



## AGENDA

### CONTRA COSTA COUNTY North Richmond Municipal Advisory Council

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Tuesday, July 7, 2026

5:00 PM

515 Silver Ave, North Richmond |  
<https://cccounty-us.zoom.us/j/810469011>

64

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Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call and Introductions
2. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
3. REVIEW and APPROVE Agenda and June 2, 2026 Meeting Notes  
NRMAC Meeting Notes for June 2, 2026 [26-2886](#)  
**Attachments:** [NRMAC Notes 6-2-2026](#)
4. Law Enforcement Update
5. CC Planning Permit Recommendation  
REVIEW AND APPROVE County Planning Permit CDVR26-01005 and CDDP26-03013 [26-1862](#)  
**Attachments:** [Agency Comment Request Pkt CDDP26-03013](#)  
[CDVR26-01005 ACR](#)
6. Presentations  
CC Fire Protection District Presentation [26-2887](#)  
**Attachments:** [North Richmond MAC Presentation](#)  
AC Transit Budget & Service Update [26-2888](#)  
**Attachments:** [AC Transit Contingency Planning Presentation](#)
7. Community Updates (COR, CCHA, Supervisor Gioia, CHDC, RLAND, Urban Tilth)

The next meeting is currently scheduled for Tuesday, August 4, 2026 at 5 PM

Adjourn

For Additional Information Contact: [Tania.pulido@bos.cccounty.us](mailto:Tania.pulido@bos.cccounty.us)



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-2886

**Agenda Date:** 7/7/2026

**Agenda #:**

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Advisory Board: North Richmond Municipal Advisory Council  
Subject: NRMAC Meeting Notes for June 2, 2026

Information: NRMAC Meeting Notes for June 2, 2026

## **NORTH RICHMOND MUNICIPAL ADVISORY COUNCIL**

June 2, 2026

Corrine Sain/Senior and Family Community Center

515 Silver Street

North Richmond, CA 94801

Meetings are being conducted at the Corrine Sain/Senior and Family Community Center, 515 Silver Street, N. Richmond, CA 94801. The meetings are accessible on ZOOM.

### **CALL TO ORDER/ROLL CALL**

The meeting was called to order at 5:02 p.m. Board members present were:

Annie King-Meredith, Donald Gilmore, Latifah Abdullah, Beatriz Dominguez, and Princess Robinson on ZOOM.

### **APPROVAL OF AGENDA/MINUTES**

Upon reviewing the agenda and the minutes, Annie makes a motion to accept the agenda and minutes from April 2026, and Latifah seconds. All are in favor.

### **PUBLIC COMMENT**

Ryan Lau, External Affairs Representative/A C Transit: On Wednesday, June 10th at 5:00 p.m., the AC Transit Board of Directors will be considering reducing service due to significant budget shortfalls. The meeting location will be at 1600 Franklin, or you can go to the website and participate online. Prior to the meeting, there will be an open house, so people can walk through some of the changes with a service planner. The state did issue a loan that is helping to stabilize this year's budget. In the next four years, the company will be suffering a \$200 million deficit, beginning in fiscal year 2027-28. Without sustainable revenue, the company will be facing the possibility of a reduction of service of 16%, and job loss of 300 personnel. Transit's been preparing for the worst-case scenario. If no new funding is secured, service reductions will begin as early as June 2027. There are no decisions that have been made about any specific routes. Every bus line in the district is currently under review. The priority is obviously to preserve the current service levels. Just want to be transparent about the challenges that they do face. Will be sharing additional details as they move forward through this process.

## **PUBLIC COMMENT CONTINUES**

Tania welcomes the NRMAC Board's new member, Beatrice Dominguez. Tania highlights that Beatrice grew up in North Richmond and went to Richmond High. Beatrice says that she is honored to be here. She says that her background is in marketing. She received her BA at San Francisco State, and has a hospitality background, not just in restaurants, but in hotels, event planning, and different alternatives in culinary. The NRMAC welcomes Andrea Baily of Chevron Refinery, glad to have her at the meeting this evening.

## **ITEMS FOR DISCUSSION and/or ACTION**

Cynthia Jordan.Secretary-NRMAC/Increase in Stipend: Cynthia has been with the NRMAC for a long time. For many years (20+), her stipend for taking the minutes has always been the same. The budget was looked at, and it is \$3,000 annually. The budget is \$100 per meeting, for the secretary, plus funds/rent for use of the senior center. Supervisor Gioia said, looks like we have enough in the budget to increase Cynthia's stipend by \$50 a month. He suggested that we get approval from the NRMAC board. Annie suggested that Cynthia's stipend be raised by \$100 a month. Don said that there was not enough money in the budget to do that. Annie motions to increase the stipend by \$50 per meeting. Latifah seconds. All are in favor.

## **LAW ENFORCEMENT/AGENCY REPORTS**

Lieutenant Brian Fitzgerald/CCC Sheriff's Department: Reporting for the month of May.

There were 455 calls for service, which generated a total of 38 reports. There were domestic violence, assault with a deadly weapon, and criminal threats. Three stolen vehicles were recovered. Regarding the street lighting, deputies assigned to North Richmond went around at night to identify the locations that had flickering or low lighting. The deputies made notes of the lights that had issues. This will be discussed with Public Works to get increased voltage at certain locations and get lights replaced. As far as the street sweeping, that is something that's being worked on. Part of the 38 reports that were generated for the month of May, 21 of those were actually tows. A lot of vehicles were towed that were outside of compliance for various reasons. The department kind of cleaned up some of the junk cars that were on the streets, parked illegally. Hopefully, the community can benefit from the street sweeping, and the sweepers are not just driving down the middle of the street.

Officer Debbi, one of the North Richmond Deputies. In the month of May, they coordinated an impact team, which is like a traffic suppression unit. They came out and

basically did traffic suppression in North Richmond. A lot of citizens have been complaining about people running stop signs and just kind of speeding through the neighborhood, especially on Fred Jackson Way.

A task force was organized, and problems were identified. That event was very successful. Approximately 75 citations were issued for stop sign violations.

Lieutenant Ernest Lucas/Richmond Police Department: Reporting for the month of May.

Responded to 499 calls for service. Out of those calls, there were 41 incident reports that were generated. There were 17 arrests, and nine citations were issued. Some of the top calls for service in the area were for 911 disconnects. Responded to 65 calls, where someone dialed 911 and hung up immediately. There were 60 traffic stops made for various reasons. Responded to 33 disturbance calls. Parking enforcement officers responded to 30 parking violation calls and issued 23 citations and towed 25 abandoned vehicles. Officers looked into 16 suspicious vehicle alerts. For the top incident reports, there were four auto burglary reports, basically where someone broke into someone's vehicle and took items out of the vehicle. There were also four stolen vehicles that were reported as well for the last 30 days. Two assaults with a deadly weapon, two batteries, and two calls where someone was in crisis with mental health. Those two calls were handled by either A3 or the new team ROC organization. ROC reaches out with compassion and kindness. Officers will show up and determine if the calls are better suited for non-emergency personnel. Have received a number of complaints in regard to the encampment that has kind of re-established itself at Castro and Hensley off the parkway. Have sent folks out to off-services, the individuals who were there. Received a letter today stating that the encampment is going to be abated by the end of this week. The individuals will be offered temporary to permanent housing as well. There has also been an agreement made where the county will go out, and the city will go out on a routine basis to just check that area and offer services to anyone who's still remaining in and around that particular area. There was a soft opening of the park, which took place last weekend. The Richmond Police Department has entered into an agreement where they will be conducting basically routine traffic patrols through the park. It's going to be foot patrols as well as driving around twice a day, once in the afternoon and once in the evening after the sun goes down. To ensure that there's no vandalism or people hanging out in the park and misusing it until we have the grand opening in July.

Questions: Chair, Donald Gilmore asks what area this report covers. The area goes from right below Market to right between Chesley Avenue, as far as 7th Street. And then from the parkway up to the tracks, which would be right at 23rd Street. So it takes in part of the Iron Triangle.

### Bea Coleman, Fellow/Partnership for the Bays Future - Las Deltas Updates -

Spring 2026: Eligibility to Buy Las Deltas Property: A local preference policy applies to sales of the redeveloped Las Deltas homes. Buyers will be prioritized according to this preference: 1. People who lived in Las Deltas and were relocated at the time it closed. 2. People who currently live or work in North Richmond or used to live there. 3. General public. Make sure you're ready for homeownership with services available from CHDC, Spark Point, and RNHS. Improve your credit, apply for down payment assistance, and access resources for first-time homebuyers. Below Market Value (\$1) Sales: Developers will have 3 years (until mid 2028) to begin their renovations and then sell them as affordable homeownership opportunities. Entity MUST give priority to former public housing residents of Las Deltas, then current and former N. Richmond residents, and lastly, the general public. Only households making below 80% of the Area Median Income can purchase the homes. This restriction will last 20 years, which means the homeowners must only sell it to income-eligible families if they choose to sell within 20 years. Market Rate Sales: The second phase of Las Deltas sales offered a selection of the scattered sites (18 parcels/25 structures) for sale at the fair market values. A priority offer period was opened from June 10th to October 10th, 2025, where offers were only accepted from relocated Las Deltas residents and the North Richmond community. Units are sold in as-is condition, needing significant repair to be inhabitable. Qualified offers were received and accepted on all 17 parcels, with all buyers qualifying for the local preference policy. None of the market-rate parcels were sold to external or foreign interests. As of June 2026, 8 sales have closed, with the remaining 9 in escrow. Main Campus Update: The developer for the 11+ acre Main Campus was chosen by a selection panel in March and approved by the Board of Commissioners in June 2025. To date, HACCC and the elected developers, CHDC and Eden Housing, continue to conduct Exclusive Negotiating Agreement discussions. It is anticipated that ENA will be complete by summer 2026. The approved project includes 240 total units and amenities such as a park, fitness center, basketball court, and daycare facility. Fifty-eight planned 2-bedroom homes for sale, 67 planned 3-bedroom homes for sale, 115 senior affordable rentals, and over 400 off-street parking spaces. The project will be completed in 5 phases. The first phase is projected to begin at the end of 2027 with the construction of the senior rentals and 26 of the for-sale homes. The entire project is projected to be completed by early 2034.

## RCF Connects:

Property Address for sale: 1740 Fred Jackson Way - 4 bdr, 1.5 bath, 1744 Fourth Street - 4bdr, 1.5 bath, 1710 Giaramita Street - 4dbdr, 1.5 bath, Duplex: 423 Silver Avenue & 1709 5th Street - each - 3bdr, 1 bath. Special CRA Financing: Example from California Bank and Trust: Up to 97% loan to value, No mortgage insurance to borrower - Bank pays for it. Reduced lender fees; two (2) months of house payments are required in reserves. Example from Mechanics Bank: Mechanics Bank has partnered with RCF Connect to help people in local communities achieve the goal of homeownership. Through this partnership, applicants can: Get a mortgage with as low as 3% down. Qualify for a WISH Grant for a maximum amount of \$32,000 to go towards your down payment. Speak to dedicated Lending Advisors throughout the home-buying process. Site Designs are all Advanced Energy Homes: Induction stove, smart thermostat, solar panels, and electric vehicle charger. Contact [alee@richmondrcf.org](mailto:alee@richmondrcf.org) Ph# 510-234-1200

Question: What year was Las Deltas built? Answer 1964. Questions were asked about parking and a garage. There will be off-street parking. Question: Any offers on the duplexes? Annie asks what the amount of rent would be for a duplex and how much a duplex costs. Answer: Rent is about \$3,000 a month, purchase price \$690,000.

### Richmond Neighborhood Housing Services - Restoring Neighborhoods/Las Deltas:

RNHS is committed to restoring neighborhoods and creating vibrant communities. The Las Deltas Redevelopment Project Overview: The objective is to renovate and subdivide existing duplexes into affordable, below-market-rate homes available for purchase. The scope is renovation and conversion of (4) residential duplexes into (8) affordable homes for sale in North Richmond. The target audience is low-to-moderate income homebuyers currently or formerly in N. Richmond, relocated Las Deltas residents. Sustainability will incorporate green building practices, energy-efficient solutions, and strategies that support generational wealth by reducing long-term living costs and building equity. Partnership: A collaboration with community development financial institutions, community organizations, & emerging developers. The Las Deltas Redevelopment Project (18) Month Tentative Timeline: Months 1-8, planning & approvals, months 8-12, renovation, months 13-14, finalization & sales. Property Acquisition - May 2025, permit & entitlement package submitted - July 2025, and financing secured - April 2026. A three-bedroom rental will cost you about \$3,432 per month. CCC Fair Market Rent. A mortgage will run about \$3,049 per month, excluding taxes & insurance. RNHS will be doing a Las Deltas Info Session on August 19th. Please contact the office for more information.

Tim, Senior Project Manager, and Katrina /CHDC - N. Richmond Las Deltas Rehabilitation of (4) Duplexes: CHDC has a Community Housing Development Corporation Team, which consists of office staff. Tim gives a history of CHDC. Their mission is to create and sustain vibrant communities for low to moderate-income individuals, seniors, and families by providing high-quality, affordable housing, economic development, and supportive services. Las Deltas Single Family Home Details & Development Update: Four properties were awarded to CHDC through a competitive RFP by HACCC. The properties will be rehabilitated for homeownership sale. There is a tentative timeline for each property to be rehabilitated. Homeownership Center & Asset Building offers different programs: There is the First Time Homebuyer Program, Home Buying Education, Las Deltas Homebuyer Club, and The Black Wealth Initiative. Visit the CHDC website or email/call to access available resources. <https://communityhdc.org/community-wealth-building/admin@communityhdc.org> Ph# (510) 412-9290. Annie says these programs are the best, and CHDC is very notable for its help and assistance in getting first-time home buyers into houses.

Richmond Land presents North Richmond Eco Village Timeline: In 2023, RL was awarded two sites from the HACCC Las Deltas RFP. Sites should be fully acquired in 2026. Projected project completion & ribbon cutting is 2029. The site plan for the ECO Village: Phase 1: 8 duplexes, 3BR/1BA (1200 sqft) Phase 2: 4-5 cottage homes, 1BR/1BA (400-600 sq ft). Currently: 12-13 homes range, bicycle parking, car parking, community spaces, outdoor living amenities, community gardens, demonstration rain garden, solar canopy, and traffic calming mural. Richmond Land's priority is to engage all former, native, and current residents and workers of North Richmond. They have hired four full-time professional staff members and engaged a robust pro-bono technical assistance team of consultants and engineers. They have been working diligently to secure a development partnership with CHDC for Phase 1 of NREV. They are updating their site design and applying for financial resources to support the project. Once their partnership is official and they have closed escrow, they will begin securing a development team to move NREV forward. They are deeply committed to this work.

## **PROGRAM AND OTHER AGENCY REPORTS**

Tania Pulido, District Coordinator/Supervisor John Gioia's Office:

A County Grant was submitted for 15 million dollars. When the money is granted, it will be used throughout the community. For projects such as retrofitting homes, programs for the community, including improvements to the infrastructure, and the community center at Urban Tilth Farm. The county did get the Active Transportation Grant. There have been some improvements to the sidewalks on Market Street. The county has recently received funding to do a longer stretch on Market Street. Funds were also

received to do improvements at the railroad crossings. The Community Impact Fund, for one million dollars, received over 200 applications. Hoping to announce soon who will be receiving funding. Weekly Thrive Thursdays is back, an event featuring health-based activities and resources.

Questions: \_Annie talks about the Contra Costa Resilient Shoreline Plan. She says the meeting has been cancelled until July. They are recruiting participants for phase three of the plan. Annie asks: What is the mileage of the shoreline? The answer is that Contra Costa County has 90 miles of shoreline. North Richmond's shoreline plan will incorporate a living levee to protect against sea level rise.

Questions about the air monitoring system in the community. Where are they located?

Funding has been requested for an employee to work with BAAQMD, pertaining to air monitoring systems in the community. Tania did a tour of the West County Waste Water Management facility. It was really informative, with all the new technology in place at the facility. \*Don says we must ask that the meeting be extended by 15 minutes. Annie makes the motion to extend the meeting by 15 minutes, Latifah seconds, and all are in favor.

Janine Shaheed, Community Engagement Manager/CHDC: Next week, there will be a Red Cross Blood Drive at the senior center. The date is June 11th, from 9:00 a.m. to 3:00 p.m. The Red Cross is in shortage of blood types O, B & A. Blood donors will receive a \$20 Amazon gift card and an additional \$15 gift card. Donors will be able to walk in or go online to register.

Kalu Dennis, Community Service Coordinator/CHDC - Mitigation Fee Funded:

The Willie Spears Cleanup last Saturday went really well. Had over 600 participants. Had 22 dumpsters and two metal bins. The next cleanup will be held on 10/10/2026. The June newsletter is coming out in two weeks. Community Awareness Day will be held on 6/3/2026. The event will feature electric cars that you can test drive.

Princess Robinson, Executive Director/Richmond Land: RL was able to save the property, located on the South Side. It was secured with permanent funding. Plans are in place to purchase ECO Village by the fall of 2026. Have been in conversation with Katrina from CHDC. The plan is to implement their COT classes. Hoping to host another Buy Back The Jet event. Working on a film production with Donte Clark. The film will be about the Las Deltas Projects, and the people who lived there and were relocated.

Latifah Abdullah, Community Engagement Manager/Urban Tilth Farm:

A few updates: Had a visitor from Tuskegee University. Grace Fellowship Baptist Church came out to the farm and brought their Seed & Feed Ministry. The farm is open for tours every 4th Saturday. The public is welcome to come out and volunteer. The location is 323 Brookside Drive, N. Richmond, CA. After school at the farm is every Wednesday from 3:00 - 5:30 p.m. To take a look at everything that's going on, you may go to the internet at [urbantilth.org/events](http://urbantilth.org/events). Urban Tilth Farm will be attending the Community Awareness Day and the North Richmond 15th Annual Music Festival. Several organizations participated in the workshops: Not 4 Us - Without Us. There is a disconnect with the residents who submitted applications for funds.

DeShawn: Will be hosting the Shock The World Workshop. Will be on Jun 15th, from 1 - 2:30 p.m. Location will be at 1540 Fred Jackson Way, N. Richmond, CA.

Update on the Veolia Grant: Seven people to be on the board. Now it's up to the City of Richmond to follow through. Will have the City come and present to the NRMAC.

The meeting adjourned at 7:10 p.m.

**NEXT MEETING**

July 7, 2026

5:00 p.m. - 7:00 p.m.

Cornie Sain Senior and Family Center

515 Silver Street

N. Richmond, CA 94801



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-1862

**Agenda Date:** 7/7/2026

**Agenda #:**

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Advisory Board: North Richmond Municipal Advisory Council

Subject: REVIEW AND APPROVE County Planning Permit CDVR26-01005 and CDDP26-03013

Information: REVIEW AND APPROVE County Planning Permit CDVR26-01005 and CDDP26-03013





# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Project Summary

**County File Number: CDDP26-03013**

**Submitted Date: 4/21/2026**

**Applicant:** Planted Solar

**Property Owner:** ACRES LLC PARR

**Project Description:**

The applicant requests approval of a Development Plan permit to allow testing and demonstration of solar panel foundation installation equipment where solar panels installed at the site will not be energized or connected to the electrical grid and to allow the installation of shipping containers. No permanent structures or buildings are proposed. (see also code enforcement file CERV25-00064)

**Project Location: (Address: 0 NO ADDRESS , RICHMOND, CA 94801), (APN: 408130040)**

**Additional APNs:**

**General Plan Designation(s):** LI:RC

**Flood Hazard Areas:** AE / B

**60-dBA Noise Control:** YES

**Sphere of Influence:** Richmond

**Sanitary District:** NONE

**Specific Plan:** North Richmond Shoreline

**Zoning District(s):** P-1

**AP Fault Zone:** NO

**MAC/TAC:** NORTH RICHMOND MAC

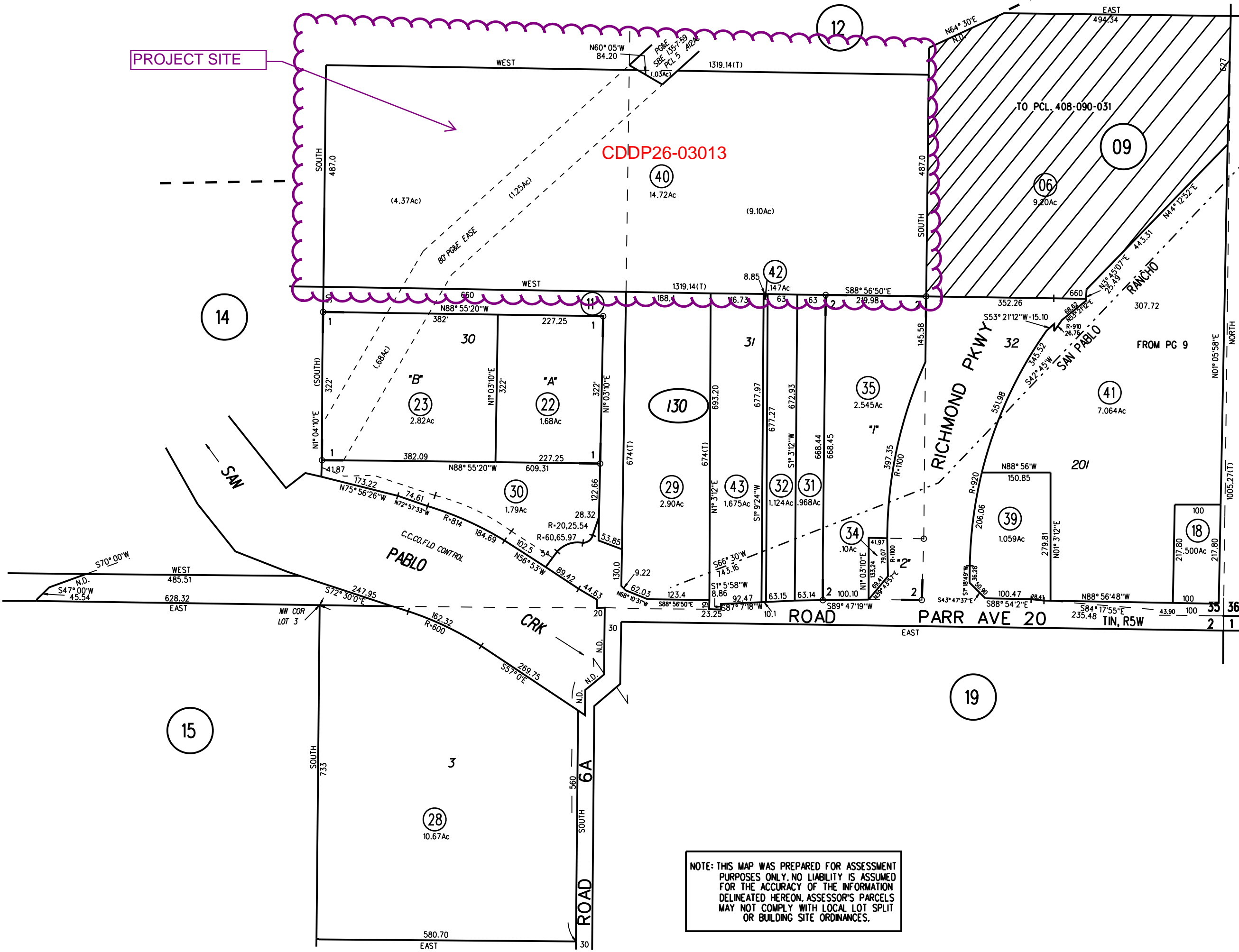
**Fire District:** CONSOLIDATED FIRE

**Housing Inventory Site:** NO

SAN PABLO RANCHO  
 SEC 2 T1N, R5W, MDB&M  
 SEC 35 T2N, R5W, MDB&M

- 1- 64LSM4 1-26-78
- 2- 72LSM39 5-19-83

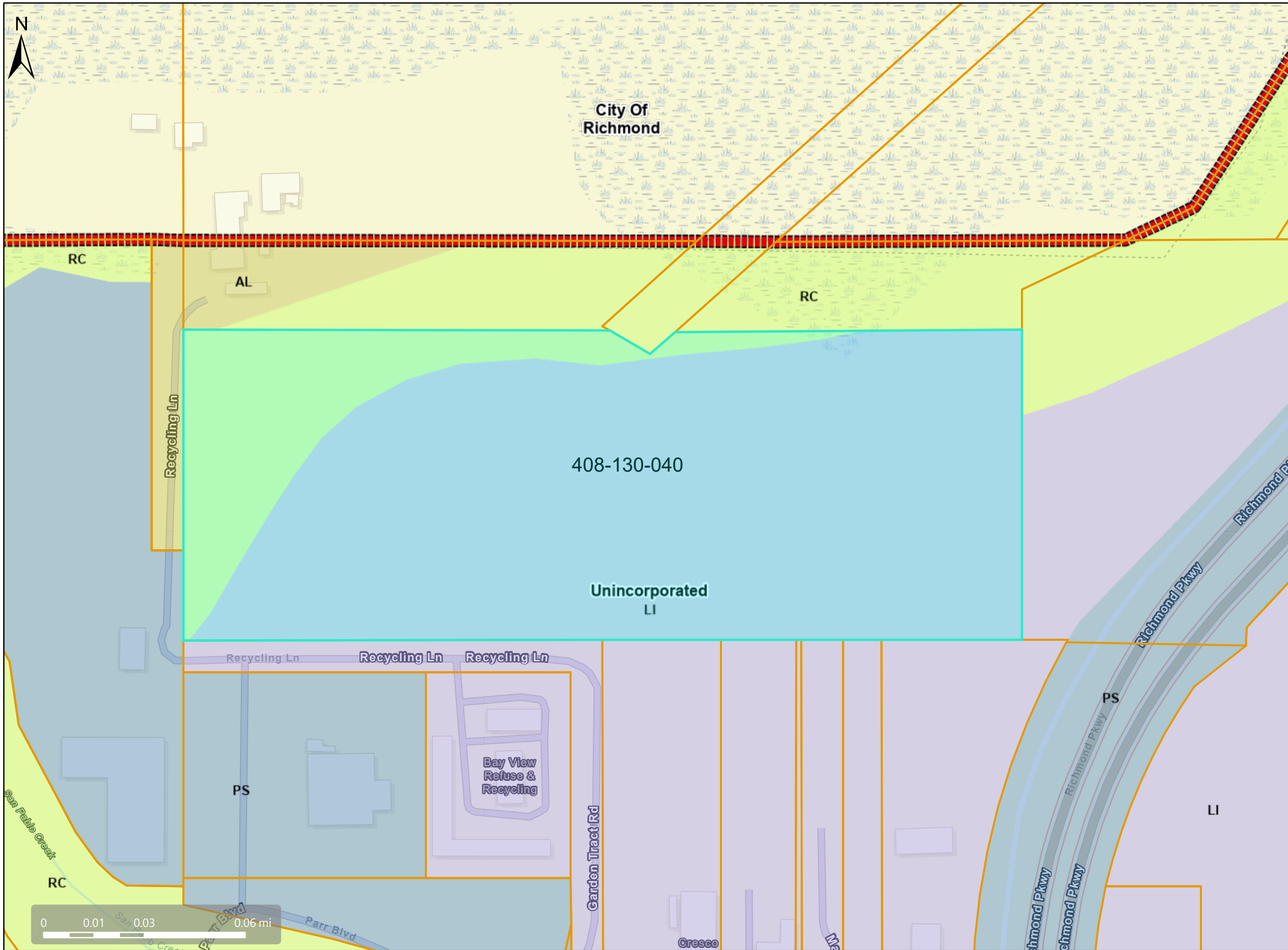
PROJECT SITE



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

130 42-43  
 6/4/24

# General Plan: LI, Light Industry; RC, Resource Conservation



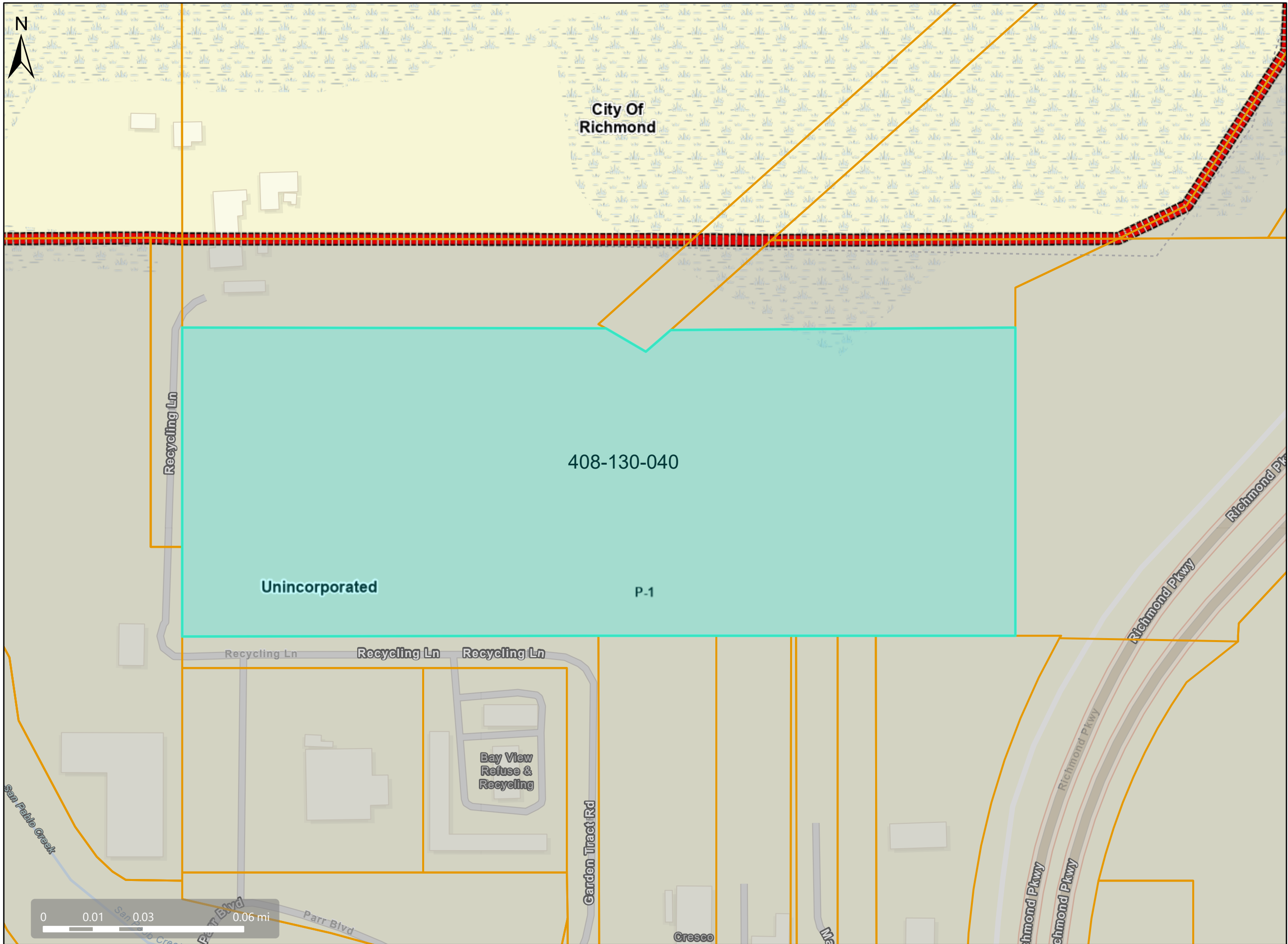
## Map Legend

- Assessment Parcels
- General Plan**
- LI (Light Industry) (1.5 FAR)
- PS (Public and Semi-Public)
- RC (Resource Conservation)
- AL (Agricultural Lands) (1 du/10 ac) (1 du/20 ac in DPZ)
- Unincorporated
- City Limits

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984

# Zoning: P-1 (North Richmond)

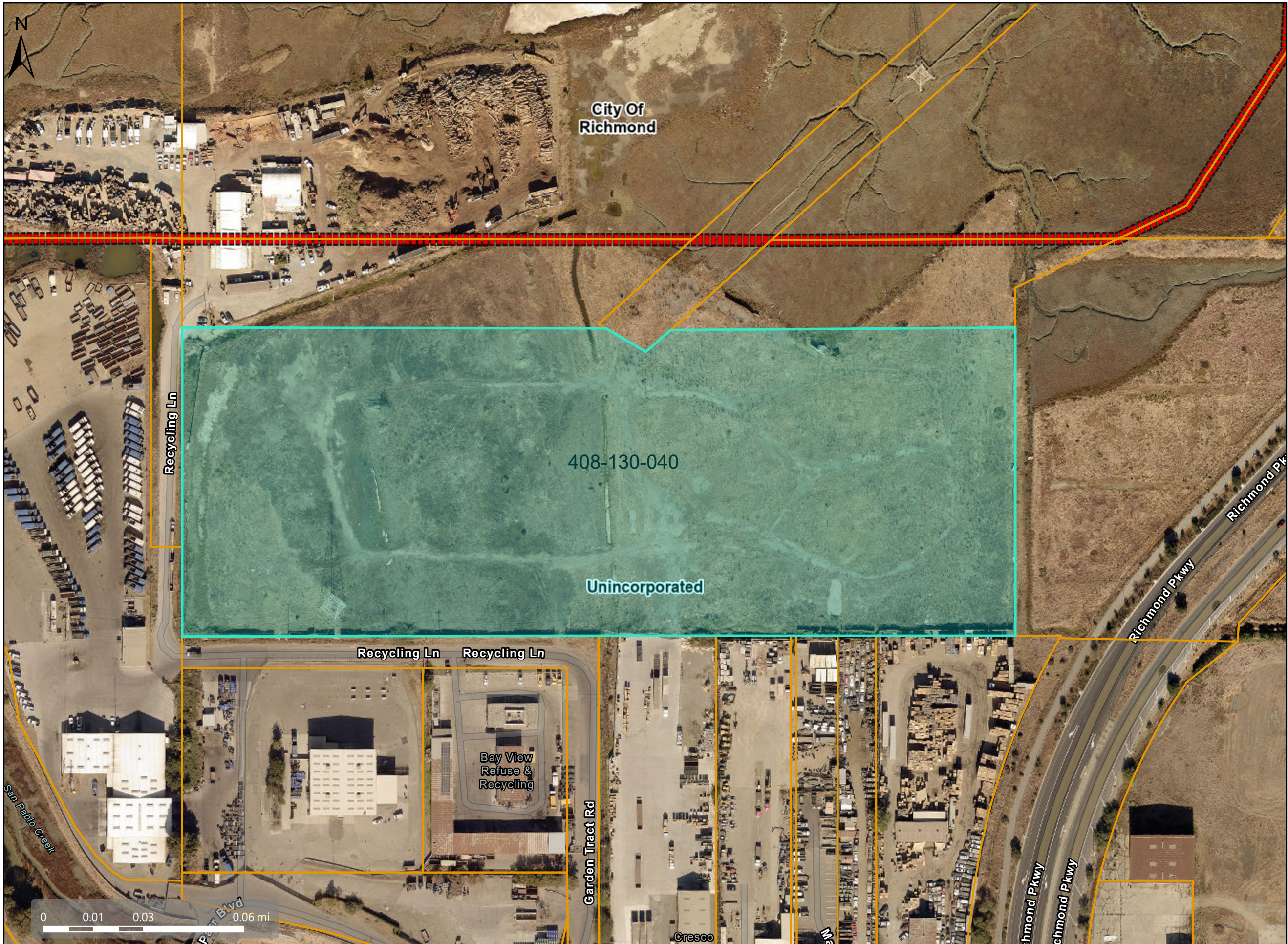


## Map Legend

- Assessment Parcels
- Zoning
- ZONE\_OVER
- P-1 (Planned Unit)
- Unincorporated
- City Limits

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 Datum: WGS 1984

# Aerial View



## Map Legend

- Assessment Parcels
- Unincorporated
- City Limits
- Aerials 2019
- RGB
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

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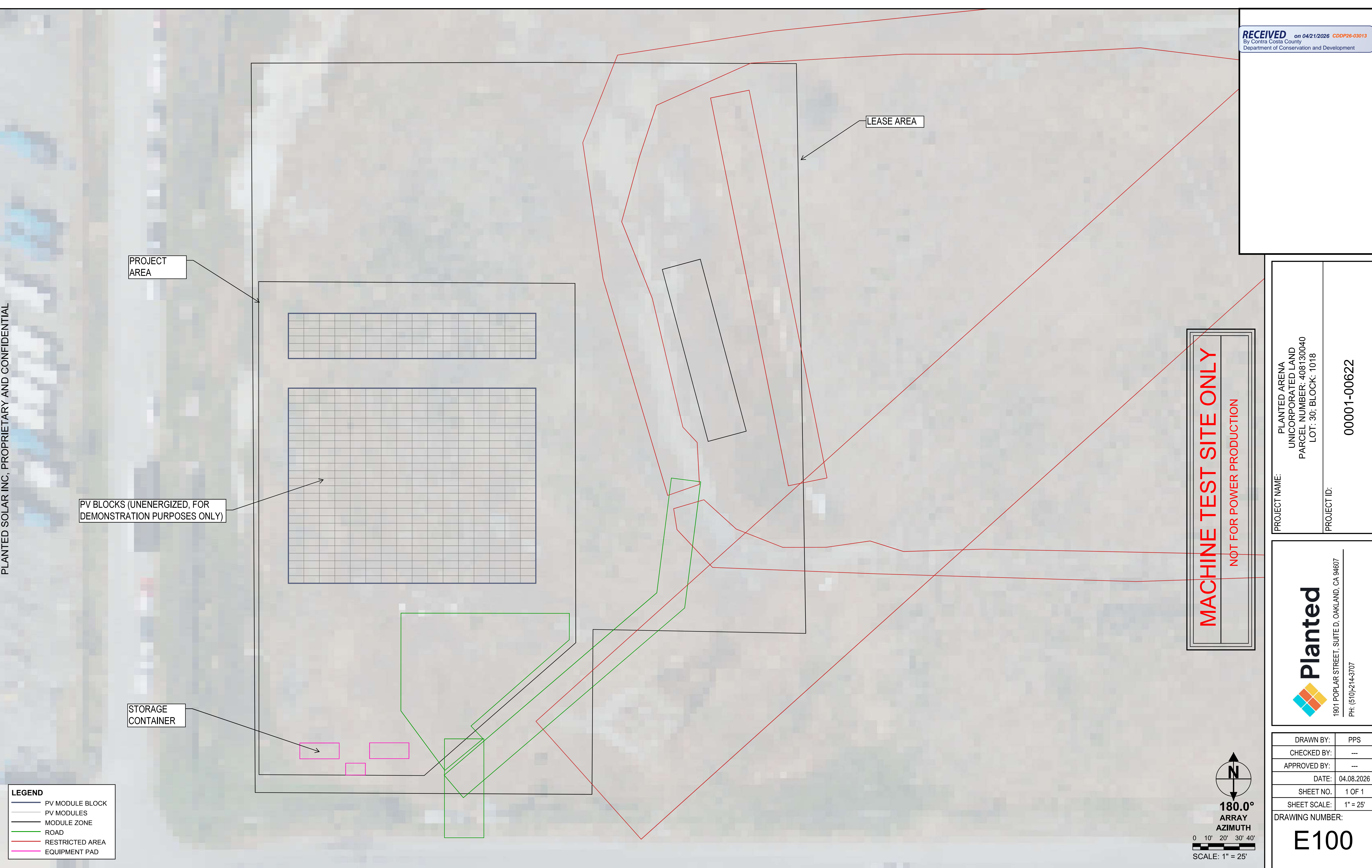
Applicant's Project Description:

The site will be used solely for the testing and demonstration of solar panel foundation installation equipment. No solar panels installed at the site will be energized or connected to the electrical grid. All installed foundation structures are temporary in nature and will be fully removed upon termination of the lease, restoring the site to its original condition.

The site will not be staffed on a regular basis and will only be used periodically for testing, typically a few days per month. Testing activities will be limited to standard daytime business hours, and operations are expected to generate minimal noise comparable to typical construction equipment used intermittently. No permanent structures, lighting installations, or utilities will be introduced as part of this use. Traffic to and from the site will be limited to light-duty vehicles and occasional equipment transport, resulting in minimal impact on surrounding roadways.

The foundation systems are composed of environmentally safe materials and do not contain any hazardous substances. No grading, hazardous material handling, or long-term environmental disturbance is anticipated as part of this testing activity.

PLANTED SOLAR INC, PROPRIETARY AND CONFIDENTIAL



PROJECT AREA

PV BLOCKS (UNENERGIZED, FOR DEMONSTRATION PURPOSES ONLY)

LEASE AREA

STORAGE CONTAINER

**MACHINE TEST SITE ONLY**  
 NOT FOR POWER PRODUCTION

- LEGEND**
- PV MODULE BLOCK
  - PV MODULES
  - MODULE ZONE
  - ROAD
  - RESTRICTED AREA
  - EQUIPMENT PAD

N  
 180.0°  
 ARRAY AZIMUTH  
 0 10' 20' 30' 40'  
 SCALE: 1" = 25'

PROJECT NAME: PLANTED ARENA  
 UNINCORPORATED LAND  
 PARCEL NUMBER: 408130040  
 LOT: 30; BLOCK: 1018

PROJECT ID: 00001-00622

**Planted**  
 1901 POPLAR STREET, SUITE D, OAKLAND, CA 94607  
 PH: (510)-214-3707

DRAWN BY:	PPS
CHECKED BY:	--
APPROVED BY:	--
DATE:	04.08.2026
SHEET NO.:	1 OF 1
SHEET SCALE:	1" = 25'
DRAWING NUMBER:	
<b>E100</b>	





# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Project Summary

**County File Number:** CDVR26-01005

**Submitted Date:** 3/23/2026

**Applicant:** scott galka

**Property Owner:** COMMUNITY HOUSING DEVELOPMENT CORP

**Project Description:**

Request approval of a Variance to allow a 4-foot side yard where 5-feet is the minimum required for a new carport.

**Project Location:** (Address: 121 CHESLEY AVE, RICHMOND, CA 94801 157), (APN: 409052003)

**Additional APNs:**

**General Plan Designation(s):** RMH

**Flood Hazard Areas:** B

**60-dBA Noise Control:** NO

**Sphere of Influence:** Richmond

**Sanitary District:** WEST CO WASTEWATER

**Specific Plan:** NO

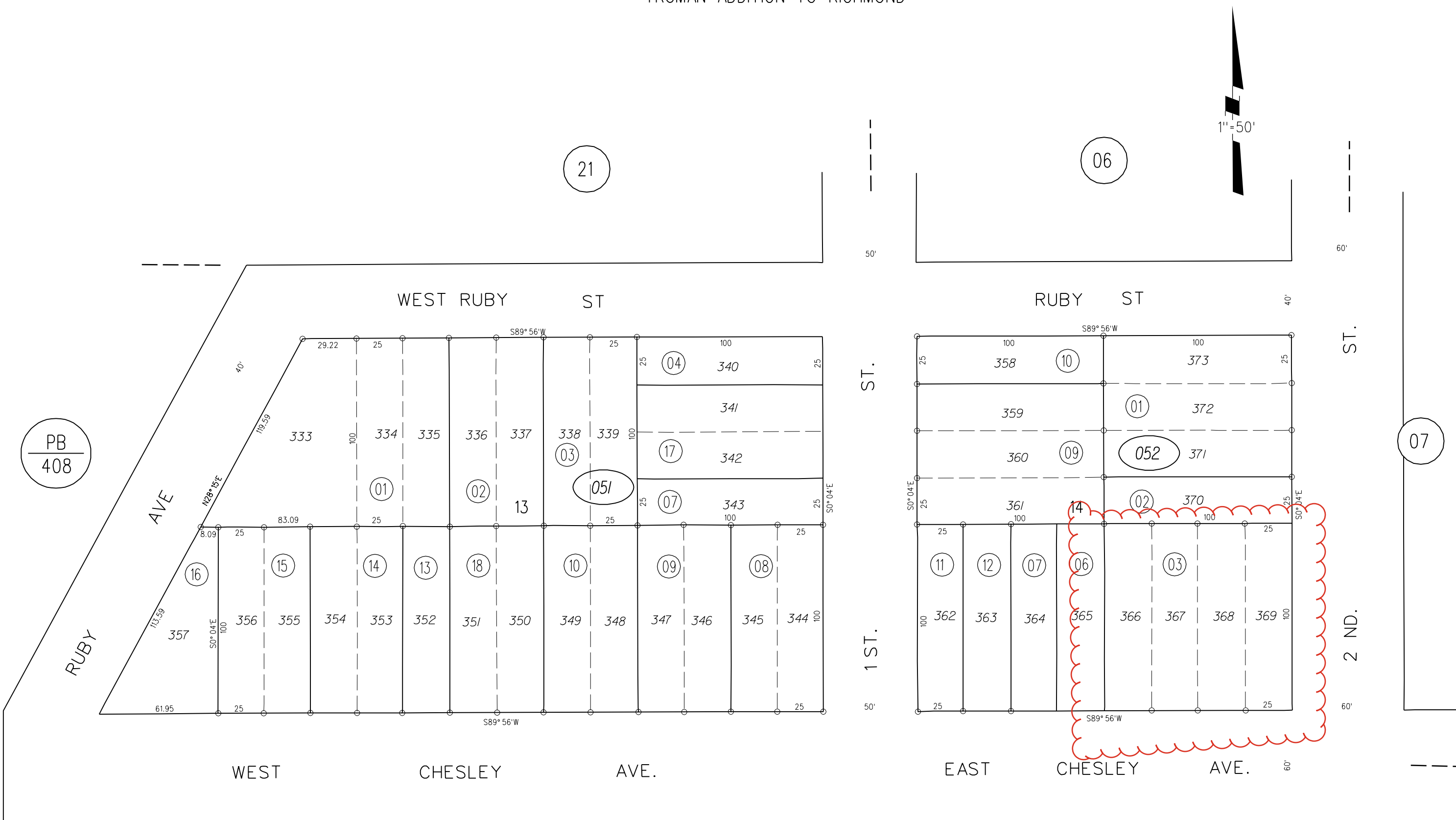
**Zoning District(s):** HE-C

**AP Fault Zone:** NO

**MAC/TAC:** NORTH RICHMOND MAC

**Fire District:** CONSOLIDATED FIRE

**Housing Inventory Site:** YES



PB  
408

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04

P.B.  
561

051

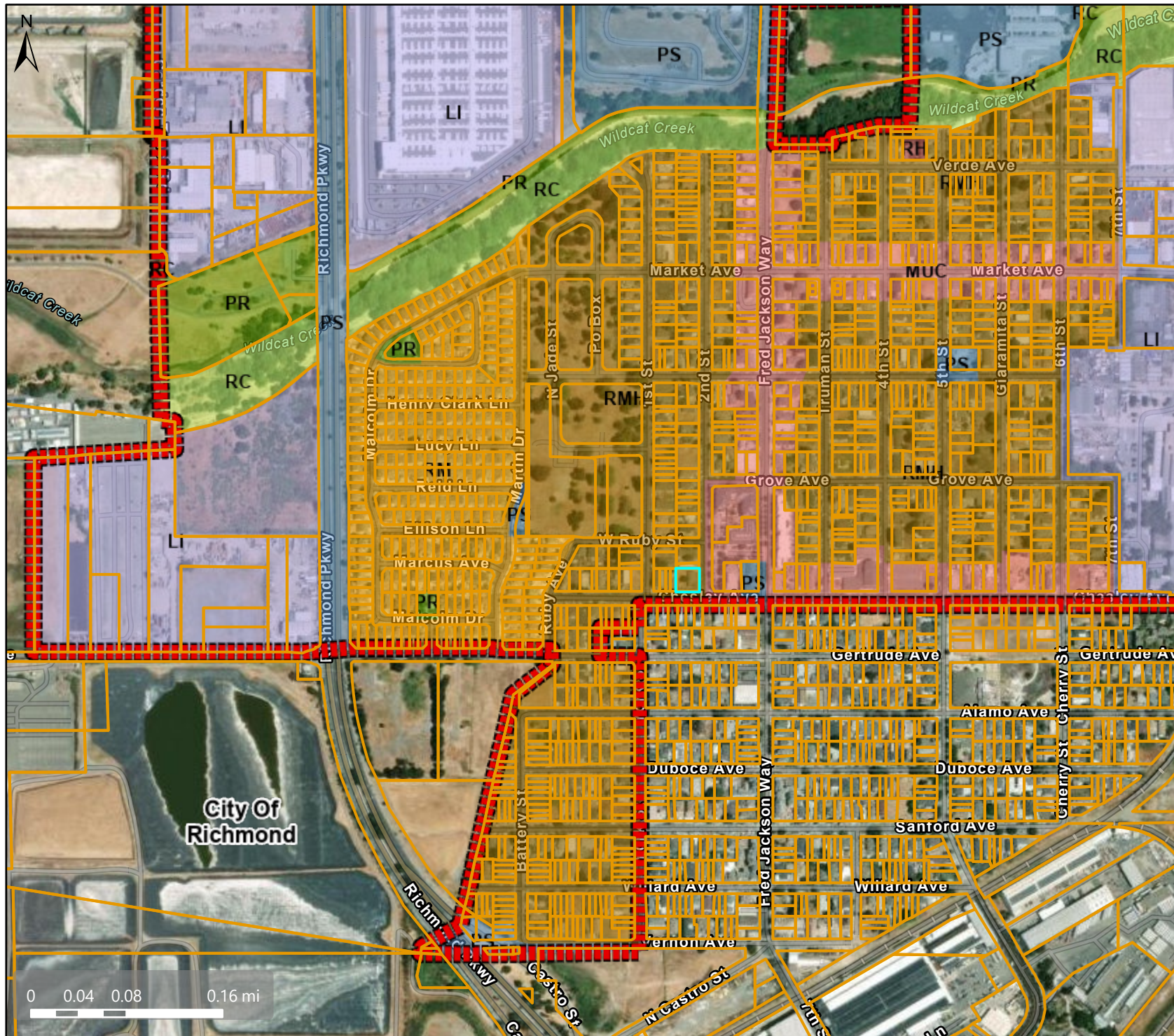
01

052

12

1/22/04

# General Plan: Residential Medium High Density (RMH)



### Map Legend

- County Border
- Assessment Parcels

### Planning Layers (DCD)

#### General Plan

- RM (Residential Medium Density) (7-17 du/na)
- RMH (Residential Medium-High Density) (17-30 du/na)
- RH (Residential High Density) (30-60 du/na)
- MUC (Mixed-Use Community-Specific) (Variable)
- LI (Light Industry) (1.5 FAR)
- PS (Public and Semi-Public)
- PR (Park and Recreation)
- RC (Resource Conservation)
- City Limits

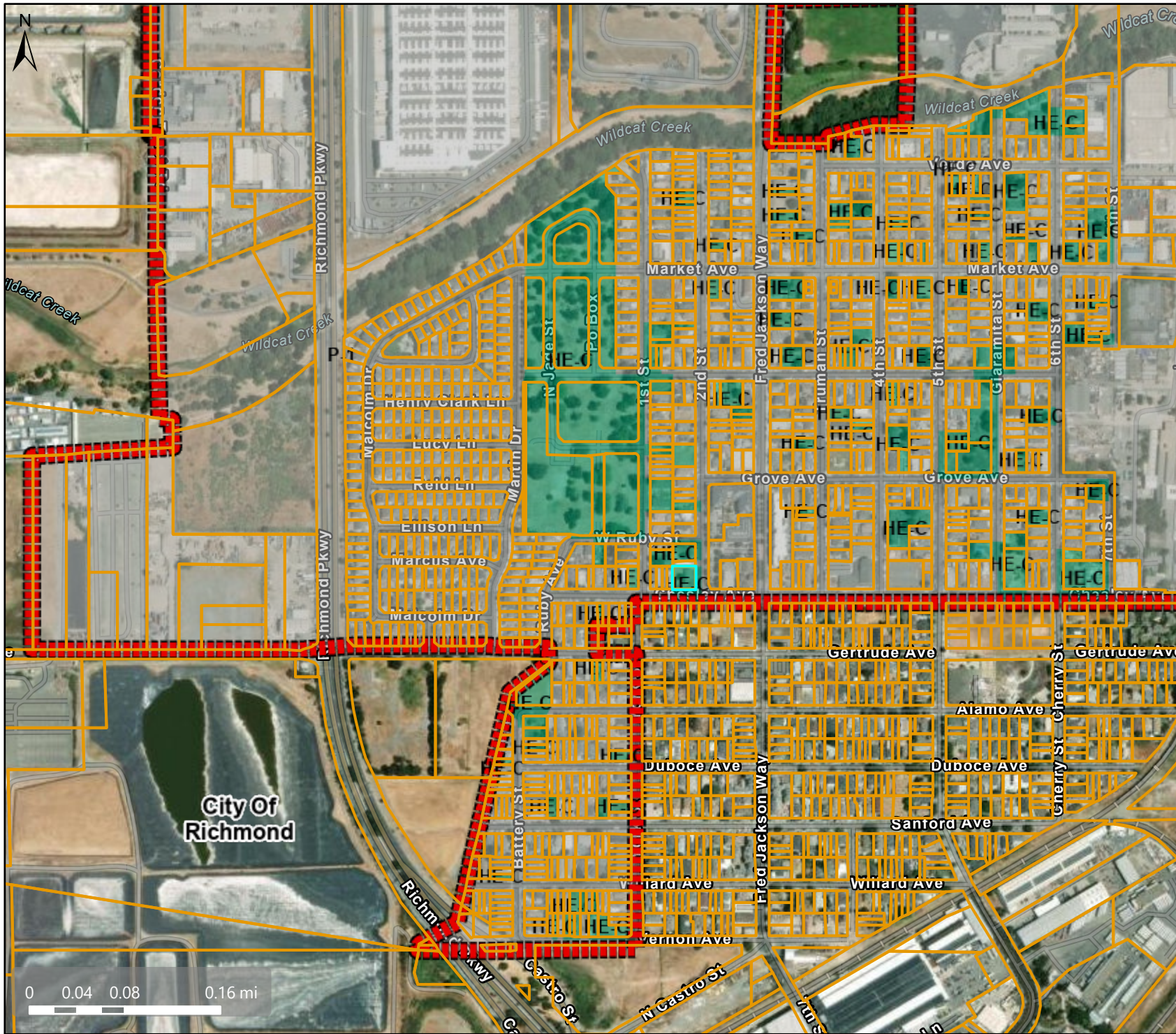
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984

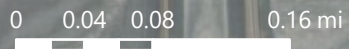
Credits: Contra Costa County Development of Conservation and Department, Vantor

# Zoning: Housing Element Consistency District (HE-C)



### Map Legend

- County Border
- Assessment  
Parcels
- Planning Layers  
(DCD)
- Zoning
- ZONE\_OVER**
- P-1 (Planned  
Unit)
- HE-C (Housing  
Element  
Consistency)
- City Limits

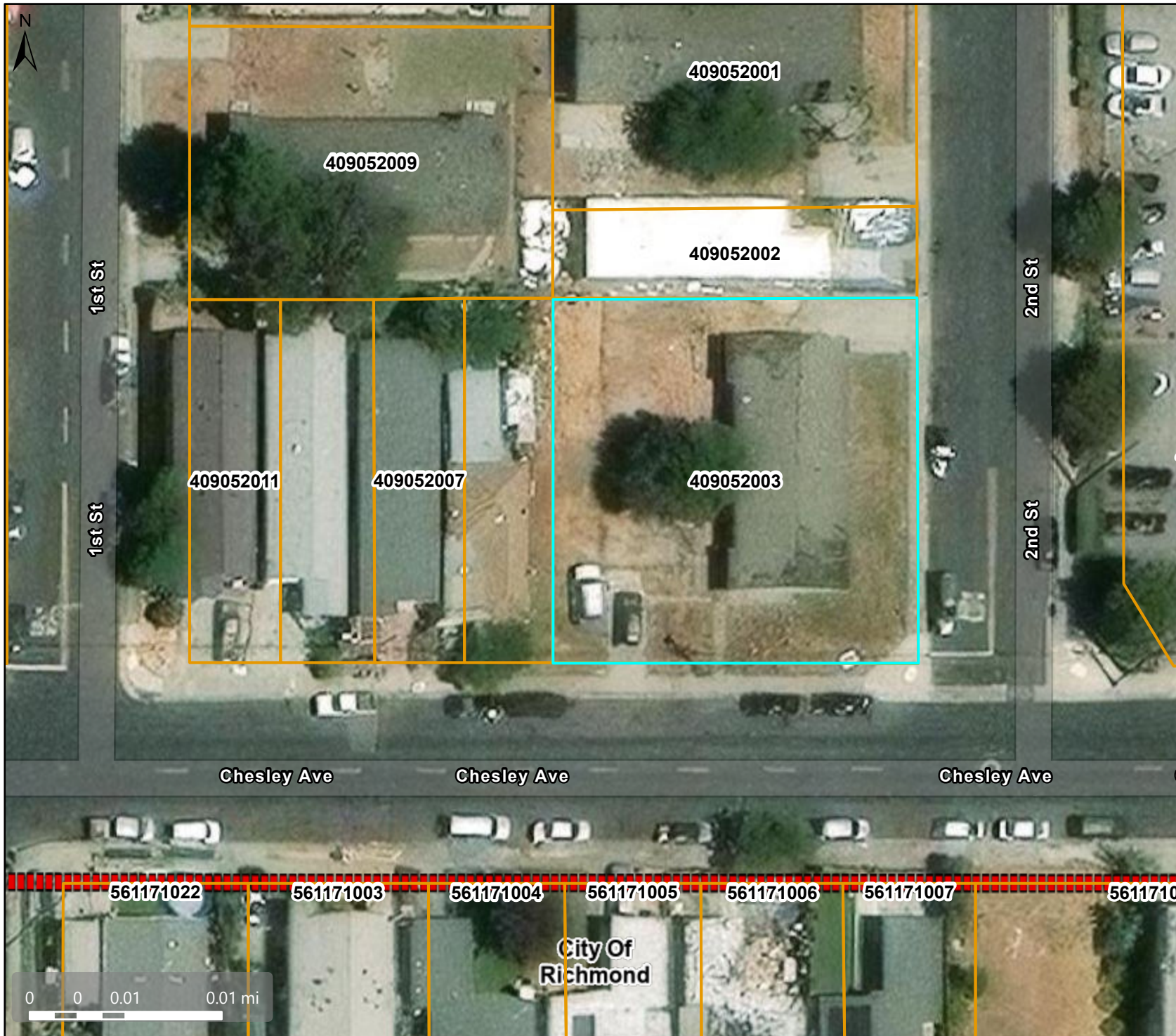


This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.


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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984

# Aerial




## Map Legend

 County Border

 Assessment  
Parcels

Planning Layers  
(DCD)

 City Limits

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION.  
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984



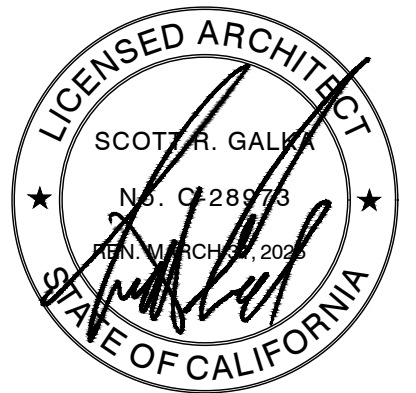
562 61ST STREET  
OAKLAND, CALIFORNIA  
510.550.5314

REVISIONS:  $\Delta$  ISSUES:  $\circ$

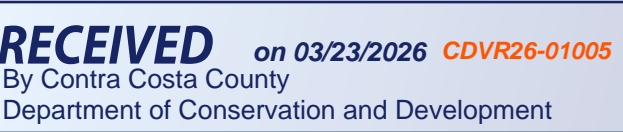
NO.	DATE	DESCRIPTION
02.12.2026		PLANNING

PROJECT:  
**RESIDENTIAL  
REMODEL**  
121 CHESLEY AVE  
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:



SHEET DESCRIPTION:

**COVERSHEET**

JOB NUMBER: 2025.021  
SCALE:  
DATE: 02.12.2026  
DRAWN BY: KWM  
CHECKED BY: SRG  
CAD TITLE: A0.0 - COVERSHEET.dwg  
SHEET NUMBER:

**A0.0**

OF XX SHEETS

**SITE INFORMATION**

OWNER	COMMUNITY HOUSING DEVELOPMENT CORPORATION
ADDRESS	121 CHESLEY AVE
PLANNING AGENCY	CONTRA COSTA COUNTY
APN	409-052-003-4
PERMIT NUMBER	TBD
CONSTRUCTION TYPE	VB
OCCUPANCY	R-3
LAND USE	RESIDENTIAL
ZONING	HE-C
FIRE ZONE	NO
FAULT ZONE	NO
LIQUEFACTION ZONE	YES
LANDSLIDE ZONE	NO
FEMA FLOOD ZONE	ZONE D
FIRE SPRINKLERS	NO

**SCOPE OF WORK**

TO RENOVATE AN EXISTING DUPLEX, INCLUDING NEW KITCHEN AND BATHROOM FIXTURES AND FINISHES, EXTERIOR SIDING, INSULATION, WINDOWS, ELECTRICAL AND MECHANICAL SYSTEMS.

NEW LANDSCAPING, IRRIGATION, PAVEMENT AT EXISTING DRIVEWAYS, ENTRY PATHWAYS, CARPORTS, AND FENCING.

NO CHANGE TO NUMBER OF UNITS OR BATHROOM COUNT.

NO GAS SERVICE. PROJECT TO BE ALL ELECTRIC.

**SEPARATE SUBMITTALS**

SEWER LATERAL COMPLIANCE

**ZONING TABLE**

ZONE HE-C			
	EXIST	PROP	CODE
FRONT SETBACK	19'-9"	18'-9"	10'-0"
STREET SIDE SETBACK	14'-10"	NC	10'-0"
WEST SIDE SETBACK	57'-6"	NC	5'-0"
REAR SETBACK	17'-10"	NC	15'-0"
MAX. BUILDING HEIGHT	11'-9"	NC	45'-0"
NUMBER OF STORIES	1	NC	4
LOT COVERAGE	17%	NC	50%

AREAS (SF)		
	EXIST	PROP
LOT AREA	9,994	NC
UNIT 1	779	NC
UNIT 2	944	NC
<b>TOTAL CONDITIONED AREA</b>	<b>1,723</b>	<b>NC</b>

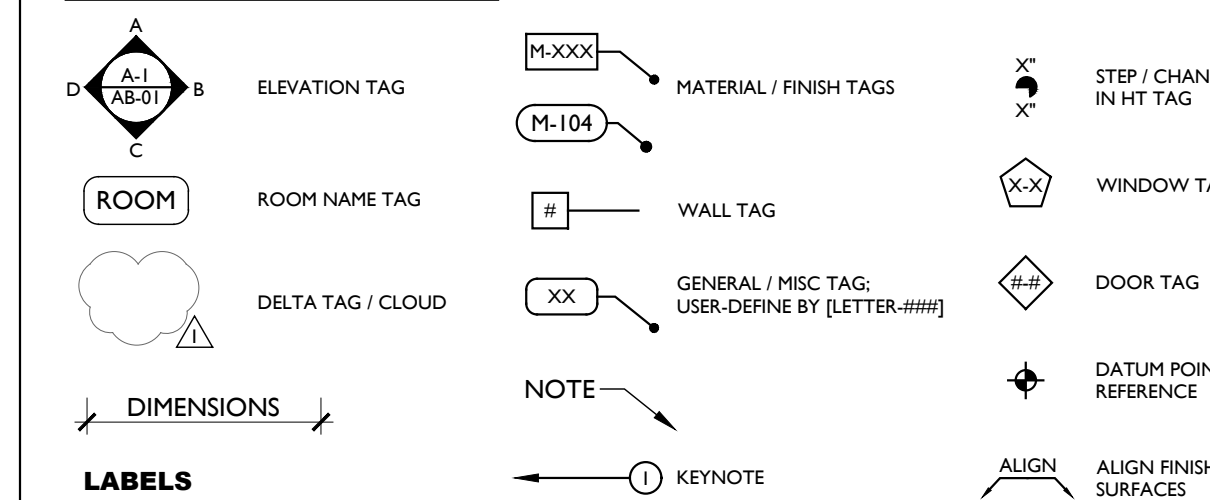
**CONTACTS LIST**

<b>OWNER</b> COMMUNITY HOUSING DEVELOPMENT CORPORATION 1535 FRED JACKSON WAY, SUITE A RICHMOND, CA 94801 (510) 412-9290 SHANE SUTHERLAND SSUTHERLAND@COMMUNITYHDC.ORG	<b>ARCHITECT</b> SCOTT GALKA SRG ARCHITECTS 562 61ST STREET OAKLAND, CALIFORNIA 94609 SCOTTG@SCOTTGALKAAARCHITECTS.COM 510-610-6602
<b>SURVEYOR</b> JACKIE LUK, PE, PLS LUK AND ASSOCIATES 738 ALFRED NOBEL DRIVE HERCULES, CA 94547 (510) 724 - 3388	<b>TITLE-24 CONSULTANT</b> BENJAMIN MONTALBANO NRG COMPLIANCE, LP 4480 MAIN ST SUITE B RIVERSIDE, CA 92501 202-870-7813

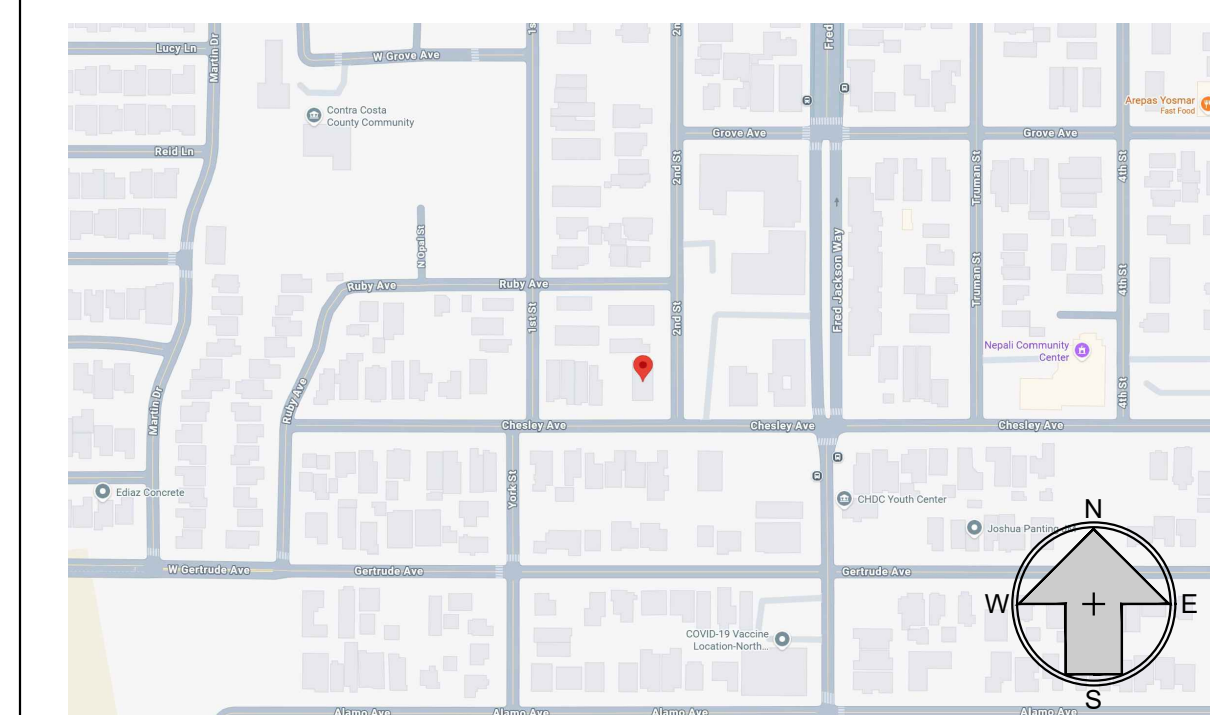
**GENERAL NOTES**

- THE SCOPE OF WORK SHALL CONSIST OF FURNISHING ALL THE LABOR, MATERIALS, & EQUIPMENT NECESSARY TO COMPLETE ALL THE WORK INDICATED ON THE DRAWINGS.
- ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, & NATIONAL CODES, ORDINANCES, & REGULATIONS.
- UNLESS OTHERWISE DETERMINED BY THE OWNER, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING & PAYING FOR ALL PERMITS, FILINGS, INSPECTIONS, & SIGN-OFF & SHALL SUBMIT CERTIFICATES OF COMPLIANCE TO OWNER.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON JOB SITE & NOTIFY THE ARCHITECT AS TO ANY DISCREPANCY.
- ALL MANUFACTURED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS & RECOMMENDATIONS.
- ALL PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW & APPROVAL.
- ALL WORK SHALL BE DONE IN NEAT & WORKMANLIKE MANNER.
- ALL DIMENSIONS ARE FACE OF WALL FINISH TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE ARCHITECT SHALL BE NOTIFIED IF FIELD DIMENSIONS NECESSITATE ANY CHANGES OR MODIFICATIONS.
- CONTRACTOR SHALL KEEP ALL WORK AREAS CLEAR OF ALL REFUSE, RUBBISH, & DEBRIS.
- ALL PERTINENT CONSTRUCTION SHALL MEET ALL CALIFORNIA TITLE 24 ENERGY REQUIREMENTS.
- THE CONTRACTOR SHALL POST & MAINTAIN ALL REQUIRED NOTICES, SIGNS, & SAFEGUARDS.
- THE CONTRACTOR SHALL FILE RELEASE OR WAIVER OF LIENS. A COMPLETE SET OF MANUALS CONTAINING MANUFACTURERS' INSTRUCTIONS FOR MAINTENANCE & OPERATION OF EACH PIECE OF EQUIPMENT SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
  - 2025 CALIFORNIA BUILDING CODE (T24, PART 2)
  - 2025 CALIFORNIA RESIDENTIAL CODE (T24, PART 2.5)
  - 2025 CALIFORNIA ELECTRICAL CODE (T24, PART 3)
  - 2025 CALIFORNIA MECHANICAL CODE (T24, PART 4)
  - 2025 CALIFORNIA PLUMBING CODE (T24, PART 5)
  - 2025 CALIFORNIA ENERGY CODE (T24, PART 6)
  - 2025 CALIFORNIA HISTORICAL CODE (T24, PART 8)
  - 2025 CALIFORNIA FIRE CODE (T24, PART 9)
  - 2025 CALIFORNIA EXISTING BUILDING CODE (T24, PART 10)
  - 2025 CALIFORNIA GREEN BUILDING CODE (T24, PART 11)
  - CONTRA COSTA COUNTY AMENDMENTS & ORDINANCES

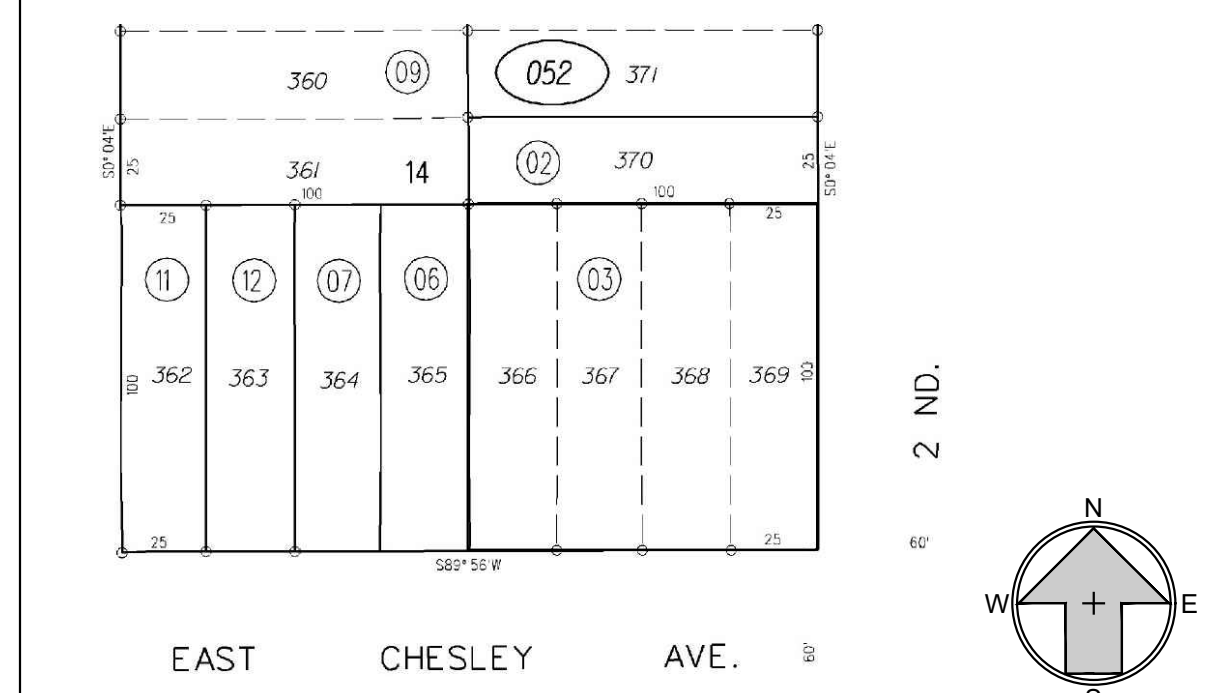
**SYMBOL KEY**



**VICINITY MAP**



**PLOT MAP**



**3D MODEL**



FRONT

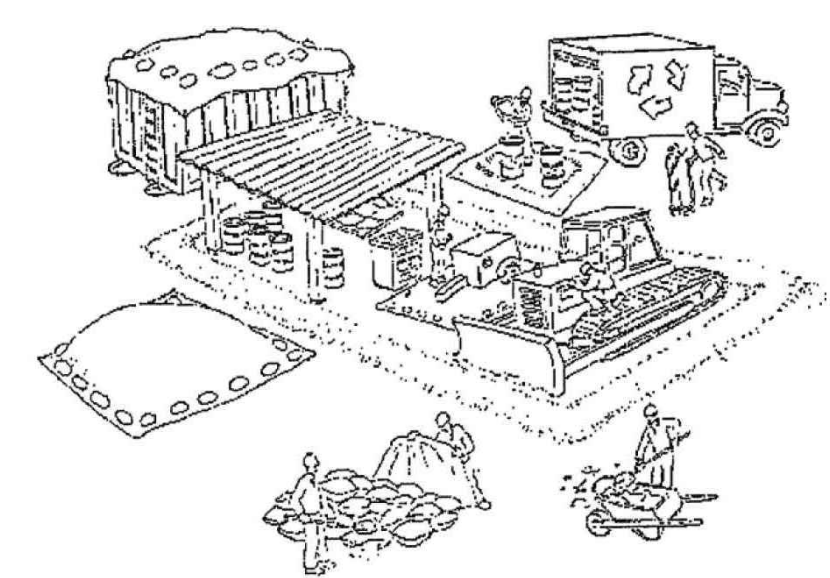


SIDE



ABOVE

# Pollution Prevention - It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Berkeley requirements.

### Materials storage & spill cleanup

- Non-hazardous materials management**
- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control as needed.
  - Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
  - Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Berkeley Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
  - Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
  - Cover all dumpsters with a tarp at the end of every work day or during wet weather.

- Hazardous materials management**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
  - Be sure to arrange for appropriate disposal of all hazardous wastes.

- Spill prevention and control**
- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
  - When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
  - Dispose of all containment and cleanup materials properly.
  - Report any hazardous materials spills immediately! Dial 911 or the City of Berkeley's Public Works Department by dialing 311

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.
- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.
- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.



### Architectural Copper

If project contains architectural copper use best management practices as detailed in the handout Requirements for Architectural Copper available at the lobby of the Permit Service Center.

### Dewatering operations

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

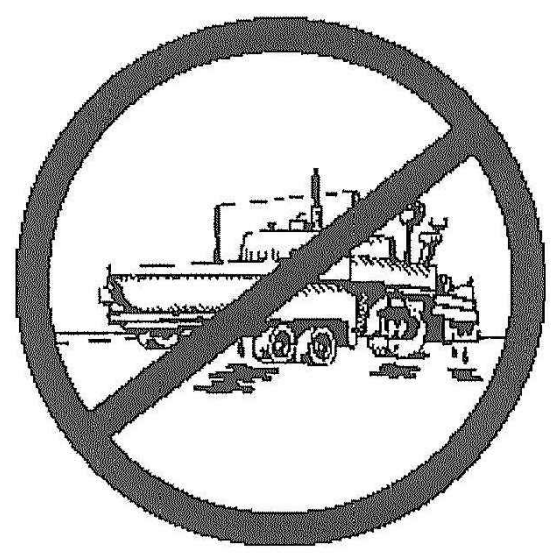


### Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



### Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

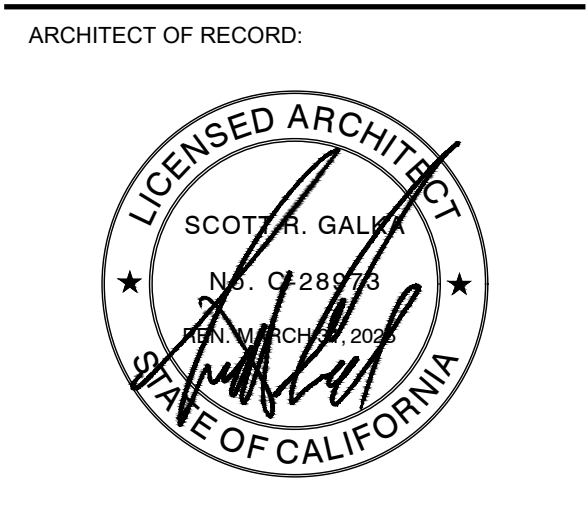


### Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

REVISIONS:		ISSUES:
NO.	DATE	DESCRIPTION
	02.12.2026	PLANNING

PROJECT:  
**RESIDENTIAL REMODEL**  
121 CHESLEY AVE  
RICHMOND, CA 94801



CONSULTANTS:

SHEET DESCRIPTION:  
**POLLUTION PREVENTION**

JOB NUMBER:	2025.021
SCALE:	
DATE:	02.12.2026
DRAWN BY:	KWM
CHECKED BY:	SRG
CAD TITLE:	A0.1 - BOILERPLATE.dwg
SHEET NUMBER:	

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)

# A0.1









### GENERAL NOTES

1. SEE A0.1 FOR POLLUTION PREVENTION.
2. DIMENSIONS ARE TAKEN FROM FACE-OF-FINISH TO FACE-OF-FINISH; VERIFY W/ DETAILS FOR FINISH MATERIAL & THICKNESS, ETC.
3. THIS PROJECT SHALL FOLLOW EROSION CONTROL MEASURES AND PRACTICE MATERIAL CONSERVATION AND RESOURCE EFFICIENCY. SEE CALGREEN SHEETS A0.2 AND A0.3
2. REVIEW ALL ROUGH-IN ELECTRICAL & PLUMBING PRIOR TO FINAL INSTALLATION & DRY WALL SHEATHING.
3. CAULK GAPS BETWEEN WALL AND SINKS, COUNTERTOPS, BACK SPLASHES.
4. ALL PLUMBING SHALL COMPLY WITH CALGREEN MOISTURE CONTROL FOR THIS PROJECT SHALL COMPLY WITH CALGREEN
5. INDOOR AIR QUALITY FOR THIS PROJECT SHALL COMPLY WITH TITLE 24 AND CALGREEN
7. THIS PROJECT SHALL PROVIDE DOCUMENTATION VERIFYING CALGREEN COMPLIANCE AS REQUIRED

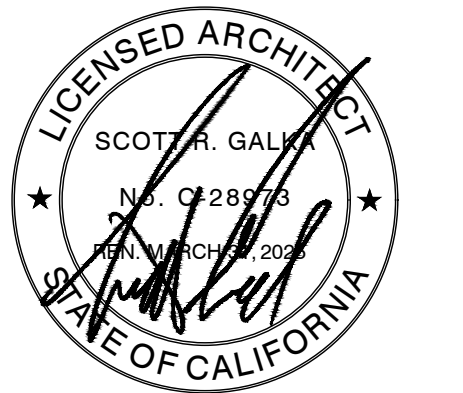


562 61ST STREET  
OAKLAND, CALIFORNIA  
510.550.5314

REVISIONS:		ISSUES:
NO.	DATE	DESCRIPTION
	02.12.2026	PLANNING

PROJECT:  
**RESIDENTIAL  
REMODEL**  
121 CHESLEY AVE  
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:

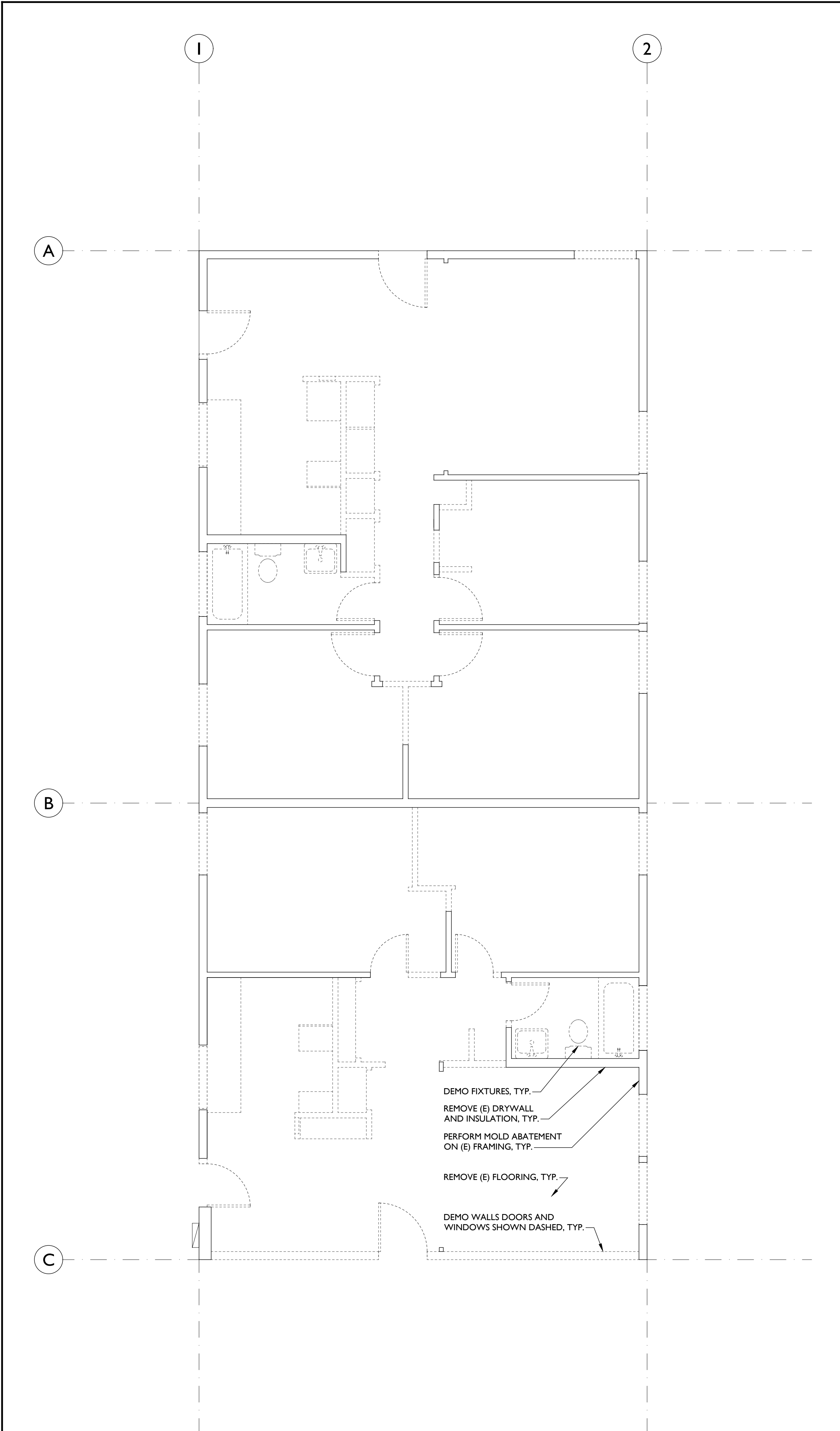
SHEET DESCRIPTION:

## PROPOSED PLAN

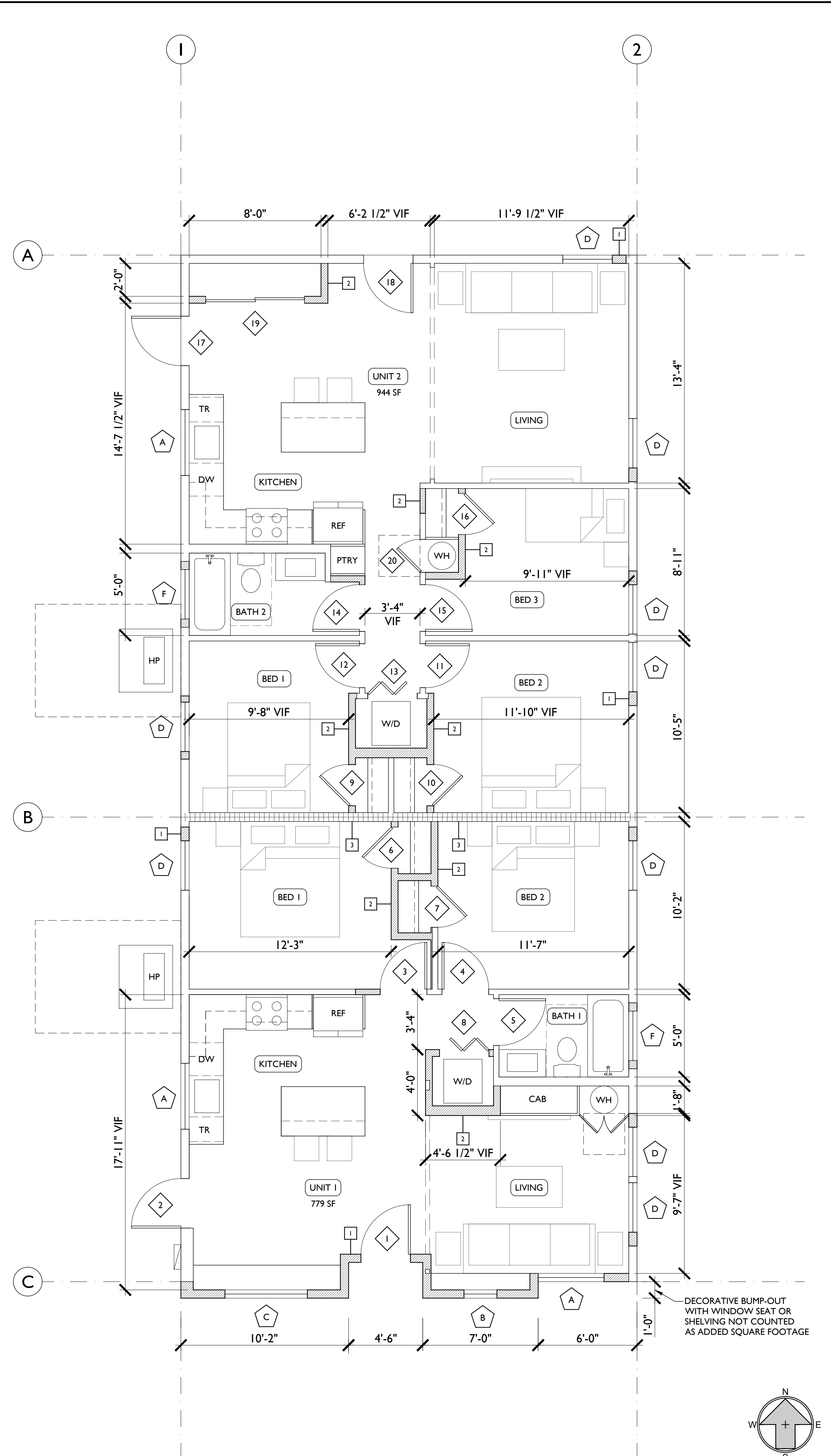
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SCALE:	
DATE:	02.12.2026
DRAWN BY:	KWM
CHECKED BY:	SRG
CAD TITLE:	A2.0 - FLR PLAN.dwg
SHEET NUMBER:	

# A2.0

OF XX SHEETS



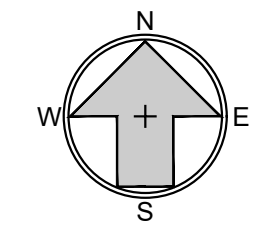
1/4" = 1'-0"  
**DEMO PLAN 2**



1/4" = 1'-0"  
**PROPOSED PLAN 1**

### SYMBOL KEY

- DOOR TAG, SEE SCHEDULE ON A5.0
- WINDOW TAG, SEE SCHEDULE ON A5.0
- WALL TAG, SEE DETAIL # ON A5.0
- (N) WALLS
- (N) I-HR RATED WALLS

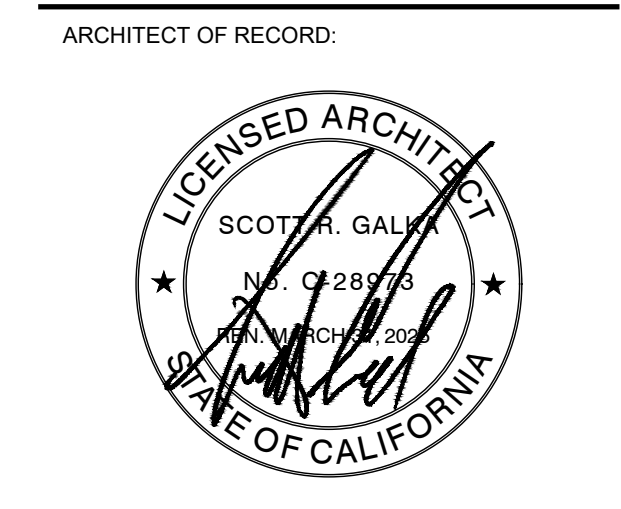






NO.	DATE	DESCRIPTION
	02.12.2026	PLANNING

PROJECT:  
**RESIDENTIAL REMODEL**  
121 CHESLEY AVE  
RICHMOND, CA 94801



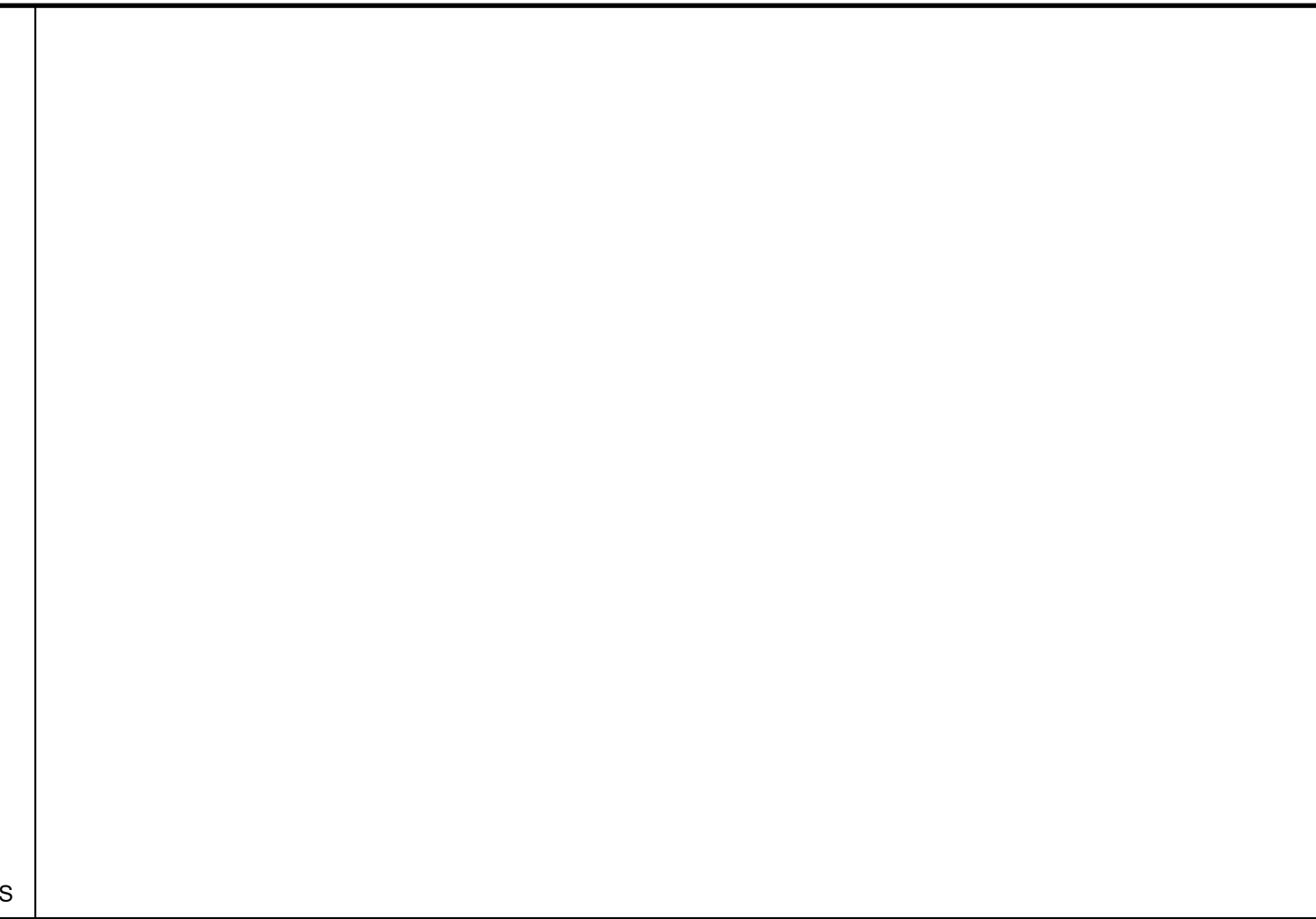
CONSULTANTS:

SHEET DESCRIPTION:

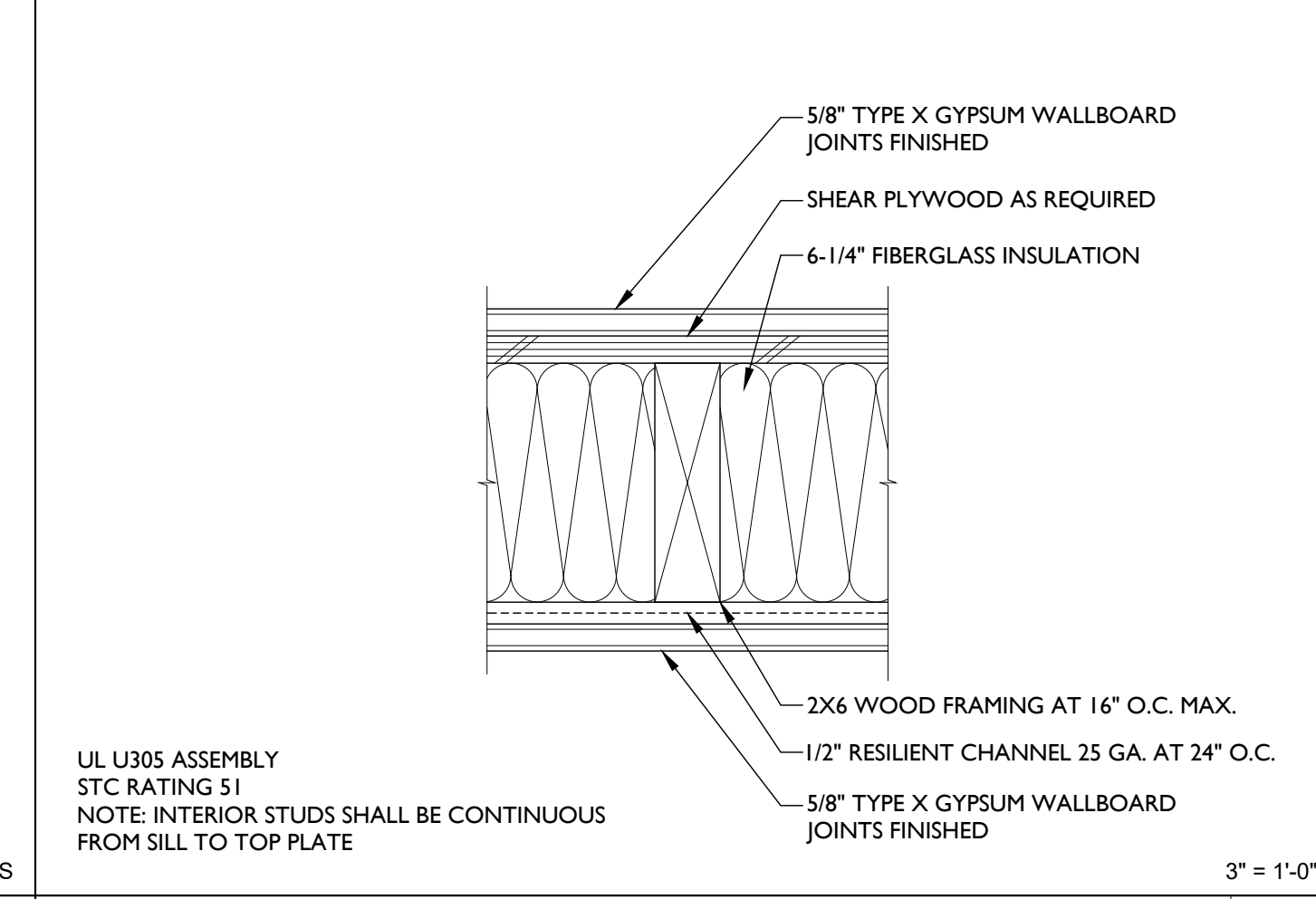
## SCHEDULES AND DETAILS

JOB NUMBER: 2025.021  
SCALE:  
DATE: 02.12.2026  
DRAWN BY: KWM  
CHECKED BY: SRG  
CAD TITLE: A5.0 - SCHEDULES.dwg  
SHEET NUMBER:

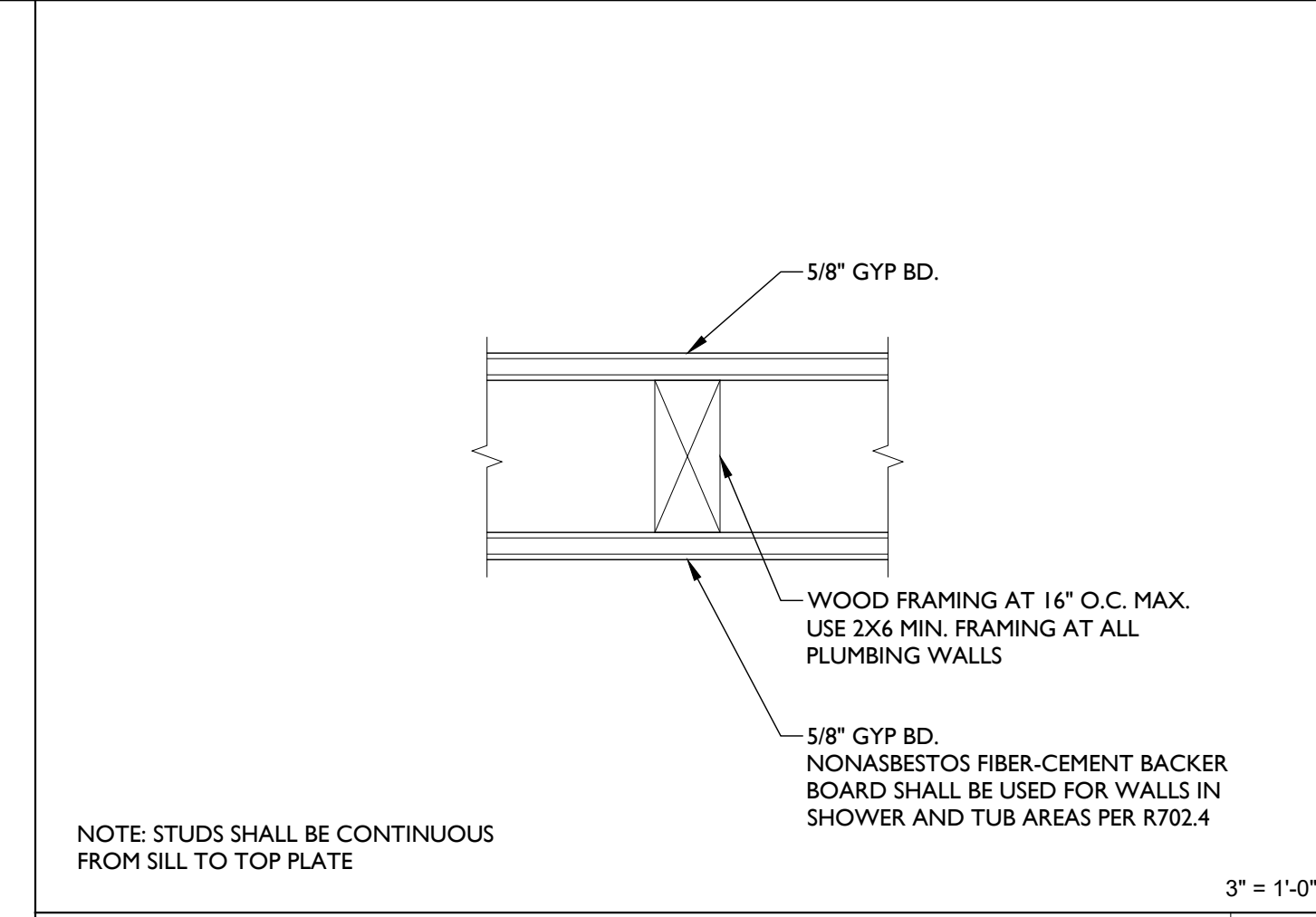
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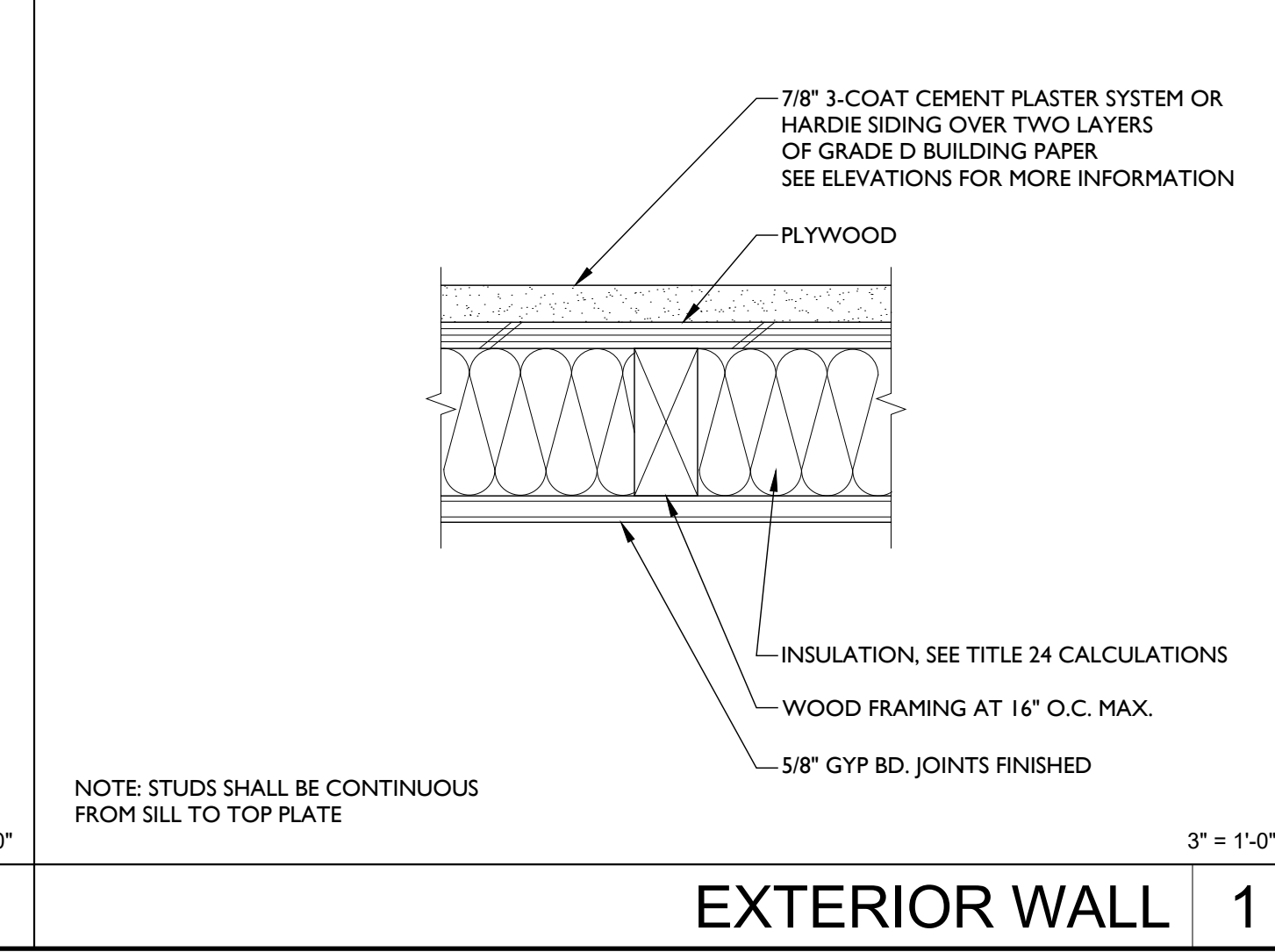
## SWITCHES AND OUTLETS 7



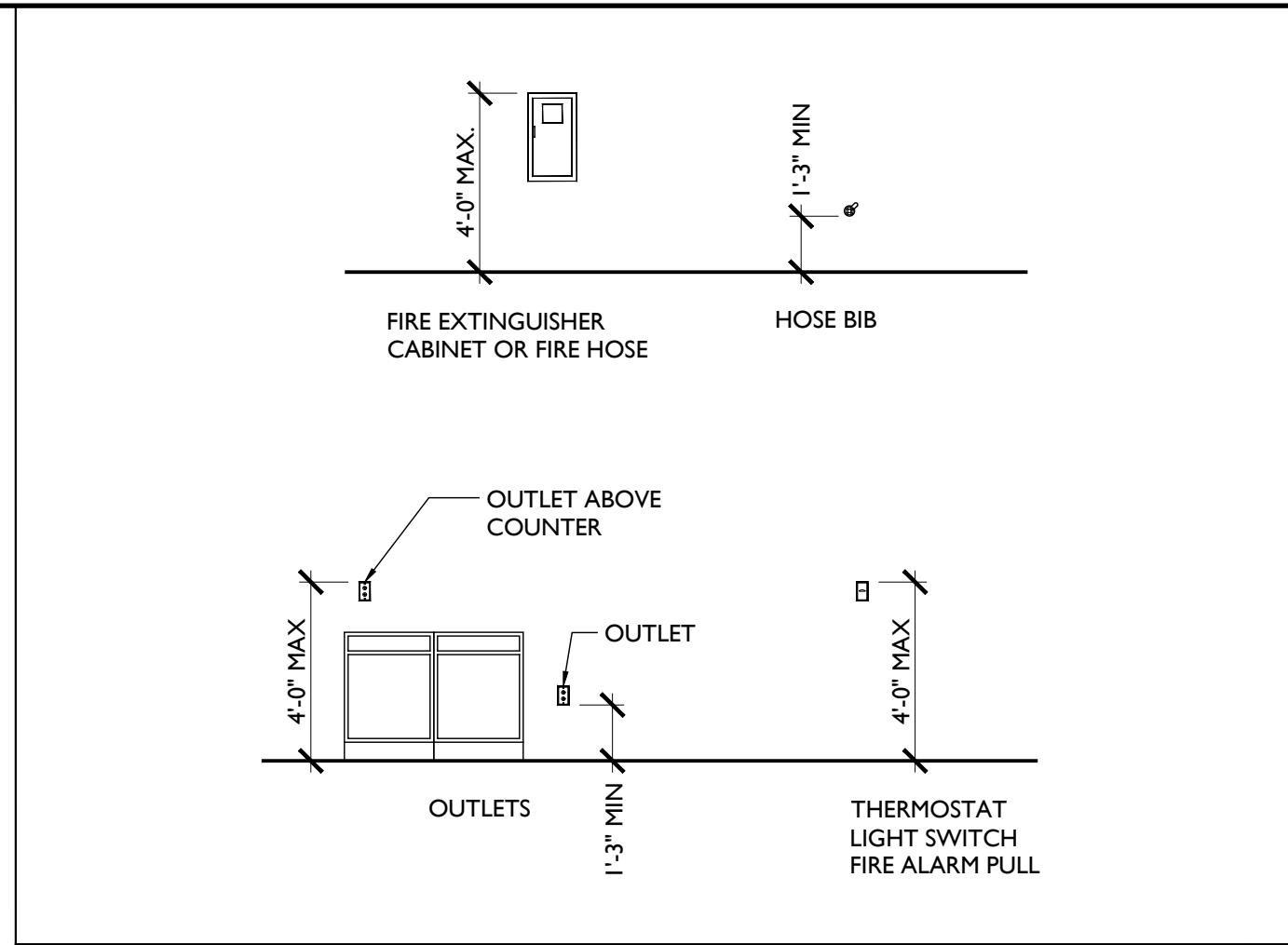
## NOT USED 4



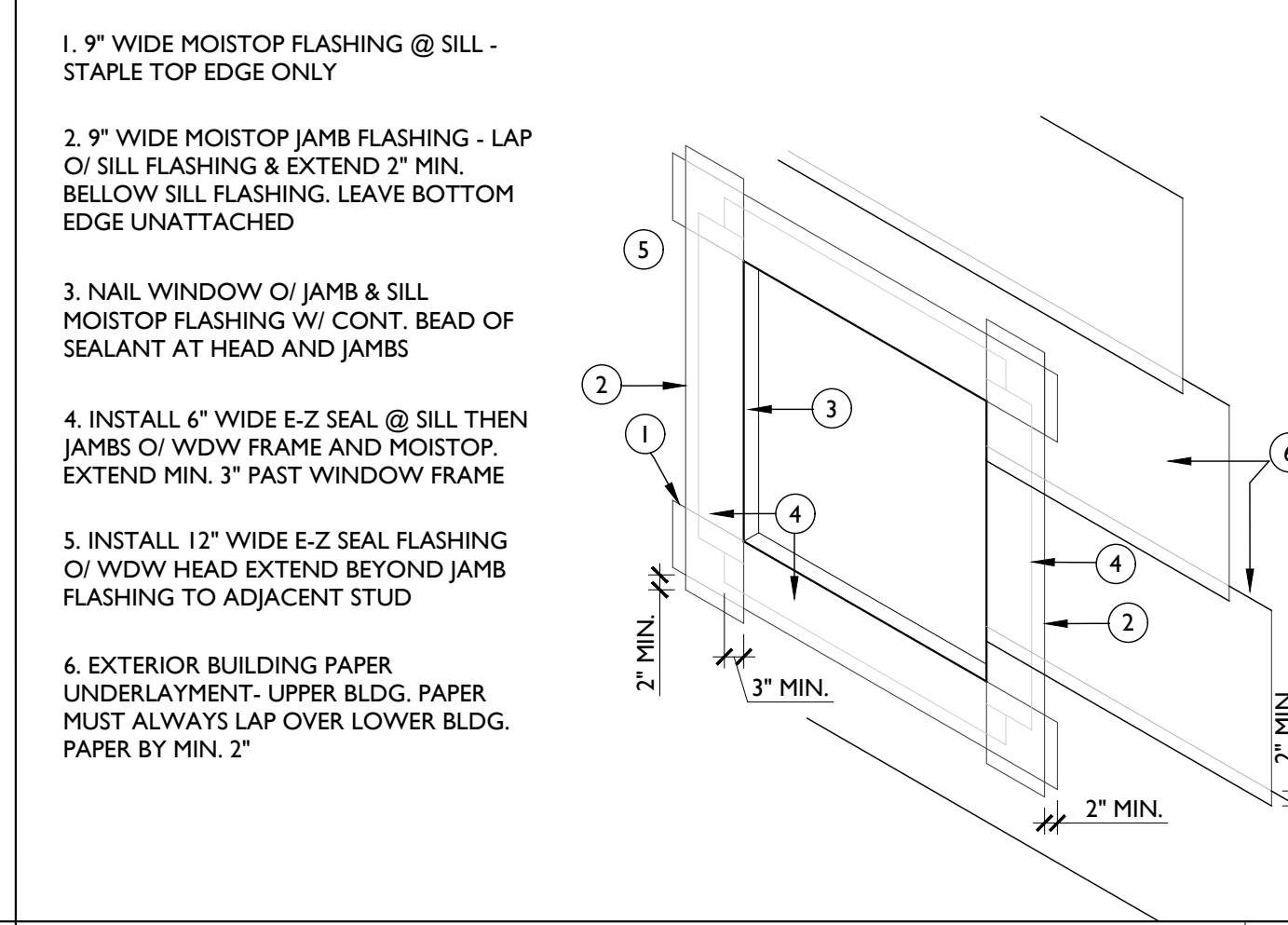
## 1-HOUR RATED WALL 3



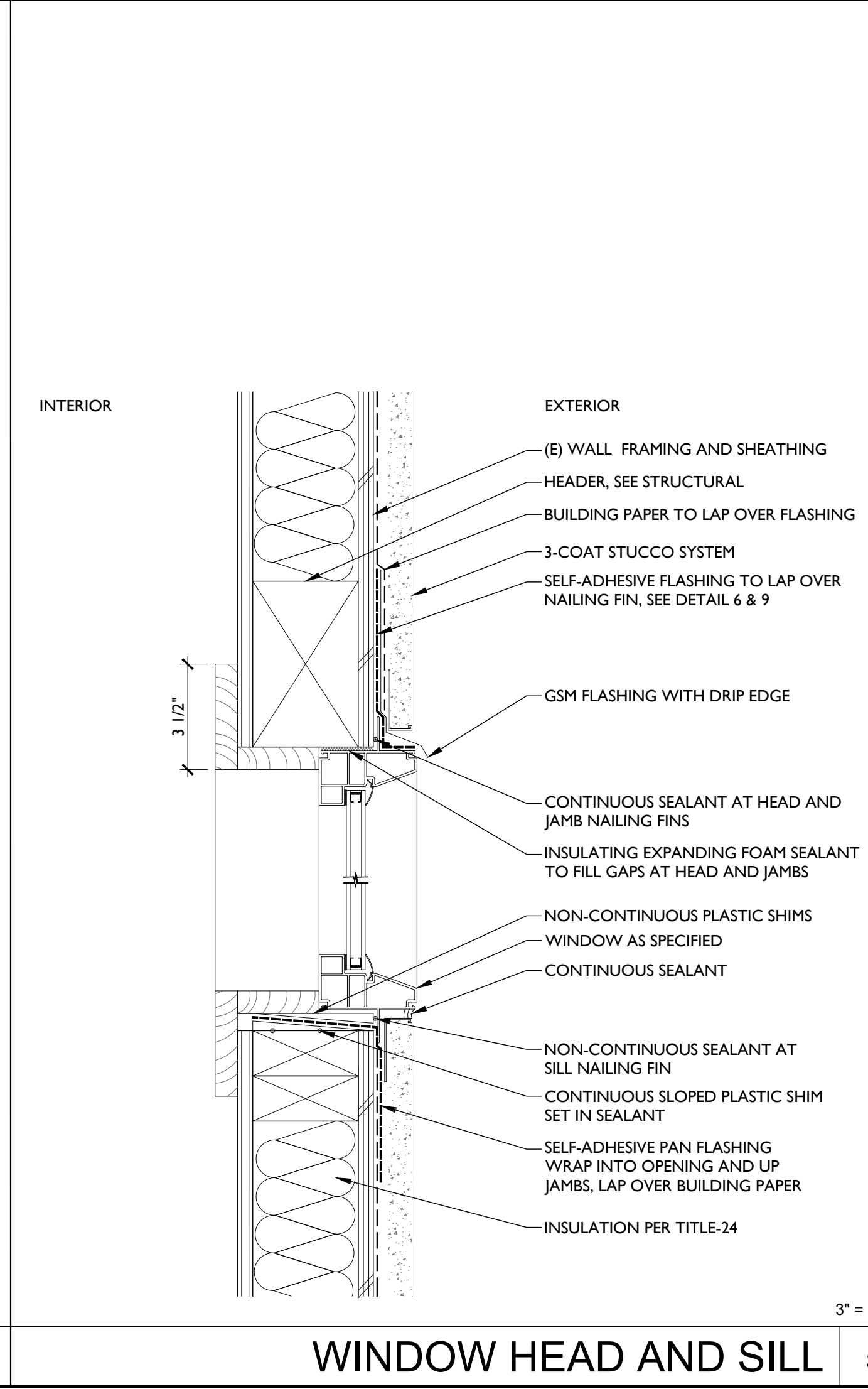
## INTERIOR WALL 2



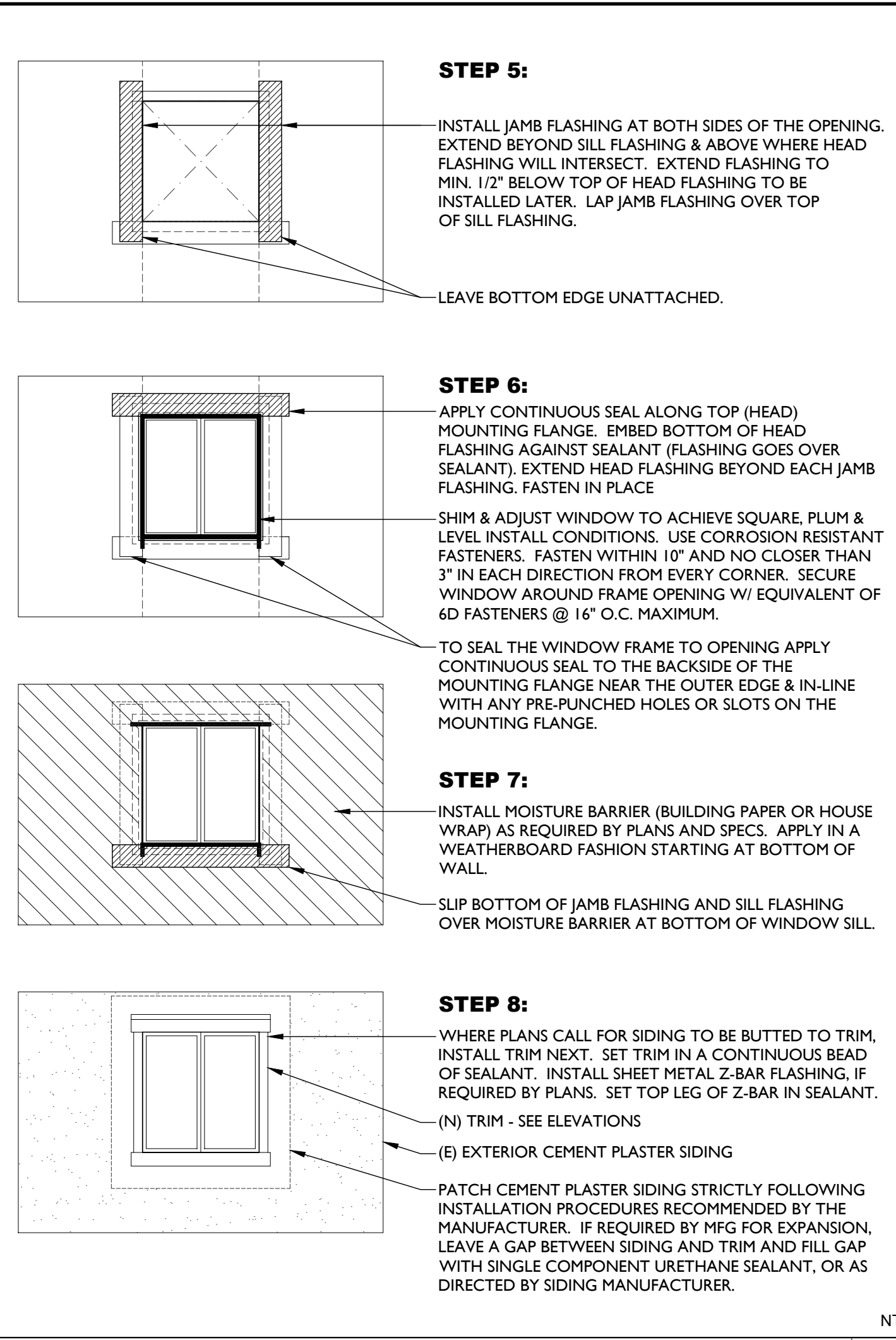
## WINDOW FLASHING 6



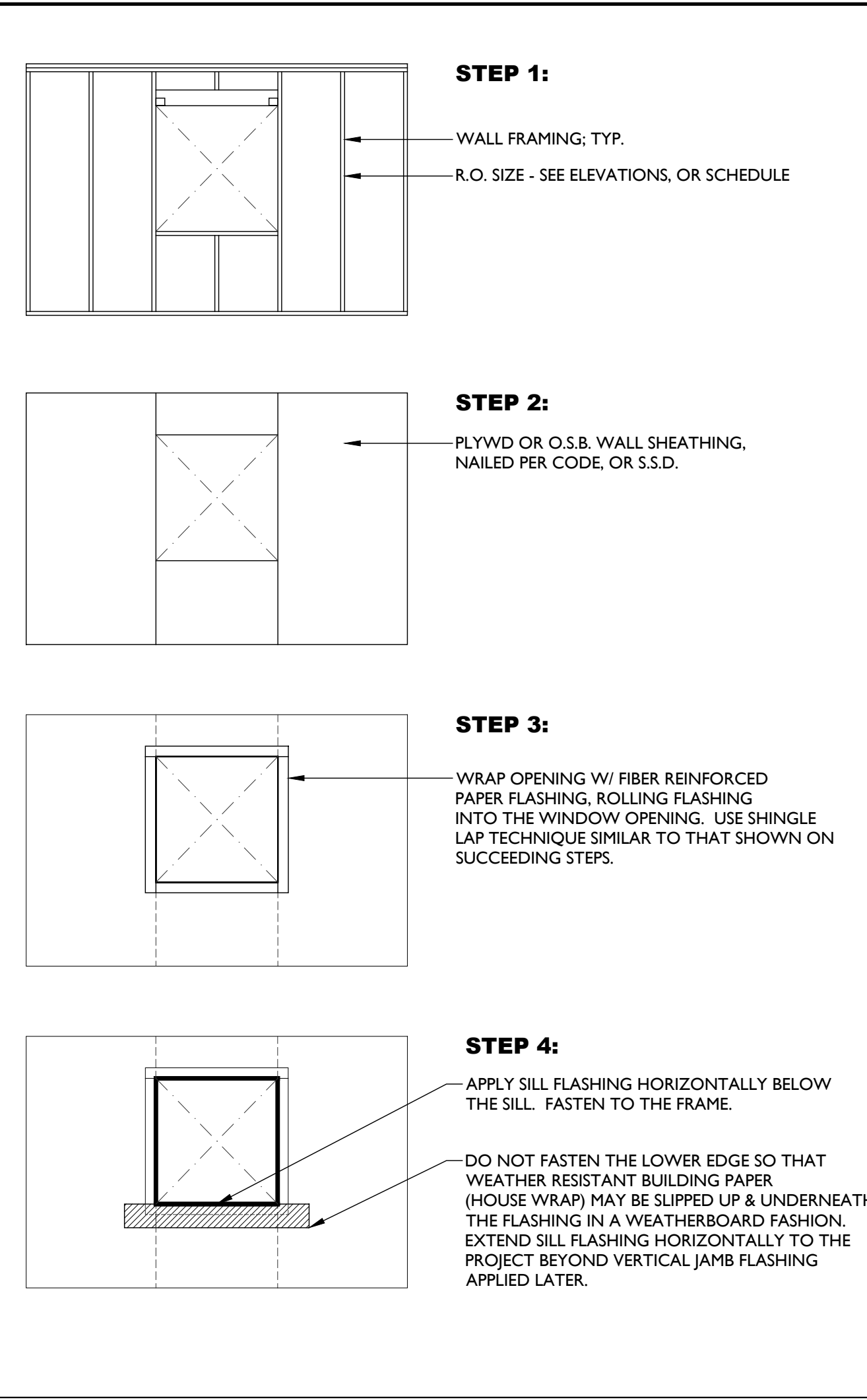
## WINDOW WATERPROOFING 9



## WINDOW HEAD AND SILL 5



## WINDOW WATERPROOFING 9



## WINDOW WATERPROOFING 9

WINDOW SCHEDULE							
KEY	R.O. SIZE (WXH)	HEAD	MANUF.	OPERATION	FRAME MATERIAL	TEMP	NOTES
A	4'-0" x 3'-0"	6'-8"	TBD	AWNING	FIBERGLASS	NO	
B	2'-0" x 3'-0"	6'-8"	TBD	FIXED	FIBERGLASS	NO	
C	5'-0" x 4'-0"	6'-8"	TBD	FIXED	FIBERGLASS	YES	
D	3'-0" x 4'-0"	6'-8"	TBD	CASEMENT	FIBERGLASS	YES	EGRESS
E	NOT USED						
F	3'-0" x 2'-0"	6'-8"	TBD	AWNING	FIBERGLASS	YES	

NOTES:  
1. ALL NEW WINDOWS TO BE DOUBLE PANE.  
2. WINDOWS INSTALLED AND FLASHED IN ACCORDANCE WITH MFR INSTRUCTIONS.  
3. WINDOWS TO BE DESIGNED TO RESIST WIND LOADS.  
4. ANCHOR GLASS ASSEMBLIES IN ACCORDANCE TO MFR INSTRUCTIONS FOR DESIGN PRESSURE.  
5. THIRD PARTY PERFORMANCE TESTING AND LABELING REQUIRED.  
6. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING.  
7. SEE ELEVATIONS FOR LOCATION OF EGRESS WINDOWS NOTED WITH 'EG'  
8. SEE TITLE 24 SHEETS FOR MORE INFORMATION.

DOOR SCHEDULE							
KEY #	SIZE (WXH)	MATERIAL	FRAME	FIRE RATING	FINISH	GLAZING	NOTES
1	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	TEMPERED	ENTRY
2	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	TEMPERED	ENTRY
3	2'-10" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
4	2'-10" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
5	2'-10" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
6	2'-6" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET
7	2'-6" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET
8	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	FOLDING
9	2'-6" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET
10	2'-6" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET
11	2'-8" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
12	2'-8" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
13	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	FOLDING
14	2'-10" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
15	2'-10" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	
16	2'-6" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET
17	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	TEMPERED	ENTRY
18	3'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	TEMPERED	ENTRY
19	6'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	BY-PASS
20	2'-0" x 6'-8"	WOOD	WOOD	NONE	PAINT	NONE	CLOSET

NOTES:  
1. ALL DOORS TO BE 1-3/4" THICK, UON  
2. ALL DOOR GLAZING TO BE TEMPERED  
3. SEE PLAN FOR SWING DIRECTION  
4. SEE TITLE 24 SHEETS FOR MORE INFORMATION

## SCHEDULES 8

## WINDOW HEAD AND SILL 5

## EXTERIOR WALL 1

## WINDOW WATERPROOFING 9

# LIFETIME STEEL POST™ by ADJUST-A-GATE™ Installation Guidelines

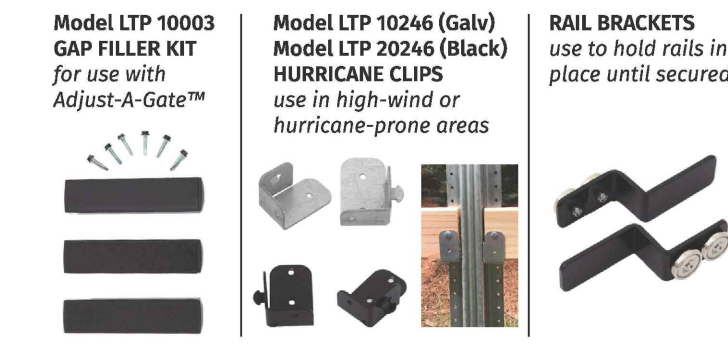
LifeTime Steel Post™  
Designed by installers for installers

The following installation instructions should be used as guidelines only. If you are a tradesman please use your training and experience. If you are a DIY consumer and have questions, please consult your local building and permit department, or a professional. Take all proper safety precautions.

Remember you Must CALL Before You Dig

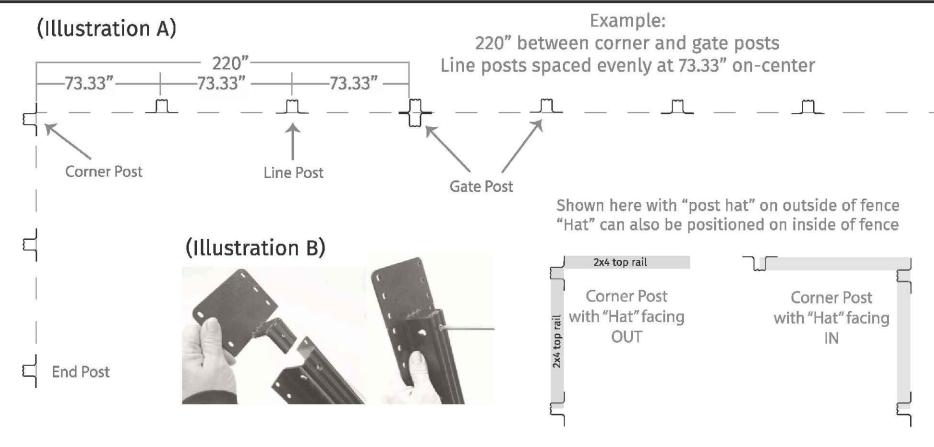


## OPTIONAL ACCESSORIES - SOLD SEPARATELY



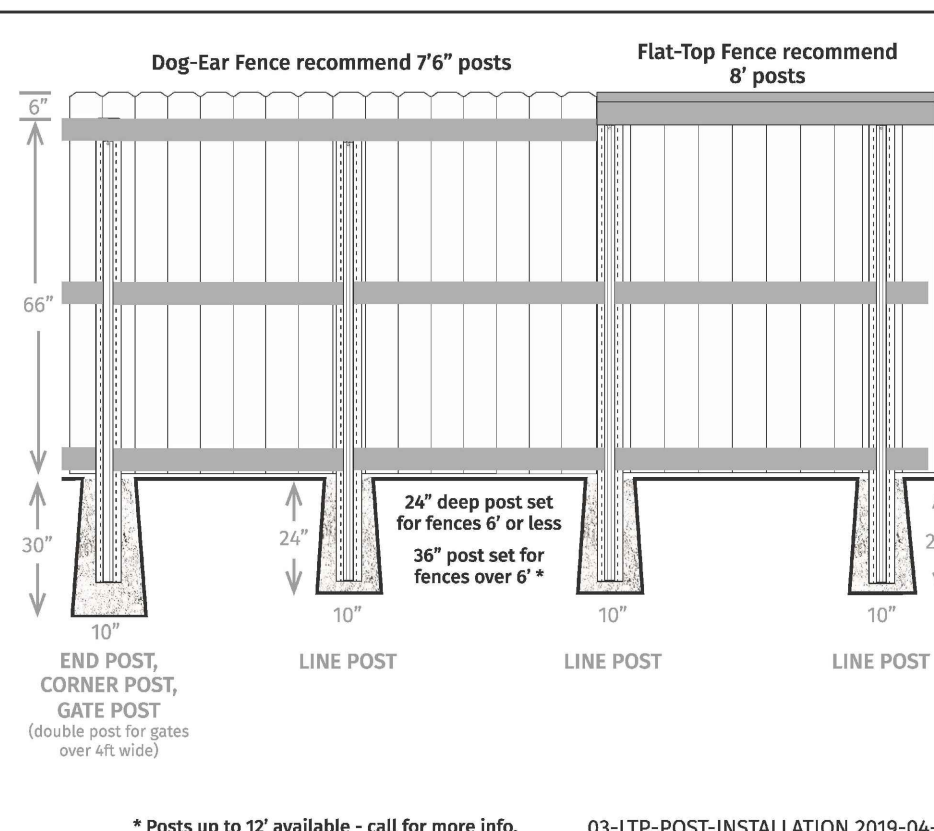
### STEP 1: SITE LAYOUT & MARKING

Once you have established your legal property lines. Layout and clean the fence line of any debris, limbs, plants and as much as possible level or flatten the ground before you begin the fence layout. (Note: if there are any underground utility marks close to your post locations proceed with extreme caution.) Stake the locations of your CORNER, END, AND GATE POSTS. (Hint: The post can be hidden if desired, see illustration on pg 2)



### STEP 2: DIGGING AND SETTING END, CORNER AND GATE POSTS

Remove and re-attach UPPER RAIL PLATE to post. (Illustration B) Now install your END, CORNER AND GATE POSTS. Set these posts to a minimum of 30" depth x 10" diameter holes. (Hint: It is recommended to use a single LifeTime Post for gates up to 4' wide, and a double back-to-back post for gates over 4' wide - see illustration on page 2) Set the posts in mixed damp concrete, raise and level the posts to the proper height, measuring from the ground to the TOP OF THE UPPER RAIL PLATE.



### STEP 3: DIGGING AND SETTING LINE POSTS

The line posts should be spaced no more than 92" apart on-center and as evenly spaced as possible. (Example: the space between two end posts is 220", you would use two line posts with spacing of approx. 73.33" apart, see illustration A) Dig holes for the LINE POSTS no less than 24" deep x 8-10" in diameter. Raise the line post allowing damp concrete to flow under the bottom of the steel post until the post height is the same as the two end posts, using your string as a guide.

\* Posts up to 12' available - call for more info. 03-LTP-POST-INSTALLATION 2019-04-19 ©2018 Jewett-Cameron Company • www.LifetimeSteelPost.com • Customer Service: 800-955-2879

### STEP 4: OPTIONAL HURRICANE BRACKETS

(sold separately) The Lifetime Post wood fence system has brackets available for high-wind or hurricane-prone locations. These brackets also help to prevent rail sagging. Install prior to fence rails.

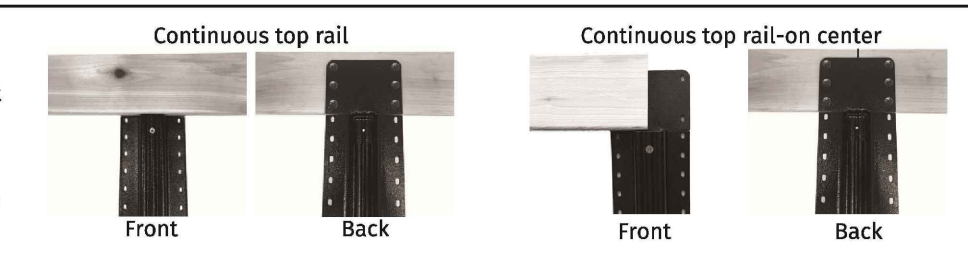
### Minimum recommendation:

Brackets on center rails For a more robust installation, or for areas with sustained winds, we recommend brackets on both the center and top rails.



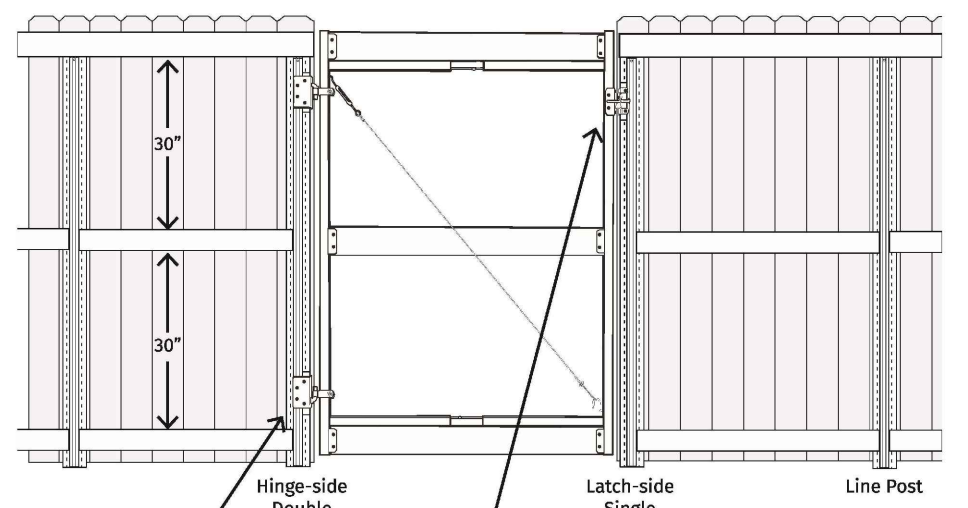
### STEP 5: INSTALLING FENCE RAILS

The Lifetime Post wood fence system has to have the top fence rail installed, "on the top" of the steel post and attached to the UPPER RAIL PLATE. This will allow vertical rail support and prevent sagging between the posts. Recommend using steel to wood screws, through the back of the post. (Models LTP 10004 or LTP 10005 - jar of 500)



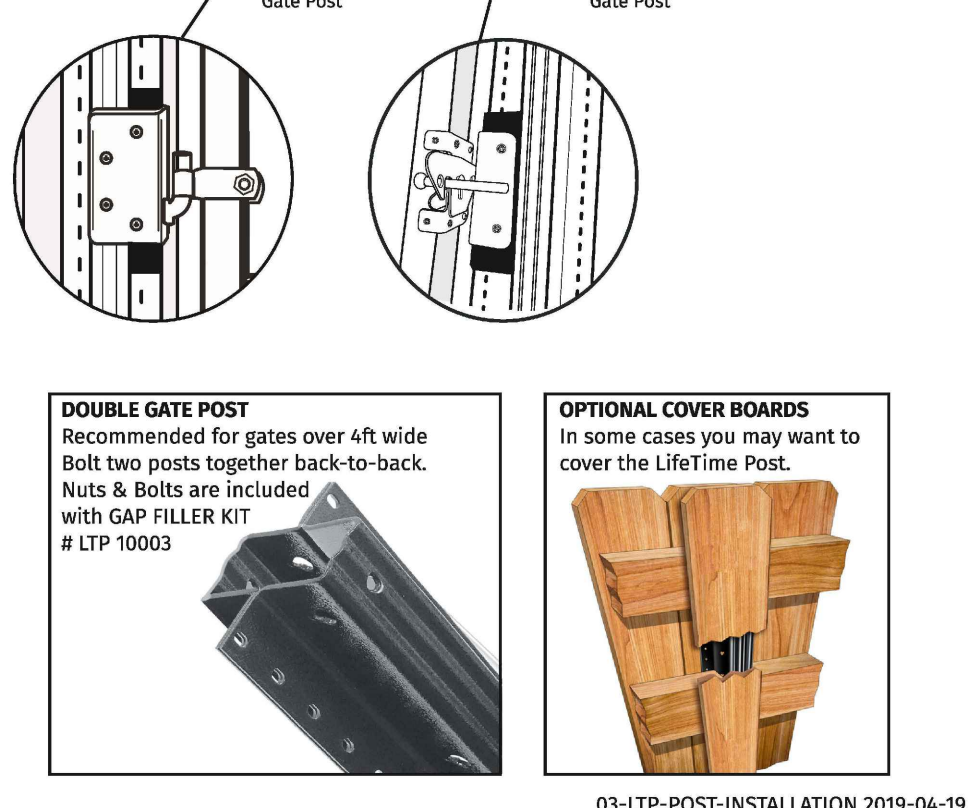
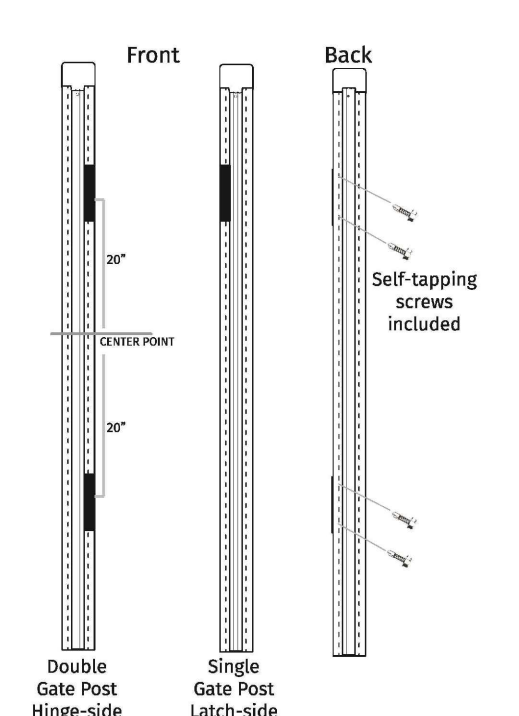
### STEP 6: INSTALLING FENCE PICKETS

Fence pickets are typically installed 2" off the ground and extend up to 6" above the top rail.



### STEP 7: ADJUST-A-GATE™ ALL STEEL GATE FRAME SYSTEM

We recommend using our GAP FILLER TUBES, Model #LTP10003, pack of three. TWO for the hinge-side gate post and ONE for the latch-side gate post. Using the self-tapping screws included, attach these to the gate posts, at the correct height for the hinges and latch. Follow instructions included with your Adjust-A-Gate to complete assembly.



©2018 Jewett-Cameron Company • www.LifetimeSteelPost.com • Customer Service: 800-955-2879

# SRG

562 61ST STREET  
OAKLAND, CALIFORNIA  
510.550.5314

NO.	DATE	DESCRIPTION	ISSUES
02.12.2026		PLANNING	

PROJECT:  
**RESIDENTIAL REMODEL**  
121 CHESLEY AVE  
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:

FENCE 2

## BACKYARD DISCOVERY TEST REPORT

Product Name:  
20' X 9.5' STONEBRIDGE GAZEBO

Test Type:  
Snow Load Testing  
Wind Testing

Report Number:  
TR230038

Issue Date:  
3/1/2023

Scope of work  
Weight was evenly distributed for a 24 hour period over the entire surface of the roof structure at 9800 Pounds

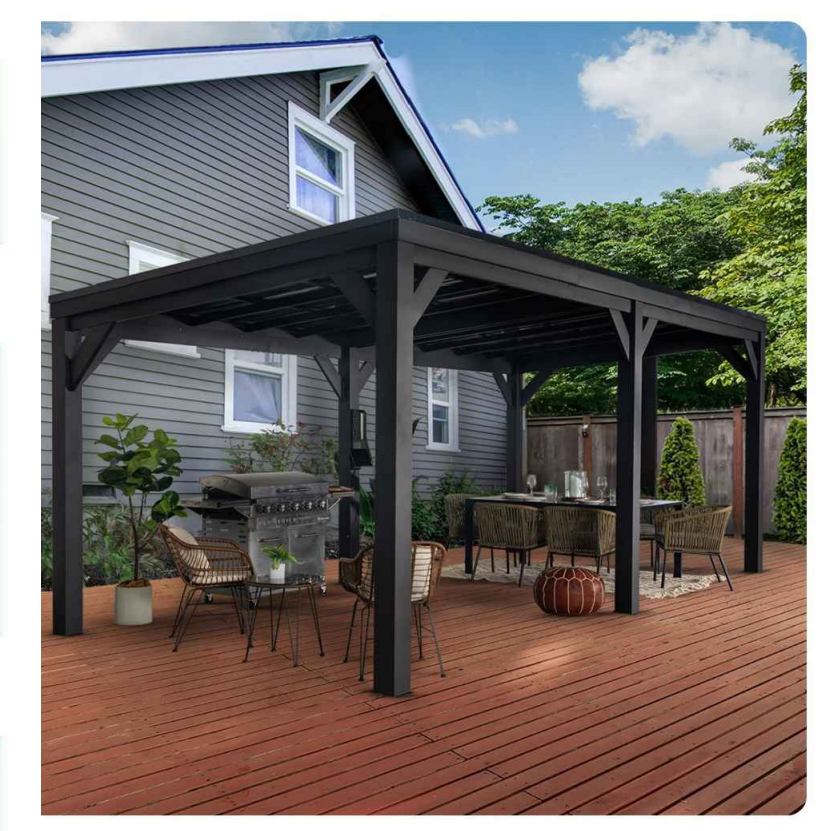
Summary of Snow Load Test Results	
Title	20' x 9.5' Stonebridge Gazebo
Total Weight	9,800 Pounds
Duration	24 Hours
Results	Pass, No damage.

Product Size			
Overall Area	195.4 ft <sup>2</sup>	Width (inches)	Length (inches)
Overall Footprint (Per roof side)	114.5	114.5	245.75
Number of Roof Sides	1		
Roof Pitch	5°		

Frame Construction		
Frame Member	Material	Description
Post	Galvanized Steel	Vertical post, one at each corner, and centered
Rafter	Galvanized Steel	Wood vertical sections
Beam	Galvanized Steel	Wood horizontal sections
Sheathing Board	Galvanized Steel	Wood sheathing boards to support roof metal
Metal Panel	Galvanized Steel .0476" Thick	Roof panel

Summary of Wind Test Results			
Title	20' x 9.5' Stonebridge Gazebo		
Total Wind Speed (mph)	100	Static Pressure (lb/ft <sup>2</sup> )	24.96
Projected Area (ft <sup>2</sup> )	33.745	Force (lbs)	842.28

Completed by:	B. Siebert	Reviewed By:	P. Hardy
Title:	Project Engineer	Title:	Project Engineering Manager
Signature:	<i>B. Siebert</i>	Signature:	<i>P. Hardy</i>
Date:	3/1/2023	Date:	3/1/2023



## 20X9.5 STONEBRIDGE GAZEBO/CARPORT

★★★★★ 4.9 (10)  
\$ 3,999  
Free Shipping

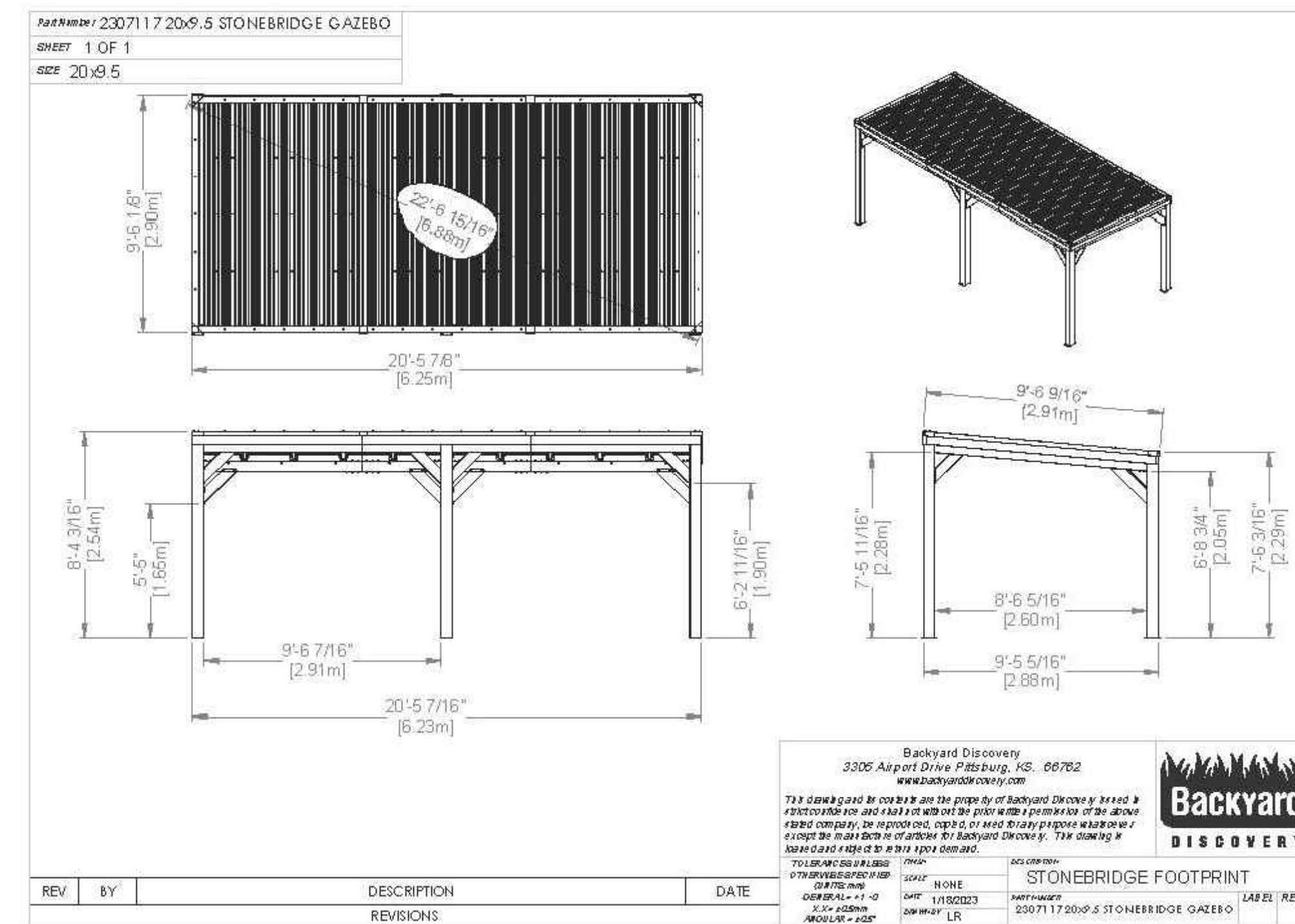
Free Shipping | Check Arrival Dates

Available Sizes  
20x9.5 Stonebridge Gazebo/Carport

- Optional Add Ons  
 Assembly Service \$1090
- Features:
- All-Weather Durability: Pro-Tect™ tested and proven to withstand up to 9,800 pounds or up to 30 inches of snow load, and winds up to 100 mph\*
  - Industry-Leading Warranty: 5-year warranty for added peace of mind
  - Powered Lid: Patented PowerTop™ features 3 electrical outlets and 3 USB ports to power your outdoor living space, mounting easily to any post on the structure (power source not included)
  - 2020 Heavy Duty Steel: Premium galvanized steel craftsmanship provides superior strength compared to aluminum or vinyl structures
  - Maintenance-Free: Engineered for zero upkeep with powder-coated galvanized steel construction for full protection against rust, corrosion, and UV harm
  - Robust Support Posts: 6" x 6" galvanized steel posts provide superior strength
  - Ready to Assemble: Pre-fabricated, pre-drilled, and powder-coated panels, paired with step-by-step instructions in the interactive iBC™ app, offer easy installation
  - Durable Finishes: Powder-coated steel brackets and anchors combined with a modern black finish provides enhanced weather resistance and lasting style
  - Slope Roof Design: 5° roof pitch creates a clean yet versatile architectural design while preventing water accumulation
- \* Please Note: \*Product must be anchored as specified in the Backyard Discovery instruction manual

Use Code PREZIS for an extra 10% off at checkout.

Add to cart | See In Your Space



REV	BY	DESCRIPTION	DATE
		REVISIONS	

Backyard Discovery  
3305 Airport Drive Pittsburg, KS 66762  
www.backyarddiscovery.com

7-11 Check and be covered by the property of Backyard Discovery. It is not a franchise and is not a sales or marketing program. The purchase of the product is not a sales or marketing program. The purchase of the product is not a sales or marketing program. The purchase of the product is not a sales or marketing program.

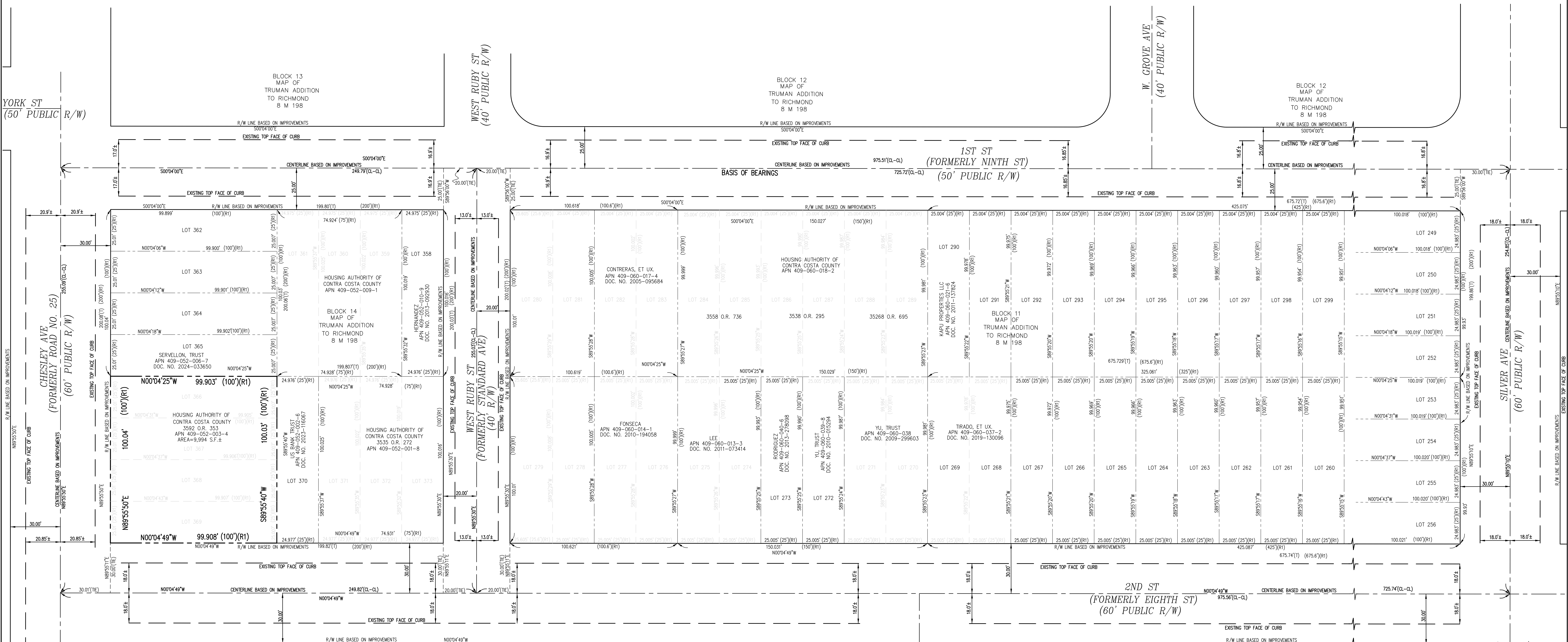
20' X 9.5' STONEBRIDGE FOOTPRINT  
3305 Airport Drive Pittsburg, KS 66762

Confidential Information  
D Dept., Leisure Time Products

CARPORT 1

A5.1  
OF XX SHEETS

YORK ST  
(50' PUBLIC R/W)



**TITLE REPORT**  
THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 1117028551-AS, SECOND UPDATED REPORT, DATED OCTOBER 7, 2024 AT 7:30 A.M., REFERRED TO HEREON AS THE "PTR".

**TITLE TO SAID ESTATE IS VESTED IN:**  
HOUSING AUTHORITY OF THE CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION

**THE ESTATE OR INTEREST IN THE LAND IS:**  
FEE

**LEGAL DESCRIPTION**  
THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF CONTRA COSTA, CITY OF RICHMOND, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOTS 366, 367, 368, 369 IN BLOCK 14, AS SAID LOTS AND BLOCK ARE DELINEATED AND SO DESIGNATED ON THE MAP ENTITLED "MAP OF TRUMAN ADDITION TO RICHMOND", FILED NOVEMBER 18, 1912 IN BOOK 8 OF MAPS, PAGE 198, CONTRA COSTA COUNTY RECORDS.  
APN: 409-052-003-4

**EXCEPTIONS**  
1. REDEVELOPMENT PLAN, AS FOLLOWS, ENTITLED ORDINANCE NO. 87-50 (ADOPTING A REDEVELOPMENT PLAN FOR THE NORTH RICHMOND DEVELOPMENT PROJECT), EXECUTED BY CONTRA COSTA COUNTY REDEVELOPMENT AGENCY, RECORDED JULY 23, 1987 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 87 157129, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PROCEEDINGS, RECORDED JULY 23, 1987 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 87 157129, A NOTICE AS FOLLOWS, ENTITLED ORDINANCE NO. 99-06 (AMENDMENT TO THE REDEVELOPMENT PLAN), BY BOARD OF SUPERVISORS OF THE COUNTY OF CONTRA COSTA, RECORDED JUNE 15, 1999 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 99-0070071, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PLAN AMENDMENT, RECORDED JUNE 9, 1999 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 99-0154227, A NOTICE AS FOLLOWS, ENTITLED ORDINANCE NO. 2006-35 (ADOPTING AMENDMENT TO REDEVELOPMENT PLAN), RECORDED JULY 24, 2006 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2006-0233265, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PROCEEDINGS, RECORDED JUNE 12, 2007 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2007-017044, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PLAN AMENDMENT, RECORDED JUNE 2, 2008 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2008-021615 (EXC. 3 OF PTR - NOT PLOTTABLE).

2. CONDITIONS CONTAINED AND/OR REFERRED TO IN AN INSTRUMENT, ENTITLED DECLARATION OF TRUST (GRANTS PROJECTS), BY HOUSING AUTHORITY OF THE COUNTY OF CONTRA COSTA, RECORDED OCTOBER 27, 1988 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 88 199060 (EXC. 4 OF PTR - NOT PLOTTABLE).

3. CONDITIONS CONTAINED AND/OR REFERRED TO IN AN INSTRUMENT, ENTITLED DECLARATION OF TRUST (CADI10098 (NORTH RICHMOND)), BY HOUSING AUTHORITY OF THE COUNTY OF CONTRA COSTA, RECORDED SEPTEMBER 30, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2016-0202049, THE ABOVE MATTER IS ALSO DATED OCTOBER 12, 2016, RECORDED OCTOBER 13, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2016-0214130 (EXC. 5 OF PTR - NOT PLOTTABLE).

4. TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT, ENTITLED RENTAL ASSISTANCE DEMONSTRATION TRANSFER OF ASSISTANCE/DEMOLITION AND/OR DISPOSITION RESTRICTIVE COVENANTS, EXECUTED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, RECORDED JULY 30, 2020 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2020-0156869 (EXC. 6 OF PTR - NOT PLOTTABLE).

**GENERAL NOTES**

- DATE OF FIELD SURVEY: JANUARY 31, 2025.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:  
STORM DRAINS: CONTRA COSTA COUNTY  
SANITARY SEWER: CONTRA COSTA COUNTY  
WATERS: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)  
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.  
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
- THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY
- THE SURVEYED PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE TITLE REPORT.
- THE LEGAL DESCRIPTION AS SHOWN IN THE TITLE REPORT MATHEMATICALLY CLOSES.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL
- THERE ARE NO WETLAND AREAS IN THE SUBJECT PROPERTY.
- THE LEGAL DESCRIPTIONS OF THE SUBJECT PROPERTIES ARE THE SAME AS THE PROPERTIES DESCRIBED IN THE PRELIMINARY TITLE REPORTS.
- THE SUBJECT PROPERTY HAS ACCESS TO AND FROM SECOND STREET, A PUBLIC RIGHT OF WAY, AND CHESLEY AVENUE, A PUBLIC RIGHT OF WAY.

**BENCHMARK**  
STATION NAME B.M. #1258, BEING CONTRA COSTA COUNTY BRONZE DISC, SET IN TOP OF W. END OF CATCH BASIN, NE CORNER INTER. MARKET STREET AND 2ND STREET (NORTH RICHMOND). ELEVATION = 125.77 FEET, CONTRA COSTA COUNTY DATUM.

**TABLE A NOTES**

- FOUND MONUMENTS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- THE STREET ADDRESS OF THE PROPERTY IS 121 CHESLEY AVENUE; 1511 SECOND STREET, RICHMOND, CA 94801 (UNINCORPORATED AREA OF CONTRA COSTA COUNTY).
- FLOOD ZONE DESIGNATION: THE PROPERTY IS LOCATED IN ZONE "X" (SHADED) DEFINED AS "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0601300226G, EFFECTIVE DATE: SEPTEMBER 30, 2015.
- THE TOTAL GROSS LAND AREA IS: 9,994 SQUARE FEET +/- OR 0.229 ACRES MORE OR LESS.
- (A/B) ZONING REQUIREMENTS: PER THE CONTRA COSTA COUNTY ZONING MAP, THE PROPERTY IS ZONED "HE-C" DEFINED HOUSING ELEMENT CONSISTENCY DISTRICT.  
REFERENCE FOR "HE-C" ZONING IS MADE HERE TO THE CONTRA COSTA COUNTY MUNICIPAL CODE, CHAPTER 84-02 REGARDING PROPERTY DEVELOPMENT STANDARDS, MINIMUM SETBACKS, BUILDING HEIGHT LIMITATION, DENSITY AND PARKING REQUIREMENTS ARE AS FOLLOWS:  
SETBACKS:  
MINIMUM FRONT: 10 FEET  
MINIMUM SIDE: 5 FEET  
MINIMUM REAR YARD: 15 FEET  
MAXIMUM HEIGHT:  
RESIDENTIAL LOW/HIGH: 35/65 FEET  
MIXED-USE MEDIUM/HIGH: 50/85 FEET  
MAXIMUM DENSITY: 30 DWELLING UNITS PER ACRE
- (A/B) EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF BUILDING AT GROUND LEVEL, AND NUMBER OF STORES ARE SHOWN ON SHEET 2.
- SUBSTANTIAL IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN ON SHEET 2.
- THERE ARE NO PARKING SPACES ON THE SUBJECT PROPERTY.
- THERE ARE NO DIVISIONS OR PARTY WALLS LOCATED ON THE SUBJECT PROPERTY WITH RESPECT TO ADJOINING PROPERTIES.
- (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2 OF THE SURVEY.
- NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON THIS SHEET.
- DISTANCE TO THE NEAREST INTERSECTING STREET IS SHOWN ON THIS SHEET.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE ARE NO OFFSITE EASEMENTS TO THE SUBJECT PROPERTY.
- PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$2,000,000 IS HELD BY THE SURVEYOR.

**SURVEYOR'S CERTIFICATE**  
TO HOUSING AUTHORITY OF CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION; AND OLD REPUBLIC TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, SOLELY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A/B), 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 31, 2025.

JACQUELINE LUK  
P.L.S. 8934  
FOR LUK & ASSOCIATES, INC.

DATE: FEBRUARY 14, 2025

**SHEET INDEX**  
1. NOTES AND BOUNDARY SURVEY  
2. TOPOGRAPHIC SURVEY

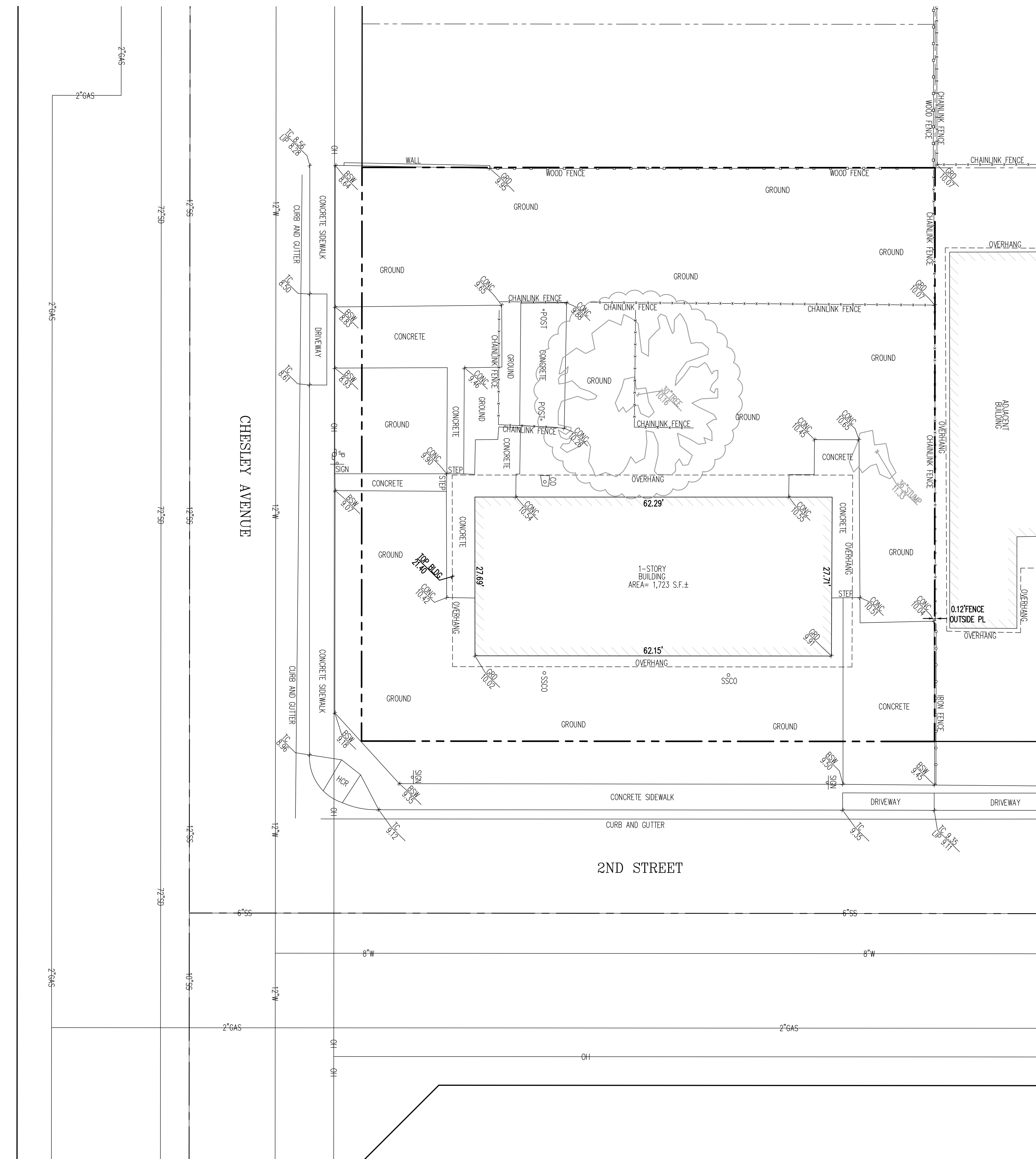
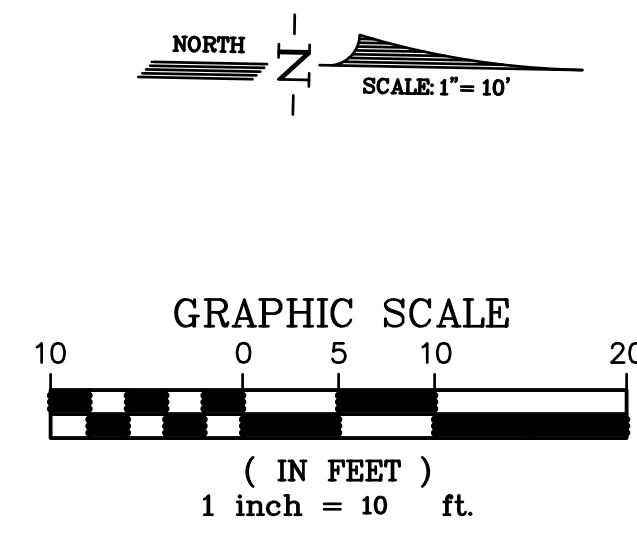
**LEGEND**

- BOUNDARY OF SUBJECT PROPERTY
- RIGHT OF WAY LINE
- INTERIOR PROPERTY LINE
- CENTERLINE
- THE LINE
- OLD LOT LINE
- (T) TOTAL
- ± MORE OR LESS
- R/W REFERENCE
- APN REFERENCE
- (100') REFERENCE
- DOC. NO. REFERENCE
- S.F. REFERENCE
- O.R. REFERENCE
- (CL-CL) CENTERLINE TO CENTERLINE

**GRAPHIC SCALE**  
SCALE 1" = 20'  
0 10 20 30 40  
( IN FEET )  
1 inch = 20 ft.

**VICINITY MAP**  
NO SCALE

**ALTA/NSPS LAND TITLE SURVEY**  
OF  
121 CHESLEY AVENUE; 1511 SECOND STREET  
CITY OF RICHMOND, CONTRA COSTA COUNTY, CALIFORNIA  
FEBRUARY 2025  
PREPARED BY  
**LUK AND ASSOCIATES**  
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388



LEGEND	
SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	ADJONER LOT LINE
---	CENTERLINE
---	BUILDING LINE
SS	SANITARY SEWER LINE
W	WATER LINE
SD	STORM DRAIN LINE
OH	OVERHEAD WIRE
HCR	HANDICAP RAMP
JP	JOINT POLE
SSCO	SANITARY SEWER CLEANOUT
CO	CLEANOUT
BSW 65.00	BACK OF SIDEWALK ELEVATION
IC 65.64	TOP OF CURB ELEVATION
TOP BLDG 65.64	TOP OF BUILDING ELEVATION
CONC 65.64	CONCRETE ELEVATION
LIP 65.64	LIP OF GUTTER ELEVATION
GRD 65.64	GROUND ELEVATION

**ALTA/NSPS**  
**LAND TITLE SURVEY**  
 OF  
 121 CHESLEY AVENUE; 1511 SECOND STREET  
 CITY OF RICHMOND, CONTRA COSTA COUNTY, CALIFORNIA  
 FEBRUARY 2025  
 PREPARED BY  
**LUK AND ASSOCIATES**  
 LAND PLANNERS - LAND SURVEYORS  
 CIVIL ENGINEER  
 738 ALFRED NOBEL DRIVE  
 HERCULES, CALIFORNIA 94547  
 (510) 724-3388



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

---

**File #:** 26-2887

**Agenda Date:** 7/7/2026

**Agenda #:**

---

Advisory Board: North Richmond Municipal Advisory Council  
Subject: CC Fire Protection District Presentation

Information: CC Fire Protection District Presentation



# CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

## County Coordinator Update and Contra Costa Wildfire Mitigation Program

### North Richmond MAC Presentation

Michelle Rinehart, Contra Costa County Coordinator  
July 7, 2026





# CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

## Agenda

- 25 County Coordinator Program Update
  - ◆ Program Extension
  - ◆ Community Wildfire Protection Plan Update
- Contra Costa Wildfire Mitigation Program
  - ◆ Program Access and Funding
  - ◆ Program Overview
  - ◆ Improved Mapping
- Community Warning System (CWS)
- Know Your Zone Campaign
- Defensible Space
- Questions



# Funding Acknowledgment



Funding for this project was provided by a grant from the California Department of Forestry and Fire Protection as part of the California Climate Investments Program, through the California Fire Safe Council.

# Program Overview

Established in 2021, the Wildfire County Coordinators Program seeks to educate, encourage, and develop countywide community collaboration and coordination among wildfire mitigation groups. The program, powered by a partnership between the California Fire Safe Council and CAL Fire, has provided funding to 52 of California's 58 counties to hire a County Coordinator and establish critical local capacity to plan and implement wildfire resilience strategies on the ground.



# Community Wildfire Protection Plan (CWPP)

County Coordinators are an essential local resource for the CWPP, crucial to the state's wildfire resilience strategy.

Key responsibilities include:

- Developing the overall planning process
- Assisting with local outreach efforts
- Ensuring alignment between state and local objectives

This vital link between state strategy and local execution ensures California communities are better prepared, connected and more resilient to wildfire.

Figure: Elements of Fire Adapted Communities (courtesy Watershed Research and Training Center)

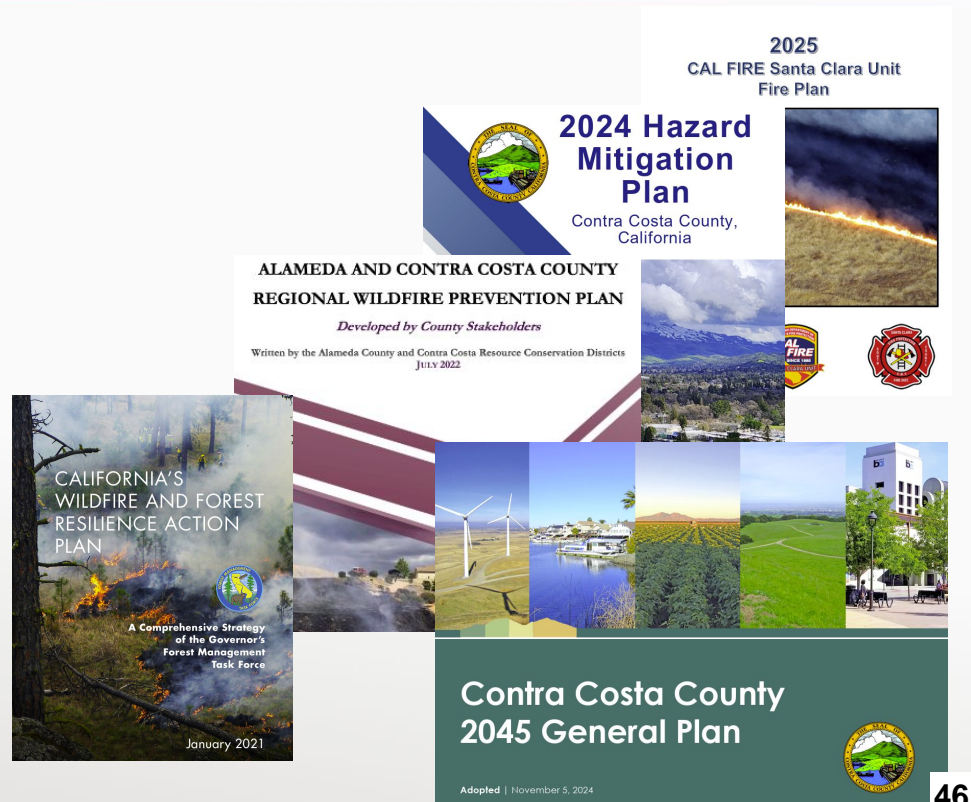


# Plan Alignment

Aligning various Contra Costa County plans is a key focus, including:

- Regional Priority Plan (Diablo Fire Safe)
- Local Hazard Mitigation Plan
- CAL Fire Unit Plan (SCU)
- Contra Costa County 2045 General Plan
- California Wildfire and Forest Resilience Action Plan (which prioritizes the CWPP planning process)

Additional as recommended by the CWPP Consultant. This also involves coordination with local agency and community partners.



# Contra Costa Wildfire Mitigation Program



# Wildfire Mitigation Program



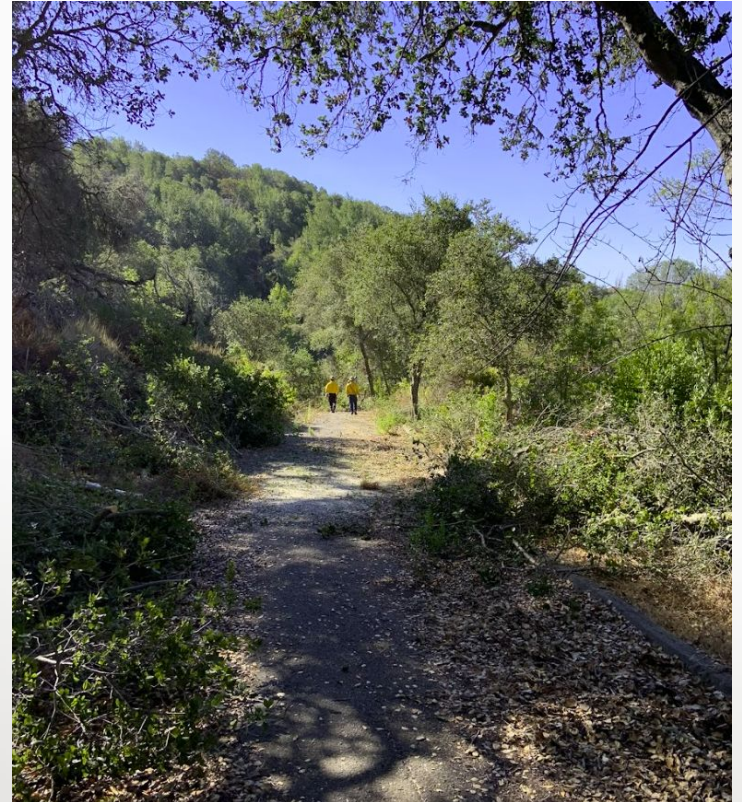
# FY 25/26 Program Funding (Measure X)

## Crew 12 Hand Crew ~\$2,750,000

- 4 Fire Captains
- 6 Fire Control Specialists
- 30 Fire Control Workers (Seasonal)
- Mitigation Equipment
- Vehicles and Crew Buggy
- Training and Certification

## Wildfire Mitigation ~\$2,200,000

- Contracted Fuel Reduction
- CEQA Consultant
- Green Waster and Chipping Dumps
- Fire Trail Signs and New Folding Maps
- Printed Material
- County Coordinator & Clerical Staff



# Program Overview

*Anyone within Contra Costa County, regardless of their local fire district or department, can apply for a Wildfire Mitigation Program, as long as they meet the requirements for the specific program.*

*For more information, scan the QR code on the reverse side to visit our webpage.*

## **Community Chipping Day**

Chipping crews are provided to chip vegetation in Firewise Communities or neighborhoods with at least 10 homes participating in fuel reduction.

## **Low Income Exterior Hazard Control Program**

Reimbursement of up to \$1,500 for property owner expenses spent on exterior hazard control or weed abatement.

## **Evacuation Route/Fire Trail Clean Up**

This program focuses on maintaining fire access routes and includes vegetation management.

## **Removal of Dead Trees**

Requests must be located on common or open spaces and the trees must be endangering structures.

## **Firewise Strategic Plan Projects**

Firewise is a national program helping neighbors work together with their local fire jurisdiction to protect communities from wildfire danger.

## **Shaded Fuel Break**

The objective of a shaded fuel break is to reduce, modify, and manage fuels in order to enhance mitigation efforts in the event of a wildfire.

## **Home Hardening Outreach Program**

Prepare your home to increase its likelihood of survival from a wildfire.

## **Vegetation Management and Fuel Reduction**

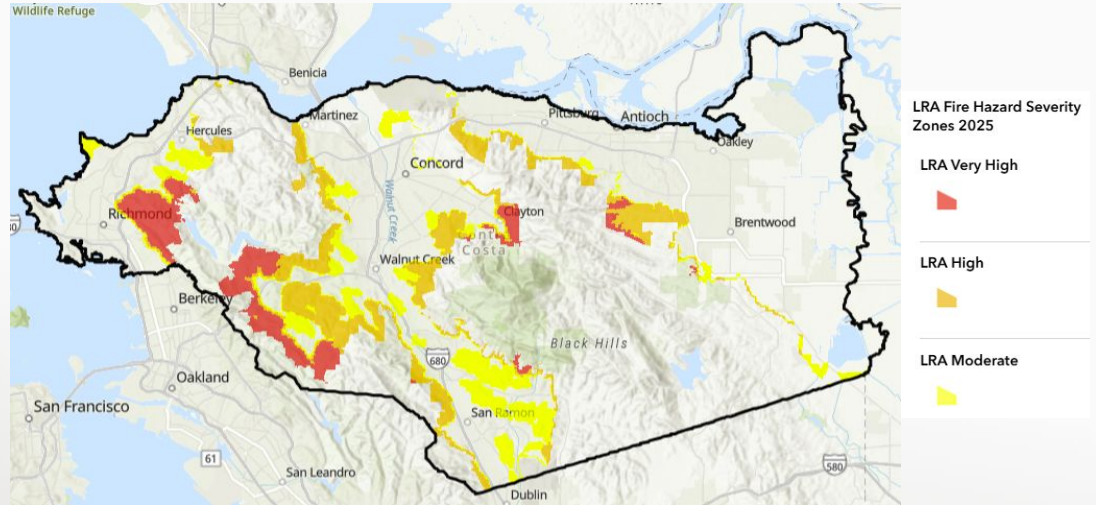
This program focuses on treating, clearing, or reducing debris and other types of combustible fuels.

# Fire Hazard Severity Zones

Fire Hazard Severity Zones are one factor considered when evaluating a project. Some others are:

- Fire History
- Existing and Potential Fuel
- Predicted Flame Length
- Ember Cast
- Topography
- Weather

\* County Coordinator does not review Contra Costa Wildfire Mitigation Program projects.



# Future Project Mapping

Technology is used statewide to benefit a multitude of areas (fire risk, vegetation density, insurance, etc.). Sharing our efforts may impact local, regional, and state objectives.

Contra Costa County mapping may include projects such as:

- Evacuation Route Cleanups
- Fuel Breaks
- Vegetation Management

We are currently working with various partner agencies and wildfire groups to enhance data collection. Public release is scheduled for June 2026.



# Know Your Zone Campaign



CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

**BE PREPARED  
FOR WILDFIRE**



WILDFIRE  
COUNTY COORDINATOR  
OF CALIFORNIA FIRE SAFE COUNCIL AND CAL FIRE

KNOW YOUR **ZONE** | I'm **prepared.**  
protect.genasys.com



MY ZONE



# Resident Action Items



CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

## 3 STEPS TO A SAFER FIRE SEASON

### 1 Find your evacuation zone

Visit the Genasys website to learn your evacuation Zone.

KNOW YOUR ZONE



### 2 Subscribe to CWS

The Community Warning System (CWS) sends you emergency messages in Contra Costa County. CWS will let you know if your area needs to be evacuated.

If we can't reach you, we can't ALERT you.



### 3 Protect your home with defensible space

Identify vegetation hazards, and make a plan to address them.



For more information email us at: [info@cccfd.org](mailto:info@cccfd.org)

or visit our website: [www.cccfd.org](http://www.cccfd.org)

# Questions?

## County Coordinator Program Participants



Thank you!

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# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-2888

**Agenda Date:** 7/7/2026

**Agenda #:**

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Advisory Board: North Richmond Municipal Advisory Council  
Subject: AC Transit Budget & Service Update

Information: AC Transit Budget & Service Update



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Alameda-Contra Costa Transit District

## **AC Transit Budget & Service Update**

Receive a presentation from AC Transit on agency deficit projections and potential service and workforce reductions

### **Background**

The Alameda-Contra Costa Transit District (AC Transit) is the largest public bus-only transit system in California. For 65 years, AC Transit has connected East Bay residents to jobs, school, healthcare, and community life. However, rising costs have outpaced funding provided for AC Transit, and the District is now at a historic financial crossroads, facing a four-year, \$200 million deficit beginning in Fiscal Year 2027-28

The emergency relief funding that sustained service through the pandemic is now gone. At the same time, costs of operating transit are rising – from wages and benefits to fuel, parts, and bus production – while the rise in costs has outpaced revenues.

A recent State of California bridge loan provides temporary relief but does not solve the ongoing lack of funding. The passage of a proposed ballot measure in November could provide funding for AC Transit to continue full service. However, without that additional funding, our 65-year-old transit district faces unavoidable service cuts of up to 16% and potential lay-offs impacting as many as 300 employees.

### **Current Status**

This is an informational presentation. AC Transit representatives will provide an update on the agency's financial outlook, including projected deficits and possible service and workforce reductions, and will invite public input.