



CONTRA COSTA COUNTY

AGENDA - PUBLISHED

Alamo Municipal Advisory Council

Tuesday, February 3, 2026

6:00 PM

**Alamo Women's Club - 1401 Danville
Blvd., Alamo**

Chair Michaela Straznicka, Vice Chair Sharon Burke, Anne Struthers, Cecily Barclay, Robert Brannan, Michelle Parkinson, Michael Sene, Alternate

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Call to Order - Pledge of Allegiance - Roll Call
2. District II Board of Supervisors Staff
3. Presentations - EBMUD Board President Luz Gomez **26-366**
4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
5. CDVR25-01066 - 926 Forest Lane, Alamo **26-367**
Attachments: CDVR25-01066 ACR
6. CDVR25-01065 - 137 Dean Road, Alamo **26-371**
Attachments: CDVR25-01065 ACR
7. CDVR25-01069 - 194 Smith Road, Alamo **26-372**
Attachments: CDVR25-01069 - Agency Comment Request
8. CDSD26-09736 - 3240 Stone Valley Road West **26-373**
Attachments: Agency Comment Request Packet_CDSD26-09736
9. Expansion of Committee Oversight for Community Safety **26-374**
10. Subcommittee Reports **26-375**
11. Future Presentations **26-376**

The next meeting is currently scheduled for Tuesday, March 3rd at 6:00pm at the Alamo Women's Club.

Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours.

For Additional Information Contact: Cameron Collins at Cameron.Collins@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-366

Agenda Date: 2/3/2026

Agenda #: 3.

Advisory Board: Alamo Municipal Advisory Council

Subject: Presentation by EBMUD

Presenter: Luz Gomez, EBMUD Board President

Information:

East Bay Municipal Utility District (EBMUD) is a public agency based in Oakland that provides essential water and wastewater services to communities on the eastern side of the San Francisco Bay. It serves a broad area spanning 332 square miles across Alameda and Contra Costa counties.

EBMUD supplies high-quality treated drinking water to roughly 1.4 million people.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-367

Agenda Date: 2/3/2026

Agenda #: 5.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01066 - 926 Forest Lane, Alamo

Contact: Allison Seoane, Allison.Seoane@dcd.cccounty.us <<mailto:Allison.Seoane@dcd.cccounty.us>>

Information:

CDVR25-01066 - The applicant requests approval of a Variance to allow for a 25' side yard aggregate setback (where 35' is the required minimum) and for a residential addition and a small lot design review for a 138 sf addition and a 715 sf outdoor covered patio on a lot of substandard area. The address is 926 Forest Lane, Alamo.

Referral History and Update:

The project planner will be recommending approval of this application.



AGENCY COMMENT REQUEST

Date 12/17/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
 Advance Planning Housing Programs
 Trans. Planning Telecom Planner
 ALUC Staff HCP/NCCP Staff
 County Geologist

HEALTH SERVICES DEPARTMENT
 Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT
 Engineering Services Special Districts
 Traffic
 Flood Control (Full-size)

LOCAL

☒ Fire District _____
 ☒ San Ramon Valley – (email) rwendel@srvfire.ca.gov
 Consolidated – (email) fire@cccfdp.org

☒ Sanitary District Central San
☒ Water District EBMUD
 City of _____
 School District(s) _____
 LAFCO
 Reclamation District # _____
 East Bay Regional Park District
 Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Alamo
☒ Improvement/Community Association
☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL
 CHRIS (email only: nwic@sonoma.edu)
 CA Fish and Wildlife, Region 3 – Bay Delta
 Native American Tribes

ADDITIONAL RECIPIENTS
 AIA,

Please submit your comments to:
 Project Planner Allison Seoane
 Phone # 925-655-2871
 E-mail allison.seoane@dcd.cccounty.us
 County File # CDVR25-01066
 Prior to 01/16/2026

We have found the following special programs apply to this application:

☐ Landslide Active Fault Zone (A-P)
☒ Liquefaction Flood Hazard Area
☒ 60-dBA Noise Control
 CA EPA Hazardous Waste Site
 High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01066

File Date: 12/16/2025

Applicant:

JUSTIN B & KRIS POTTER POTTER JUSTIN B justin.potter21@gmail.com
& KRISTA L TRE (817) 480-7434
926 FOREST LN
ALAMO, CA 94507 242

Property Owner:

JUSTIN B & KRIS POTTER justin.potter21@gmail.com
926 FOREST LN (817) 480-7434
ALAMO, CA 94507 242

Project Description:

The applicant requests approval of a Variance to allow for a 25' side yard aggregate setback (where 35' is the required minimum) and for a residential addition and a small lot design review for a 138 sf addition and a 715 sf outdoor covered patio on a lot of substandard area.

Project Location: (Address: 926 FOREST LN, ALAMO, CA 94507 242), (APN: 201061005)

Additional APNs:

General Plan Designation(s): RL

Zoning District(s): R-20

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

NOTE:

GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES.

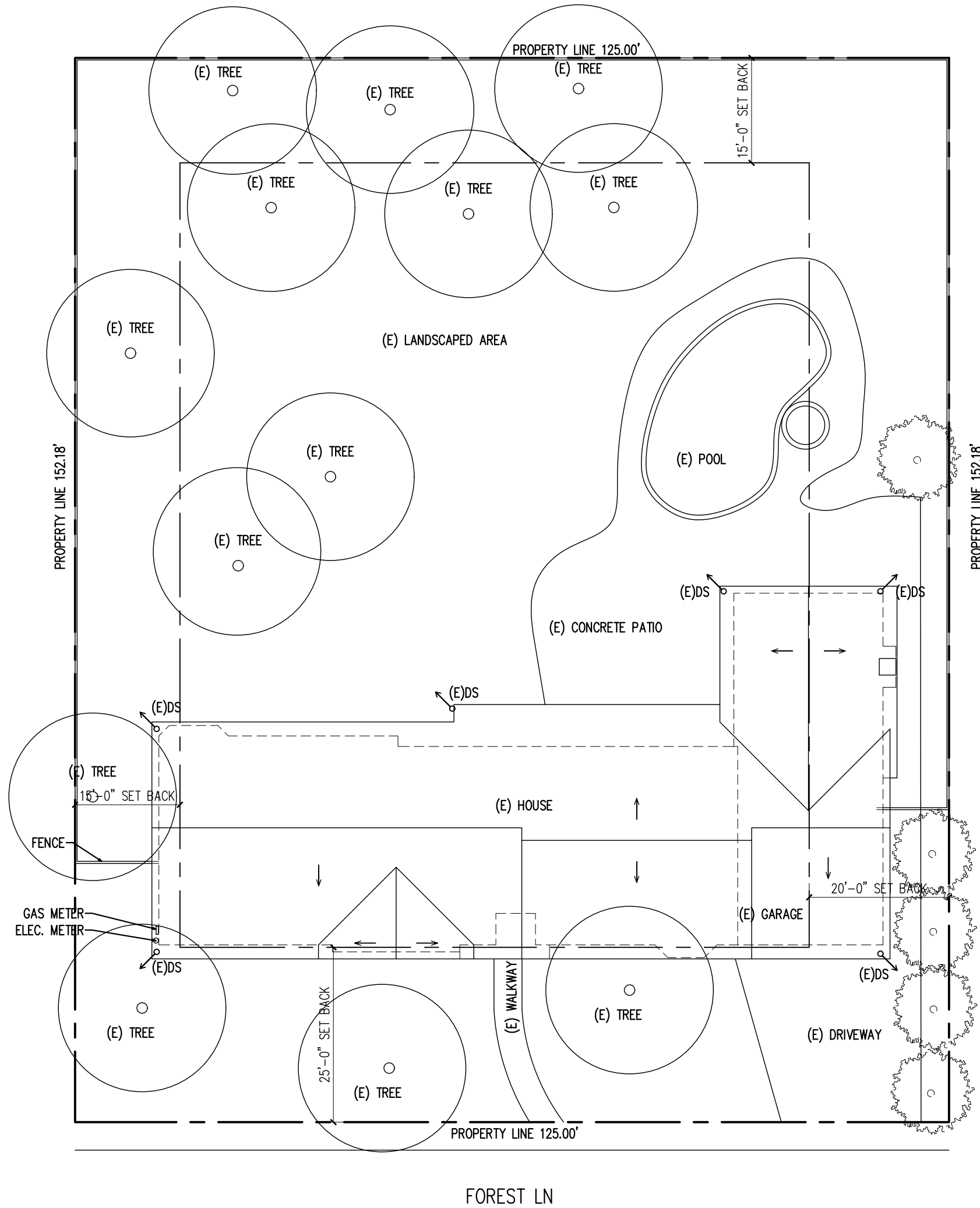
GC TO INSTALL STRAW WATTLE AS NEEDED DURING CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT SITES, AND PUBLIC RIGHT OF WAY.

(E) DS TO REMAIN, INSTALL (N) SPLASH PAN AS NEEDED.

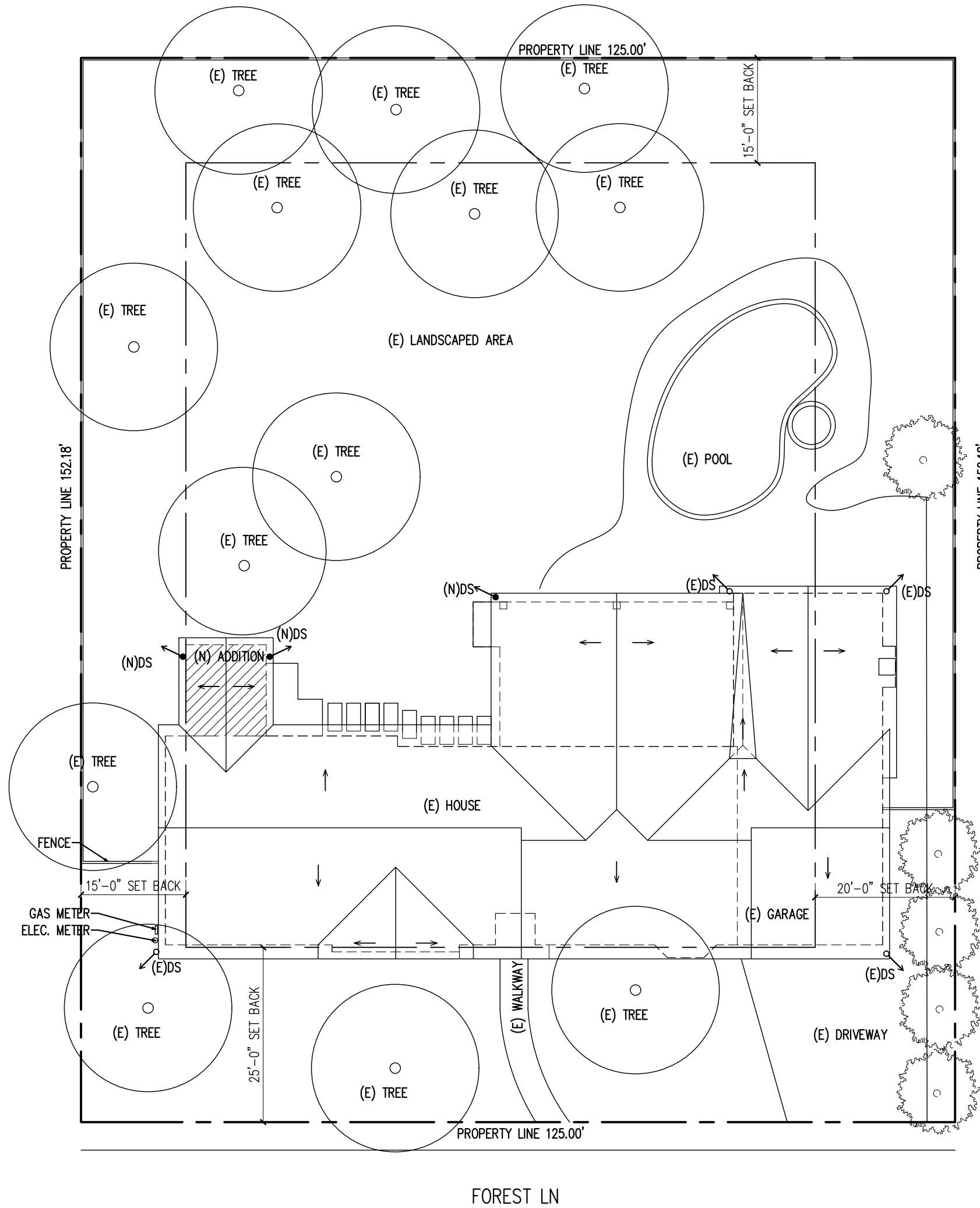
(N) DS TO CONNECT TO (E) DRAIN SYSTEM W/ 4" PVC AS NEEDED, OR TO STOP ABOVE A SPLASH PAN.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE PROJECT, AT THE TIME OF FOUNDATION INSPECTION WHEN REQUIRED BY CITY INSPECTOR OR PART OF PERMITTING APPROVAL REQUIREMENTS, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCROACH IN THE SETBACK.



1 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

CONTRACTOR'S NOTES:

- CONTRACTOR SHALL BE FULLY INSURED AND LICENSED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS, SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING CONDITIONS ARE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. THE GC SHALL INFORM THE ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE OWNER AND THE ARCHITECT OF RECORD OF ANY CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND OF NOTED CONFLICTS FOUND ON THE PLANS OR SHOW ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF THE PROJECT, BEFORE SUCH WORK COMMENCES.

- THE GC SHALL REVIEW AND COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO POURING CONCRETE; ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OF RECORD BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING AND NEW PROPERTIES OF THE OWNER OR ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, INCLUDED BUT NOT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND IMPLEMENT SHORING SYSTEM PRIOR TO THE

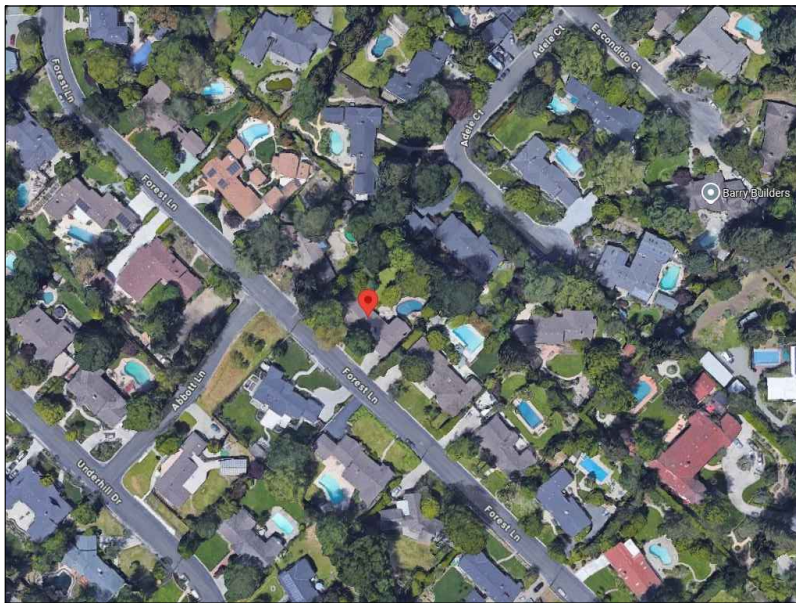
BEGINNING OF CONSTRUCTION.

- WHEN A CONFLICT EXISTS ON THE PLANS AND SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED MEASUREMENTS.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER TYPICAL ARCHITECTURAL DETAILS. SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN GENERAL NOTES.
- MANUFACTURERS' NOTES AND SPECIFICATIONS SHALL APPLY WHEN PER CODE.
- DO NOT SCALE DRAWINGS.
- GC IS RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES. CALL USA NORTH AT 1-800-227-2600.
- VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL OF CODE

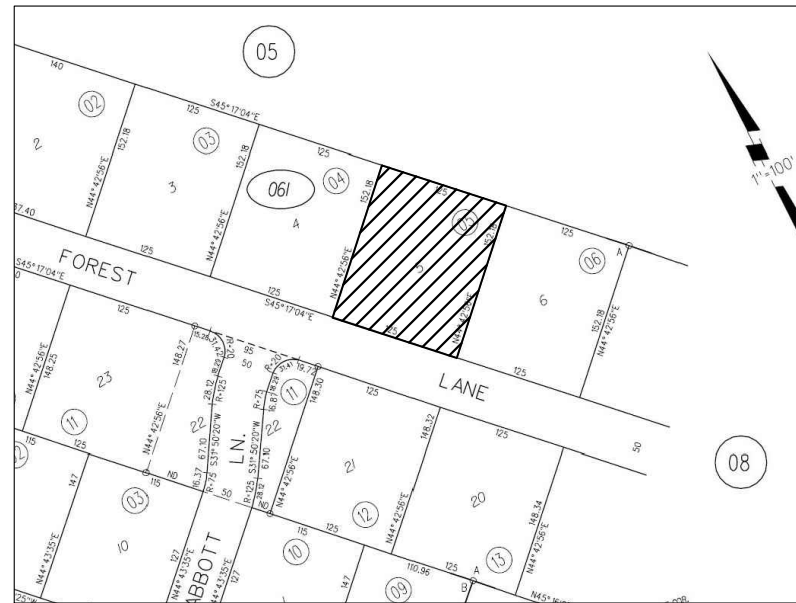
REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED BUILT COMPLIES WITH ALL LOCAL, STATES AND FEDERAL REGULATIONS, LAWS AND CODE REQUIREMENTS.

- WHEN MANUFACTURED ROOF TRUSSES ARE INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY LICENCE PROFESSIONAL FOR APPROVAL BY CITY OR COUNTY. CALC TO BE REVIEWED AND APPROVED BY ENGINEER OF RECORD PRIOR TO BE SUBMITTED TO THE BUILDING OFFICIAL.
- THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE REQUIRED TO BE RETROFITTED WITH FIRE SUPPRESSION SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER, LINES AS NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.
- GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE CODES AND ORDINANCE.

926 FOREST LN, ALAMO, CA 94507



VICINITY MAP



ASSESSOR'S MAP



FRONT VIEW

RECEIVED on 12/16/2025 **CDVR25-01066**
By Contra Costa County
Department of Conservation and Development

GENERAL SYMBOLS

- ALL DIMENSIONS
- (E) WALL
- REMOVED WALL
- (N) WALL
- SHEAR WALL

APPLICABLE CODES & STANDARDS

CITY / COUNTY CODES AND ORDINANCES
CALIFORNIA BUILDING CODE 2022
CALIFORNIA RESIDENTIAL CODE 2022
CALIFORNIA PLUMBING CODE 2022
CALIFORNIA MECHANICAL CODE 2022
CALIFORNIA ELECTRICAL CODE 2022
CALIFORNIA GREEN BUILDING CODE 2022
CALIFORNIA ENERGY CODE 2022
CALIFORNIA FIRE CODE 2022
2022 EDITION OF THE TITLE 24 STANDARDS

ARCHITECT:

ROMAIN CURTIS
LICENSE #C35019
POLYGON DESIGN STUDIO
367 CIVIC DR #3, PLEASANT HILL, CA94523
510.612.0345
romain@polygondesignstudio.com

OWNER:

GITA JACOBSON
926 FOREST LN
ALAMO

PROJECT DATA

OCCUPANCY: R-3 / U
CONSTRUCTION TYPE: VB
FIRE SPRINKLERS: NO
STORIES: 1
APN: 201-061-005
FLOOD ZONE: X
ZONING: R-20
NET SITE AREA: 19,022 SF

(E) FLOOR: 3,070 SF
(E) GARAGE: 417 SF
(E) PORCH: 25 SF
(E) FOOT PRINT: 3,512 SF
(E) TOTAL CONDITIONED SPACE: 3,070 SF
(E) LOT COVERAGE: 18.46%
(E) FAR: 16.31%

(N) ADDITION: 138 SF
(N) COVERED PATIO: 715 SF
(N) TOTAL CONDITIONED SPACE: 3,208 SF
(N) TOTAL FOOT PRINT: 4,365 SF
(N) LOT COVERAGE: 22.94%
(N) FAR: 16.86%

SCOPE OF WORK

NEW 138 SF ADDITION AND REMODEL TO AN EXISTING FULLY-DETACHED SINGLE FAMILY RESIDENCE, INCLUDING A NEW OFFICE SPACE TO THE (E) MASTER BEDROOM AND A NEW 715 SF OUTDOOR COVERED PATIO ADDITION.
NO CHANGE TO PARKING
NO CHANGE TO IMPERVIOUS AREA
NO CHANGE TO DRAINAGE

SHEET INDEX

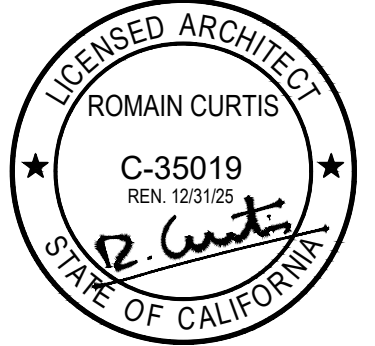
A1	SITE PLAN - PROJECT DATA
A2a	EXISTING/ DEMOLITION PLAN
A2b	EXISTING ELEVATIONS
A3	PROPOSED/ ELECTRICAL PLAN
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTION, ROOF, VENT CALC.
A6	DETAILS
GN1	GENERAL NOTES
GN2	MANDATORY MEASURES
GN3	MANDATORY MEASURES
GN4	CALGREEN FORMS
GN5	POLLUTION PREVENTION PLAN
EN1	TITLE 24
EN2	TITLE 24
SUR	SURVEY
S-1	STRUCTURAL NOTES
S-1.1	STRUCTURAL NOTES
S-2	FOUNDATION, RAISED FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD1	TYPICAL DETAILS
SD1.1	TYPICAL FRAMING DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS
SD3.1	STRUCTURAL DETAILS
SD4	STRUCTURAL DETAILS
SD4.1	STRUCTURAL DETAILS
SD5	STRONG WALL DETAILS
SD6	STRONG WALL DETAILS

NOTES:

- ALL PERMITS EXCEEDING \$1,000.00 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELLING.
- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.
- VF & INSTALL A MOTION SENSITIVE AUTOMATIC GAS SHUTOFF VALVE ON GAS METER WHEN REQUIRED.
- BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.
- CARBON MONOXIDE ALARM AND DETECTOR SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS, NFPA 720 INSTALLATION STANDARDS AND CRC.
- ALL SMOKE ALARMS SHALL BE 110V CONNECTED TO THE BUILDING WIRING (W/ BATTERY BACKUP INCLUDING LOW BATTERY WARNING FEATURE)
- ALL SMOKE ALARMS TO BE INTERCONNECTED.

REVISIONS

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ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

SITE PLAN
PROJECT DATA

DRAWN BY

PLG

CHECKED BY

PLG

ISSUE DATE

01/30/2025

SCALE

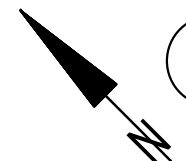
1/8"=1'-0"

JOB NO

AR-201

SHEET

A-1



SCALE: $1/4" = 1'-0"$

A horizontal graphic scale bar with alternating black and white segments. Above the bar, tick marks indicate distances of 0', 5', 10', 15', 20', and 25'.

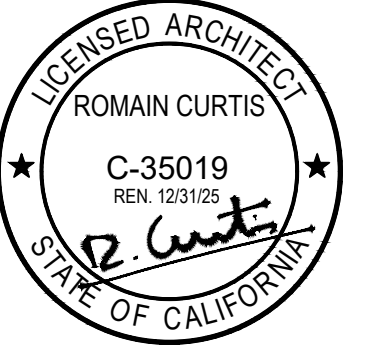
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2

3

4

5



ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

DRAWN BY

PLG

CHECKED BY

PI G

ISSUE DATE
01/30/2025

SCALE

$$1/4'' = 1' - 0''$$

OB NO

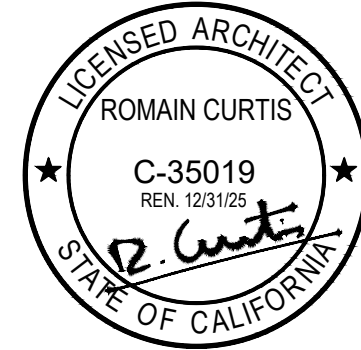
AR-201

SHEET

A-2a

REVISIONS

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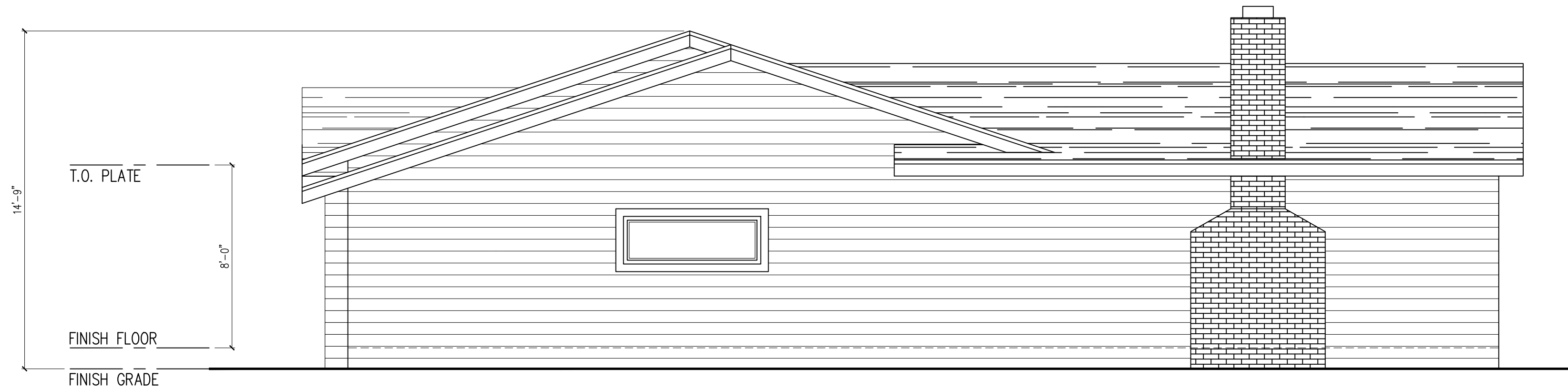
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ADDITION / REMODEL
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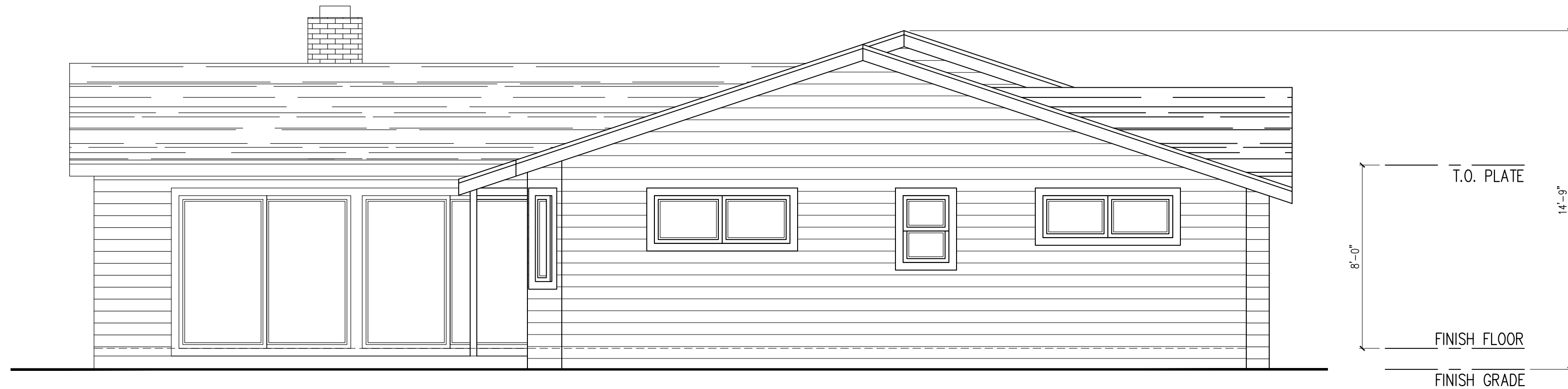
EXISTING
ELEVATIONS

DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-2b



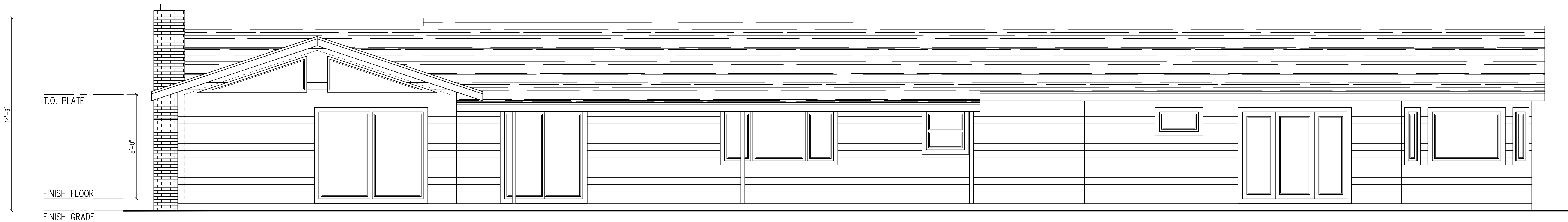
1 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

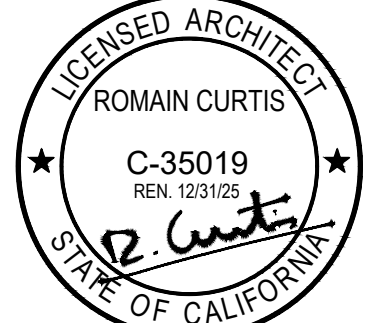


4 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

0' 5' 10' 15' 20' 25'

REVISIONS

- 1
- 2
- 3
- 4
- 5



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ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

PROPOSED/
ELECTRICAL
PLAN

DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-3

NOTES:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS AND
LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.

FOOTING:
GC TO WF THAT THE (E) FOUNDATION SYSTEM IS CONSISTENT WITH THE
PROPOSED DESIGN (PER HERS SPREAD FOOTING, MAT FOOTING...).
GC TO WF EXISTING FOOTING BEFORE ANY FOUNDATION WORK IS DONE. GC
TO WF THAT PROPOSED FOOTING ARE SIMILAR AND CONSISTENT WITH
EXISTING FOOTING SYSTEM (PIER - PIER, SPREAD FOOTING - SPREAD
FOOTING) SHOWN ON PLANS. IN CASE OF DISCREPANCY (PIER - SPREAD
FOOTING), STOP WORK AND CONTACT ARCHITECT AND ENGINEER OF RECORD.

INTERIOR FINISHES:
WALL - SHEET ROCK - SMOOTH FINISH
CEILING - SHEET ROCK - SMOOTH FINISH
FLOORS - HARDWOOD FLOORS
FLOORS FOR BATHROOM, LAUNDRY ROOM, MUD ROOM TO BE VINYL.
WALLS IN BATHROOMS TO BE TILES
GARAGE TO BE SEALED/PAINTED CONCRETE
ALL WINDOW TO BE VINYL AND/OR FIBERGLASS - UON
ALL DOORS TO BE SOLID WOOD DOOR - UON
ALL FINISHES TO BE SELECTED AND SPECIFIED BY OWNER - TYP. WHOLE
HOUSE - UON

FIXTURE, DOORS AND WINDOWS:
GC TO WF ALL DIMENSIONS BEFORE ORDERING DOORS, WINDOWS, FIXTURES...
ACTUAL FRAMING DIMENSION, ROUGH DIMENSION OR FIXTURE DIMENSION MAY
DIFFER FROM DIMENSIONS SHOWN ON PLAN, ESPECIALLY FOR WINDOW, DOOR,
AND FIXTURE REPLACEMENT.

INSULATION:
WHEN ENERGY COMPLIANCE REQUIRE HIGH QUALITY INSULATION (OI),
INSTALLATION INSTALLATION MUST COMPLY WITH OI REQUIREMENTS:
OR INSTALLATION REQUIRED HERS INSPECTION, IT IS CRITICAL TO AVOID
HOLES, GAPS AND GAPS DURING INSTALLATION.
IF IT DOES NOT PASS HERS INSPECTION, INSULATION WILL NEED TO BE
RE-INSTALLED.

- FLR-1 - R19
- ROOF-1 - R38
- WALL-1 - R15
- WALL 2 - R21

- FLOOR PLAN KEY NOTES
- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16

DO NOT CUT INTO SLAB
PRE-TENSION CABLES IN SLAB
GC TO PROVIDE OWNER AND ARCHITECT WITH A SCAN OF
THE SLAB SHOWING LOCATION OF PRE-TENSIONED CABLE IN
SLAB PRIOR TO ANY CUT IN SLAB.

CRAWL SPACE ACCESS 18"x24" MIN
PROVIDE AND MAINTAIN FLOOR VENTILATION AT THE
RATE OF 15F FOR EACH 150 SF.

ATTIC ACCESS 24"x36" MIN
PROVIDE AND MAINTAIN ATTIC VENTILATION AT THE RATE OF
1 SF FOR EACH 150 SF. ALL UNDER-FLOOR VENTILATION
OPENINGS SHALL BE COVERED WITH A WIRE MESH OPENING
NOT MORE THAN 1/4"-INCH.

NEW CARBON MONOXIDE ALARMS AND SMOKE DETECTOR
SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING
WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP.
THEY SHALL BE INTERCONNECTED IN A MANNER THAT
ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE
ALARMS IN THE INDIVIDUAL UNIT.

SMOKE ALARMS SHALL BE INSTALLED A MINIMUM
OF 20 FEET FROM A PERMANENTLY INSTALLED COOKING
APPLIANCE. IONIZATION SMOKE ALARMS AND PHOTOELECTRIC
SMOKE ALARMS ARE PERMITTED TO BE INSTALLED 10 FEET
OR GREATER FROM A PERMANENTLY INSTALLED COOKING
APPLIANCE.

- 17
- 18
- 19

- CEILING LIGHTING
- CEILING FAN W/LIGHT
- TRACK LIGHTING
- SMOKE ALARM
- CARBON MONOXIDE ALARM FAN
- WATER PROOF EXT. LIGHT
- EY CHARGING STATION
- GARAGE MOTOR
- ELECTRICAL PANEL
- WIRING

- ELECTRICAL SYMBOLS:
- SWITCH
- DIMMER SWITCH
- RECEPTACLE
- 220 RECEPTACLE
- GROUND FAULT INTERRUPTER (GFI)
- RECESSED LIGHTING
- CHANDELIER
- CLG MOUNT
- WALL MOUNT
- HANGING LIGHT
- FLUORESCENT LIGHT

WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF
AT LEAST 1.5 SQ.FT. PROVIDE MECHANICAL VENTILATION WITH
AN EXHAUST CAPACITY OF AT LEAST 50 CFM.
EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM
LIGHTING SYSTEM.
EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR
TUB SHOWER COMBINATION SHALL BE MECHANICALLY
VENTILATED FOR PURPOSES OF HUMIDITY CONTROL.
WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF
PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.
EXHAUST RATE OF RESTROOM FANS AT (E) BATHROOM,
(N) BATHROOM AND POWDER ROOM ADJACENT TO
GARAGE AND FAMILY ROOM THAT DO NOT HAVE A
WINDOW TO HAVE ARTIFICIAL LIGHT AND A LOCAL
EXHAUST SYSTEM.
THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50
CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION

2X4 FRAMED WALLS WITH A MINIMUM OF R-15,
2X6 FRAMED WALLS WITH R-21,
FLOORS W/ R-19
CEILINGS WITH R-30 (ZONE 3) R-38 (ZONE 12)
OR AS OTHERWISE NOTED ON PLAN OR ENERGY REPORT.
FOR ALL NEW WALLS, FLOORS, ROOF, SEE ENERGY
REPORT FOR INSULATION REQUIREMENTS.

VENTILATION:
MECHANICAL VENTILATION SYSTEM PROVIDED IN THE
BATHROOM/WATER CLOSET SPACES SHALL BE A MINIMUM
50-CU. FT. PER MINUTE (FOR INTERMITTENT
VENTILATION), OR 25-CU. FT. PER MINUTE FOR
CONTINUOUS VENTILATION. THE VENTILATION AIR FROM
THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO THE
OUTSIDE.
WHEN THE BATHROOM OR TOILET ROOM IS NOT EQUIPPED

WINDOWS:
ALL NEW WINDOWS AND DOORS W/ GLASS WINDOW TO
HAVE U FACTOR AS NOTED ON ENERGY REPORT & BE
NRC RATED - TYP.
ALL GLASS IN (N) INTERIOR OR EXTERIOR DOORS TO BE
TEMPERED.

STUCCO:
EXTERIOR 7/8-INCH TEXTURED STUCCO SHALL BE
APPLIED ACCORDING TO THE TSB RECOMMENDATIONS.
TECHNICAL SERVICES INFORMATION BUREAU - CHAPTER
6 - THREE-COAT PLASTER-STUCCO DETAILS

INSULATION:
ALL EXTERIOR WALLS/CEILINGS/FLOORS (OR WALLS
ADJACENT TO UNCONDITIONED SPACE) THAT ARE OPENED
UP DURING CONSTRUCTION WILL BE INSULATED.

FLASHING:
FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT
MOISTURE FROM ENTERING THE WALL AT PENETRATIONS
OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED
TO THE LOCATIONS AND FLASHING INSTALLATION
REQUIREMENTS.

EGRESS:
IN BED ROOMS, AT LEAST ONE WINDOW OR DOOR TO
EXTERIOR TO COMPLY WITH EGRESS REQUIREMENTS.
ONE WINDOW IN EACH BEDROOM MUST COMPLY W/ THE
FOLLOWING:
MIN CLEAR OPENING HEIGHT OF 24"
MIN CLEAR OPENING WIDTH OF 20"
MIN CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF
BOTTOM OF CLEAR OPENING NOT GREATER THAN 44"
ABOVE THE FLOOR - GC TO WF

REINFORCEMENT OF CONCRETE SLAB AND SLAB
THICKNESS TO BE AS NOTED ON DRAWINGS,
MIN. 4" THICK WITH # 4 BARS AT 18" O.C. E/W
PROVIDE GROOVED JOINTS AT 10'-0" O.C.
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE
POURED MUST BE WETTED NOT LESS THAN 24 HOURS
PRIOR TO PLACING CONCRETE.

NEW FOUNDATIONS:
AT THE TIME OF FOUNDATION INSPECTION CORNER
STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A
LAND SURVEYOR REGISTERED IN THE STATE OF
CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO
ENSURE THAT NEW STRUCTURE CONSTRUCTION IS
LOCATED IN ACCORDANCE WITH THE APPROVED PLANS,
AND DOES NOT ENCRoACH IN THE SETBACK.

TREATED WOOD:
FAVOR PLYWOOD INSTEAD OF OSB FOR SHEATHING, AS
OSB CAN LOOSE ITS STRUCTURAL STRENGTH ONCE IF
MOISTURE IS TRAPPED IN IT.

STRUCTURAL DETAIL:
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR
WALL DETAILS AND LOCATION, AND FOUNDATION DESIGN,
SEE STRUCTURAL DESIGN WHEN PROVIDED.

CONCRETE FOUNDATIONS:
ALL CONCRETE SHALL BE MINIMUM 2,500 PSI STRENGTH
WITHIN 28 DAYS. - UON SSD
REINFORCING STEEL LARGER THAN # 5 SHALL BE GRADE
60 DEFORMED BARS CONFORMING TO ASTM A415,
30,000 PSI. SPLICES - 40 BAR DIAMETERS, BENDS
MINIMUM 12".

DOUBLE FLOOR JOISTS BELOW PARALLEL PARTITIONS
WITH 160 NAILS AT 12" O.C., STAGGERED
ALL SHEAR WALLS SHALL BE 1/2" OSB, UON.
PROVIDE HARDWARE MANUFACTURED BY SIMPSON AS
REQUIRED, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
FLOOR JOISTS AND CEILING JOISTS SHALL BE SIDE
LAPPED AND NAILED OVER TOP PLATES. UON.
ALL UNTREATED WOOD FRAMING SHALL BE A MINIMUM
OF 8" ABOVE ADJACENT FINISHED GRADE.
ALL TIMBER LESS THAN 8" FROM FINISHED GRADE SHALL
BE PRESSURE TREATED. ALL SILL PLATE TO BE PT
WOOD.
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE
POURED MUST WETTED NOT LESS THAN 24 HOURS
PRIOR TO PLACING CONCRETE.
FRAMING (E.G., JOISTS, BEAMS, POSTS, DECKING) SHALL
BE OF APPROVED NATURALLY DURABLE OR PRESSURE

TIMBER FRAMING:
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR GRADE
STAMPED ACCORDING TO THE CURRENT GRADING RULES
AS FOLLOWS:
BEAMS AND STRINGERS - #1 OR STRUCTURAL AS
NOTED.
CEILING JOISTS AND RAFTERS - #2 OR #1 AS
NOTED.
FLOOR FRAMING SHALL BE #2 @ 16" O.C. U.O.N.
DOOR AND WINDOW HEADERS - #2
PLATES AND BLOCKING - #2
ALL LUMBER SHALL BE MINIMUM DOUGLAS FIR #2 WMPA
ALL SUB-FLOORS SHALL BE 3/4" TONGUE AND GROOVE
EDGE, GOLD OSB, STAGGERED JOISTS, BLUE WITH CSI
CONSTRUCTION ADHESIVE, NAIL WITH 100 NAILS AT 6"
O.C. AT EDGES AND 12" O.C. THROUGHOUT.

ELECTRICAL NOTES:
- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES
EXCEPT FOR THOSE LOCATED
OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND
BASEMENTS.
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN
ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE
THAN 5 1/2 FEET ABOVE THE FLOOR, OUTLETS THAT
ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO
APPLIANCES THAT CANNOT BE EASILY MOVED AND AT
OUTLETS LOCATED IN ATTICS.
- GFCI PROTECTION REQUIRED FOR RECEPTACLES
LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED
BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR
COUNTER TOP SURFACES, GARAGES, ACCESSORY
BUILDINGS NOT INTENDED AS HABITABLE ROOMS.

- RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS
SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF
AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- CLARIFY RECEPTACLE OUTLET LOCATIONS:
A) RECEPTACLES SHALL BE INSTALLED SO THAT NO
POINT MEASURED HORIZONTALLY SHALL BE MORE THAN
ALONG THE FLOOR IN ANY WALL SPACE IS OVER 6 FEET
FROM THE RECEPTACLE.
(ALLOWING 12 FEET MAX. BETWEEN RECEPTACLES ON
THE SAME WALL)
B) RECEPTACLES SHALL BE LOCATED ALONG ANY WALL
THAT IS 2 FEET OR MORE IN LENGTH.
(ALLOWING 12 FEET MAX. BETWEEN RECEPTACLES AT EACH
WALL COUNTER SPACE THAT IS 12
INCHES OR WIDER. NO POINT ALONG THE WALL LINE IS
MORE THAN 24 INCHES
MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET

IN THAT SPACE.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY
AND SHALL BE LISTED BY SOURCE TYPE.
- SCREW BASED LUMINAIRES SHALL MEET ALL THE
FOLLOWING:
A) SHALL NOT BE RECESSED DOWN LIGHT LUMINAIRES IN
CEILINGS; AND
B) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC
REFERENCE JOINT APPENDIX JAB, AND
C) THE INSTALLED LAMPS SHALL BE MARKED WITH
JAB-2022 OR JAB-2022-E.
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL
THE REQUIREMENTS FOR:
INSULATION CONTACT (C) LABELING; SEALED WITH A
GASKET OR CAULKED BETWEEN HOUSING AND CEILING,
AND SHALL BE CERTIFIED TO COMPLY WITH SECTION
110.9 AND ALLOW BALLAST MAINTENANCE AND

REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING
OCCUPANTS FROM BELOW, BE RATED FOR ELEVATED
TEMPERATURE, MUST BE INSTALLED BY FINAL
INSPECTION.
- AT LEAST ONE LIGHT IN BATHROOMS, GARAGES,
LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED
BY A VACUANCY SENSOR CERTIFIED TO COMPLY WITH
SECTION 119(0) THAT DOES NOT TURN ON
AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
(150)(K3)
- DIMMERS OR VACUANCY SENSORS SHALL CONTROL ALL
LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES
COMPLIANT WITH REFERENCE JOINT APPENDIX JAB
(INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES
AND GU-24 SOCKETS CONTAINING LED LIGHT
SOURCES) AND THEY SHALL COMPLY WITH SECTION
119(0) AND NOT TURN ON AUTOMATICALLY OR HAVE AN

ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN
CLOSETS LESS THAN 10 SQUARE FEET; LUMINAIRES IN
HALLWAYS.
- RECESSED LIGHT FIXTURES SHOULD BE BOXED IN.
- DOOR BELL AND CHIME SHALL BE PROVIDED AS A
STANDARD ITEM. PROVIDE ALL ELECTRICAL FIXTURES
AND APPLIANCES AS SELECTED BY OWNERS - GC TO VERIFY
ALL FIXTURE MEET CODE.
- FOR REMODELED AREAS, SPECIFY RECEPTACLE
OUTLETS IN THE FOLLOWING LOCATIONS, AS SHOWN ON
PLANS, 12" O.C. MAX. AND WITHIN 6" FROM THE ENDS
OF WALLS, ANY WALL SPACE 2 OR MORE FEET WIDE.
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING
OUTLET SHALL BE INSTALLED AT OUTDOOR ENTRANCES.

- MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE
THE AUTOMATIC CONTROL FUNCTIONS LISTED ABOVE AND
ANY CONTROL THAT OVERRIDES THE AUTOMATIC
CONTROLS TO NOT MUST AUTOMATICALLY REACTIVATE
THOSE CONTROLS WITHIN SIX HOURS.
- RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY
MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON
THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON
AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL
AND MOTION SENSOR OR BY PHOTOCONTROL AND
AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL
TIME CLOCK CONTROL THAT
AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF
DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT
CONTROL SYSTEM.
- LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL
COMPLY WITH THE FOLLOWING:

SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED
FOR REMODELED AREAS, SPECIFY RECEPTACLE
SUBMITTAL ITEM AND PROVIDED BY GC.
- IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT)
FIXTURES FOR RECESSED LUMINAIRES
- ALL ADDED/REPLACED BRANCH CIRCUITS THAT SUPPLY 120
VOLT SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED
IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING
ROOMS, PARLORS, LIBRARIES, TEEN BEDROOMS, SUNROOMS,
RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS
OR AREA SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI)
PROTECTED.
ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE
RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT
RECEPTACLES.
- LUMINAIRES RECESSED
- GAS LINE SIZING CALCULATIONS TO BE A DEFERRED

WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF
AT LEAST 1.5 SQ.FT. PROVIDE MECHANICAL VENTILATION WITH
AN EXHAUST CAPACITY OF AT LEAST 50 CFM.
EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM
LIGHTING SYSTEM.
EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR
TUB SHOWER COMBINATION SHALL BE MECHANICALLY
VENTILATED FOR PURPOSES OF HUMIDITY CONTROL.
WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF
PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.
EXHAUST RATE OF RESTROOM FANS AT (E) BATHROOM,
(N) BATHROOM AND POWDER ROOM ADJACENT TO
GARAGE AND FAMILY ROOM THAT DO NOT HAVE A
WINDOW TO HAVE ARTIFICIAL LIGHT AND A LOCAL
EXHAUST SYSTEM.
THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50
CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION

OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS
VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE
EXHAUSTED DIRECTLY TO THE OUTDOORS.
DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT
EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL
LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90
DEGREE (1.57 RAD) ELBOWS, A LENGTH OF 2 FEET (610
MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57
RAD) ELBOW IN EXCESS OF TWO, NOT LESS THAN A 4
INCH DIAMETER (102 MM) MOISTURE EXHAUST DUCT OF
APPROVED MATERIAL SHALL BE INSTALLED IN
ACCORDANCE WITH THE CODE.

GC TO PROVIDE AN EXHAUST FAN FOR WHOLE-BUILDING
VENTILATION TO MEET INDOOR AIR QUALITY (IAQ)
REQUIREMENTS. THE FAN SHOULD BE ON AT ALL TIMES
WHEN THE BUILDING IS OCCUPIED.

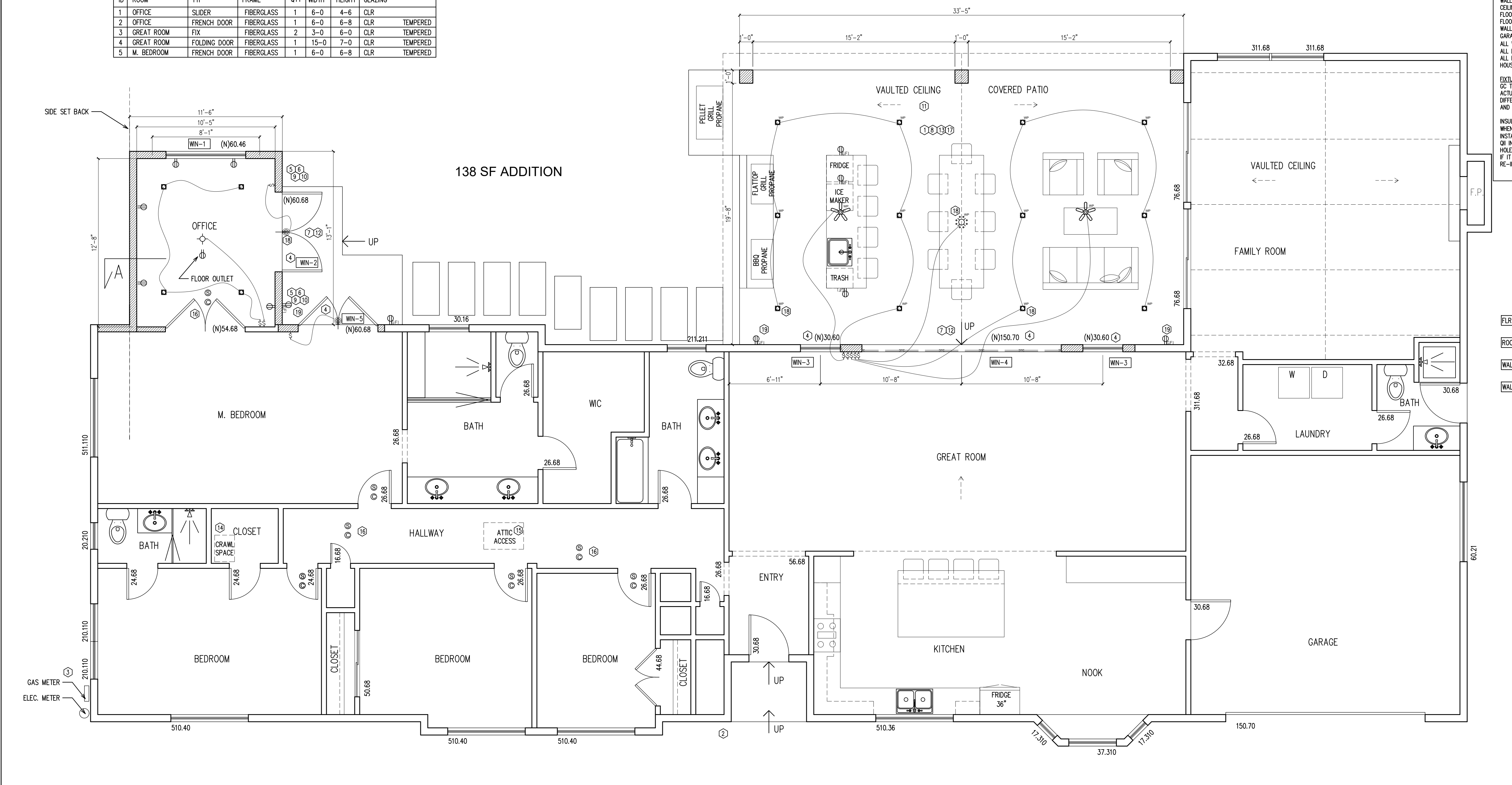
PROVIDE WHOLE HOUSE FAN (WHF) WHEN INDICATED ON
THE ENERGY REPORT

TERMINATION OF ALL ENVIRONMENTAL AIR DUCT EXHAUST
SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES
OR ANY OPENINGS INTO THE BUILDING (I.E., BATH AND
UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM
DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
FLUE / VENT FOR DRYER 14'-0" LONG MAX. END MUST
BE 3'-0" MIN FROM ANY OPENING. IF LONGER THAN
14'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON
WHEN W/D ARE IN USE. (N) METAL FLUE TO BE
INSULATED AND 4" CLR MIN ALL TIMBER - INSTALL PER
MANUFACTURER SPECIFICATIONS INSULATE ALL FLUE &
VANT TO PREVENT CONDENSATION.

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

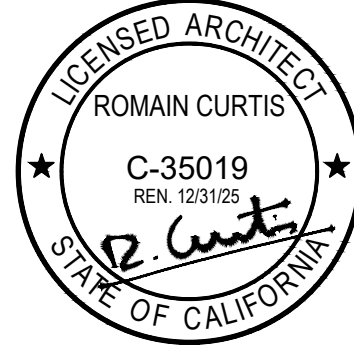
1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

ID	ROOM	TYP	FRAME	QTY	WIDTH	HEIGHT	GLAZING
1	OFFICE	SLIDER	FIBERGLASS	1	6'-0	4'-6	CLR
2	OFFICE	FRENCH DOOR	FIBERGLASS	1	6'-0	6'-8	CLR
3	GREAT ROOM	FIX	FIBERGLASS	2	3'-0	6'-0	CLR
4	GREAT ROOM	FOLDING DOOR	FIBERGLASS	1	15'-0	7'-0	CLR
5	M. BEDROOM	FRENCH DOOR	FIBERGLASS	1	6'-0	6'-8	CLR
							TEMPERED



REVISIONS

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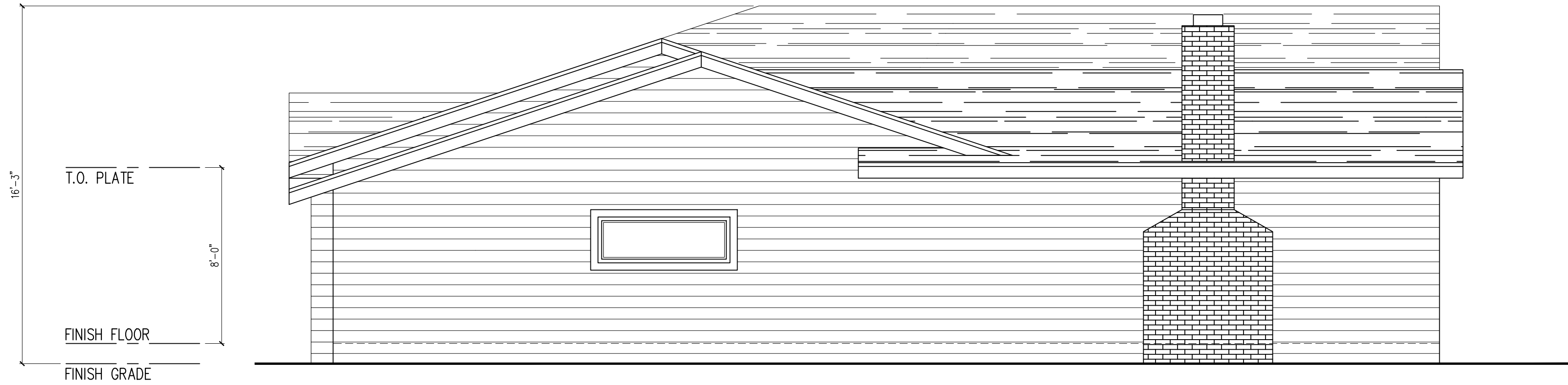
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ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

PROPOSED
ELEVATIONS

DRAWN BY
PLG
CHECKED BY
PLG
ISSUE DATE
01/30/2025
SCALE
1/4"=1'-0"
JOB NO
AR-201
SHEET

A-4



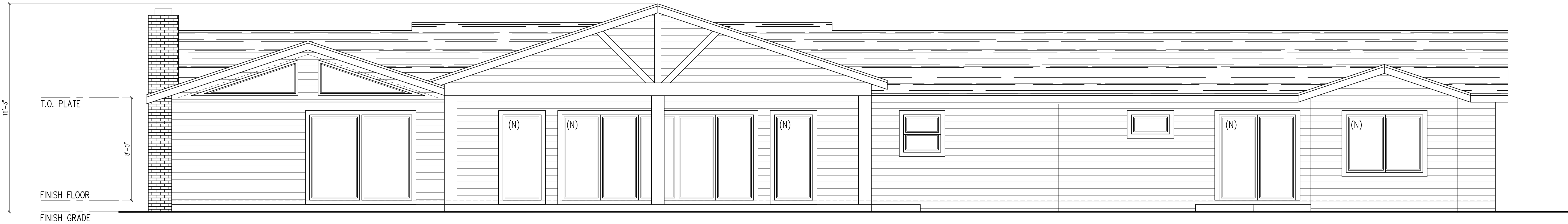
1 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS

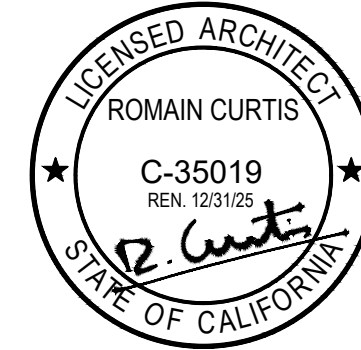
1

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ADDITION / REMODEL
926 FOREST LN, ALAMO,
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PROPOSED
SECTION/ROOF/VENT
CALCS & DETAILS

DRAWN BY

PLG

CHECKED BY

PLG

ISSUE DATE

01/30/2025

SCALE

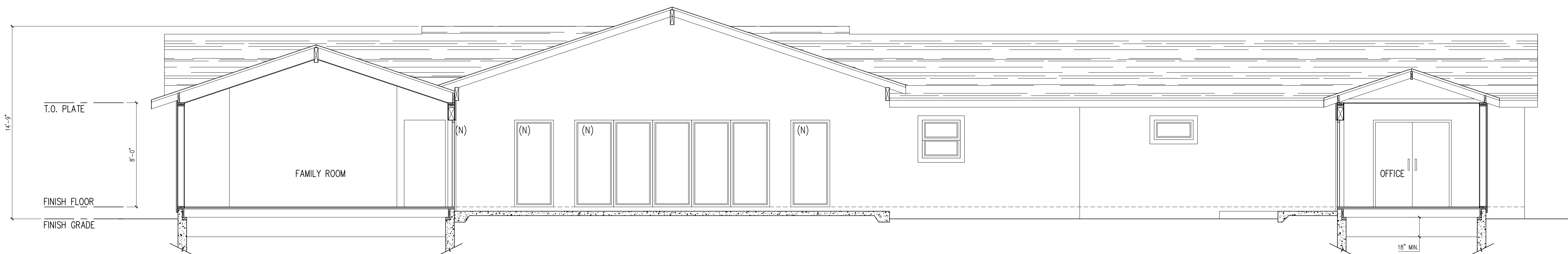
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JOB NO

AR-201

SHEET

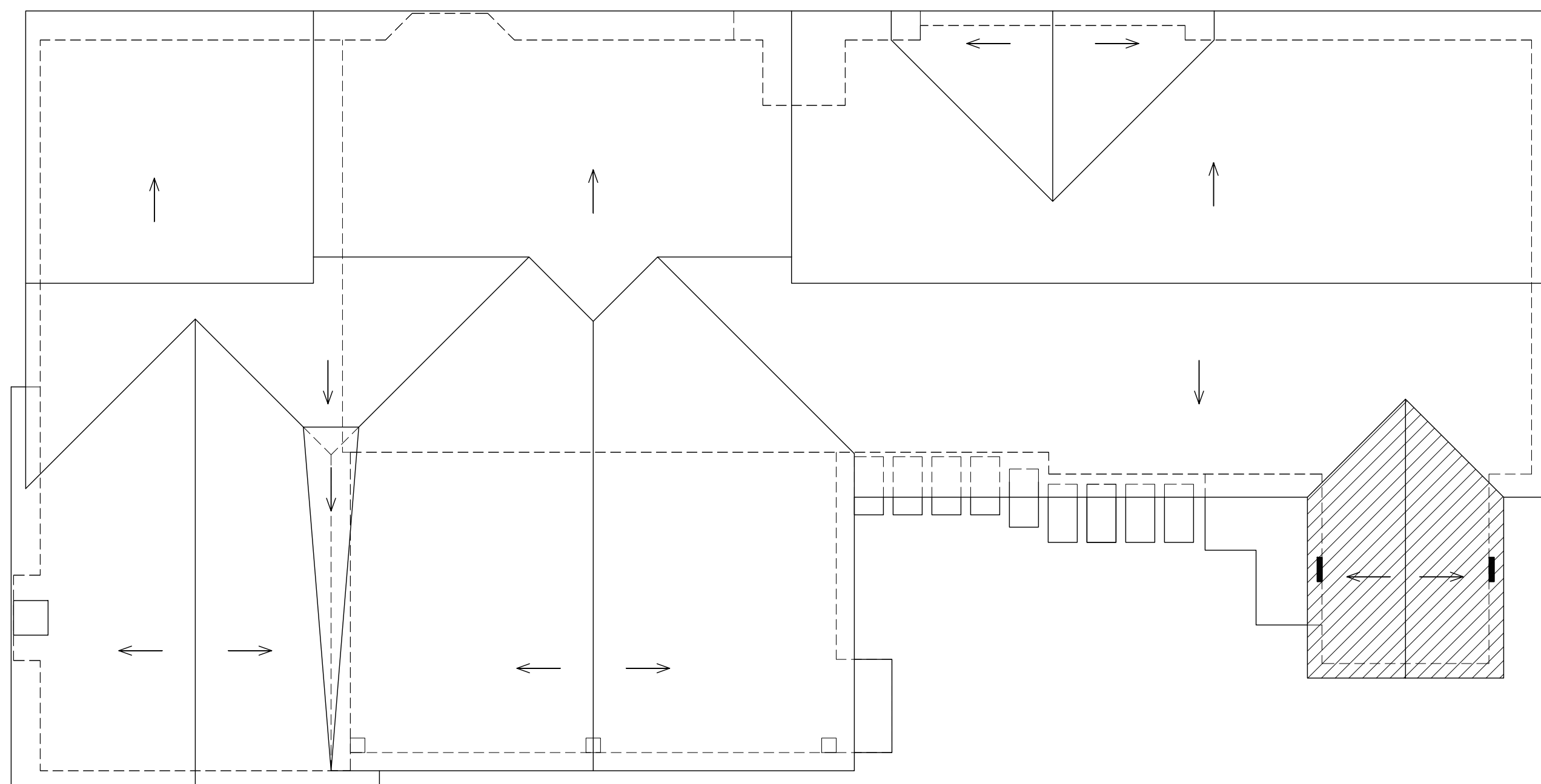
A-5



1 PROPOSED SECTION A
SCALE: 1/4" = 1'-0"

0' 5' 10' 15' 20' 25'

VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.



2 ROOF & FLOOR VENT CALCULATIONS
SCALE: 1/4" = 1'-0"

SUB FLOOR VENT CALCULATION: (OFFICE)

SUB FLOOR AREA = 864 SF
 $138 / 150 = 0.92$ SF OF VENT NEEDED
VENTS W/ GALVANIZED BIRD SCREENS
 $14" \times 8" = 0.77$ SF

PROVIDE (2) VENTS MINIMUM THROUGHOUT THE
SUB FLOOR. VENTS TO BE EVENLY SPACED.

ROOF VENT CALCULATION 648 SF ATTIC: (OFFICE)

$138 / 150 = 0.92$ SF OF VENT NEEDED
EAVES VENTS

1 EAVE VENT $4" \times 20" = 0.5$ SF EACH
(2) EAVE VENTS = 1 SF

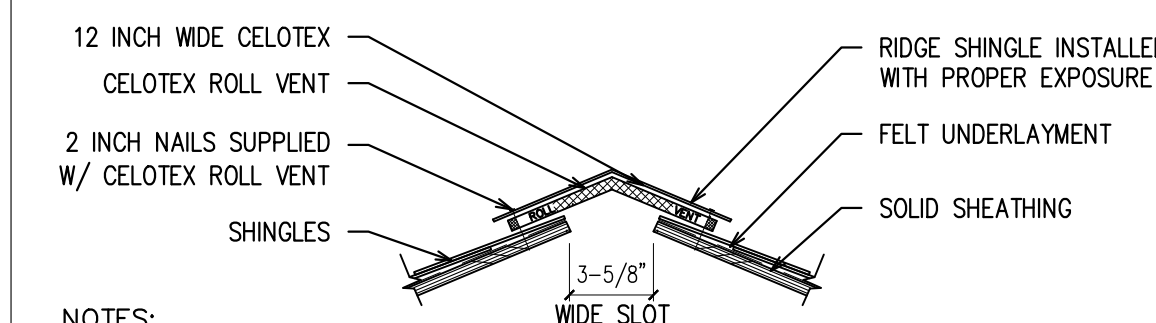
PROVIDE (2) EAVE VENTS EVENLY SPACED (1 SF)

AIR BARRIER**ATTIC RADIANT BARRIER**

PHYSICAL PROPERTIES	TEST	VALUE
FIRE RATING	ASTM E84-09	CLASS 1 / CLASS A
EMISSIVITY	ASTM C1371-04A	0.04
REFLECTIVITY	-	0.96
WATER VAPOR TRANSMISSION	ASTM E96-05	13.9 PERMS
CORROSIVENESS	ASTM D3310-00	PASSES
BLEEDING AND DELAMINATION	ASTM C1313-05	NO BLEEDING OR DELAMINATION
PLIABILITY	ASTM C1313-05	NO CRACKING
GROWTH OF FUNGI	ASTM C1313-08	DOES NOT PROMOTE GROWTH
TENSILE STRENGTH	ASTM D2261	LENGTH: 27.34 LBS
		WIDTH: 13.31 LBS

4 ATTIC RADIANT BARRIER

SCALE: N/A

**NOTES:**

INSTALL WITH 9 SQ. INCHES PER LINEAR FOOT
CONTINUOUS SOFFIT VENTILATION AT EAVES

4X20 SCREEN VENTS AT
(0.5 SQ. IN. PER VENT)

(3) 3"Ø SCREEN VENTS AT
ALT. BLOCK (MAURICE
FRANKLIN RS-100 (2.88 SQ.
IN. PER VENT)

5 1/2"

4 3/4" 6" 6" 4 3/4"

5 1/2"

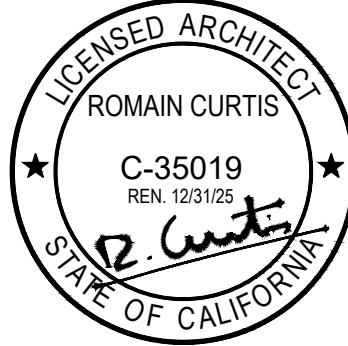
FRIEZE BLKG. HOLE VENTS

3 VENTS DETAIL

SCALE: N/A

REVISIONS

- 1
- 2
- 3
- 4
- 5



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ADDITION / REMODEL
926 FOREST LN, ALAMO,
CA 94507

DETAILS

DRAWN BY

PLG

CHECKED BY

PLG

ISSUE DATE

01/30/2025

SCALE

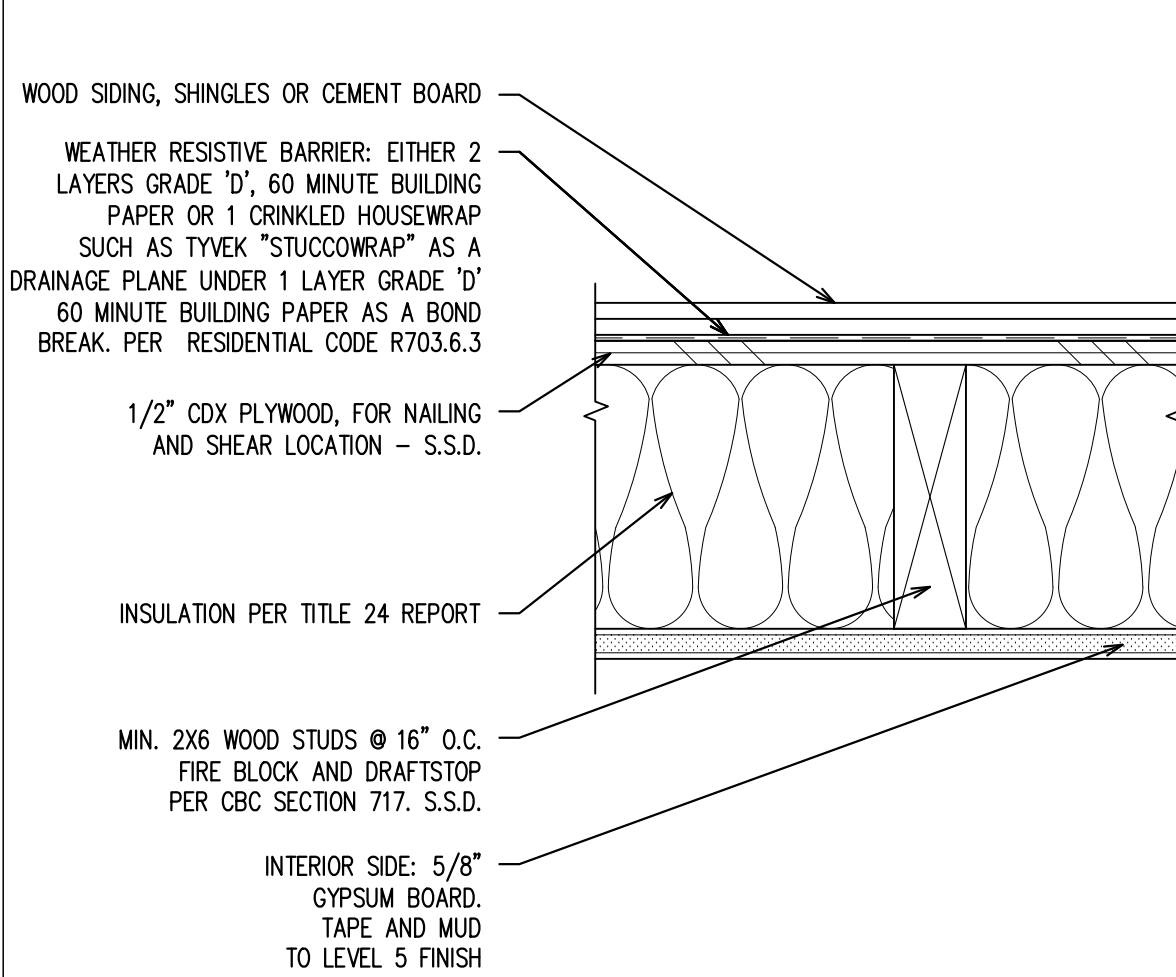
1/4"=1'-0"

JOB NO

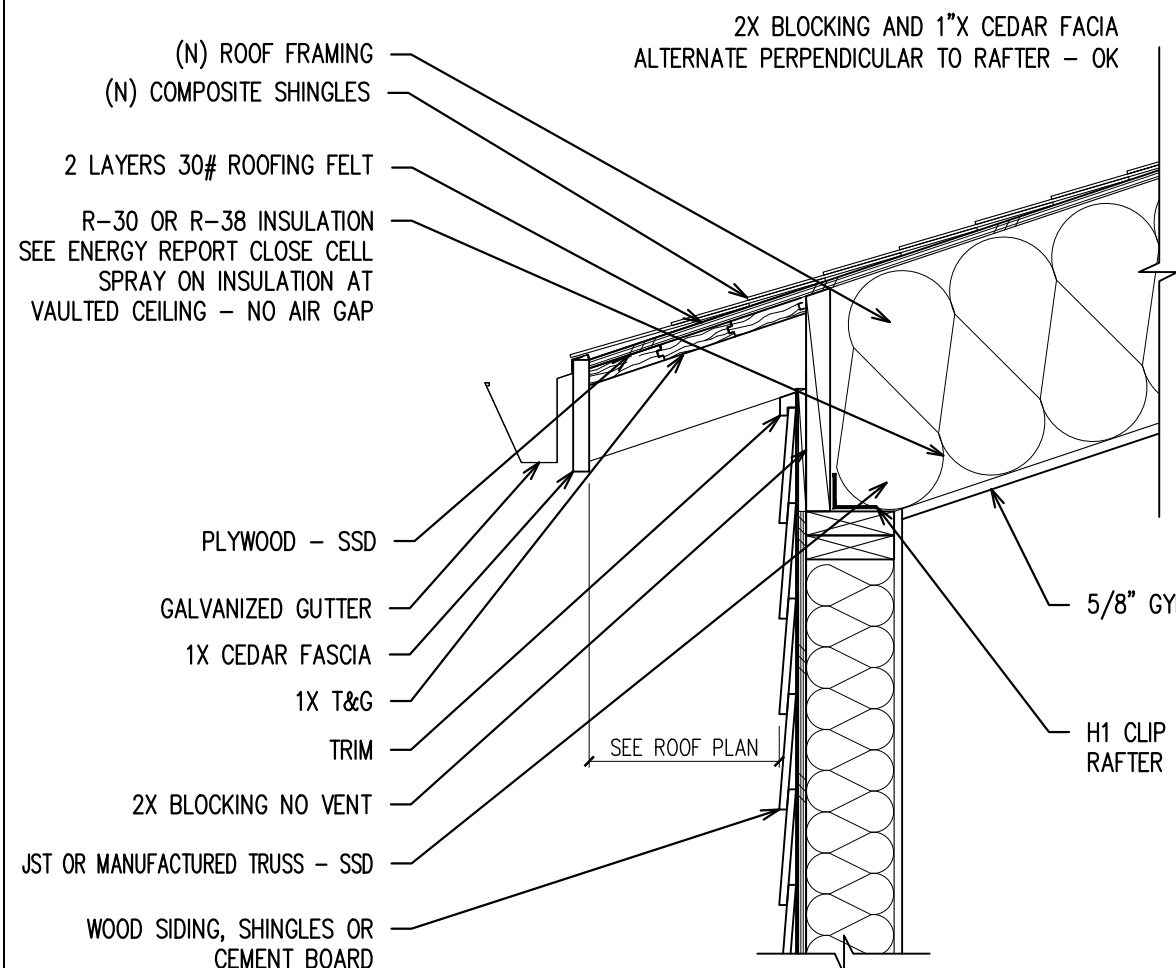
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SHEET

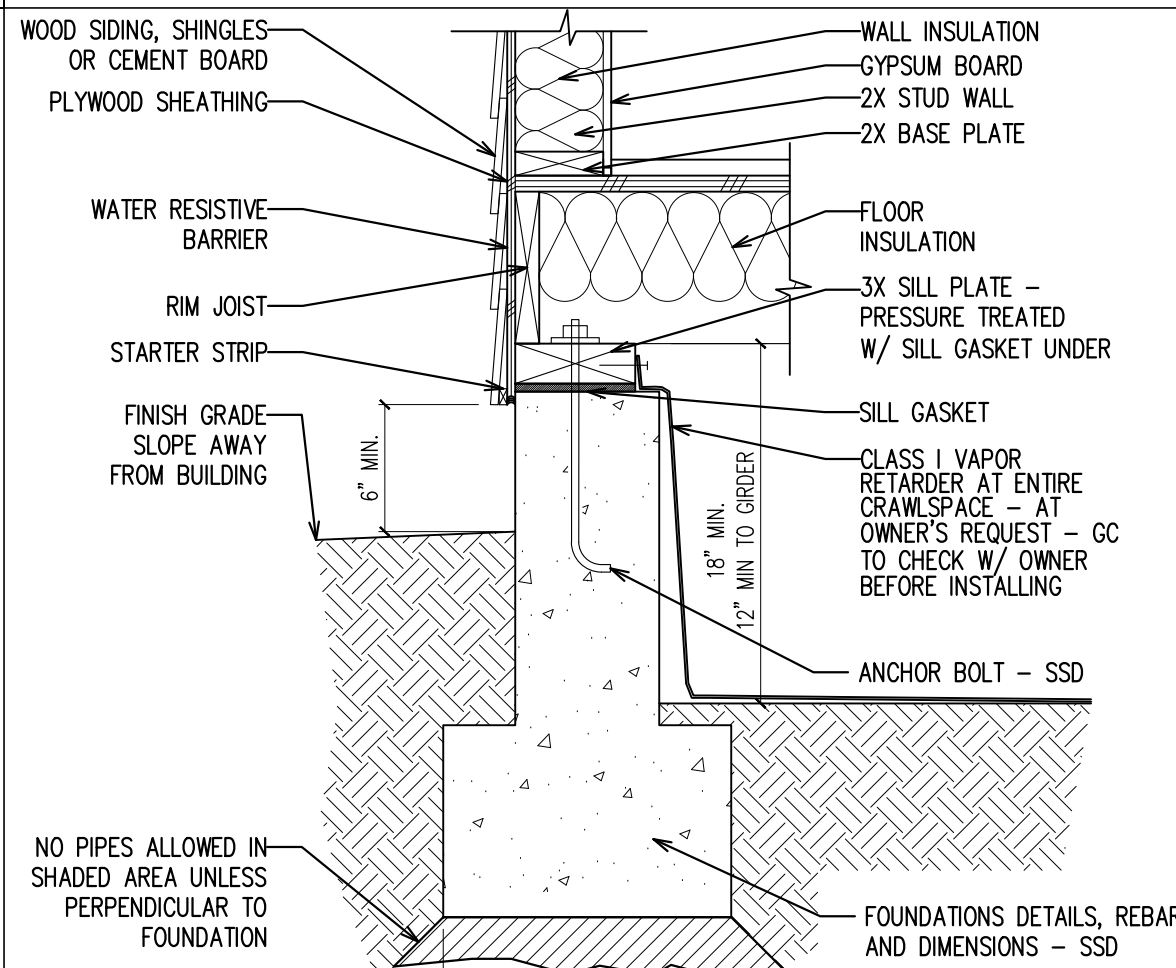
A-6



4 EXTERIOR SIDING FINISH WALL - GYPSUM BOARD INTERIOR
SCALE: 3" = 1'



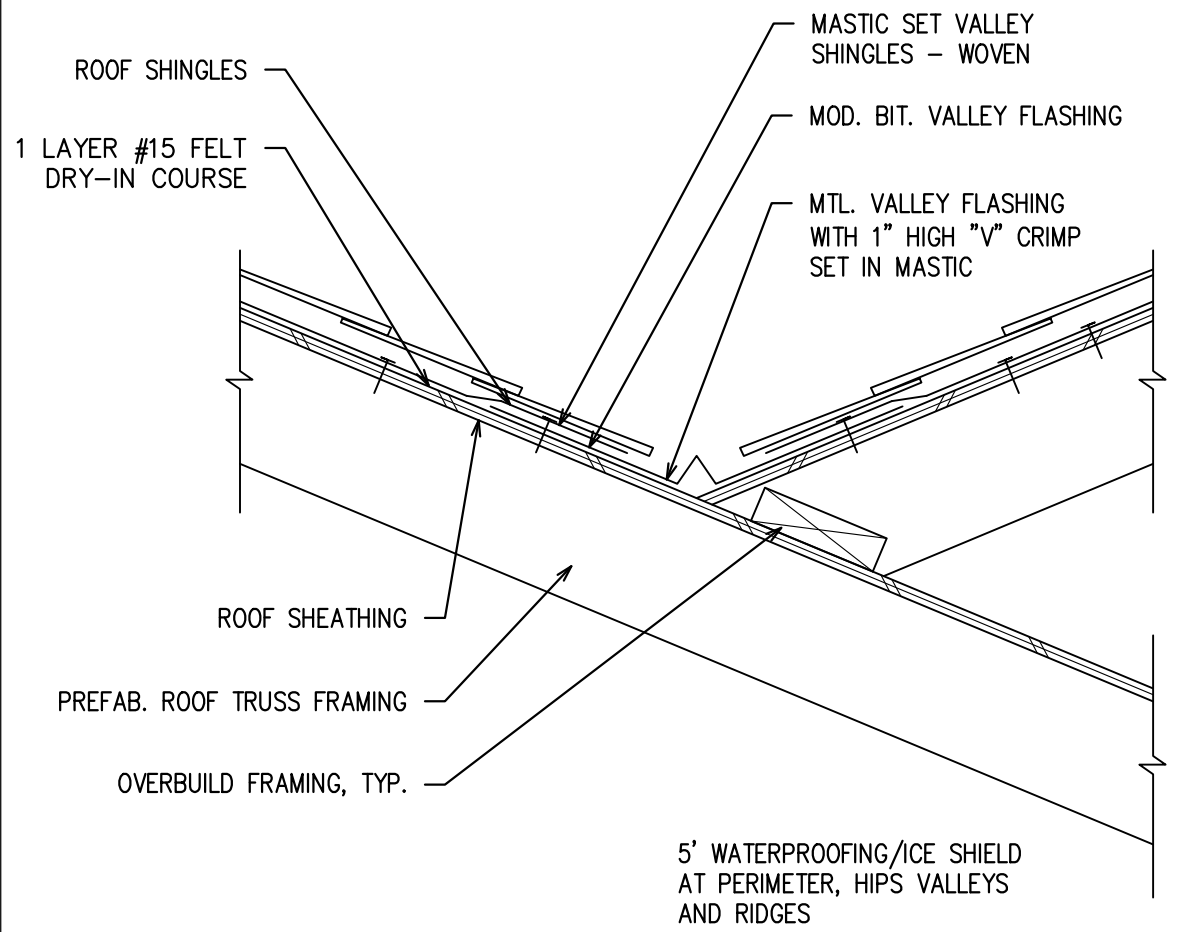
3 ROOF EAVE DETAIL @ VAULTED CEILING/SEMI FLAT CEILING (SIM.)
SCALE: 1" = 1'-0"



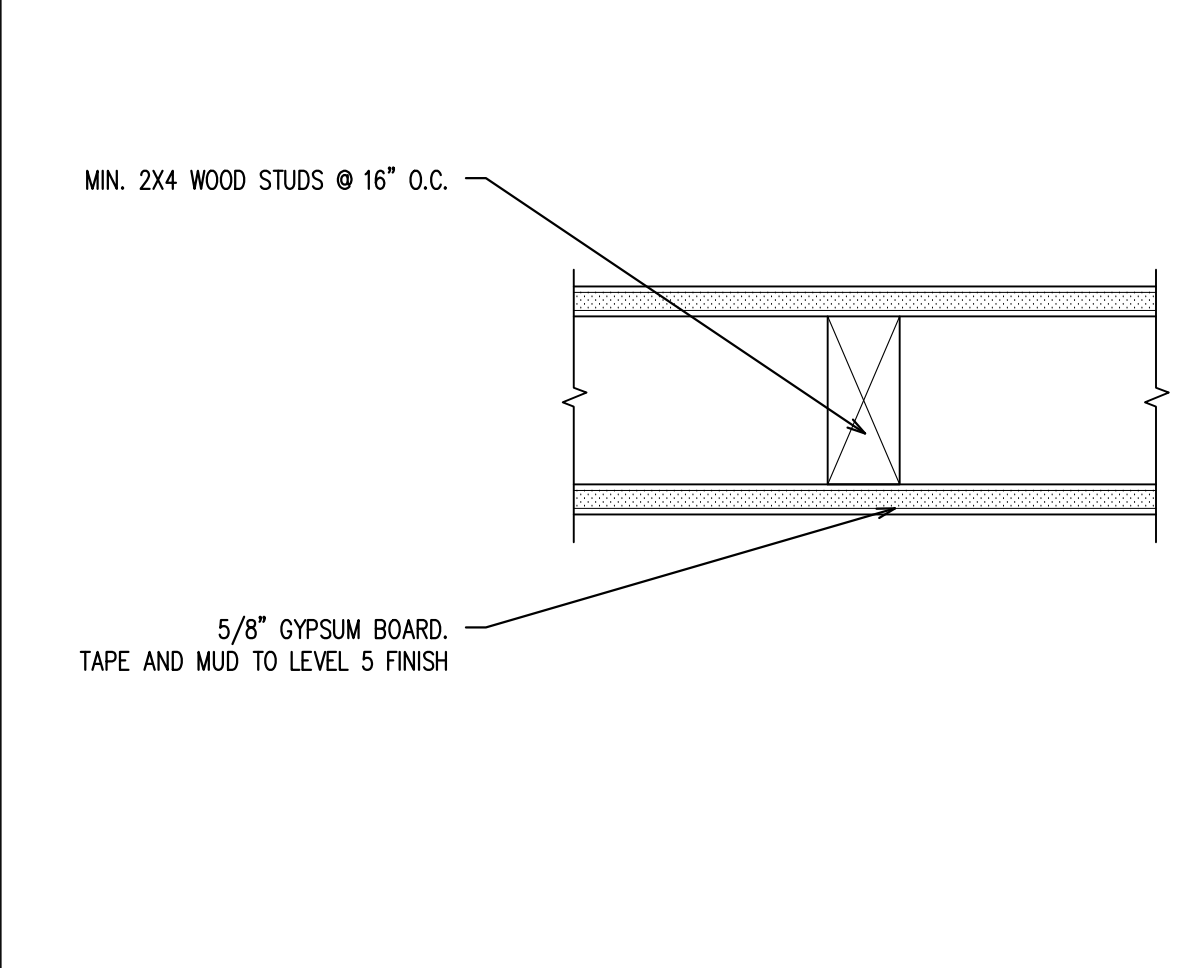
2 TYP. SPREAD FOOTING
SCALE: 1" = 1'-0"

THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE DUE TO EXCESSIVE DAMPNSS, GRANULAR COMPOSITION, SLUFFING, SOFTNESS OR OTHER DEFECT, THE CONTRACTOR SHALL CONTACT THE ENGINEER.
ALL INFORMATION PERTAINING TO THE SITE SHALL BE AND SHALL REMAIN THE OWNERS RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, AND POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION AVAILABLE TO THE DESIGNER.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS.
PROVIDE UNDER FLOOR VENTING OF (1) SQUARE INCH FOR EVERY 150 SQUARE FEET OF UNDER FLOOR AREA. VENT LOCATIONS SHALL PROVIDE CROSS VENTILATION
PROVIDE MINIMUM 18" X 24" ACCESS TO ALL UNDER FLOOR AREAS. ACCESS TO ALL MECHANICAL OR PLUMBING EQUIPMENT SHALL BE SUFFICIENTLY SIZED FOR REMOVAL OF THE UNIT.
NO ALUMINUM SHALL BE IN CONTACT WITH CONCRETE
NO PIPES IN CONCRETE SHALL BE SLEEVED OR WRAPPED
NO PIPES ALLOWED IN SHADED AREA UNLESS PERPENDICULAR TO FOUNDATION

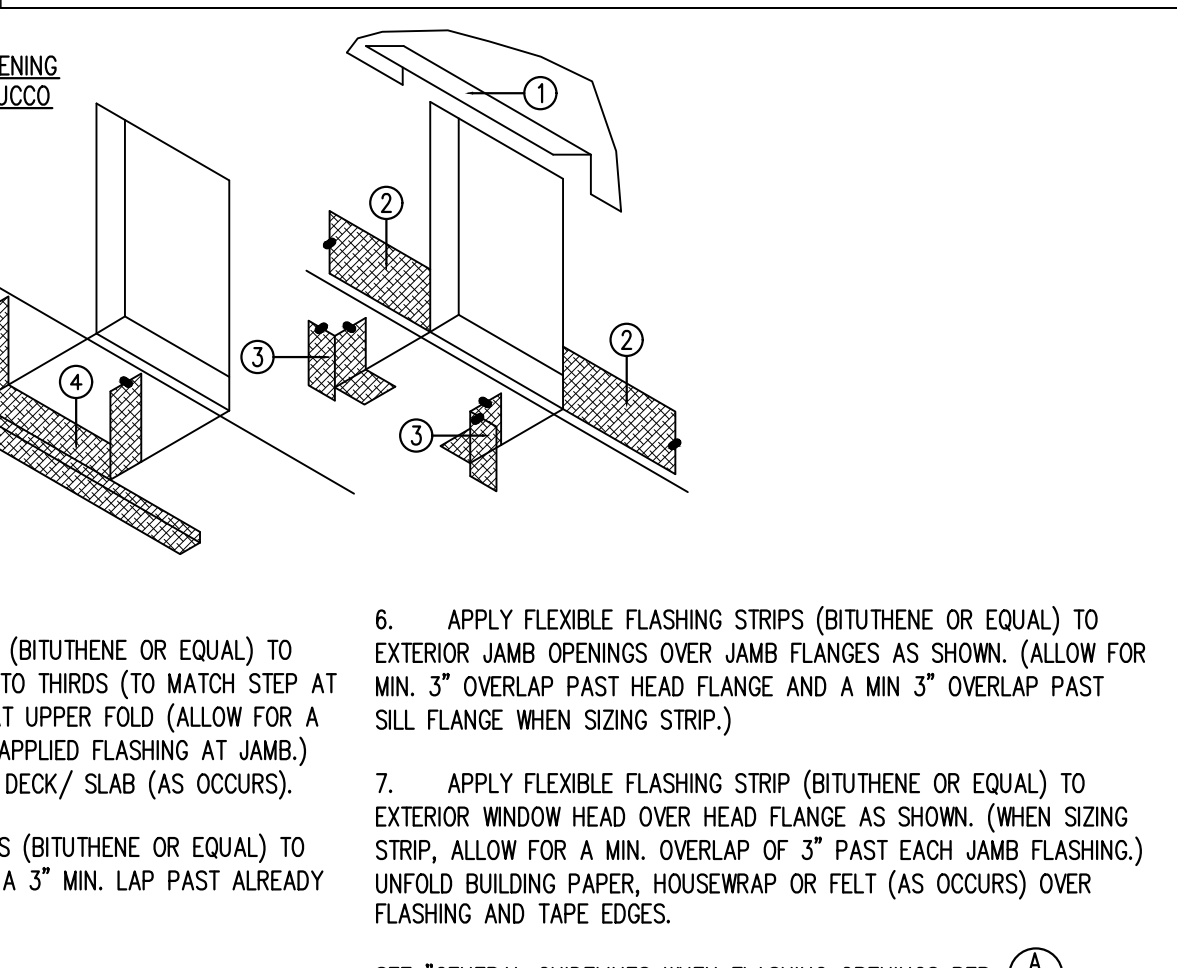
1 NOTES:
N/A



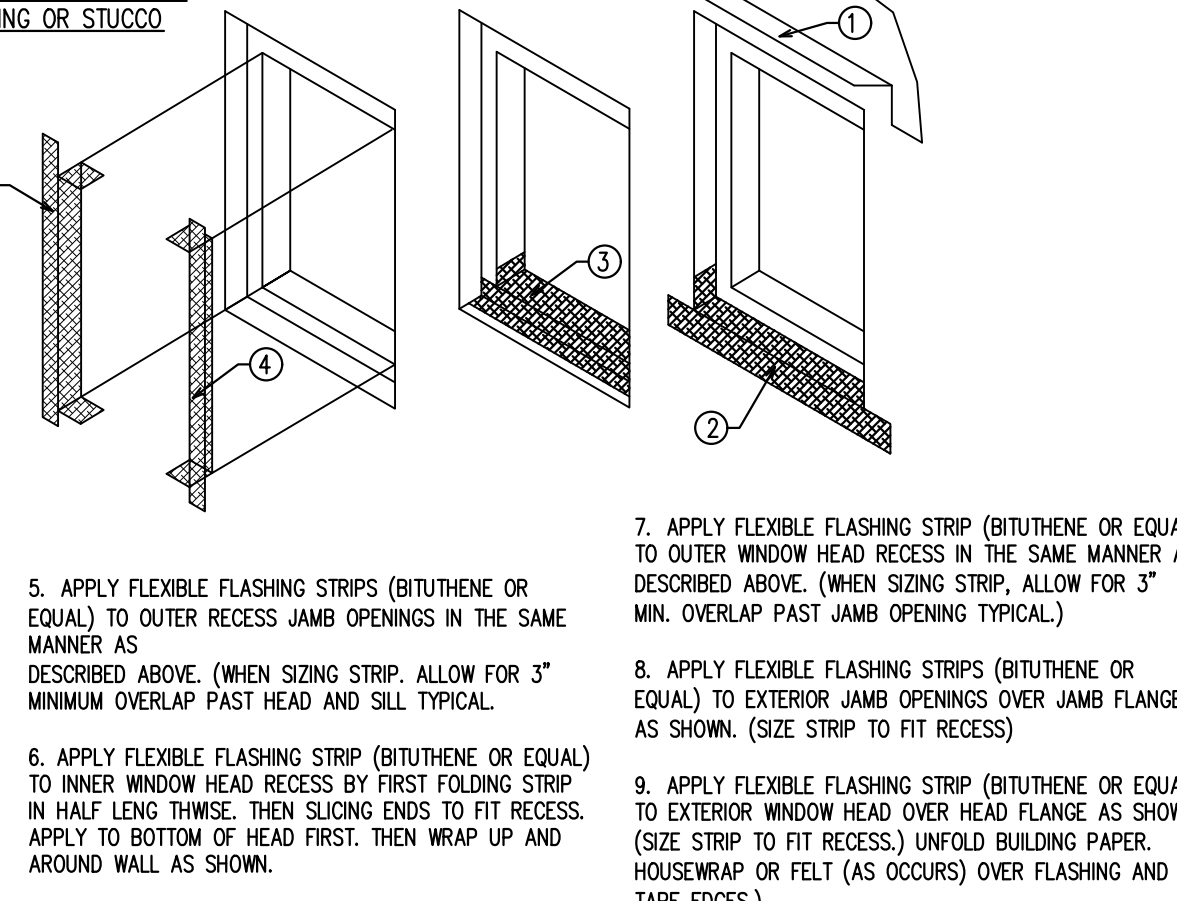
8 VALLEY DETAIL
SCALE: 1-1/2" = 1'-0"



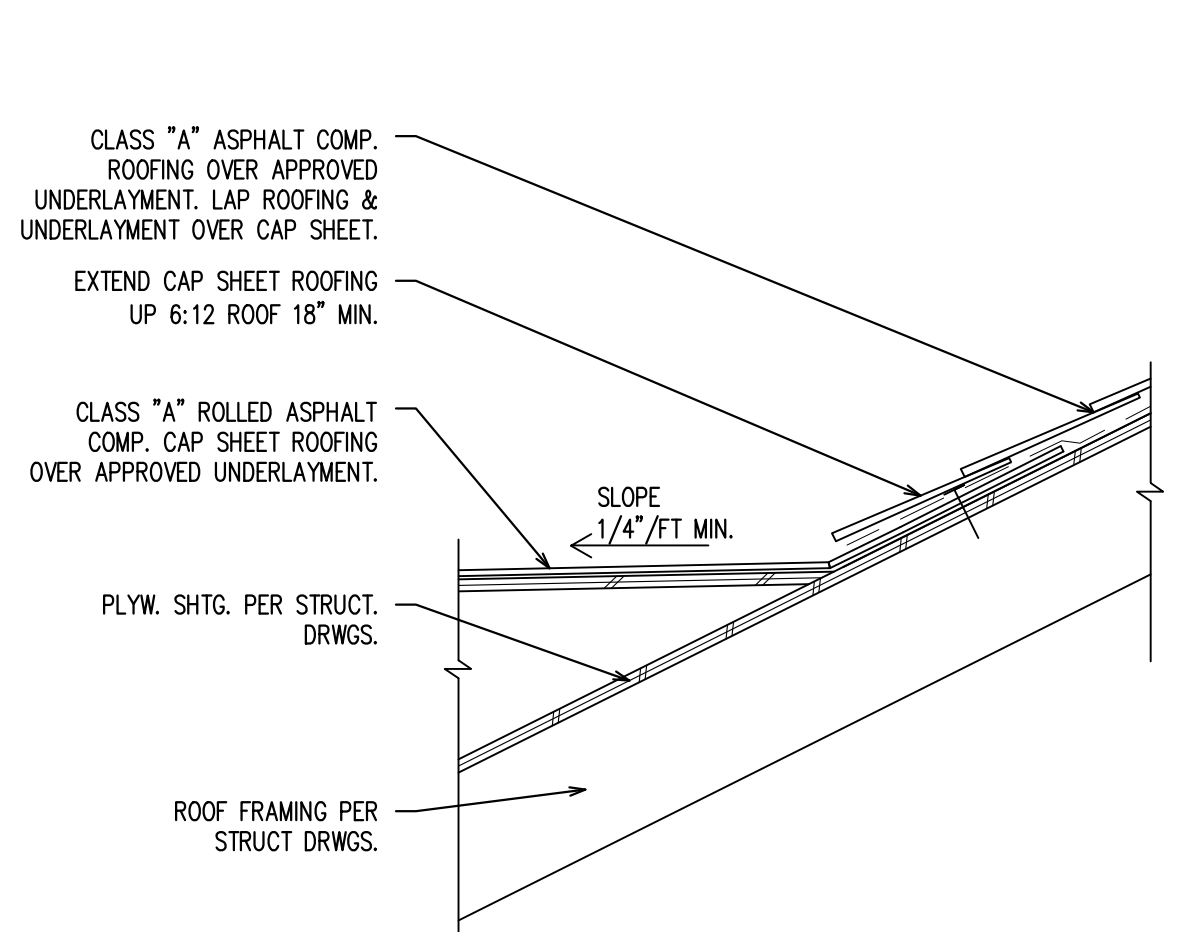
7 TYPICAL INTERIOR WALL - GYPSUM BOARD BOTH SIDES
SCALE: 3" = 1'



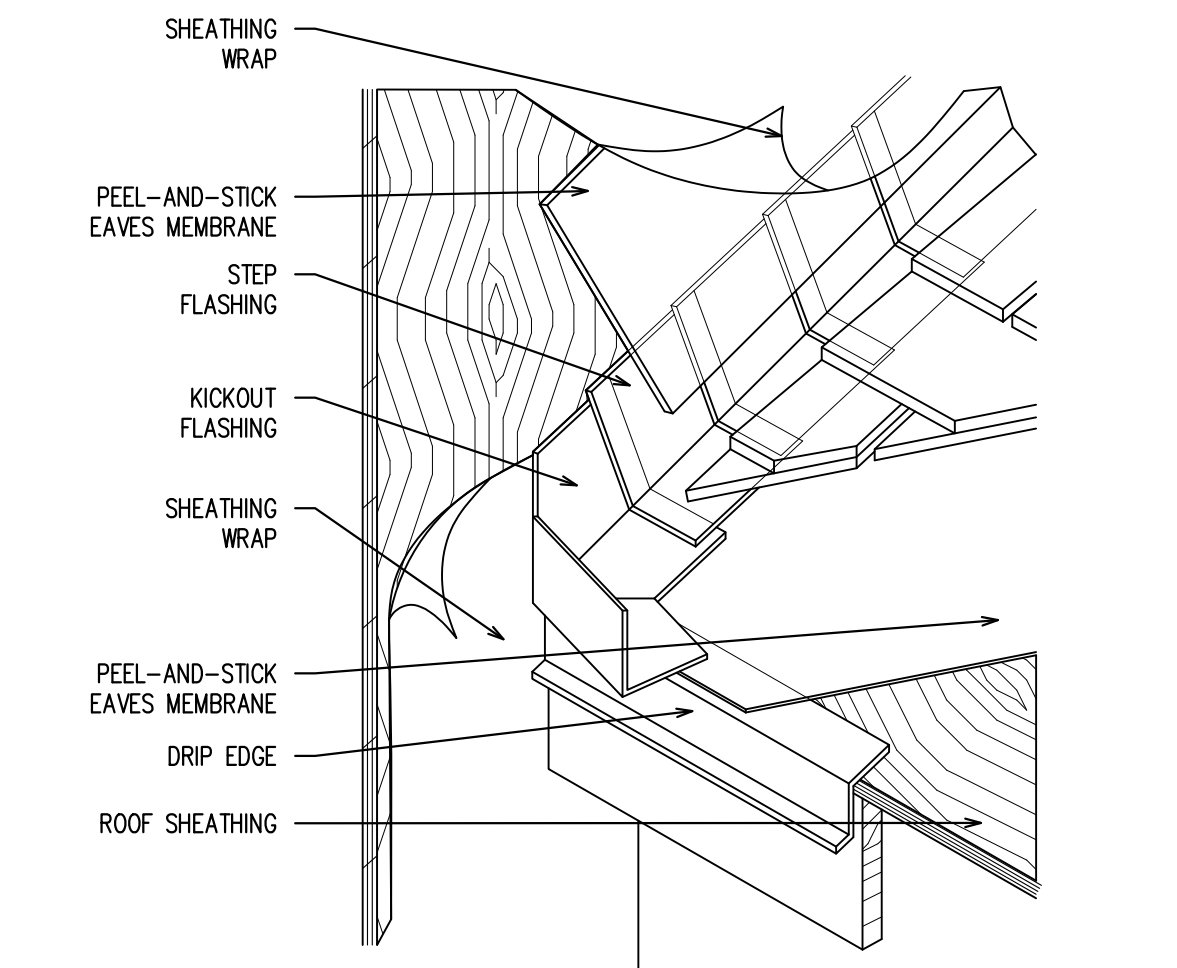
10 FLASHING AT DOOR OPENINGS
SCALE:N/A



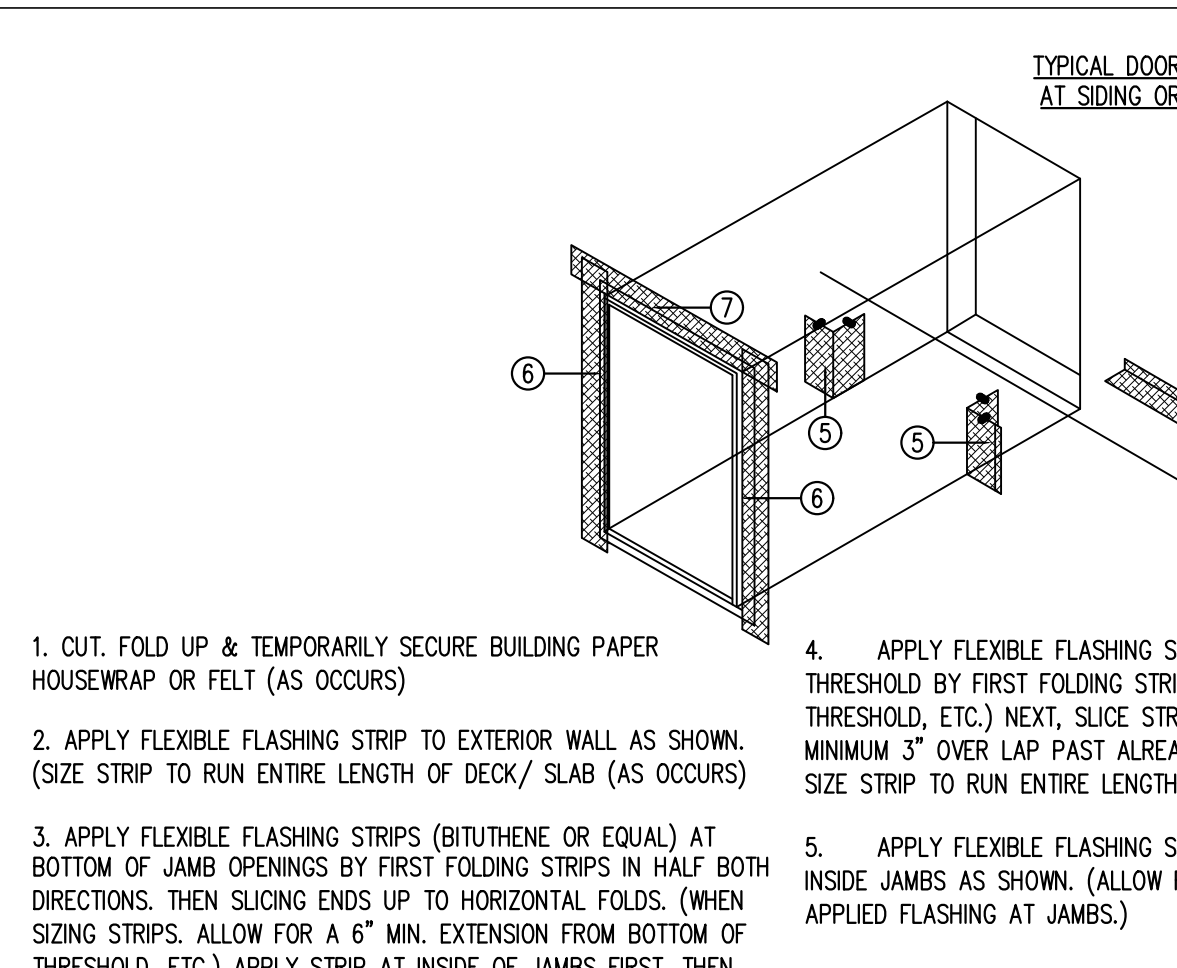
9 FLASHING AT WINDOW OPENINGS
SCALE:N/A



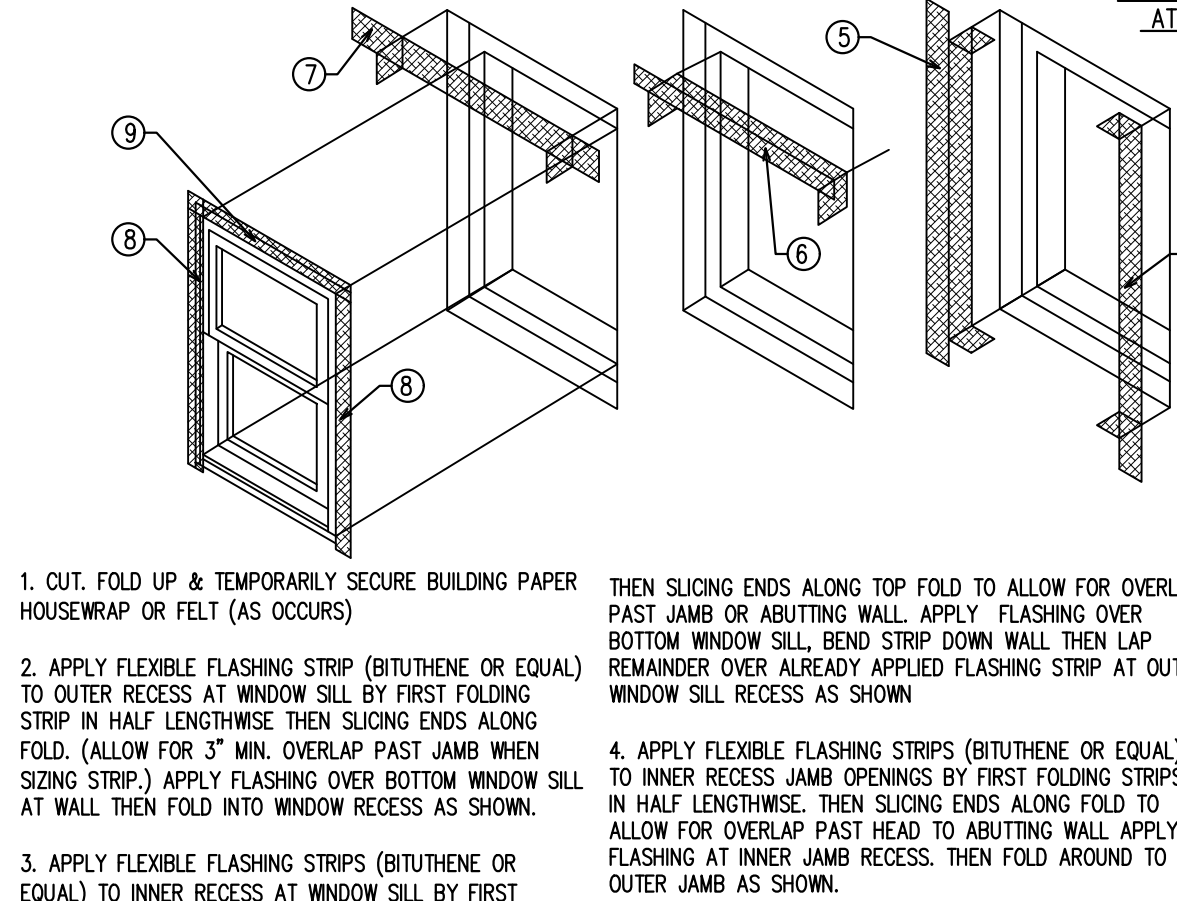
12 ROOF SLOPE TRANSITION DETAIL
SCALE: 1-1/2" = 1'-0"



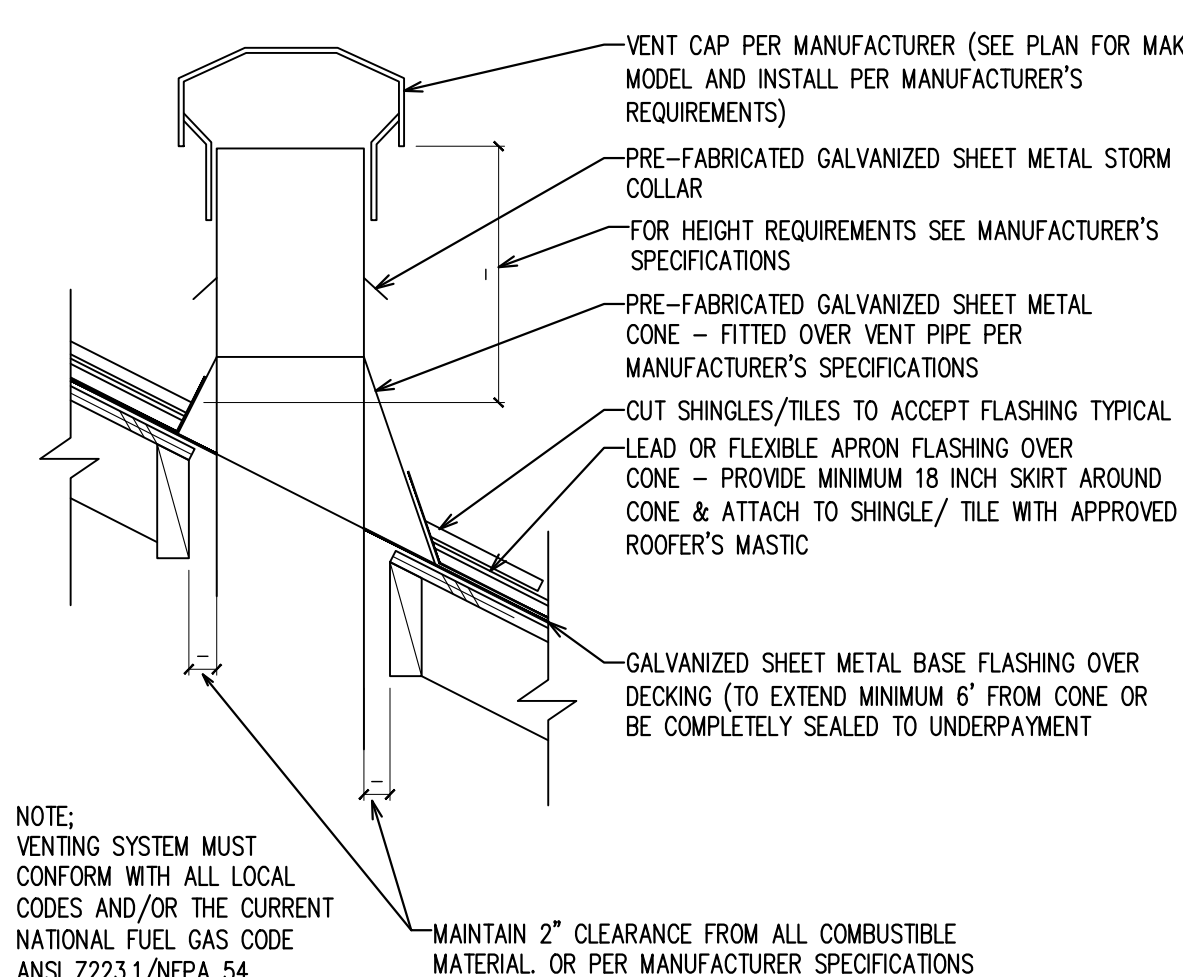
11 STEP FLASHING
SCALE: N/A



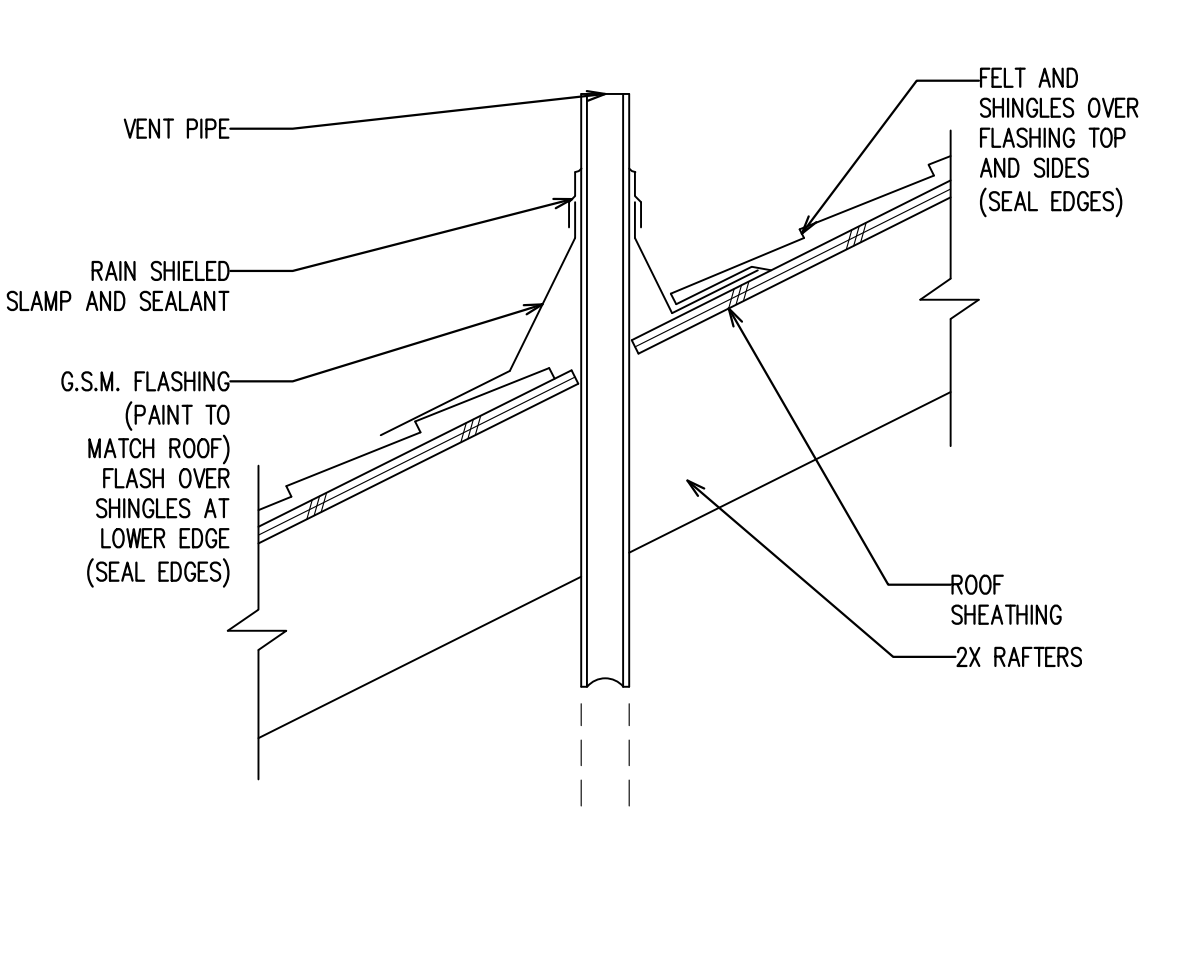
15 TYPICAL ROOF PENETRATION
SCALE: N/A



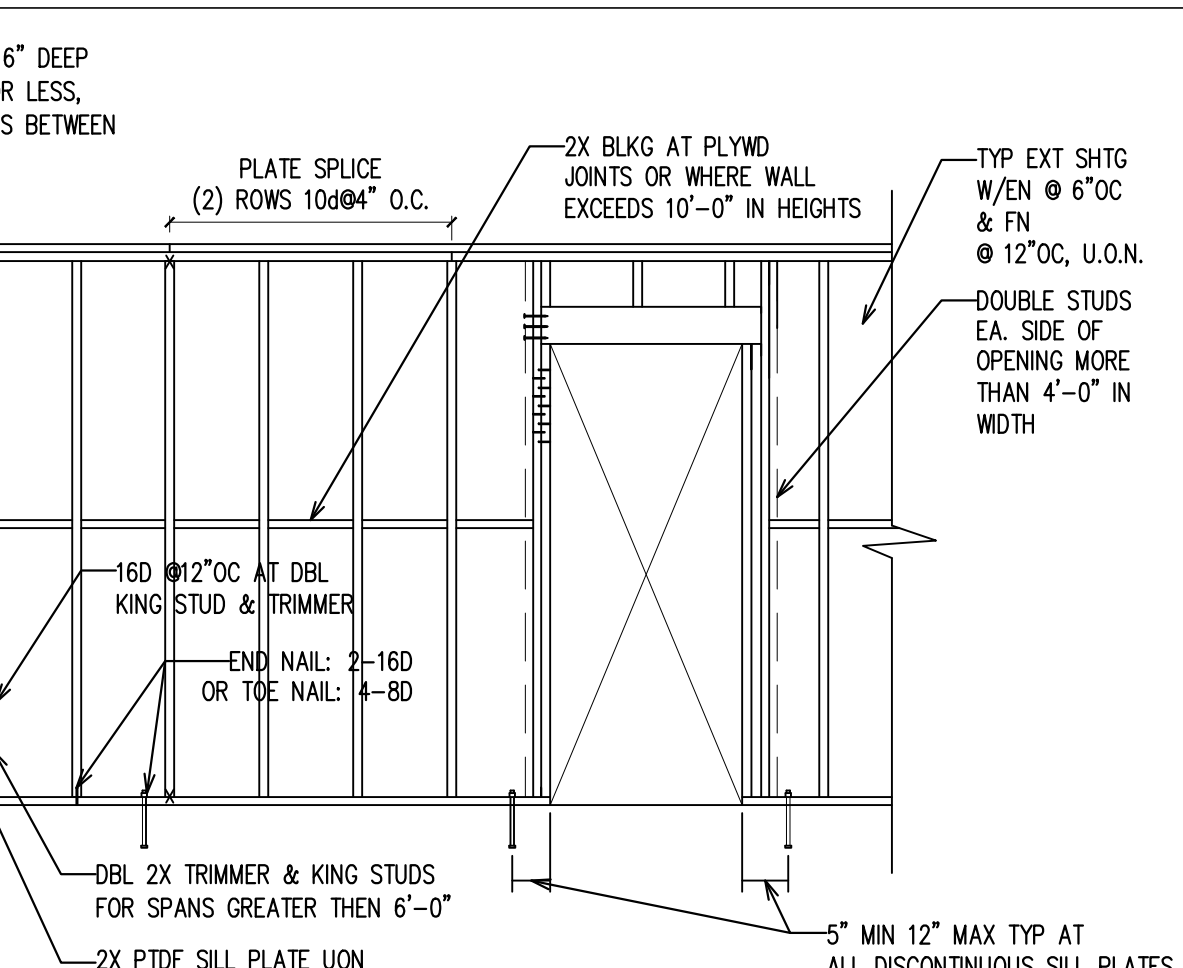
13 WINDOWS AND DOORS FLASHING NOTES:
N/A



16 GAS B-VENT PENETRATION AT ROOF
SCALE: N/A



19 GAS B-VENT PENETRATION AT WALL
SCALE: N/A



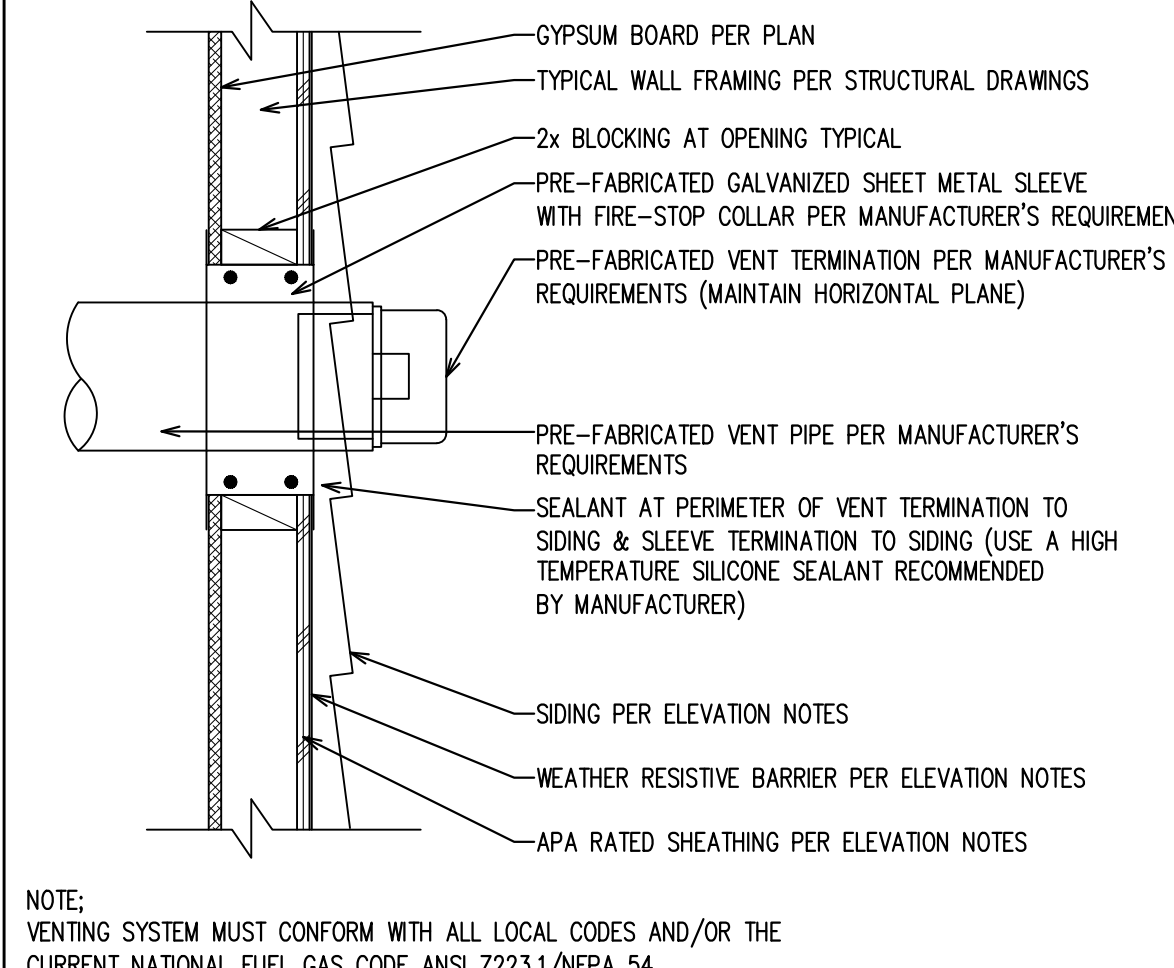
18 TYPICAL FRAMING DETAIL
SCALE: N/A

1. ALL FRAMING LUMBER TO BE D.F. #2 OR BETTER. 2X STUDS TO BE D.F. STUD OR BETTER.
2. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
3. ALL FRAME WALLS SUBJECT TO WATER SPLASH TO HAVE APPROVED WATERPROOF PAPER.
4. BLOCKING REQUIRED BETWEEN JOISTS AT BEARING PARTITIONS.
5. PROVIDE DOUBLE STUDS AT BOTH ENDS OF OPENINGS.
6. ALL EXTERIOR SIDING TO BE MIN. 5/8" UNLESS OVER SHEATHING. ALL EXTERIOR SIDING JOINTS SHALL CENTER OVER FRAMING MEMBERS W/ CONTINUOUS WOOD BATTING OR JOINTS TO BE WATER PROOFED. NAIL ALL SIDING W/ GALVANIZED NAILS.
7. ALL EXTERIOR WALLS TO HAVE TYVEC OR EQUAL MEMBRANE OVER STRUCTURAL SHEATHING AND/OR STUDS.
8. ALL NAILED CONNECTIONS SHALL COMPLY WITH TABLE 2304.9.1 OF THE CALIFORNIA BUILDING CODE, UNLESS OTHERWISE NOTED.
9. ALL FRAMING HARDWARE SHALL BE "STRONG-TIE" AS MANUFACTURED BY SIMPSON CORPORATION. I.C.B.O. APPROVED ALTERNATIVE HARDWARE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ARCHITECT/ENGINEER.
10. ALL FRAMING HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL, ZMAX OR BATCH POST HOT DIP GALVANIZED. ALL FASTENERS SHALL BE STAINLESS STEEL, BATCH POST HOT DIP GALVANIZED OR MECHANICALLY GALVANIZED. STAINLESS STEEL CONNECTORS AND FASTENERS ARE PREFERRED IN EXTERIOR LOCATIONS.
11. WALL STUDS SHALL BE CONTINUOUS FROM BOTTOM PLATE TO POINT OF LATERAL SUPPORT AT ROOF, FLOOR, OR CEILING INTERSECTION.
12. ALL DECK HARDWARE (HANGERS, STRAPS) FASTENERS ARE REQUIRED TO BE OF THE SAME MATERIAL OR COATING THAT THE HARDWARE IS.
13. TYPICAL HEADER SIZE = 4x8 DF#2 UNLESS OTHERWISE NOTED.

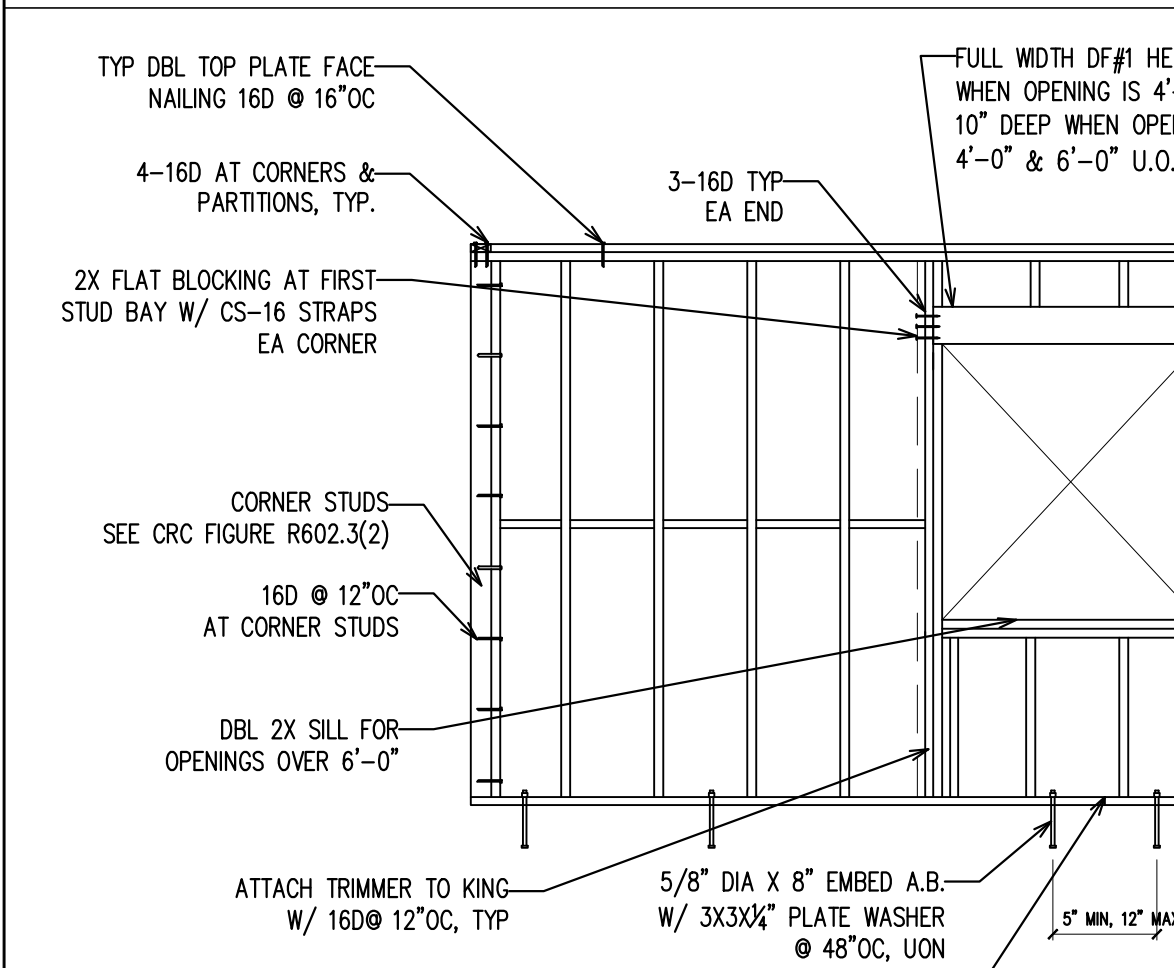
17 NOTES:
N/A



17 NOTES:
N/A



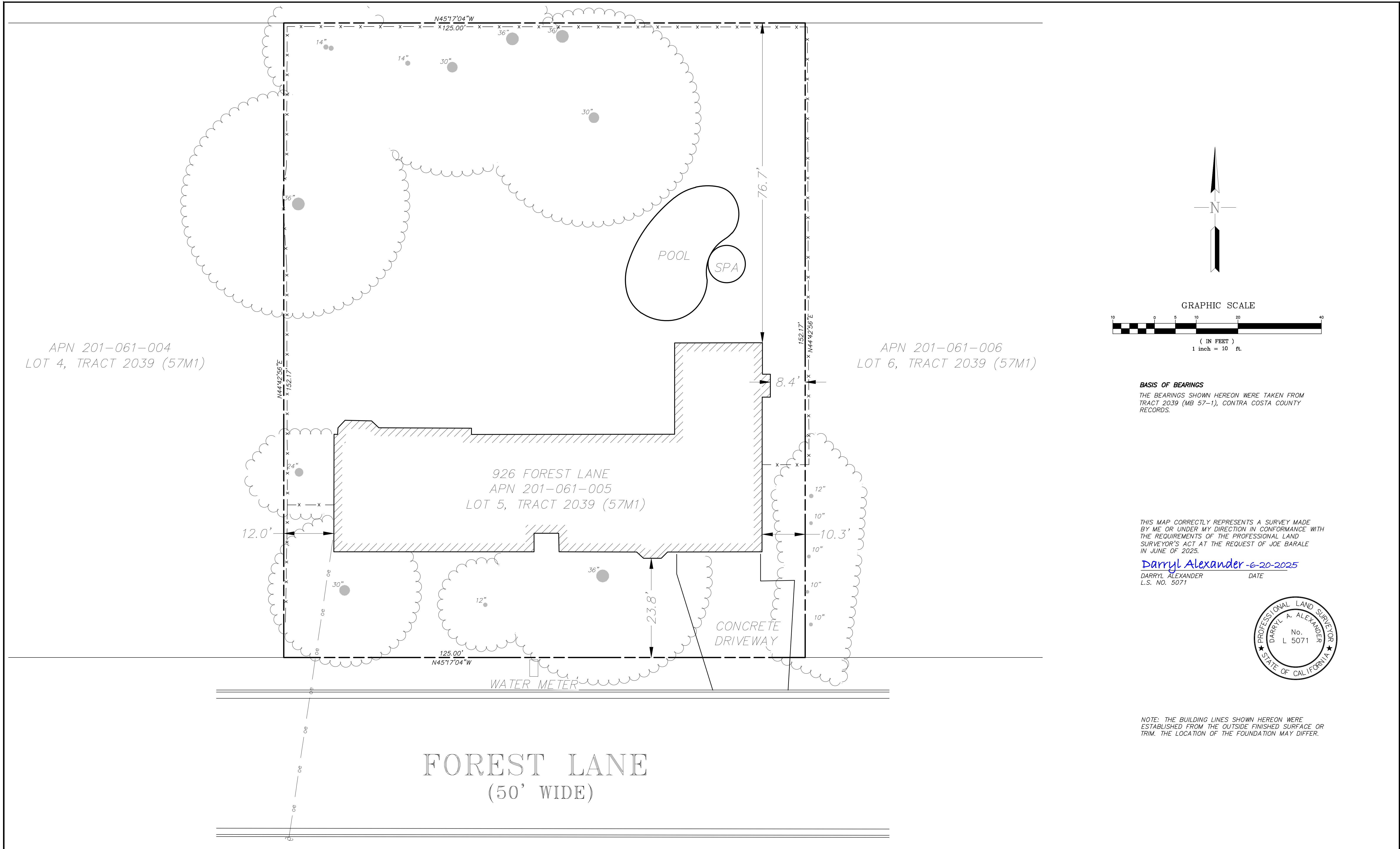
17 NOTES:
N/A



17 NOTES:
N/A

1. ALL FRAMING LUMBER TO BE D.F. #2 OR BETTER. 2X STUDS TO BE D.F. STUD OR BETTER.
2. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
3. ALL FRAME WALLS SUBJECT TO WATER SPLASH TO HAVE APPROVED WATERPROOF PAPER.
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12. ALL DECK HARDWARE (HANGERS, STRAPS) FASTENERS ARE REQUIRED TO BE OF THE SAME MATERIAL OR COATING THAT THE HARDWARE IS.
13. TYPICAL HEADER SIZE = 4x8 DF#2 UNLESS OTHERWISE NOTED.

17 NOTES:
N/A



BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON WERE TAKEN FROM
TRACT 2039 (MB 57-1), CONTRA COSTA COUNTY
RECORDS.

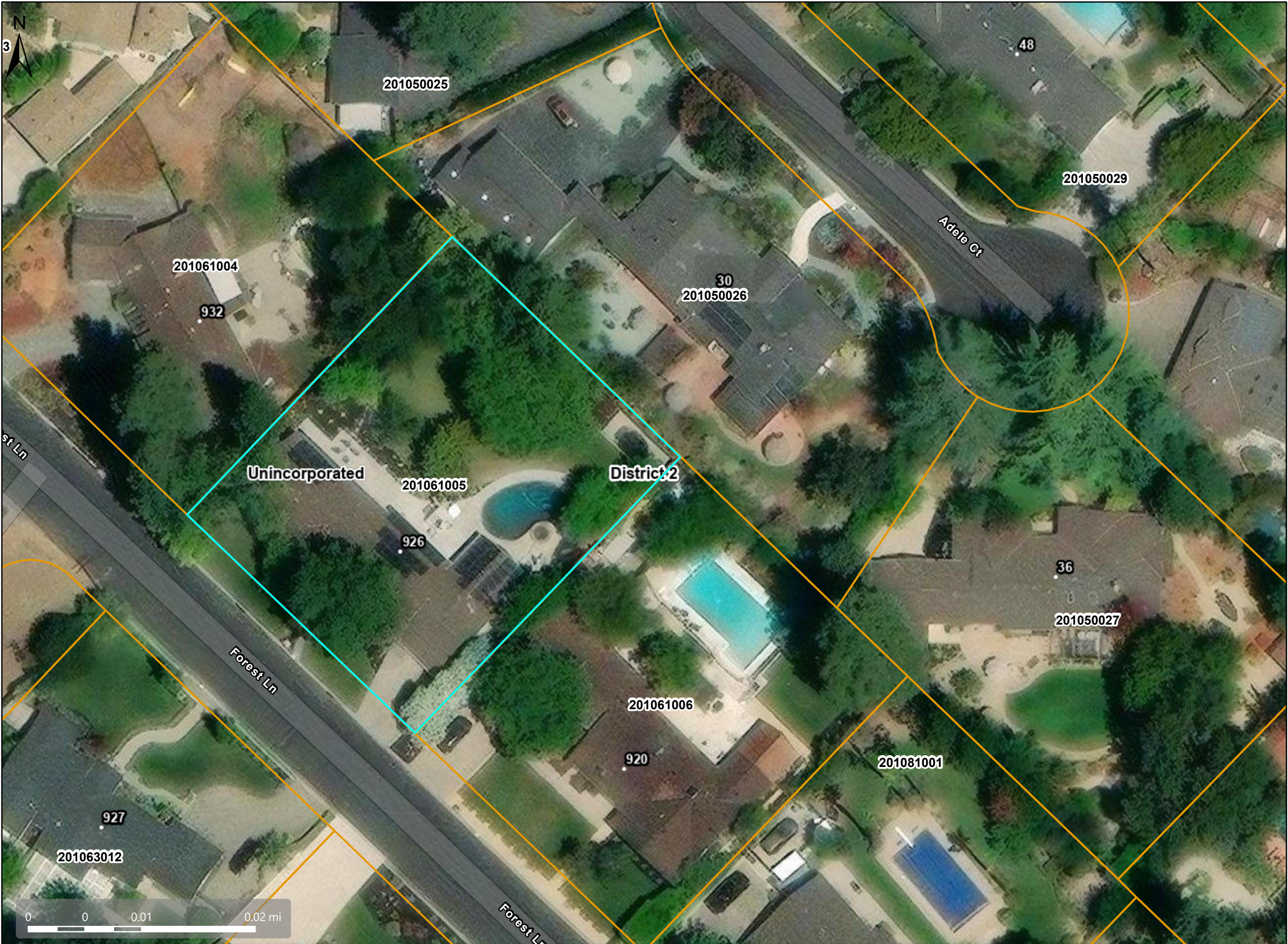
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE
BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH
THE REQUIREMENTS OF THE PROFESSIONAL LAND
SURVEYOR'S ACT AT THE REQUEST OF JOE BARALE
IN JUNE OF 2025.

Darryl Alexander -6-20-2025
DARRYL ALEXANDER DATE
L.S. NO. 5071



NOTE: THE BUILDING LINES SHOWN HEREON WERE
ESTABLISHED FROM THE OUTSIDE FINISHED SURFACE OR
TRIM. THE LOCATION OF THE FOUNDATION MAY DIFFER.

				PROJECT NAME	DRAWN BY: STAFF				JOB NO.: 25172		SHEET NO.:	
				LOT 5, TRACT 2039 (MB 57-1)	ENGINEERS				SITE PLAN		DISK NO.:	
				APN 201-061-005	PLANNERS				926 FOREST LANE		FILE NO.:	
				CONTRA COSTA COUNTY, CALIFORNIA	147 OLD BERNAL AVE. SUITE 10, PLEASANTON, CALIFORNIA 94566				ALAMO, CALIFORNIA		25172 C3D	
					surveyor@trivalley.com (925) 462-2255						DATE:	
REV	DATE		DESCRIPTION	APPROVAL	AS SHOWN						6-20-2025	
											OF 1 SHEETS	



Map Legend

County Border

Assessment
Parcels

Unincorporated

Board of
Supervisors'
Districts

Address Points

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Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan - RL



Map Legend

County Border

Assessment
Parcels

General Plan

RVL (Residential
Very-Low
Density) (≤ 1 du/
na)

RL (Residential
Low Density)
(1-3 du/na)

Unincorporated

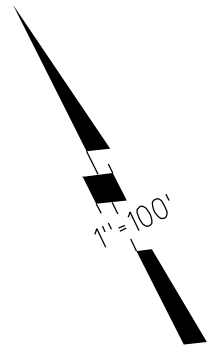
Board of
Supervisors'
Districts

Address Points

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PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

POR. RANCHO SAN RAMON
A- POR TRACT 2039 (CAMILLE WOODS) MB 57-1-3
B- TRACT 2604 MB 69-40



Zoning - R-20



Map Legend

County Border

Assessment
Parcels

Zoning

ZONE_OVER

R-20 (Single
Family
Residential)

R-40 (Single
Family
Residential)

Unincorporated

Board of
Supervisors'
Districts

Address Points

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-371

Agenda Date: 2/3/2026

Agenda #: 6.

Advisory Board: Alamo Municipal Council

Subject: CDVR25-01065 - 137 Dean Road, Alamo

Contact: Allison Seoane, Allison.Seoane@dcd.cccounty.us <<mailto:Allison.Seoane@dcd.cccounty.us>>

Information:

The applicant requests a Variance Permit to allow a Lot Line Adjustment involving a substandard sized lot (APN: 196-080-040) that remains substandard with the lot line adjustment (Concurrent CDLL25-00014). The address is 137 Dean Road, Alamo.

Recommendation(s)/Next Step(s):

The project planner does not yet have a recommendation.



AGENCY COMMENT REQUEST

Date 1/14/26

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

Building Inspection	Grading Inspection
Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
County Geologist	

HEALTH SERVICES DEPARTMENT

Environmental Health	Hazardous Materials
----------------------	---------------------

PUBLIC WORKS DEPARTMENT

Engineering Services	Special Districts
Traffic	
Flood Control (Full-size)	

LOCAL

✓ Fire District _____

 ✓ San Ramon Valley – (email) rwendel@srvfire.ca.gov

 Consolidated – (email) fire@cccfd.org

✓ Sanitary District Central Sanitary

✓ Water District EBMUD

City of _____

School District(s) _____

LAFCO _____

Reclamation District # _____

East Bay Regional Park District _____

Diablo/Discovery Bay/Crockett CSD _____

✓ MAC/TAC Alamo

Improvement/Community Association _____

✓ CC Mosquito & Vector Control Dist (email) _____

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu) _____

CA Fish and Wildlife, Region 3 – Bay Delta _____

Native American Tribes _____

ADDITIONAL RECIPIENTS

Please submit your comments to:

Project Planner Allison Seoane

Phone # 925-655-2871

E-mail allison.seoane@dcd.cccounty.us

County File # CDVR25-01065

Prior to Feb. 11, 2026

We have found the following special programs apply to this application:

Landslide	Active Fault Zone (A-P)
Liquefaction	Flood Hazard Area
60-dBA Noise Control	
CA EPA Hazardous Waste Site	
High or Very High FHSZ	

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01065

File Date: 1/12/2026

Applicant:

Doug Flett D.B. Flett - Civil Engineer
PO Box 143, 3606 Lincoln Way
Lafayette, CA 94549

Doug@dbflett.com
(925) 324-9362

Property Owner:

DAVID S CHRISTENSEN
500 La Gonda Way
Danville, CA 94526 275

dc@milestoneholdings.com
(925) 917-8197

Project Description:

The applicant requests a Variance Permit to allow a Lot Line Adjustment involving a substandard sized lot (APN: 196-080-040) that remains substandard with the lot line adjustment (Concurrent CDLL25-00014).

Project Location: (Address: 137 DEAN RD, ALAMO, CA 94507 275), (APN: 196080043)

Additional APNs: 196080040

General Plan Designation(s): RVL

Zoning District(s): R-40

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

BASIS OF BEARINGS: THE BEARING OF N00°24'30"E, BETWEEN TWO MONUMENTS FOUND ALONG THE EAST WAY OF PARCEL 3 PER 70 LSM 44 AS SHOWN UPON THE MAP FILED FOR RECORD SEPTEMBER 9, 2005 IN BOOK 194 OF PARCEL MAPS AT PAGE 35, OFFICE OF THE COUNTY RECORDED OF CONTRA COSTA COUNTY WAS TAKEN AS THE BEARINGS FOR THIS SURVEY.

BENCHMARK: THE BASIS OF ELEVATION FOR THIS DRAWING IS A STANDARD CONTRA COSTA COUNTY BENCHMARK – BRONZE DISK SET IN CONCRETE AT CURB LINE AT THE SOUTH-EAST CORNER OF THE INTERSECTION OF CAMEO DRIVE AND GREEN VALLEY ROAD, STAMPED "#262" PER COUNTY OF CONTRA COSTA BENCHMARKS RECORDS, TAKEN AS 436.60 FEET (NAVD88 – GEOID 18 VERTICAL DATUM).

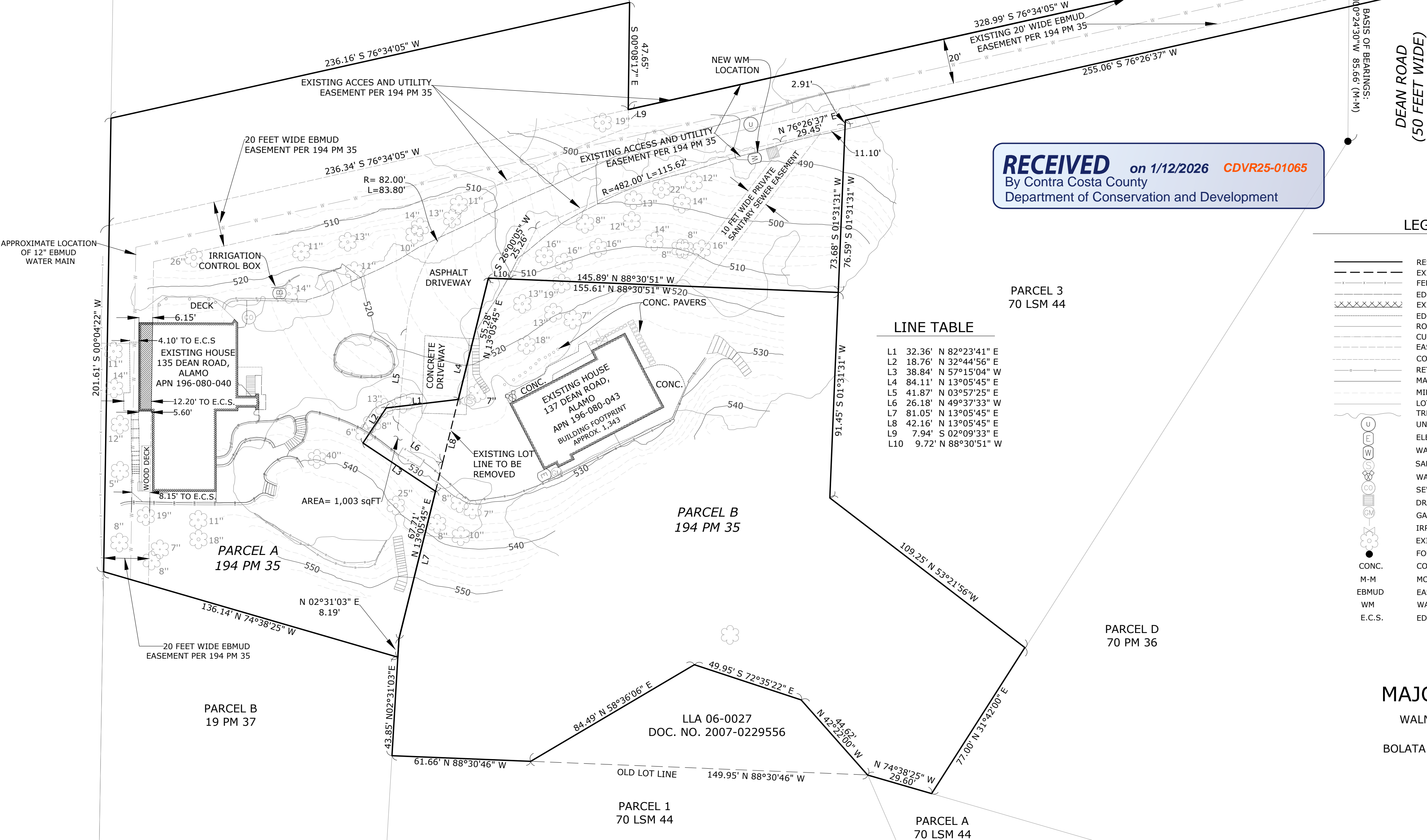
LOT LINE ADJUSTMENT

PARCEL A and PARCEL B AS SHOWN UPON THE MAP FILED FOR RECORD SEPTEMBER 9, 2005 IN BOOK 194 OF PARCEL MAPS AT PAGE 35, RECORD OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA.

CONTOUR INTERVAL= 2 FEET

JULY 2025 SCALE 1"=30"

AREA SUMMARY TABLE			
PARCEL	AREA BEFORE	TRANSFER AREA	AREA AFTER
PARCEL A	60,111 sq. FT.	1,003 sq. FT.	59,108 sq. FT.
PARCEL B	40,914 sq. FT.	1,003 sq. FT.	41,917 sq. FT.
TOTAL	101,025 sq. FT.		101,025 sq. FT.



RECEIVED on 1/12/2026 **CDVR25-01065**
By Contra Costa County
Department of Conservation and Development

LEGEND

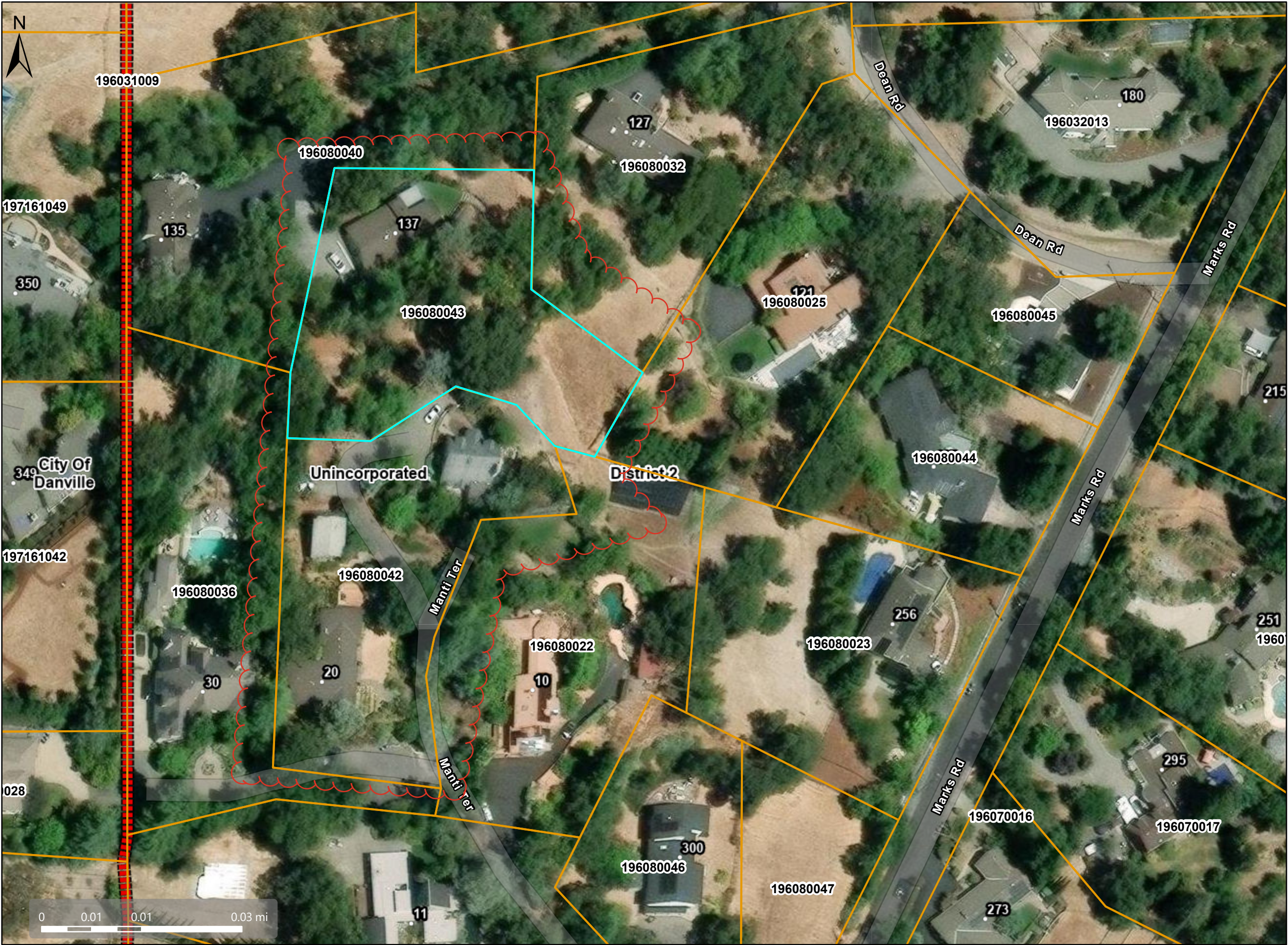
- RESULTING PROPERTY BOUNDARY
- EXISTING LOT LINE TO BE REMOVED
- FENCE
- EDGE OF ROAD/PAVEMENT
- EXISTING BUILDING
- EDGE OF SIDEWALK / PATHWAY
- ROAD CURB LINE
- CURB FLOW LINE
- EASEMENT
- CONCRETE LINE
- RETAINING WALL
- MAJOR CONTOUR LINES
- MINOR CONTOUR LINES
- LOT LINE
- TREE DRIPLINE
- UNKNOWN MANHOLE
- ELECTRIC METER
- WATER METER
- SANITARY SEWER
- WATER SPIGOT
- SEWER CLEANOUT
- DRAIN INLET
- GAS METER
- IRRIGATION VALVE
- EXISTING TREE
- FOUND 1-1/2 " IRON PIPE OPEN - PER 194 PM 35
- CONCRETE SURFACE
- MONUMENT TO MONUMENT
- EAST BAY MUNICIPAL UTILITY DISTRICT
- WATER METER
- EDGE OF CONCRETE SIDEWALK/STAIRS

LINE TABLE

L1	32.36'	N 82°23'41" E
L2	18.76'	N 32°44'56" E
L3	38.84'	N 57°15'04" W
L4	84.11'	N 13°05'45" E
L5	41.87'	N 03°57'25" E
L6	26.18'	N 49°37'33" W
L7	81.05'	N 13°05'45" E
L8	42.16'	N 13°05'45" E
L9	7.94'	S 02°09'33" E
L10	9.72'	N 88°30'51" W

MAJO SURVEYING

WALNUT CREEK, CA 94597
925-365-6881
BOLATA MARIAN COSMIN, PLS 9711



Map Legend

- County Border
- Assessment
Parcels
- Unincorporated
- City Limits
- Board of
Supervisors'
Districts
- Address Points

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Please direct all data inquiries to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan - RVL



Map Legend

County Border

Assessment
Parcels

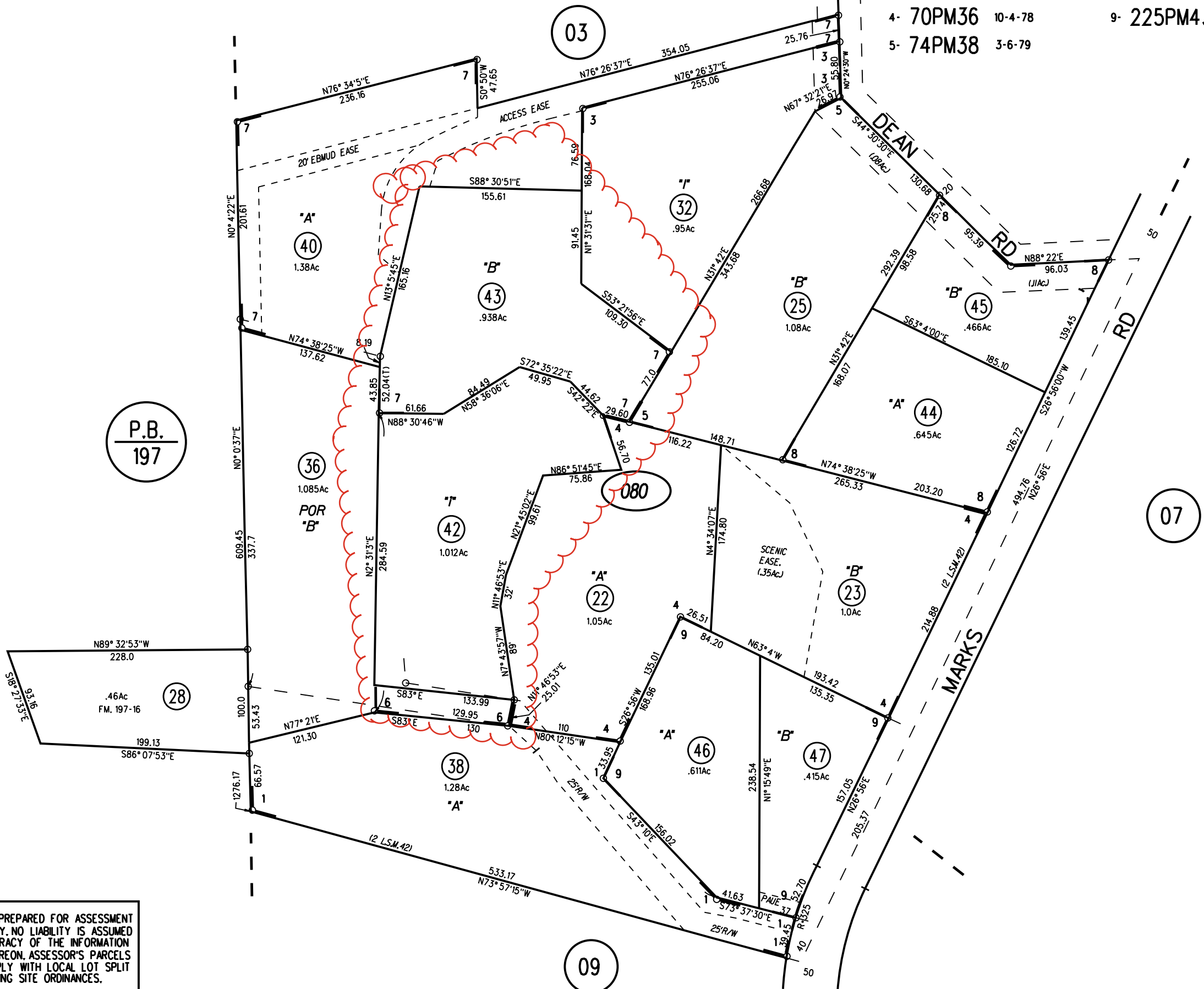
General Plan

RVL (Residential
Very-Low
Density) (≤ 1 du/
na)

UnincorporatedCity LimitsBoard of
Supervisors'
DistrictsAddress Points

POR SE 1/4 SEC 17, T1S R1W MDBM
(POR ASSESSOR'S MAP OF ALAMO OAKS)

- | | | | |
|-----------|---------|------------|---------|
| 1- 19PM37 | 12-1-71 | 6- 70LSM44 | 6-28-82 |
| 2- 59PM40 | 11-9-77 | 7- 194PM35 | 9-9-05 |
| 3- 64LSM8 | 2-9-78 | 8- 225PM26 | 6-16-25 |
| 4- 70PM36 | 10-4-78 | 9- 225PM43 | 8-5-25 |
| 5- 74PM38 | 3-6-79 | | |



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

Zoning - R-40



Map Legend

- County Border
- Assessment Parcels
- Zoning
- ZONE_OVER
 - R-40 (Single Family Residential)
 - Unincorporated
- City Limits
- Board of Supervisors' Districts
- Address Points



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-372

Agenda Date: 2/3/2026

Agenda #: 7.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01069 - 194 Smith Road, Alamo

Contact: Chloe Partain, Chloe.Partain@dcd.cccounty.us <<mailto:Chloe.Partain@dcd.cccounty.us>>

Information:

The applicant requests approval of a variance application for the construction of a new 680 sq ft inground pool within the secondary front yard setback. MWELO is required for the new pool. The address is 194 Smith Road, Alamo.



AGENCY COMMENT REQUEST

Date 12/23/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
 Advance Planning Housing Programs
 Trans. Planning Telecom Planner
 ALUC Staff HCP/NCCP Staff
 County Geologist

HEALTH SERVICES DEPARTMENT
 Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT
 Engineering Services Special Districts
 Traffic
 Flood Control (Full-size)

LOCAL

☒ Fire District _____
 ☒ San Ramon Valley – (email) rwendel@srvfire.ca.gov
 Consolidated – (email) fire@cccfdpd.org

☒ Sanitary District Central San
☒ Water District EBMUD
 City of _____
 School District(s) _____
 LAFCO
 Reclamation District # _____
 East Bay Regional Park District
 Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Alamo
☒ Improvement/Community Association
☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL
 CHRIS (email only: nwic@sonoma.edu)
 CA Fish and Wildlife, Region 3 – Bay Delta
 Native American Tribes

ADDITIONAL RECIPIENTS
 AIA/

Please submit your comments to:
 Project Planner Chloe Partain
 Phone # 925-655-2857
 E-mail chloe.partain@dcd.cccounty.us
 County File # CDVR25-01069
 Prior to 01/22/2026

We have found the following special programs apply to this application:

Landslide Active Fault Zone (A-P)
 Liquefaction Flood Hazard Area
 60-dBA Noise Control
 CA EPA Hazardous Waste Site
 High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01069

File Date: 12/22/2025

Applicant:

Justin Orman Orman & Associates
194 Smith Road
Alamo, CA 94507

justin@ormanassoc.com
(925) 577-8030

Property Owner:

Project Description:

The applicant requests approval of a Variance application for the construction of a new 680 sq. ft. inground pool within the secondary front yard setback. MWELO is required for the new pool.

Project Location: (Address: 194 SMITH RD, ALAMO, CA 94507 273), (APN: 196042009)

Additional APNs:

General Plan Designation(s): RVL

Zoning District(s): R-40

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

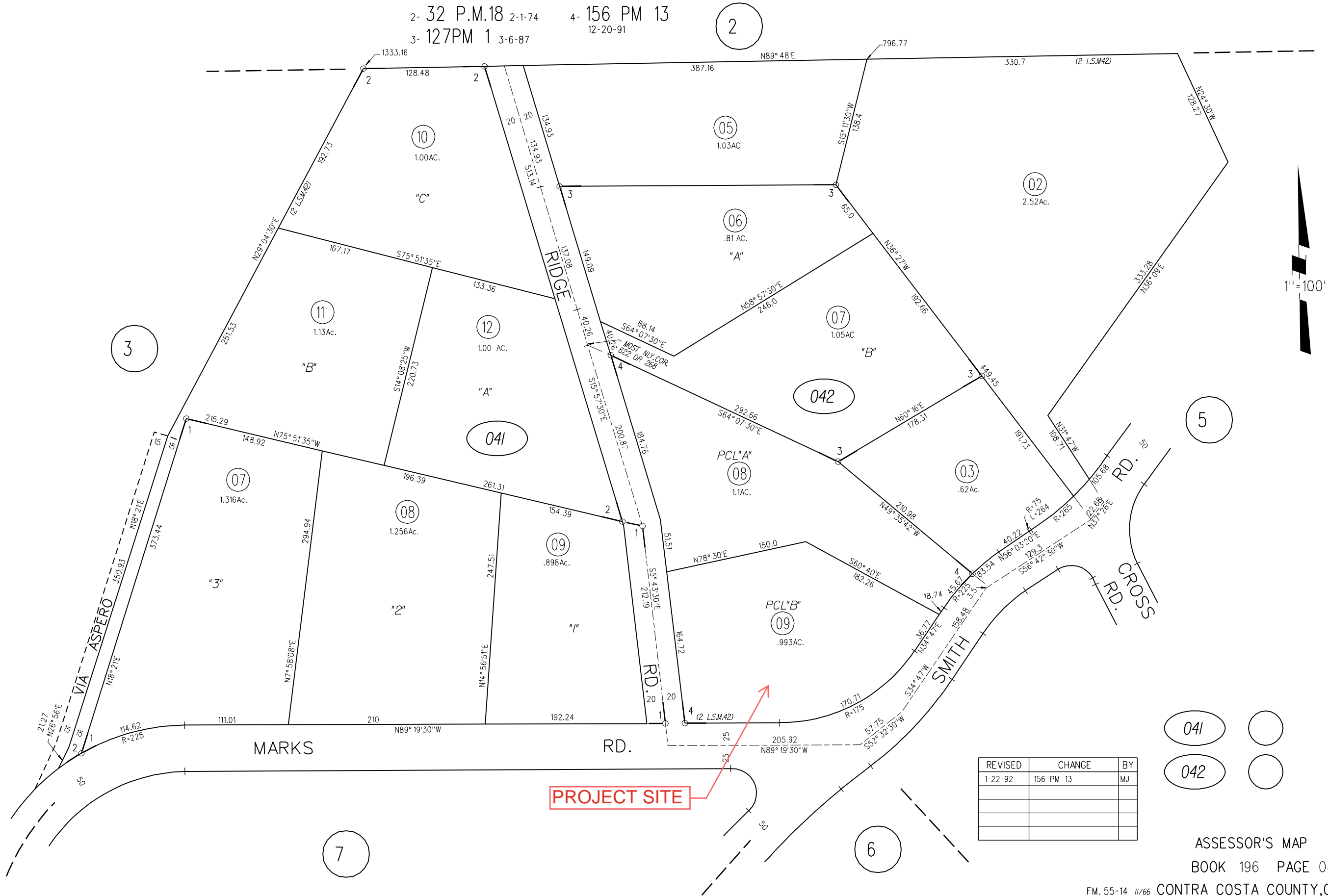
Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052BADJ	Notification Fee Adjustment	002606-9660-REV-000-5B052B	1.00	1.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3383.00	3383.00

POR. SE 1/4 SEC. 17, T. 1S., R. 1W., M.D.B.M.
(POR. ASSESSOR'S MAP OF ALAMO OAKS)

1- RECORD OF SURVEY 21 L.S.M. 26 3-21-63
2- 32 P.M.18 2-1-74 4- 156 PM 13 12-20-91
3- 127PM 1 3-6-87



041
042



Map Legend

- County Border
- Assessment
Parcels
- Unincorporated
- Board of
Supervisors'
Districts
- Address Points

General Plan - RVL



Map Legend

County Border

Assessment
Parcels

General Plan

RVL (Residential
Very-Low
Density) (≤ 1 du/
na)

Unincorporated

Board of
Supervisors'
Districts

Address Points

Zoning - R-40



Map Legend

- County Border
- Assessment Parcels
- Zoning
- ZONE_OVER
 - R-40 (Single Family Residential)
 - Unincorporated
- Board of Supervisors' Districts
- Address Points

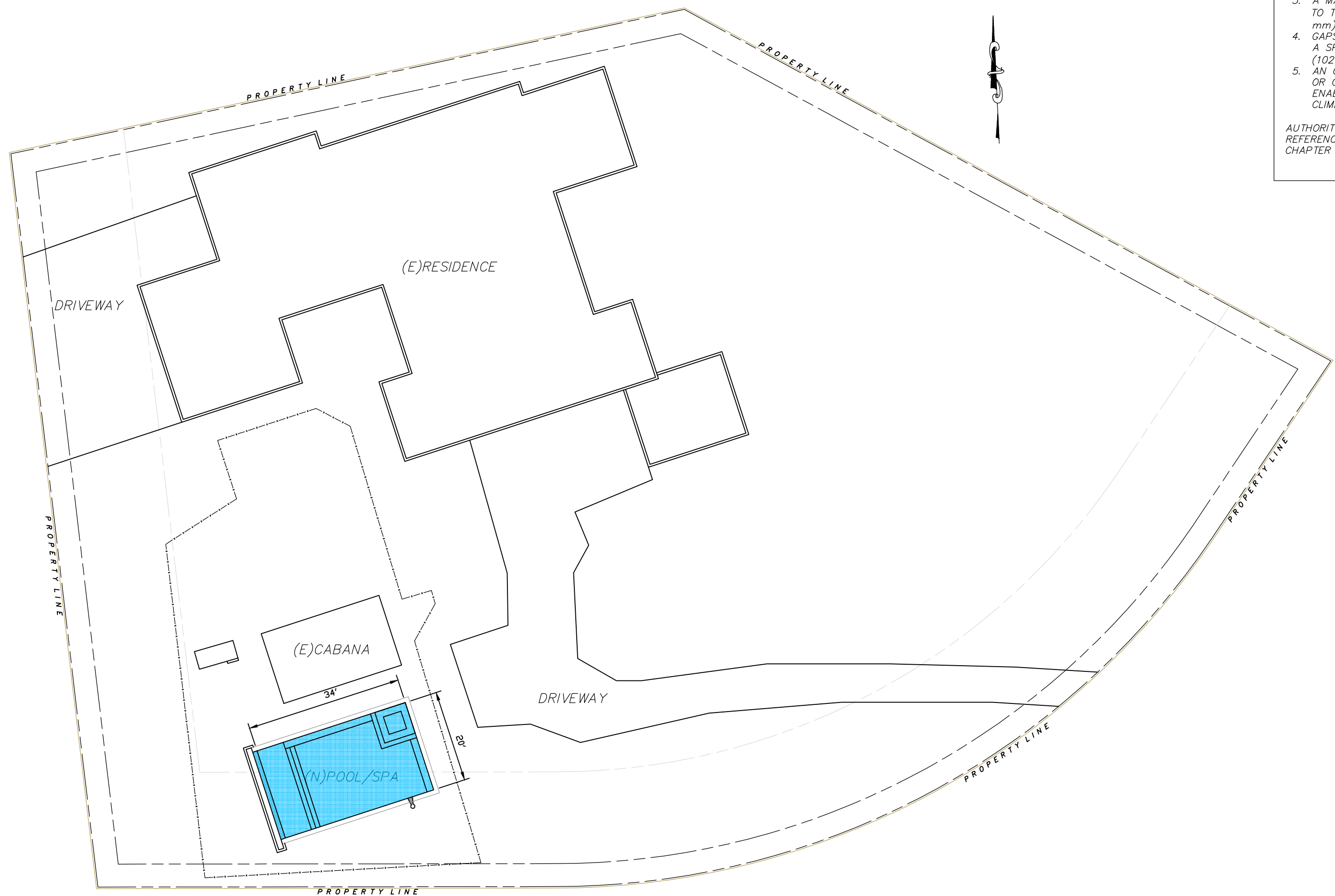
RECEIVED on 12/22/2025 CDVR25-01069
By Contra Costa County
Department of Conservation and Development

ENCLOSURE NOTES

DESIGN AND CONSTRUCTION OF SWIMMING POOL ENCLOSURES SHALL BE BASED ON THE 2022 CALIFORNIA BUILDING CODE(CBC) SECTION 3109, 2022 CALIFORNIA RESIDENTIAL CODE(CRC) APPENDIX AX, 2022 CALIFORNIA ELECTRICAL CODE(CEC) ARTICLE 680. AN ENCLOSURE SHALL HAVE ALL OF THE FOLLOWING CHARACTERISTICS:

1. ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES (1524 mm) ABOVE THE GROUND.
2. A MINIMUM HEIGHT OF 60 INCHES (1524 mm).
3. A MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF 2 INCHES (51 mm).
4. GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4 INCHES (102 mm) IN DIAMETER.
5. AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD ENABLE A CHILD BELOW THE AGE OF FIVE YEARS TO CLIMB OVER.

AUTHORITY: HEALTH AND SAFETY CODE SECTION 18942(b)
REFERENCE: HEALTH AND SAFETY CODE SECTION 115923;
CHAPTER 92, STATUTES OF 1996.



New Pool Site Plan

scale; 1" = 20'-0"

ALL NEW CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:
2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ENERGY CODES,

ELECTRICAL NOTES:

ALL METAL FITTING WITHIN OR ATTACHED TO THE POOL STRUCTURE SHALL BE EQUIPOTENTIAL BONDED. ALL FIXED METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF THE POOL SHALL BE BONDED INCLUDING, BUT NOT LIMITED TO, METAL-SHEATHED CABLES AND RACEWAYS, METAL PIPING, METAL AWNINGS, METAL FENCES, METAL GUTTERS, METAL DOOR AND WINDOW FRAMES. PER: GEC-680.26

SHEET 1 OF 4

SHEET INDEX

SHEET P1. SITE PLAN AND NOTES
SHEET P2. CONSTRUCTION PLAN
SHEET 3. STRUCTURAL
SHEET 4. STRUCTURAL DETAIL

ORMAN RESIDENCE
194 SMITH RD, ALAMO, CA 94507

DATE
10-20-25
DRAWN BY
TIM BOLES

P1

AV100.3 ENCLOSURE; REQUIRED CHARACTERISTICS. AN ENCLOSURE SHALL HAVE ALL OF THE FOLLOWING CHARACTERISTICS:

1. ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES (1524 mm) ABOVE THE GROUND.
2. A MINIMUM HEIGHT OF 60 INCHES (1524 mm).
3. A MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF 2 INCHES (51 mm).
4. GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4 INCHES (102 mm) IN DIAMETER.
5. AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS THAT COULD ENABLE A CHILD BELOW THE AGE OF FIVE YEARS TO CLIMB OVER.

AUTHORITY: HEALTH AND SAFETY CODE SECTION 18942(b)
REFERENCE: HEALTH AND SAFETY CODE SECTION 115923; CHAPTER 92, STATUTES OF 1996.

- SCOPE OF WORK**
1. INSTALL NEW POOL; 34'-0" x 20'-0" (REBAR & SHOTCRETE) WITH COPING -DEPTH; 3 1/2' - 5 1/2'- 3 1/2'
 2. INSTALL IN-POOL SPA (REBAR & SHOTCRETE)
 3. NEW COVERVAULT-(REBAR & SHOTCRETE)
 4. NEW BAJA SHELF W/2 STEPS (REBAR & SHOTCRETE)
 5. (2) BENCHES SEE PLAN (REBAR & SHOTCRETE)
 6. 4 JANDY LIGHTS (ACCENT)
- NEW EQUIPMENT**
1. JANDY; 580 CARTRIDGE FILTER
 2. JANDY; 2.7PHP VS PUMP VSPHP270D
 3. POLARIS; CLEANER 280 W/PUMP F5TR
 4. JANDY; IN-LINE CHLORINATOR TOLVSCG
 5. JANDY; JXI 400N Lo/Nox NG HEATER
 6. AIR BLOWER 2HP
 7. (3) INFINITE COLORS LED LIGHTS (POOL)
 8. (1) INFINITE COLORS LED LIGHT (SPA)

LEGEND

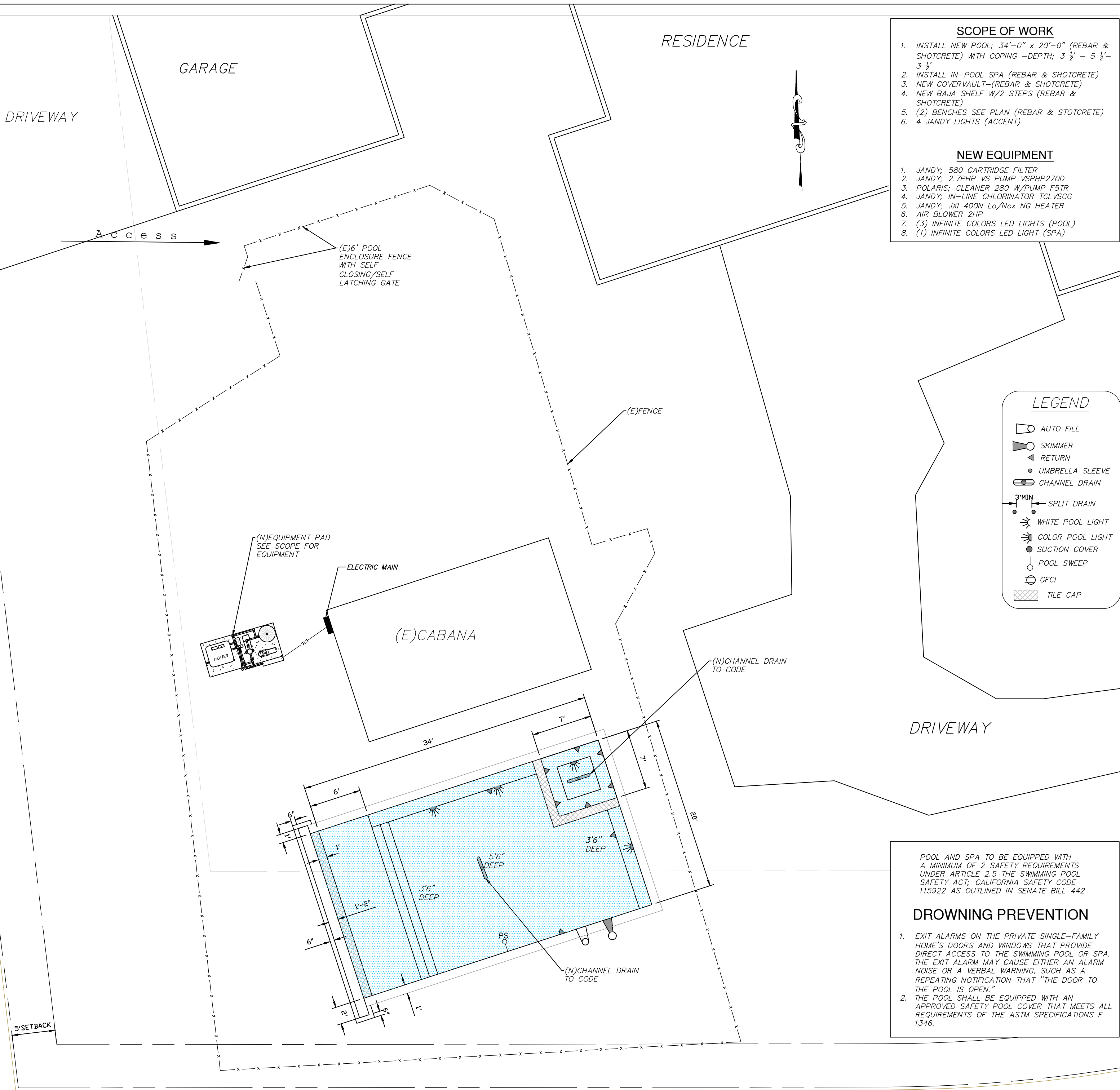
- AUTO FILL
- SKIMMER
- RETURN
- UMBRELLA SLEEVE
- CHANNEL DRAIN
- 3" MIN SPLIT DRAIN
- WHITE POOL LIGHT
- COLOR POOL LIGHT
- SUCTION COVER
- POOL SWEEP
- GFCI
- TILE CAP

Suction Covers to be Anti-entrapment to comply with ANSI/APSP/ICC16 2017

ALL NEW CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:
2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA RESIDENTIAL, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ENERGY CODES.

ELECTRICAL NOTES:

ALL METAL FITTING WITHIN OR ATTACHED TO THE POOL STRUCTURE SHALL BE BONDED. ALL FIXED METAL PARTS WITHIN 5 FEET OF THE INSIDE WALLS OF THE POOL SHALL BE BONDED INCLUDING, BUT NOT LIMITED TO, METAL-SHEATHED CABLES AND RACEWAYS, METAL PIPING, METAL AWNINGS, METAL FENCES, METAL GUTTERS, METAL DOOR AND WINDOW FRAMES, WITH MIN. 8 GAUGE BONDING CONDUCTOR CEC 680.26



POOL AND SPA TO BE EQUIPPED WITH A MINIMUM OF 2 SAFETY REQUIREMENTS UNDER ARTICLE 2.5 THE SWIMMING POOL SAFETY ACT; CALIFORNIA SAFETY CODE 115922 AS OUTLINED IN SENATE BILL 442

DROWNING PREVENTION

1. EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS AND WINDOWS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
2. THE POOL SHALL BE EQUIPPED WITH AN APPROVED SAFETY POOL COVER THAT MEETS ALL REQUIREMENTS OF THE ASTM SPECIFICATIONS F 1346.

Pool Plan
scale; 1/8" = 1'-0"

ORMAN RESIDENCE
194 SMITH RD, ALAMO, CA 94507

DATE
10-20-25
DRAWN BY
TIM BOLES



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-373

Agenda Date: 2/3/2026

Agenda #: 8.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDS26-09736 - 3240 Stone Valley Road West

Contact: Dominique Vogelpohl, Dominique.Vogelpohl@dcd.cccounty.us

[<mailto:Dominique.Vogelpohl@dcd.cccounty.us>](mailto:Dominique.Vogelpohl@dcd.cccounty.us)

Information:

The applicant requests for approval of a Condominium Map to allow 60 units proposed under Development Plan CDDP25-03023 to be individually sold. This application is superseding County File CDMS26-00001. The address is 3240 Stone Valley Road W.



AGENCY COMMENT REQUEST

Date 1/13/26

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
☒ Advance Planning ☒ Housing Programs
☒ Trans. Planning Telecom Planner
ALUC Staff HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

☒ Engineering Services Special Districts
☒ Traffic
Flood Control (Full-size)

LOCAL

☒ Fire District _____
☒ San Ramon Valley – (email) rwendel@srvfire.ca.gov
Consolidated – (email) fire@cccfdpd.org

☒ Sanitary District Central San

☒ Water District EBMUD

City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC alamo

Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

Please submit your comments to:

Project Planner Dominique Vogelpohl
Phone # 925-655-2880
E-mail dominique.vogelpohl@dcd.cccounty.us
County File # CDSD26-09736

Prior to Feb. 10, 2026

We have found the following special programs apply to this application:

- ☐ Landslide Active Fault Zone (A-P)
☒ Liquefaction Flood Hazard Area
☒ 60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDS26-09736

File Date: 1/12/2026

Applicant:

Shelly Butler
Kier & Wright
3350 Scott Blvd, Bldg. 22
Santa Clara, CA 94551

sbutler@kierwright.com
(925) 245-8788

Property Owner:

STONE VALLEY HOLDINGS LLC
Scott Griggs
3240 Stone Valley Road W
Alamo, CA 94507

sgriggs@blakegriggs.com
(925) 262-3632

Project Description:

Request for approval of a Condominium Map to allow 60 units proposed under Development Plan CDDP25-03023 to be individually sold. This application is superseding County File CDMS26-00001.

Project Location: (Address: 3240 STONE VALLEY RD W , ALAMO, CA 94507), (APNs: 191093043 and 191-093-044)

General Plan Designation: Mixed Use, Med-Density (MUM)

Zoning District(s): Housing Element-Consistency (HE-C); Cannabis Exclusion (-CE)

Flood Hazard Areas: X

AP Fault Zone: NO

60-dBA Noise Control: YES

MAC/TAC: ALAMO

Sphere of Influence: N/A

Fire District: SAN RAMON VLY FIRE

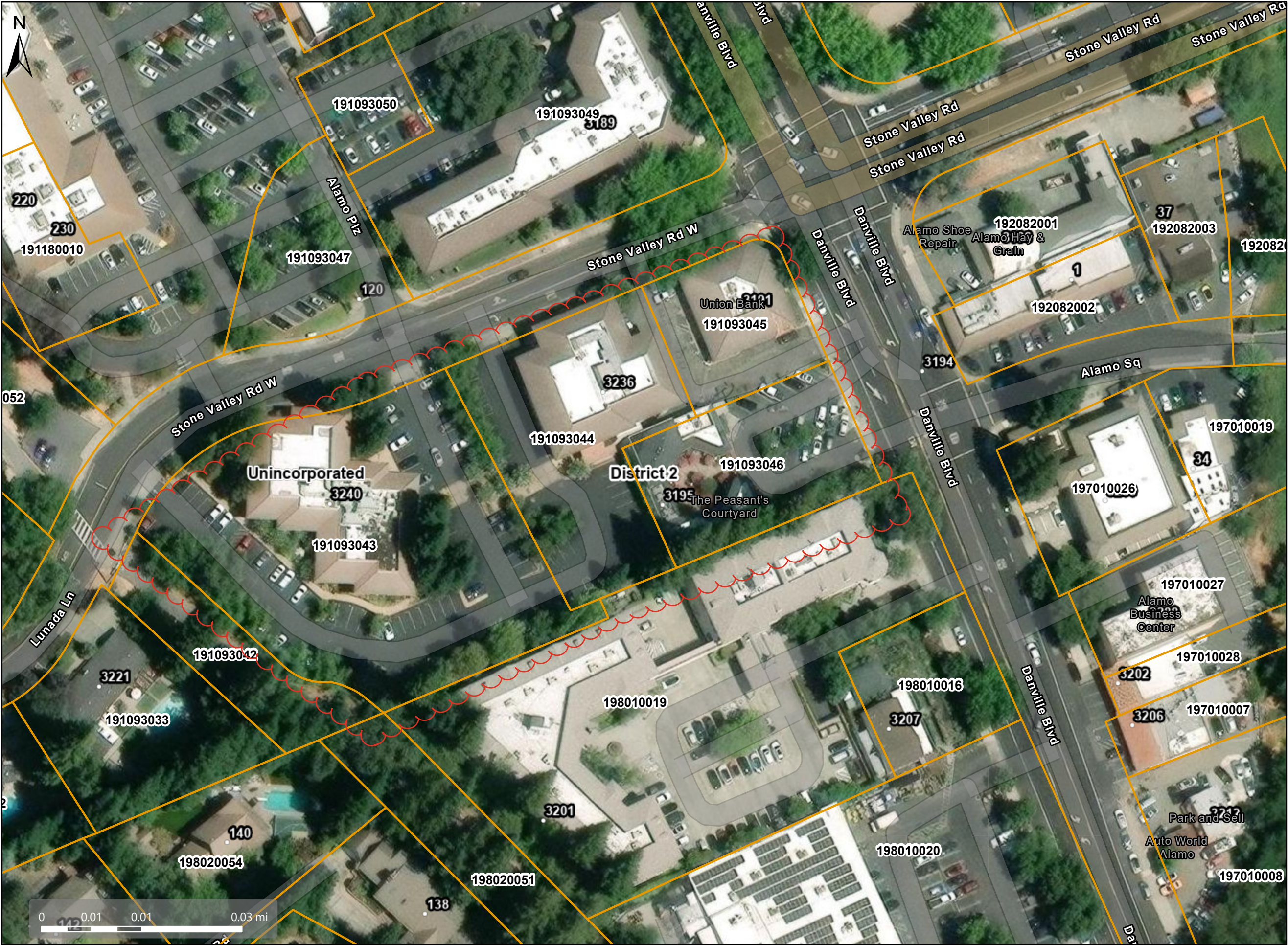
Sanitary District: CENTRAL SANITARY

Housing Inventory Site: YES

Specific Plan: N/A

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
SDS0035	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			8662.00	8662.00



Map Legend

- County Border
- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

POR. RO. SAN RAMON

1960 ROLL- TRACT 2627 (RANCHO ROMERO) M.B. 75-36

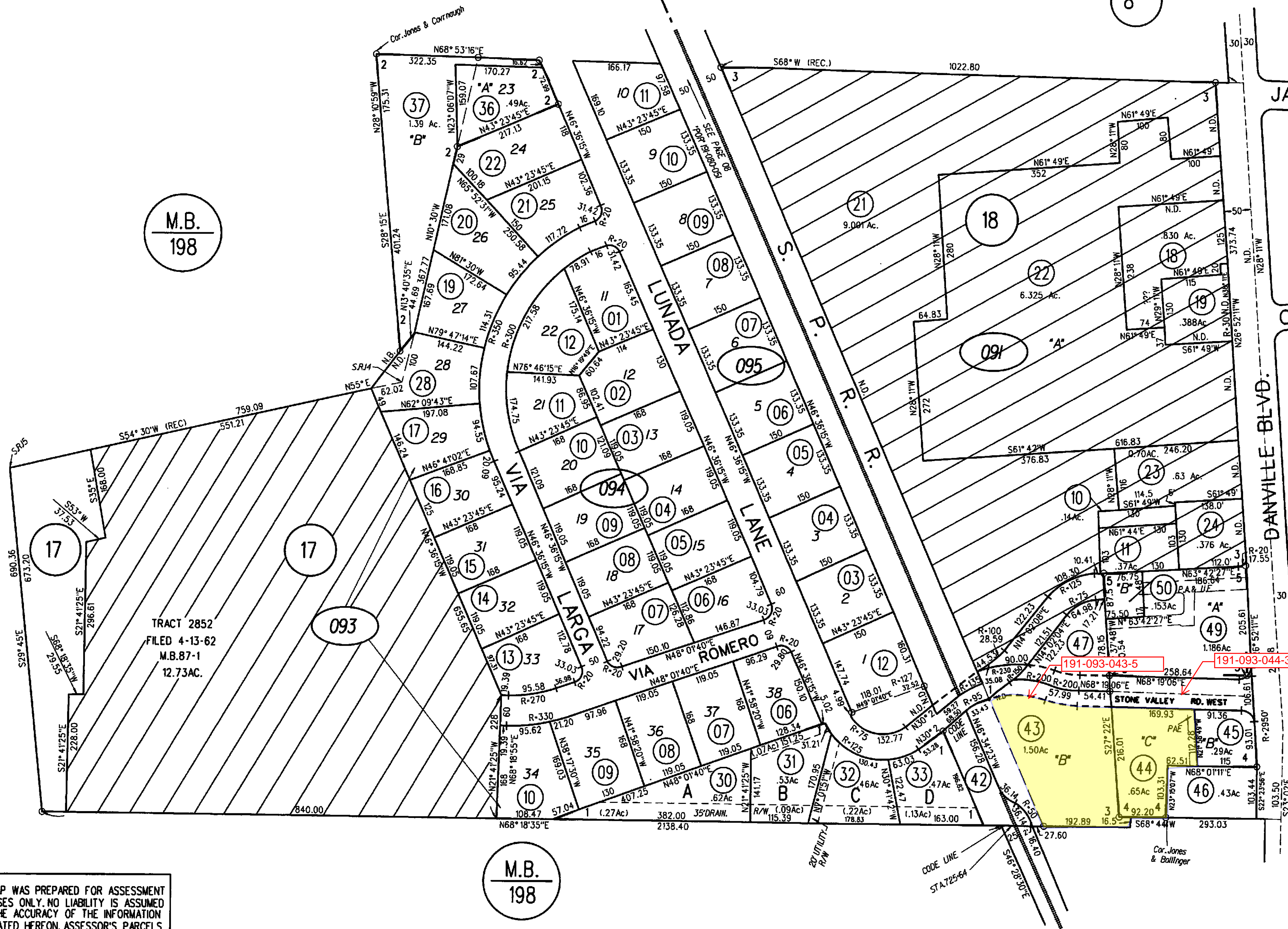
16

- 1- RECORD OF SURVEY 43 L.S.M.10 6-9-66
- 2- 65PM18 4-26-78

- 3- 82PM14-17 10-26-79
- 4- 105PM47&48 5-23-83
- 5- 210PM40 2-16-16

8

M.B.
198



M.B.
192

- 093
- 094
- 095
- 210 PM40
- 7/21/16

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

M.B.
198

ASSESSOR'S MAP

BOOK 191 PAGE 09

General Plan - MUM



Map Legend

- County Border
- Assessment Parcels
- General Plan
 - RL (Residential Low Density) (1-3 du/na)
 - MUM (Mixed-Use Medium) (30-75 du/na) (2.0 FAR)
 - MUC (Mixed-Use Community-Specific) (Variable)
 - PR (Park and Recreation)
 - RC (Resource Conservation)
 - Unincorporated Board of Supervisors' Districts
 - Address Points

Zoning - HE-C, -CE



Map Legend

County Border

Assessment

Parcels

Zoning

ZONE_OVER

R-20 (Single Family Residential)

R-B -CE -S-2 (Cannabis Exclusion and Sign Control)

HE-C -CE (Cannabis Exclusion Combining District)

Unincorporated

Board of Supervisors' Districts

Address Points



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-374

Agenda Date: 2/3/2026

Agenda #: 9.

Advisory Board: Alamo Municipal Advisory Council

Subject: Expansion of Committee Oversight for Community Safety

Information:

This is a proposal to modify the scope of the Public Safety Committee to provide comprehensive coverage of Alamo safety initiatives and agency coordination. The Committee would now include working with P2B, P5 (Round Hill), Contra Costa County Fire Protection District (Con Fire) as well as San Ramon Valley Fire Protection District.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-375

Agenda Date: 2/3/2026

Agenda #: 10.

Advisory Board: Alamo Municipal Advisory Council

Subject: Subcommittee Reports

Information:

- Alamo Subcommittee for Schools: Straznicka, Parkinson
- Alamo AOB/Roundabout: Struthers, Barclay, Burke
- Land Use Planning Subcommittee: Barclay (Chair), Brannan, Burke
- Iron Horse Corridor Subcommittee: Struthers
- Parks and Recreation Subcommittee: Struthers, Parkinson, Sene
- Public Safety (Police P-2, Fire, Emergency): Brannan, Straznicka
- Trees and Landscape Subcommittee: Burke, Parkinson



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-376

Agenda Date: 2/3/2026

Agenda #: 11.

Advisory Board: Alamo Municipal Advisory Council
Subject: Future Presentations

Information:

- March 2026 - San Ramon Valley Fire Protection District Fire Chief Aguiar
- March 2026 - Department of Conservation and Development, Principal Planner Ruben Hernandez
- April 2026 - Contra Costa County Registrar of Voters, Kristin Connelly