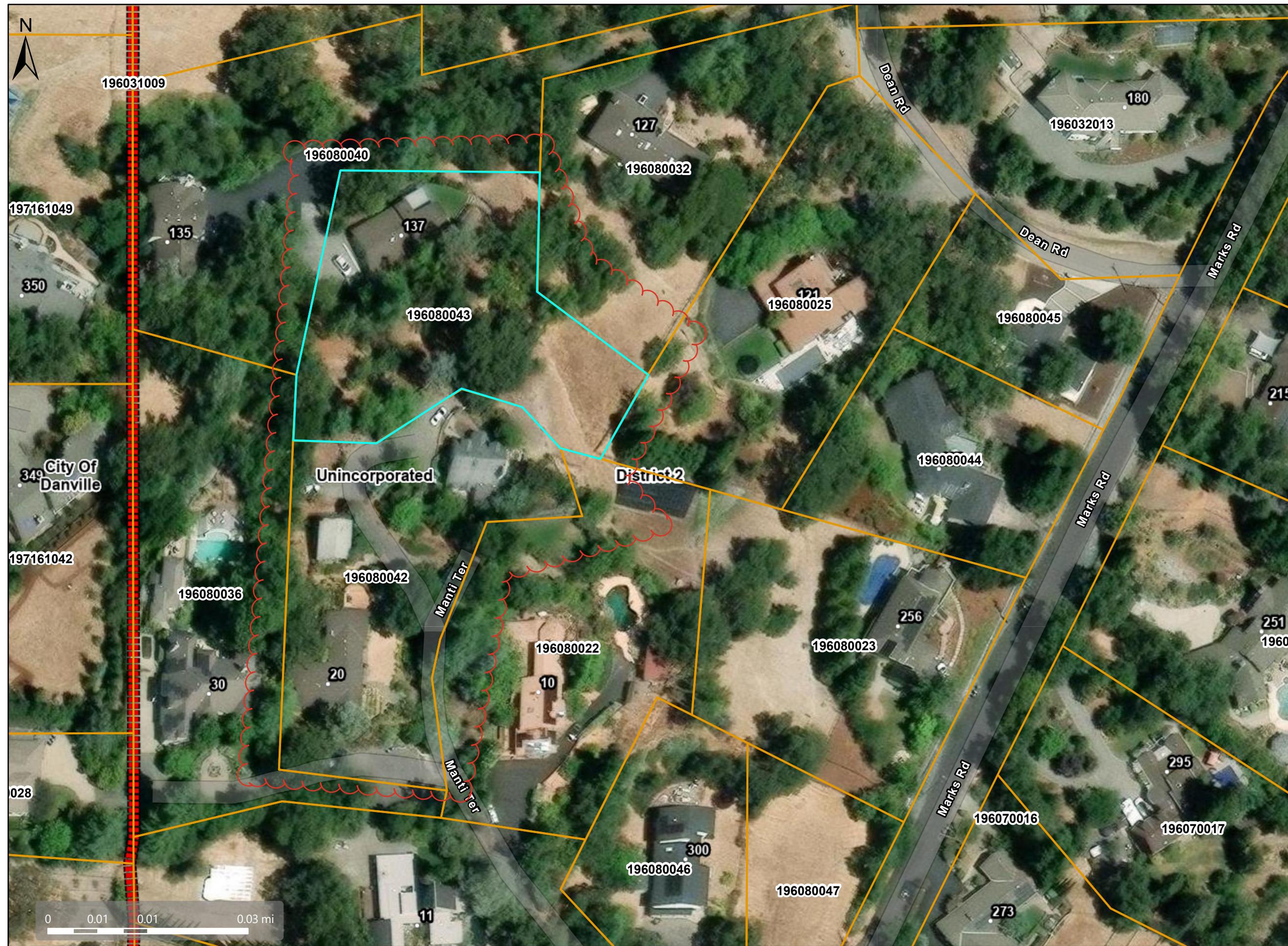
AREA SUMMARY TABLE

PARCEL	AREA BEFORE	TRANSFER AREA	AREA AFTER
PARCEL A	60,111 sq. FT.	1,003 sq. FT.	59,108 sq. FT.
PARCEL B	40,914 sq. FT.	1,003 sq. FT.	41,917 sq. FT.
TOTAL	101,025 sq. FT.		101,025 sq. FT.

0 30 60



Aerial



Map Legend	
County Border	
Assessment Parcels	
Unincorporated	
City Limits	
Board of Supervisors' Districts	
Address Points	

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan - RVL



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
 Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR NAVIGATION.
 CMap is maintained by Contra Costa County Department of Information Technology, County GIS.
 Data layers contained within the CMap application are provided by various Contra Costa County Departments.
 Please direct all data inquires to the appropriate department.

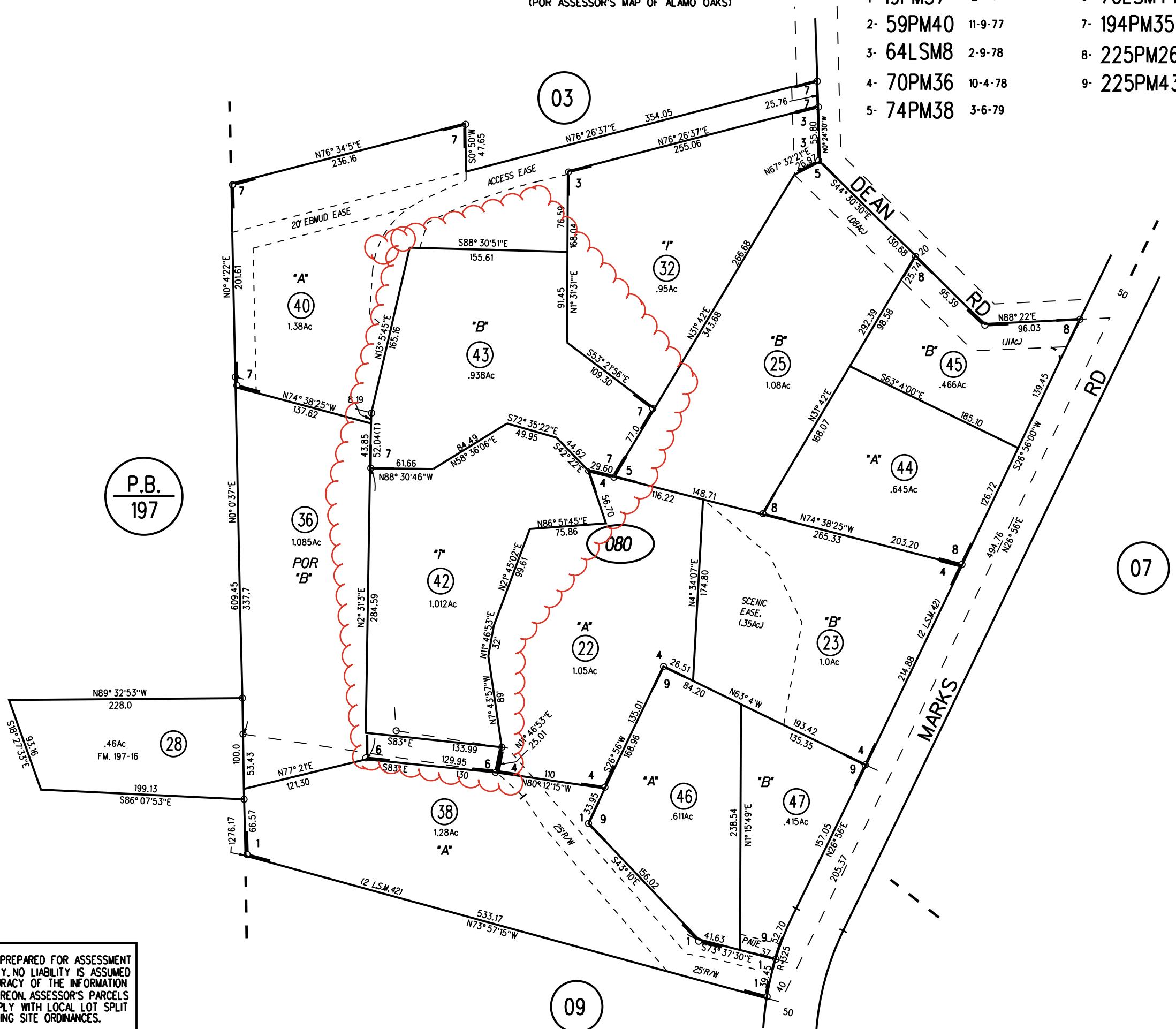
Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984

POR SE 1/4 SEC 17, T1S R1W MDBM

(POR ASSESSOR'S MAP OF ALAMO OAKS)

1- 19PM37	12-1-71	6- 70LSM44	6-28-82
2- 59PM40	11-9-77	7- 194PM35	9-9-05
3- 64LSM8	2-9-78	8- 225PM26	6-16-25
4- 70PM36	10-4-78	9- 225PM43	8-5-25
5- 74PM38	3-6-79		

1" = 100'



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

FM 55-14 11/66
ASSESSOR'S MAP
BOOK 196 PAGE 8
CONTRA COSTA COUNTY, CALIFORNIA

Zoning - R-40



This map is a user generated, static output from an internet mapping application and is intended for reference use only.

Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

Map is maintained by Contra Costa County Department of Information Technology, County GIS. Data contained within the CCMap application are provided by various Contra Costa County Departments.

Please direct all data inquiries to the appropriate department.

Please direct all data inquiries to the appropriate department.

ference
1994 Web Monitors Auxiliary Cubans

1984 Web Mercator Auxiliary Sphere 26
CC 1994

GS 1984 20



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-372

Agenda Date: 2/3/2026

Agenda #: 7.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01069 - 194 Smith Road, Alamo

Contact: Chloe Partain, Chloe.Pertain@dcd.cccounty.us <mailto:Chloe.Pertain@dcd.cccounty.us>

Information:

The applicant requests approval of a variance application for the construction of a new 680 sq ft inground pool within the secondary front yard setback. MWELO is required for the new pool. The address is 194 Smith Road, Alamo.



AGENCY COMMENT REQUEST

Date 12/23/2025

We request your comments regarding the attached application currently under review.

<p>DISTRIBUTION</p> <p>INTERNAL</p> <p>✓ Building Inspection Grading Inspection</p> <p>Advance Planning Housing Programs</p> <p>Trans. Planning Telecom Planner</p> <p>ALUC Staff HCP/NCCP Staff</p> <p>County Geologist</p> <p>HEALTH SERVICES DEPARTMENT</p> <p>Environmental Health Hazardous Materials</p> <p>PUBLIC WORKS DEPARTMENT</p> <p>Engineering Services Special Districts</p> <p>Traffic</p> <p>Flood Control (Full-size)</p> <p>LOCAL</p> <p>✓ Fire District _____</p> <p>✓ San Ramon Valley – (email) rwendel@srvfire.ca.gov Consolidated – (email) fire@cccfpd.org</p> <p>✓ Sanitary District Central San</p> <p>✓ Water District EBMUD</p> <p>City of _____</p> <p>School District(s) _____</p> <p>LAFCO</p> <p>Reclamation District # _____</p> <p>East Bay Regional Park District</p> <p>Diablo/Discovery Bay/Crockett CSD</p> <p>✓ MAC/TAC Alamo</p> <p>✓ Improvement/Community Association</p> <p>✓ CC Mosquito & Vector Control Dist (email) _____</p> <p>OTHERS/NON-LOCAL</p> <p>CHRIS (email only: nwic@sonoma.edu)</p> <p>CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>Native American Tribes</p> <p>ADDITIONAL RECIPIENTS</p> <p>AIA/ _____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Chloe Partain</u></p> <p>Phone # <u>925-655-2857</u></p> <p>E-mail <u>chloe.partain@dcd.cccounty.us</u></p> <p>County File # <u>CDVR25-01069</u></p> <p>Prior to <u>01/22/2026</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Landslide</td> <td style="width: 50%;">Active Fault Zone (A-P)</td> </tr> <tr> <td>Liquefaction</td> <td>Flood Hazard Area</td> </tr> <tr> <td colspan="2" style="text-align: center;">60-dBA Noise Control</td> </tr> <tr> <td colspan="2" style="text-align: center;">CA EPA Hazardous Waste Site</td> </tr> <tr> <td colspan="2" style="text-align: center;">High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">* * * * *</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: None Below Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	Landslide	Active Fault Zone (A-P)	Liquefaction	Flood Hazard Area	60-dBA Noise Control		CA EPA Hazardous Waste Site		High or Very High FHSZ	
Landslide	Active Fault Zone (A-P)										
Liquefaction	Flood Hazard Area										
60-dBA Noise Control											
CA EPA Hazardous Waste Site											
High or Very High FHSZ											



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01069

File Date: 12/22/2025

Applicant:

Justin Orman Orman & Associates
194 Smith Road
Alamo, CA 94507

justin@ormanassoc.com
(925) 577-8030

Property Owner:

Project Description:

The applicant requests approval of a Variance application for the construction of a new 680 sq. ft. inground pool within the secondary front yard setback. MWELO is required for the new pool.

Project Location: (Address: 194 SMITH RD, ALAMO, CA 94507 273), (APN: 196042009)

Additional APNs:

General Plan Designation(s): RVL

Zoning District(s): R-40

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052BADJ	Notification Fee Adjustment	002606-9660-REV-000-5B052B	1.00	1.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
		Total:	3383.00	3383.00

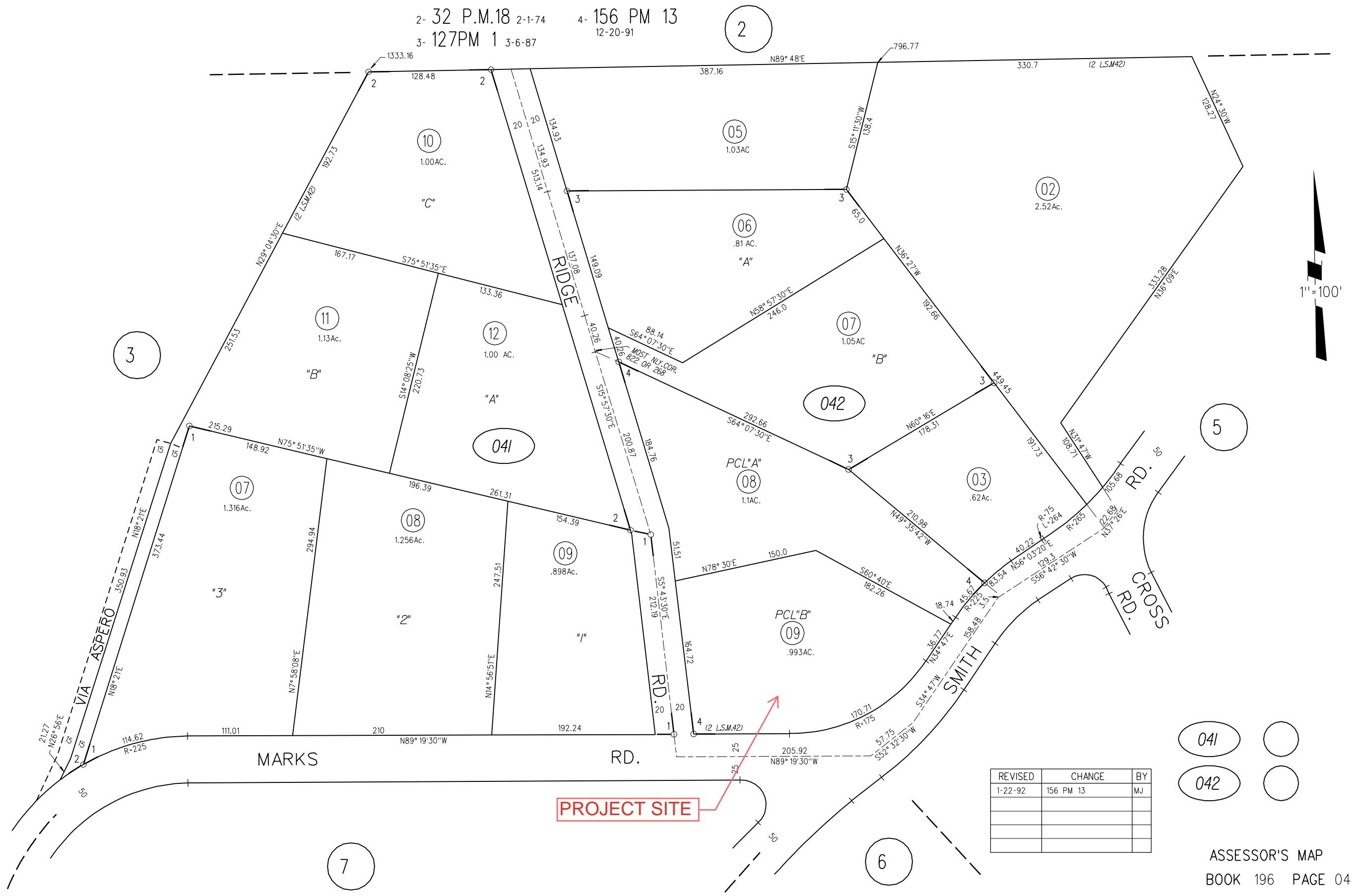
POR. SE $\frac{1}{4}$ SEC. 17, T. 1S., R. 1W., M.D.B.M.

(POR. ASSESSOR'S MAP OF ALAMO OAK)

1- RECORD OF SURVEY 21 L.S.M. 26 3-21-6

2- 32 P.M.18
3- 127PM 1 3-

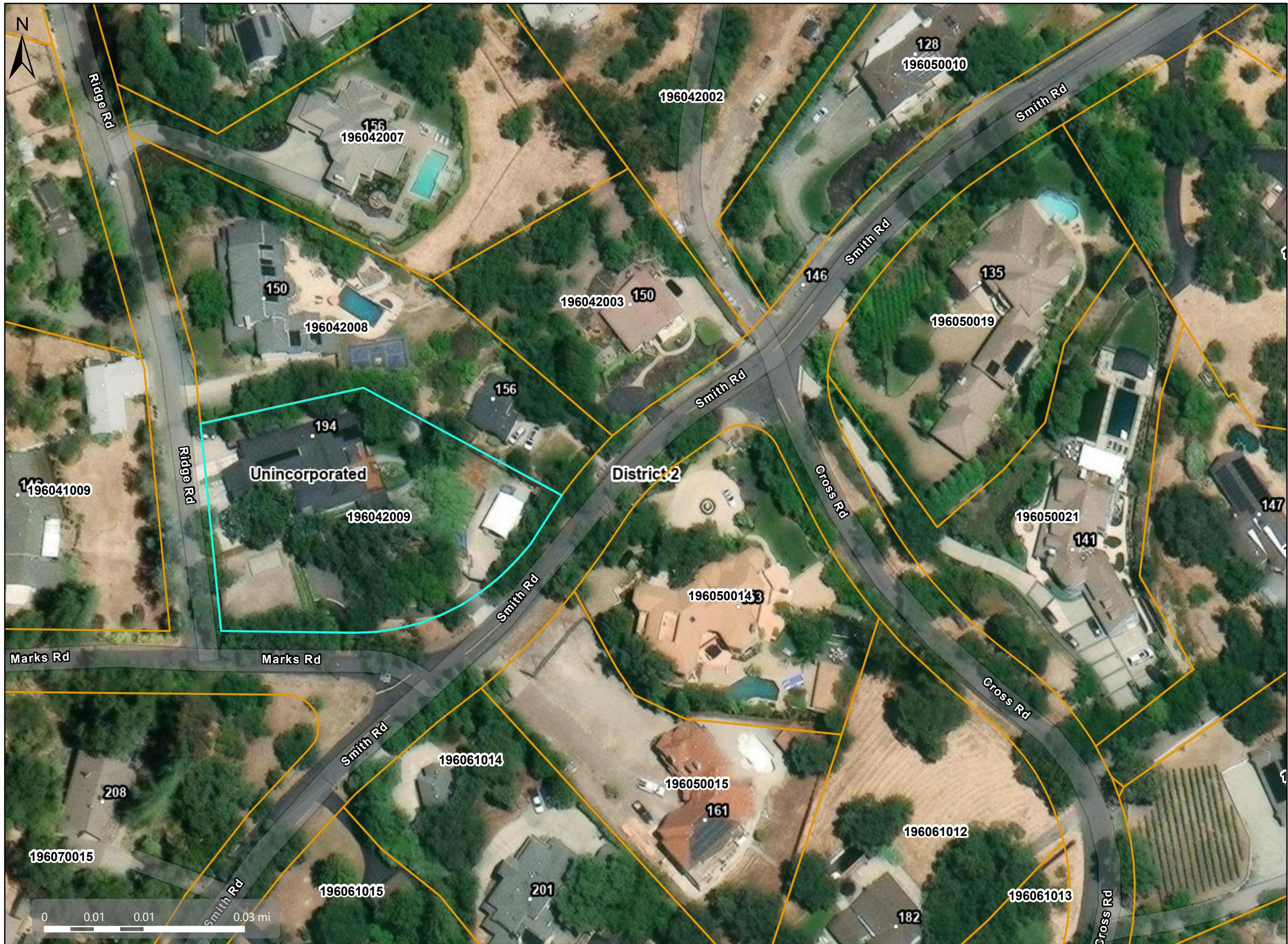
4 156 PM 1
12-20-91



ASSESSOR'S MAP

BOOK 196 PAGE 04

Aerial



Map Legend
County Border
Assessment Parcels
Unincorporated
Board of Supervisors' Districts
Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan - RVL



Map Legend	
County Border	
Assessment	
Parcels	
General Plan	
RVL (Residential Very-Low Density) (≤ 1 du/na)	
Unincorporated	
Board of Supervisors' Districts	
Address Points	

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Zoning - R-40



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

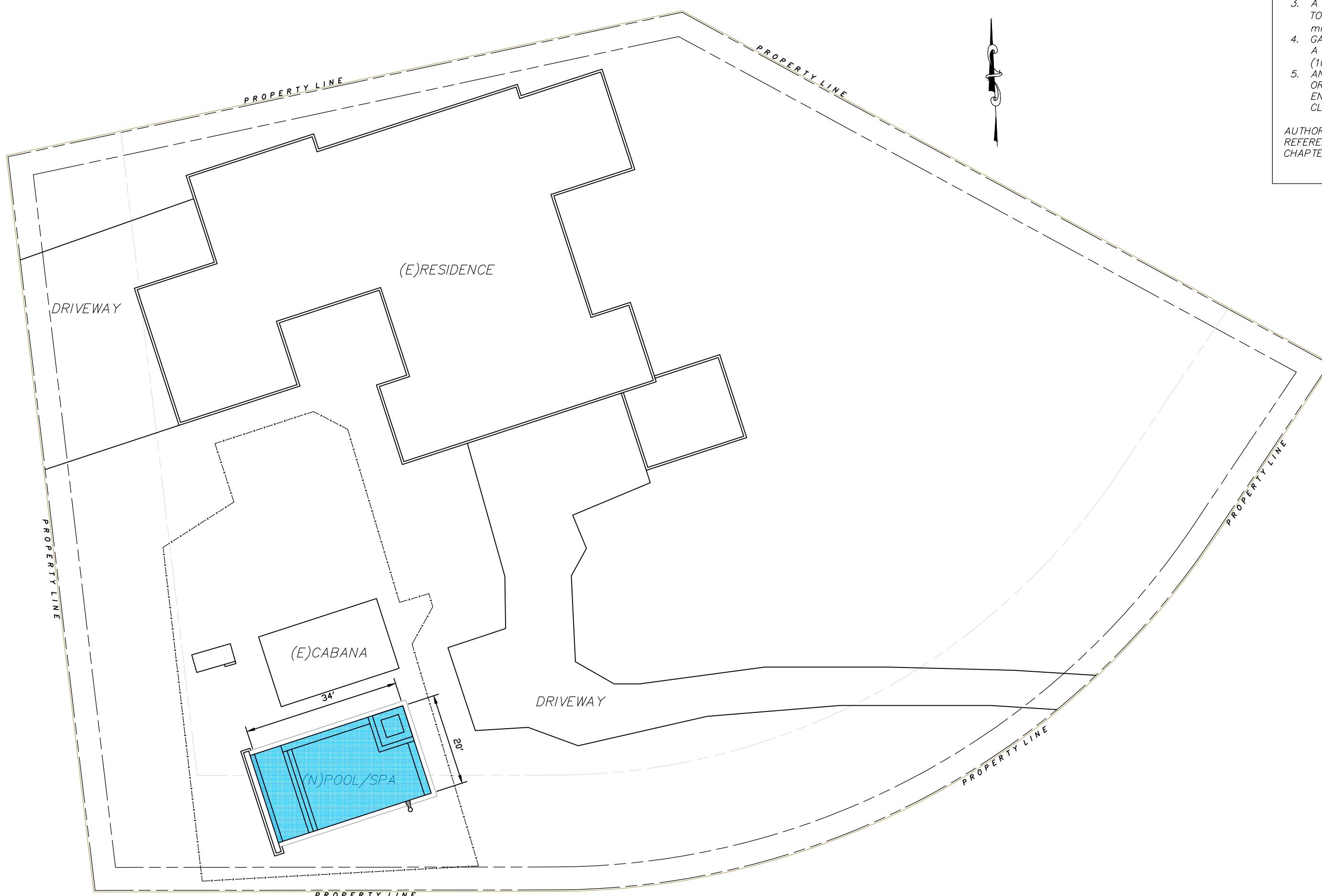
RECEIVED on 12/22/2025 CDVR25-01069
By Contra Costa County
Department of Conservation and Development

ENCLOSURE NOTES

DESIGN AND CONSTRUCTION OF SWIMMING POOL ENCLOSURES SHALL BE BASED ON THE 2022 CALIFORNIA BUILDING CODE(CBC) SECTION 3109, 2022 CALIFORNIA RESIDENTIAL CODE(CRC) APPENDIX AX, 2022 CALIFORNIA ELECTRICAL CODE(CEC) ARTICLE 680. AN ENCLOSURE SHALL HAVE ALL OF THE FOLLOWING CHARACTERISTICS:

1. ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES (1524 mm) ABOVE THE GROUND.
2. A MINIMUM HEIGHT OF 60 INCHES (1524 mm).
3. A MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF 2 INCHES (51 mm).
4. GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4 INCHES (102 mm) IN DIAMETER.
5. AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD ENABLE A CHILD BELOW THE AGE OF FIVE YEARS TO CLIMB OVER.

AUTHORITY: HEALTH AND SAFETY CODE SECTION 18942(b)
REFERENCE: HEALTH AND SAFETY CODE SECTION 115923; CHAPTER 92, STATUTES OF 1996.



New Pool Site Plan

scale; 1" = 20'-0"

ALL NEW CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:
2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ENERGY CODES.

ELECTRICAL NOTES:

ALL METAL FITTING WITHIN OR ATTACHED TO THE POOL STRUCTURE SHALL BE EQUIPOENTIAL BONDED. ALL FIXED METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF THE POOL SHALL BE BONDED INCLUDING, BUT NOT LIMITED TO, METAL-SHEATHED CABLES AND RACEWAYS, METAL PIPING, METAL AWNINGS, METAL FENCES, METAL CUTTERS, METAL DOOR-AND-WINDOW-FRAMES. PER: CEC-680.26

SHEET 1 OF 4

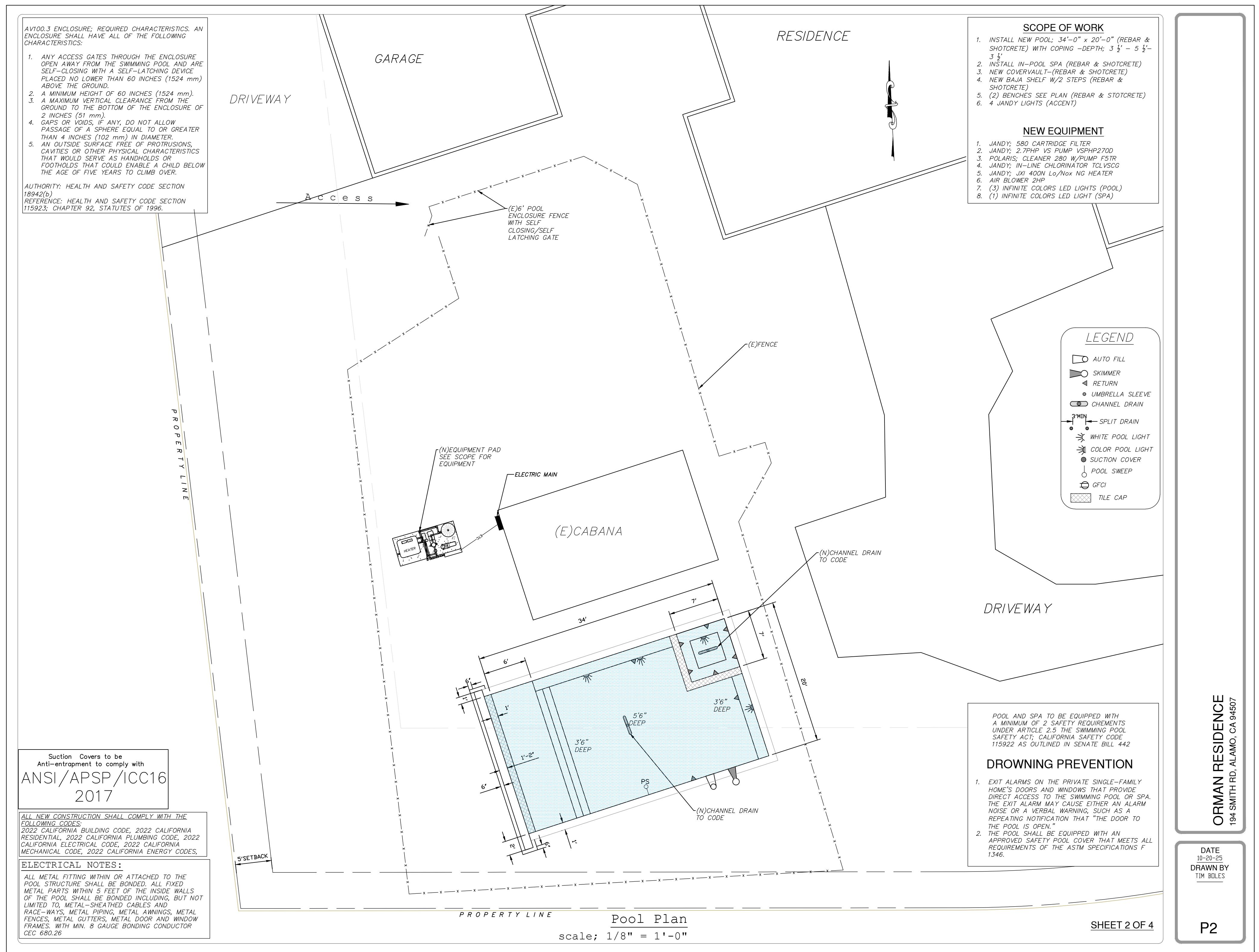
SHEET INDEX

SHEET P1. SITE PLAN AND NOTES
SHEET P2. CONSTRUCTION PLAN
SHEET 3. STRUCTURAL
SHEET 4. STRUCTURAL DETAIL

ORMAN RESIDENCE
194 SMITH RD, ALAMO, CA 94507

DATE
10-20-25
DRAWN BY
TIM BOLES

P1





CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-373

Agenda Date: 2/3/2026

Agenda #: 8.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDSD26-09736 - 3240 Stone Valley Road West

Contact: Dominique Vogelpohl, Dominique.Vogelpohl@dcd.cccounty.us
[<mailto:Dominique.Vogelpohl@dcd.cccounty.us>](mailto:Dominique.Vogelpohl@dcd.cccounty.us)

Information:

The applicant requests for approval of a Condominium Map to allow 60 units proposed under Development Plan CDDP25-03023 to be individually sold. This application is superseding County File CDMS26-00001. The address is 3240 Stone Valley Road W.



AGENCY COMMENT REQUEST

Date 1/13/26

We request your comments regarding the attached application currently under review.

<p>DISTRIBUTION</p> <p>INTERNAL</p> <p><input checked="" type="checkbox"/> Building Inspection Grading Inspection</p> <p><input checked="" type="checkbox"/> Advance Planning <input checked="" type="checkbox"/> Housing Programs</p> <p><input checked="" type="checkbox"/> Trans. Planning Telecom Planner</p> <p>ALUC Staff HCP/NCCP Staff</p> <p>County Geologist</p> <p>HEALTH SERVICES DEPARTMENT</p> <p><input checked="" type="checkbox"/> Environmental Health Hazardous Materials</p> <p>PUBLIC WORKS DEPARTMENT</p> <p><input checked="" type="checkbox"/> Engineering Services Special Districts</p> <p><input checked="" type="checkbox"/> Traffic</p> <p>Flood Control (Full-size)</p> <p>LOCAL</p> <p><input checked="" type="checkbox"/> Fire District _____</p> <p><input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov Consolidated – (email) fire@cccfpd.org</p> <p><input checked="" type="checkbox"/> Sanitary District <u>Central San</u></p> <p><input checked="" type="checkbox"/> Water District <u>EBMUD</u></p> <p>City of _____</p> <p>School District(s) _____</p> <p>LAFCO</p> <p>Reclamation District # _____</p> <p>East Bay Regional Park District</p> <p>Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>alamo</u></p> <p>Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email) _____</p> <p>OTHERS/NON-LOCAL</p> <p>CHRIS (email only: nwic@sonoma.edu)</p> <p>CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>Native American Tribes</p> <p>ADDITIONAL RECIPIENTS</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Dominique Vogelpohl</u></p> <p>Phone # <u>925-655-2880</u></p> <p>E-mail <u>dominique.vogelpohl@dcd.cccounty.us</u></p> <p>County File # <u>CDSD26-09736</u></p> <p>Prior to <u>Feb. 10, 2026</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Landslide</td> <td style="width: 50%;">Active Fault Zone (A-P)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Liquefaction</td> <td>Flood Hazard Area</td> </tr> <tr> <td><input checked="" type="checkbox"/> 60-dBA Noise Control</td> <td></td> </tr> <tr> <td></td> <td>CA EPA Hazardous Waste Site</td> </tr> <tr> <td></td> <td>High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">* * * * *</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: None Below Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	Landslide	Active Fault Zone (A-P)	<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area	<input checked="" type="checkbox"/> 60-dBA Noise Control			CA EPA Hazardous Waste Site		High or Very High FHSZ
Landslide	Active Fault Zone (A-P)										
<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area										
<input checked="" type="checkbox"/> 60-dBA Noise Control											
	CA EPA Hazardous Waste Site										
	High or Very High FHSZ										



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDSD26-09736

File Date: 1/12/2026

Applicant:

Shelly Butler
Kier & Wright
3350 Scott Blvd, Bldg. 22
Santa Clara, CA 94551

sbutler@kierwright.com
(925) 245-8788

Property Owner:

STONE VALLEY HOLDINGS LLC
Scott Griggs
3240 Stone Valley Road W
Alamo, CA 94507

sgriggs@blakegriggs.com
(925) 262-3632

Project Description:

Request for approval of a Condominium Map to allow 60 units proposed under Development Plan CDDP25-03023 to be individually sold. This application is superseding County File CDMS26-00001.

Project Location: (Address: 3240 STONE VALLEY RD W , ALAMO, CA 94507), (APNs: 191093043 and 191-093-044

General Plan Designation: Mixed Use, Med-Density (MUM)

Zoning District(s): Housing Element-Consistency (HE-C); Cannabis Exclusion (-CE)

Flood Hazard Areas: X

AP Fault Zone: NO

60-dBA Noise Control: YES

MAC/TAC: ALAMO

Sphere of Influence: N/A

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: YES

Specific Plan: N/A

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
SDS0035	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			8662.00	8662.00

Aerial



Map Legend

- County Border
- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.
Owned by Contra Costa County Department of Information Technology, County GIS.
Within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquiries to the appropriate department.

Procrator Auxiliary Sphere

POR. RO. SAN RAMON

1960 ROLL - TRACT 2627 (RANCHO ROMERO) M.B. 75-36

1- RECORD OF SURVEY 43 L.S.M.10 6-9-6
2- 65PM18 4-26-78

3- 82PM14-17 10-26-79
 4- 105PM47&48 5-23-83
 5- 210PM40 2-16-16

Cor. Jones & Covough

M.B. 198

TRACT 2852
FILED 4-13-62
M.B.87-1
12.73AC.

093

094

095

191-093-043-5

191-093-044-3

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

316

317

318

319

320

321

322

323

324

325

326

327

328

329

330

331

332

333

334

335

336

337

338

339

340

341

342

343

344

345

346

347

348

349

350

351

352

353

354

355

356

357

358

359

360

361

362

363

364

365

366

367

368

369

370

371

372

373

374

375

376

377

378

379

380

381

382

383

384

385

386

387

388

389

390

391

392

393

394

395

396

397

398

399

400

401

402

403

404

405

406

407

408

409

410

411

412

413

414

415

416

417

418

419

420

421

422

423

424

425

426

427

428

429

430

431

432

433

434

435

436

437

438

439

440

441

442

443

444

445

446

447

448

449

450

451

452

453

454

455

456

457

458

459

460

461

462

463

464

465

466

467

468

469

470

471

472

473

474

475

476

477

478

479

480

481

482

483

484

485

486

487

488

489

490

491

492

493

494

495

496

497

498

499

500

501

502

503

504

505

506

507

508

509

510

511

512

513

514

515

516

517

518

519

520

521

522

523

524

525

526

527

528

529

530

531

532

533

534

535

536

537

538

539

540

541

542

543

544

545

546

547

548

549

550

551

552

553

554

555

556

557

558

559

560

561

562

563

564

565

566

567

568

569

570

571

572

573

574

575

576

577

578

579

580

581

582

583

584

585

586

587

588

589

590

591

592

593

594

595

596

597

598

599

600

601

602

603

604

605

606

607

608

609

610

611

612

613

614

615

616

617

618

619

620

621

622

623

624

625

626

627

628

629

630

631

632

633

634

635

636

637

638

639

640

641

642

643

644

645

646

647

648

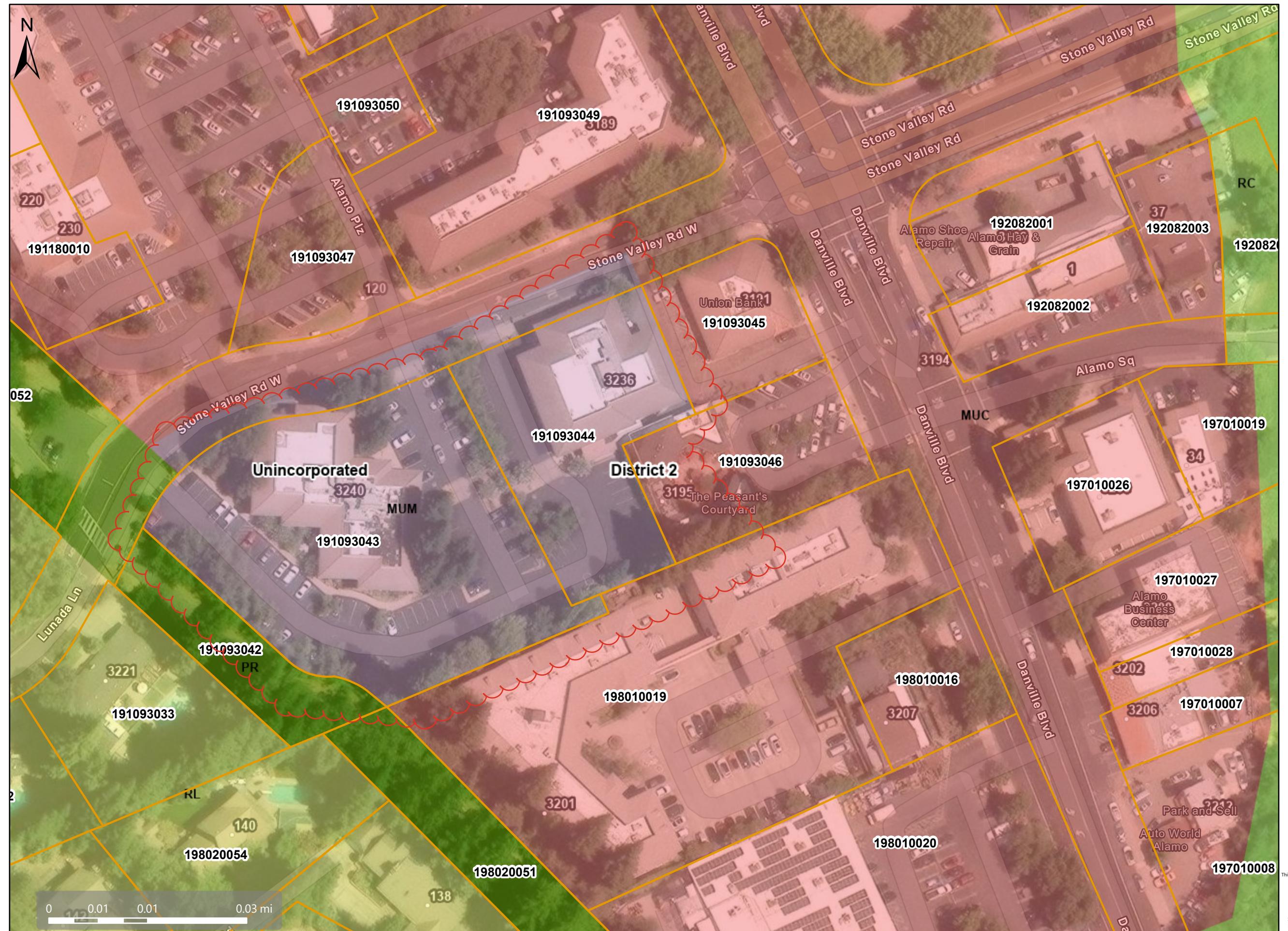
649

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

M.B.
198

4-15-86
SSOR'S MAP
191 PAGE 09
MONTA COUNTY CALIF.

General Plan - MUM



er generated, static output from an internet mapping application and is intended for reference use only.

Output from an internet mapping application and is intended for reference use only. The information on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

Contra Costa County Department of Information Technology, County GIS. CCMap application are provided by various Contra Costa County Departments.

Please direct all data inquiries to the appropriate department.

direct all data inquiries to the appropriate department.

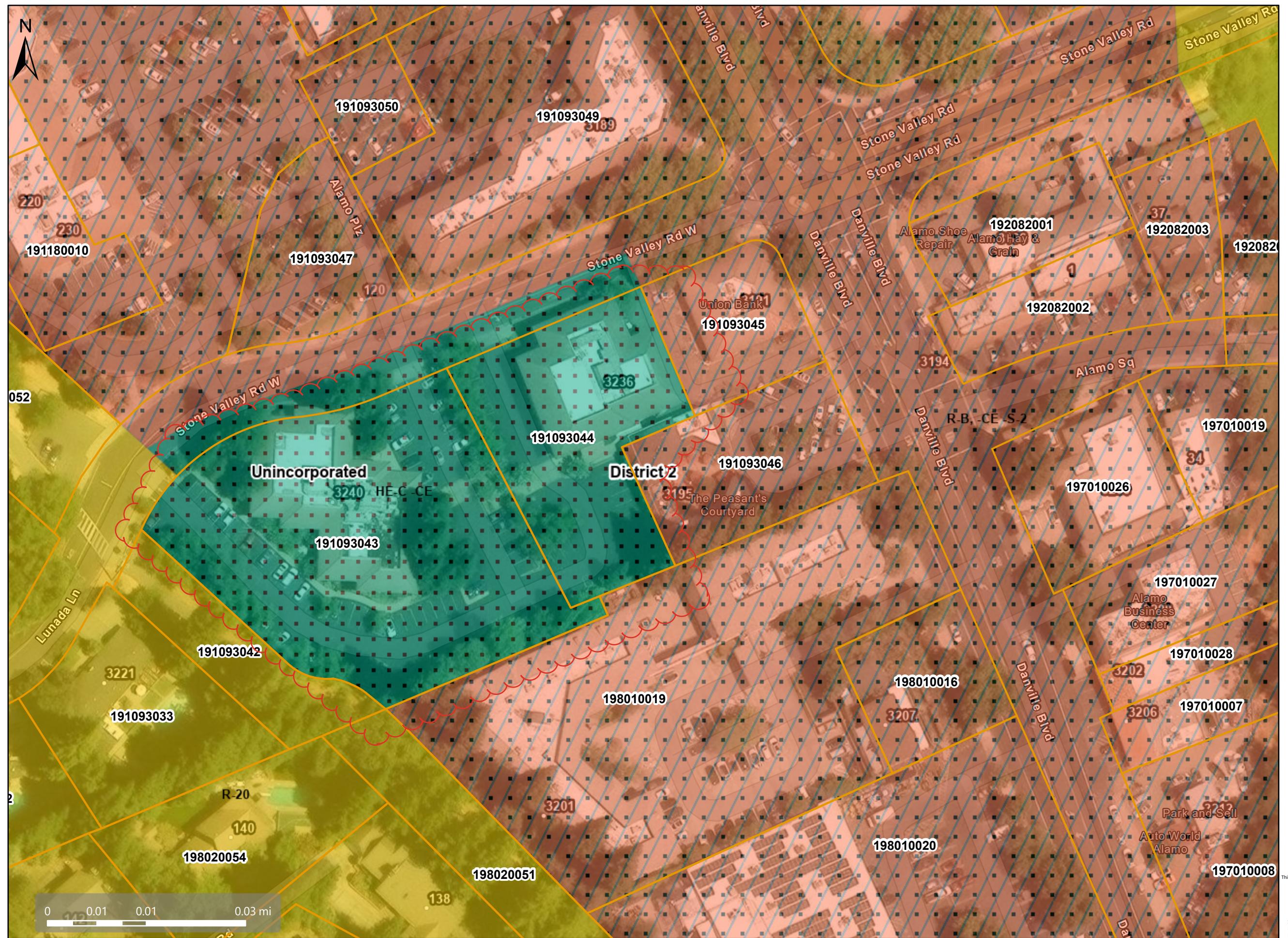
984 Web Mercator Auxiliary Sphere 41

Auxiliary Sphere 41

1984

For more information, contact the Office of the Vice President for Research and Economic Development at 319-273-2500 or research@uiowa.edu.

Zoning - HE-C, -CE



Map Legend

- County Border
- Assessment Parcels
- Zoning
- ZONE_OVER
- R-20 (Single Family Residential)
- R-B -CE -S-2 (Cannabis Exclusion and Sign Control)
- HE-C -CE (Cannabis Exclusion Combining District)
- Unincorporated
- Board of Supervisors' Districts
- Address Points

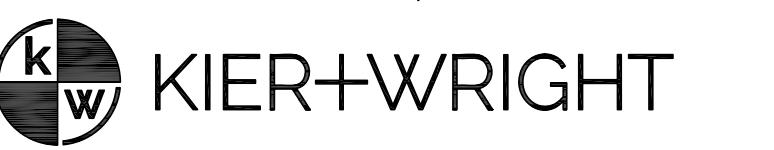
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

TENTATIVE MAP FOR CONDOMINIUM PURPOSES MS

A ONE LOT SUBDIVISION FOR 60 COMMERCIAL CONDOMINIUM UNITS
UNINCORPORATED PORTION - CONTRA COSTA COUNTY - CALIFORNIA
DECEMBER, 2025

PROJECT DATA

- OWNER/DEVELOPER: BLAKE GRIGGS PROPERTIES, LLC. ATTN: RYAN McNAMARA 550 HARTZ AVENUE, SUITE 200 DANVILLE, CA 94526 (925) 766-1350
- CIVIL ENGINEER: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. ATTN: GARY LAMB 259 CHERRY LANE, SUITE 208 MANTECA, CA 95337 (209)326-123
- APN: 191-093-043-5 & 191-093-044-3
- EXISTING ZONING: HE-C CE, "HOUSING ELEMENT CONSISTENCY DISTRICT" "CANNABIS EXCLUSION COMBINING DISTRICT"
- PROPOSED ZONING: HE-C CE, "HOUSING ELEMENT CONSISTENCY DISTRICT" "CANNABIS EXCLUSION COMBINING DISTRICT"
- TENTATIVE MAP FOR A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES ON A 0.5785-GROSS ACRE SITE.
- EXISTING NUMBER OF LOTS: 2
- NO NEW STREET NAMES PROPOSED.
- THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED APRIL 20, 2022, ORDER NUMBER 008-30085464-A-KD. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIR) FOR CONTRA COSTA COUNTY, CALIFORNIA, MAP NUMBER 060130431F FOR COMMUNITY NUMBER 060225 (CITY OF ALAMO), WITH AN EFFECTIVE DATE OF JUNE 16, 2009, AS BEING LOCATED IN FLOOD ZONE "X" (UNSHADED). ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (UNSHADED) IS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK: CONTRA COSTA COUNTY BM # 2427, LOCATED ON THE NORTH SIDE OF LUNADA LANE 60 FEET FROM THE CENTERLINE INTERSECTION OF THE SOUTHERN PACIFIC RAILROAD AND LUNADA LANE, ALAMO. BM. IS A CINCH NAIL AND BRASS WASHER SET IN THE EAST SIDE OF A 4' X 4' CONCRETE SLAB, 0.6 FEET EASTERLY OF A 2.5' X 2.5' BRICK CORNER POST. ELEVATION=273.221" (NGVD29 DATUM)
- ELEVATIONS SHOWN HEREON ARE BASED ON (NGVD29) DATUM. TO CONVERT TO (NAVD88) ADD 2.671 TO ELEVATIONS SHOWN. DATA CONVERSION WAS OBTAINED FROM THE NGS WEBSITE (www.ngs.noaa.gov/VERTON/VERT_CON.PRC).



2850 Collier Canyon Road Livermore, CA 94551
Phone: (925) 245-8788 www.kierwright.com

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

TRACT ONE:

PARCEL ONE:

LOT A, AS SHOWN ON THE RECORD OF SURVEY LOT LINE ADJUSTMENT MAP, FILED AUGUST 31, 1984, BOOK 691, LICENSED SURVEYOR'S MAPS, PAGE 22, CONTRA COSTA COUNTY RECORDS.

EXCEPTING THEREFROM:

THAT PORTION THEREOF EXCEPTED IN THE DEED FROM SOUTHERN PACIFIC TRANSPORTATION COMPANY, RECORDED AUGUST 20, 1981, BOOK 10457, PAGE 970, OFFICIAL RECORDS, WHICH RECENTLY AS FOLLOWS:

'GRANTOR EXCEPTS FROM THE PROPERTY HEREBY CONVEYED THAT PORTION THEREOF LYING BELOW A DEPTH OF 500 FEET, MEASURED VERTICALLY, FROM THE CONTOUR OF THE SURFACE OF SAID PROPERTY; HOWEVER, GRANTOR OR ITS SUCCESSORS AND ASSIGNS SHALL NOT HAVE THE RIGHT FOR ANY PURPOSE WHATSOEVER TO ENTER UPON, INTO OR THROUGH THE SURFACE OF SAID PROPERTY OF ANY PART THEREOF LYING BETWEEN SAID SURFACE AND 500 FEET BELOW SAID SURFACE.'

PARCEL TWO:

A NON-EXCLUSIVE EASEMENT CREATED BY THE GRANT OF EASEMENT TO DEL PRADO COMPANY, A GENERAL PARTNERSHIP, RECORDED JANUARY 12, 1988, BOOK 14120, PAGE 375, OFFICIAL RECORDS, WHICH RECITES AS FOLLOWS:

'A STRIP OF LAND FIVE FEET WIDE LYING ON THE SOUTHWEST SIDE OF AND ADJOINING A PORTION OF THE LINE COMMON TO LOTS A AND D OF THAT RECORD OF SURVEY RECORDED AUGUST 31, 1984, IN BOOK 691, LICENSED SURVEYOR'S MAPS AT PAGE 22, AS SAID STRIP IS SHOWN ON SAID RECORD OF SURVEY.'

TRACT TWO:

PARCEL ONE:

PARCEL C OF MS 103-81, AS SHOWN ON THE MAP FILED MAY 23, 1983 IN BOOK 105 OF PARCEL MAPS AT PAGES 47 AND 48, CONTRA COSTA COUNTY RECORDS.

PARCEL TWO:

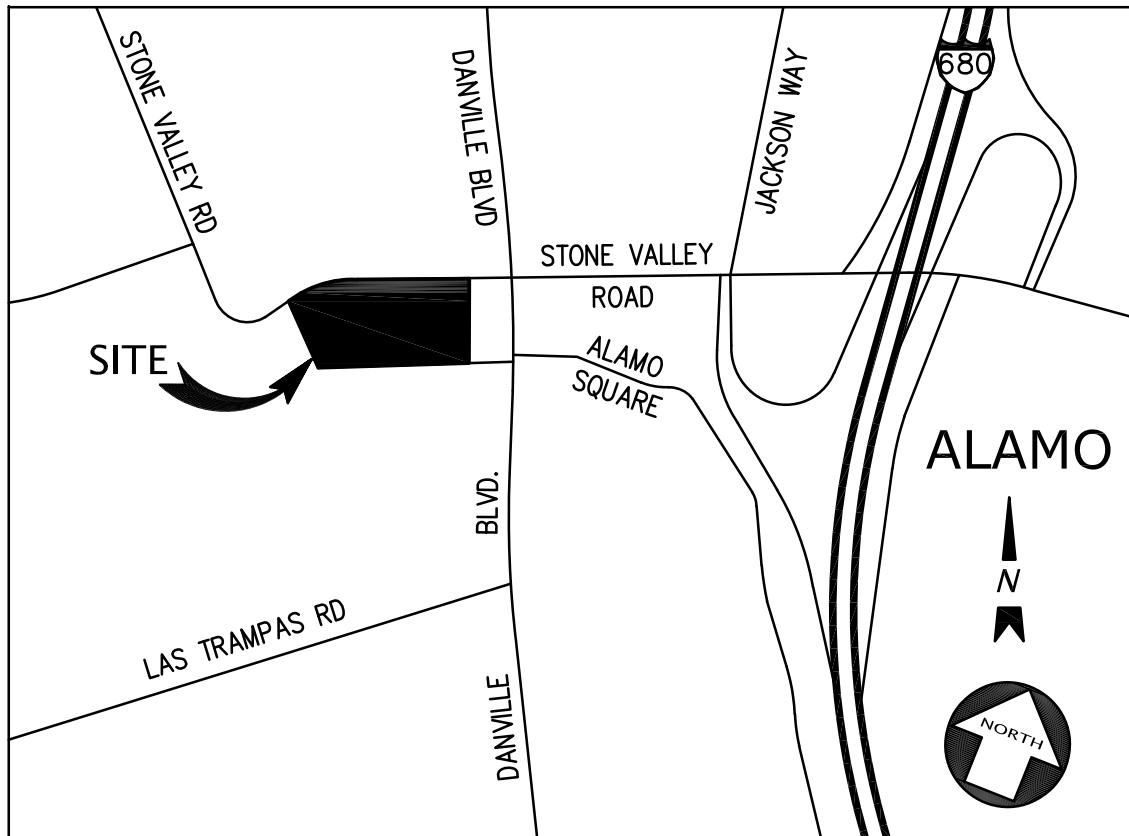
EASMENTS FOR PARKING, DRIVEWAY ACCESS, INGRESS AND EGRESS FOR THE CUSTOMERS, INVITÉS, TENANTS, AGENTS OF OWNERS, OWNERS AND OTHER USERS OF PARCEL ONE ABOVE, TOGETHER WITH OTHER PROVISIONS CONTAINED THEREIN, AS PROVIDED FOR IN INSTRUMENT RECORDED APRIL 17, 1979, BOOK 9312, OFFICIAL RECORDS, PAGE 440, SERIES NO. 79-49856.

LEGEND

BLDG LINE	B	BASKETBALL POLE
BLDG LINE, PAVING LINE	BBL	BACK FLOW PREVENTER
CONCRETE	BBLR	BOLLARD
CONCRETE CURB	BR	BOTTOM OF RAMP
CONCRETE CURB & GUTTER	BUT	BURKETT'S WALK
CONTOUR LINE-MAJOR	C	CONCRETE
CONTOUR LINE-MINOR	C-FC	CATCH BASIN
DRIVE LINE	CB	CLEANOUT
EASEMENT LINE	CO	COMMUNICATION
EDGE OF PAVEMENT	E	EA
ELECTRIC LINE	EB	ELECTRIC
FENCE LINE	ESMT	EASEMENT
GAZEBO	EW	EDGAR'S WALK
GAS LINE-VALVE & METER	FDC	FE
LOT LINE	FF	FIRE DEPARTMENT CONNECTION
MONUMENT/MONUMENT LINE	FH	FIRE HYDRANT
PROPERTY LINE	FD/ND	FLOW LINE
SANITARY SEWER LINE-MANHOLE & CLEANOUT	FC	FACE OF CURB
SDWELLING	FW	FACE OF WALL
SPOT ELEVATION	GB	GRADE BREAK
STORM DRAIN LINE-MANHOLE & CATCH BASIN	GEN	GENERATOR
STORM DRAIN LINE OVER 24" DIAMETER	GM	GAS METER
TURF	IE	INTEGRITY ELEVATION
WATER LINE & VALVE	IE	INVERT ELEVATION
ACCESSIBLE PARKING SYMBOL	LE	LANDSCAPE EASEMENT
BACKFLOW PREVENTION DEVICE	Ls	LANDSCAPE
ELECTRICAL	LSM	LAND SURVEY MAP
FIRE DEPARTMENT CONNECTION	MON	MONUMENT
FIRE LINE	MW	MONUMENT WELL
FLAG POLE	N	NORTH
GAS METER	NE	NORTH EAST
POST INDICATOR VALVE	NW	NORTH WEST
TRANSFORMER	O.R.	OFFICIAL RECORD
TRAFFIC SIGN	PM	PER PLAN
TREE	PM	PARCEL MAP
UTILITY BOX	SD.E.	STORM DRAIN EASEMENT
WALK-BALLARD LIGHT	SD.M.	STORM DRAIN MANHOLE
WATER VALVE	SE	SOUTH EAST
	SFN	SEARCHED FOR AND NOT FOUND
	SL	STREET LIGHT
	SSMH	SANITARY SEWER MANHOLE
	SO	SOUTH
	TB	TELEPHONE BOX
	TC	TOP OF CURB
	TE	TRASH ENCLOSURE
	TP	TOP OF MAP
	TS	TOP OF STAIR
	UTO	UNABLE TO OBTAIN
	UKD	UNKNOWN DESTINATION
	WB	WATER BOX
	WM	WATER METER
	W.P.E.	WATER PIPELINE EASEMENT
	WMH	WATER MANHOLE

ABBREVIATIONS

0 10 20 40 60
Scale 1" = 20'



VICINITY MAP

NOT TO SCALE

REFERENCES

(R1) PARCEL MAP 108 PM 47
(R2) RECORD OF SURVEY 69 LSM 22

RECEIVED on 1/23/2026 CDMS26-00001

By Contra Costa County
Department of Conservation and Development

DRAFT

Gary K. Lamb
PREPARED BY OR UNDER THE SUPERVISION OF
GARY K. LAMB, L.S. 6627
GLAMBO KIER+WRIGHT.COM



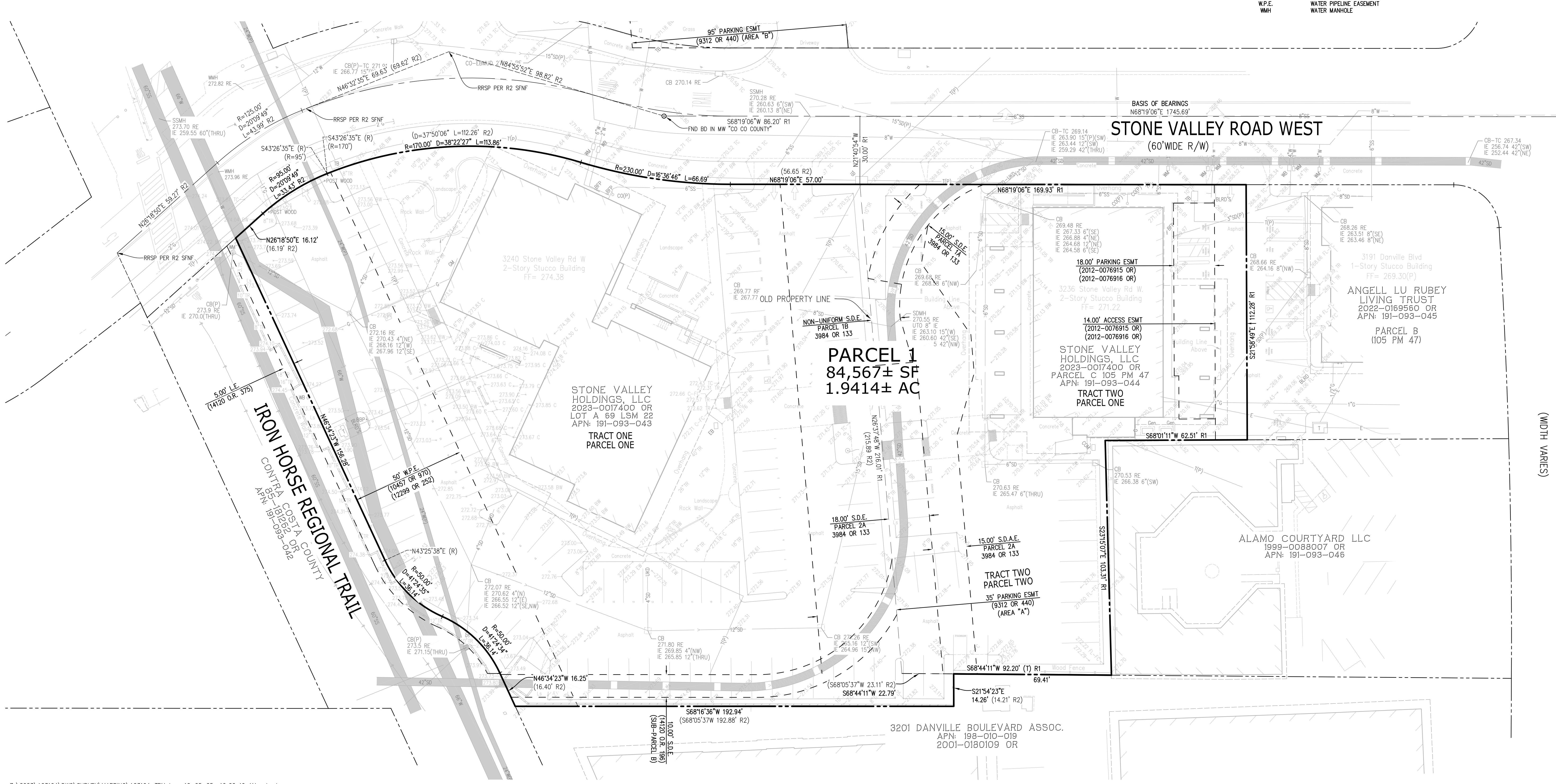
12/05/2024



Phone: (925) 328-1123
250 Cherry Lane, Suite 107, 208
Manteca, CA 95337

CALIFORNIA

TENTATIVE MAP FOR CONDOMINIUM PURPOSES
OF
3236 & 3240 STONE VALLEY ROAD
FOR
BLAKE GRIGGS PROPERTIES, LLC



DATE DEC., 2025
SCALE AS SHOWN
SURVEYOR GKL
DRAWN BY GKL
JOB NO. A23164
SHEET 1 OF 1 SHEETS



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-374

Agenda Date: 2/3/2026

Agenda #: 9.

Advisory Board: Alamo Municipal Advisory Council

Subject: Expansion of Committee Oversight for Community Safety

Information:

This is a proposal to modify the scope of the Public Safety Committee to provide comprehensive coverage of Alamo safety initiatives and agency coordination. The Committee would now include working with P2B, P5 (Round Hill), Contra Costa County Fire Protection District (Con Fire) as well as San Ramon Valley Fire Protection District.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-375

Agenda Date: 2/3/2026

Agenda #: 10.

Advisory Board: Alamo Municipal Advisory Council

Subject: Subcommittee Reports

Information:

- Alamo Subcommittee for Schools: Straznicka, Parkinson
- Alamo AOB/Roundabout: Struthers, Barclay, Burke
- Land Use Planning Subcommittee: Barclay (Chair), Brannan, Burke
- Iron Horse Corridor Subcommittee: Struthers
- Parks and Recreation Subcommittee: Struthers, Parkinson, Sene
- Public Safety (Police P-2, Fire, Emergency): Brannan, Straznicka
- Trees and Landscape Subcommittee: Burke, Parkinson



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-376

Agenda Date: 2/3/2026

Agenda #: 11.

Advisory Board: Alamo Municipal Advisory Council

Subject: Future Presentations

Information:

- March 2026 - San Ramon Valley Fire Protection District Fire Chief Aguiar
- March 2026 - Department of Conservation and Development, Principal Planner Ruben Hernandez
- April 2026 - Contra Costa County Registrar of Voters, Kristin Connelly