



CONTRA COSTA COUNTY

AGENDA - PUBLISHED

Alamo Municipal Advisory Council

Tuesday, July 7, 2026

6:00 PM

Alamo Women's Club - 1401 Danville
Blvd., Alamo

Chair Dr. Michaela Straznicka, Vice Chair Sharon Burke, Anne Struthers, Robert Brannan, Michelle Parkinson, Michael Sene, Jenna Mesic, Peter Waldron (Alternate)

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Call to Order - Pledge of Allegiance - Roll Call
2. District II Board of Supervisors Staff Update
3. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
4. Presentations - Warren Lai, Public Works Director [26-2876](#)
Attachments: [Warren Lai BIO](#)
6. CDDP26-03012 – 184 Alamo Square [26-2623](#)
Attachments: [Agency Comment Packet CDDP26-03012 \(2\)](#)
7. CDMS25-00009 - 2717 Stone Valley Road, Alamo [26-2877](#)
Attachments: [CDMS25-00009 ACR](#)
8. CDMS23-00001 - 1260 Livorna Road, Alamo [26-2624](#)
Attachments: [CDMS23-00001 - Agency Comment Request](#)
9. Historic Alamo Post Office Discussion [26-2878](#)
10. May 2026 and June 2026 Alamo MAC Notes [26-2879](#)
Attachments: [Alamo MAC Notes 5.5.2026](#)
[Alamo MAC Notes 6.2.2026](#)
11. Subcommittee Reports [26-2880](#)

12. The next meeting is currently scheduled for September 1, 2026. Please note the Alamo MAC will not meet in August.
13. Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov.

For Additional Information Contact: Cameron Collins at Cameron.Collins@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2876

Agenda Date: 7/7/2026

Agenda #: 4.

Advisory Board: Alamo Municipal Advisory Council

Subject: Warren Lai, Public Works Director

Information:

Public Works Director, Warren Lai

WARREN LAI
Public Works Director



Warren attended the University of California, Davis, and received a degree in Civil Engineering in 1998. He began his career with the Contra Costa County Public Works Department in May 1998 and has worked in various Divisions including, Transportation Engineering, Design/Construction, Engineering Services, and Environmental. He was promoted to Division Manager overseeing Engineering Services and Special Districts in 2010 and later promoted to Deputy Director in 2018. In 2024 Warren was appointed Contra Costa County Public Works Director and Chief Engineer of the Flood Control District, overseeing more than 450 employees that maintain roads, bridges, flood control channels, buildings, grounds, airports, and related infrastructure.

Warren is a member of the American Public Works Association (APWA) and believes in furthering the careers of all professionals in the public works industry. He has had an opportunity to speak at the APWA National and local Northern California conferences on a number of topics to assist others in career growth. Warren has also received his CSAC credential in the California County Senior Executive program.

Warren and his wife enjoy traveling and experiencing the outdoors. One of Warren's favorite past times is fishing, including fly fishing for Sierra trout or Delta stripers, and hunting for trophy fish in the open waters of Alaska, Sea of Cortez, and Gulf of Mexico.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2623

Agenda Date: 6/23/2026

Agenda #: 6.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDDP26-03012 - 184 Alamo Square

Contact: Diana Lecca, Department of Conservation and Development

Information:

Applicant: WeiHong Yang

Property Owner: David Dornan Project

Location: 184 Alamo Sq, Alamo, CA 94507

Assessor's Parcel Numbers (APN): 197-320-020

Zoning District: M-12 (Multiple-Family Residential District)

General Plan Designation: RM (Residential Medium Density, 7-17 units per net acre)

Project Planner: Diana Lecca, Community Development Division

Project Description

The proposed development involves expanding infrastructure and access components to support residential property upgrades for an existing multi-story townhouse.

The scope of work includes: Installation of a new engineered, expanded structural wooden deck layout, a decorative open-air trellis system, and a secured residential modification.

The proposal requires a non-substantial Development Plan modification for a 225-square-foot first-floor wooden deck footprint where a 150-square-foot deck is currently established, extending outward net additions of 75 square feet into the property lines, and an open-air decorative wooden trellis section situated directly over the upper deck assembly.

These requests are necessitated by the lot's existing multi-story structure, which was established under original planned unit development constraints. Research into the subdivision's history confirms that similar development plan modifications have been granted for residential upgrades on neighboring properties with comparable site constraints.

Variance Requests

The subject parcel is an existing multi-story townhouse configuration within the M-12 district because the property bounds are restricted by immediate historical residential alignments. To accommodate the proposed additions, the applicant requires variances for the structural deck footprint and upper roof coverage area.

Specifically, the installation of the newly engineered deck directly interfaces with the designated property lines to the exterior. The upper trellis section provides a structurally similar replacement for a previously existing 70-square-foot solid roof covering feature. To ensure local code compliance, this trellis will feature an open-air decorative wood layout established, engineered, and maintained directly to satisfy light, air, and aesthetic

standards. Long-term operational upkeep and structural liability for the modified footprint will be managed explicitly under the standard conditions of approval for Tract 4480 (Alamo Bridge). Furthermore, the property is an established multiple-family residential unit, validating the necessity of these residential provisions.

Public Notification

As part of the review process, notification regarding this meeting and the project application has been shared with all neighbors located within 300 feet of the property line.



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Project Summary

County File Number: CDDP26-03012

Submitted Date: 4/9/2026

Applicant: WeiHong Yang

Property Owner: DAVID DORNAN

Project Description:

The applicant requests approval of a non-substantial Development Plan for the replacement of an existing 150 square-foot deck with a new, 225 square-foot deck on the first floor, and the replacement of an existing approx. 70-square-foot roof covering over the deck with a similar size trellis, for an existing townhouse.

Project Location: (Address: 184 ALAMO SQ, ALAMO, CA 94507 193), (APN: 197320020)

Additional APNs:

General Plan Designation(s): RM

Flood Hazard Areas: X

60-dBA Noise Control: NO

Sphere of Influence: NO

Sanitary District: CENTRAL SANITARY

Specific Plan: NO

Zoning District(s): M-12

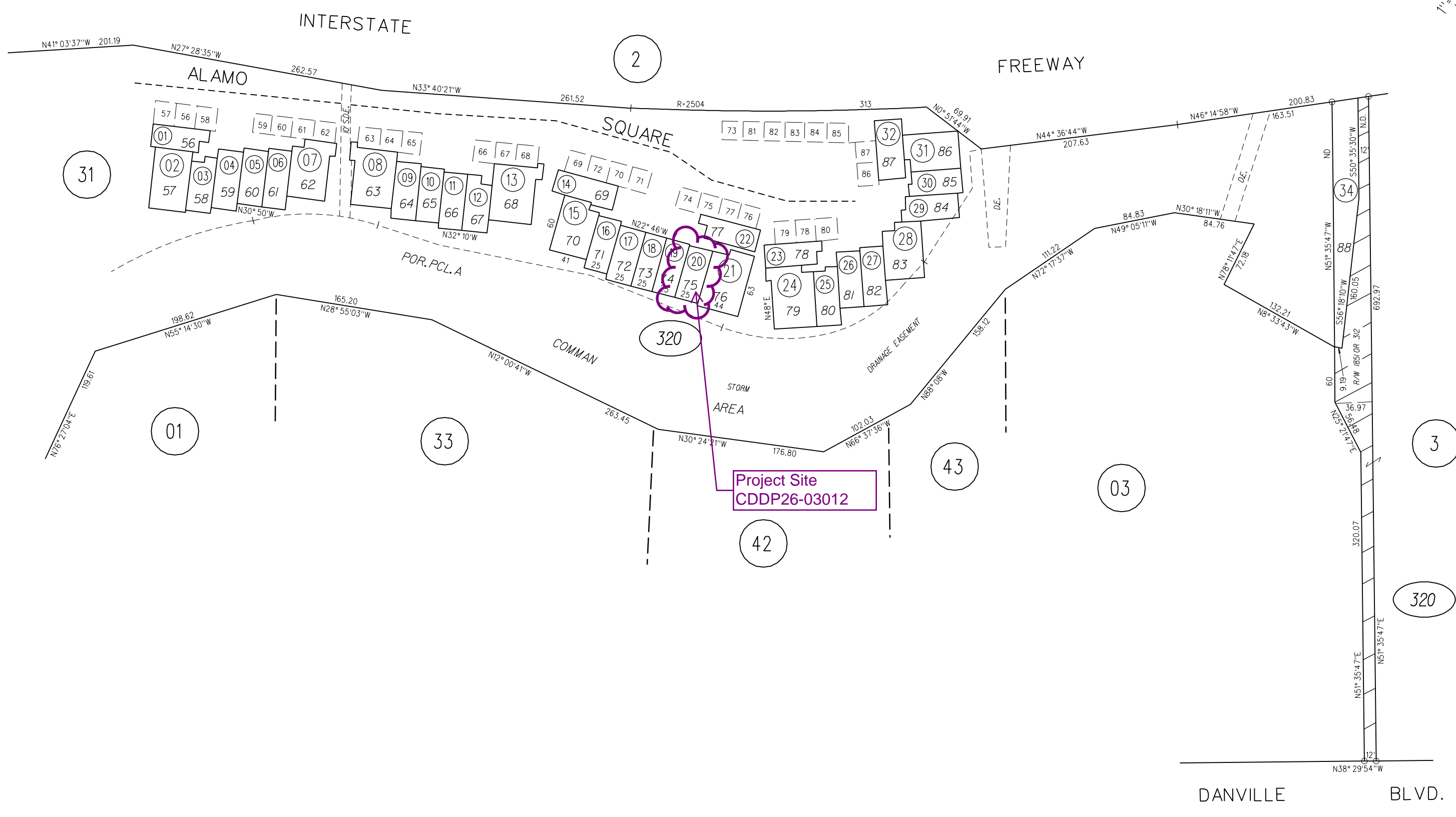
AP Fault Zone: NO

MAC/TAC: ALAMO MAC

Fire District: SAN RAMON VLY FIRE

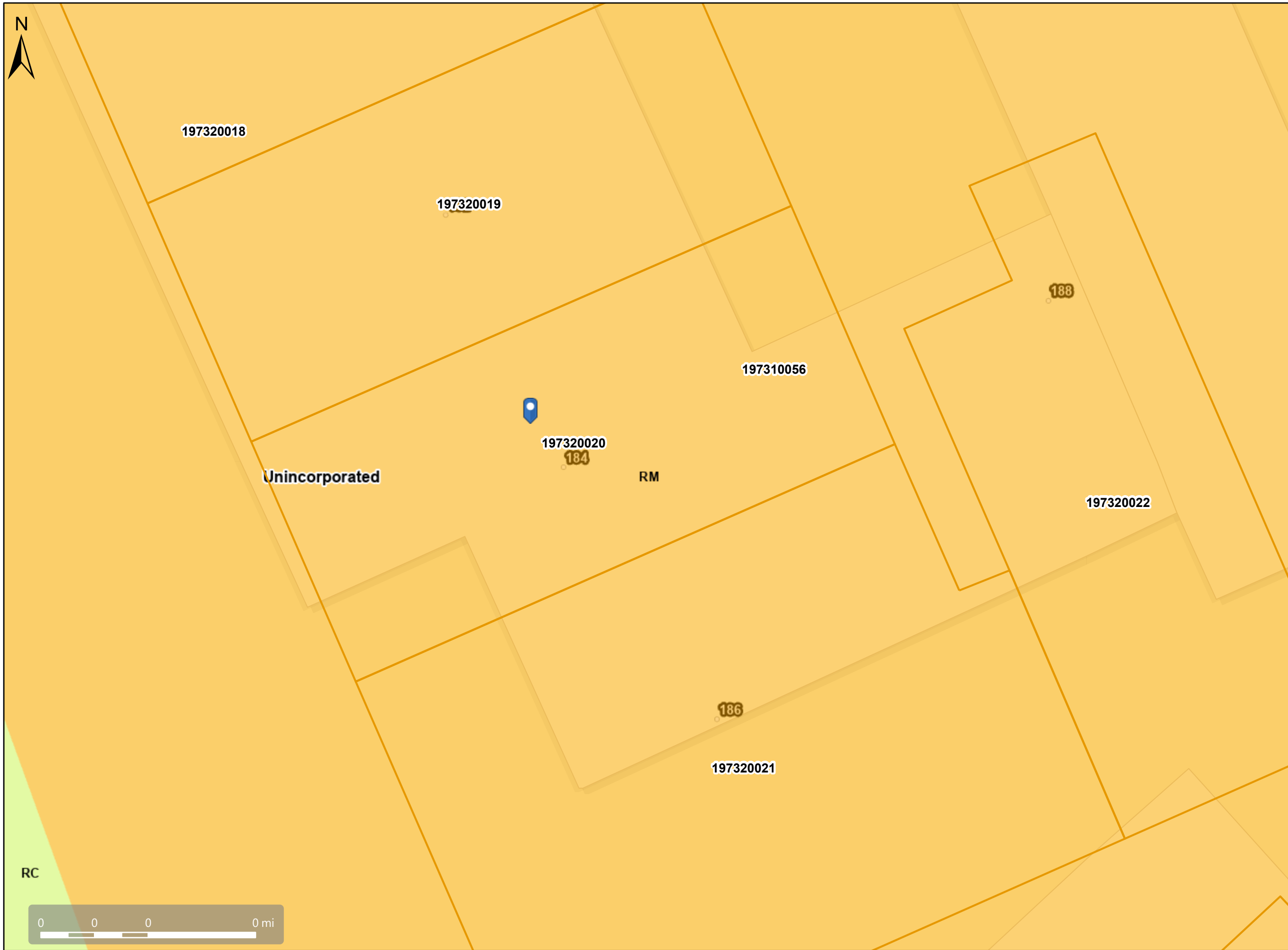
Housing Inventory Site: NO

1" = 100'



Project Site
CDDP26-03012

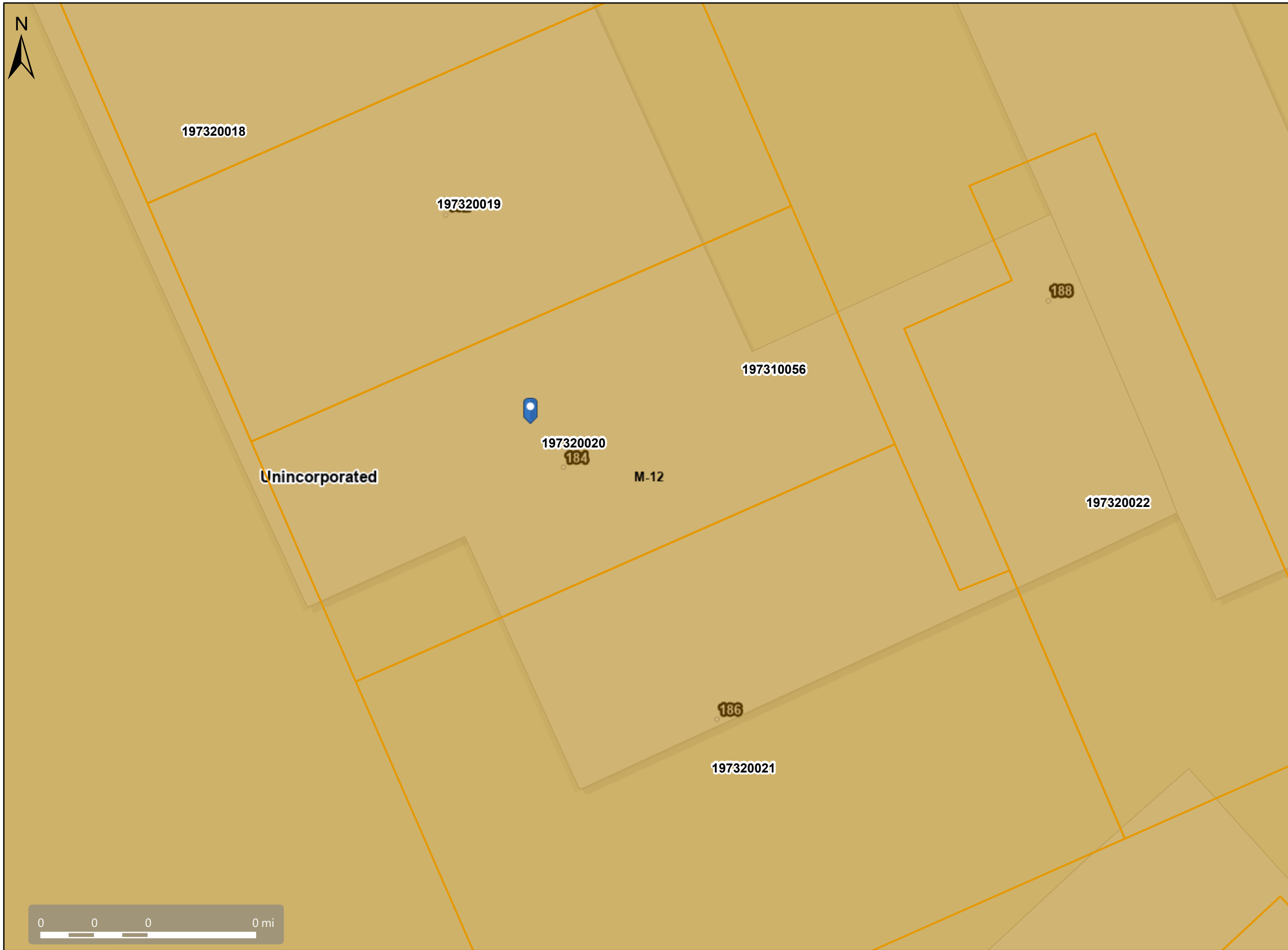
General Plan: RM, Residential Medium Density



Map Legend

- Assessment Parcels
- General Plan
 - RM (Residential Medium Density) (7-17 du/na)
 - RC (Resource Conservation)
 - Unincorporated
- Address Points

Zoning: M-12



Map Legend

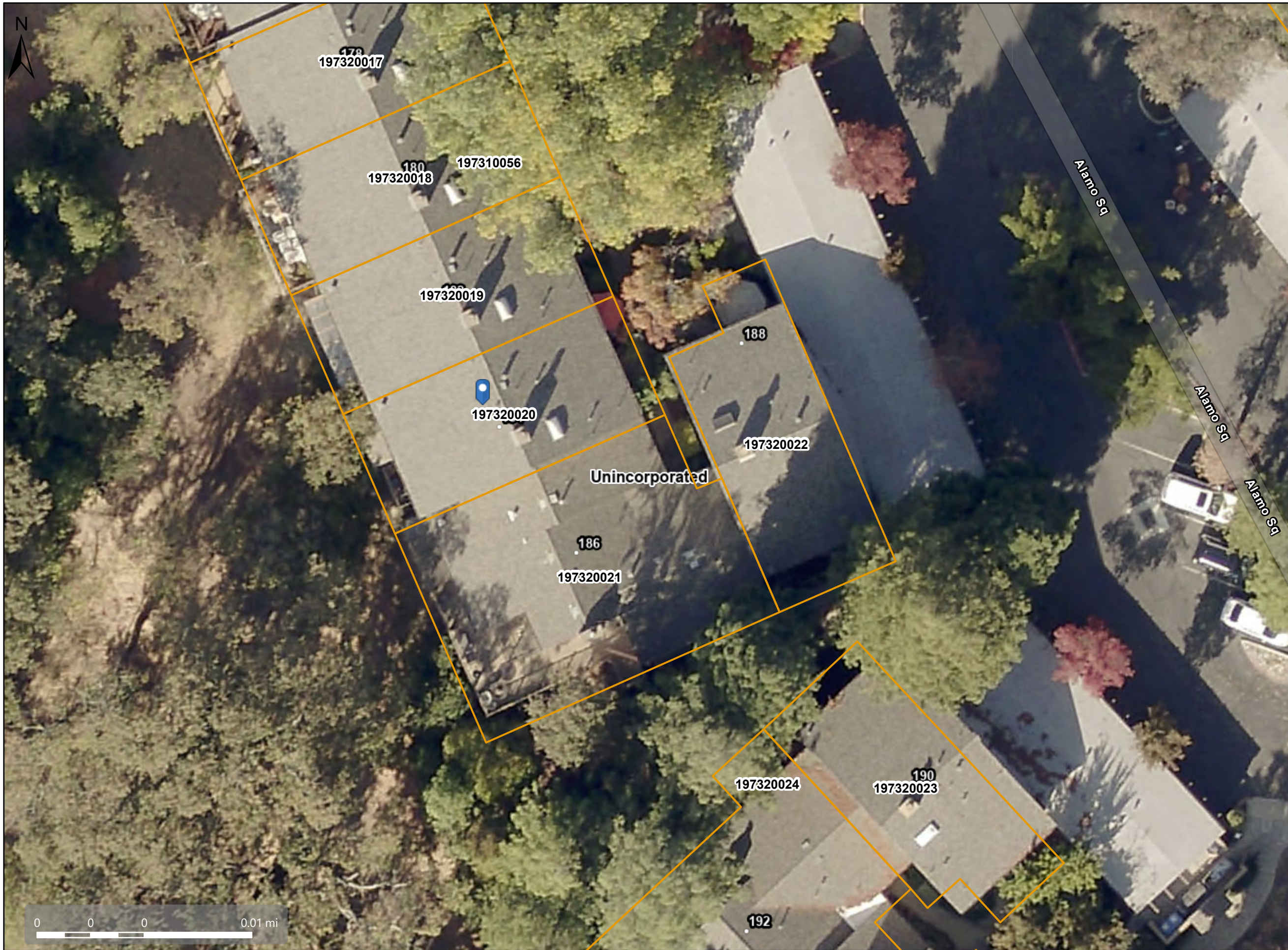
- Assessment Parcels
- Zoning
- ZONE_OVER
 - M-12 (Multiple Family Residential)
 - Unincorporated
- Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Aerial View



Map Legend

Assessment
Parcels

Unincorporated

Address Points

Aerials 2019

RGB

Red: Band_1

Green: Band_2

Blue: Band_3

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

LIST OF SUMMARY

PROJECT ADDRESS	
184 ALAMO SQ, ALAMO, CA 94507	
SCOPE OF WORK	
1. REMOVE EXISTING DECK (150 SF), AND REBUILT ENLARGED NEW ONE BY EXTENDING OUT 4' (225 SF)	
PROJECT INFORMATION	
APN NUMBER:	197-320-020
CONSTRUCTION TYPE:	V-B
STORY:	2
ZONING:	M-12
OCCUPANCY:	R-3/U
LIVING SPACE AREA:	1757 SF
LOT AREA:	1425 SF

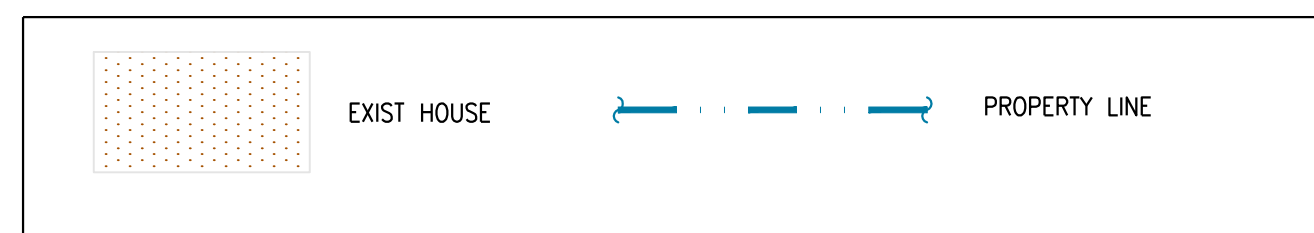
CODE COMPLIANCE:

CALIFORNIA FIRE CODE 2025 EDITION
 CALIFORNIA BUILDING CODE 2025 EDITION
 CALIFORNIA RESIDENTIAL CODE 2025 EDITION
 CALIFORNIA MECHANICAL CODE 2025 EDITION
 CALIFORNIA PLUMBING CODE 2025 EDITION
 CALIFORNIA ELECTRIC CODE 2025 EDITION
 CALIFORNIA GREEN BUILDING CODE 2025 EDITION
 2025 ENERGY EFFICIENCY STANDARDS (TITLE 24)

LIST OF DRAWING SHEETS:

A1.0	SITE PLAN, PROJECT SUMMARY, LIST OF DRAWING SHEETS, PARCEL MAP & SITE PHOTOS
A2.1	EXISTING 1st & 2nd FLOOR/DEMOLITION PLANS
A2.2	PROPOSED 1st & 2nd FLOOR PLANS
A3.1	EXISTING & PROPOSED ELEVATIONS
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES
<hr/>	
S1.0	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS & TYPICAL DETAILS
S2.1	FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN
S2.2	2ND FLOOR FRAMING PLAN & DETAILS
S3.1	DETAILS I
S3.2	DETAILS II
S3.3	DETAILS III

LEGEND



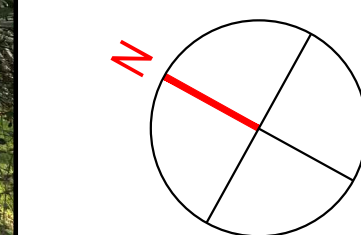
CONSTRUCTION NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER or ARCHITECT OF ANY CONDITIONS TO BE FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, or OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT, IN THE CASE OF CONFLICT BETWEEN EXISTING BUILDING AND ARCHITECTURAL PLANS AND ELEVATIONS, NOTIFY APPLICABLE PARTIES IMMEDIATELY.

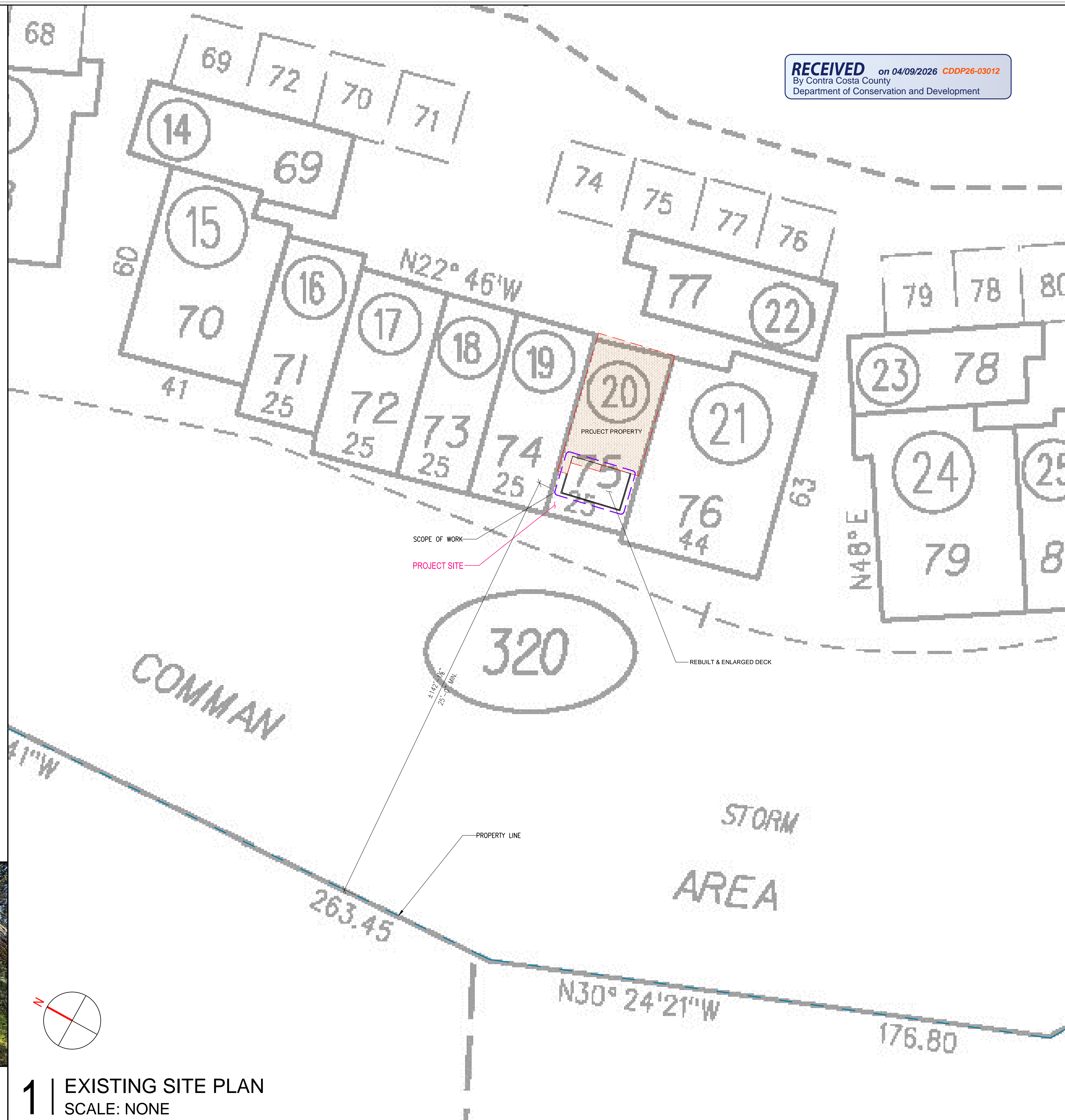


3 | SITE PHOTO II
SCALE: NONE

2 | SITE PHOTO I
SCALE: NONE



1 | EXISTING SITE PLAN
SCALE: NONE



RECEIVED on 04/09/2026 CDDP26-03012
 By Contra Costa County
 Department of Conservation and Development

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL ENGINEERING SERVICE
 ADD: PO BOX 390695 MOUNTAIN VIEW CALIFORNIA 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING
 184 ALAMO SQ, ALAMO, CA 94507

DATE:	ISSUE:
04/03/2026	PERMIT SET

REVISIONS:

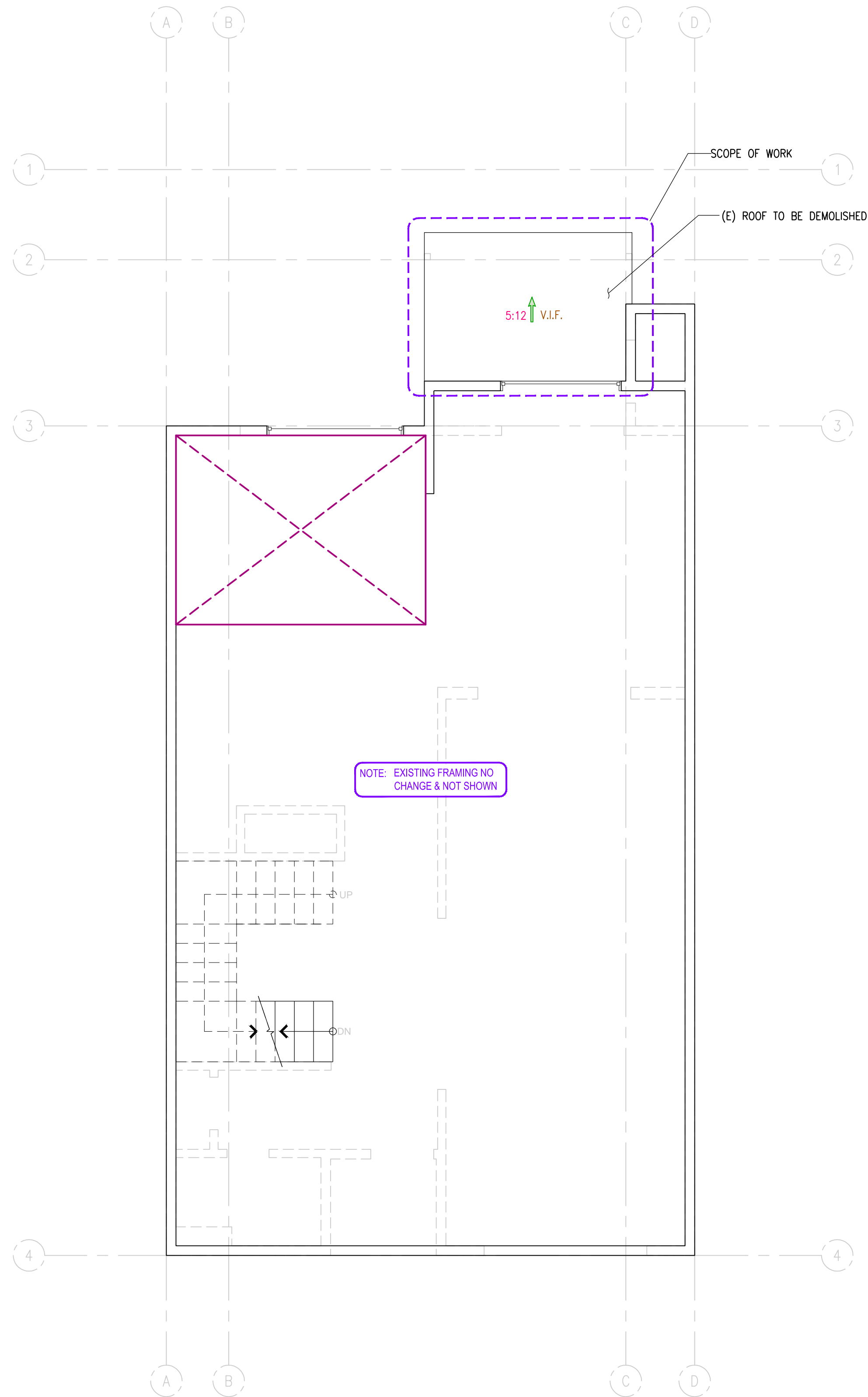
SHEET TITLE:
 SITE PLAN, PROJECT SUMMARY, LIST OF DRAWING SHEETS, PARCEL MAP & SITE PHOTOS

JOB NO.:	2603
SCALE:	AS NOTED
SHEET:	A1.0

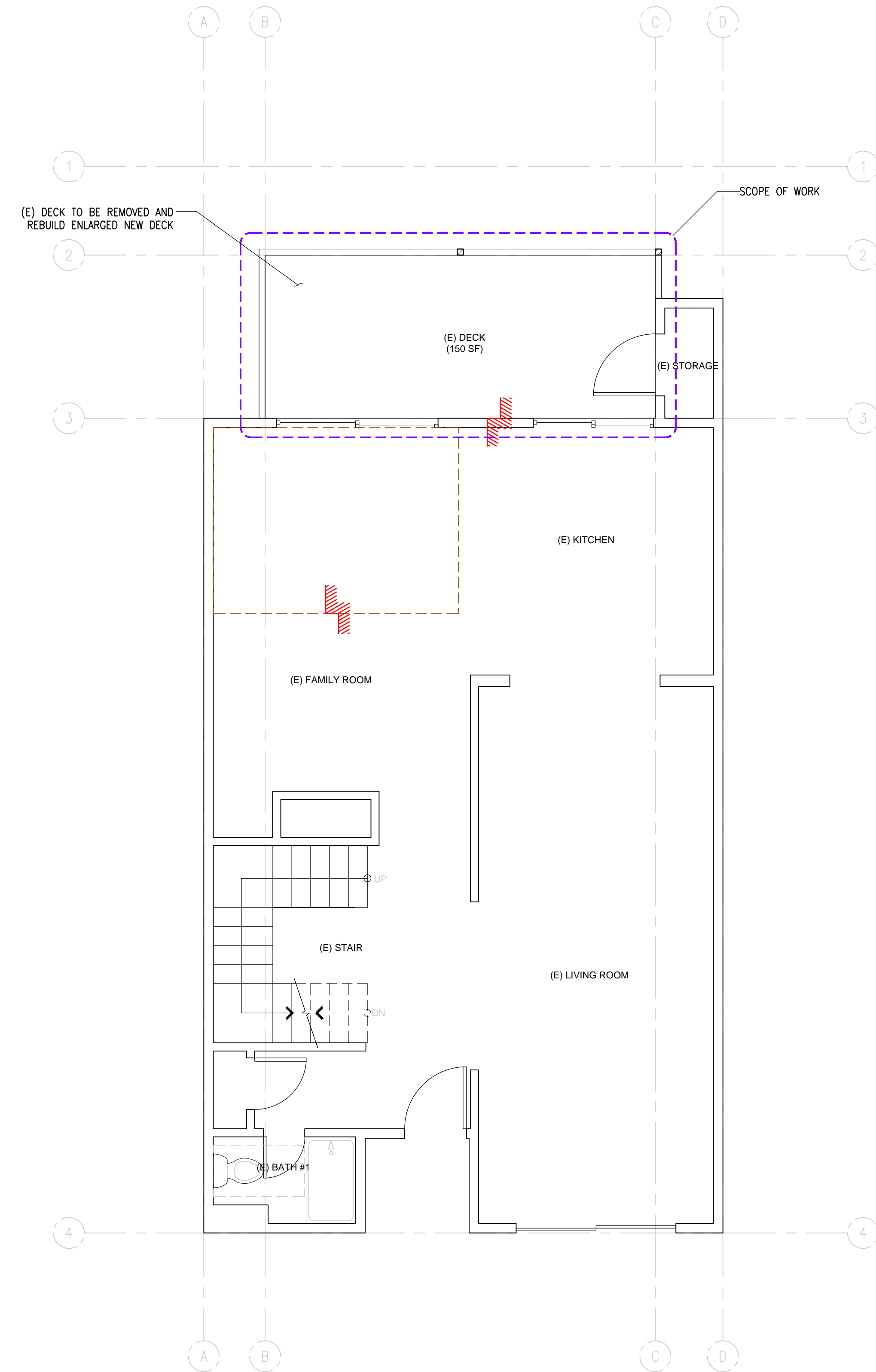
NOTE: THIS SHEET SHOULD BE 24"x36"

LEGEND

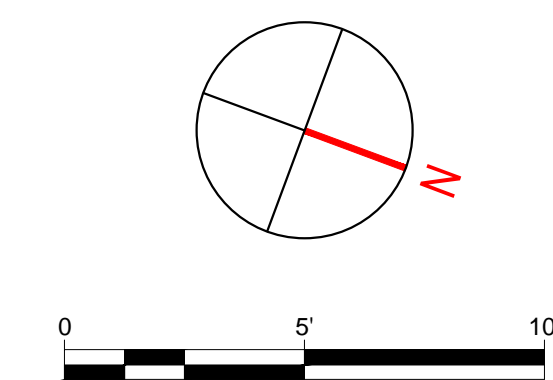
EXISTING WALL
 WALL BELOW, WHERE OCCURS
 INDICATE CHANGE IN ELEVATION, WHERE OCCURS
 V.I.F.
 SPECIAL NOTES:
 SEE SHEET A1.R FOR MORE LEGEND INFO. NOT SHOWN



2 | EXISTING 2ND FLOOR/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 | EXISTING 1ST FLOOR/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL
 ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW
 CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING

184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026
 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
 EXISTING 1ST & 2ND
 FLOOR/DEMOLITION
 PLANS

JOB NO.: 2603
 SCALE: AS NOTED
 SHEET:

A2.1

NOTE: THIS SHEET SHOULD BE 24"x36"

LEGEND

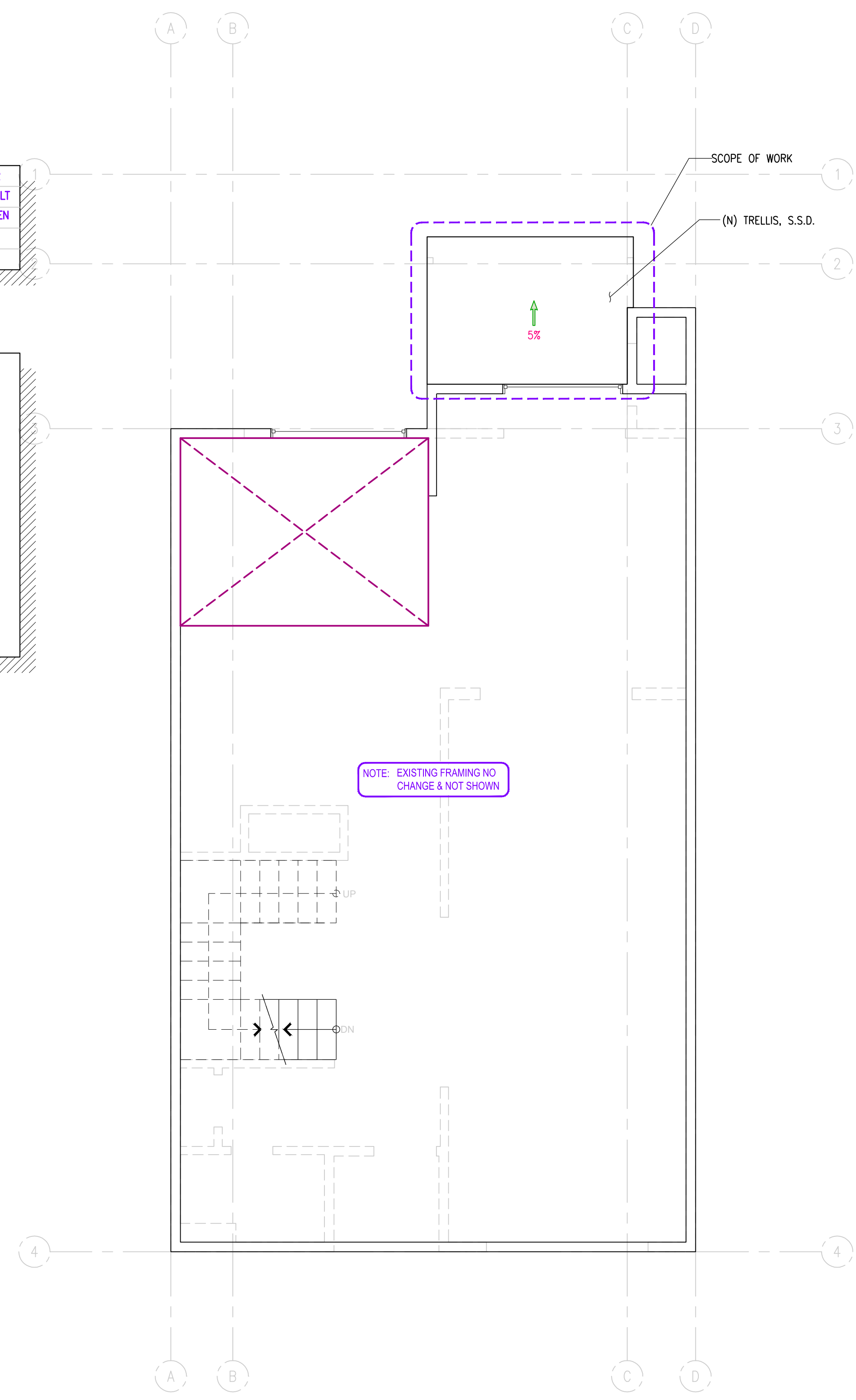
EXISTING WALL
 WALL BELOW, WHERE OCCURS
 INDICATE CHANGE IN ELEVATION, WHERE OCCURS
 SPECIAL NOTES:
 SEE SHEET A1.R FOR MORE LEGEND INFO. NOT SHOWN

GENERAL DRAWINGS NOTES:

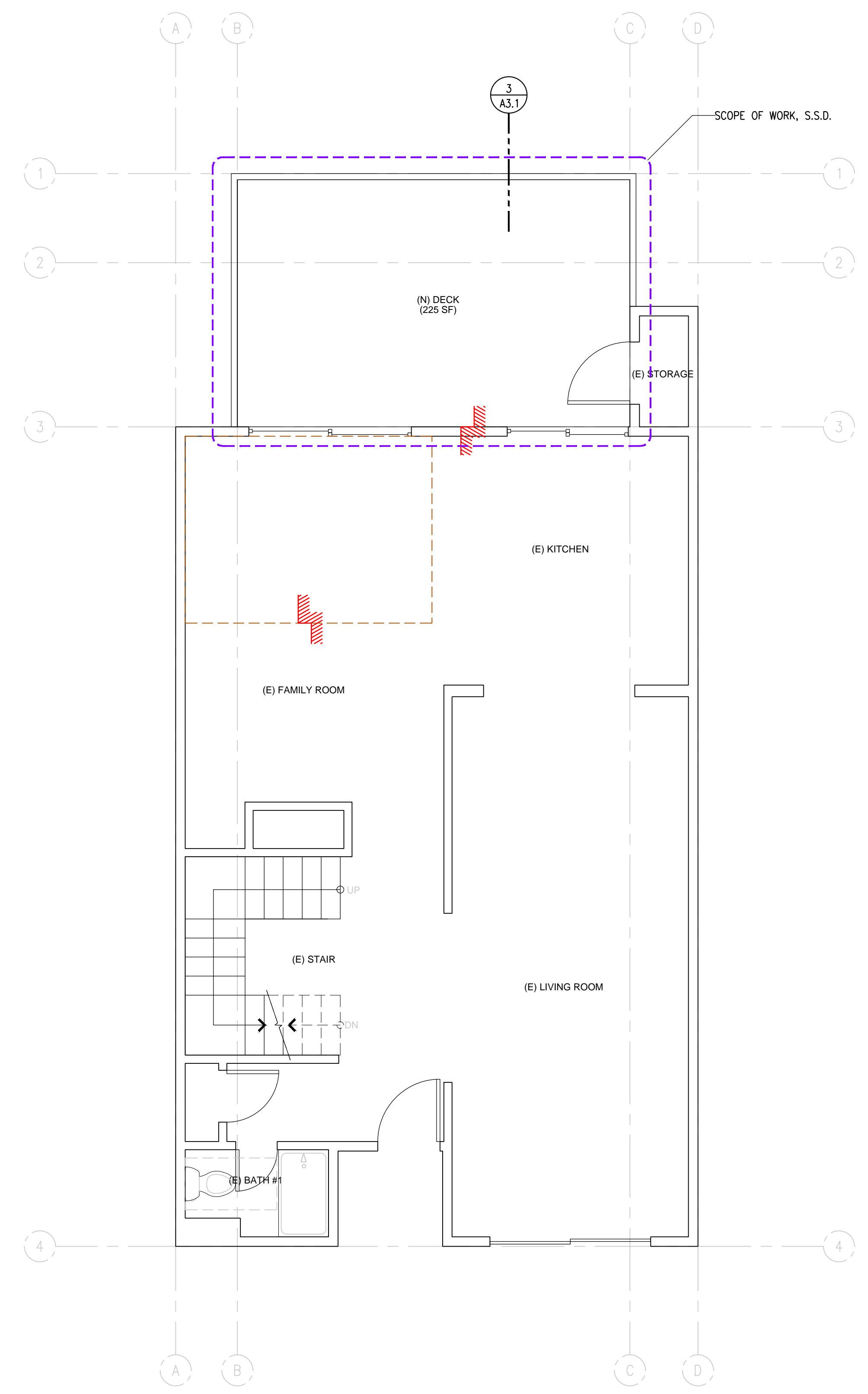
- THE DIMENSIONS IN THIS SHEET IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THE REAL FIELD DIMENSIONS FOR THE EXISTING AND AS-BUILT STRUCTURES, INCLUDING CEILING HEIGHT, BEFORE ORDERING THE KITCHEN & BATH CABINETS, ETC. DO NOT SCALE DRAWINGS.

NOTES OF RAIL:

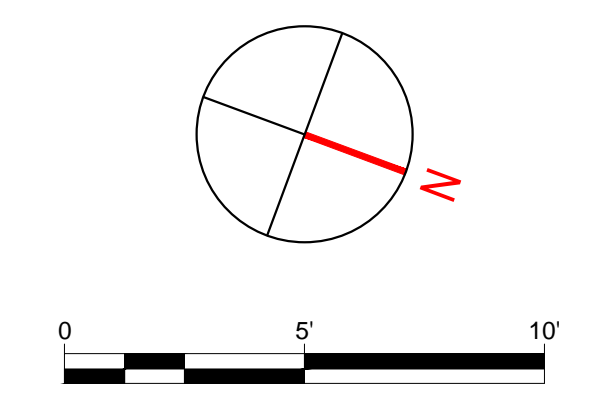
- GUARDRAIL REQ'D AT WALKING SURFACE 30" OR MORE ABOVE GRADE.
- GUARDRAIL SHALL NOT BE LESS THAN 42" IN HEIGHT.
- OPENINGS IN GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.
- THE BOTTOM CONNECTION OF THE GUARDRAIL TO SHOW THE CONNECTION IS CAPABLE OF RESISTING 200 LBS LOAD APPLIED ON TOP OF THE RAIL IN ANY DIRECTION.
- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34" OR MORE THAN 38".
- HANDGRIPS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4", AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".



2 | PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 | PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL
 ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW
 CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING
 184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026
 ISSUE: PERMIT SET

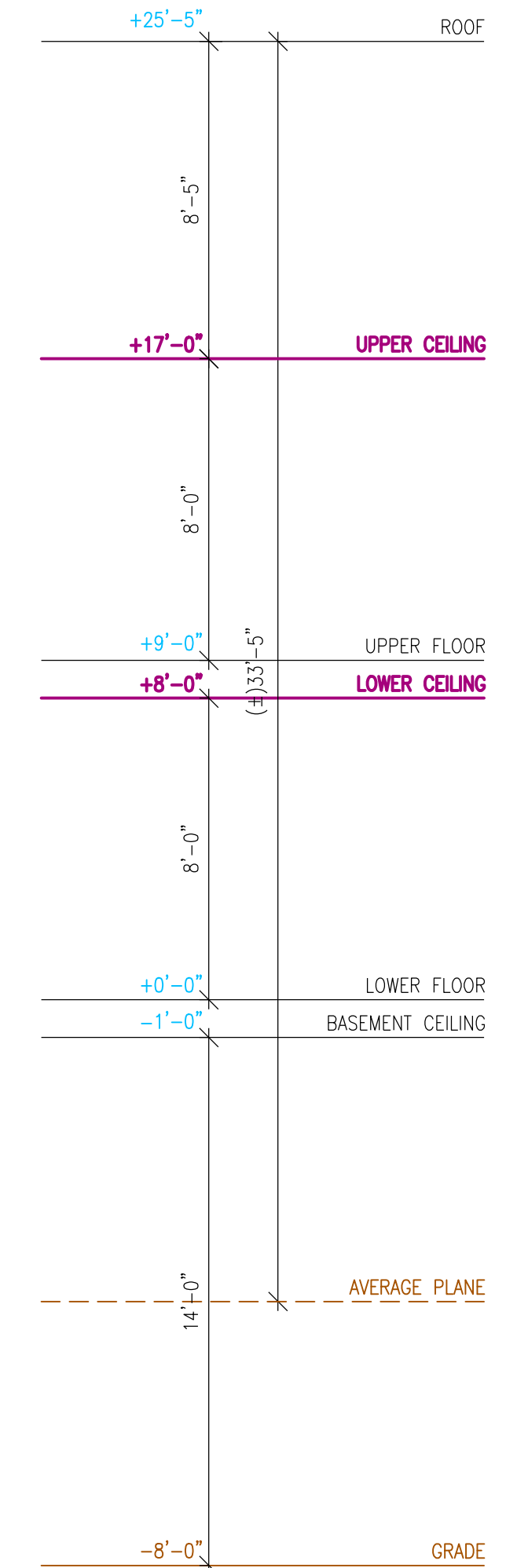
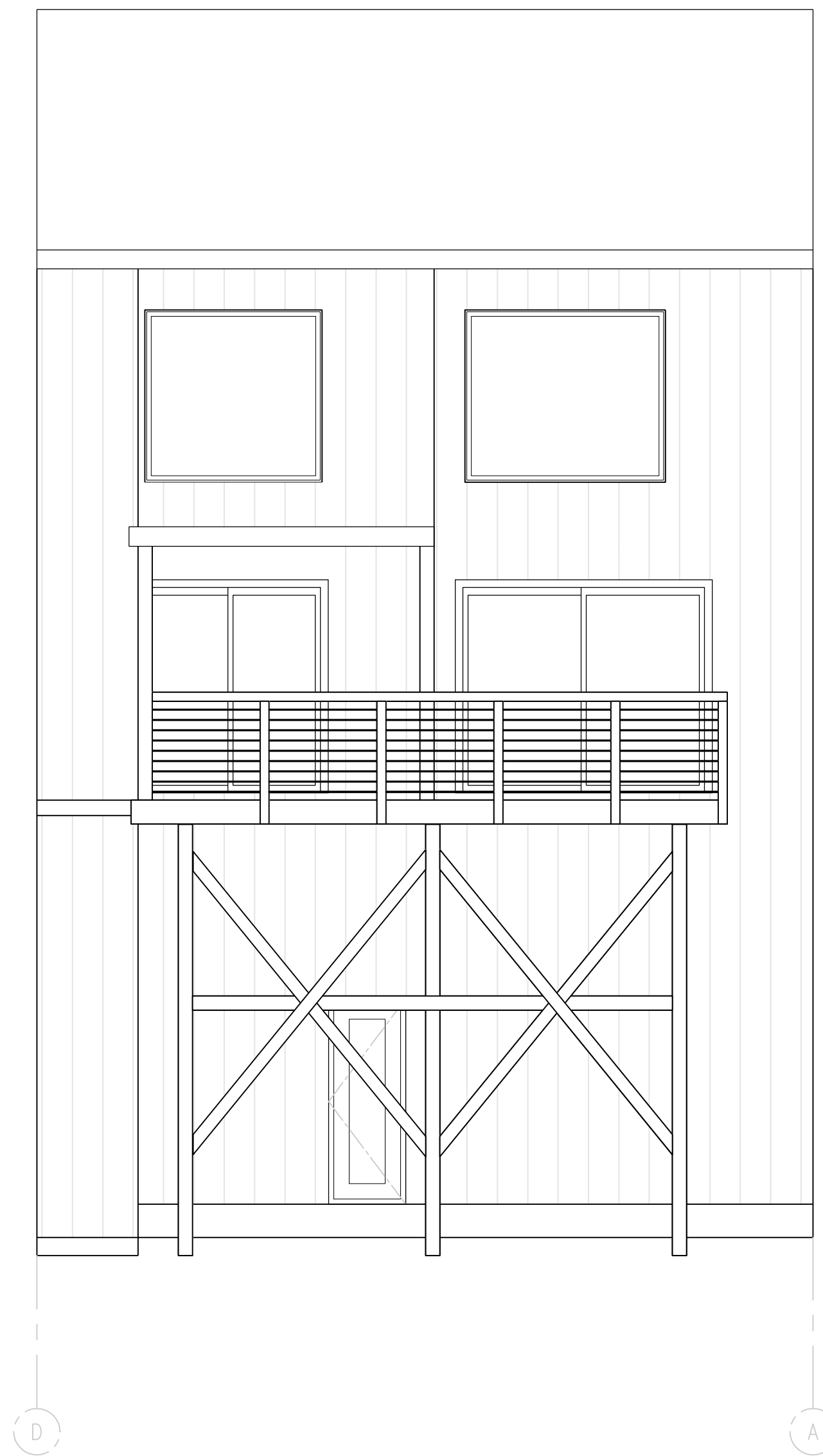
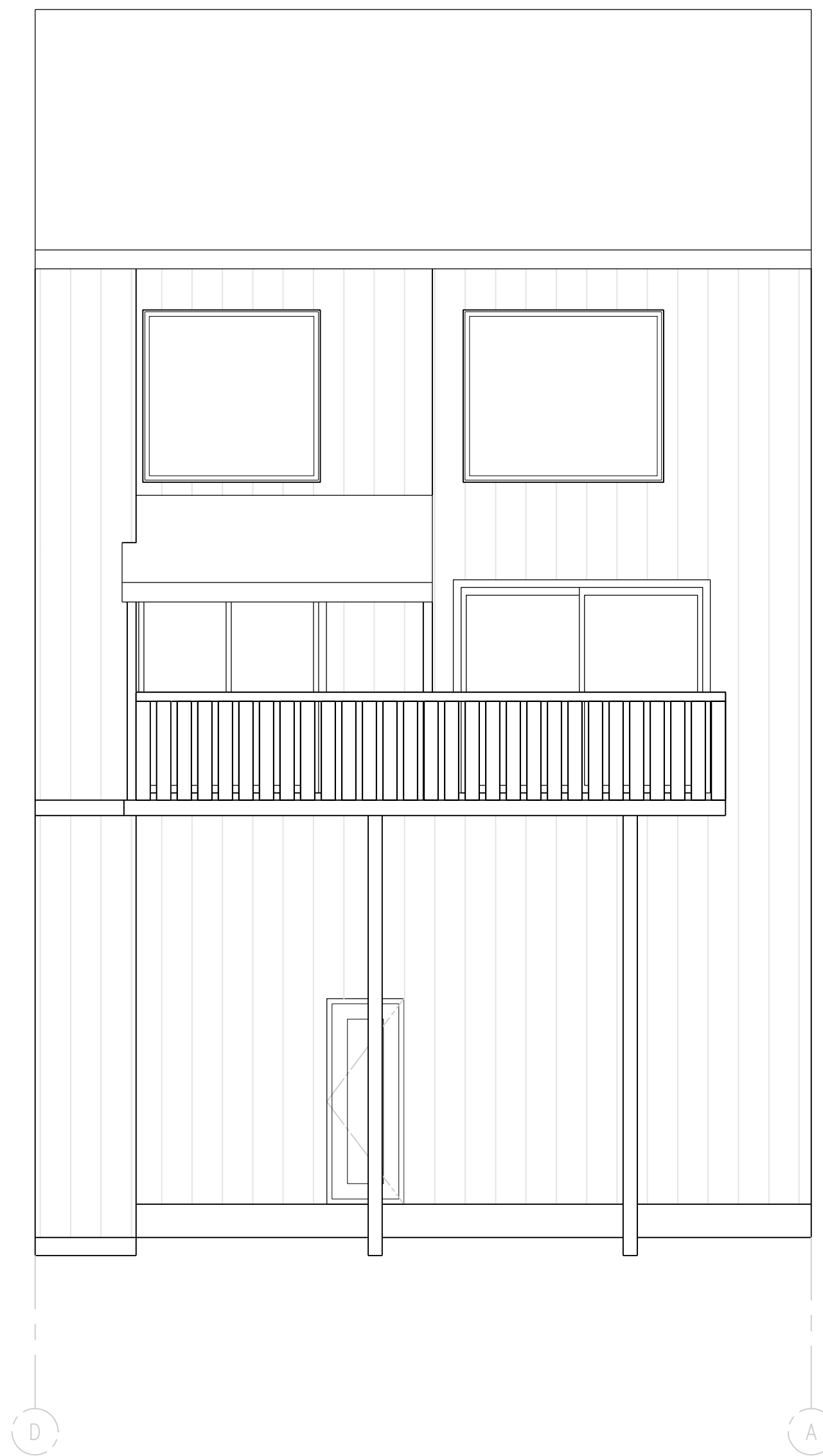
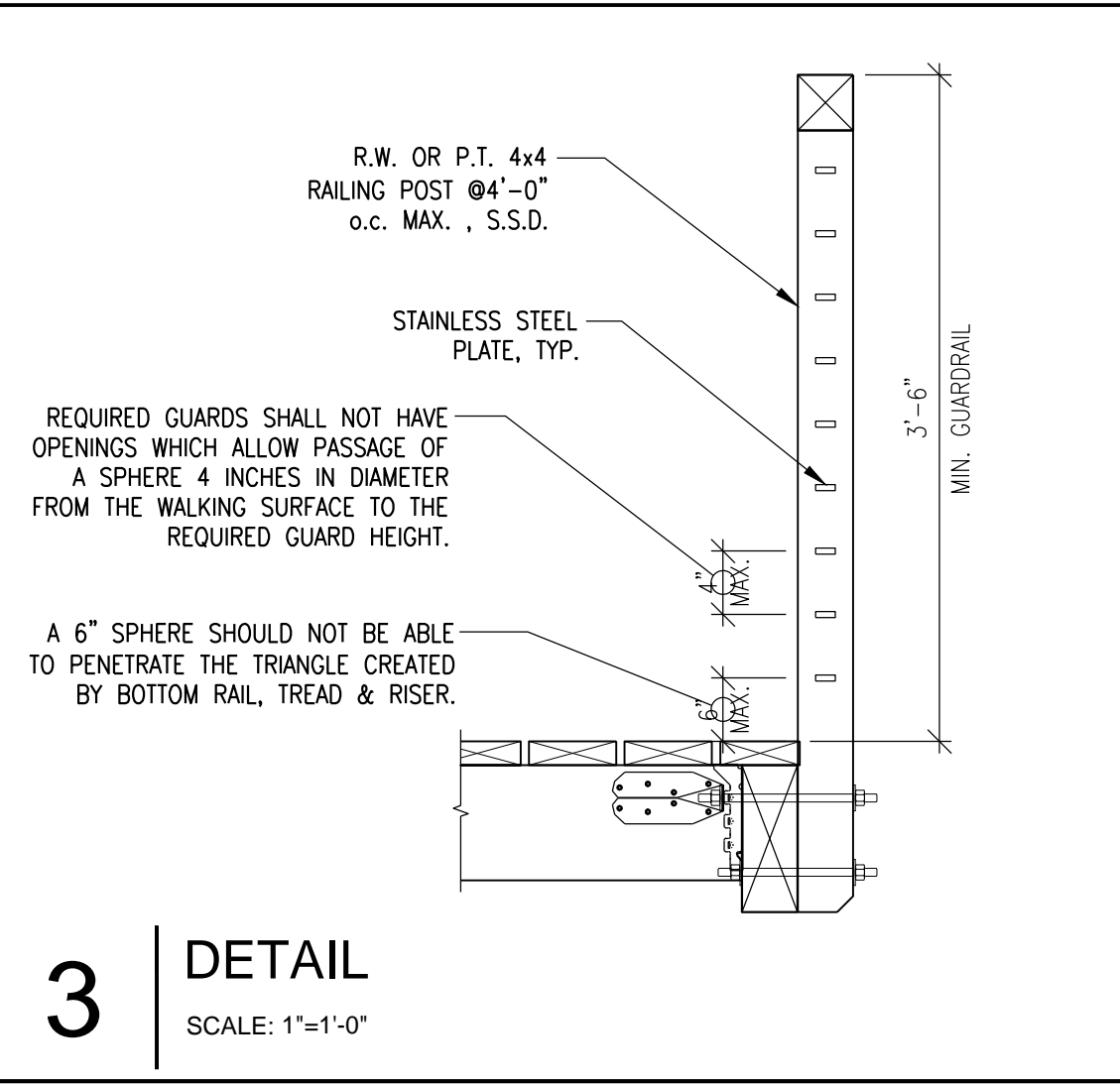
REVISIONS:

SHEET TITLE:
PROPOSED 1ST & 2ND FLOOR PLANS

JOB No.: 2603
 SCALE: AS NOTED
 SHEET:

A2.2

NOTE: THIS SHEET SHOULD BE 24"x36"



STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW
CALIFORNIA
94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
EXISTING & PROPOSED ELEVATIONS

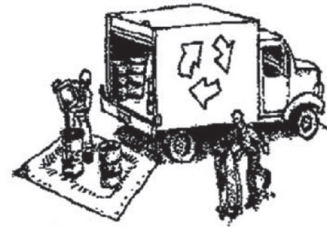
JOB No.: 2603
SCALE: AS NOTED
SHEET:

A3.1

NOTE: THIS SHEET SHOULD BE 24"x36"

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



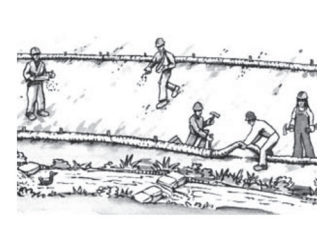
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

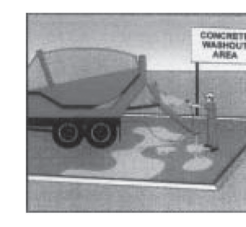


PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



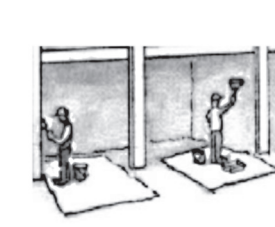
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



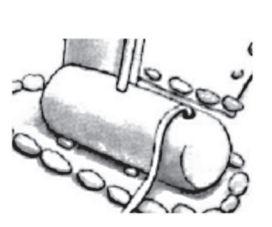
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

GENERAL NOTES

GENERAL

THESE NOTES APPLY TO THE "S" SERIES OF STRUCTURAL DRAWINGS.
ALL WORK SHALL COMPLY WITH THE DRAWINGS AND AS WELL AS, THE MINIMUM REQUIREMENTS OF THE 2025 CALIFORNIA BUILDING CODE (CBC).

WHERE DIMENSIONS ARE NOT INFERRABLE FROM THE FRAMING PLAN DRAWINGS, CONTRACTOR MAY SCALE THE DRAWINGS ONLY TO ESTIMATE THE LENGTH OF MEMBERS. DRAWINGS SHALL NOT BE SCALED FOR THE PURPOSE OF PREPARING SHOP DRAWINGS OR CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE. THE CONTRACTOR SHALL COMPARE STRUCTURAL DRAWINGS WITH EXISTING CONDITIONS BEFORE COMMENCING WITH THE WORK, AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES REQUIRING CLARIFICATION OR REVISION. DO NOT SCALE STRUCTURAL DRAWINGS. CONTACT OWNER'S REPRESENTATIVE FOR CLARIFICATION.

FOR PROPER FIELD OBSERVATION BY THE STRUCTURAL ENGINEER, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE VARIOUS CONSTRUCTION PHASES.

OBSERVATION VISITS TO THE JOB SITE BY THE ENGINEER'S FIELD REPRESENTATIVE SHALL BE CONSTRUED AS NEITHER INSPECTION NOR APPROVAL OF CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND SHORING PARTIALLY COMPLETED PORTIONS OF WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER OR ARCHITECT OF ANY CONDITIONS TO BE FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, OR OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT; IN THE CASE OF CONFLICT BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS, DETAILS, EXISTING CONDITION AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE CONDITION SHALL APPLY AND NOTIFY APPLICABLE PARTIES IMMEDIATELY.

PLYWOOD

WALL AND ROOF SHEATHING SHALL BE PS1, APA STRUCTURAL 1, EXTERIOR TYPE DOUGLAS FIR, GRADE C-C. ALL EXTERIOR WALLS SHALL BE PLYWOOD SHEATHED. FLOOR SHEATHING SHALL BE PS1, APA STURD-I-FLOOR, EXTERIOR TYPE, DOUGLAS FIR GRADE C-C PLUGGED, T&G TYPE.

PLYWOOD SHEETS SHALL ABUT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING NOT LESS THAN 3/8" FROM EDGE OF SHEETS AT THE FOLLOWING SPACINGS:

PLYWOOD NAILING SCHEDULE:

PLYWOOD LOCATION	PLYWOOD THICKNESS	NAIL SIZE	NAIL TYPE	NAIL SPACING
ROOF	1/2"	8d	COMM.	6"
FLOOR	3/4"	10d	COMM.	4" (U.O.N.)
NON-SHEAR WALL	1/2"	8d	COMM.	6"

FIELD NAIL INTERIOR OF WOOD SHEATHED SHEARWALL WITH 8d (10d) AT 12" O.C.
BLOCK ALL EDGES OF WOOD SHEATHED SHEARWALL.

PROVIDE 3x (OR 4x) MEMBERS (OR DOUBLE 2x TOP PLATE) AT ALL PLYWOOD EDGES FOR SHEARWALL WHERE NAILING IS EQUAL OR LESS THAN 4" O.C.

CARPENTRY

ALL WOOD CONSTRUCTION SHALL BE PER CBC, CHAPTER 23.

ALL FRAMING SHALL BE DOUGLAS FIR, No. 2 GRADE OR BETTER, EXCEPT BEAMS, POSTS AND TRUSS SHALL BE No. 1 OR BETTER GRADE.

ALL STRUCTURAL LUMBER SHALL BE HAVE THE FOLLOWING MAXIMUM MOISTURE CONTENT: MC <19%.

ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED.

ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE GALVANIZED WITH G185 GALVANIZATION.

MANUFACTURED TIMBER FASTENERS ARE INDICATED ON THE DRAWINGS USING THE SIMPSON COMPANY CATALOG DESIGNATIONS. THESE SYMBOLS ARE USED ONLY FOR IDENTIFICATION. NAILING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, WITH A NAIL PROVIDED FOR EACH PUNCHED HOLE.

NAILS SHALL BE GALVANIZED COMMON WIRE NAILS. USE STAINLESS STEEL COMMON NAILS WHERE EXPOSED TO WEATHER. MINIMUM NAILING SHALL BE IN ACCORDANCE WITH THE 2025 CALIFORNIA BUILDING CODE, TABLE 2304.10.2

PROVIDE THE FOLLOWING BLOCKING AND BRIDGING AS A MINIMUM, UNLESS OTHERWISE SHOWN:

- 2" x FULL DEPTH SOLID BLOCKING BETWEEN JOISTS OVER SUPPORTS.
- 2" x FULL DEPTH SOLID BLOCKING BETWEEN JOISTS OVER AND BELOW PARTITION WALLS.
- 2 x 3 CROSS BRIDGING AT MID-SPAN OF ALL JOISTS WHERE SPAN EXCEEDS 8'-0".
- 2 x 4 MIN. FLAT BLOCKING FOR PLYWOOD EDGE JOINTS. CONTINUOUS 2x STUD WIDTH HORIZONTAL BLOCKING AT STUD WALLS; PROVIDE AT MID-HEIGHT AND AT SPACING NOT TO EXCEED 8'-0", WHICHEVER IS LESS.

CONCRETE

ALL CONCRETE CONSTRUCTION SHALL BE PER CBC CHAPTER 19 AND IN ACCORDANCE WITH ACI 318-19 STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE.

REINFORCEMENT SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.

NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE. CONSTITUENT OR ADMIXTURE.

ANCHOR BOLTS, STRAP ANCHORS, DOWELS, REINFORCING BARS, AND OTHER INSERTS SHALL BE SET AND SECURELY FASTENED PRIOR TO POURING CONCRETE.

USE THE FOLLOWING MATERIAL PROPERTIES U.O.N.

NORMAL WEIGHT CONCRETE FOOTINGS: 2,500 PSI

ALL REINFORCING STEEL SHALL BE NEW BILLET, HOT ROLLED, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 (MINIMUM YIELD STRENGTH OF 60 KSI).

ENGINEERED TIMBER (ICC-ES ESR-1387)

PARALLAM PSL BEAMS:

USE TRUSS JOIST MACMILLAN 2.0E PARALLAM PSL OR EQUAL WITH THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:

FLEXURAL STRESS $F_b = 2900$ psi MODULUS OF ELASTICITY $E = 2.0 \times 10^6$ psi SHEAR STRESS $F_v = 290$ psi

MICROLAM LVL BEAMS:

USE TRUSS JOIST MACMILLAN 1.9E PARALLAM OR EQUAL WITH THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:

FLEXURAL STRESS $F_b = 2600$ psi MODULUS OF ELASTICITY $E = 1.9 \times 10^6$ psi SHEAR STRESS $F_v = 285$ psi

STRUCTURAL OBSERVATIONS

THE FOLLOWING WORK IS REQUIRED STRUCTURALLY OBSERVED.

- FOUNDATION REINFORCING
- REINFORCED CONCRETE
- SHEARWALL NAILING
- ANCHOR BOLT AND HOLDOWN INSTALLATION

SPECIAL INSPECTION PROGRAM

- INSTALLATION OF ANCHOR BOLTS
- NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS OF SHEARWALLS WITH EDGE NAIL SPACING LESS THAN OR EQUAL TO 4" O.C. (CBC 1707.3).

THE SPECIAL INSPECTION PROGRAM SHALL BE UNDERTAKEN BY OWNER'S TESTING AND INSPECTION AGENCY SUBJECT OR APPROVAL BY THE BUILDING OFFICIAL HAVING GOVERNING JURISDICTION.

EPOXY

USE SIMPSON "SET-3G" HIGH STRENGTH EPOXY (ICC-ES ESR-4057)

ABBREVIATIONS

&	AND	GR	GRADE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
⊕	ANCHOR BOLT	HORIZ.	HORIZONTAL	SCHED.	SCHEDULE
B.M.	BEAM	HT	HEIGHT	SIM.	SIMILAR
BLK	BLOCK	IN.	INCH		
BOT.	BOTTOM	INFO	INFORMATION	SPEC	SPECIFICATION
B.O.	BOTTOM OF	K	KIPS	SQ.	SQUARE
CL	CENTER LINE	KF	1000 POUNDS	SF	SQUARE FEET
COL.	COLUMN	STAGG'D	STAGGERED	STD	STANDARD
CONT.	CONTINUOUS	STD	STANDARD	STL	STEEL
CLR	CLEAR	STIFF	STIFFENER	STRUCT	STRUCTURE
CONC	CONCRETE	M.B.	MACHINE BOLTS	S.W.	SHEAR WALL
CONN	CONNECTION	MAX.	MAXIMUM	P.S.W.	PERFORATED SHEAR WALL
DET.	DETAIL	MIN.	MINIMUM	T&B	TOP AND BOTTOM
D.S.	DRAG STRUT	MECH	MECHANICAL	T&G	TONGUE AND GROOVE
DWG.	DRAWING	N.T.S.	NOT TO SCALE	T.O.C.	TOP OF CONCRETE
DIAG	DIAGONAL	NO.	NUMBER	TOP	TOP OF
DIA	DIAMETER	O.C.	ON CENTER	THK	THICK OR THICKNESS
EMB.	EMBEDMENT	O.H.	OPPOSITE HAND	T & B	TOP AND BOTTOM
EA.	EACH	PEN.	PENETRATION	T.O.	TOP OF
EXT.	EXTERIOR	PL	PLATE	U.O.N.	UNLESS OTHERWISE NOTED
E.N.	EDGE NAILING	PLYWD	PLYWOOD	U.N.O.	UNLESS NOTED OTHERWISE
E.F.	EACH FACE	P.S.W.	PERFORATED SHEAR WALL		
E.O.	EQUAL	P.T.	PRESSURE OR PRESERVATIVE TREATED		
(E)	EXISTING	VERT	VERTICAL		
EXT	EXTERIOR	V.I.F.	VERIFY IN FILED		
E.O.R.	ENGINEER OF RECORD	REINF.	REINFORCEMENT	w/	WITH

NAILING SCHEDULE: EXCERPT FROM TABLE 2304.10.2 FASTENING SCHEDULE

CONNECTION	FASTENING	Q.D
1. JOIST TO SILL OR GIRDER: TOENAIL	3-8d	
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d	
6. SOLE PLATE TO JOIST OR BLOCKING: TYPICAL FACE NAIL BRACED WALL PANEL	16d @16"o.c. C	
	3-16d @16"o.c. C	
7. TOP PLATE TO STUD, END NAIL	2-16d	
8. STUD TO SOLE PLATE: TOENAIL	4-8d	
	2-16d	
	2-20d	
9. DOUBLE STUDS: FACE NAIL	16d @24"o.c. C	
10. DOUBLE TOP PLATES: TYPICAL FACE NAIL LAP SPlice	16d @16"o.c. C	
	8-16d	
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d	
12. RIM JOIST TO TOP PLATE: TOENAIL	8d @6"o.c. C	
13. TOP PLATES LAPS AND INTERSECTIONS: FACE NAIL	2-16d	
14. CONTINUOUS HEADER, TWO PIECES, 16"o.c. ALONG EDGE:	16d	
15. CEILING JOISTS TO PLATE: TOENAIL	3-8d	
16. CONTINUOUS HEADER TO STUD: TOENAIL	4-8d	
17. CEILING JOISTS, LAPS OVER PARTITIONS: FACE NAIL (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d, MIN. TABLE 2308.10.4.1	
18. CEILING JOISTS TO PARALLEL RAFTERS: FACE NAIL (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d, MIN. TABLE 2308.10.4.1	
19. RAFTER TO PLATE: TOENAIL (SEE SECTION 2308.10.1, TABLE 2308.10.1)	3-8d	
23. BUILT-UP CORNER STUDS	16d @24"o.c. C	
24. BUILT-UP GIRDERS AND BEAMS: FACE NAIL AT TOP & BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE	20d @32"o.c. 2-20d	
25. 2" PLANKS, AT EACH BEARING	16d	
26. COLLAR TIE TO RAFTER: FACE NAIL	3-10d	
27. JACK RAFTER TO HIP: TOENAIL FACE NAIL	3-10d 2-16d	
28. ROOF RAFTER TO 2x RIDGE BEAM: TOENAIL & FACE NAIL	2-16d	
29. JOIST TO BAND JOIST: FACE NAIL	3-16d	
30. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING NOT AT BRACED WALL PANELS AT BRACED WALL PANELS	16d @16"o.c. 16d @8"o.c.	

- COMMON NAILS TO BE USED EXCEPT WHERE OTHERWISE STATED.
- ANY FASTENING SPECIFIED ON PLANS, DETAILS OR GENERAL NOTES SHALL GOVERN OVER THIS SCHEDULE.
- BOX NAILS ARE PERMITTED TO BE USED.

4 NAILING SCHEDULE

SCALE: NONE

DESIGN CRITERIA

1. VERTICAL LOADS:

- DEAD LOAD:
 - TRELLIS LOAD 5.5 PSF
 - EXTERIOR DECK LOAD 8 PSF
- LIVE LOAD:
 - EXTERIOR DECK LOAD 60 PSF

2. FOUNDATION DESIGN PARAMETERS:

PER MINIMUM 2025 CBC VALUES (TABLE 1806.2)
VERTICAL FOUNDATION PRESSURE 1500 PSF

GENERAL LEGEND

	WALL AT THE FLOOR or ROOF LINE
	WALL BELOW
	EXISTING WALL TO BE DEMOLISHED
	DETAIL REFERENCE SYMBOL
	LETTER or NUMBER OF SECTION, "-" DENOTE TOTAL SHEET
	SHEET ON WHICH ELEVATION OCCURS
	FRAMING MEMBER
	DIAGRAMMATIC EXTENT OF FRAMING
	INDICATE CHANGE IN ELEVATION, S.A.D. or REFERENCE DETAILS, WHERE OCCURS

POST LEGEND

	POST BELOW
	4x4 POST
	4x6 POST
	6x6 POST

POST NOTES:

- PROVIDE APPROPRIATE BLK'GS UNDER ALL THE POSTS. SEE SHEET S3.1 FOR MORE INFO. U.O.N.
- POSTS AS MINIMUM, U.O.N., WIDTH TO MATCH BEAM WIDE ABOVE AND DEPTH TO MATCH WALL THICKNESS
- USE APPROPRIATE SIMPSON "L" ANGLE EA. SIDE AT T&B. FOR POSTS, U.O.N. ("L30" FOR 4x SIDE, "L50" FOR 6x SIDE, ETC.)

FOUNDATION LEGEND

	(E) FOOTING, V.I.F., TYP.
	(E) STRIP FOOTING, V.I.F., TYP.
	INDICATE HAND-DUG CONC UNDERPIN PIER FOOTING, U.O.N., SEE DETAIL 1/S3.2 FOR MORE INFORMATION.
	INDICATE CONCRETE GRADE BEAM TYPE. ## DENOTES GRADE BEAM WIDE.

HANGERS LEGEND

	DENOTES SIMPSON HANGER, SEE DETAIL 2 ON SHEET S3.1, TYP., U.O.N.
	INVERTED HANGER

NOTES: SEE SHEET S3.1 FOR MORE INFO.

3 TYPICAL PLAN VIEWS OF CONC WALLS & GRADE BEAMS
SCALE: NONE

2 TYPICAL STIRRUP HOOKS & BENDS

SCALE: NONE

MAIN BAR SIZE	MIN. BEND DIA	TIE BAR SIZE	MIN. BEND DIA
#3 THRU #8	6 BAR DIA	#3 THRU #5	4 BAR DIA
#9 THRU #11	8 BAR DIA	OTHERS	SAME AS MAIN REINF.

1 TYPICAL BAR HOOKS
SCALE: NONE

NOTE: WHERE BOTH TYPE HOOKS ARE USED ON THE SAME TIE BAR, ALTERNATE HOOK TYPES AT ENDS OF ADJACENT TIES.

STRUCTURAL ENGINEER:

W. H. Yang

STRUCTURAL ENGINEERING SERVICE

ADD: PO BOX 390695
MOUNTAIN VIEW
CALIFORNIA
94039-0695

P: 408.329.8787
F: 408.228.5176

Email: w.h.yang@hotmail.com



DECK REBUILDING

184 ALAMO SQ., ALAMO, CA 94507

DATE: ISSUE:

03/05/2026 PERMIT SET

REVISIONS:

SHEET TITLE:

GENERAL NOTES
ABBREVIATIONS
SYMBOLS
TYPICAL DETAILS

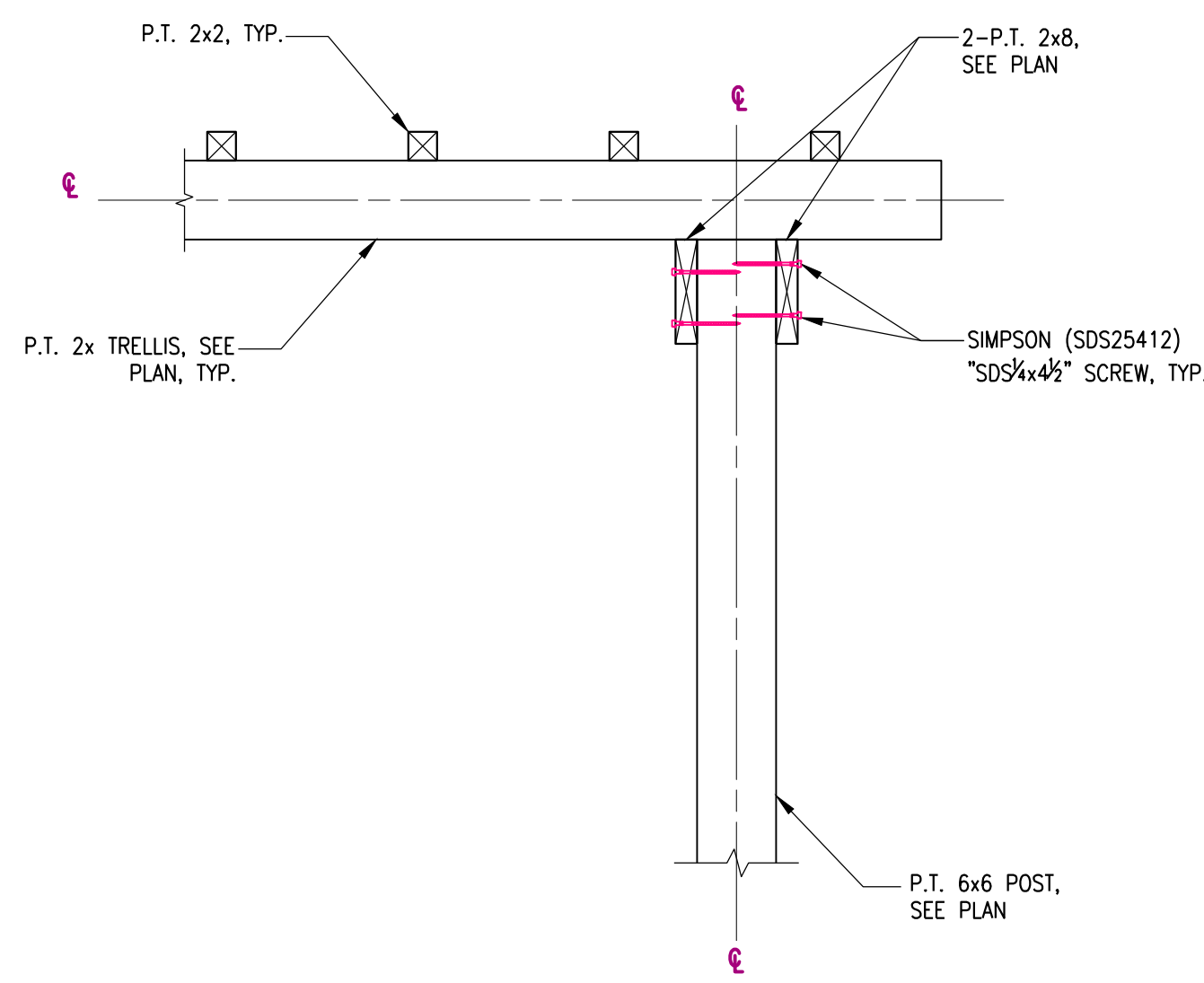
JOB NO.: 2603

SCALE: AS NOTED

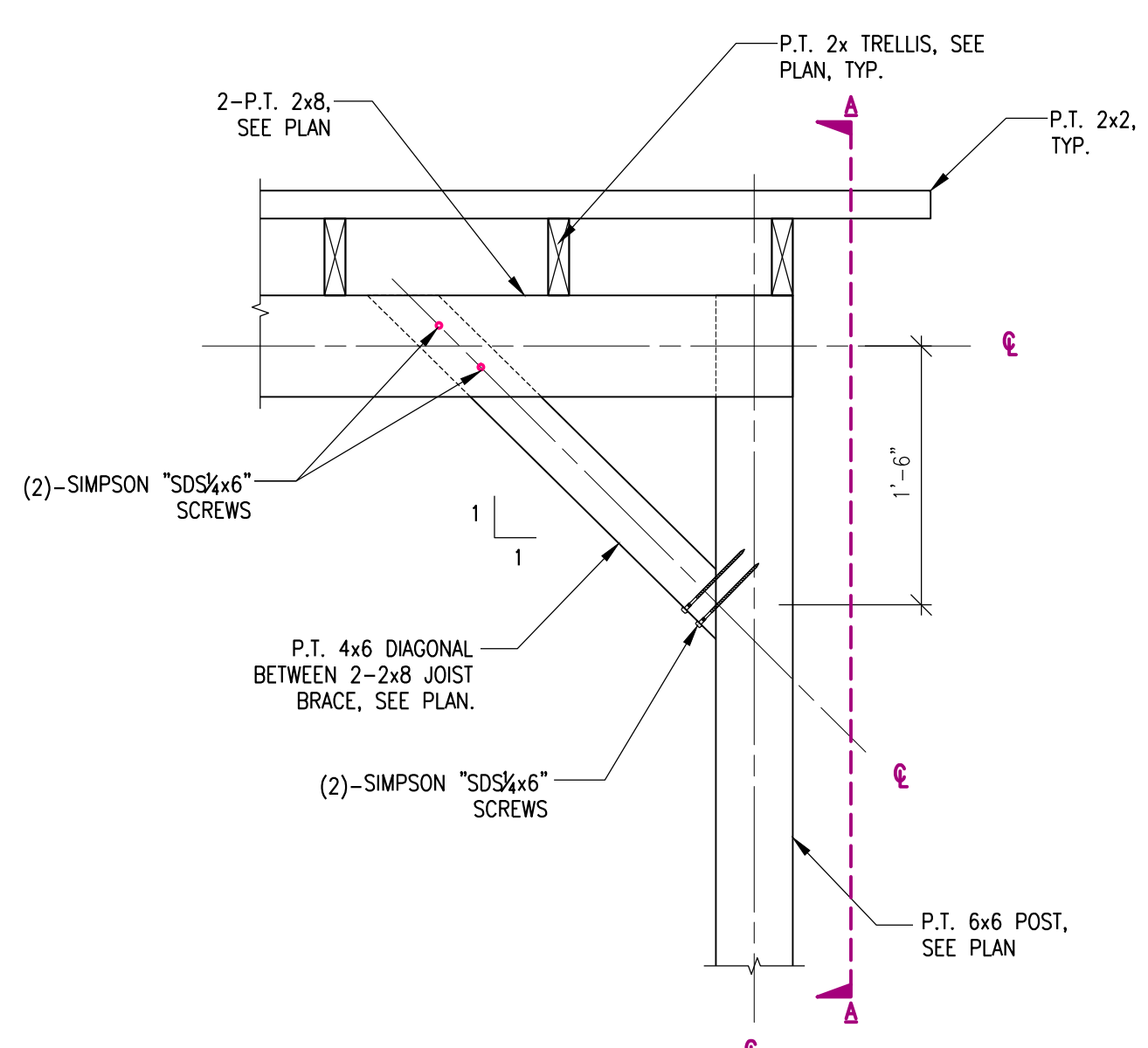
SHEET:

S1.0

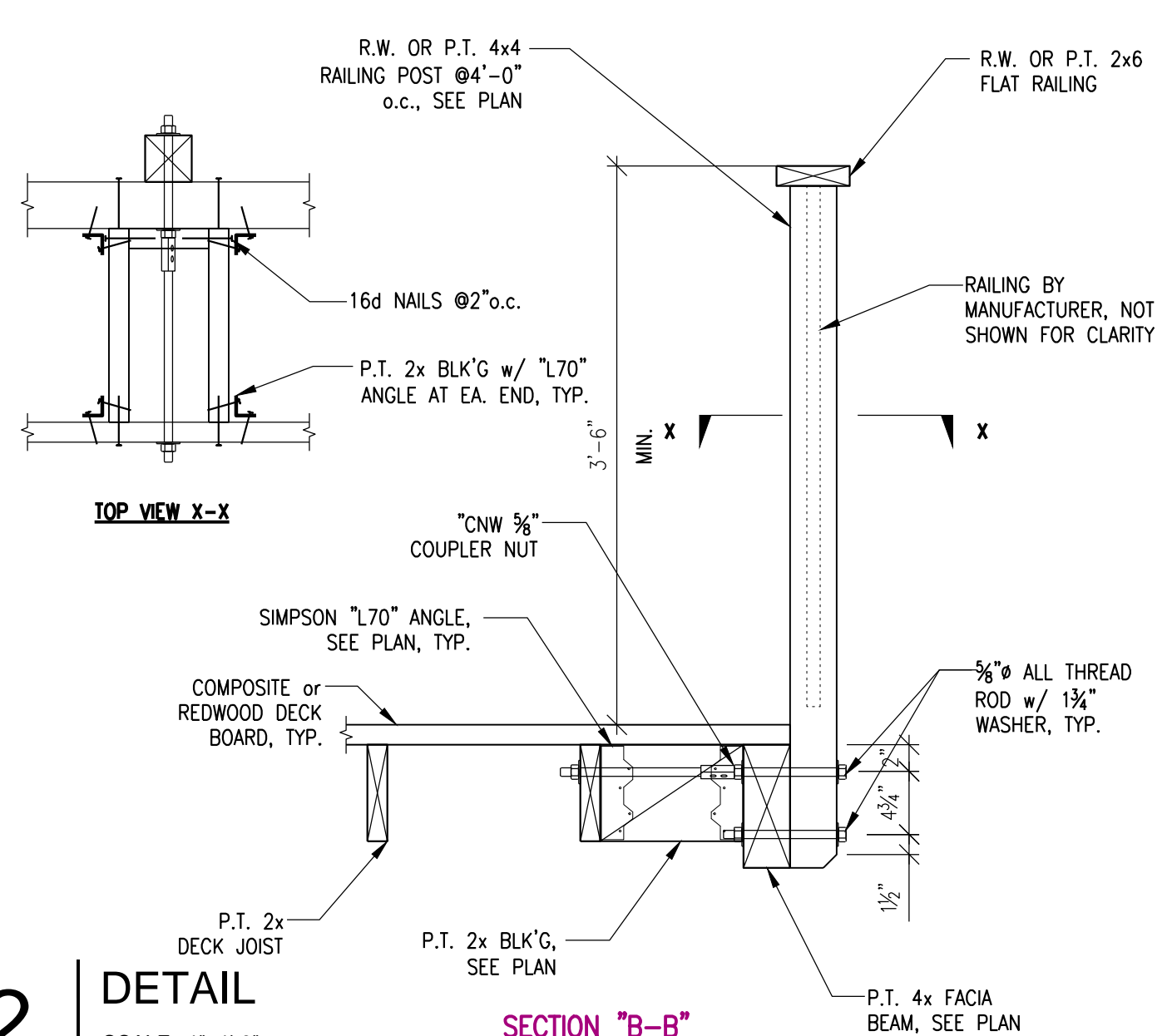
NOTE: THIS SHEET SHOULD BE 24"x36"



SECTION "A-A"

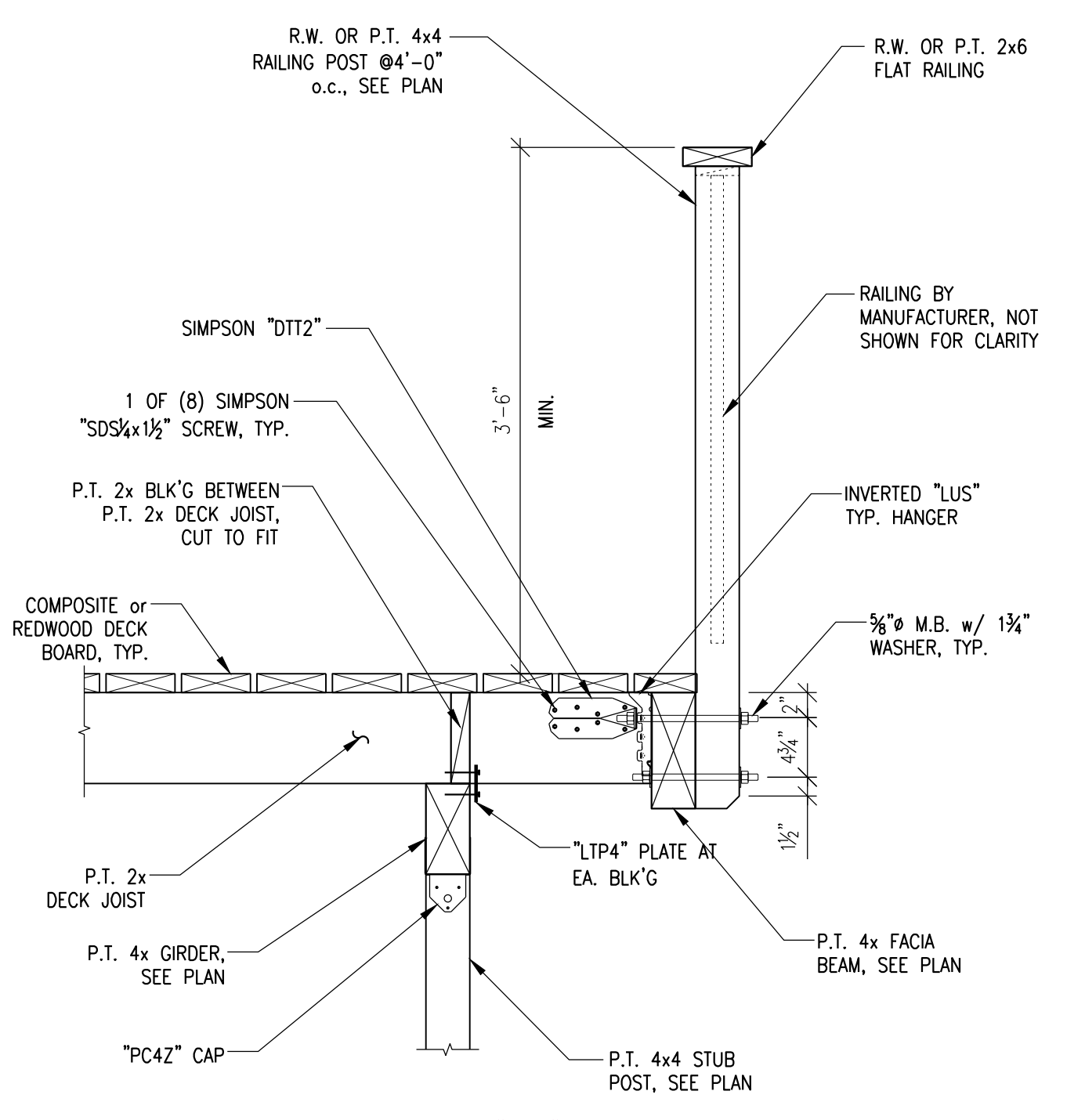


3 | DETAIL
SCALE: 1"=1'-0"



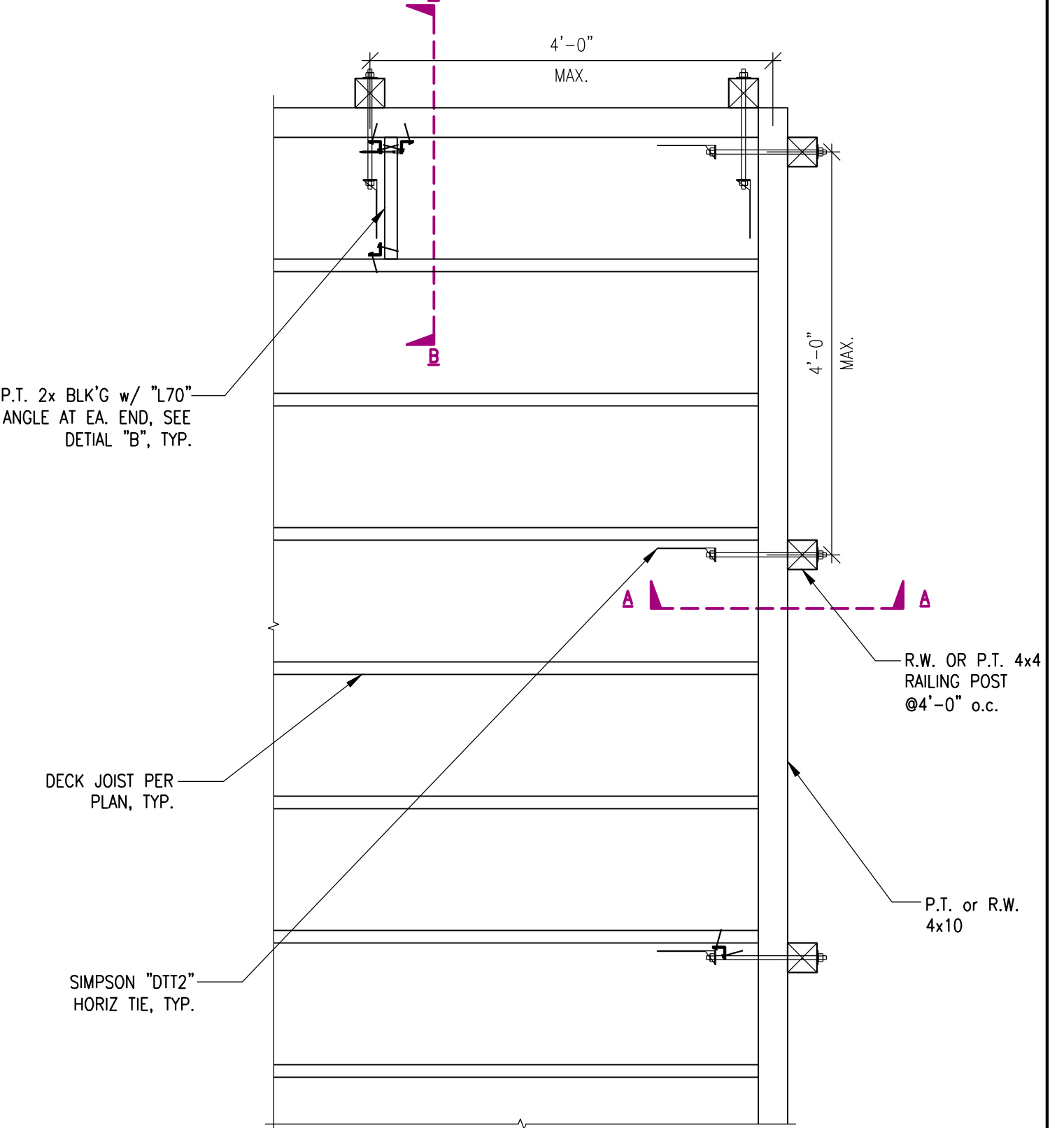
SECTION "B-B"

2 | DETAIL
SCALE: 1"=1'-0"



SECTION "A-A"

- NOTE:**
1. THE RAILING SYSTEM ONLY SHOWN THE STRUCTURAL ANCHOR OF RAILING POST, ALL OTHER INFORMATION BY MANUFACTURER, or SEE ARCHITECTURAL DRAWING AND NOT SHOWN FOR CLARITY
 2. ALL CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED WOOD THAT CONTAINS AMMONIA OR USES ACZA TREATMENT SHALL BE STAINLESS STEEL

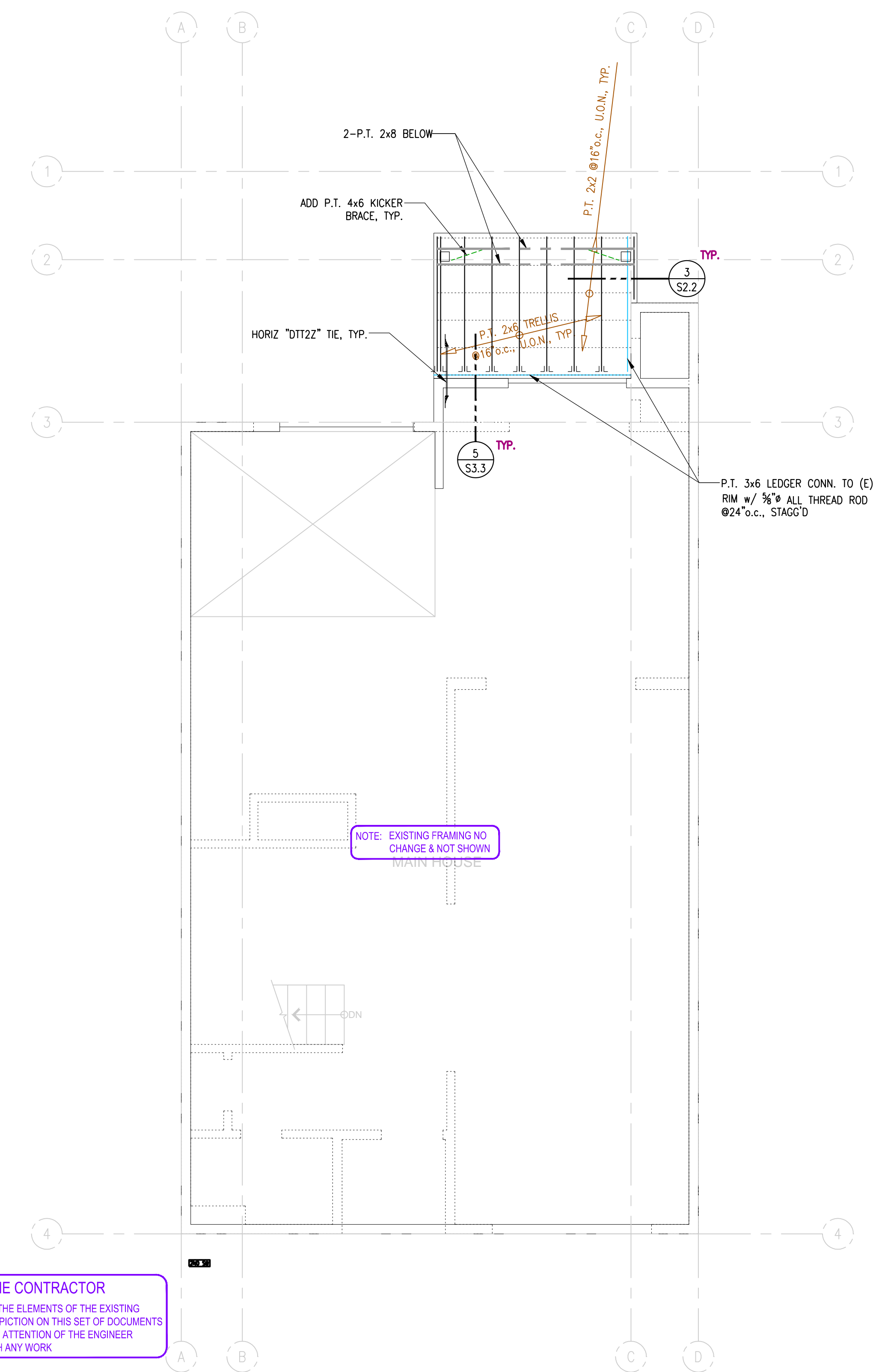


LEGEND

□ POST BELOW

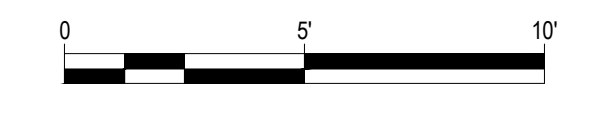
┌┐ DENOTES SIMPSON HANGER

SPECIAL NOTES:
SEE SHEET S1.0 FOR MORE LEGEND INFORMATION NOT SHOWN



NOTE TO THE CONTRACTOR
ALL CONFLICTS BETWEEN THE ELEMENTS OF THE EXISTING STRUCTURE AND THEIR DEPICTION ON THIS SET OF DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK

1 | 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW CALIFORNIA 94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026
ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
2ND FLOOR FRAMING PLAN & DETAILS

JOB No.: 2603
SCALE: AS NOTED
SHEET: **S2.2**

NOTE: THIS SHEET SHOULD BE 24"x36"

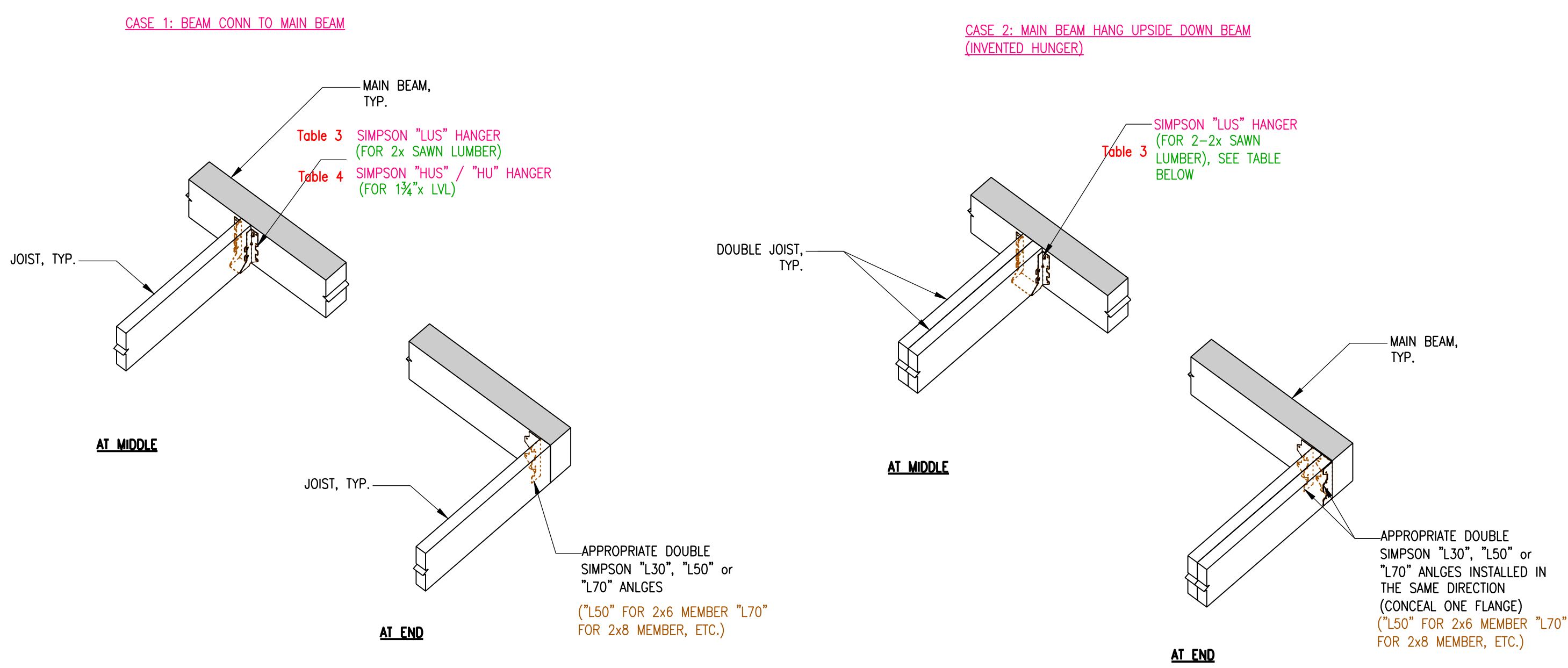
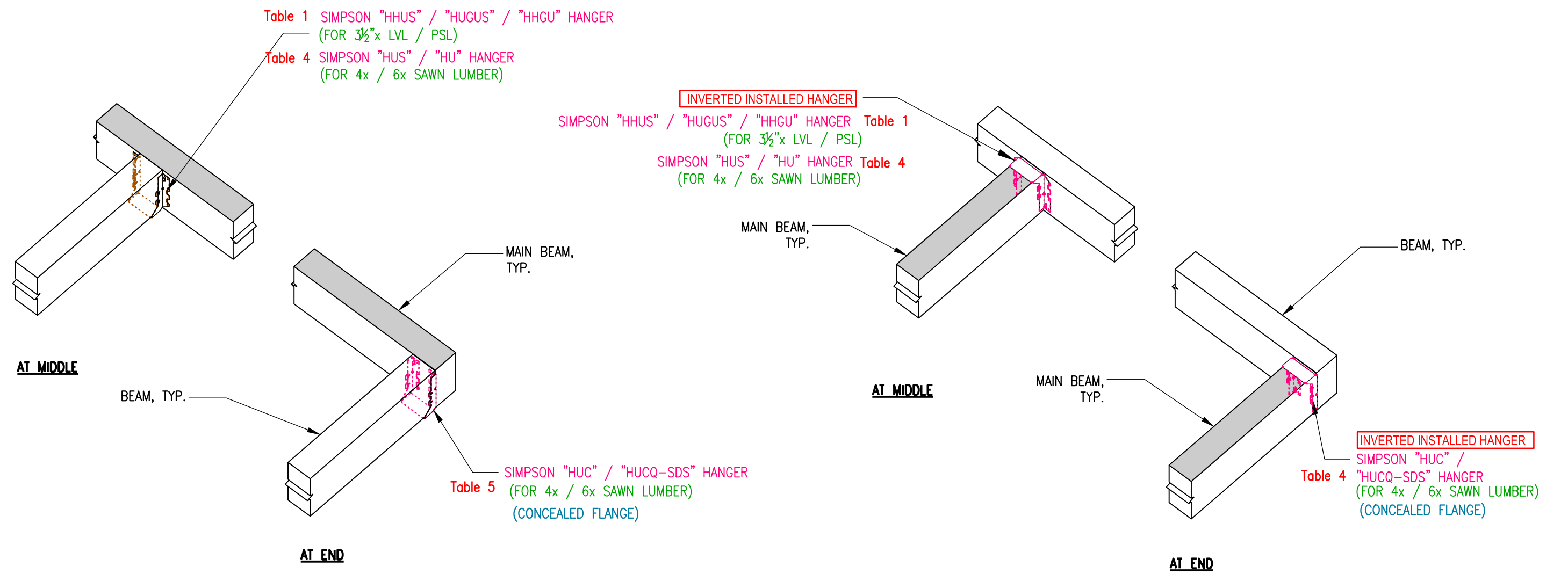


Table 1 SIMPSON "HHUS" / "HUGUS" / "HHGU" HANGER (FOR 3½" x LVL / PSL)

JOIST SIZE	HANGER TYPE
3½" x 7½" LVL	"HHUS48"
3½" x 9½" LVL / PSL	"HHUS410"
3½" x 11½" LVL / PSL	"HHUS410"
5½" x 9½" LVL / PSL	"HHUS5.50/10"
5½" x 11½" LVL / PSL	"HGUS5.50/12"
5½" x 14" PSL	"HGUS5.50/14"
7" x 9½" PSL	"HGUS7.25/10"
7" x 11½" PSL	"HGUS7.25/12"
7" x 14" PSL	"HGUS7.25/12"
7" x 16" PSL	"HHGU7.25-SDS"

Table 2 SIMPSON "HUS" / "HU" HANGER (FOR 1½" x LVL)

JOIST SIZE	HANGER TYPE
1½" x 5½" LVL	"HUS1.81/5"
1½" x 7½" LVL	"HU7"(Max.)
1½" x 9½" LVL	"HU9"(Max.)
1½" x 11½" LVL	"HU11"(Max.)
1½" x 14" LVL	"HU14"(Max.)

Table 3 SIMPSON "LUS" HANGER (FOR 2x SAWN LUMBER)

JOIST SIZE	HANGER TYPE
2x4	"LUS24"
2-2x4	"LUS24-2"
2x6	"LUS26"
2-2x6	"LUS26-2"
2x8	"LUS28"
2-2x8	"LUS28-2"
2x10	"LUS210"
2-2x10	"LUS210-2"
2x12	"LUS210"
2-2x12	"LUS210-2"

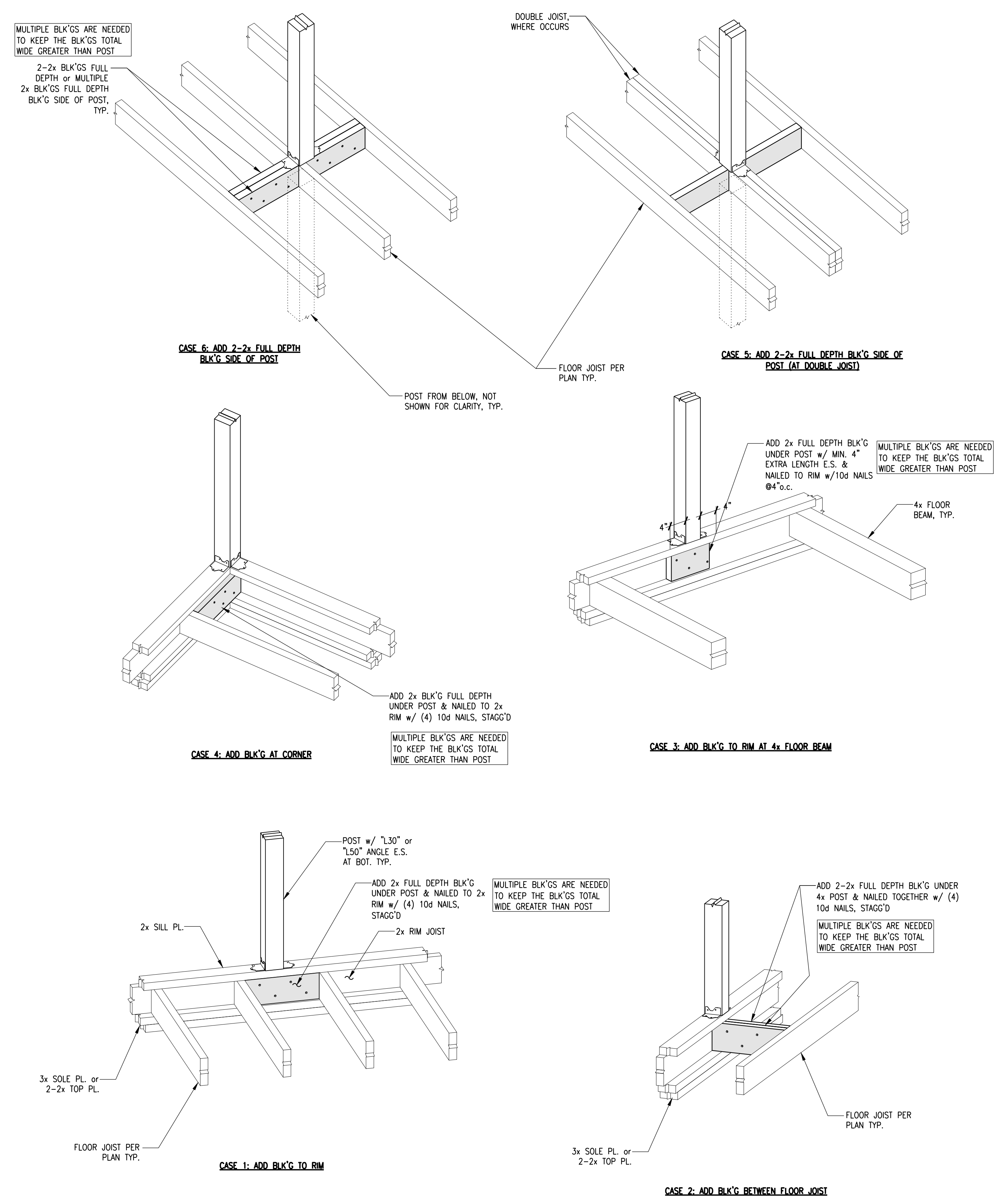
Table 4 SIMPSON "HUS" / "HU" HANGER (FOR 4x / 6x SAWN LUMBER)

JOIST SIZE	HANGER TYPE
4x6	"HUS46"
4x8	"HUS48"
4x10	"HUS410"
4x12	"HUS412"
6x6	"HUS66" (Max.)
6x8	"HUS68" (Max.)
6x10	"HUS610" (Max.)
6x12	"HUS612" (Max.)

Table 5 SIMPSON "HUC" / "HUCQ-SDS" HANGER (FOR 4x / 6x SAWN LUMBER) (CONCEALED FLANGE)

JOIST SIZE	HANGER TYPE
4x6	"HUC46" (Max.)
4x8	"HUC48" (Max.)
4x10	"HUC410-SDS"
4x12	"HUC412-SDS"
6x6	"HUC66" (Max.)
6x8	"HUC68" (Max.)
6x10	"HUC610-SDS"
6x12	"HUC612-SDS"

SPECIAL NOTES
 1. CONTRACTOR TO CHOOSE & USE APPROPRIATE HANGERS U.O.N., IF SOME HANGERS SPECIFIED ON PLAN PLEASE OMIT THIS TABLES
 2. ALL THE CONNECTER HARDWARE & FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5



1 TYP BLOCKS UNDER COL. DETAIL
 SCALE: NONE

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



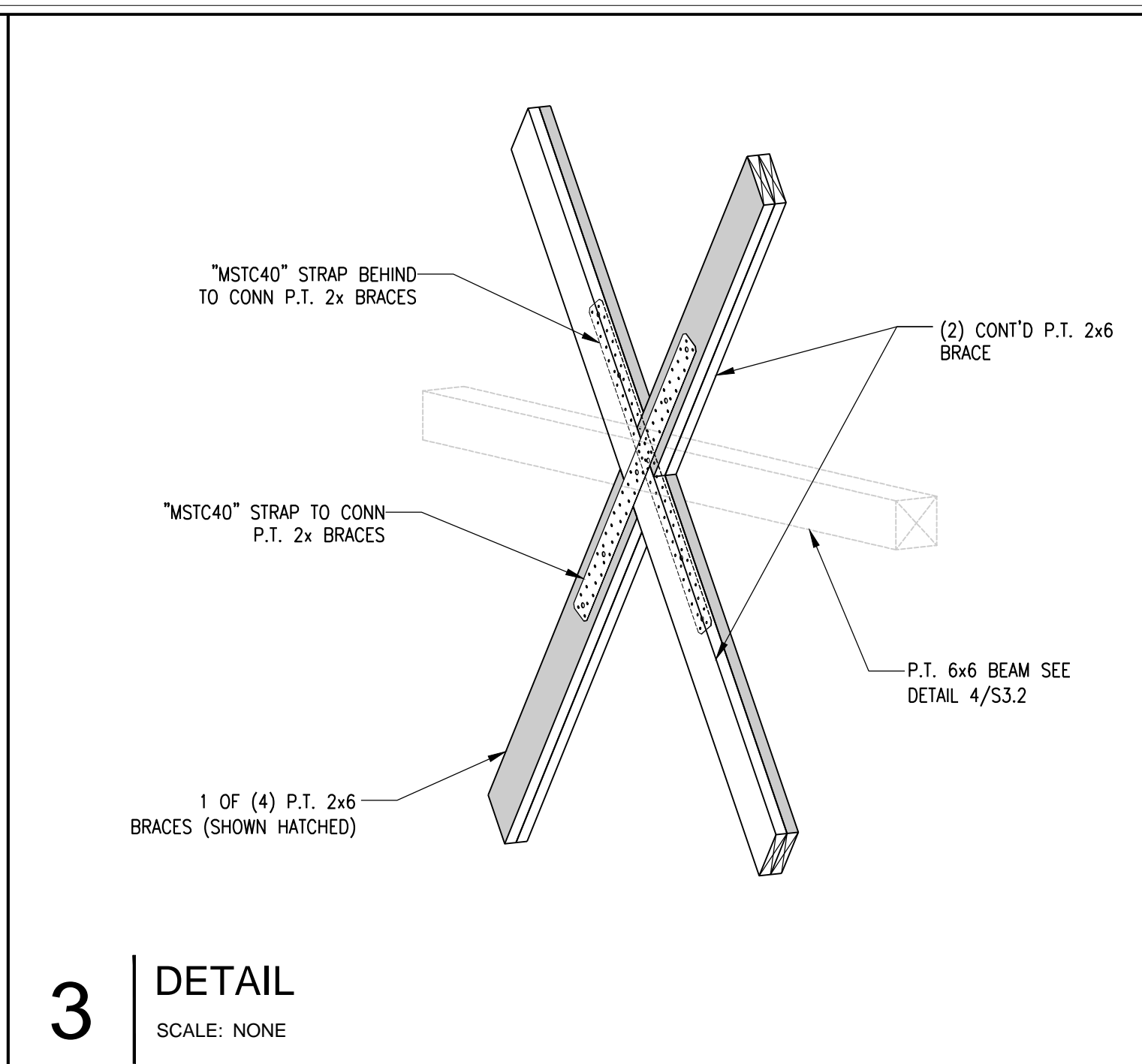
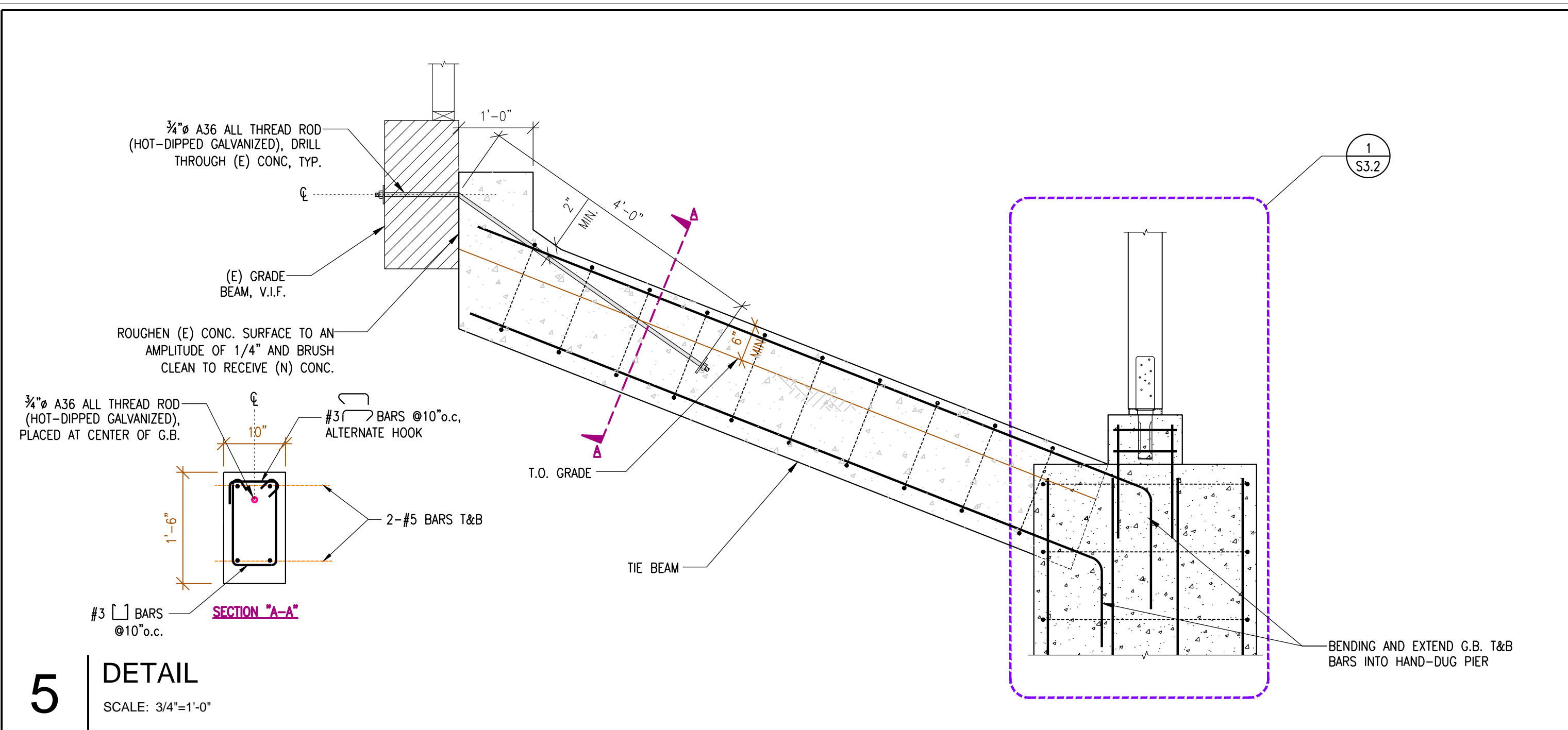
DECK REBUILDING
 184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026
 ISSUE: PERMIT SET

REVISIONS:

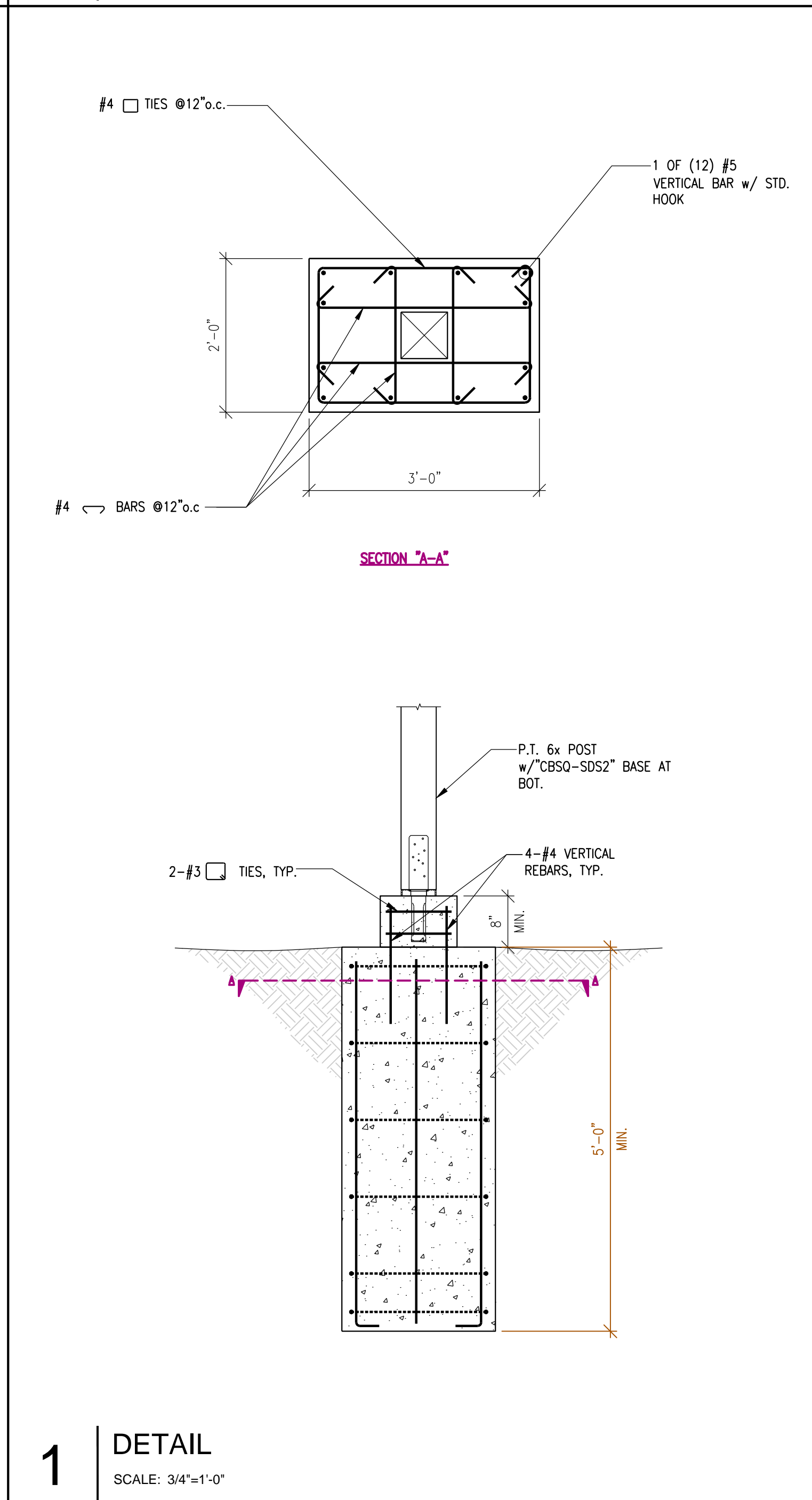
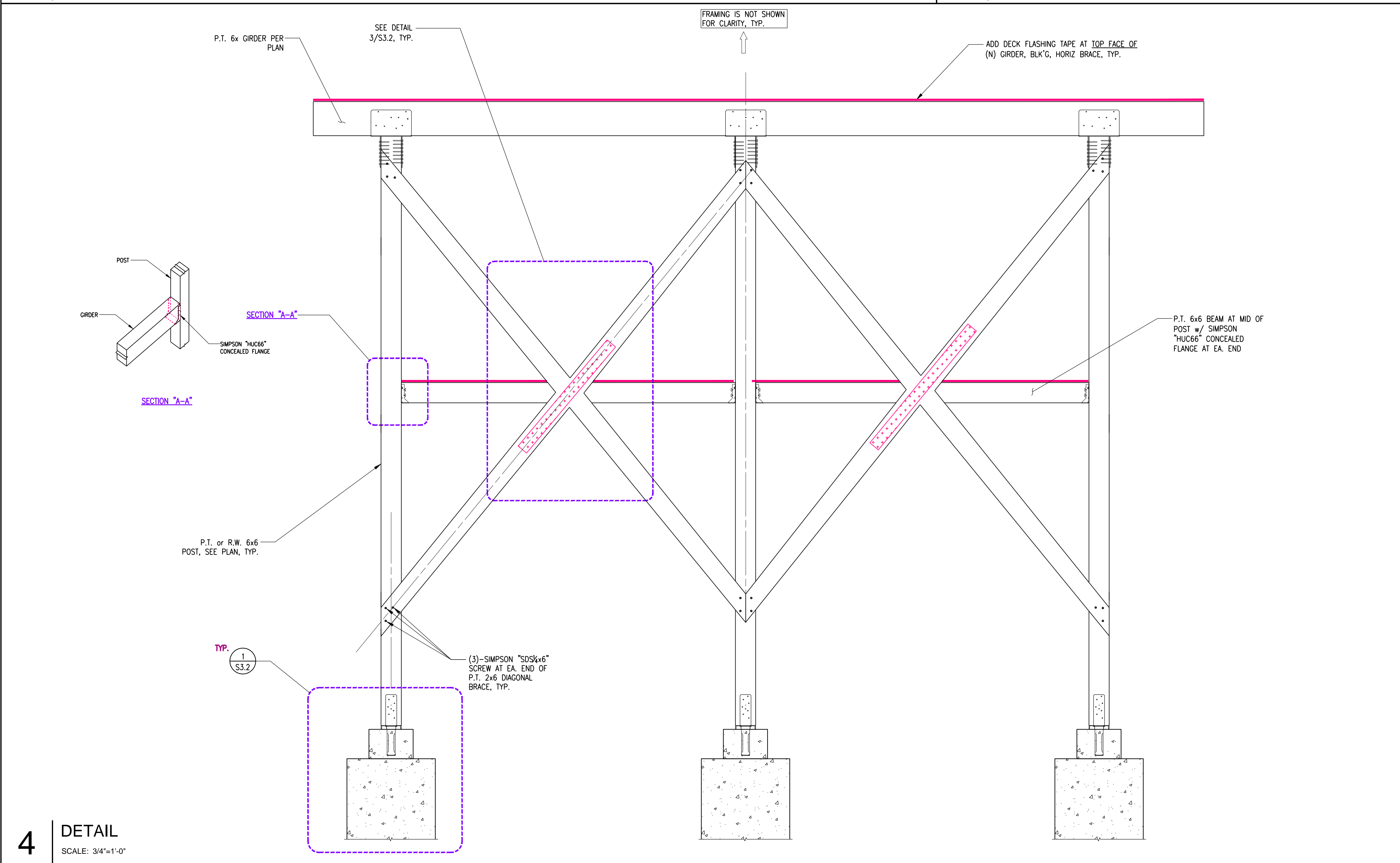
SHEET TITLE: **DETAILS I**
 JOB NO.: 2603
 SCALE: AS NOTED
 SHEET: **S3.1**

2 BEAM TO BEAM / COL. CONN.
 SCALE: NONE



(INTENTIONALLY LEFT BLANK)

2 | N/A
SCALE: NONE



STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL
ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW
CALIFORNIA
94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026
ISSUE: PERMIT SET

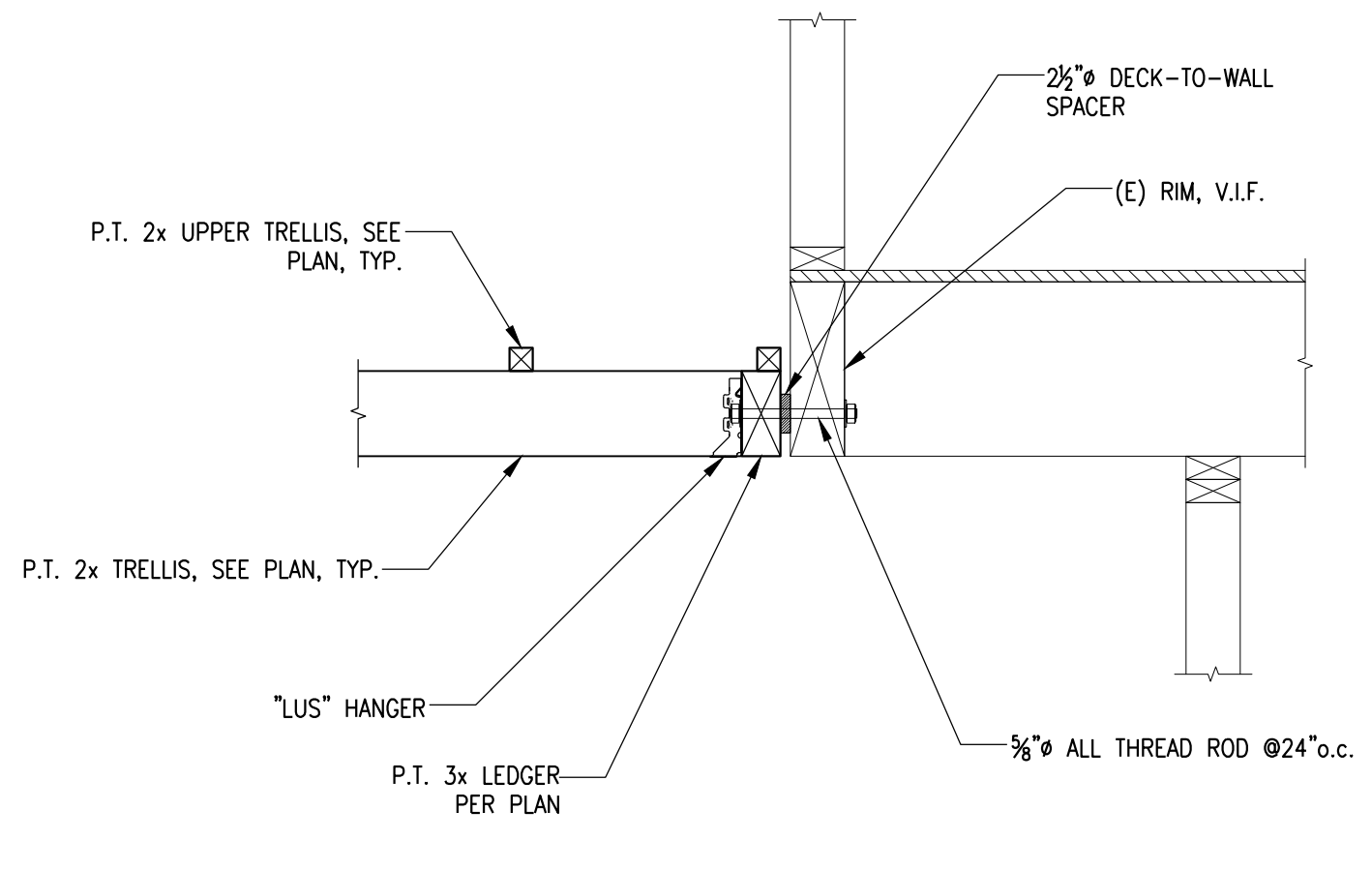
REVISIONS:

SHEET TITLE:
DETAILS II

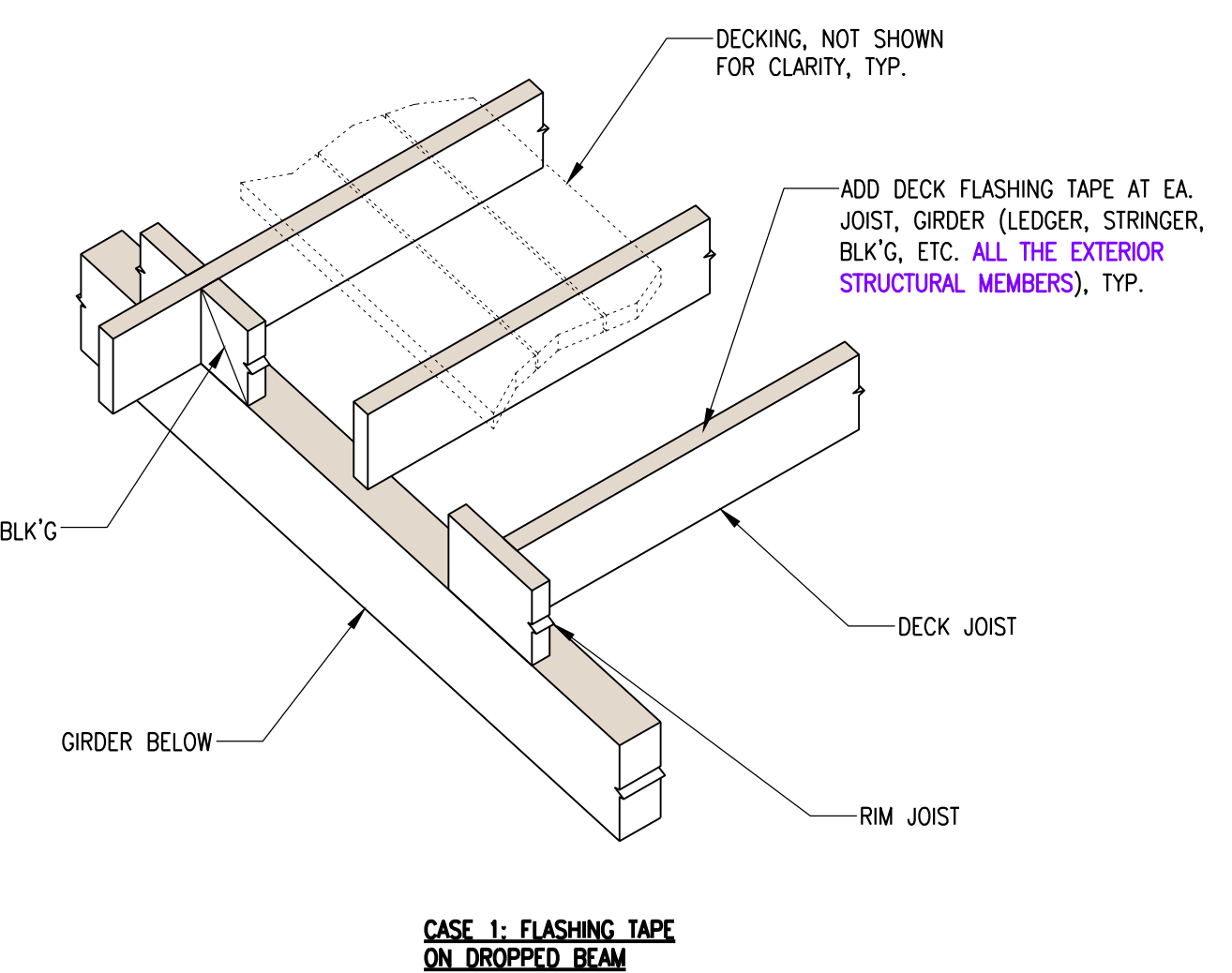
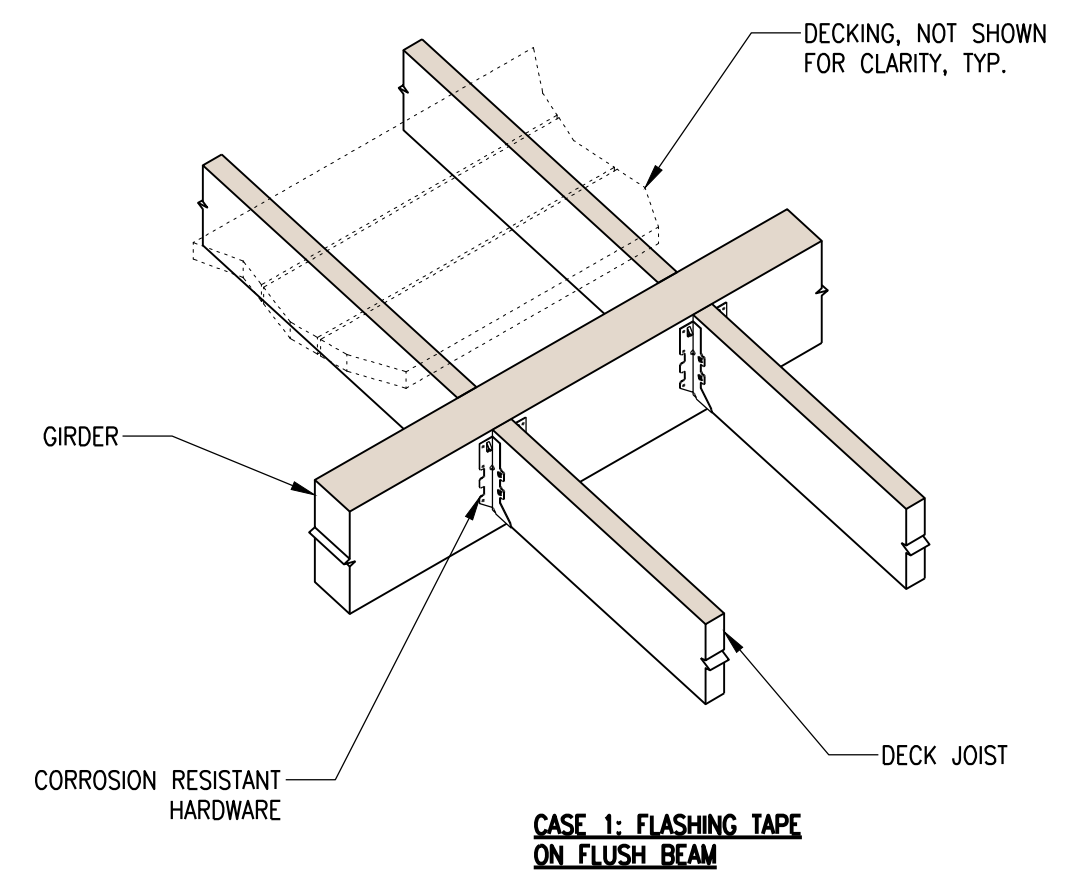
JOB NO.: 2603
SCALE: AS NOTED
SHEET: **S3.2**

NOTE: THIS SHEET SHOULD BE 24"x36"

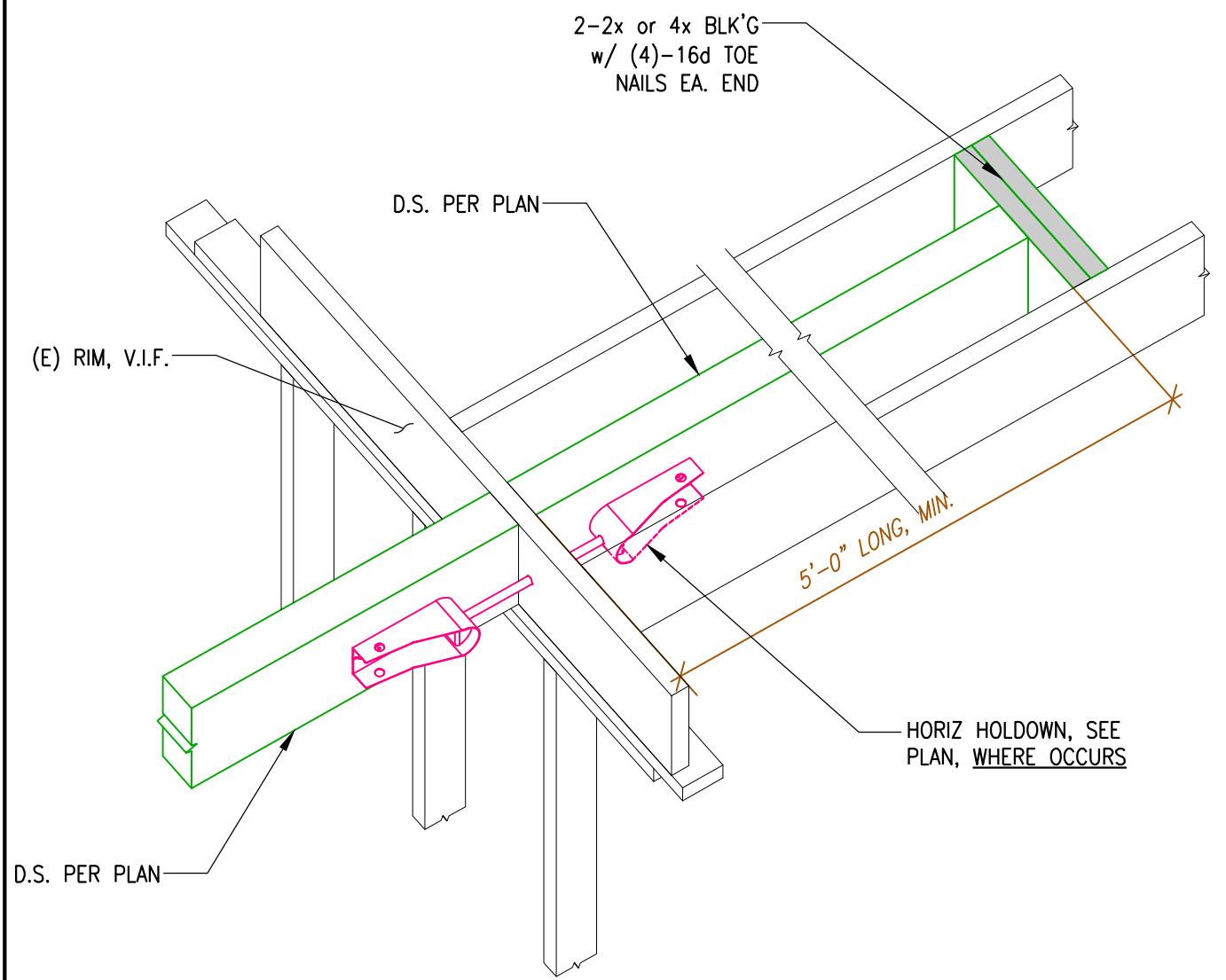
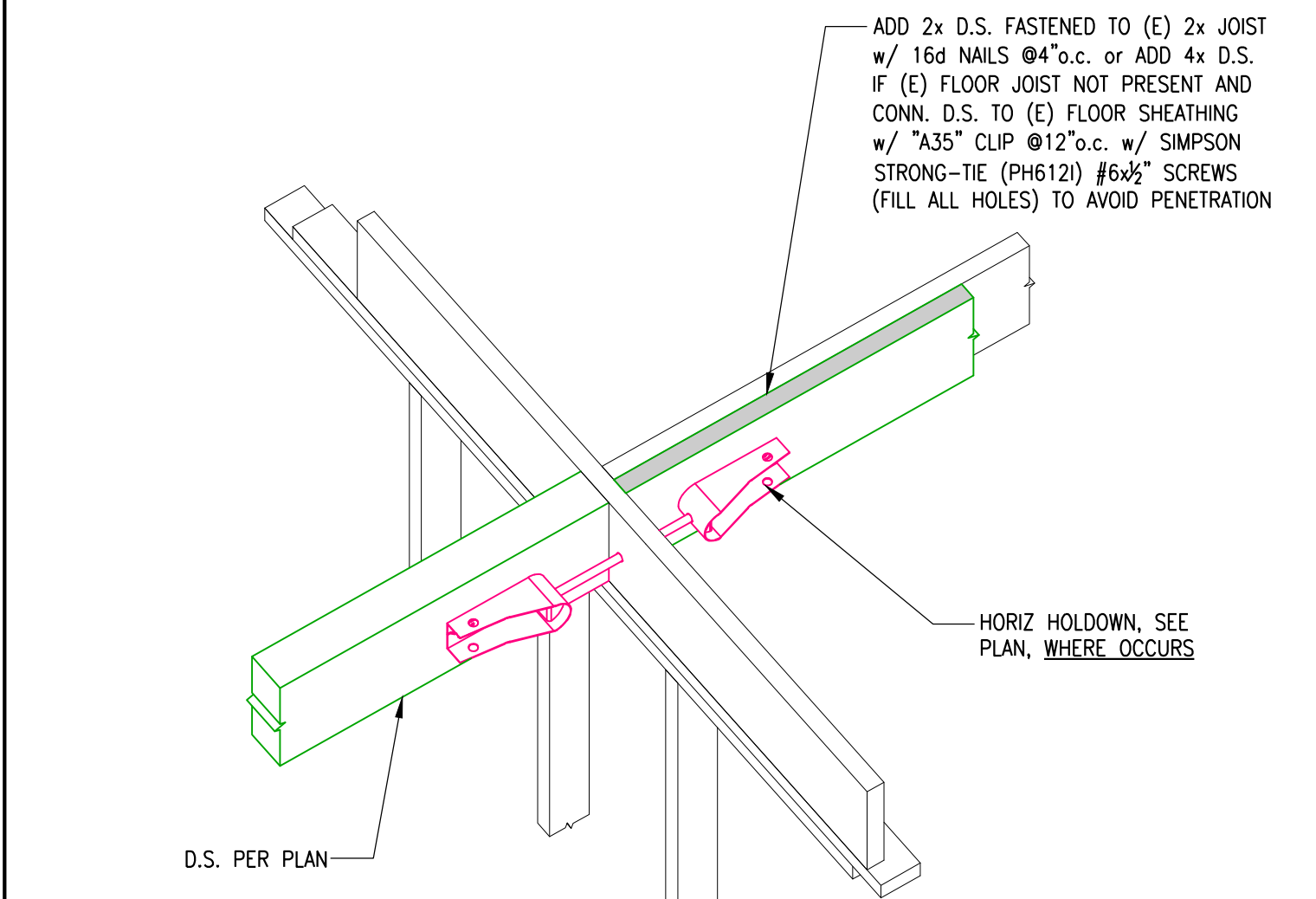
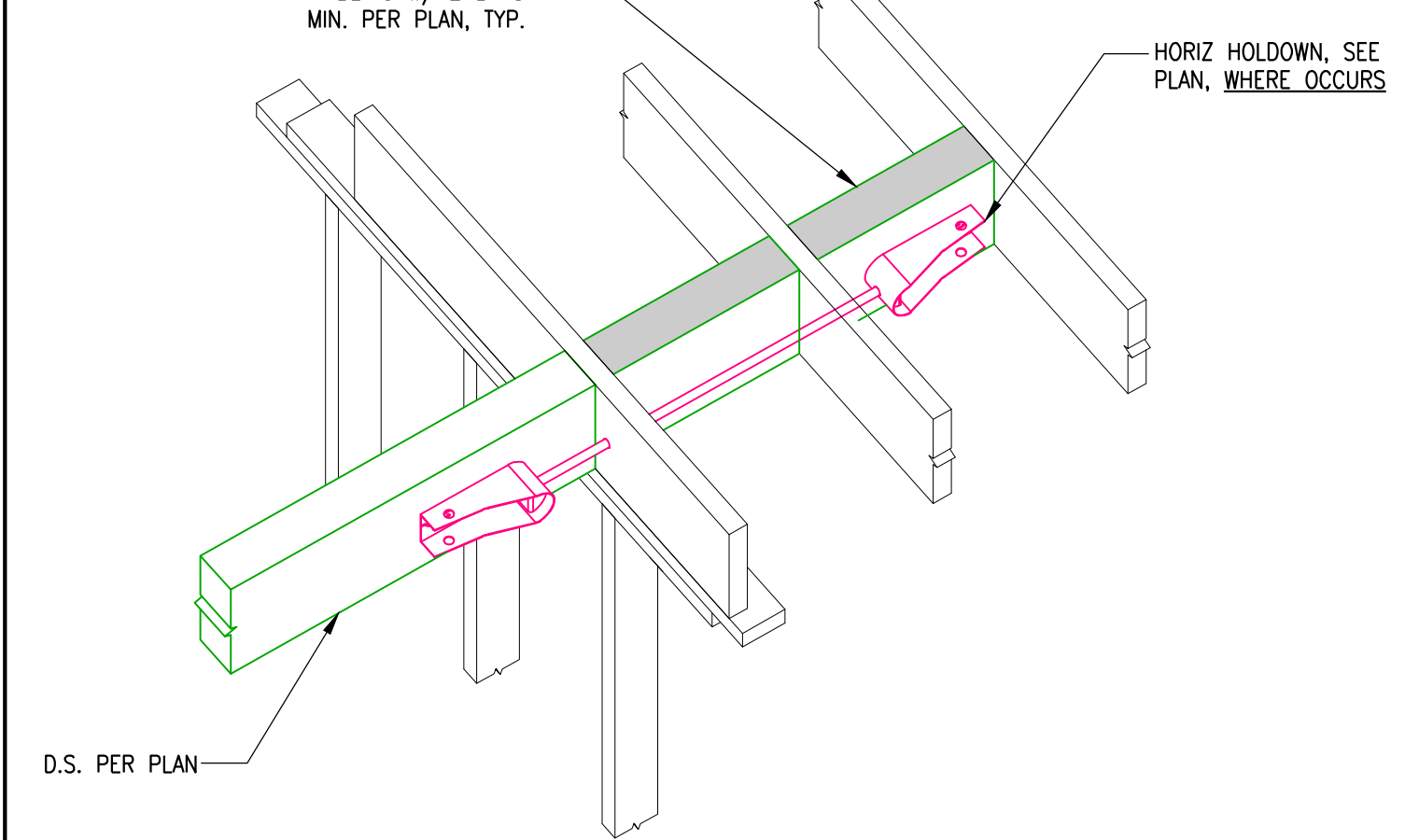
5 DETAIL
SCALE: 1"=1'-0"



NOTE: 1. ALL LUMBER FRAMING USED IN EXTERIOR DECK APPLICATIONS SHOULD BE PRESSURE TREATED TO AWPA STANDARDS OR RECOGNIZED IN A CODE EVALUATION REPORT.
2. ALL THE CONNECTER HARDWARE & FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5



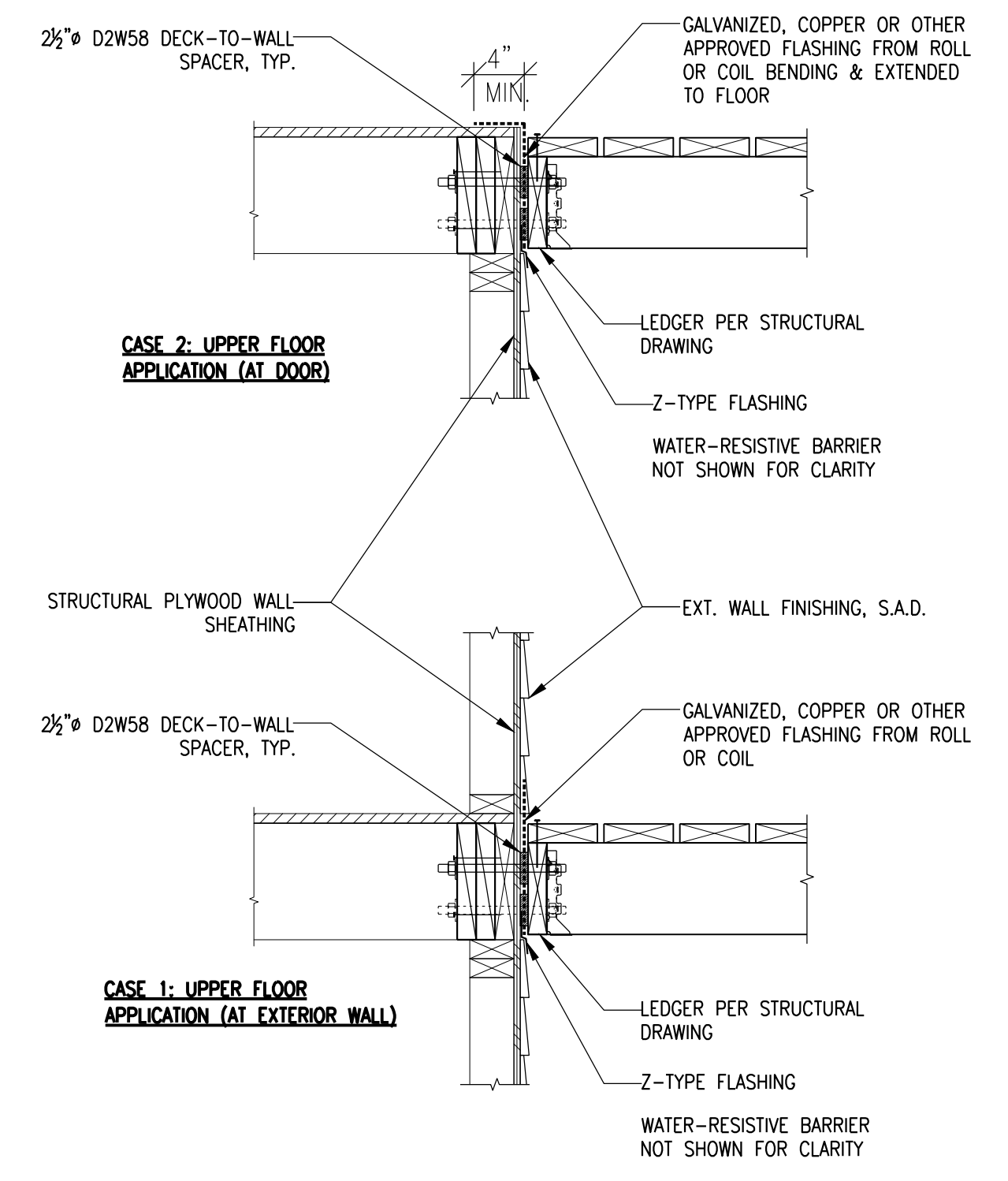
4 WATERPROOF AT EXTERIOR DECK
SCALE: NONE



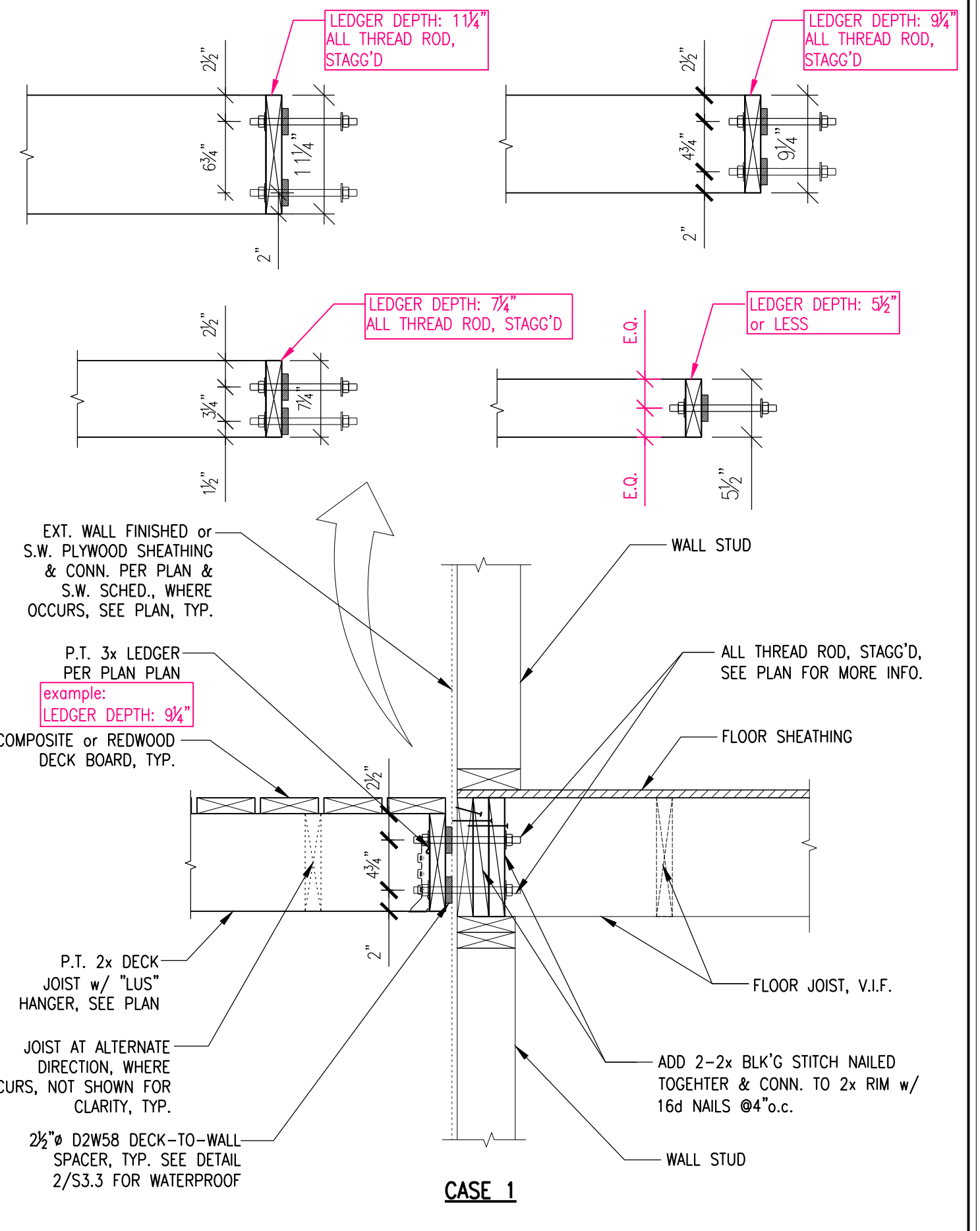
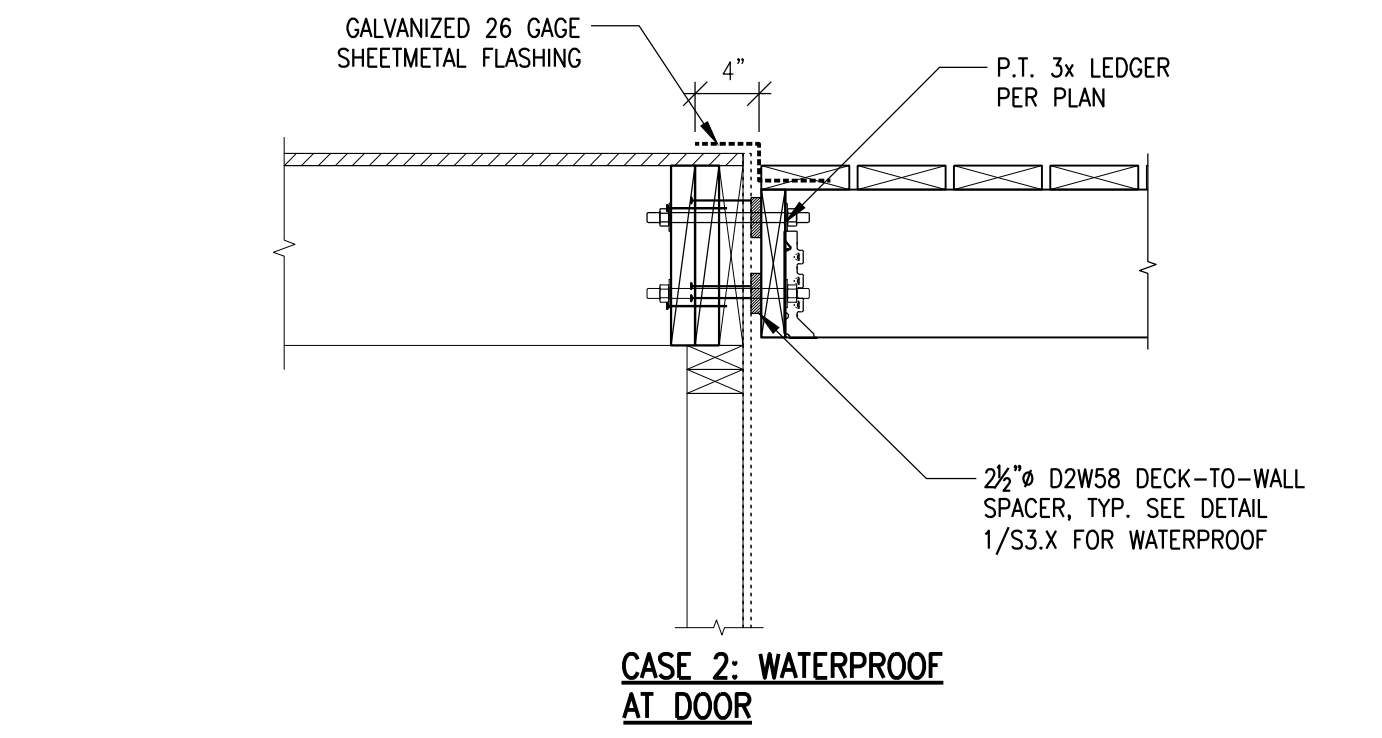
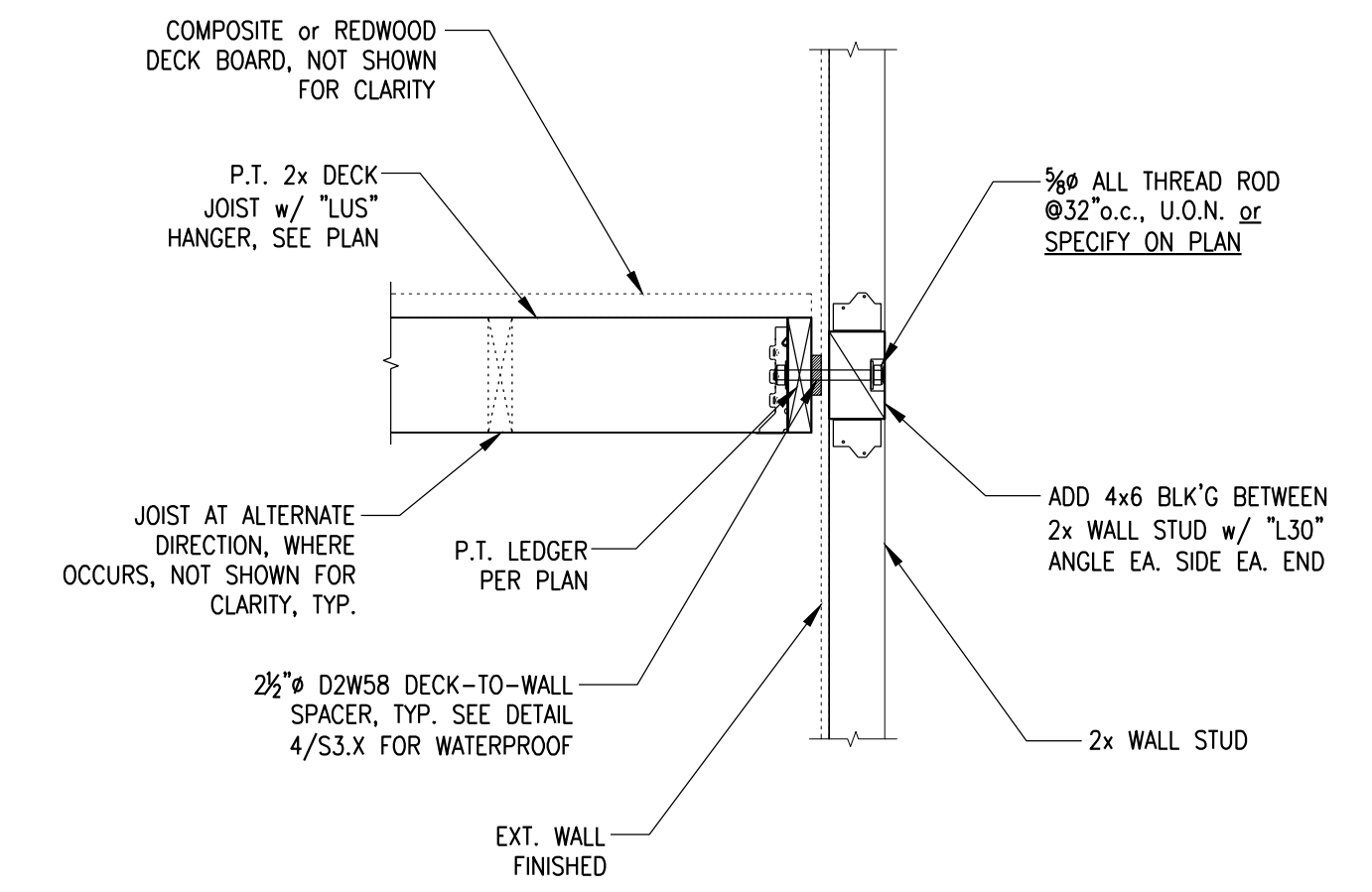
3 DETAIL
SCALE: NONE

(INTENTIONALLY LEFT BLANK)

NOTE: 1. ANY SIDING OR MATERIAL OVER THE STRUCTURAL WOOD SHEATHING MUST BE REMOVED AND SPACERS SHOULD CONTACT A GALVANIZED, COPPER, OR OTHER APPROVED FLASHING.
2. THE D2W58 DOES NOT APPLY TO OTHER APPLICATIONS
3. PRODUCT WEB SITE: <https://www.deck2wallspocer.com/>



2 DECK-TO-WALL SPACER
SCALE: NONE WATER PROOF DETAIL



1 LEDGER AT FLOOR (EXTERIOR)
SCALE: NONE

STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695 MOUNTAIN VIEW CALIFORNIA 94039-0695
P: 408.329.8787 F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING

184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE: DETAILS III
JOB NO.: 2603
SCALE: AS NOTED
SHEET: S3.3

NOTE: THIS SHEET SHOULD BE 24"x36"



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2877

Agenda Date: 7/7/2026

Agenda #: 7.

Advisory Board: The Alamo Municipal Advisory Council
Subject: CDMS25-00009 - 2717 Stone Valley Road, Alamo
Contact: Joe Lawlor, Department of Conservation and Development

Information:

PROJECT DESCRIPTION

The applicant requests approval of a Minor Subdivision application (Vesting Tentative Parcel Map) to subdivide an existing 167,622-square-foot (3.84 acres) parcel located at 2717 Stone Valley Road in Alamo into two residential parcels.

The proposed subdivision would create Parcel A comprising 87,164 square feet (2.00 acres) and Parcel B comprising 80,458 square feet (1.85 acres). The project site is currently developed with a single-family residence and is zoned R-40 (Single Family Residential).

The project proposal also includes a Tree Permit application to request the removal of seven code-protected trees across the site. The proposed lots will continue to be utilized for single-family residential purposes and will be served by existing public infrastructure and utility providers, including the East Bay Municipal Utility District (EBMUD) for water supply, the Central Contra Costa Sanitary District (Central San) for sewage collection, and the San Ramon Valley Fire Protection District for emergency and fire services.

SUBDIVISION DETAILS

Parcel A: 87,164 square feet (2.00 acres)

Parcel B: 80,458 square feet (1.85 acres)

Total Site Area: 167,622 square feet (3.84 acres)

Average Parcel Size: Approximately 83,811 square feet (1.92 acres)

SITE CHARACTERISTICS

The subject property is designated for very low-density residential use and is situated within an established, unincorporated single-family neighborhood along Stone Valley Road in Supervisor District 2. The project site is classified within Flood Zone X, indicating it is located outside identified flood hazard areas (area of minimal flood hazard). Surrounding properties are primarily developed with single-family residential units and resource conservation areas, conforming consistently with the County's General Plan and standard R-40 zoning allocations.



Planning Application Summary

County File Number: CDMS25-00009

File Date: 4/8/2025

Applicant:

JANE A TRE IRELAND IRELAND JANE A TRE ireland3@comcast.net
2717 Stone Valley Road (408) 483-4864
Alamo, CA 94507

Property Owner:

LAWRENCE JOSEPH IRELAND ireland3@comcast.net
2717 STONE VALLEY RD (925) 837-2071
ALAMO, CA 945072783

Project Description:

The applicant requests approval of a Minor Subdivision application to subdivide an existing 167,622 square foot parcel into a Parcel A (87,164 SF) and Parcel B (80,458 SF) and a Tree Permit to remove 7 code protected trees (further subdividable)

Project Location: (Address: 2717 STONE VALLEY RD, ALAMO, CA 945072783), (APN: 196020005)

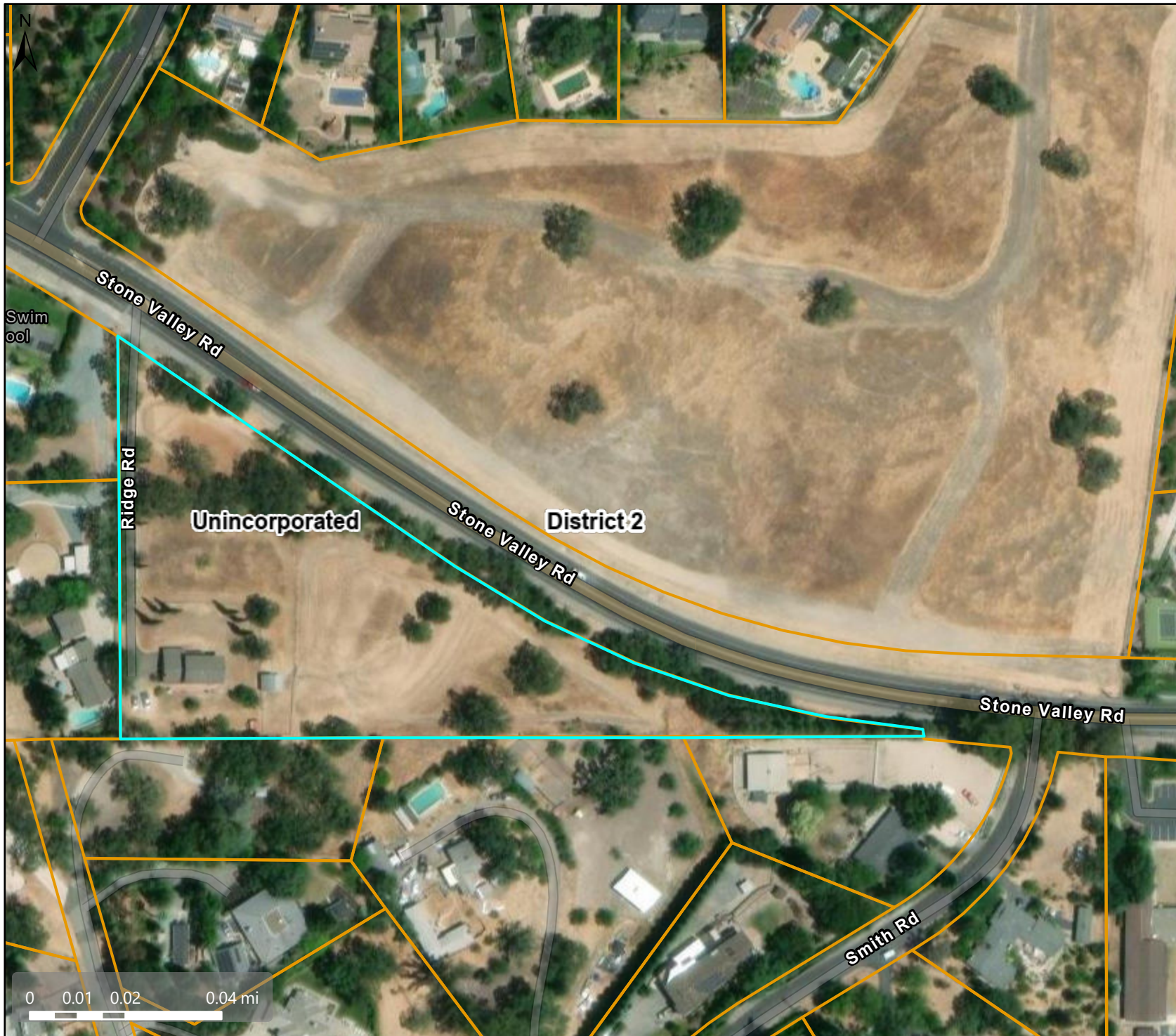
Additional APNs:

General Plan Designation(s): RVL	Zoning District(s): R-40
Flood Hazard Areas: X	AP Fault Zone:
60-dBA Noise Control:	MAC/TAC:
Sphere of Influence:	Fire District: SAN RAMON VLY FIRE
Sanitary District: CENTRAL SANITARY	Housing Inventory Site: NO
Specific Plan:	




Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
MSS0034	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			8662.00	8662.00

Aerial



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
 -  Unincorporated
 -  Board of Supervisors' Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984



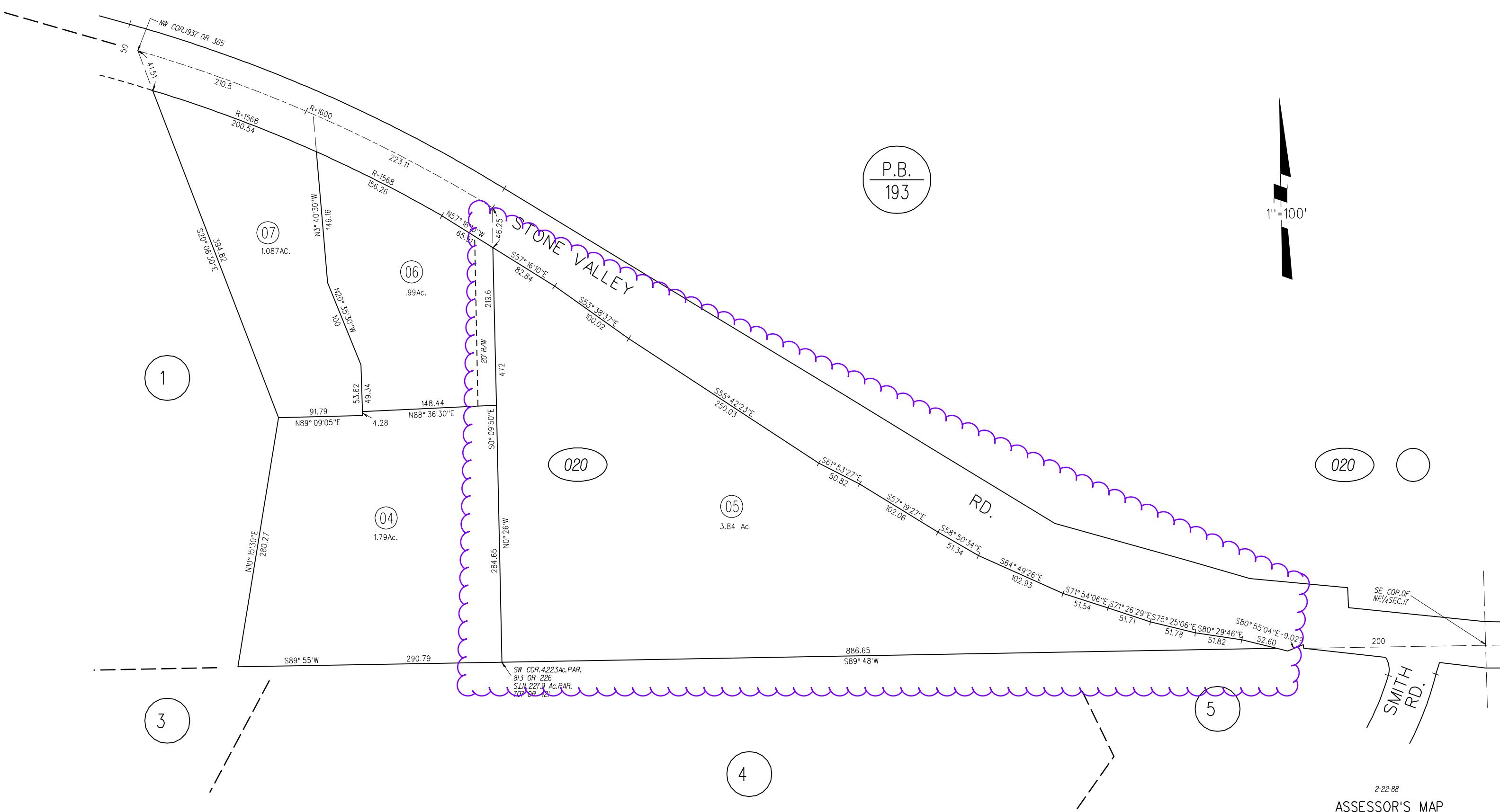
Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
- RVL (Residential Very-Low Density) (≤ 1 du/na)
- RL (Residential Low Density) (1-3 du/na)
- PS (Public and Semi-Public)
- RC (Resource Conservation)
- Unincorporated Board of Supervisors' Districts

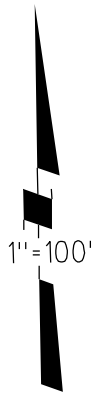


This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR NAVIGATION.
 CCMMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



P.B.
193



1

07
1.087Ac.

06
.99Ac.

020

05
3.84 Ac.

04
1.79Ac.

020

020

3

4

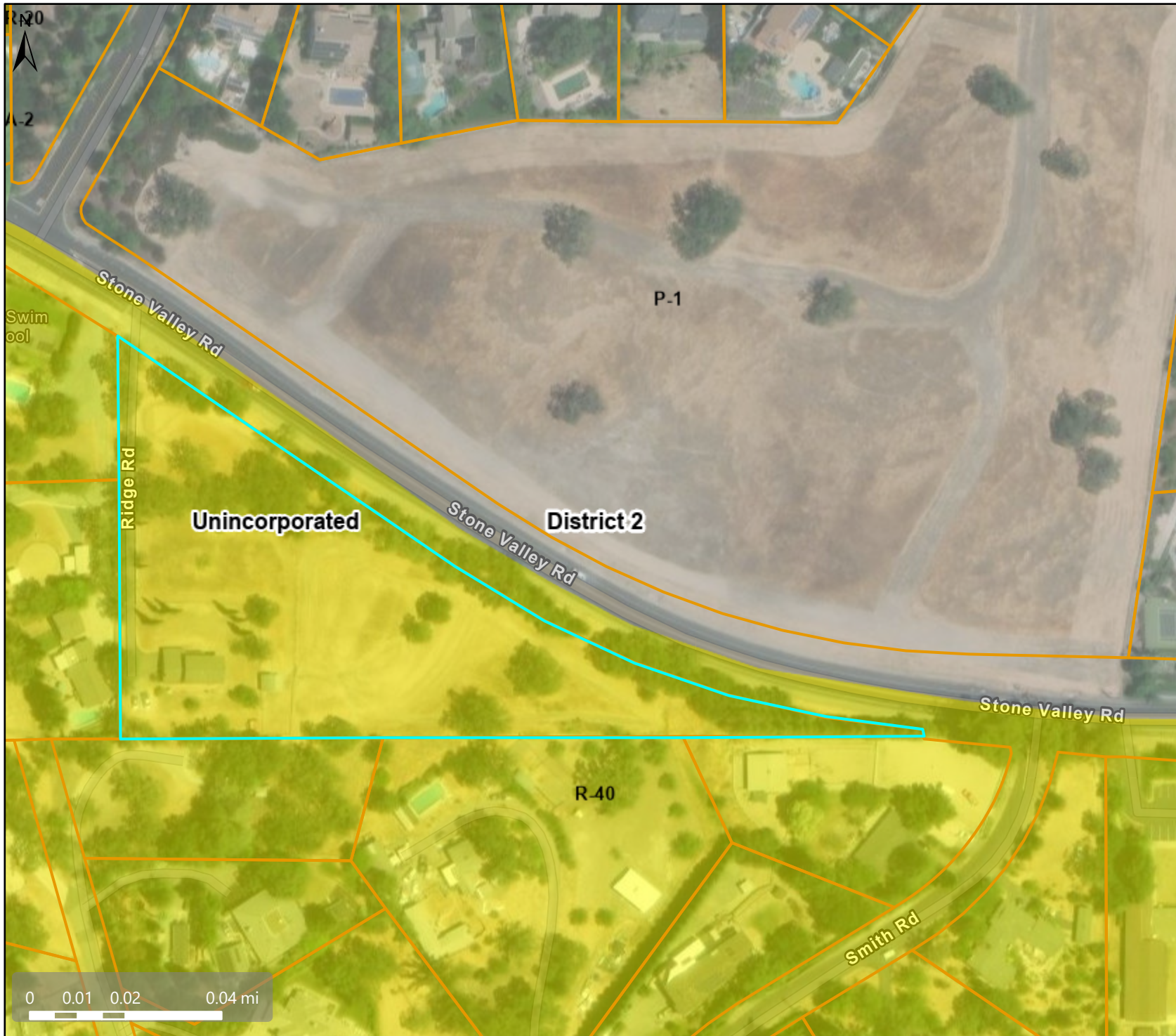
5

SW COR. 4223 AC. PAR.
813 OR 226
SLN 227.9 AC. PAR.
TOP OR 421

SE COR. OF
NE 1/4 SEC. 17

SMITH
RD.

Zoning - R-40



Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE_OVER**
- R-20 (Single Family Residential)
- R-40 (Single Family Residential)
- A-2 (General Agriculture)
- P-1 (Planned Unit)
- Unincorporated
- Board of Supervisors' Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

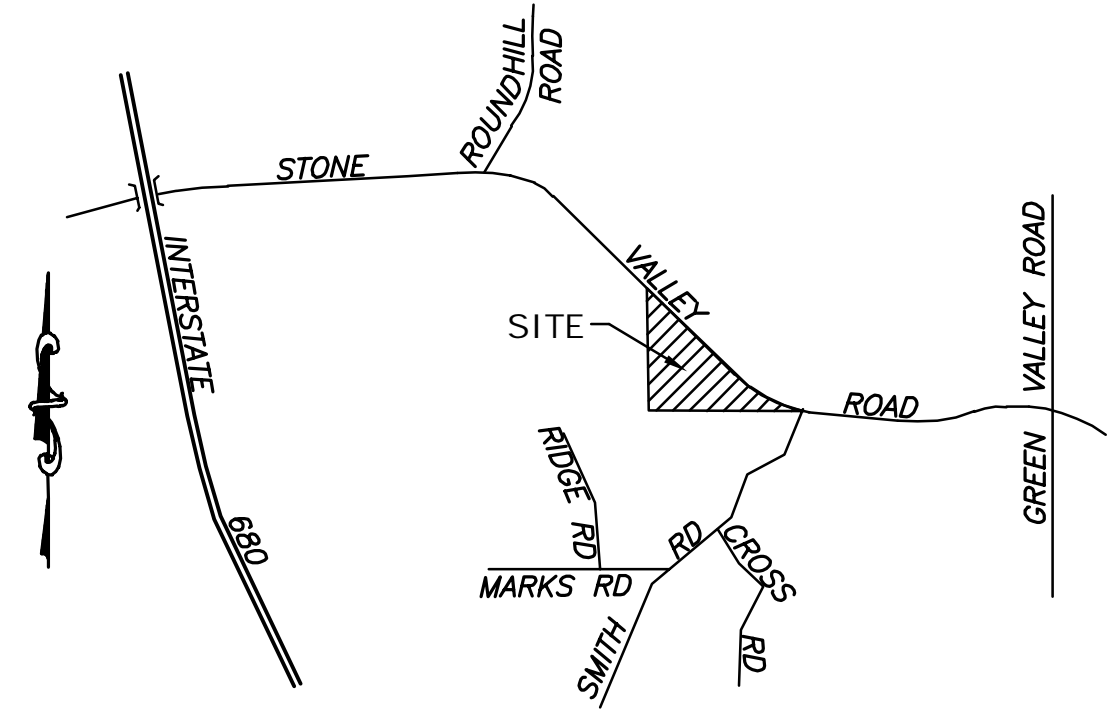
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

VESTING TENTATIVE PARCEL MAP

2717 STONE VALLEY ROAD

TOTAL UNITS: 2 RESIDENTIAL
ALAMO, CONTRA COSTA COUNTY, CALIFORNIA
SUBDIVISION ___ - ___



VICINITY MAP
N.T.S.

LEGEND:

- SANITARY SEWER MANHOLE
- WATER VALVE
- FOUND MONUMENT AS NOTED
- STANDARD STREET MONUMENT
- EASEMENT LINE
- ADJACENT PROPERTY LINE
- BOUNDARY LINE
- TIE LINE
- CENTERLINE
- EXISTING WATER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING ELECTRIC CABLE
- EXISTING SANITARY SEWER LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING CURB AND GUTTER
- EXISTING TREE

ABBREVIATIONS:

- BLDG BUILDING
- CONC CONCRETE
- (E)/EX EXISTING
- ESMT EASEMENT
- FNC FENCE
- INV. INVERT
- P.U.E PRIVATE UTILITY EASEMENT
- REBAR. REBAR
- () RECORD DATA
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDDI STORM DRAIN INLET
- (T) TOTAL
- WM WATER METER
- WV WATER VALVE

RECEIVED on 4/8/2025 CDMS25-00009
By Contra Costa County
Department of Conservation and Development

FLOOD ZONE

ZONE X - AREA OF MINIMAL FLOOD HAZARD
COMMUNITY PANEL NO. 06013C0451G
EFFECTIVE DATE: 03/21/2017

ENGINEER'S STATEMENT

CIVIL ENGINEERING WORK ON THIS VESTING TENTATIVE PARCEL MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD CIVIL ENGINEERING PRACTICE.

Easton C. McAllister
EASTON C. MCALLISTER, PE
P.E. #61148 EXP 12/31/24

07/29/2024
DATE

SHEET INDEX

SHEET	DESCRIPTION
VTPM-1	VESTING TENTATIVE PARCEL MAP
VTPM-2	PRELIMINARY STORM WATER CONTROL PLAN

PROJECT SUMMARY

PROPERTY ADDRESS: 2717 STONE VALLEY ROAD
ALAMO, CA 94507

OWNER / DEVELOPER: LAWRENCE AND JANE IRELAND
2717 STONE VALLEY ROAD
ALAMO, CA 94507

CIVIL ENGINEER: DEBOLT CIVIL ENGINEERING, INC.
480 SAN RAMON VALLEY BLVD UNIT L
DANVILLE, CALIFORNIA 94596
(925) 837-3780

SURVEYOR: DEBOLT CIVIL ENGINEERING, INC.
480 SAN RAMON VALLEY BLVD UNIT L
DANVILLE, CALIFORNIA 94596
(925) 837-3780

ASSESSOR'S PARCEL NO.: 196-020-005

TOTAL AREA: 167,622± SQ.FT. / 3.85± AC

EXISTING ZONING: R-40

EXISTING LAND USE: SINGLE-FAMILY RESIDENTIAL

PROPOSED ZONING: R-40

PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL

UTILITIES:

- WATER SUPPLY:** EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
- FIRE PROTECTION:** SAN RAMON VALLEY FIRE PROTECTION DISTRICT
- SEWAGE DISPOSAL:** CENTRAL CONTRA COSTA SANITATION DISTRICT
- STORM DRAIN:** CONTRA COSTA FLOOD CONTROL DISTRICT
- GAS & ELECTRIC:** PACIFIC GAS & ELECTRIC
- TELEPHONE:** AT&T
- CABLE TELEVISION:** COMCAST

PANTOS/BOTELHO
(2012-234250)
APN: 196-020-006

SCOTT
(2009-254579)
APN: 196-020-004

PARCEL A
87,164 SF
(2.00 AC)

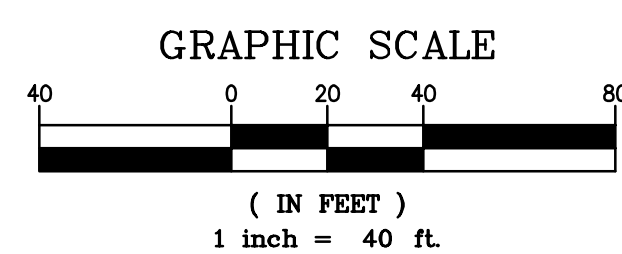
PARCEL B
80,458 SF
(1.85 AC)

CHEN
(2024-011742)
APN: 196-042-005

ABBEY
(2021-252552)
APN: 196-042-002

MOLINARO
(1996-027805)
APN: 196-050-009

10' S.S.E.
(86-022060)



SMITH ROAD

APPROVAL REQUIRED FROM FIRE DISTRICT (SRVFPD) FOR ANY FUTURE ACCESS DRIVE. TO BE PROVIDED PRIOR TO BUILDING PERMIT.

ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

VESTING TENTATIVE
PARCEL MAP

2717 STONE VALLEY ROAD

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

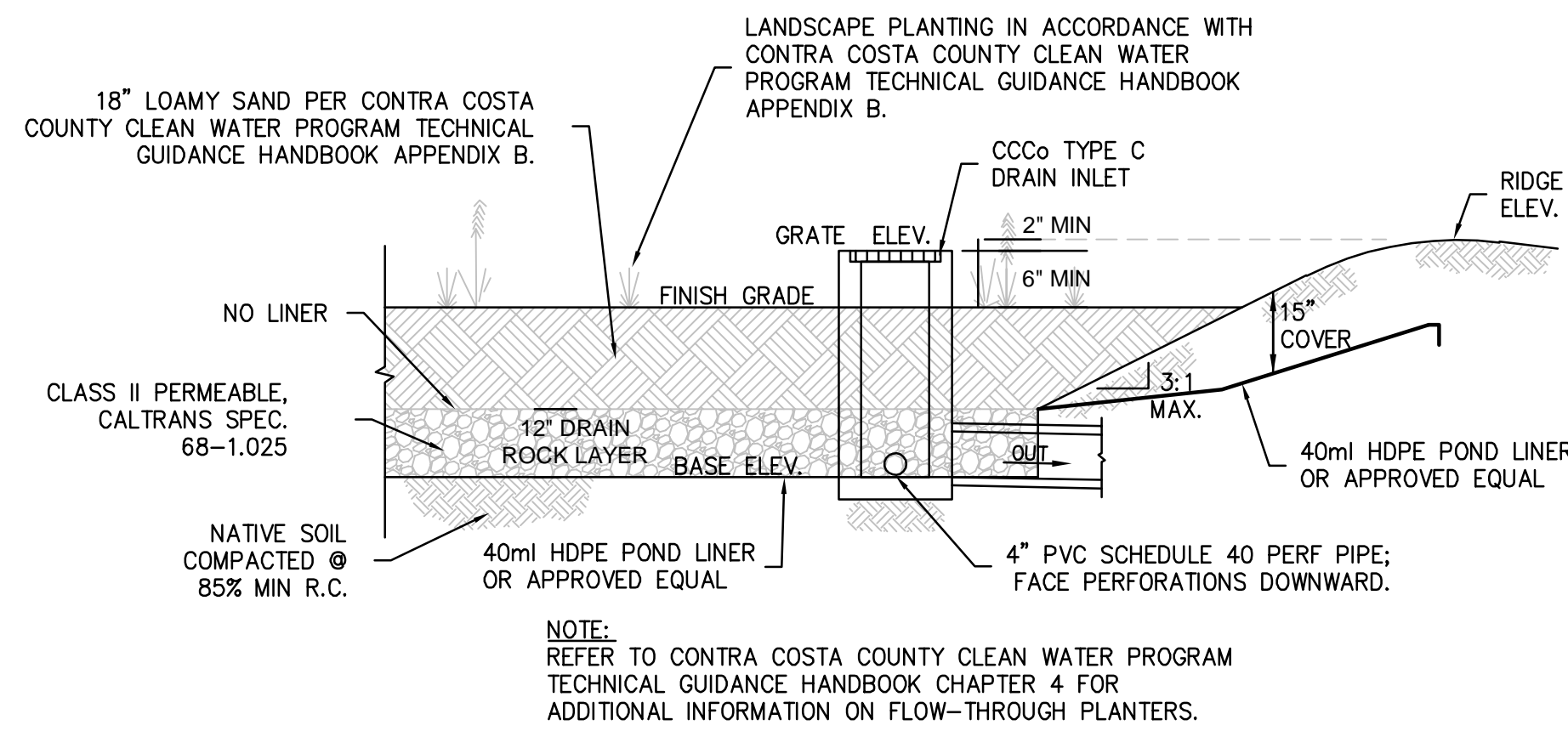
EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 07/29/24
Scale: 1" = 40'
By: EM
Job No.: 23220



FLOW THROUGH PLANTER (IMP #1)
N.T.S.

Project Name: 2717 Stone Valley Rd
 Project Type: Treatment Only
 APN: 196-020-005
 Drainage Area: 167,965
 Mean Annual Precipitation: 20.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA5	70,490.0

II. Self-Retaining Areas

Self-Retaining DMA	
DMA Name	Area (sq ft)
DMA2	79,230

III. Areas Draining to Self-Retaining Areas

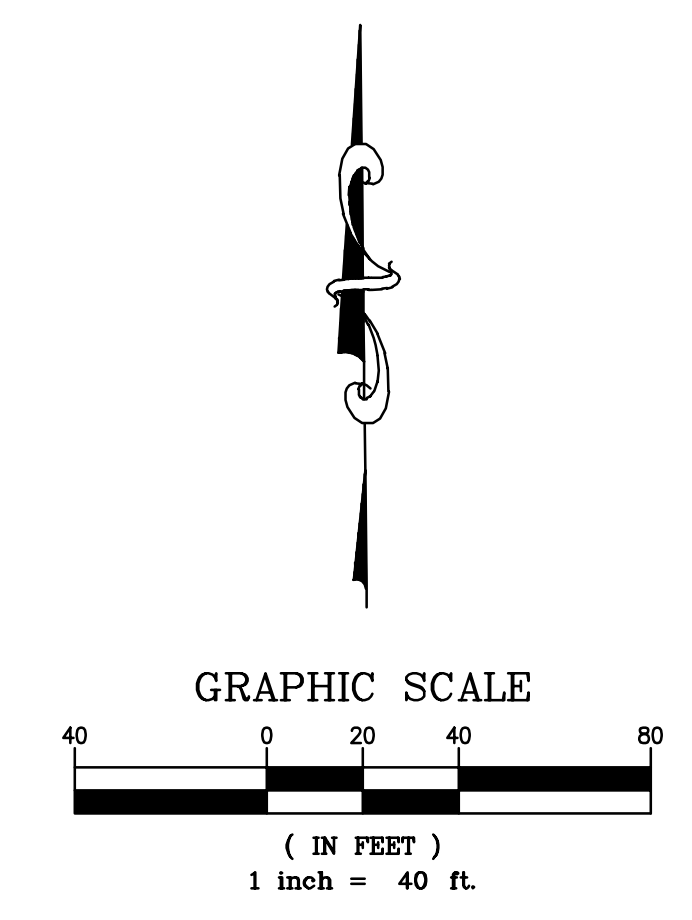
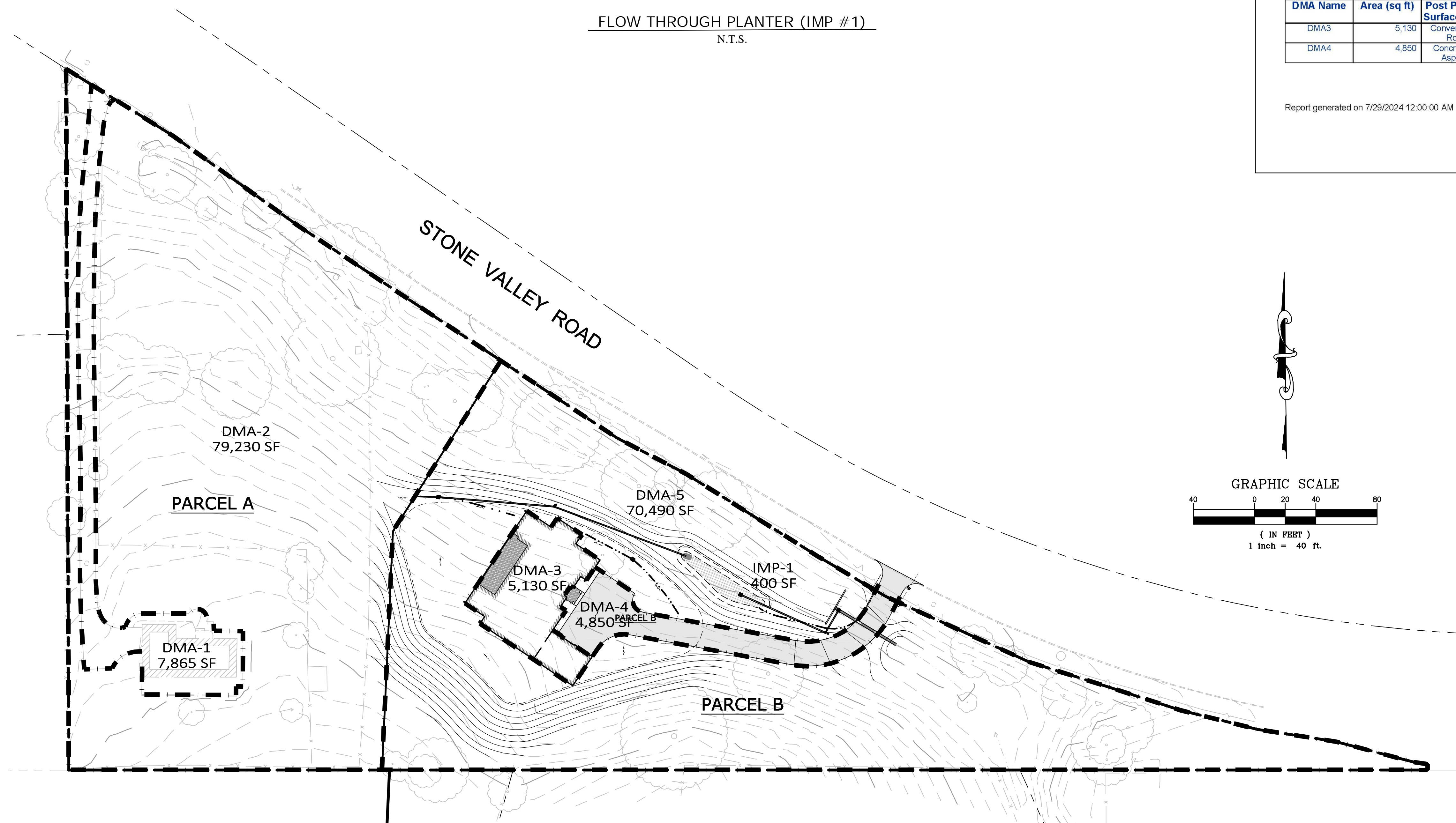
DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self-Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
DMA1	7,865	Conventional Roof	1.0	7,865.0	DMA2	79,230	0.10

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Bioretention Facility
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA3	5,130	Conventional Roof	1.00	5,130	Total	0.040	1.000	399	400
DMA4	4,850	Concrete or Asphalt	1.00	4,850					
Total				9,980					
Area					0.040	1.000	399	400	

Report generated on 7/29/2024 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

PRELIMINARY STORM
WATER CONTROL PLAN

2717 STONE VALLEY ROAD

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583
 RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
 480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 07/29/24
 Scale: 1" = 40'
 By: EM
 Job No.: 23220



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2624

Agenda Date: 6/23/2026

Agenda #: 8.

Advisory Board: Alamo Municipal Advisory Council
Subject: CDMS23-00001 - 1260 Livorna Road, Alamo
Contact: Diana Lecca, Department of Conservation and Development

Information:

Applicant: Arnerich Newell
Property Owner: Steven P. Jr. Tre Nelson
Project Location: 1260 Livorna Road, Alamo, CA 94507
Assessor's Parcel Number (APN): 187-330-006
Zoning District: R-20 (Single Family Residential)
General Plan Designation: SL / Residential Low Density

Project Description

The applicant requests approval of a Tentative Parcel Map to subdivide an existing 2.48-acre parcel located at 1260 Livorna Road in Alamo into three residential parcels. The proposed subdivision would create Parcel A (41,650 square feet), Parcel B (31,539 square feet), and Parcel C (26,951 square feet). The site is currently developed with a single-family residence and is zoned R-20 (Single Family Residential).

The project also includes the removal of four Code-Protected Oak Trees and dripline encroachment into two additional protected trees. Tree work associated with Parcel A has previously been addressed under a separate entitlement. The proposed lots would continue to be used for single-family residential purposes and would be served by existing utility providers, including PG&E, East Bay Municipal Utility District, and Central Contra Costa Sanitary District.

Subdivision Details

- Parcel A: 41,650 square feet
- Parcel B: 31,539 square feet
- Parcel C: 26,951 square feet
- Total Site Area: 108,056 square feet (2.48 acres)
- Average Parcel Size: Approximately 36,019 square feet (0.82 acres)

Site Characteristics

The subject property is designated for residential use and is located within an established single-family neighborhood along Livorna Road. The site is outside identified flood hazard areas and is served by existing public infrastructure and utilities. Surrounding properties are primarily developed with single-family residences consistent with the General Plan and zoning designation.

Public Notification

As part of the County's review process, notice of the project and the applicable public hearing was distributed to surrounding property owners and interested parties in accordance with County requirements.



Planning Application Summary

County File Number: CDMS23-00001

File Date: 2/8/2023

Applicant:

ARNERICH NEWELL

Property Owner:

STEVEN P JR TRE NELSON

Project Description:

Applicant requests approval of a tentative parcel map for the subdivision of a 2.48-acre parcel into a 41,650-square-foot Parcel "A", a 31,539-square-foot Parcel "B", and a 26,951-square-foot Parcel "C". This includes the removal of 4 Code Protected Oak Trees, and dripline encroachment of 2 additional trees. Tree work on Parcel "A" has already been addressed under a separate entitlement.

Project Location: (Address: 1260 LIVORNA RD, ALAMO, CA 945071241), (APN: 187330006)

General Plan Designation(s): SL

Zoning District(s): R-20

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
MSS0034	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			7662.00	7662.00

30 Muir Road, Martinez, CA 94553
925-655-2700
ContraCosta.ca.gov/dcd

Orthophotography



Map Legend

- Assessment Parcels
- Planning**
- Unincorporated
- Board of Supervisors' Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984

Credits: Contra Costa County Department of Conservation and Development, Microsoft, Vantor

Zoning R-20



Map Legend

	Assessment Parcels
	Planning Zoning
ZONE_OVER	
	R-20 (Single Family Residential)
	R-40 (Single Family Residential)
	P-1 (Planned Unit)
	Unincorporated
	Board of Supervisors' Districts

This map is a user generated static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

COMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984

Credits: Contra Costa County Department of Conservation and Development, Microsoft, Vantor

RANCHO SAN RAMON
N 1/2 SEC 12 T1S R 2W MDB&M

- 1-117 PM 7 7-10-85
- 2-122 PM 8 4-8-86
- 3-134 PM 45 8-2-88
- 4-136 PM 25 10-25-88
- 5-139 PM 16 4-7-89
- 6-149 PM 30 11-8-90
- 7-183 PM 38 4-25-02

RANCHO SAN RAMON



Project Site

P.B. 192

18

17

20

330

64-35

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79

330

11/8/79



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2878

Agenda Date: 7/7/2026

Agenda #: 9.

Advisory Board: Alamo Municipal Advisory Council
Subject: 3196 Danville Blvd., Alamo

Information:

3196 Danville Blvd is one of the most recognizable, legacy landmarks in downtown Alamo. The site is structurally split into two primary components that reflect different eras of its history:

- Originally constructed in **1925** (with an effective county upgrade date of 1942), this smaller structure serves as a visible storefront right on Danville Boulevard. It has long been occupied by a staple community tenant, **Alamo Shoe Repair**.
- Situated behind the retail shop, this large, corrugated metal-truss barrel barn features distinctive roll-up doors and served as the primary operational hub for the property's main historic tenant.

Alamo Hay & Grain Co.

The defining chapter of this property's history belongs to the Alamo Hay & Grain Co., which operated out of the drive-through barn starting in 1962.

- For decades, it was a multi-generational town fixture where local residents bought agricultural supplies, pet food, and live livestock (such as baby chicks). It served as a bridge to the San Ramon Valley's rich agricultural past.
- The most famous element of the property is the iconic fiberglass pinkish-brown horse statue permanently mounted to the roof peak of the front building. Over the years, the horse became an informal town mascot and navigational landmark for the intersection of Danville Blvd and Stone Valley Road.

This matter is brought before the Alamo MAC for informational purposes only; the Council is not evaluating a property purchase. The discussion is focused exclusively on potential land-use or zoning implications for the former post office facility following a private sale.

Referral History and Update:

Recommendation(s)/Next Step(s):



CONTRA COSTA COUNTY

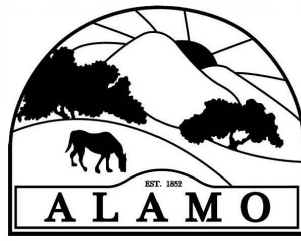
1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2879

Agenda Date: 7/7/2026

Agenda #: 10.



AGENDA
Tuesday, May 5, 2026
6:00 p.m.
Alamo Women's Club
1401 Danville Blvd., Alamo

Call to Order – Pledge of Allegiance – Roll Call

Peter Waldron Absent, Vice Chair Sharon Burke Absent

District II Board of Supervisors Staff

- Zone 45 Update
- Alamo Oaks Tree Replacement
- County Budget

Public Comment

- Derene Allen
- Ross Hillesheim

Presentations

- Judith Silver, Recycle Smart
- Kristen Connelly, Registrar of Voters

CDLP26-02007 – 3188 Danville Blvd., Alamo

- Mike Gibson, AIA
- Aaron Hamilton, Project Applicant
- Comments on landscaping, brightness of signage, colors.
- Motion by Member Brannan, second by Member Mesic. Unanimous approval.

Subcommittee Reports

- AOB/Roundabout – what would it take to have Alamo residents plant seasonal flowers
- Schedule Tree Subcommittee Meeting when Sharon arrives back home

Unanimous approval of April 2026 Notes and Records of Action

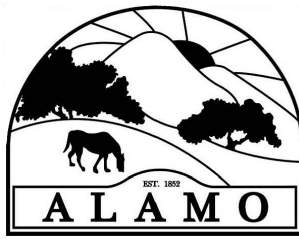
Old Business

Subcommittee Reports (20 minutes)

- Alamo Subcommittee for Schools: Straznicka, Parkinson
- Alamo AOB/Roundabout: Struthers, Burke
- Land Use Planning Subcommittee: Brannan, Burke
- Iron Horse Corridor Subcommittee: Struthers
- Parks and Recreation Subcommittee: Struthers, Parkinson, Sene
- Public Safety (Police P-2, Fire, Emergency): Brannan, Straznicka
- Trees and Landscape Subcommittee: Burke, Parkinson

Review and Approve April 2026 Record of Actions

Future Presentations



AGENDA
Tuesday, May 5, 2026
6:00 p.m.
Alamo Women's Club
1401 Danville Blvd., Alamo

Call to Order – Pledge of Allegiance – Roll Call

Waldron, Parkinson, Sene, Brannan and Youth Representative Absent

District II Board of Supervisors Staff

Public Comment

Presentations

- Animal Services

100 Summit Ranch Road, Alamo

- Motion to recommend approval. Unanimous approval.

0 Camille Avenue, Alamo

- Shannon Jones, Applicant/Owner
- County requires a variance of anything over 7 feet
- Neighbor, upset about the construction sites. Complaining about rats, rattlesnakes
- Motion by Member Struthers, second by Member Burke. Unanimous approval.

Old Business

Subcommittee Reports (20 minutes)

- Parks and Recreation: Sene, Mesic, Parkinson
- Public Safety (Police P-2, Fire, Emergency): Brannan
- Iron Horse Corridor: Struthers, Straznicka
- Schools: Parkinson, Waldron
- Alamo AOB/Roundabout: Struthers, Sene
- Land Use Planning: Brannan, Burke, Waldron
- Trees and Landscape: Burke, Mesic

Add the little red building to the next agenda. The Alamo MAC would like to move it if the building is purchased.

Review and Approve April 2026 Record of Actions

Future Presentations



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2880

Agenda Date: 7/7/2026

Agenda #: 11.

Advisory Board: Alamo Municipal Advisory Council
Subject: Subcommittee Reports

Information:

Subcommittee Reports *(20 minutes)*

- Parks and Recreation: Sene, Mesic, Parkinson
- Public Safety (Police P-2, Fire, Emergency): Brannan
- Iron Horse Corridor: Struthers, Straznicka
- Alamo Subcommittee for Schools: Parkinson, Waldron
- Alamo AOB/Roundabout: Struthers, Sene
- Land Use Planning: Brannan, Burke, Waldron
- Trees and Landscape: Burke, Mesic