



# CONTRA COSTA COUNTY

## AGENDA

### Bethel Island Municipal Advisory Council

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Tuesday, January 14, 2025

6:00 PM

Scout Hall, 3090 Ranch Lane, Bethel  
Island, CA 94511

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1. Roll Call and Introductions
2. Pledge of Allegiance
3. Approval of Agenda
4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers are limited to three minutes).
5. Agency Reports
  - a. **Contra Costa County Office of the Sheriff**  
**Contra Costa Fire Protection District**  
**Contra Costa County Supervisor Diane Burgis**
6. Consent Items

APPROVE Record of Actions - November 12, 2024 [25-158](#)

**Attachments:** [MeetingMinutes\\_12-Nov-2024](#)
7. Discussion Items
  - a. CONSIDER Agency Comment Request CDVR24-01060 where the applicant requests a variance application to allow for a new oversized detached garage of 750 sq ft (where 600 sq ft is the maximum size) and to allow a 15'-5' height (where 15 feet is the maximum height). The project also includes a small lot design review for the garage for substandard average width (50 feet where 60 feet is required). (Code enforcement CECF24-0403). [25-159](#)

**Attachments:** [CDVR24-01060 ACR](#)

- b. CONSIDER Agency Comment Request CDDP25-03001 where the applicant requests a Development Plan modification to modify the Delta Coves final development plan (County File #DP82-03024) for Parcel E units to reduce the front setback from 20 ft. to 18 ft. to allow for in-tract off street parking and landscape, see project description in documents for specific units. The proposed development for subdivision was previously approved and modified under planning file CDDP20-03007 (x-ref: CDDP14-0328). [25-160](#)  
**Attachments:** [CDDP25-03001\\_Agency Comment Request Packet \(1\)](#)
  
  - c. CONSIDER Agency Comment Request CDDP24-03058 where the applicant requests approval of a Development Plan application to modify #DP86-2020 (boat storage facility) to construct a 2-unit building as the harbormaster quarters. [25-161](#)  
**Attachments:** [Agency Comment Request packet\\_CDDP24-03058 \(1\)](#)
  
  - d. RECEIVE Updates from Bethel Island MAC Chair [25-162](#)  
**Attachments:** [Bethel Island MAC Sphere of Influence \(SOI\) Map \(1\)](#)  
[Bethel Island MAC Sphere of Influence \(SOI\) Map \(2\)](#)
  
  - e. **DISCUSS Increasing Participation at Monthly MAC Meetings**
8. Committee Reports/Member Reports
- a. **Code Enforcement**  
**Bethel Island Chamber of Commerce**  
**Bethel Island Municipal Improvement District**  
**Bethel Island Post Office**  
**Park Committee**  
**San Joaquin Yacht Club**  
**Scout Hall**  
**Citizen's Fire Committee**  
**Heart Safe Communities Program**  
**Emergency Preparedness Committee**
9. Correspondence/Announcements
10. Future Agenda Items
11. Adjourn

The next meeting is currently scheduled for February 11, 2025.

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 3361 Walnut Blvd Suite 140, Brentwood, CA 94513, during normal business hours. Staff reports related to items on the agenda are also accessible online at [www.contracosta.ca.gov](http://www.contracosta.ca.gov). If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Stephen Griswold, Deputy Chief of Staff, (926) 655-2330.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-158

**Agenda Date:** 1/14/2025

**Agenda #:**

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Choose an item.

Meeting Date: 1/14/25

Subject: January 2025 Correspondence

Submitted For: BIMAC

**Recommendation(s)/Next Step(s):**

APPROVE Record of Actions - November 12, 2024



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553



## Meeting Minutes

**Tuesday, November 12, 2024**

**6:00 PM**

**Scout Hall, 3090 Ranch Lane, Bethel Island, CA 94511**

**Bethel Island Municipal Advisory Council**

1. Roll Call and Introductions

**Present** Pam Allen, Belinda Bittner, Bob Brunham, Phil Kammerer, and Mark Whitlock

2. Pledge of Allegiance

3. Approval of Agenda

**A motion was made by Bittner, seconded by Allen, that this was approved. The motion carried by the following vote:**

**Motion:** Bittner  
**Second:** Allen  
**Aye:** Allen, Bittner, Brunham, Kammerer, and Whitlock  
**Result:** Passed

4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers are limited to three minutes).

Alyssa - Spoke regarding the shooting that occurred and her concerns regarding information sharing in critical incidents.  
Lori Castillo - Spoke regarding her requests for updates on Measure X funding, weeds on Bethel Island Road medians, and flood control concerns on Stone Rd.

5. Agency Reports

- a. **Contra Costa Office of the Sheriff**  
**Contra Costa Fire Protection District**  
**Contra Costa County Supervisor Diane Burgis**

**Contra Costa Office of the Sheriff** - Lt Jacquez provided a monthly activity report, highlighted the shooting that had occurred on the island and also talked about the upcoming citizens academy.  
**Contra Costa Fire Protection District** - No Report.  
**Contra Costa County Supervisor Diane Burgis** - Stephen Griswold updated on the winter preparedness town hall with public works as well as discussion on illegal dumping signs on the island.

6. Consent Items

[24-3613](#)

**Attachments:** [MeetingMinutes25-Oct-2024-11-27-07](#)

**A motion was made by Bittner, seconded by Kammerer, that this Discussion Item was approved.. The motion carried by the following vote:**

**Motion:** Bittner  
**Second:** Kammerer  
**Aye:** Allen, Bittner, Brunham, Kammerer, and Whitlock  
**Result:** Passed

7. Discussion Items

a. RECEIVE update from Contra Costa County Animal Services (CCAS)

**Presentation was made by Capt. Jane Andreotti of Contra Costa Animal Services. She updated on department initiatives and heard feedback from residents on areas of concern. CCAS and the supervisor's office will work to schedule and animal services event in Bethel Island in the first quarter of 2025.**

b. SELECT Bethel Island MAC 2025 Chair and Vice-Chair

A motion was made by Bittner, seconded by Allen, that Mark Whitlock serve as the 2025 chair and was approved. A further motion was made by Bittner, seconded by Kammerer that Pam Allen serve as the 2025 Vice-Chair and was approved. Both motions carried by the following vote:

**Motion:** Bittner  
**Second:** Allen  
**Aye:** Allen, Bittner, Brunham, Kammerer, and Whitlock  
**Result:** Passed

[24-3614](#)

**Attachments:** [2024 Annual Report Bethel Island MAC](#)

A motion was made by Bittner, seconded by Whitlock, that this Discussion Item was adopted. The motion carried by the following vote:

**Motion:** Bittner  
**Second:** Whitlock  
**Aye:** Allen, Bittner, Brunham, Kammerer, and Whitlock  
**Result:** Passed

8. Committee Reports/Member Reports

- a. **Code Enforcement**  
**Bethel Island Chamber of Commerce**  
**Bethel Island Municipal Improvement District**  
**Bethel Island Post Office**  
**Park Committee**  
**San Joaquin Yacht Club**  
**Scout Hall**  
**Citizens' Fire Committee**  
**Heart Safe Communities Program**  
**Emergency Preparedness Committee**

**Code Enforcement** - An update was provided on why the monthly code enforcement meetings no longer are held but information on how to make reports of code concerns was shared.

**Bethel Island Chamber of Commerce** - Discussion occurred regarding the chamber's desire to hang banners from street poles on the island. Other recent activities were shared.

**Bethel Island Municipal Improvement District** - Lisa Kirk provided an update on drainage ditches being planned for Stone Rd in conjunction with Public Works and Delta Coves.

**Bethel Island Post Office** - No Update.

**Park Committee** - Update on the news boats in the park was provided.

**San Joaquin Yacht Club** - Upcoming Boat Parade event information was shared.

**Scout Hall** - Building updates were provided by Mark Whitlock along with other areas of need for 2025.

**Citizens' Fire Committee** - Mark Whitlock highlighted the importance of FireWise communities.

**Heart Safe Communities Program** - Mark Whitlock updated that all the AEDs on the island are updated and good to go.

**Emergency Preparedness Committee** - Mark Whitlock updated on Island evacuation plan and CWS.

9. Correspondence/Announcements

a.

[24-3615](#)

**Attachments:**      [BIMAC November Correspondence](#)

**Correspondence was received.**

10. Future Agenda Items

**Requests were made for the following:**

- **Discussion with Sydney and the Health & Safety Fair.**
- **Efforts to increase public participation at monthly MAC meetings.**
- **Discuss the placement of a potential new sign at the park.**
- **Discussion around FireWise Communities.**

11. Adjourn

**Meeting was adjourned at 7:52 PM.**

The next meeting is currently scheduled for January 14, 2025.

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For Additional Information Contact: Stephen Griswold, (925) 655-2330.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-159

**Agenda Date:** 1/14/2025

**Agenda #:** a.

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Choose an item.

Meeting Date: 1/14/24

Subject: Agency Comment Request CDVR24-01060

Submitted For: BIMAC

**Recommendation(s)/Next Step(s):**

CONSIDER Agency Comment Request CDVR24-01060 where the applicant requests a variance application to allow for a new oversized detached garage of 750 sq ft (where 600 sq ft is the maximum size) and to allow a 15'-5' height (where 15 feet is the maximum height). The project also includes a small lot design review for the garage for substandard average width (50 feet where 60 feet is required). (Code enforcement CECF24-0403).





**Planning Application Summary**

**County File Number: CDVR24-01060**

**File Date: 12/19/2024**

**Applicant:**

GEORGE P JR TRE NAVARRO NAVARRO      gnavarropj@gmail.com  
 GEORGE P JR TRE                              (650) 333-3933  
 5936 JENNY LIND CT  
 SAN JOSE, CA 951201789

**Property Owner:**

GEORGE P JR TRE NAVARRO                      gnavarropj@gmail.com  
 5936 JENNY LIND CT                              (650) 333-3933  
 SAN JOSE, CA 951201789

**Project Description:**

The applicant requests a variance application to allow for a new oversized detached garage of 750 sq ft (where 600 sq ft is the maximum size) and to allow a 15'-5" height (where 15 feet is the maximum height). The project also includes a small lot design review for the garage for substandard average width (50 feet where 60 feet is required). (Code enforcement CECF24-0403)

**Project Location: (Address: 3565 WILLOW RD, BETHEL ISLAND, CA 945110447), (APN: 029100014)**

**Additional APNs:**

**General Plan Designation(s):** RLM

**Zoning District(s):** "F-1, -FH"

**Flood Hazard Areas:** AE

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:** Bethel Island MAC

**Sphere of Influence:**

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

**Housing Inventory Site:** NO

**Specific Plan:**

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
066A	Late Filing Penalty	002606-9660-REV-000-5B066A	1625.00	1625.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
VRS0044P	Zone Variance - PW	000651-9660-REV-000-6L0044	1000.00	1000.00
<b>Total:</b>			<b>5905.00</b>	<b>5905.00</b>



# Aerial



## Map Legend

- Assessment Parcels
- Planning Layers (DCD)
  - Unincorporated
  - Board of Supervisors' Districts
- Base Data
  - Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984



# General Plan - RLM



## Map Legend

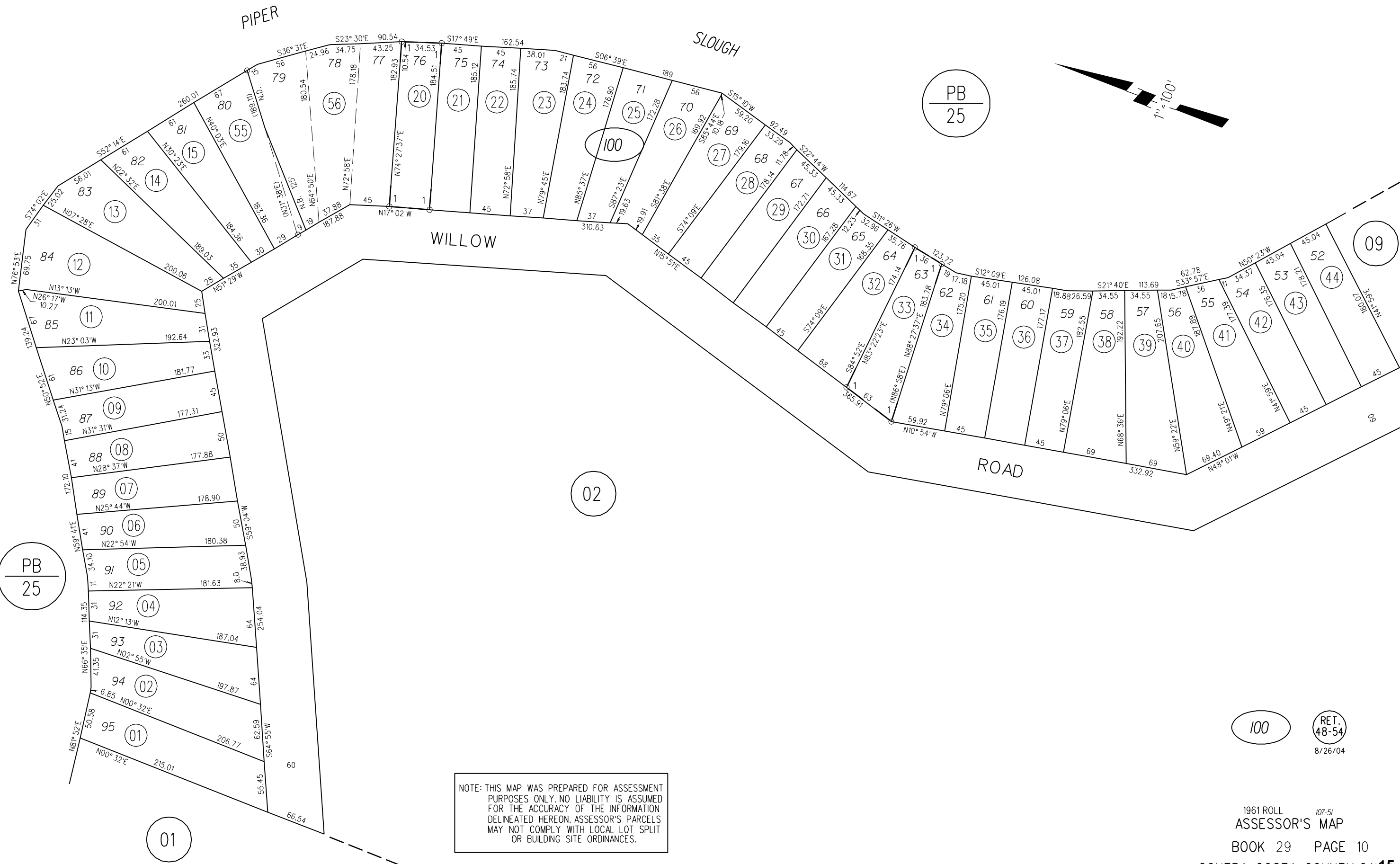
- Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
- RLM (Residential Low-Medium Density) (3-7 du/na)
- WA (Water)
- Unincorporated
- Board of Supervisors' Districts
- Base Data**
- Address Points

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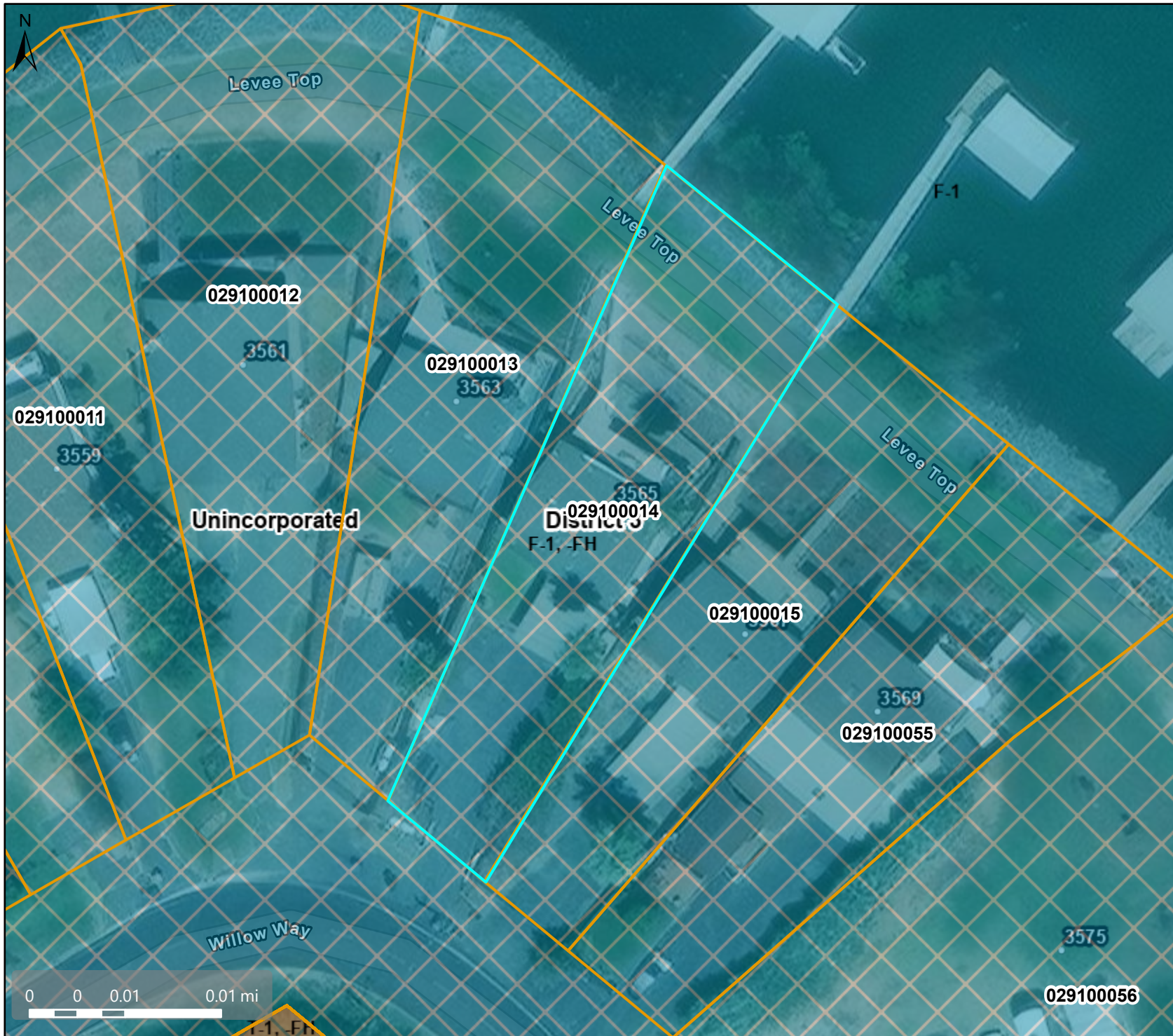
Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984



100  
RET. 48-54  
8/26/04



# Zoning - F-1, -FH



## Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE\_OVER**
- F-1 (Water Recreational)
- F-1 -FH (Flood Hazard Combining District)
- T-1 -FH (Flood Hazard Combining District)
- Unincorporated Board of Supervisors' Districts
- Base Data**
- Address Points

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 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984



# NAVARRO RESIDENCE

3565 WILLOW ROAD, BETHEL ISLAND, CA

HOMEOWNER: GEORGE AND CLAUDIA NAVARRO  
3565 WILLOW RD. BETHEL ISLAND 94511  
C 650.393.3493  
C 650.444.0126  
CLAU@COMCAST.NET

DESIGNER: JENNIFER D. BROWN  
JB DRAFTING & DESIGN  
925.992.3242  
JENBROWN@JBDRAFTINGDESIGN.COM  
P.O. BOX #2735, DUBLIN, CA 94566

APN: 0291000141  
OCCUPANCY TYPE: R-3/U  
CONSTRUCTION TYPE: VB  
FIRE SPRINKLERS: NO

SCOPE OF PROJECT: PERMIT PREVIOUSLY UNPERMITTED GARAGE

LOT COVERAGE & FLOOR AREA RATIO:	
LOT AREA	9250 SF
(E) RESIDENCE (LOWER FLOOR)	757 SF
(E) GARAGE/UTILITY	750 SF
TOTAL LOT COVERAGE (16%)	1507 SF

IMPERVIOUS SURFACES:	
LOT AREA	9250 SF
BLG FOOTPRINT	1507 SF
DRIVEWAY & WALKWAYS	2,624 SF
TOTAL SURFACE AREA (45%)	4,136 SF

INDEX:	
A1	GENERAL NOTES & SITE PLAN
A2	GARAGE FOUNDATION AND ELECTRICAL PLAN
1	COVER SHEET
2	ELEVATIONS
3	ANCHORAGE PLAN, REACTIONS AND NOTES
3B	ANCHORAGE TO AS-BUILT NOTES
4	COLUMN LAYOUT PLAN AND DETAILS
5	FRAME SECTION AND DETAILS
6	SIDEWALL FRAMING AND DETAILS
7	END WALL FRAMING AND DETAILS

**CODES AND GENERAL NOTES:**  
2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA ELECTRIC CODE  
2022 TITLE 24 ENERGY STANDARDS  
2022 CALIFORNIA GREEN BUILDING STANDARDS AND ANY OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.  
THE CALIFORNIA BUILDING STANDARDS CODE IS BASED ON 2021 IBC, 2021 UFG, AND 2021 NEC.  
PLANS MUST COMPLY WITH LOCAL SECURITY ORDINANCES & ALL LOCAL MUNICIPAL ORDINANCES AND ALL LOCAL BUILDING CODES.

ALL WOOD CONSTRUCTED SHALL BE #1 D.F. UNLESS OTHERWISE NOTED.  
ALL DIMENSIONS TO BE VERIFIED IN FIELD.  
EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENINGS 44" AFF.  
GRADING AND PAVING: SURFACE WATER SHALL BE MANAGED TO DRAIN AWAY FROM BUILDINGS.  
USE SPLASH BLOCKS OR OTHER DIVERTERS TO DIRECT STORM WATER INTO LANDSCAPING.  
STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION; STRAW WADDLES SURROUNDING AREA OF CONSTRUCTION SHALL BE APPLIED TO MANAGE STORM WATER AND DRAINAGE DURING CONSTRUCTION.

**DISCLAIMER:**  
DRAWINGS, NOTES, AND DIMENSIONS ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, BECOME THOROUGHLY FAMILIAR WITH THE WORK AND BRING ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL JOB CONDITIONS TO THE ATTENTION OF THE OWNER, THE OWNER'S REPRESENTATIVE OR THE DESIGNER AS APPROPRIATE. THE CONTRACTOR SHALL CORRELATE WORK BETWEEN ARCHITECTURAL DESIGN, SPECIFICATIONS AND CONSULTANT DRAWINGS. REPORT ALL DISCREPANCIES ENCOUNTERED TO THE OWNER, THE OWNER'S REPRESENTATIVE OR THE DESIGNER AS APPROPRIATE AND AWAIT SOLUTION OF ITEMS AFFECTED BEFORE PROCEEDING.

**RESIDENTIAL MANDATORY MEASURES:**

BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.  
STORM WATER DRAINAGE AND RETENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION.  
SURFACE WATER SHALL BE MANAGED TO DRAIN AWAY FROM BUILDING.  
PLUMBING FIXTURES AND FITTINGS INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4303.1 THROUGH 4303.1.4.4.  
SINGLE SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 1.8 GPM AT 80 PSI.  
SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.  
THE MAX FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60 PSI.  
THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI.  
THE MAX FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI.  
AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.  
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.  
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:  
1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR  
2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR  
3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3; OR  
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4.  
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.  
DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.  
ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.  
PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.  
AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.  
DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.  
ALL CARPET SHALL MEET THE TESTING AND PROJECT REQUIREMENTS PER SEC. 4504.3. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4504.1.  
AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE REQUIREMENTS PER SEC. 4504.4.  
HARDWOOD FLYNCOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER TABLE 4504.5.  
VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.  
MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.  
BATHROOM EXHAUST FANS SHALL BE ENERGY STAR DUCTED TO OUTSIDE, UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. BATHROOM EXHAUST FANS MUST BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY RANGE OF 50%-80%.  
DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:  
1. ESTABLISH HEAT LOSS AND HEAT IN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQ.  
2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQ.  
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQ.  
HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.  
SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.  
VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL PERFORMANCE.

**TYPICAL ELECTRICAL NOTES:**

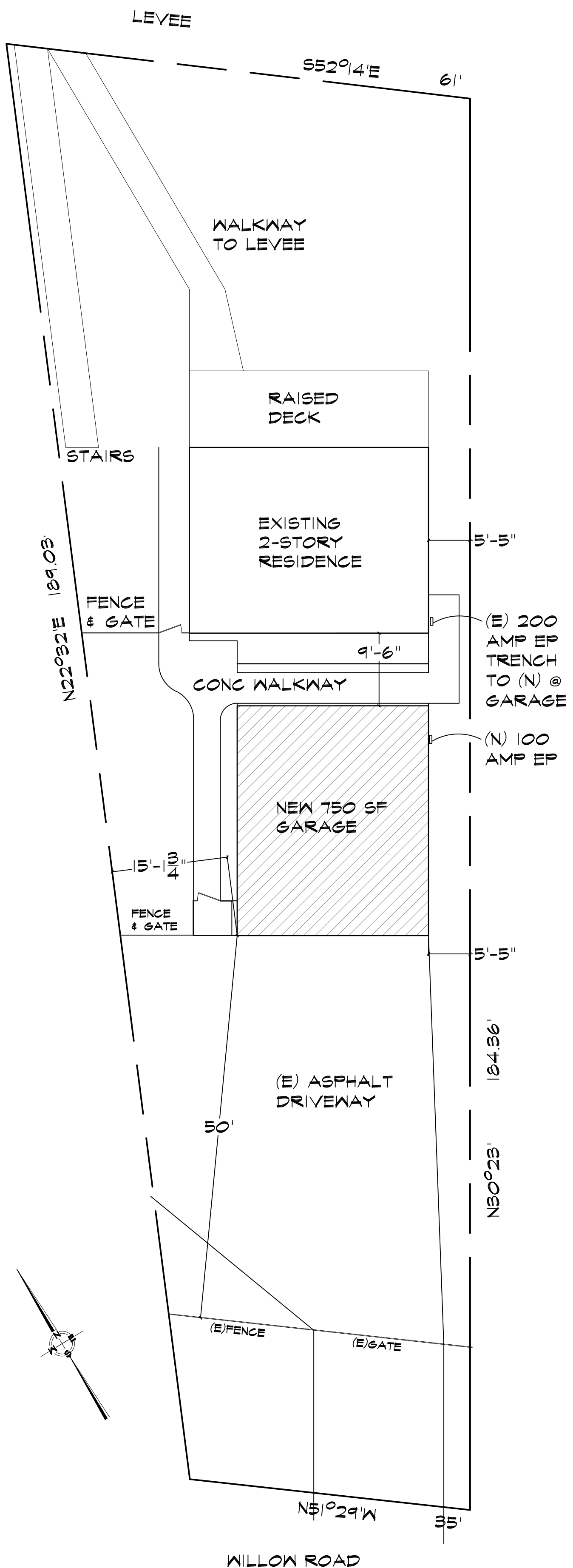
ALL LIGHTING SHALL BE HIGH EFFICACY.  
ALL LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION AND AUTOMATICALLY TURNS OFF WITHIN 30 MINS AFTER THE ROOM IS VACATED, EXCEPT THAT BATHROOMS, LAUNDRY ROOM, GARAGES AND UTILITY ROOMS SHALL HAVE ON LIGHT FIXTURE CONTROLLED BY A VACANCY SENSOR. ALL OTHER LIGHTING IN THESE ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR OR A DIMMER SWITCH. ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JAB-2016. SCREW BASE BULBS ARE PERMITTED, EXCEPT IN RECESSED LIGHTING FIXTURES.  
EXTERIOR LIGHTING AFFIXED TO THE RESIDENCE SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH. WATER/WEATHER PROOF & SHALL BE HIGH EFFICACY IN ADDITION TO INCLUDE ONE OF THE FOLLOWING:  
A. PHOTOCELL & MOTION SENSOR, OR  
B. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL, OR  
C. ASTRONOMICAL TIME CLOCK CONTROL, OR  
D. ENERGY MANAGEMENT CONTROL SYSTEM.  
LUMINARIES THAT ARE TO BE RECESSED INTO INSULATED CEILING SHALL BE IC-RATED, AIR-TIGHT, SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING. SHALL NOT CONTAIN A SCREW BASE SOCKET AND CONTAIN BULBS MARKED WITH JAB-2016-E EFFICIENCY LABEL. RECESSED LUMINARIES SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSOR. RECESSED LUMINARIES SHALL COMPLY WITH THE REFERENCE JOINT APPENDIX JAB AND SHALL NOT CONTAIN SCREW BASE SOCKETS IN ADDITION TO BEING CONTROLLED BY A DIMMER SWITCH OR VACANCY SENSOR.  
ALL 125 VOLT 15 & 20 AMP RECEPTACLES SHALL BE TAMPER-RESISTANT RECEPTACLES.  
ELECTRICAL OUTLETS IN KITCHEN, LAUNDRY & BATH SHALL BE 15 AMP, 120V W/ DUAL FUNCTION SFCI (AFCI).  
ALL OUTLETS WITHIN 6' FEET OF A SINK SHALL HAVE GFCI PROTECTION.  
A 120-VOLT RECEPTACLE OUTLET REQUIRED AT WASHING MACHINE IN LAUNDRY AREA.  
A DEDICATED 20-AMP OUTLET IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION--WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.)

**TYPICAL PLUMBING NOTES:**

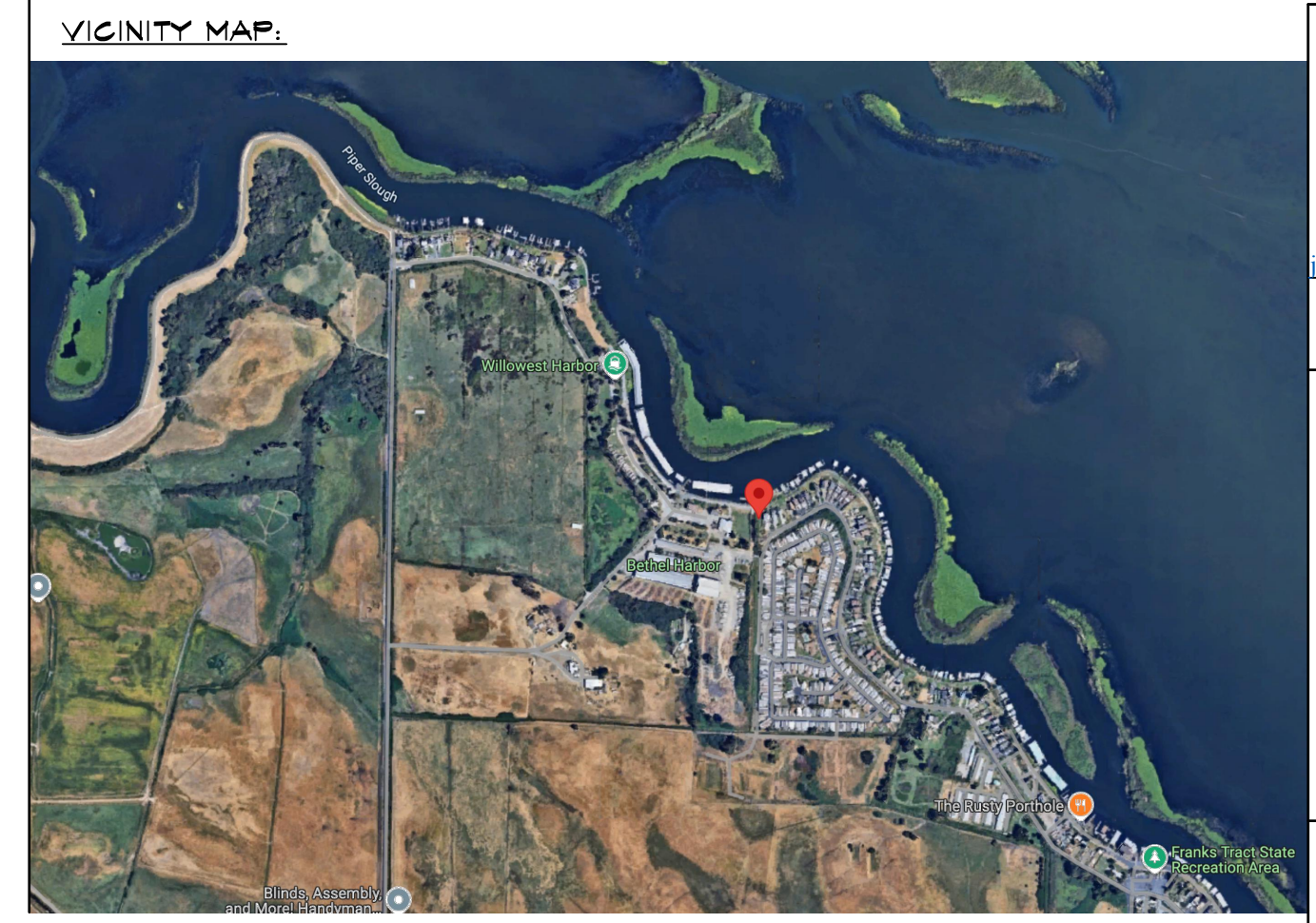
ALL NEW & EXISTING FIXTURES SHALL COMPLY WITH THE FOLLOWING: WATER CLOSETS: 1.2 GPF, MAX; SHOWERHEADS: 1.8 GPM, MAX @80 PSI; LAV. FAUCETS: 1.2 GPM, MAX @60 PSI; KITCHEN FAUCETS: 1.8 GPM, MAX @ 60 PSI. ANY NONCOMPLIANT PLUMBING FIXTURES THAT ARE NOT PART OF THE SCOPE OF WORK WILL BE REQUIRED TO COMPLY WITH THIS CODE SECTION.  
NEW OR RECONFIGURED SHOWER STALLS SHALL BE A MIN FINISHED INTERIOR OF 1024 SQ. IN. BE CAPABLE OF ENCOMPASSING A 30 IN DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 IN MIN.  
SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MIN OF 6 FT. ABOVE THE FLOOR.  
THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 IN ON CENTER) AND 24 INCHES IN FRONT.  
WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT.  
MIXED WATER TO SHOWERS, TUB-SHOWER COMBINATION SHALL BE LIMITED TO 120°F. PROVIDE WATER TEMPERING VALVE CONFORMING TO ASSE 101.6 FOR SHOWER, TUB-SHOWER COMBINATION.

**GRADING AND DRAINAGE NOTES:**

PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE.  
CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.  
FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY. FINISHED GROUND SLOPE WITHIN 5 FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY AT 5%. ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE GRADES SHALL HAVE A MINIMUM SLOPE OF 1% MAX ALLOWABLE GRADE SLOPE IS 3 HORIZONTAL FEET TO 1 VERTICAL (33%).  
LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORMWATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.  
NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND DIRECT RUNOFF TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.  
CONTRACTOR TO FIELD VERIFY EXISTING DRAINAGE. IF EXISTING DRAINAGE SYSTEM IS DAMAGED DURING EXCAVATION, CONTRACTOR SHALL REPAIR AND/OR REROUTE DRAINAGE SYSTEM AND CONNECT TO EXISTING DRAINAGE FACILITY AS NECESSARY.  
EXISTING IMPROVEMENTS THAT ARE DAMAGED BY THE PROJECT CONSTRUCTION SHALL BE REPAIRED OR REPLACED.  
WATER METER, WATER LINE PIPE AND GAS LINE PIPE SIZING CALCULATIONS ALONG WITH ONE-LINE ISOMETRIC DRAWINGS MAY BE REQUIRED BY THE FIELD INSPECTOR AND WILL BE PROVIDED BY THE CONTRACTOR. ALL PLAN REVIEW FEES WILL BE PAID AS REQUIRED BY PERMITTEE.  
PLUMBING DRAIN WASTE AND VENT/OR MECHANICAL DUCTING AND/OR ELECTRICAL WIRE DIAGRAMS OR DRAWINGS MAY BE REQUIRED BY THE FIELD INSPECTOR AND WILL BE PROVIDED BY THE CONTRACTOR UPON REQUEST. ALL PLAN REVIEW FEES WILL BE PAID AS REQUESTED BY THE PERMITTEE.  
ELECTRICAL LOAD CALCULATIONS SHALL BE PROVIDED BY THE CONTRACTOR UPON THE REQUEST OF THE FIELD BUILDING INSPECTOR. ALL PLAN REVIEW FEES WILL BE PAID AS REQUIRED BY THE PERMITTEE.



SITE PLAN  
1/8"=1'-0"



**RECEIVED** on 12/19/2024 **CDVR24-01060**  
By Contra Costa County  
Department of Conservation and Development

**jb drafting & design**  
P.O. Box 2735  
Dublin, CA 94568  
925-998-3898  
jenbrown@jbdraftingdesign.com

SIGNATURE: *Jennifer D. Brown*

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**REVISIONS:**

- △ N/A
- △ N/A
- △ N/A
- △ N/A
- △ N/A
- △ N/A

SHEET TITLE:  
**GENERAL NOTES & SITE PLAN**

JOB #241156

SCALE: AS NOTED

DRAWN BY: JDB

DATE: NOV 2024

SHEET NUMBER:  
**A1**



SIGNATURE

REVISIONS:

△	N/A
△	N/A
△	N/A
△	N/A
△	N/A
△	N/A

SHEET TITLE:  
**GARAGE FOUNDATION & ELECTRICAL PLAN**

JOB #241156  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JDB  
DATE: NOV 2024  
SHEET NUMBER:

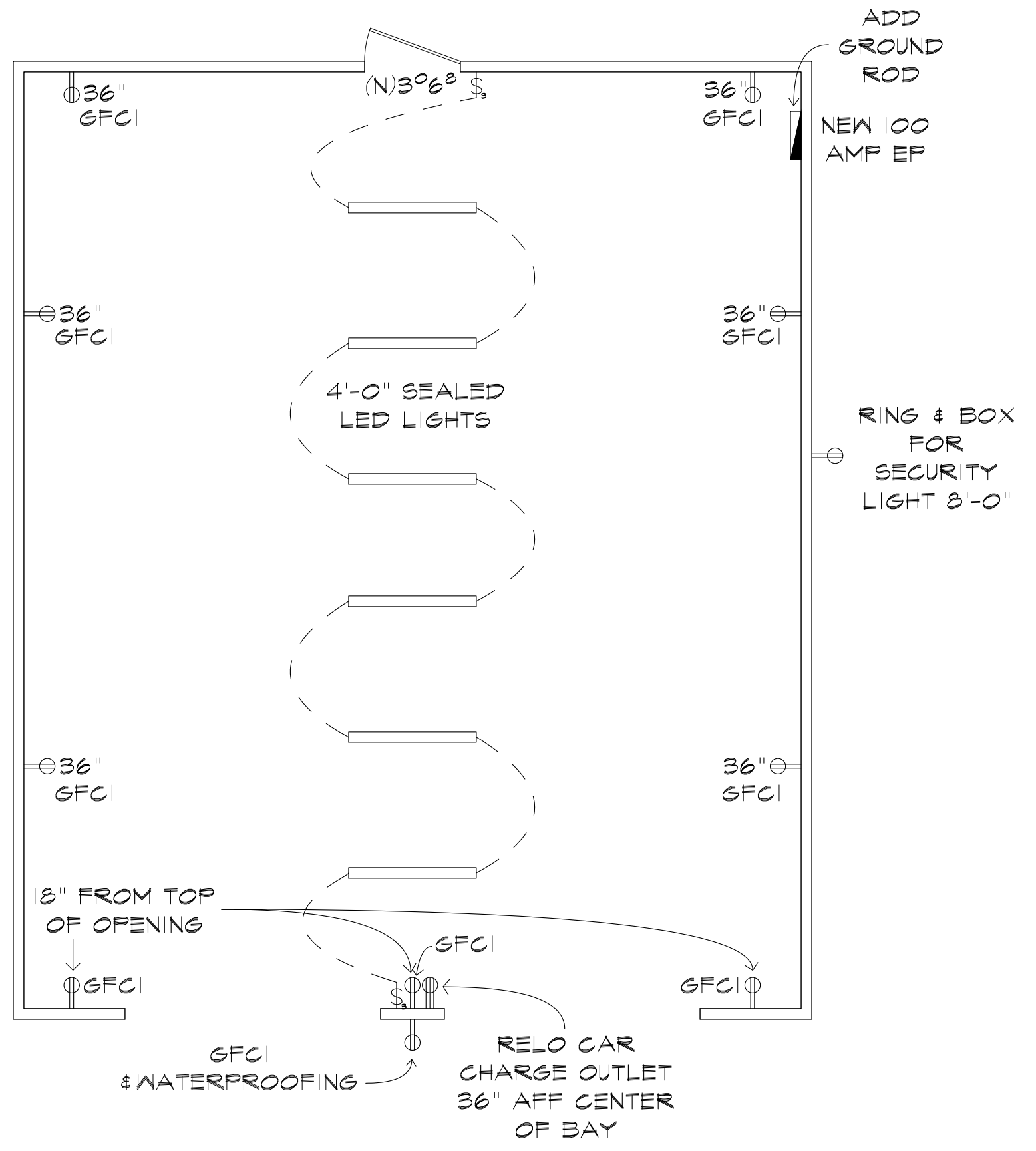
A2

**ELECTRICAL NOTES:**

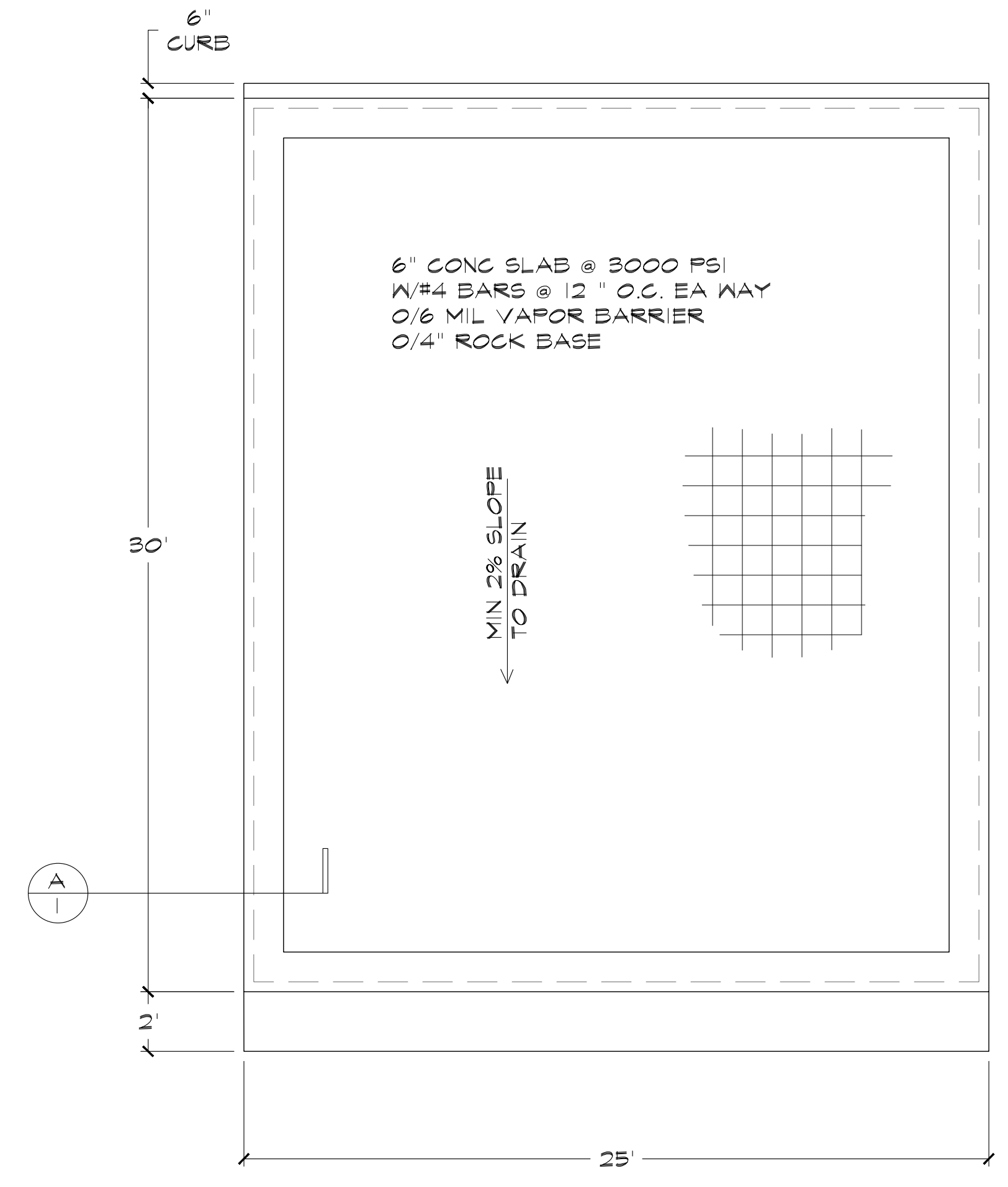
- ALL LIGHTING SHALL BE HIGH EFFICACY.
- ALL LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION AND AUTOMATICALLY TURNS OFF WITHIN 30 MINS AFTER THE ROOM IS VACATED. EXCEPT THAT BATHROOMS, LAUNDRY ROOM, GARAGES AND UTILITY ROOMS SHALL HAVE ONE LIGHT FIXTURE CONTROLLED BY A VACANCY SENSOR OR A DIMMER SWITCH.
- ALL LIGHT FIXTURES SHALL CONTAIN BULBS THAT ARE LABELED AS JAS-2016. SCREW BASE BULBS ARE PERMITTED, EXCEPT IN RECESSED LIGHTING FIXTURES.
- EXTERIOR LIGHTING AFFIXED TO THE RESIDENCE SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH, WATER/WEATHER PROOF & SHALL BE HIGH EFFICACY IN ADDITION TO INCLUDE ONE OF THE FOLLOWING: A. PHOTOCELL & MOTION SENSOR B. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL C. ASTRONOMICAL TIME CLOCK CONTROL D. ENERGY MANAGEMENT CONTROL SYSTEM
- LUMINARIES THAT ARE TO BE RECESSED INTO INSULATED CEILING SHALL BE IC-RATED, AIR-TIGHT, SEALED/CAULKED BETWEEN THE FIXTURE HOUSING AND CEILING, SHALL NOT CONTAIN A SCREW BASE SOCKET AND CONTAIN BULBS MARKED WITH JAS-2016-E EFFICIENCY LABEL. RECESSED LUMINARIES SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSOR. RECESSED LUMINARIES SHALL COMPLY WITH THE REFERENCE JOINT APPENDIX JAS AND SHALL NOT CONTAIN SCREW BASE SOCKETS IN ADDITION TO BEING CONTROLLED BY A DIMMER SWITCH OR VACANCY SENSOR.
- ALL 125 VOLT 15 & 20 AMP RECEPTACLES SHALL BE TAMPER-RESISTANT RECEPTACLES.
- ELECTRICAL OUTLETS IN KITCHEN, LAUNDRY & BATH SHALL BE 15 AMP, 120V W/ DUAL FUNCTION GFCI & AFCI.
- ALL OUTLETS WITHIN 6' FEET OF A SINK SHALL HAVE GFCI PROTECTION.
- A 120-VOLT RECEPTACLE OUTLET REQUIRED AT WASHING MACHINE IN LAUNDRY AREA.
- A DEDICATED 20-AMP OUTLET IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION--WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.)
- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP.
- AT LEAST 2 OR MORE 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED AT THE KITCHEN.
- ALL BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN BEDROOM AND SIMILAR ROOMS/SPACES SHALL HAVE A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.
- BATHROOM EXHAUST FAN SHALL BE RATED FOR MIN 50 CFM AND KITCHEN EXHAUST FAN TO BE RATED FOR MIN 100 CFM.
- THE FOLLOWING COMPONENTS SHALL BE PROVIDED FOR THE WATER HEATING SYSTEM:
  - A. A DEDICATED 125-VOLT 20-AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240-VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT WITHIN 3' FROM THE WATER HEATER ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS. IN ADDITION ALL OF THE FOLLOWING:
    - BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED; AND
    - A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AND LABELED WITH THE WORDS "FUTURE 240V USE"
  - B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED.
  - C. A CONDENSATE DRAIN THAT IS NO MORE THAN 2" HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE
  - D. A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR.

**ELECTRICAL KEY:**

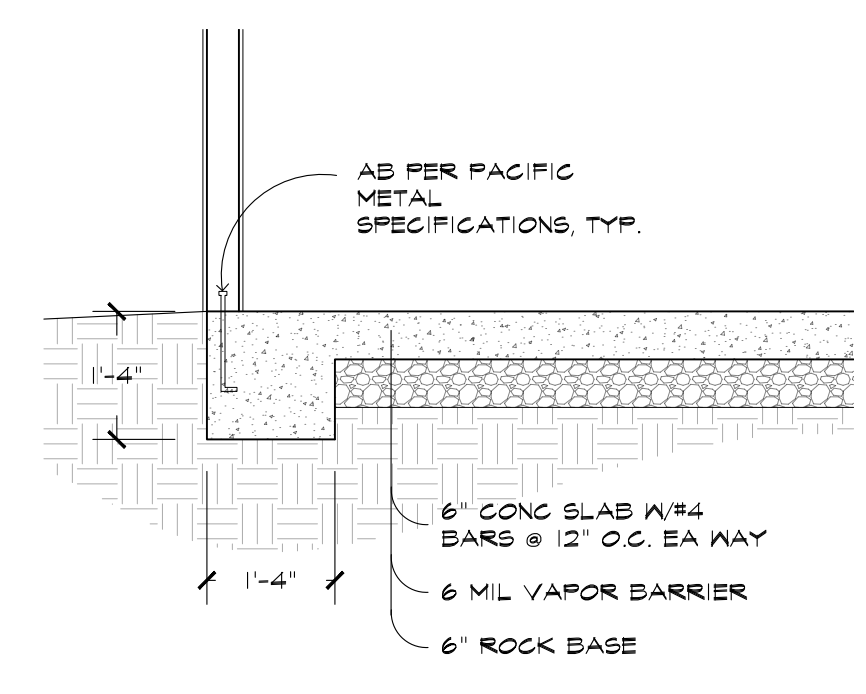
- ⊖/⊖ 110V DUPLEX/ 220V OUTLET
- ⊖/⊖ SWITCH/3-WAY SWITCH
- ⊖ RECESSED CAN LT.
- ⊖ WALL-MOUNT LT.
- ⊖ CEILING MOUNT LT.
- ⊖ LED ROPE LTG.
- ⊖ CARBON MONOXIDE & SMOKE DETECTOR COMBO; VERIFY (E)
- ⊖ HARD-WIRED, INTERCONNECTED SMOKE DETECTOR; VERIFY (E)
- ⊖ CEILING MOUNT PEDANT LT.
- ⊖ GAS STUB
- ⊖ CEILING VENT/FAN
- ⊖ CEILING-MT. FAN W/ LT.



**PROPOSED ELECTRICAL PLAN**



**PROPOSED GARAGE FOUNDATION**



**DETAIL**

# GEORGE NAVARRO

3565 WILLOW RD, BETHEL ISLAND, CA 94511  
(CONTRA COSTA COUNTY, CA)  
24' X 30' X 12'

## SCOPE OF PLANS:

- TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
- DOES NOT PROVIDE** ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

## GENERAL STRUCTURAL DESIGN NOTES

- THIS STRUCTURE IS DESIGNED FOR NON-HABITABLE USE. NO PERSONS ARE ALLOWED TO LIVE IN THIS BUILDING OR USE IT AS A LIVING SPACE. ONLY INCIDENTAL OCCUPANCY IS PERMITTED.
- ALL WELDS ARE TO BE SHOP WELDS. **FIELD WELDING IS NOT PERMITTED NOR REQUIRED.** WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
- LIGHT GAUGE TUBING SHALL BE EITHER (OR EQUAL): ASTM A513-1035 (FY = 50 KSI, FU = 66 KSI) OR ASTM A500 GRADE C (FY = 50 KSI, FU = 65 KSI). ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI) OR EQUAL. HOT ROLLED STEEL SHAPES (FY = 36 KSI, BASE ANGLES) EXPOSED TO THE ELEMENTS. SHALL HAVE ONE COAT OF RUST PROOF PRIMER FOLLOWED BY TWO COATS OF PAINT.
- ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS PER ESR-2196 U.N.O. REF. TO DESIGN NOTES ON SHEET 2 FOR SHEATHING FASTENER TYPE.
- ADEQUATE BRACING DURING ALL STAGES OF CONSTRUCTION IS REQUIRED. STRUCTURE AND FOUNDATION ARE DESIGNED FOR COMPLETED CONDITION ONLY. ADDITIONAL SUPPORT TO MAINTAIN STABILITY IS REQUIRED IN CASE OF ROOF ACCESS FOR MAINTENANCE.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	NOV 18 2024

## STRUCTURAL DESIGN CRITERIA

PREVAILING CODE: CBC 2022  
 OCCUPANCY / USE GROUP: U (PRIVATE GARAGE)  
 CONSTRUCTION TYPE: V B (ANY MAT'L - IBC 602.5)  
 RISK CATEGORY: II  
 BUILDING FOOTAGE: 720 SQ.FT

- DEAD LOAD (D)  
COLLATERAL LOAD 2.0 PSF
- ROOF LIVE LOAD (Lr) Lr = 12 PSF
- SNOW LOAD (S)  
GROUND SNOW LOAD Pg = 0 PSF  
IMPORTANCE FACTOR Is = 1.00  
THERMAL FACTOR Ct = 1.2  
EXPOSURE FACTOR Ce = 1.0  
ROOF SLOPE FACTOR Cs = 1.0  
FLAT ROOF SNOW LOAD Pf = 0 PSF  
SLOPED ROOF SNOW LOAD Ps = 0 PSF  
DESIGN SNOW LOAD S = 0 PSF
- WIND LOAD (W)  
DESIGN WIND SPEED V = 110 MPH  
EXPOSURE C
- SEISMIC LOAD (E)  
Ss / S1 1.115/0.401  
SDs / SD1 0.892/0.508  
DESIGN CATEGORY D  
SITE CLASS D (DEFAULT)  
IMPORTANCE FACTOR Ie = 1.00

### L.F.R.S IN X DIR (TRANSVERSE)

TYPICAL FRAME O.M.F.  
 RESPONSE MOD. FACTOR R = 3.50  
 F & B END FRAMES O.C.B.F  
 RESPONSE MOD. FACTOR R = 3.25  
 SEISMIC COEFFICIENT CSx = 0.232  
 SEISMIC BASE SHEAR VSx = 849 LBF

### L.F.R.S IN Z DIR (LONGITUDINAL)

L & R SIDEWALLS O.C.B.F  
 RESPONSE MOD. FACTOR R = 3.25  
 SEISMIC COEFFICIENT CSz = 0.232  
 SEISMIC BASE SHEAR VSz = 849 LBF

## STRUCTURAL DRAWING INDEX

- COVER SHEET
- ELEVATIONS
- ANCHORAGE PLAN, REACTIONS & NOTES
- ANCHORAGE TO AS-BUILT & NOTES
- COLUMN LAYOUT PLAN & DETAILS
- FRAME SECTION & DETAILS
- SIDE WALL FRAMING & DETAILS
- END WALL FRAMING & DETAILS
- END WALL FRAMING DETAILS

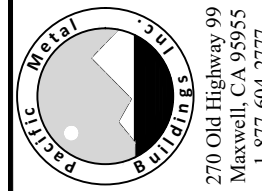
STATEMENT OF SPECIAL INSPECTIONS	REQ'D	PERIODIC	CONTINUOUS
		P	C
ANCHORAGE 1. POST-INSTALLED CONCRETE ANCHOR BOLTS (PER ICC-ESR REQUIREMENTS - REF SHEET 3B)	Y	X	-

THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.

**Rafael D Salgado**  
 I am the author of this document  
 Toledo, OH  
 2024.11.21 13:44:23-05'00'

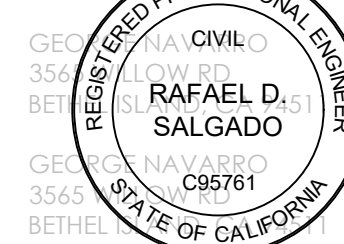
24-304.0  
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SHEET NO: 1 OF 7	
PROJECT NO: 232-24-3266	
DRAWN BY: A.F	DATE: 11/15/2024
<b>COVER SHEET</b>	
LOCATION: 3565 WILLOW RD BETHEL ISLAND, CA 94511	
PROJECT TITLE: GEORGE NAVARRO	
METAL BUILDING MANUFACTURER	
 270 Old Highway 99 Maxwell, CA 95955 1-877-604-2777	

**WARNING:** Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

GEORGE NAVARRO  
 3565 WILLOW RD  
 BETHEL ISLAND, CA 94511



GEORGE NAVARRO  
 3565 WILLOW RD  
 BETHEL ISLAND, CA 94511

**EXPIRES:** 03/31/2026  
**SIGNED:** NOV 18 2024



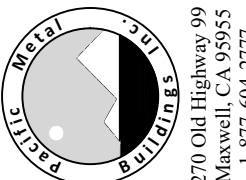
**ELEVATIONS**

SHEET TITLE: ELEVATIONS

PROJECT TITLE: GEORGE NAVARRO

LOCATION: 3565 WILLOW RD  
BETHEL ISLAND, CA 94511

METAL BUILDING MANUFACTURER



270 Old Highway 99  
Maxwell, CA 95955  
1-877-604-2777

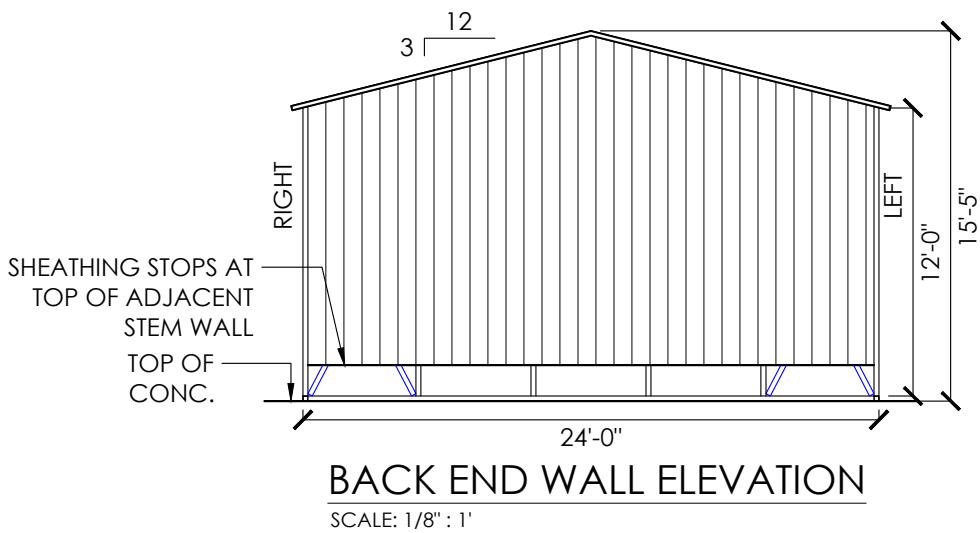
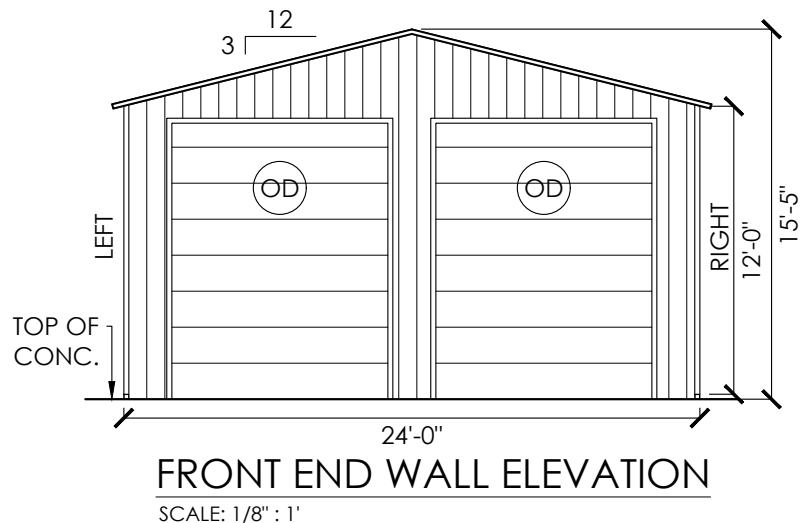
**WARNING:** Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
RAFAEL D. SALGADO  
C95761  
STATE OF CALIFORNIA

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

**EXPIRES:** 03/31/2026  
**SIGNED:** NOV 18 2024



**DESIGN NOTES**

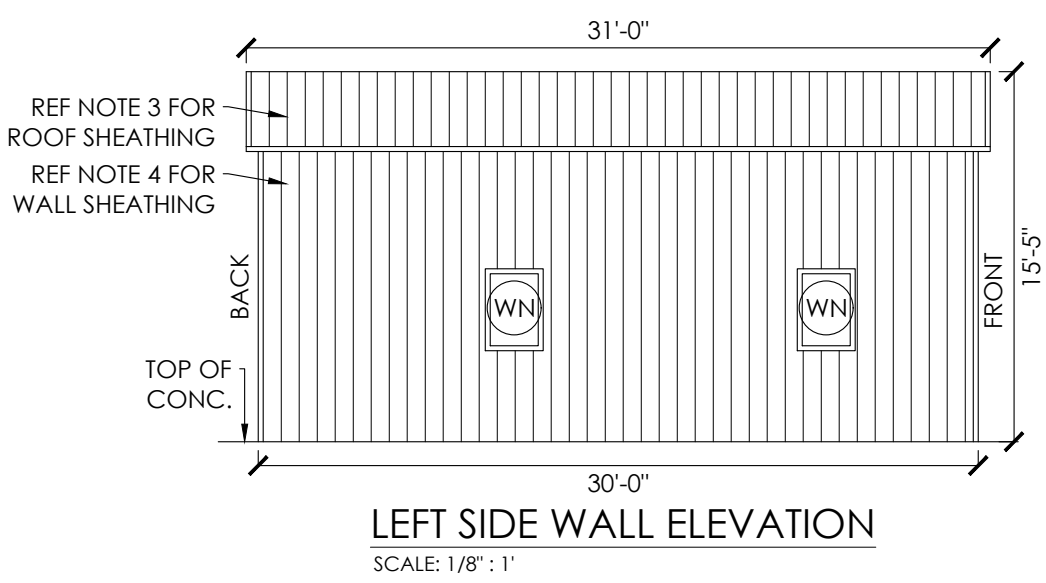
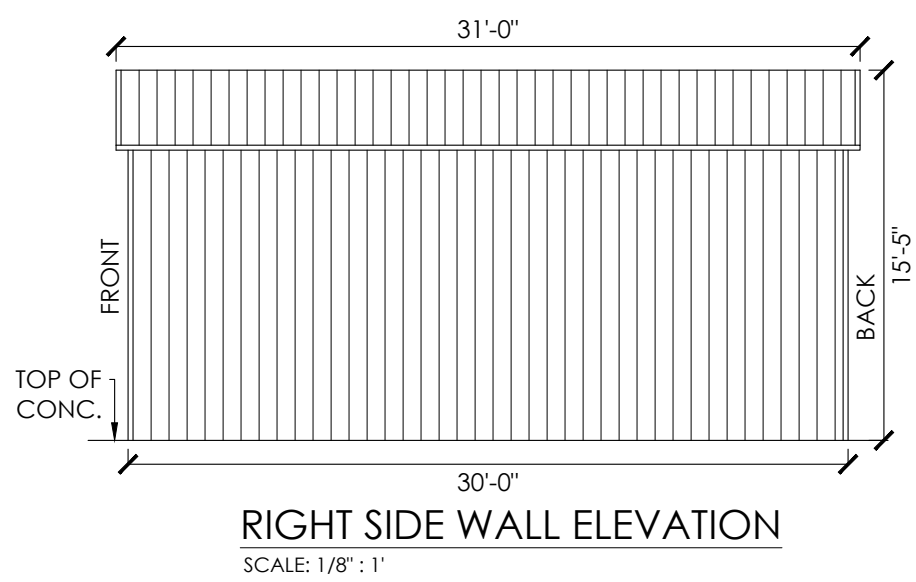
1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT **ROOF** SHEATHING SHALL BE: CLASS A RATED 26GA. **1 1/4" PBR PANEL** - PER UES ER 0550 OR EQ. (REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
4. ALL EXT **WALL** SHEATHING SHALL BE: CLASS A RATED 26GA. **1 1/4" STRATA RIB** - PER UES ER 0550 OR EQ. (REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
5. **SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS** (PER UES-ER 0550 REQ.) W/ BONDED NEOPRENE WASHER PER ESR 2196.

**LEGEND**

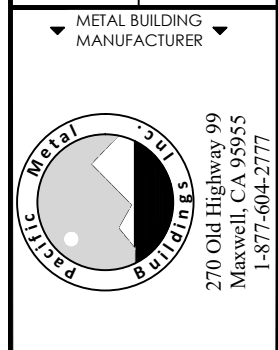
- (WN) WINDOWS (REF WINDOW MFG)
- (OD) OVER HEAD / ROLL-UP DOOR (REF DOOR MFG)

**NOTE 1:** ANY DOOR OR WINDOW DESIGN & CONNECTION / ATTACHMENT INFORMATION, IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

**NOTE 2:** LOC OF WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).







Corner Posts Max. Values							
Load Case	Fx	Fy (BRG)	Fy (UPLIFT)	Fz	Mx	My	Mz
(UNITS)	(KIP)	(KIP)	(KIP)	(KIP)	(KIP-IN)	(KIP-IN)	(KIP-IN)
DEAD	0.090	0.726	0.646	0.104	0.000	0.000	0.000
LIVE	0.306	2.690	2.371	0.402	0.000	0.000	0.000
Wind X (POS.)	0.711	1.956	-3.504	0.505	0.000	0.000	0.000
Wind X (NEG.)	0.699	2.218	-3.223	0.411	0.000	0.000	0.000
Wind Z (POS.)	0.248	0.692	-2.089	0.327	0.000	0.000	0.000
Wind Z (NEG.)	0.239	0.610	-1.822	0.233	0.000	0.000	0.000
Seismic X (POS.)	0.101	0.383	-0.383	0.035	0.000	0.000	0.000
Seismic X (NEG.)	0.101	0.383	-0.383	0.035	0.000	0.000	0.000
Seismic Z (POS.)	0.004	0.123	-0.129	0.042	0.000	0.000	0.000
Seismic Z (NEG.)	0.004	0.129	-0.123	0.042	0.000	0.000	0.000

Outer Side Wall Posts Max. Values (Non-corner)							
Load Case	Fx	Fy (BRG)	Fy (UPLIFT)	Fz	Mx	My	Mz
(UNITS)	(KIP)	(KIP)	(KIP)	(KIP)	(KIP-IN)	(KIP-IN)	(KIP-IN)
DEAD	0.009	0.223	0.047	0.020	0.000	0.000	0.000
LIVE	0.047	0.330	-0.308	0.042	0.000	0.000	0.000
Wind X (POS.)	0.352	0.389	-0.638	0.698	0.000	0.000	0.000
Wind X (NEG.)	0.453	0.590	-0.394	0.638	0.000	0.000	0.000
Wind Z (POS.)	0.388	-0.402	-0.585	0.483	0.000	0.000	0.000
Wind Z (NEG.)	0.311	-0.173	-0.342	0.586	0.000	0.000	0.000
Seismic X (POS.)	0.000	0.089	-0.089	0.076	0.000	0.000	0.000
Seismic X (NEG.)	0.000	0.089	-0.089	0.076	0.000	0.000	0.000
Seismic Z (POS.)	0.000	0.026	-0.027	0.058	0.000	0.000	0.000
Seismic Z (NEG.)	0.000	0.027	-0.026	0.058	0.000	0.000	0.000

End Wall Posts Max. Values (Non-corner)							
Load Case	Fx	Fy (BRG)	Fy (UPLIFT)	Fz	Mx	My	Mz
(UNITS)	(KIP)	(KIP)	(KIP)	(KIP)	(KIP-IN)	(KIP-IN)	(KIP-IN)
DEAD	0.048	0.388	0.000	0.010	0.000	0.000	0.000
LIVE	0.146	1.190	0.000	0.051	0.000	0.000	0.000
Wind X (POS.)	0.950	2.260	-3.104	0.808	0.000	0.000	0.000
Wind X (NEG.)	0.911	2.739	-2.607	0.574	0.000	0.000	0.000
Wind Z (POS.)	0.285	0.000	-0.766	0.417	0.000	0.000	0.000
Wind Z (NEG.)	0.167	0.066	-0.308	0.633	0.000	0.000	0.000
Seismic X (POS.)	0.108	0.330	-0.330	0.000	0.000	0.000	0.000
Seismic X (NEG.)	0.108	0.330	-0.330	0.000	0.000	0.000	0.000
Seismic Z (POS.)	0.020	0.063	-0.045	0.000	0.000	0.000	0.000
Seismic Z (NEG.)	0.020	0.045	-0.063	0.000	0.000	0.000	0.000

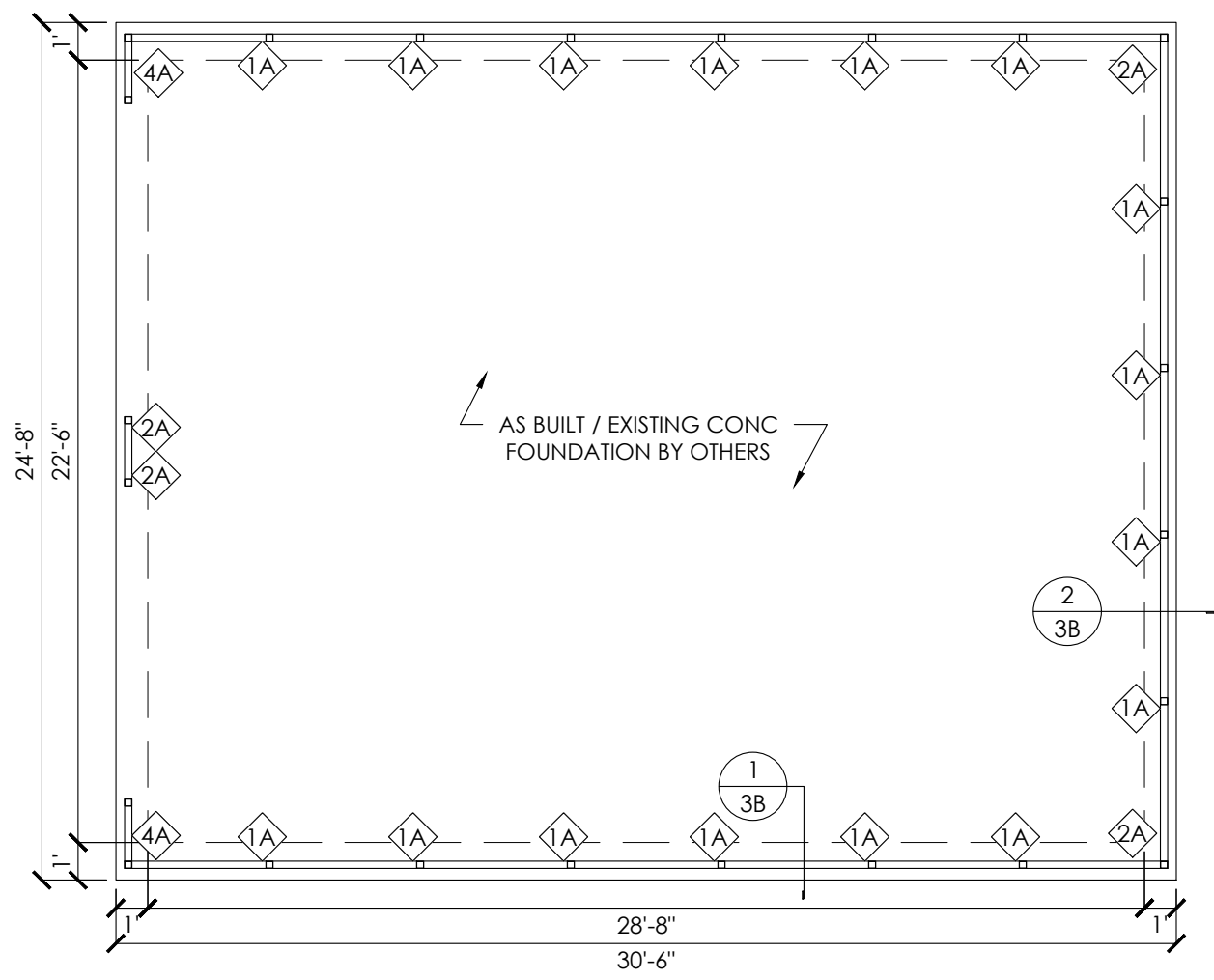
**FOUNDATION REACTIONS**

- REACTION NOTES:
1. REACTIONS ARE PROVIDED FOR FOUNDATION ENGINEER.
  2. POSITIVE Fy VALUE INDICATES BEARING.
  3. NEGATIVE Fy VALUE INDICATES UPLIFT.
  4. Fx AND Fz ARE ABSOLUTE VALUES.

- NOTE:
1. THE ENGINEERS CERTIFICATION IS LIMITED TO THE STRUCTURAL ENGINEERING FOR THE PREFABRICATED STRUCTURAL FRAMING AND POST INSTALLED CONCRETE ANCHORAGE ONLY.
  2. STRUCTURAL BASE REACTIONS VALUES ARE PROVIDED HEREIN TO AID THE DESIGN AND / OR CHECK THE AS-BUILT ANCHORAGE & FOUNDATION BY OTHERS. FOUNDATION HAS NOT BEEN SPECIFIED IN THIS PLAN SET AND SHALL BE THE RESPONSIBILITY OF OTHERS.

**AS-BUILT / EXISTING FOUNDATION NOTES:**

1. THE VALIDITY OF ENGINEERS STAMP ON THIS SHEET DOES **NOT** COVER EITHER THE DESIGN OR REINFORCEMENT OF THE AS-BUILT FOUNDATION (AS FOUNDATION WAS POURED PRIOR TO ENGINEER OF RECORD'S INVOLVEMENT OR RECOMMENDATION). ALL AS-BUILT FOUNDATION DESIGN AND REINFORCEMENT SHALL BE RESPONSIBILITY OF ORIGINAL FOUNDATION DESIGNERS / OTHERS RESPONSIBLE.
2. A MIN. SLAB SIZE OF 24'-8" X 30'-6" IS NECESSARY TO ALLOW THE MIN. OF 4" ANCHOR-TO-CONCRETE EDGE DISTANCE.
3. CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE ANCHORAGE PLAN WITH A MINIMUM OF (1) ANCHOR PER POST.
4. ASSUMED CONCRETE STRENGTH FOR ANCHORAGE DESIGN TO BE A MIN OF 3000 PSI.



**ANCHORAGE PLAN**  
SCALE: 3/16" : 1'

CONCRETE ANCHORAGE	
1A	(1) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)
2A	(2) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)
4A	(4) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)

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GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

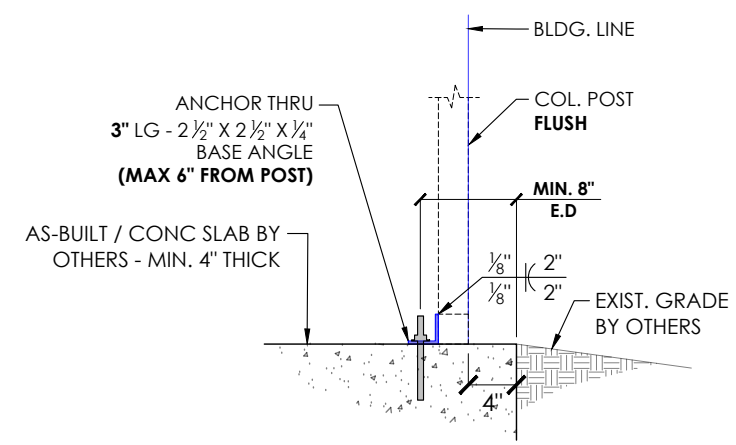
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

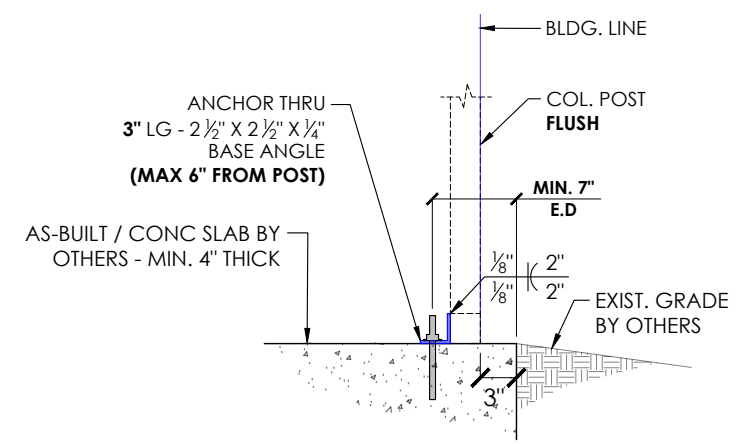
**EXPIRES:** 03/31/2026  
**SIGNED:** NOV 18 2024



CONCRETE ANCHORAGE	
1A	(1) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)
2A	(2) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)
4A	(4) 1/2"Ø x 7" LG. STRONG-BOLT 2EXPANSION ANCHOR (PER ESR 3037)



1 FOUNDATION DETAILS  
SCALE: 3/4" : 1'



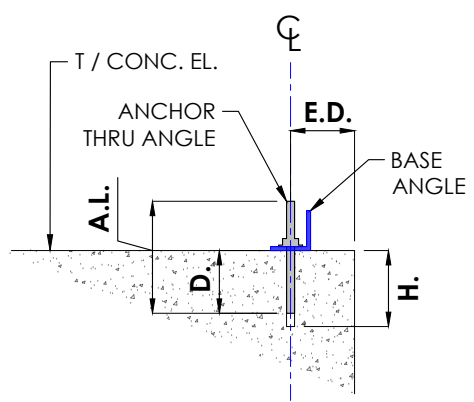
2 FOUNDATION DETAILS  
SCALE: 3/4" : 1'

**ANCHOR NOTES:**

- ANCHOR INSTALLATION REQUIREMENTS (REF ANCHORAGE DETAIL):
  - E.D.** - ANCHOR EDGE DISTANCE: MIN. 4" OR U.N.O.
  - H.** - ANCHOR HOLE DEPTH: MIN. 3.00"
  - D.** - CONCRETE EMBEDMENT DEPTH: MIN. 2.75"
  - SPACING BETWEEN (2) ANCHORS: MIN. 2.75" OR U.N.O.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS OR U.N.O.
- ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ. PER SPECIFIED ESR.

**AS-BUILT NOTE:**

- ANY AS-BUILT INFORMATION OR DETAILS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. THE ENGINEER HAS NOT INSPECTED THE ACCURACY AND/OR THE COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



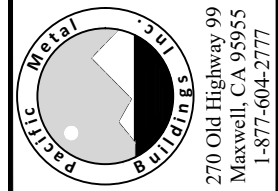
ANCHORAGE DETAIL  
SCALE: NTS

SHEET TITLE: ANCHORAGE TO AS-BUILT & NOTES

LOCATION: 3565 WILLOW RD  
BETHEL ISLAND, CA 94511

PROJECT TITLE: GEORGE NAVARRO

METAL BUILDING MANUFACTURER



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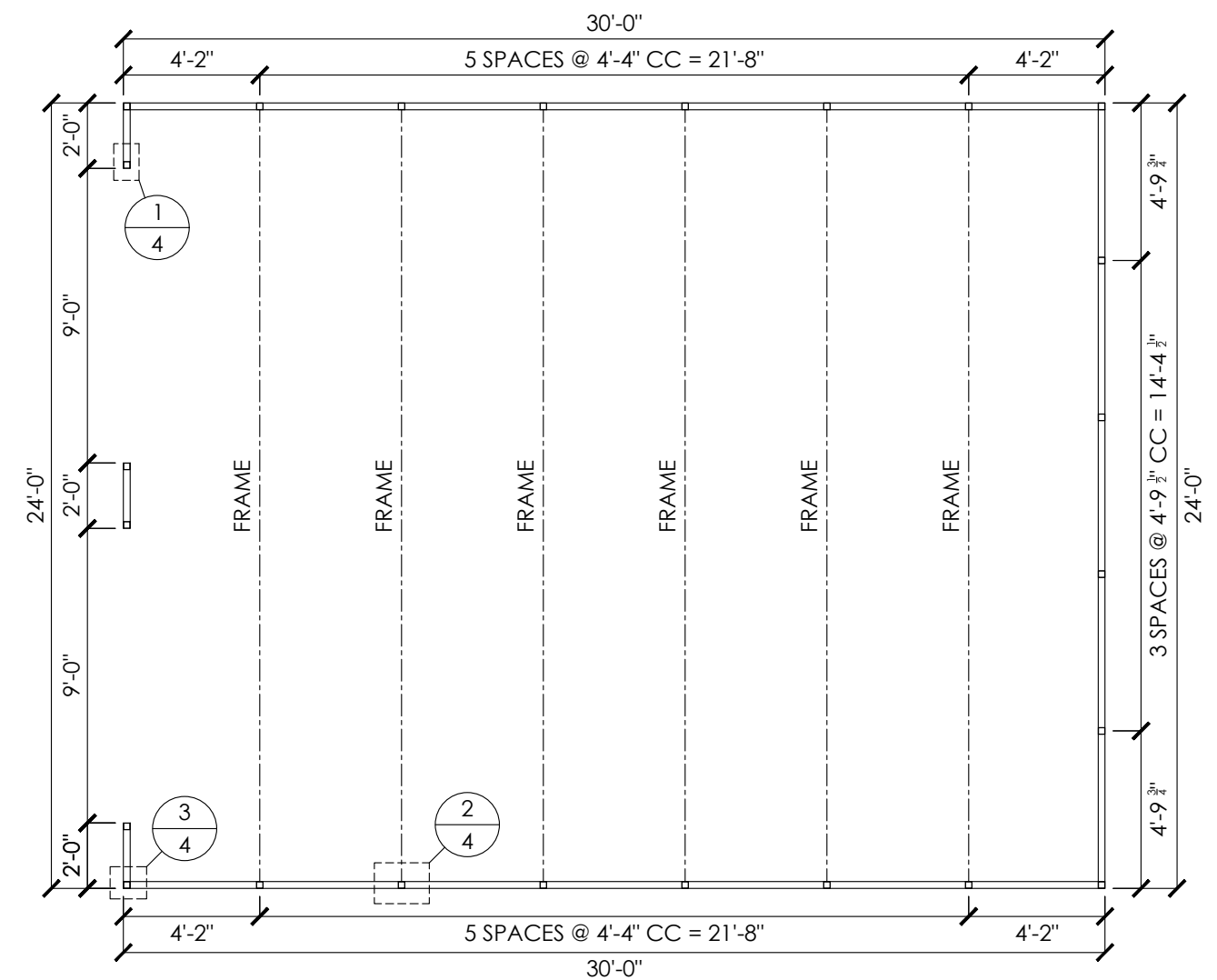
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

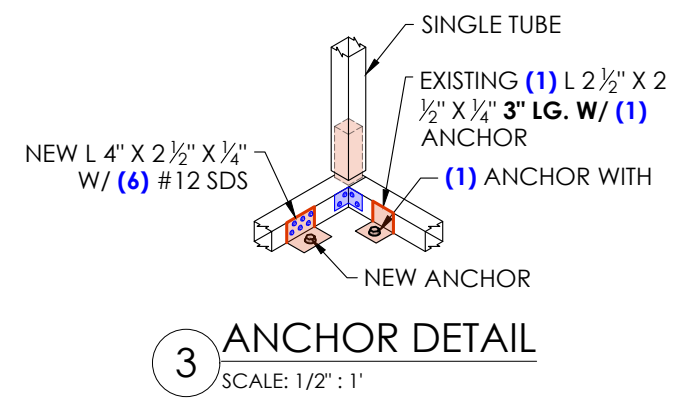
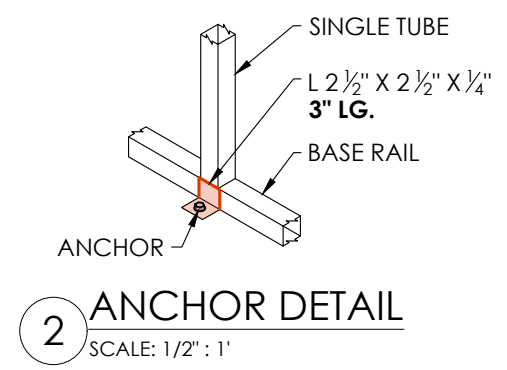
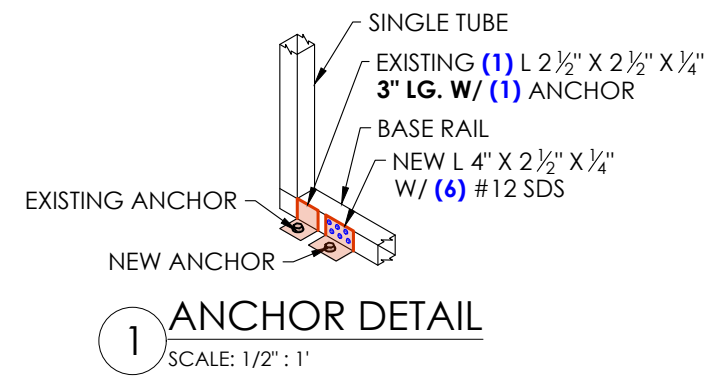
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

**EXPIRES:** 03/31/2026  
**SIGNED:** NOV 18 2024



**COLUMN LAYOUT PLAN**  
SCALE: 3/16" : 1'

NOTE:  
SEE SHEET 3A / 3B FOR ANCHOR TYPE  
SEE SHEET 5 FOR FRAME SECTION AND DETAILS

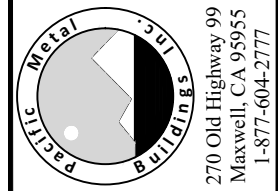


**COLUMN LAYOUT PLAN & DETAILS**

LOCATION:  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

PROJECT TITLE:  
GEORGE NAVARRO

METAL BUILDING MANUFACTURER



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3565 WILLOW RD  
BETHEL ISLAND, CA 94511  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
C95761

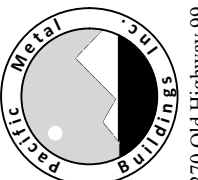
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511  
EXPIRES: 03/31/2026  
SIGNED: NOV 18 2024

**FRAME SECTION & DETAILS**

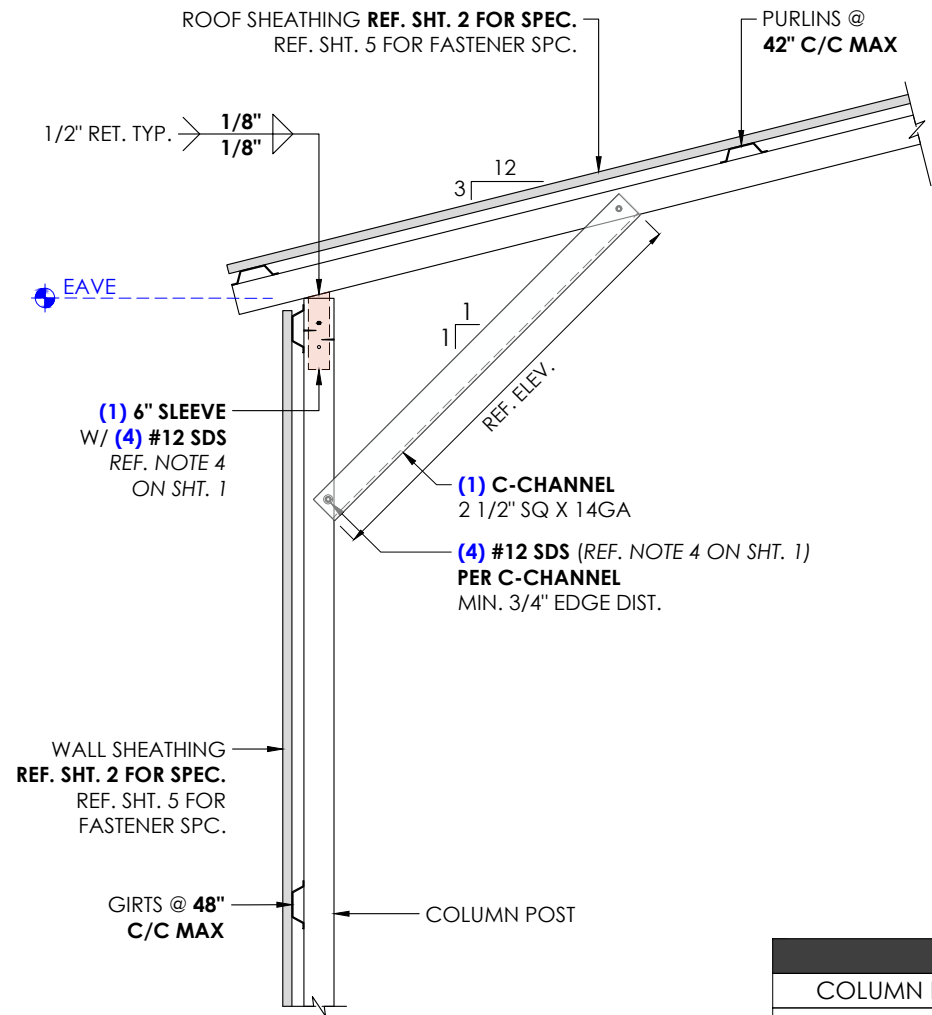
LOCATION: 3565 WILLOW RD  
BETHEL ISLAND, CA 94511

PROJECT TITLE: GEORGE NAVARRO

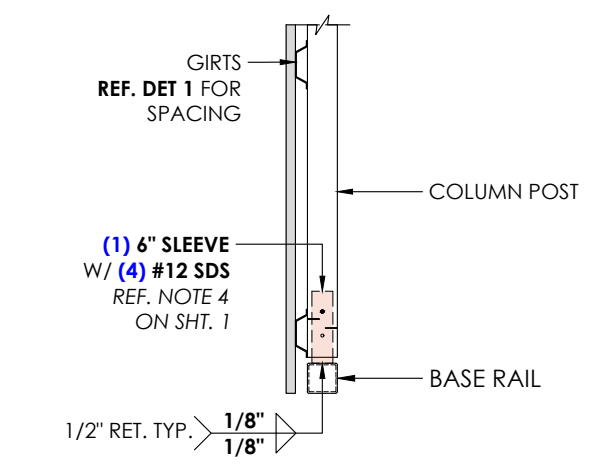
METAL BUILDING MANUFACTURER



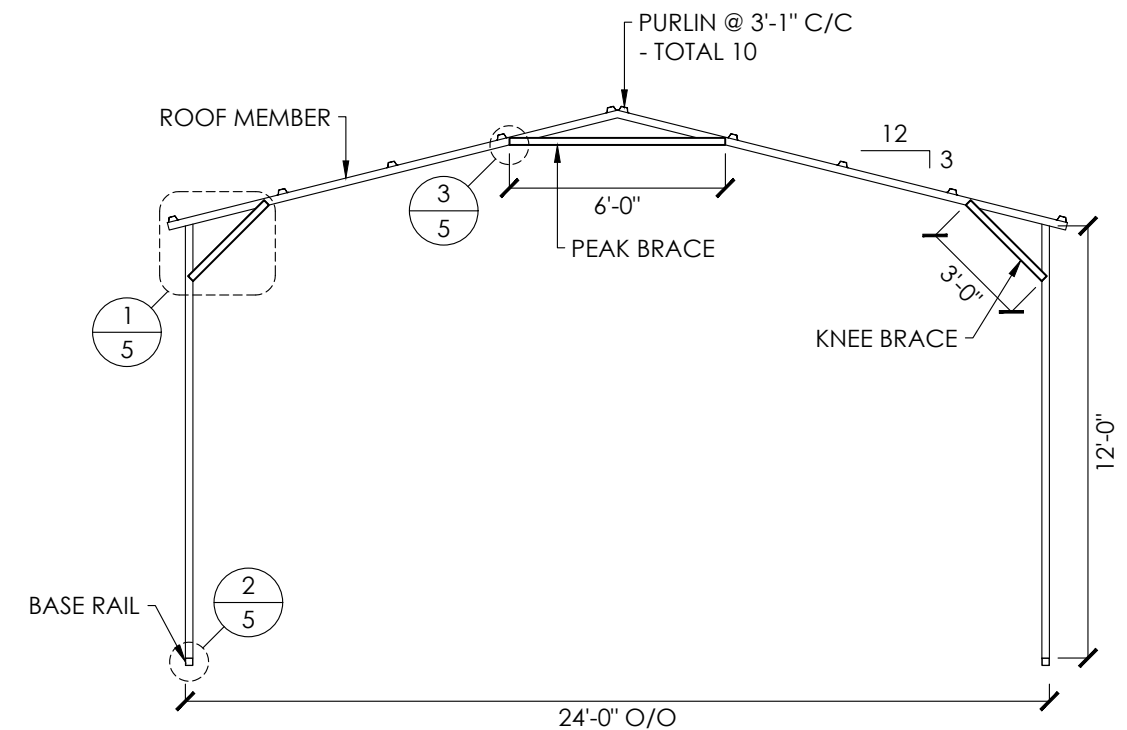
270 Old Highway 99  
Maxwell, CA 95955  
1-877-604-2777



**1 FRAME DETAIL**  
SCALE: 3/4" : 1'



**2 BASE DETAIL**  
SCALE: 3/4" : 1'

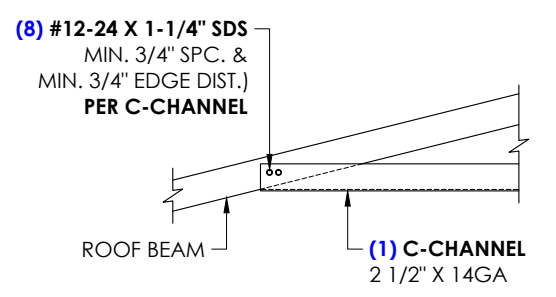


**TYPICAL FRAME**  
SCALE: 3/16" : 1'

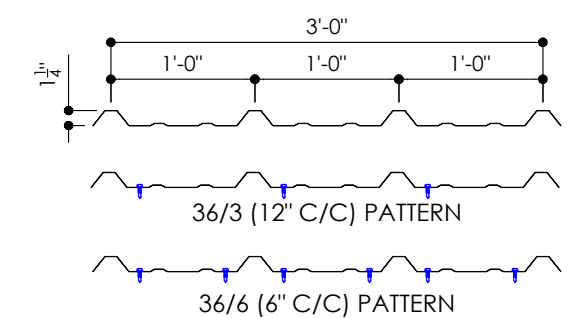
MEMBER PROPERTIES	
COLUMN POST	2 1/2" SQ. X 14GA TUBE
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
PEAK BRACE	2 1/2" X 14GA CHANNEL
KNEE BRACE	2 1/2" X 14GA CHANNEL
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
GIRTS	4" X 1" X 14GA HAT CHANNEL
PURLINS	4" X 1" X 14GA HAT CHANNEL

SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC

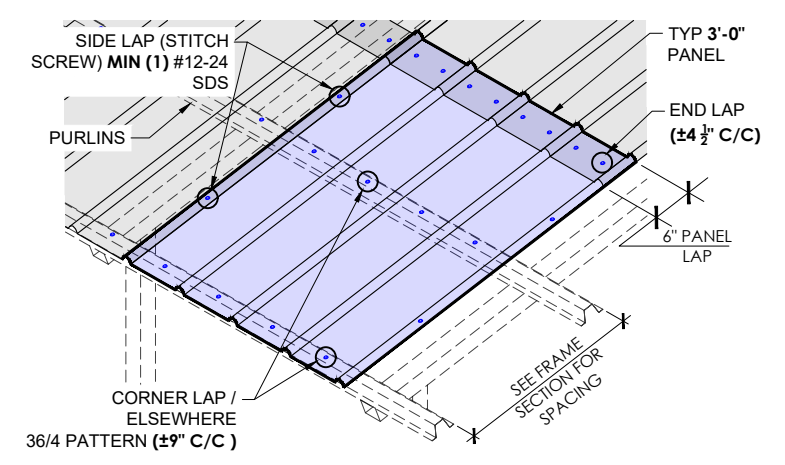
REF. DESIGN NOTE ON SHEET 2 FOR SHEATHING FASTENER TYPE.



**3 PEAK BRACE DETAIL**  
SCALE: 3/4" : 1'



**26GA. - 1 1/4" RIB - CORRUGATED SHEET**  
SCALE: 3/4" : 1'



**SHEATHING FASTENER PATTERN**  
SCALE: 3/16" : 1'

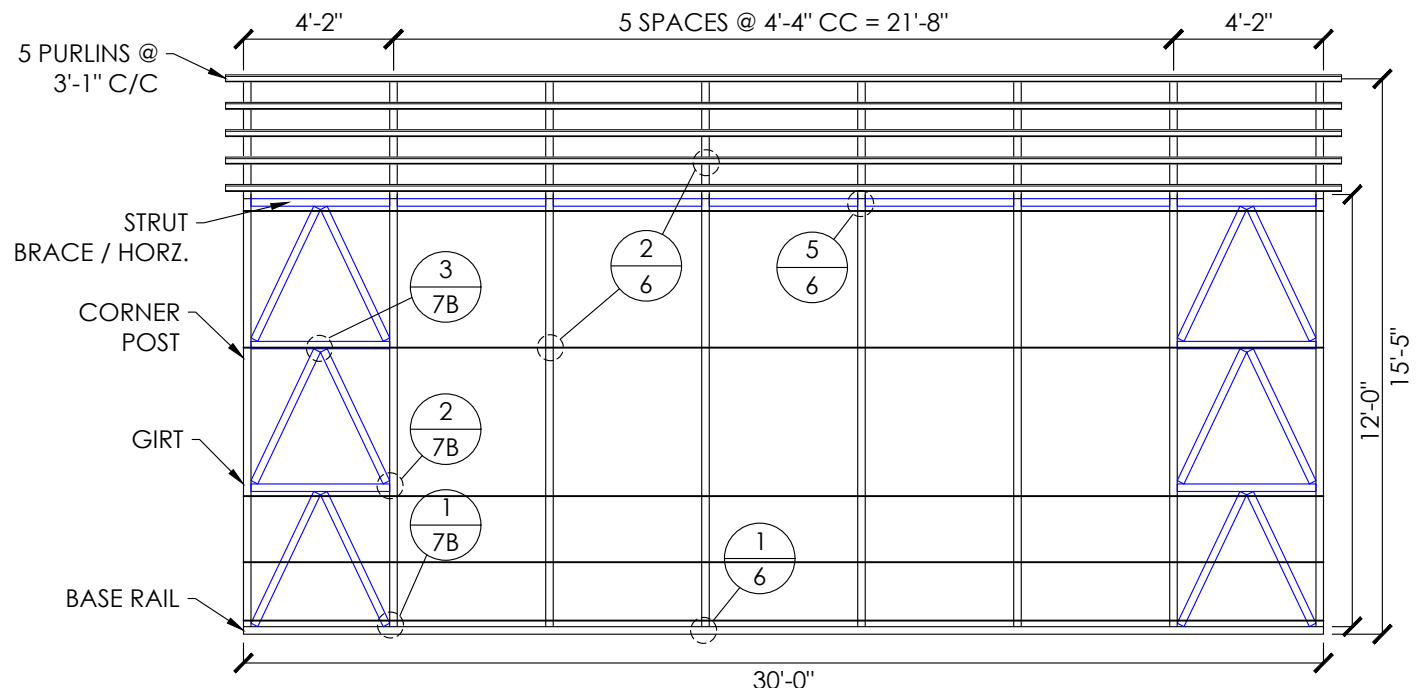
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BETHEL ISLAND, CA 94511

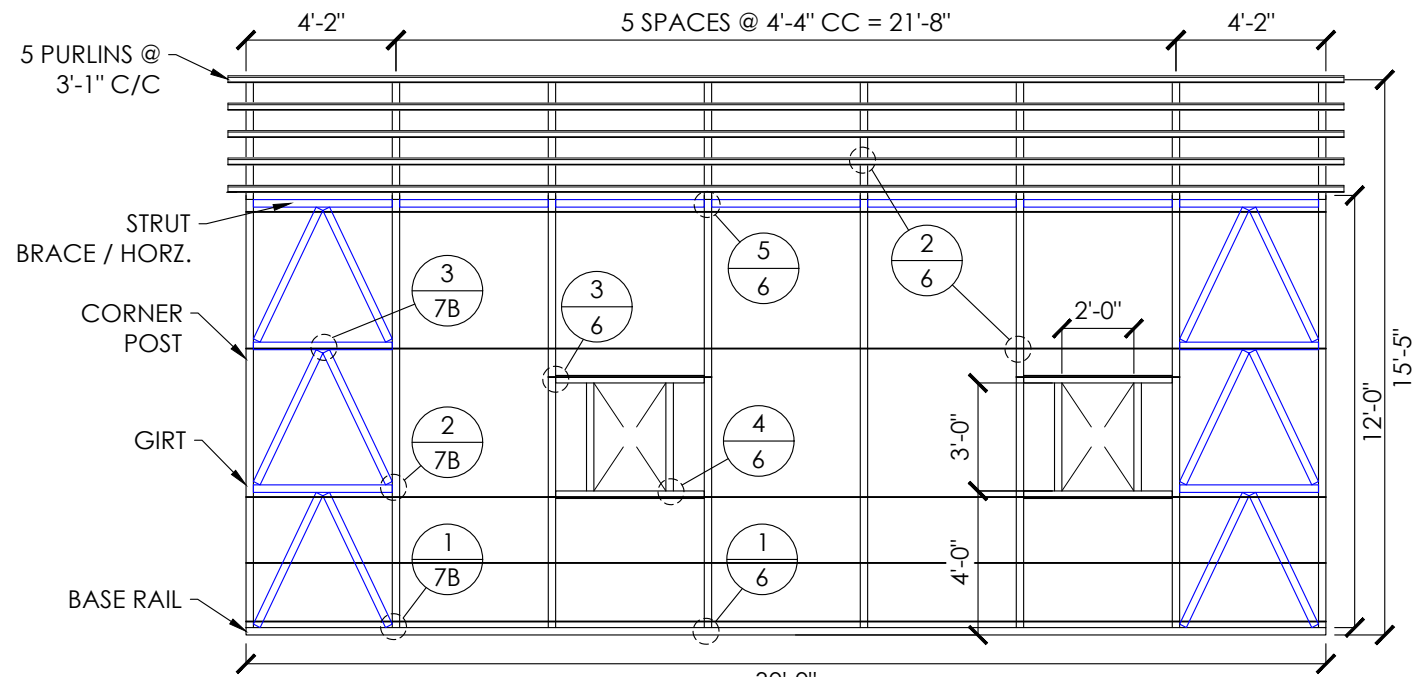
GEORGE NAVARRO CIVIL ENGINEER  
REGISTERED PROFESSIONAL ENGINEER  
RAFAEL D. SALGADO  
C95761  
STATE OF CALIFORNIA

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

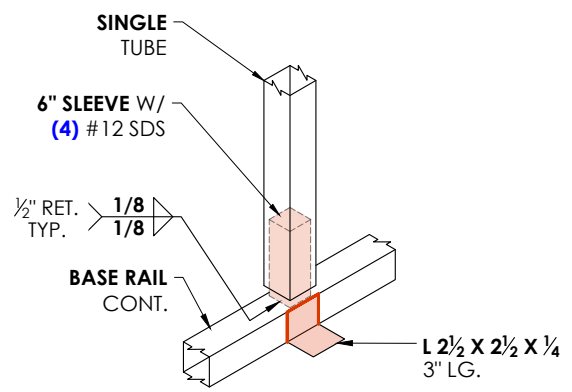
EXPIRES: 03/31/2026  
SIGNED: NOV 18 2024



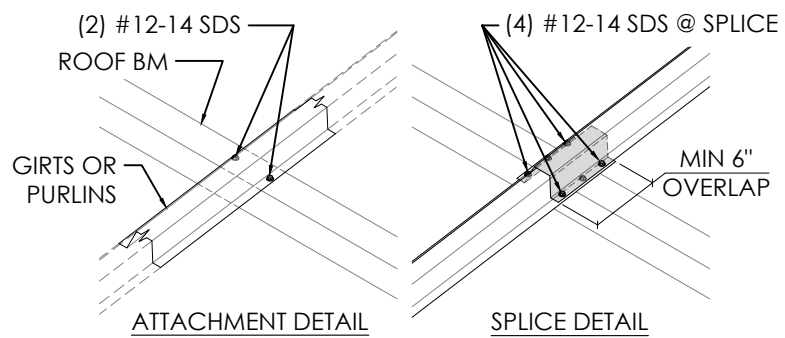
**RIGHT SIDE WALL FRAMING**  
SCALE: 3/16" : 1'



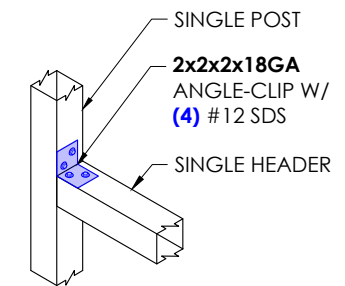
**LEFT SIDE WALL FRAMING**  
SCALE: 3/16" : 1'



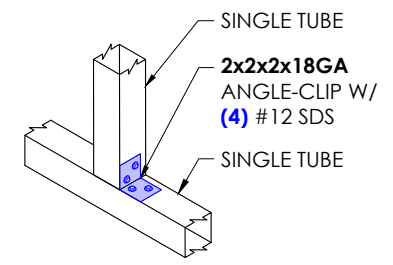
**1 COLUMN-BASE DETAIL**  
SCALE: 3/4" : 1'



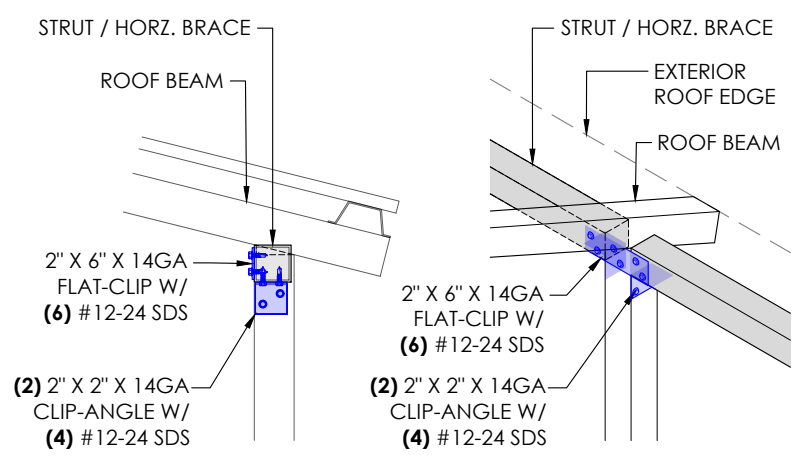
**2 GIRT/PURLIN DETAIL**  
SCALE: 3/4" : 1'



**3 WINDOW DETAIL**  
SCALE: 3/4" : 1'



**4 WINDOW DETAIL**  
SCALE: 3/4" : 1'



**5 STRUT BRACE DETAIL**  
SCALE: 3/4" : 1'

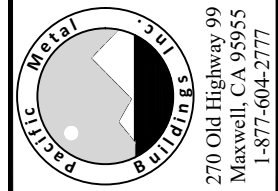
MEMBER PROPERTIES	
SIDE WALL POST	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
GIRTS	4" X 1" X 14GA HAT CHANNEL
WINDOW POST	2 1/2" SQ. X 14GA TUBE
HORZ. BRACE	2 1/4" SQ X 14GA TUBE
DIAGONAL BRACES	2" SQ. X 12GA TUBE

**SIDE WALL FRAMING & DETAILS**

LOCATION:  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

PROJECT TITLE:  
GEORGE NAVARRO

METAL BUILDING MANUFACTURER



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BETHEL ISLAND, CA 94511

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3565 WILLOW RD  
BETHEL ISLAND, CA 94511

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3565 WILLOW RD  
BETHEL ISLAND, CA 94511

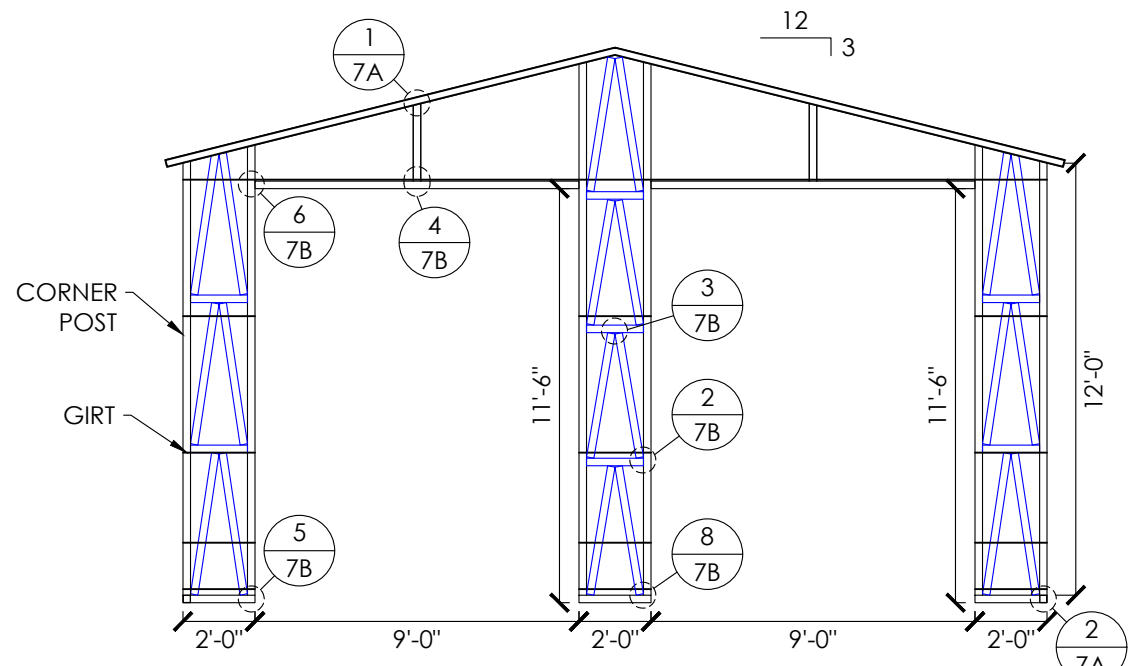
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

**EXPIRES:** 03/31/2026  
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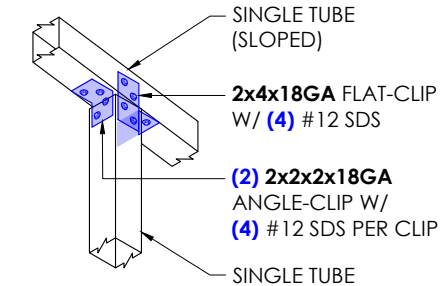




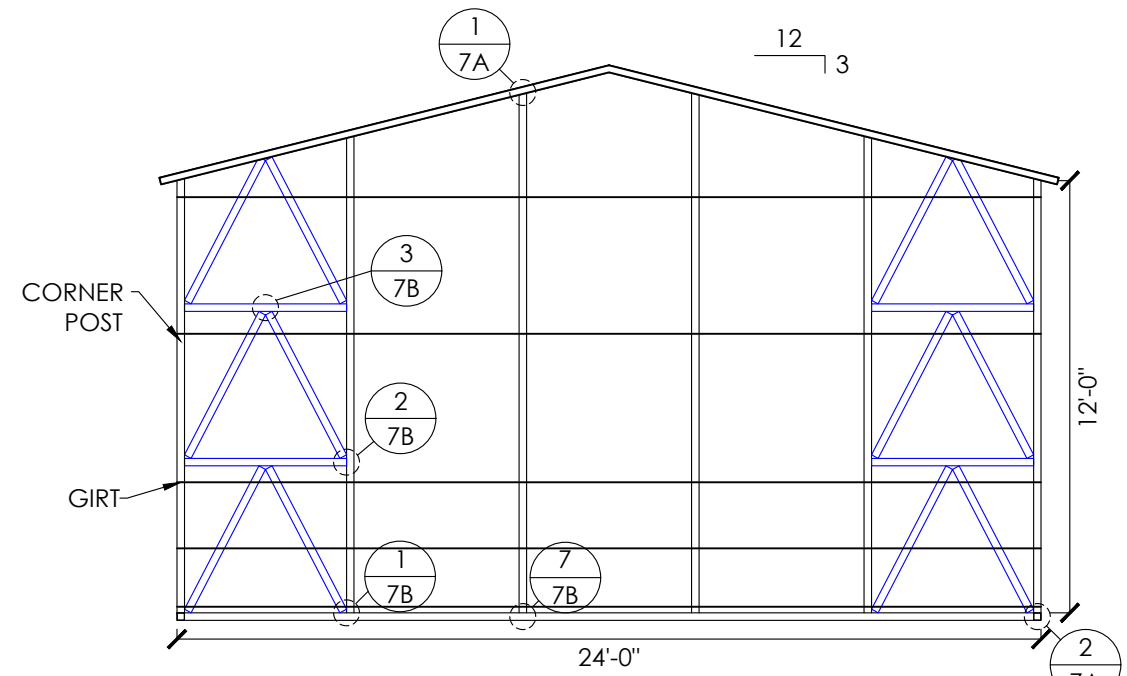
MEMBER PROPERTIES	
CORNER POST	2 1/2" SQ. X 14GA TUBE
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
GIRTS	4" X 1" X 14GA HAT CHANNEL
HEADER	2 1/2" SQ. X 14GA TUBE
END WALL POSTS	2 1/2" SQ. X 14GA TUBE
DIAGONAL BRACES	2" SQ. X 12GA TUBE
HORZ. BRACE	2 1/4" SQ x 14GA TUBE



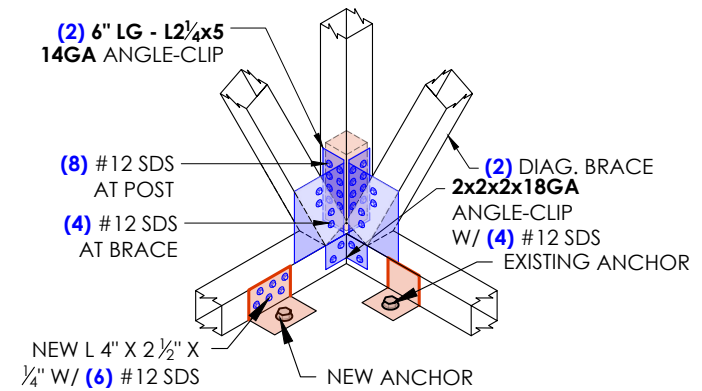
**FRONT END WALL FRAMING**  
SCALE: 3/16" : 1'



**1 ROOF MEMBER DETAIL**  
SCALE: 3/4" : 1'



**REAR END WALL FRAMING**  
SCALE: 3/16" : 1'



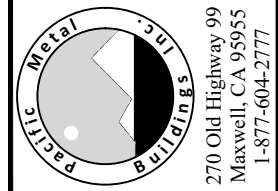
**2 CORNER DETAIL**  
SCALE: 3/4" : 1'

SHEET TITLE: **END WALL FRAMING & DETAILS**

PROJECT TITLE: **GEORGE NAVARRO**

LOCATION: **3565 WILLOW RD  
BETHEL ISLAND, CA 94511**

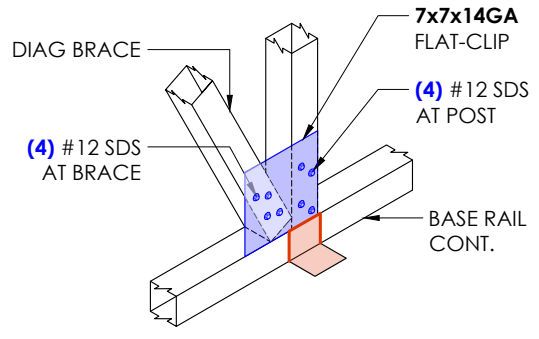
METAL BUILDING MANUFACTURER



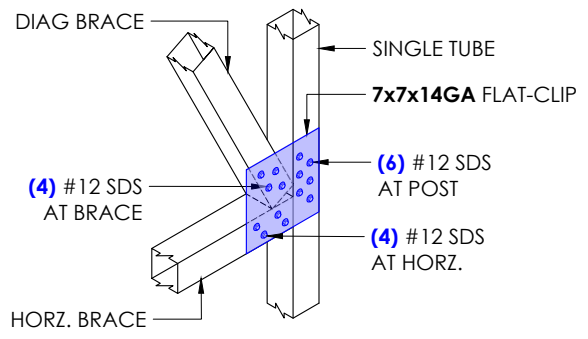
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GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
C95761

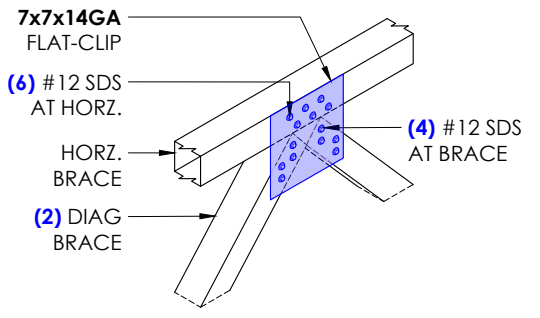
GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511  
EXPIRES: 03/31/2026  
SIGNED: NOV 18 2024



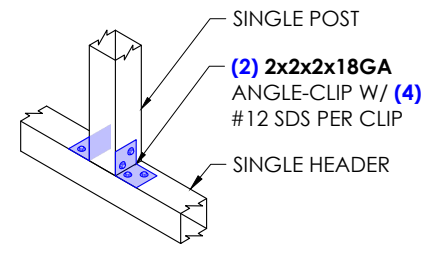
1 LATTICE BRACE DETAIL  
SCALE: 3/4" : 1'



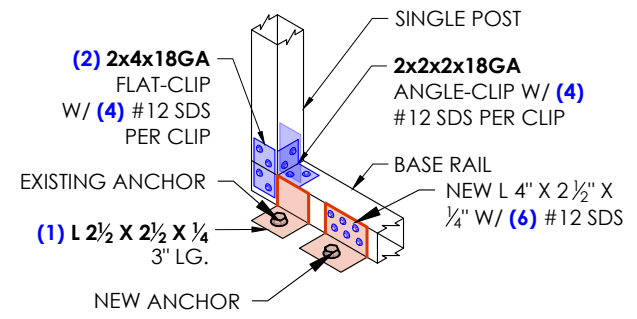
2 LATTICE BRACE DETAIL  
SCALE: 3/4" : 1'



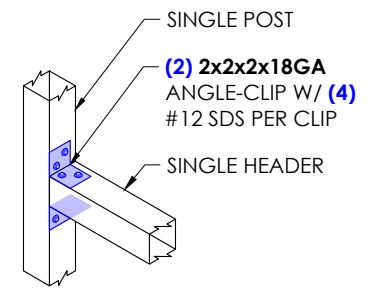
3 LATTICE BRACE DETAIL  
SCALE: 3/4" : 1'



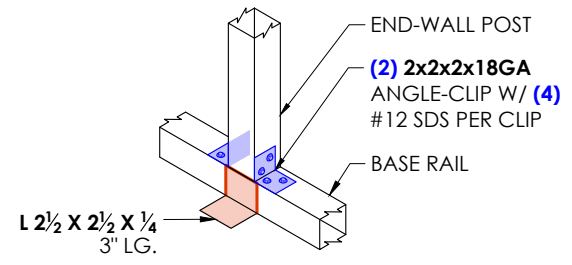
4 ABOVE HEADER DETAIL  
SCALE: 3/4" : 1'



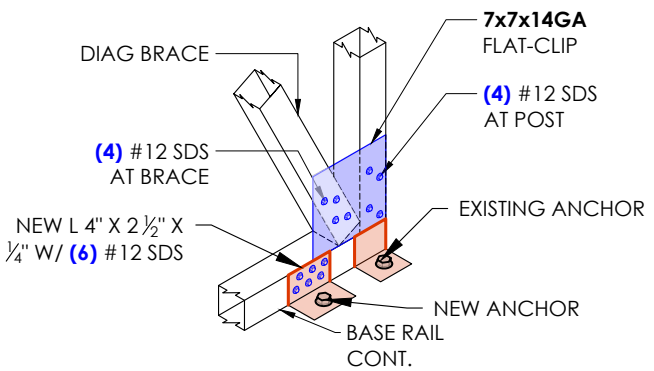
5 DOOR BASE DETAIL  
SCALE: 3/4" : 1'



6 DOOR HEADER DETAIL  
SCALE: 3/4" : 1'



7 COLUMN-BASE DETAIL  
SCALE: 3/4" : 1'



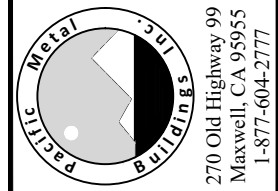
8 LATTICE BRACE DETAIL  
SCALE: 3/4" : 1'

SHEET TITLE: END WALL FRAMING DETAILS

PROJECT LOCATION: 3565 WILLOW RD  
BETHEL ISLAND, CA 94511

PROJECT TITLE: GEORGE NAVARRO

METAL BUILDING MANUFACTURER



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3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO CIVIL ENGINEER  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

GEORGE NAVARRO  
3565 WILLOW RD  
BETHEL ISLAND, CA 94511

EXPIRES: 03/31/2026  
SIGNED: NOV 18 2024





# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

---

**File #:** 25-160

**Agenda Date:** 1/14/2025

**Agenda #:** b.

---

Choose an item.

Meeting Date: 1/14/25

Subject: Agency Comment Request CDDP25-03001

Submitted For: BIMAC

**Recommendation(s)/Next Step(s):**

CONSIDER Agency Comment Request CDDP25-03001 where the applicant requests a Development Plan modification to modify the Delta Coves final development plan (County File #DP82-03024) for Parcel E units to reduce the front setback from 20 ft. to 18 ft. to allow for in-tract off street parking and landscape, see project description in documents for specific units. The proposed development for subdivision was previously approved and modified under planning file CDDP20-03007 (x-ref: CDDP14-0328).







### Planning Application Summary

**County File Number: CDDP25-03001**

**File Date: 1/3/2025**

**Applicant:**

Owen Poole SDC Delta Coves LLC  
151 Spyrock Court  
Walnut Creek, CA 94595

owen@realestatesvs.com  
(925) 933-4928

**Property Owner:**

DELTA COVES LLC SDC  
7600E DOUBLETREE RANCH RD #250  
SCOTTSDALE, AZ 852582136

Ntaratsas@dmbdevelopment.com  
(480) 367-7314

**Project Description:**

The applicant requests a Development Plan modification to modify the Delta Coves final development plan (County file #DP82-03024) for Parcel E units to reduce the front setback from 20 ft. to 18 ft. to allow for in-tract off street parking and landscape, see project description in documents for specific units. The proposed development for subdivision was previously approved and modified under Planning file CDDP20-03007 (x-ref: CDDP14-0328).

**Project Location: (Address: 0 WEST WIND PL, BETHEL ISLAND, CA 94511), (APN: 031010012)**

**Additional APNs:**

**General Plan Designation(s):** RM

**Zoning District(s):** "P-1, -FH -UE"

**Flood Hazard Areas:** AE

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:** Bethel Island MAC

**Sphere of Influence:** N/A

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

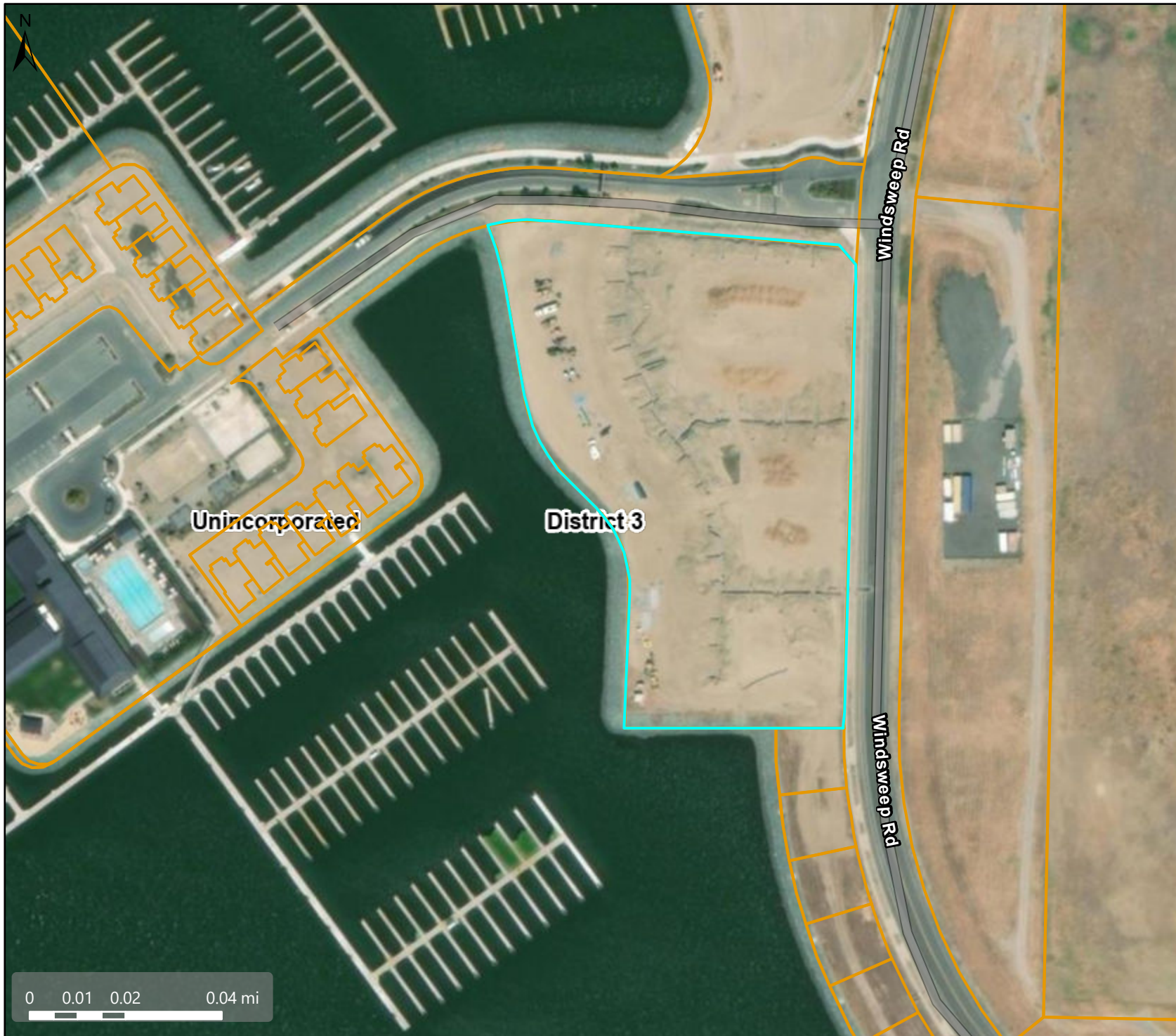
**Housing Inventory Site:** YES

**Specific Plan:** N/A

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DPS039B	Dev. Plan Non-Subst. Modif. P-1 DCD	002606-9660-REV-000-5B039B  0.931	2000.00	2000.00
DPS039BP	Dev. Plan Non-Subst. Modif. P-1 PW	000651-9660-REV-000-6L039B  0.931	1500.00	1500.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
<b>Total:</b>			<b>3587.00</b>	<b>3587.00</b>

# Aerial Map



## Map Legend

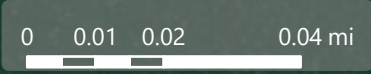
- Assessment Parcels
- Planning Layers (DCD)
  - Unincorporated
  - Board of Supervisors' Districts

Unincorporated

District 3

Windsweep Rd

Windsweep Rd

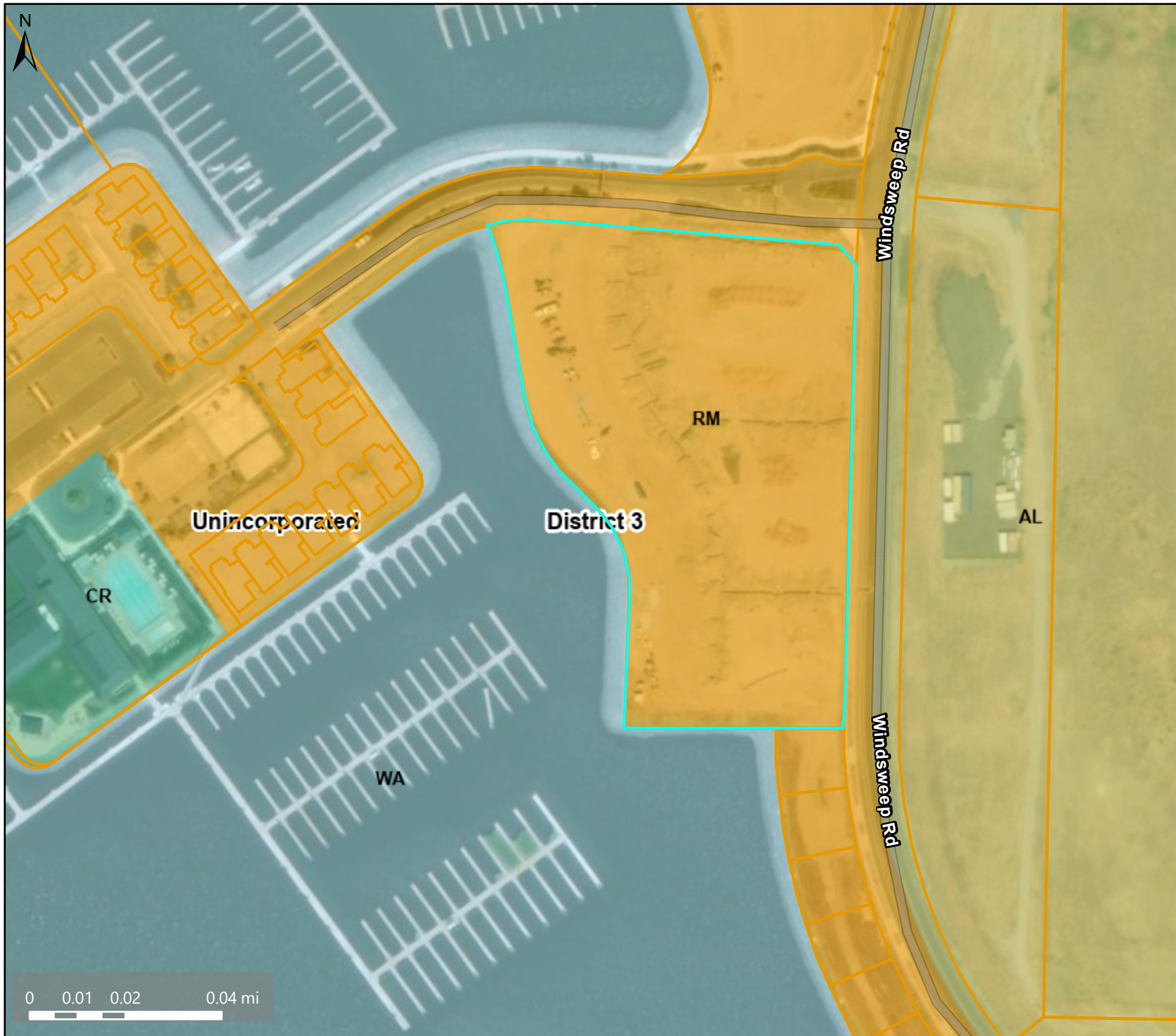


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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984



# General Plan: Residential Medium Density (RM)



## Map Legend

Assessment  
Parcels

Planning Layers  
(DCD)

General Plan

RM (Residential  
Medium  
Density) (7-17  
du/na)

CR (Commercial  
Recreation)

AL (Agricultural  
Lands) (1 du/10  
ac) (1 du/20 ac  
in DPZ)

WA (Water)

Unincorporated

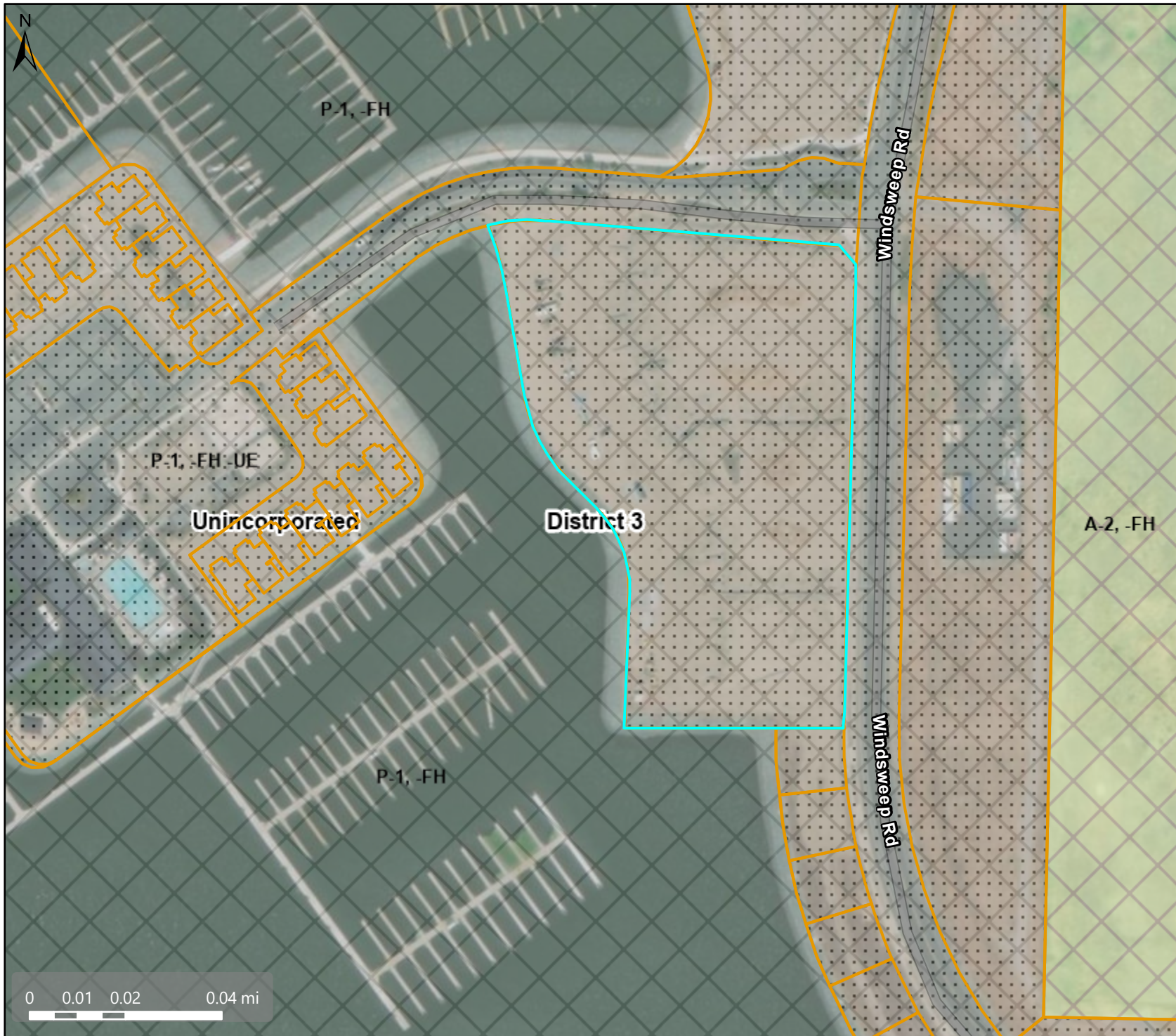
Board of  
Supervisors'  
Districts

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984



# Zoning: P-1, -FH,UE



## Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE\_OVER**
-  A-2 -FH (Flood Hazard Combining District)
-  P-1 -FH (Flood Hazard Combining District)
-  P-1 -FH -UE (Flood Hazard and Animal Exclusion)
-  Unincorporated
-  Board of Supervisors' Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984

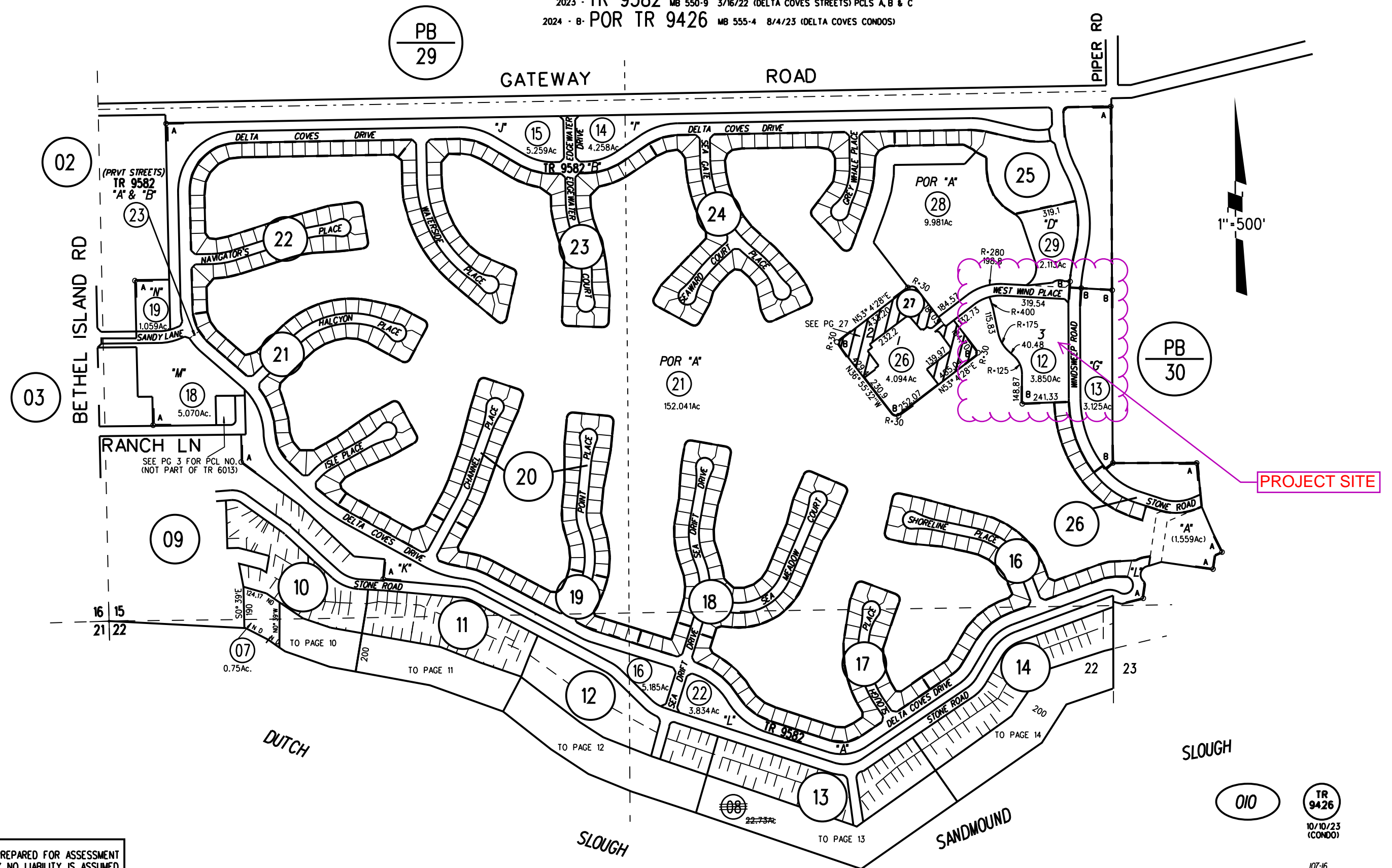
POR W1/2 SEC 14 / POR S1/2 SEC 15 & POR N1/2 SEC 22

T2N R3E MDBM

"2006" A- POR TRACT 6013 MB 476-37 3/22/05 (DELTA COVES AT BETHEL ISLAND)

2023 - TR 9582 MB 550-9 3/16/22 (DELTA COVES STREETS) PCLS A, B & C

2024 - B- POR TR 9426 MB 555-4 8/4/23 (DELTA COVES CONDOS)



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.













NOTE: ALL PROPOSED LANDSCAPING WILL COMPLY WITH THE CONTRA COSTA COUNTY MODEL WATER EFFICIENT LANDSCAPES ORDINANCE.

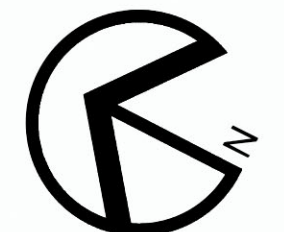
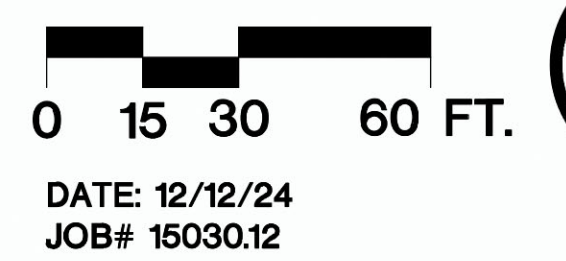
**PROGRAM LEGEND**

- 1 CONCRETE PEDESTRIAN ACCESS WALKWAYS (4 FT. & 5 FT. WIDE), TYP.
- 2 8 FT. WIDE DECOMPOSED GRANITE PATH (ABUTS PARCEL LINE/RIP RAP EDGE)
- 3 6 FT. HT. SOLID FENCE @ SIDE YARD PRIVATE GARDEN, TYP., SEE DETAIL 4 L-2
- 4 6 FT. HT. HORIZONTAL WOOD PERIMETER FENCE, TYP., SEE DETAIL 2 L-2
- 5 3'-6" HT. HORIZONTAL WOOD FENCE, TYP., SEE DETAIL 2 L-2
- 6 3'-6" HT. HORIZONTAL WOOD GATE, TYP., SEE DETAIL 1 L-2
- 7 3'-6" HT. METAL MESH FENCE & GATE @ SEMI-PRIVATE GARDEN SPACE, TYP., SEE DETAIL 5 L-2
- 8 EXISTING BELOW GRADE CONCRETE LEVEE SLURRY WALL
- 9 BIORETENTION BASIN, TYP.
- 10 3'-6" HT. HORIZONTAL WOOD VEHICULAR GATE @ EVA (INWARD SWING), SEE DETAIL 3 L-2
- 11 WOOD ARBOR W/ VINE PLANTING @ 6 FT TALL PRIVATE GARDEN GATES, TYP., SEE DETAIL 4 L-2
- 12 PROPOSED TREES. TREES TO BE INSTALLED NO CLOSER THAN 12 FT. FROM THE CENTER LINE OF (E) BELOW GRADE SLURRY WALL, TYP.
- 13 FLEXIBLE LAWN SPACE, TYP.
- 14 (E) PUMP FACILITY TO REMAIN

**CONCEPTUAL LANDSCAPE PLAN**

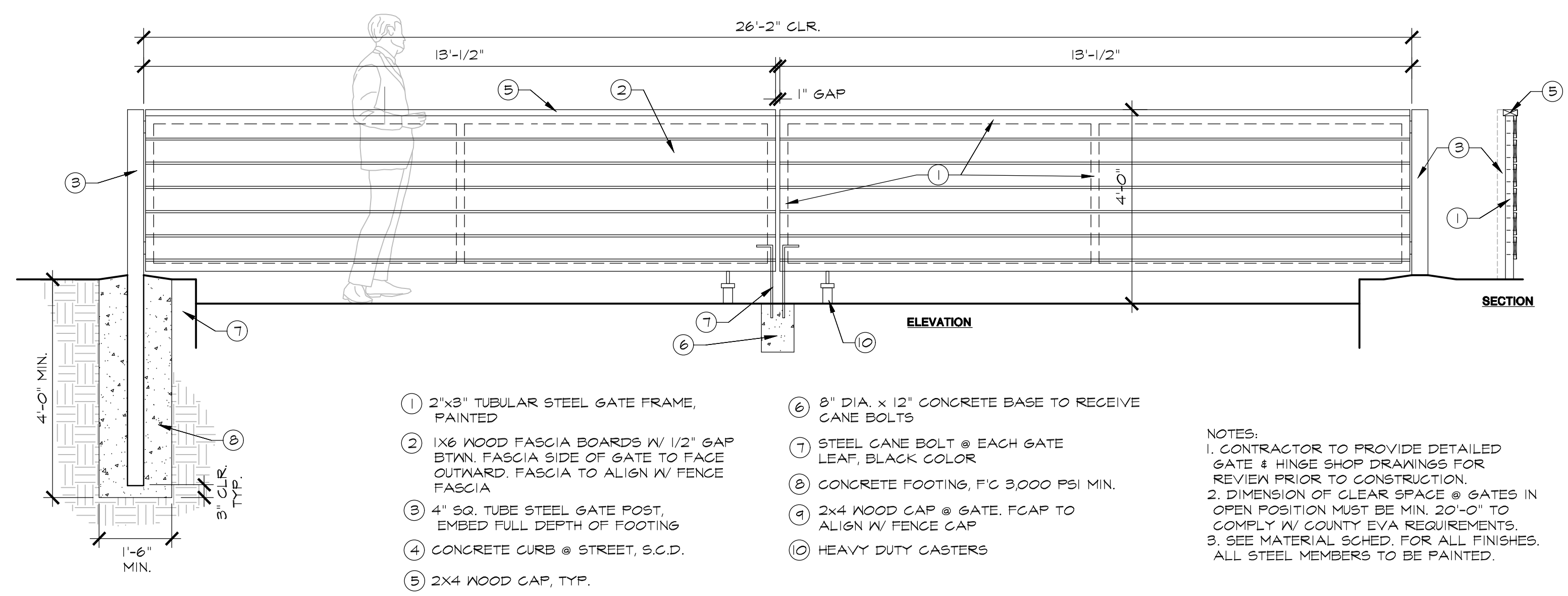
**REVISED DEVELOPMENT PLAN  
PARCEL E - SUBDIVISION 9633  
BETHEL ISLAND, CONTRA COSTA COUNTY, CA**

NOT FOR CONSTRUCTION

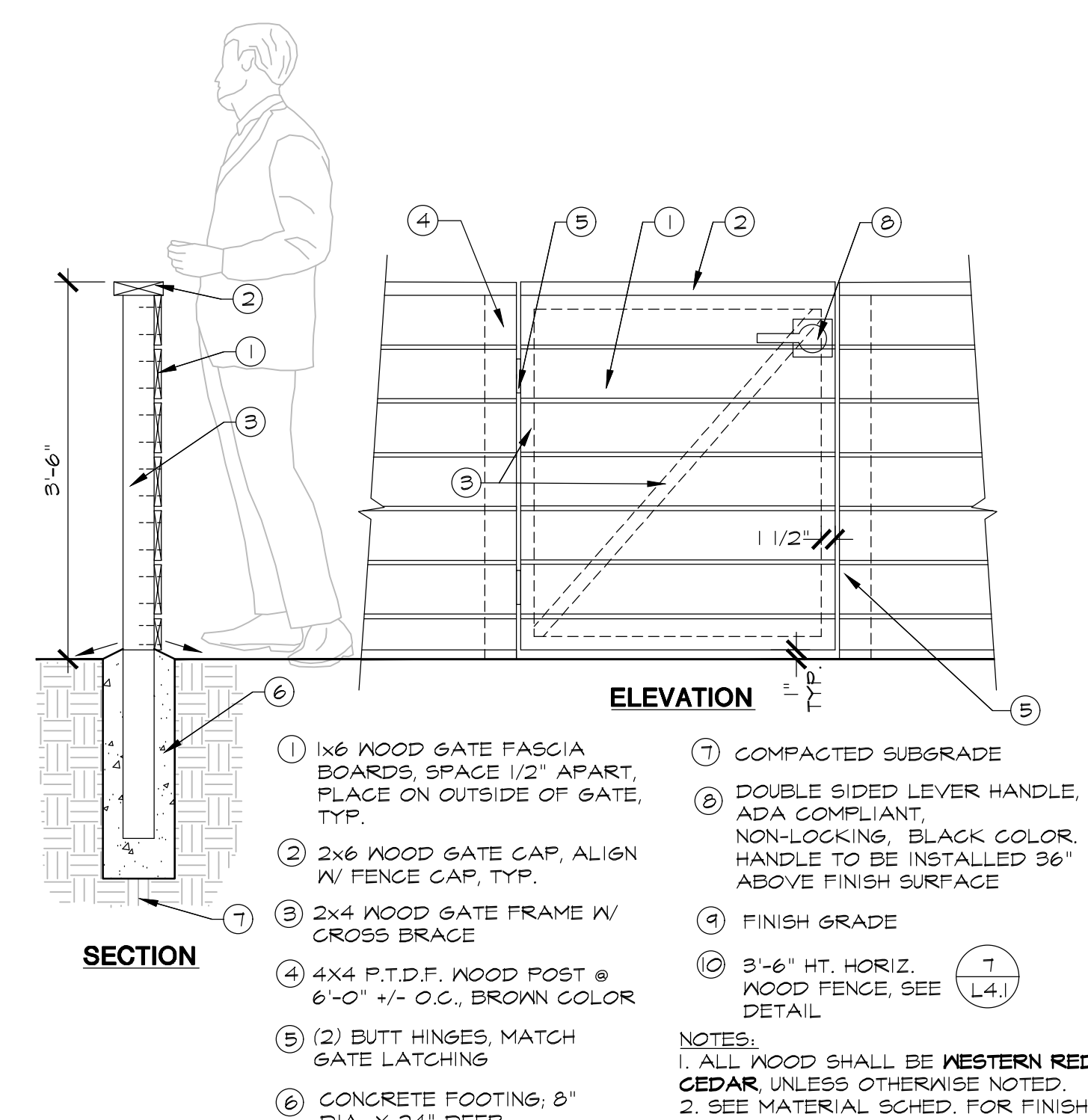


**ENVIRONMENTAL FORESIGHT, INC.**  
Landscape Architecture  
1700 N. Broadway, Suite 401  
Walnut Creek, CA 94596  
T (925) 945-0300 F (925) 945-6688  
www.environmentalforesight.com

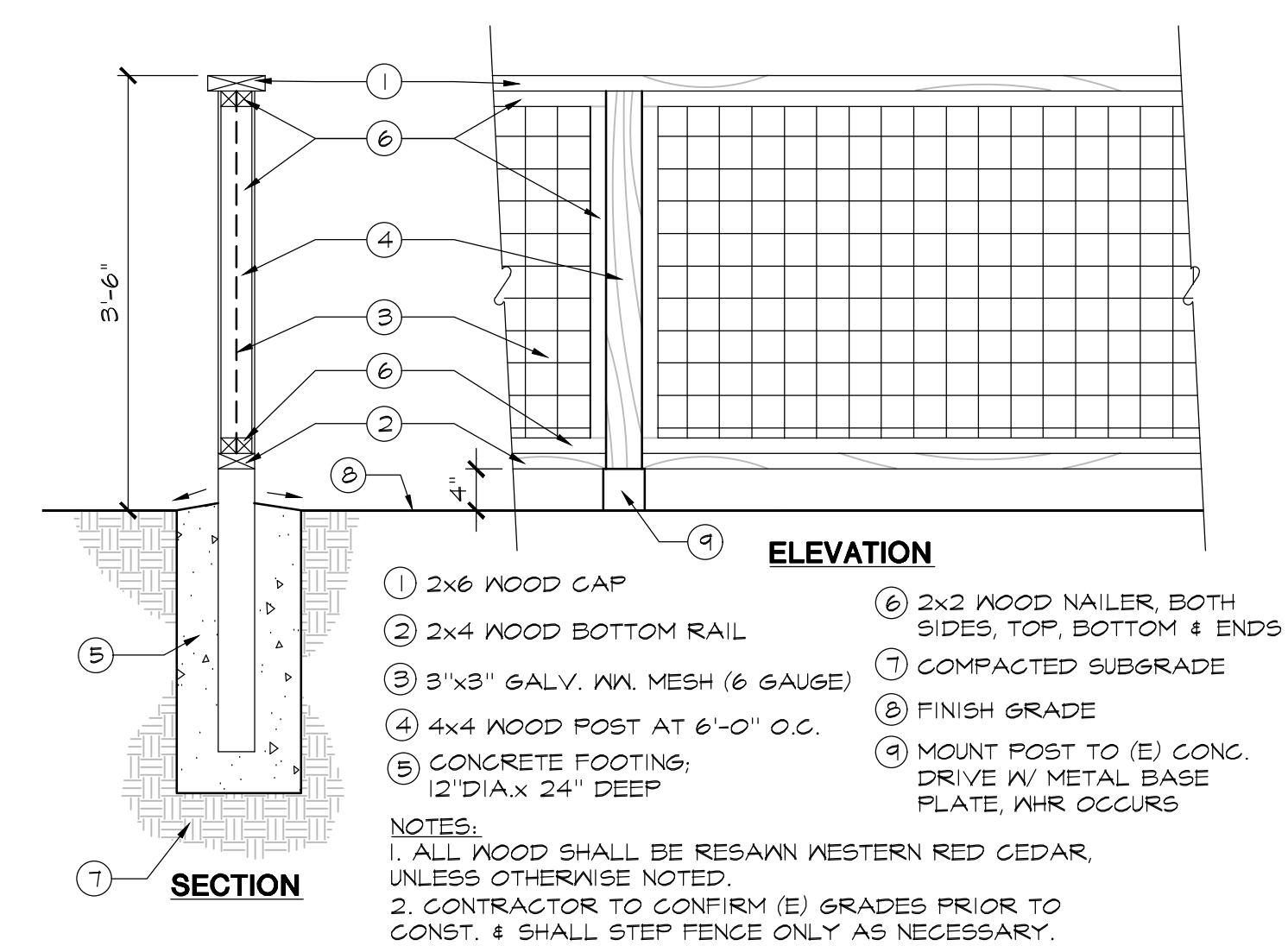




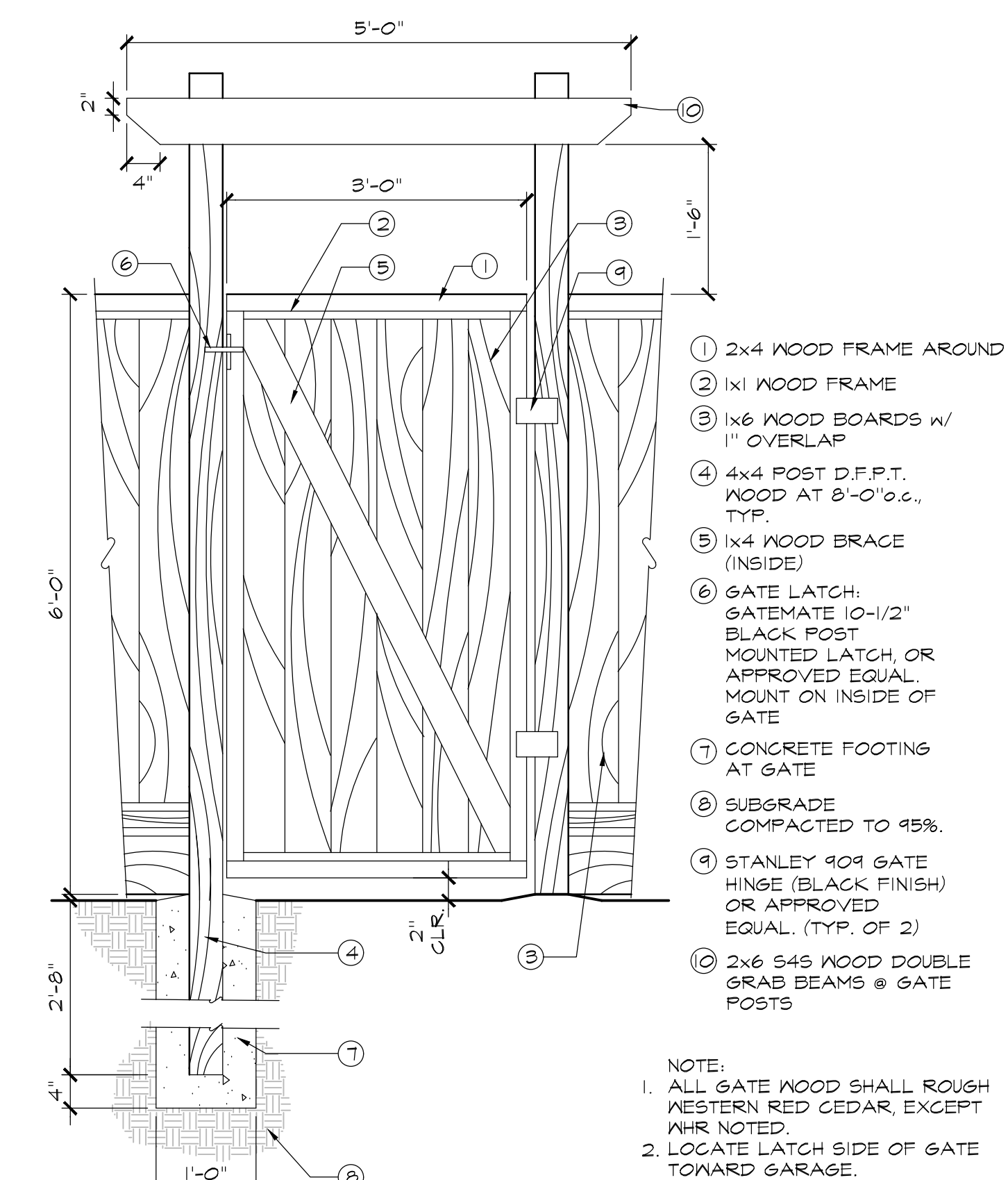
**3 3'-6" HT. HORIZONTAL WOOD GATE @ EVA (VEHICULAR)** SCALE: 1/2" = 1'-0" DT-VehGate.dwg



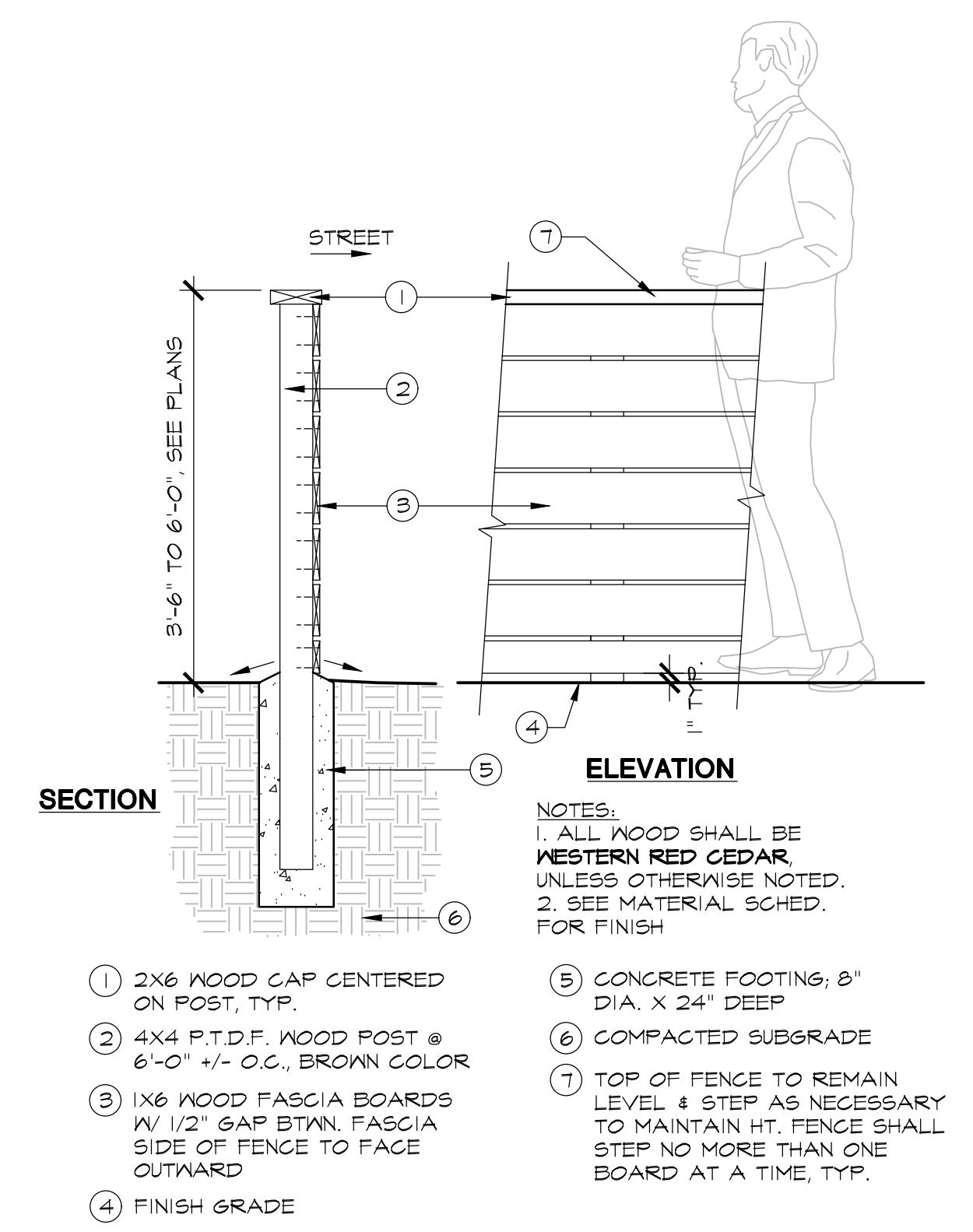
**1 3'-6" HT. HORIZ. WOOD GATE** SCALE: 3/4" = 1'-0" 1/16 DT-FerWood07.dwg



**5 3'-6" HT. WIRE MESH FENCE/GATE** SCALE: 3/4" = 1'-0" 1/16 DT-FerWire01.dwg



**4 6 FT. HT. SOLID WOOD FENCE & GATE W/ ARBOR** SCALE: 3/4" = 1'-0" 1/16 DT-FerWood01.dwg



**2 HORIZONTAL WOOD FENCE 3'-6" & 6'-0" HT.** SCALE: 3/4" = 1'-0" 1/16 DT-FerWood01.dwg





# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

---

**File #:** 25-161

**Agenda Date:** 1/14/2025

**Agenda #:** c.

---

Choose an item.

Meeting Date: 1/14/25

Subject: Agency Comment Request CDDP24-03058

Submitted For: BIMAC

**Recommendation(s)/Next Step(s):**

CONSIDER Agency Comment Request CDDP24-03058 where the applicant requests approval of a Development Plan application to modify #DP86-2020 (boat storage facility) to construct a 2-unit building as the harbormaster quarters.





# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDDP24-03058**

**File Date: 1/6/2025**

**Applicant:**

Debra Fromme, Choice Plans and  
Permit Services  
1021 Vineyard Drive  
Oakley, CA 94561

choicepps@yahoo.com  
(925) 783-1858

**Property Owner:**

Erik Johnson  
1 CASEY GLEN CT  
CLAYTON, CA 945171005

ghennis@americancoolingtower.com  
(925) 285-4097

**Project Description:**

Request approval of a Development Plan application to modify #DP86-2020 (boat storage facility) to construct a 2-unit building as the harbormaster quarters.

**Project Location: (Address: 0 DUTCH SLOUGH RD, OAKLEY, CA 94561), (APN: 032140005)**

**Additional APNs:**

**General Plan Designation(s):** CR

**Zoning District(s):** "R-B, -CE"

**Flood Hazard Areas:** AE

**AP Fault Zone:** NO

**60-dBA Noise Control:** NO

**MAC/TAC:** Bethel Island

**Sphere of Influence:** Oakley

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

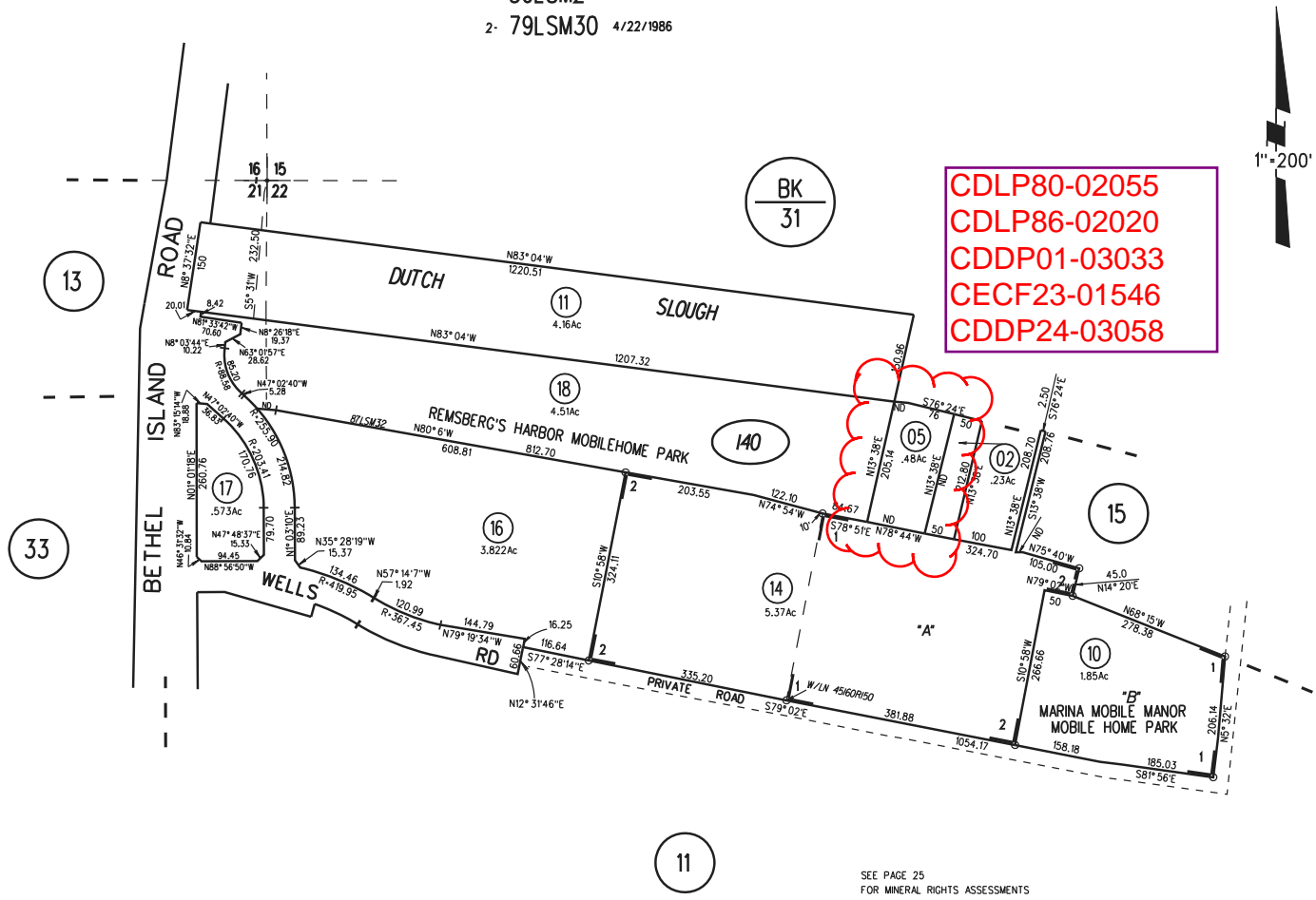
**Housing Inventory Site:** NO

**Specific Plan:** NO

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DPS0016	Dev Plan Review - DCD	002606-9660-REV-000-5B0016	3000.00	3000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
<b>Total:</b>			<b>3087.00</b>	<b>3087.00</b>

- 1- 56LSM2 4/10/1973
- 2- 79LSM30 4/22/1986



CDLP80-02055  
 CDLP86-02020  
 CDDP01-03033  
 CECF23-01546  
 CDDP24-03058

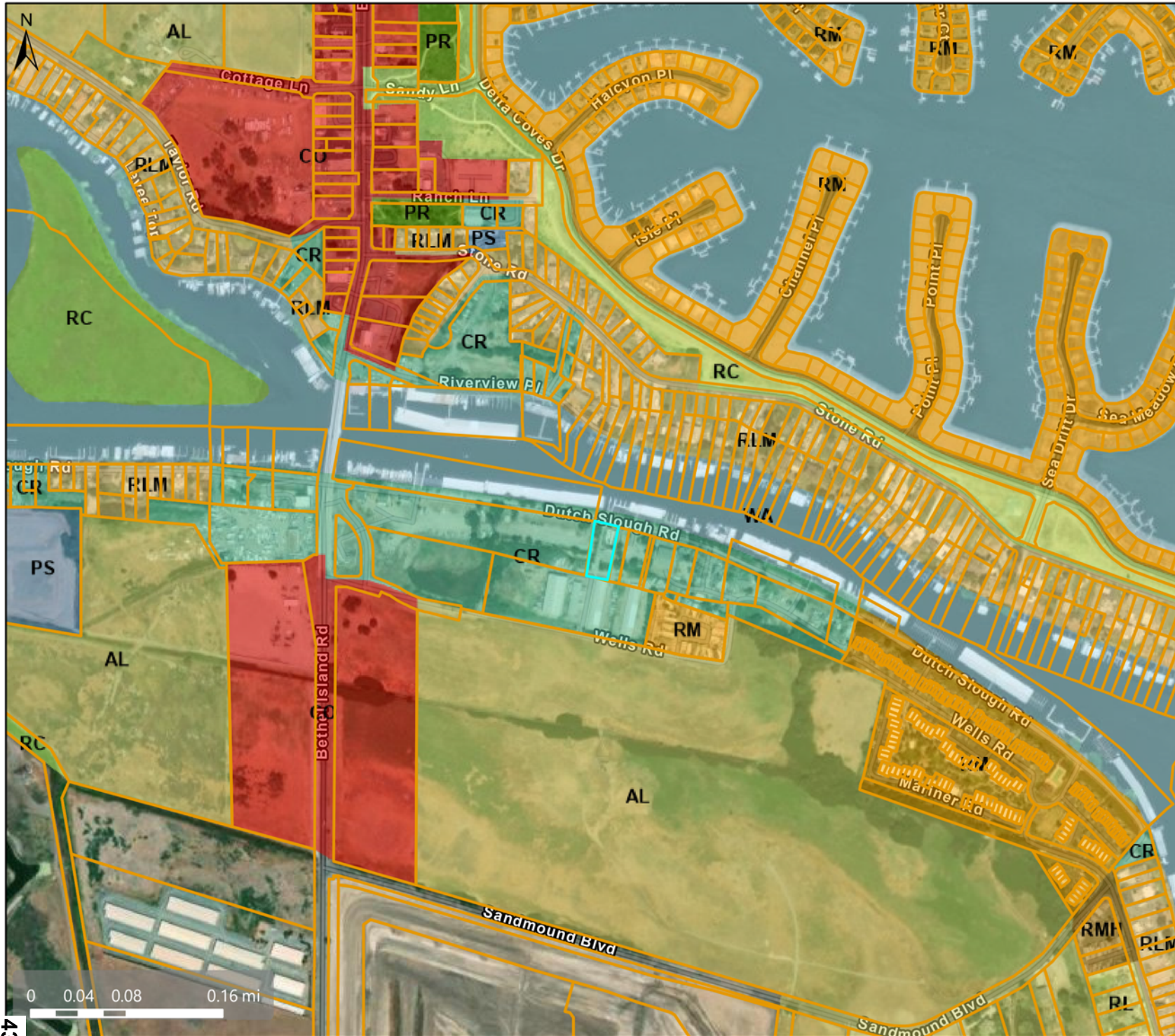
NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

SEE PAGE 25 FOR MINERAL RIGHTS ASSESSMENTS

140 18  
 5/20/09



# General Plan: Commercial Recreation (CR)



### Map Legend

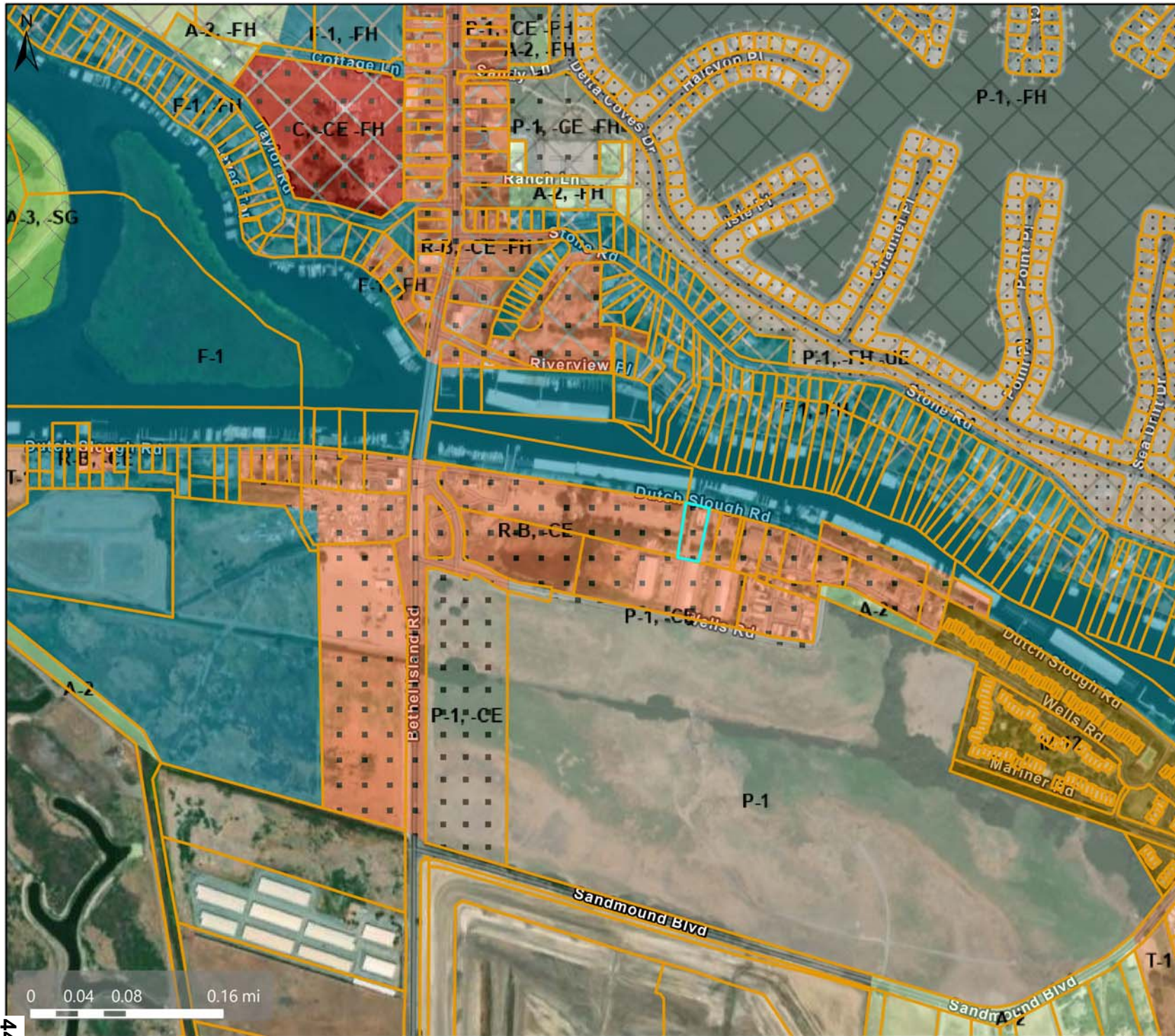
- Assessment Parcels
- Planning Layers (DCD)
- General Plan
  - RL (Residential Low Density) (1-3 du/na)
  - RLM (Residential Low-Medium Density) (3-7 du/na)
  - RM (Residential Medium Density) (7-17 du/na)
  - RMH (Residential Medium-High Density) (17-30 du/na)
  - CO (Commercial and Office) (C: 1.0 FAR O: 2.75 FAR)
  - PS (Public and Semi-Public)
  - CR (Commercial Recreation)
  - PR (Park and Recreation)
  - RC (Resource Conservation)
  - AL (Agricultural Lands) (1 du/20 ac) (1 du/20 ac in DPZ)
  - WA (Water)

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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984



# Zoning: Retail Business, Cannabis Exclusion Combining (R-B, -CE)



### Map Legend

- Assessment Parcels
- Planning Layers (DCD)
- Zoning
- ZONE\_OVER
- M-12 (Multiple Family Residential)
- F-1 (Water Recreational)
- F-1 -FH (Flood Hazard Combining District)
- A-2 (General Agriculture)
- A-2 -FH (Flood Hazard Combining District)
- A-3, -SG (Solar Energy Generation Combining District)
- R-B -CE (Cannabis Exclusion Combining District)
- R-B -CE -FH (Cannabis Exclusion and Flood Hazard)
- C -CE -FH (Cannabis Exclusion and Flood Hazard)
- P-1 (Planned Unit)
- P-1, -CE (Cannabis Exclusion Combining District)
- P-1, -CE -FH (Cannabis Exclusion and Flood Hazard)
- P-1 -FH (Flood Hazard Combining)

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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984



# Aerial Map



## Map Legend

- Assessment Parcels

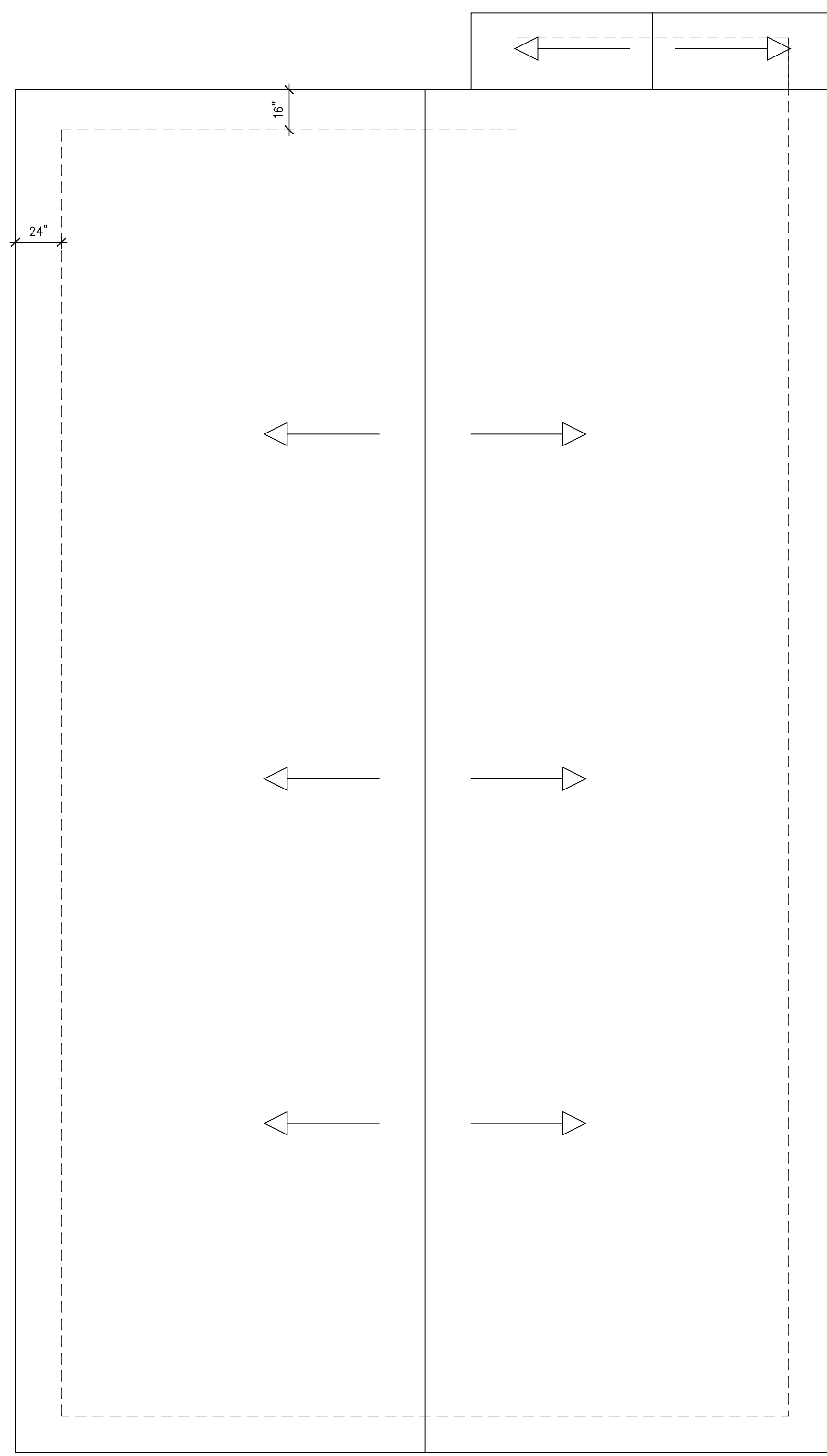
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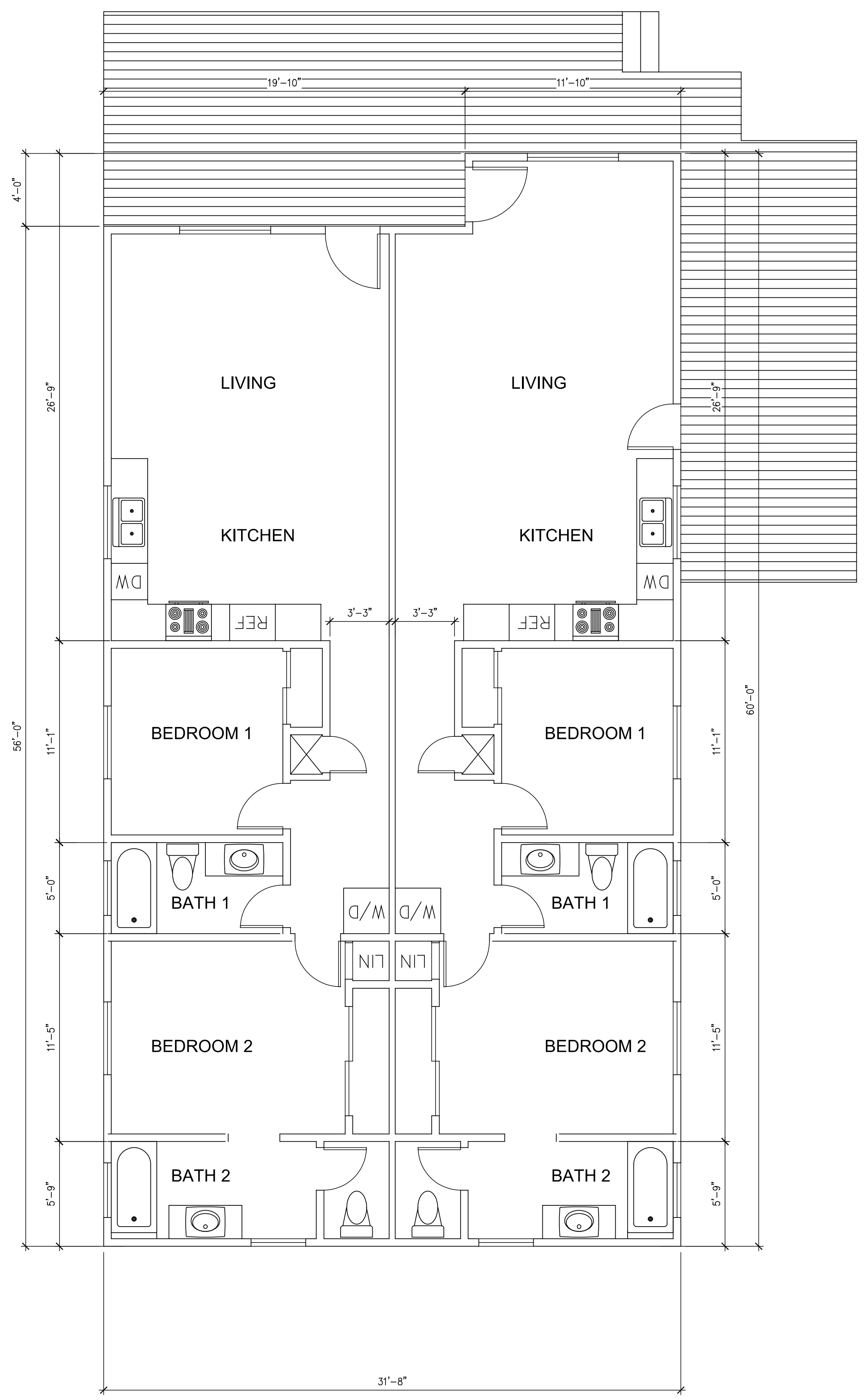
Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984

**RECEIVED** on 01/06/2025 CDDP24-03058  
 By Contra Costa County  
 Department of Conservation and Development



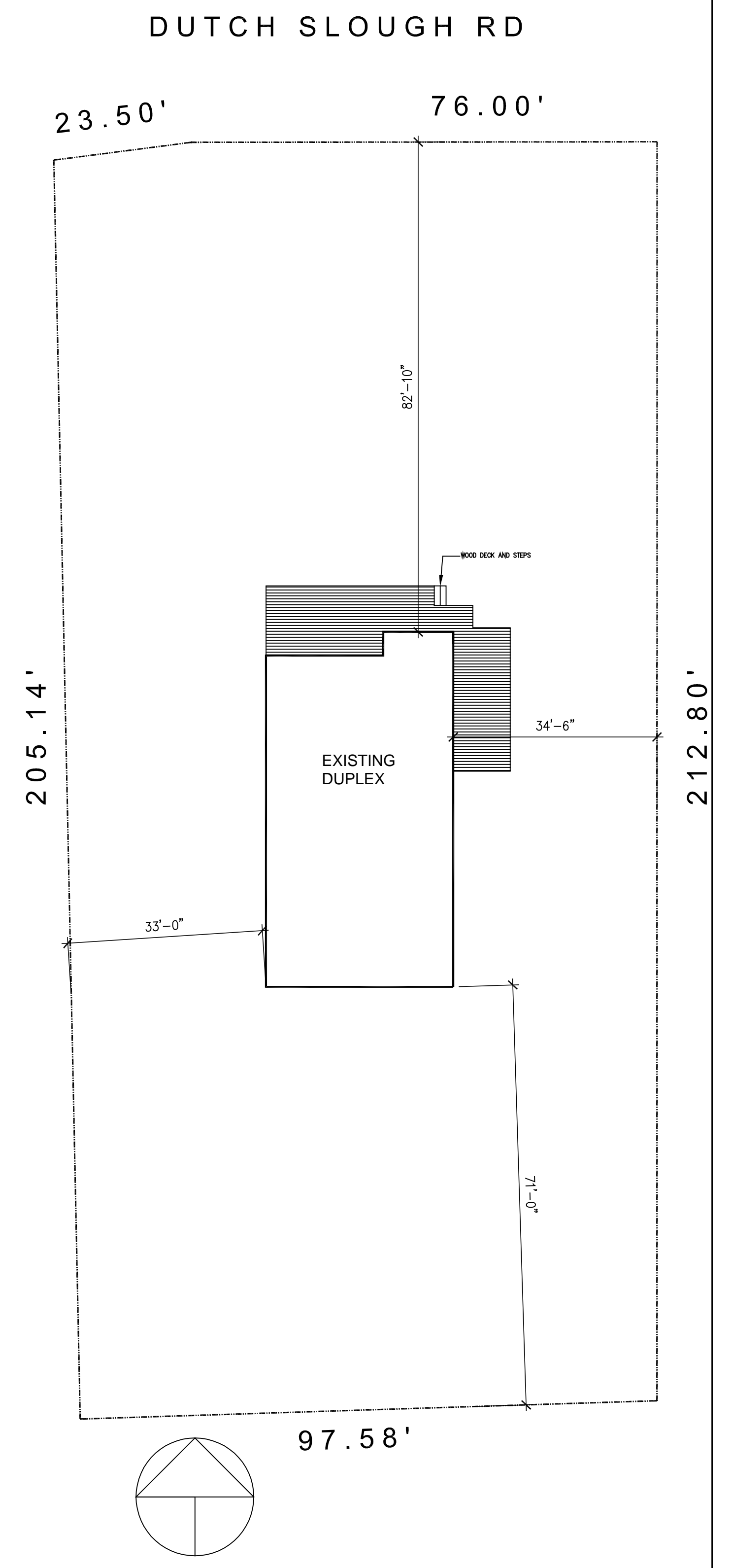
ROOF PLAN

SCALE:  
1/4" = 1'-0"



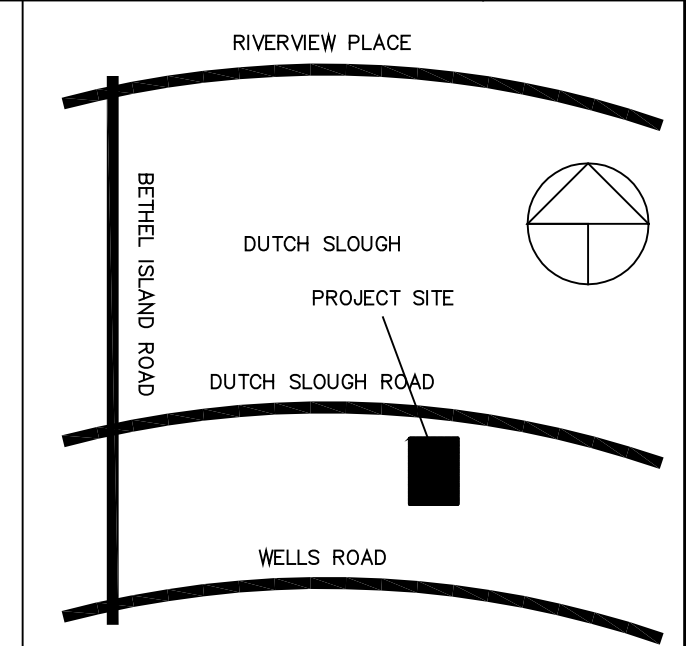
FLOOR PLAN

SCALE:  
1/4" = 1'-0"



SITE PLAN

SCALE:  
1/16" = 1'-0"

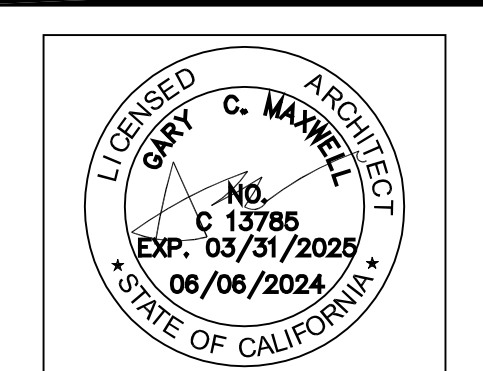


VICINITY MAP

**M/a**  
 maxwell &  
 associates  
 architecture & planning

8941 Atlanta Ave, Suite 365  
 Huntington Beach, CA 92646  
 949 532 6018 tel / 714 276-9593 fax  
 gary@maxarc.com  
 registrations: c13785

**Harbor Master Residence**  
 Hennis Marina  
 3205 Wells Road  
 Oakley, CA 94561

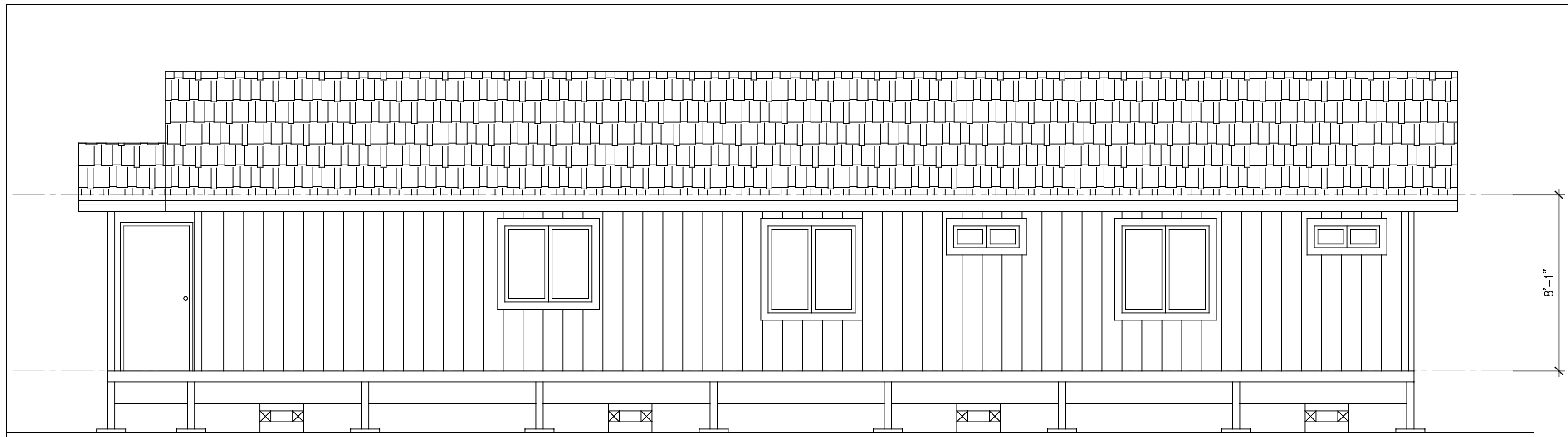


PROJECT NO	24062
DATE	06/06/2024
DRAWN BY	

REVISIONS
▲
▲
▲
▲

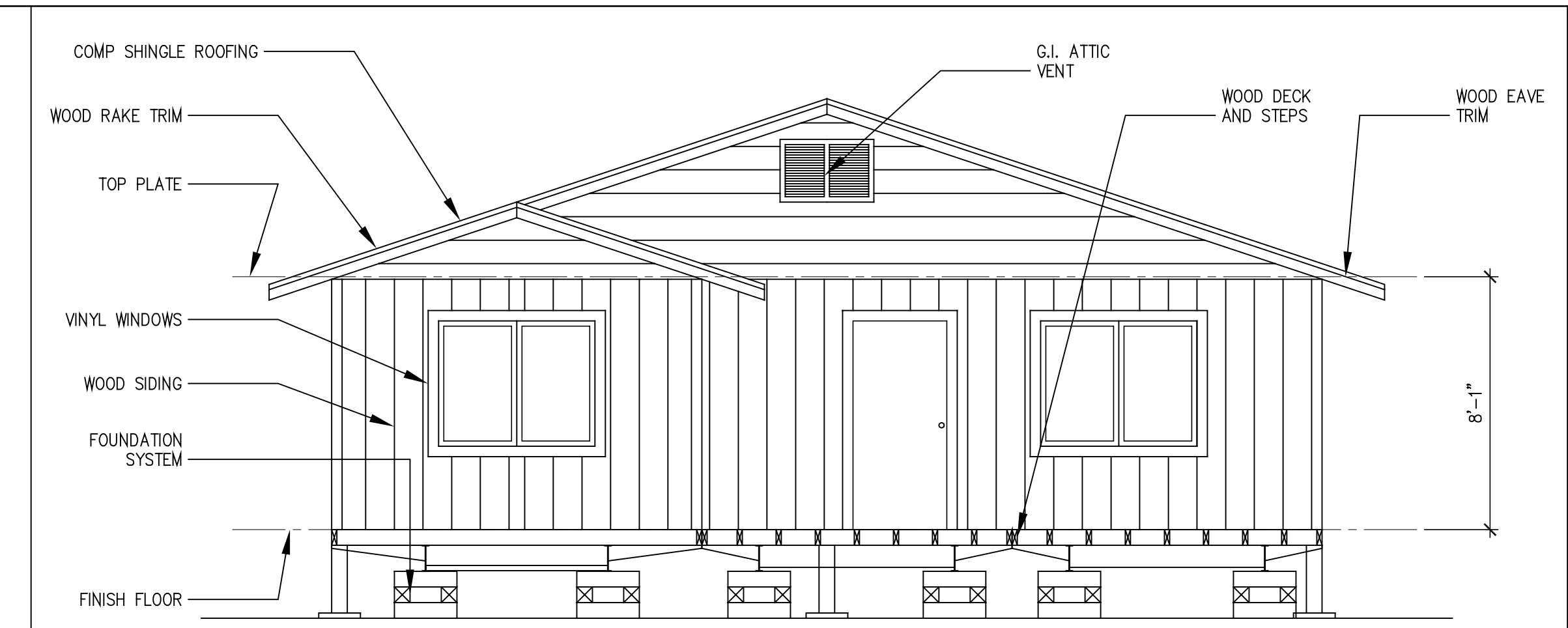
**A-1**





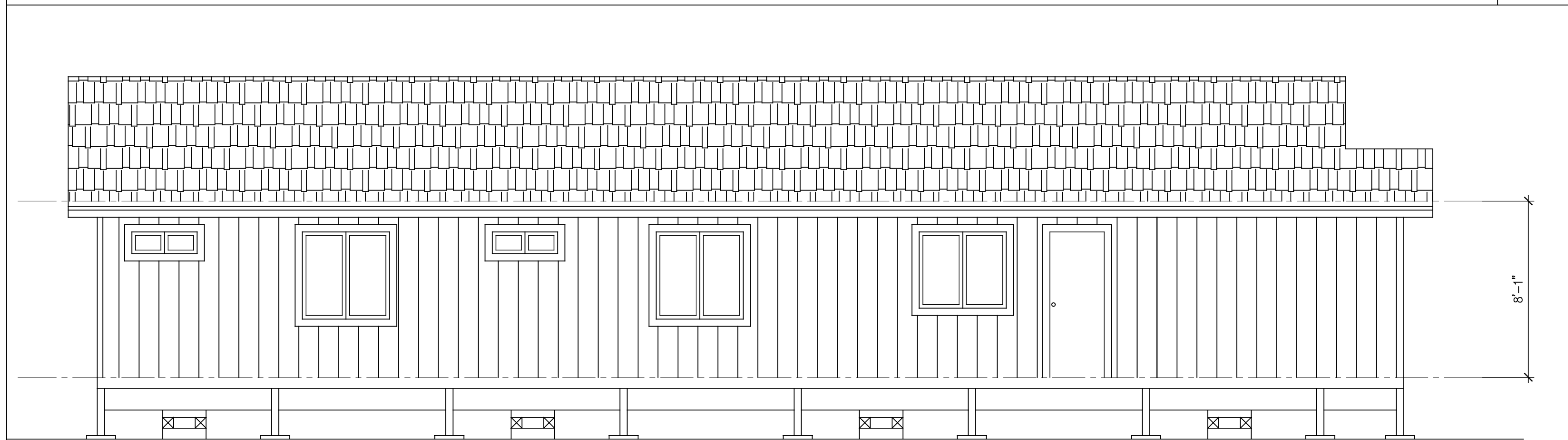
EAST ELEVATION

SCALE:  
1/4" = 1'-0"



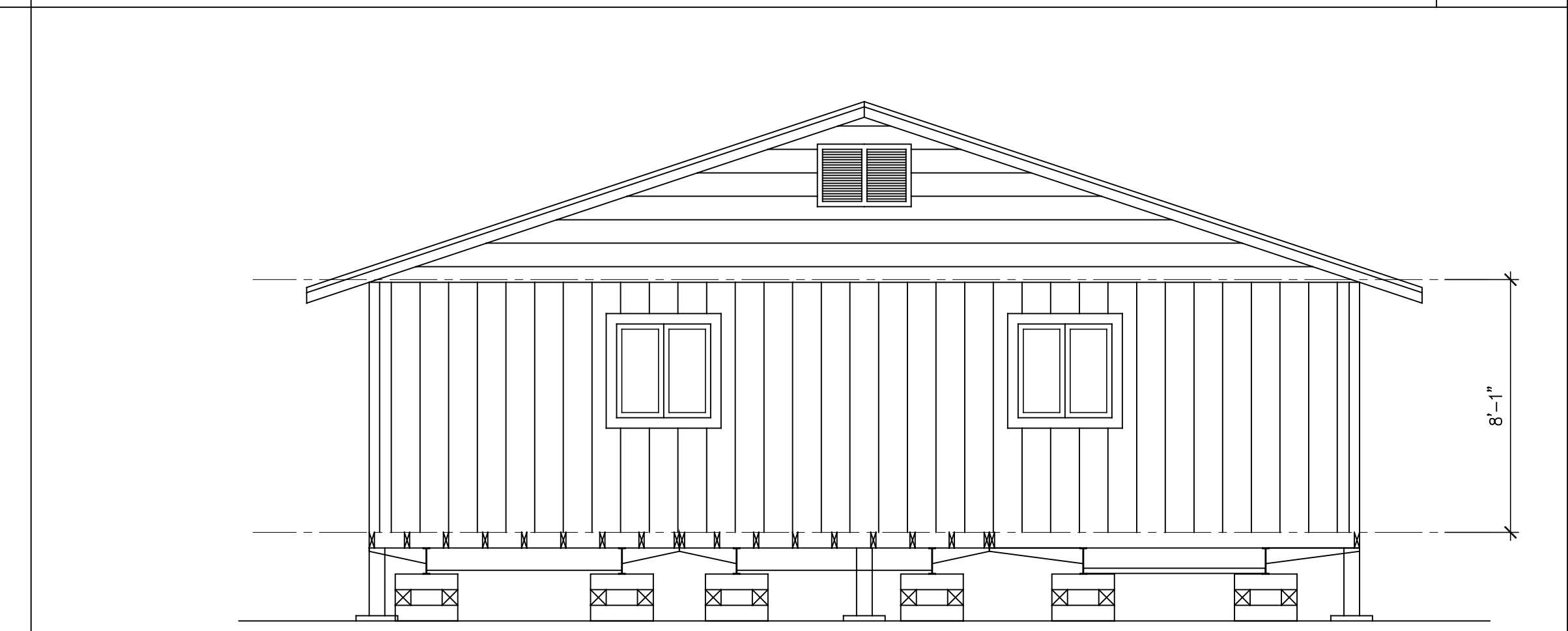
NORTH ELEVATION

SCALE:  
1/4" = 1'-0"



WEST ELEVATION

SCALE:  
1/4" = 1'-0"



SOUTH ELEVATION

SCALE:  
1/4" = 1'-0"

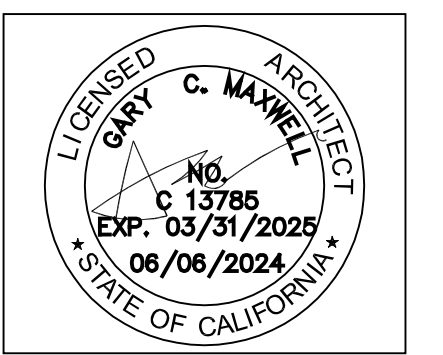
**M/a**  
maxwell &  
associates  
architecture & planning

8941 Atlanta Ave, Suite 365  
Huntington Beach, CA 92646  
949 632 6018 tel / 714 276-9593 fax  
gary@maxarc.com  
registrations: c13785

**Harbor Master Residence**

Hennis Marina

3205 Wells Road  
Oakley, CA 94561



PROJECT NO	24062
DATE	06/06/2024
DRAWN BY	

REVISIONS	
△	
△	
△	
△	
△	

**A-2**



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

---

**File #:** 25-162

**Agenda Date:** 1/14/2025

**Agenda #:** d.

---

Choose an item.

Meeting Date: 1/14/25

Subject: Updates from Bethel Island MAC Chair

Submitted For: BIMAC

### **Information:**

#### Roles & Responsibilities for the Bethel Island MAC:

- *"The council shall advise the Board of Supervisors on land use and planning matter affecting the community of Bethel Island...The council may provide input and reports to the Board of Supervisors, county staff, and county bodies on issues of concern to the community."*
- *It is understood that the Board of Supervisors is the final decision-making authority with respect to issues concerning the Bethel Island Community and that the council shall serve solely in an advisory capacity."*
- *The council and its individual members acting on behalf of the council MAY NOT represent the Bethel Island community to any state, other county, city, special district (i.e. BIMID), or school district, agency or commission, or any other organization on any matters concerning the community."*

Bethel Island MAC's Sphere of Influence is provided in the attachments for reference.

#### 2024 Accomplishments & 2025 Goals:

- Provided input on Agency Comment Request, Contra Costa Local Hazard Mitigation Plan, Delta Stewardship Council's Delta Adapts Plan and other important public documents. This is the main purpose of the MAC and will continue in 2025.
- Held a successful community clean-up day where we filled 12 debris boxes with garbage from roughly 60 Bethel Island residents without issue, not including another 3 debris boxes we allowed BIMID. This will be a goal again for 2025.
- Provided a venue for residents to bring their concerns and facilitate resolution of

several different code enforcement, Sherriff, fire and other county relevant issues in 2024.  
This will continue to be a goal.

- Expand the annual Health & Safety Fair for 2025 in partnership with others.
  
- Increase participation at the regular meetings.

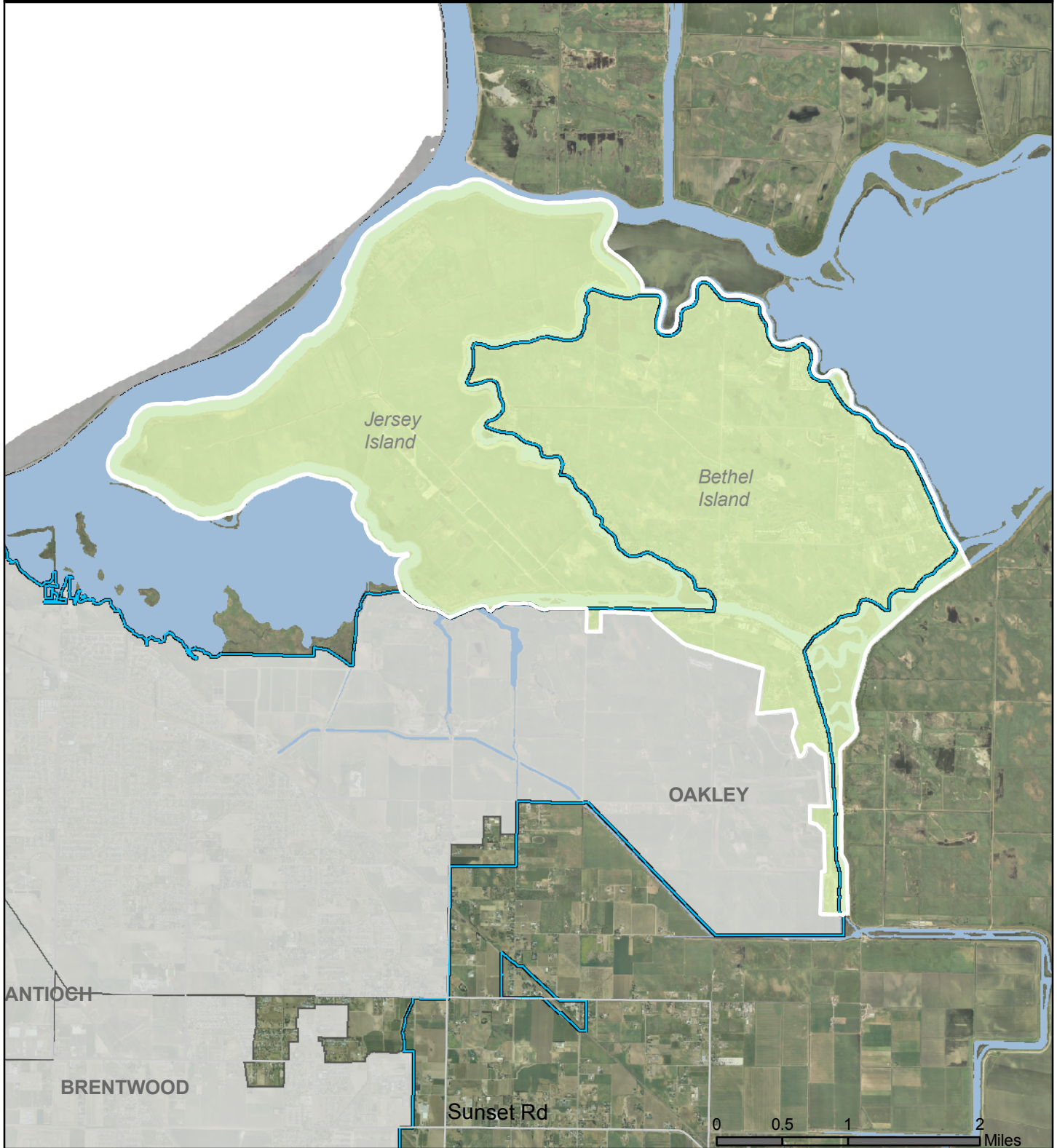
**Recommendation(s)/Next Step(s):**

RECEIVE Updates from Bethel Island MAC Chair






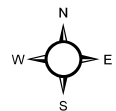
# Bethel Island MAC Boundary Map

As approved by the Board of Supervisors on 12-16-2008



## Legend

-  Approved MAC Boundary
-  City Limits
-  Urban Limit Line



Map created 2/22/09  
 by Contra Costa County GIS, GIS Group  
 651 Pine Street, 4th Floor - North Wing, Martinez, CA 94553-0095  
 925.944.4600 / 925.944.3444

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