



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Planning Commission

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**Wednesday, June 11, 2025**

**6:30 PM**

**30 Muir Road, Martinez**

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**Zoom: <https://cccouny-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675**

**CHAIR: KEVIN VAN BUSKIRK**

**VICE-CHAIR: Bhupen Amin**

**COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari**

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us), or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

Roll Call and Introductions

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

- 2a. DAVE AND DEANNA TURCOTTE (Appellants) – BHAVANA SHAH, [25-2083](#)  
TALON DESIGN GROUP (Applicant) – EDWARD ALLEN (Owner), County  
File CDDP24-03056: This is an appeal of the Zoning Administrator's decision to  
approve a Development Plan to modify Final Development Plan CDDP74-03014  
to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck  
that will be attached to a new single-family residence on a vacant lot. The project  
site is located at 100 Discovery Bay Boulevard in the Discovery Bay area of  
unincorporated Contra Costa County. (Zoning: P-1 Planned-Unit District, -UE  
Urban Farm Animal Exclusion Combining District) (Assessor's Parcel Number:  
004-490-027) AS

**Attachments:** [Attachment A Findings and Conditions of Approval final](#)  
[Attachment B Letter of Appeal received on April 15, 2025](#)  
[Attachment C Maps](#)  
[Attachment D Site Photos](#)  
[Attachment E Project Plans](#)  
[Attachment F Staff Report for the April 7, 2025 Zoning Administrator](#)  
[Meeting](#)  
[Attachment G Agency Comments](#)  
[Attachment H Request for Public Hearing received on February 13,](#)  
[2025](#)  
[Attachment I Final Development Plan CDDP74-03014](#)  
[Attachment J PowerPoint Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE  
HELD ON WEDNESDAY, JUNE 25, 2025.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

**File #:** 25-2083

**Agenda Date:** 6/11/2025

**Agenda #:** 2a.

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**Project Title:** 100 Discovery Bay Boulevard Development Plan

**County File Number:** CDDP24-03056

**Appellants:** Dave and DeAnna Turcotte

**Applicant/Owner:** Bhavana Shah, Talon Design Group (Applicant) / Edward Allen (Owner)

**Zoning/General Plan:** P-1 Planned-Unit District, -UE Urban Farm Animal Exclusion Combining District / RLM Residential Low Medium Density

**Site Address/Location:** 100 Discovery Bay Boulevard in the Discovery Bay area of unincorporated Contra Costa County (Assessor's Parcel Number: 004-490-027)

**California Environmental Quality Act (CEQA) Status:** Categorical Exemption, CEQA Guidelines Section 15303(e)

**Project Planner:** Allison Seoane, Project Planner (925) 655-2871  
Allison.Seoane@dcd.cccounty.us

**Staff Recommendation:** Approve (See section II for full recommendation)

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### **I. PROJECT SUMMARY**

This is an appeal of the Zoning Administrator's decision to approve a Development Plan to modify Final Development Plan CDDP74-03014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck that will be attached to a new single-family residence on a vacant lot.

**II. RECOMMENDATION**

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Planning Commission:

- A. DENY the appeal.
- B. FIND that the project is categorically exempt from CEQA under Section 15303(e) of the CEQA Guidelines.
- C. UPHOLD the Zoning Administrator's approval of County File CDDP24-03056, based on the attached findings and subject to the attached conditions of approval.
- D. DIRECT staff to file a Notice of Exemption with the County Clerk.

**III. GENERAL INFORMATION**

- A. General Plan: RLM - Residential Low Medium Density.
- B. Zoning: P-1 Planned-Unit District, -UE Urban Farm Animal Exclusion Combining District.
- C. California Environmental Quality Act (CEQA): CEQA Guidelines, Section 15303(e), New Construction of Small Structures, which provides a Class 3 exemption for the construction of accessory structures like the subject deck.
- D. Previous Applications:
  - 1. CDRZ73-1786: A Rezone of land in the Discovery Bay area from A-2 General Agricultural District and R-100 Single-Family Residential District to P-1 Planned Unit District was approved by the Board of Supervisors on August 7, 1973. The approval included the approval of the Preliminary Development Plan for the Discovery Bay area.
  - 2. CDDP74-3014: A Final Development Plan for the RZ73-1786 P-1 area was approved by the County Planning Commission on June 3, 1975.
  - 3. CDS78-5353: A Major Subdivision of the P-1 area was approved by the Board of Supervisors on December 19, 1978. The subject property is Lot 27 of this subdivision, which was recorded as Tract 5353 on December 21, 1978.
  - 4. CDCV24-00040: A Compliance Review for the review and approval of new single-family residence on the subject property was approved by the CDD on April 23, 2025. Building Permit application BIR25-004601 is currently being reviewed by the Building Inspection



Division for the single-family residence.

#### **IV. BACKGROUND**

- A. Previous CDCV24-00040 Compliance Review Application: Compliance Review application CDCV24-00040 for a new single-family residence on the was first accepted by the CDD on August 14, 2024. The Compliance Review for the residence, without the deck, was approved on April 23, 2025.
- B. Zoning Administrator Decision on the CDDP24-03056 Development Plan: While processing the CDCV24-00040 application, CDD staff notified the applicant that a Development Plan was required for the proposed attached deck in the rear yard setback. Development Plan application CDDP24-03040 was accepted by the CDD on December 19, 2024.

A Notice of Intent to Render An Administrative Decision was sent to property owners within 300 feet of the subject parcel on February 7, 2025. CDD received a letter requesting a public hearing before the Zoning Administrator (ZA) on February 13, 2025 from Dave and DeAnna Turcotte, the neighboring property owners at 90 Discovery Bay Boulevard, located adjacent to and east of the subject property. In the letter, the neighboring property owners requested an opportunity to discuss the minimum 15-foot rear yard setback.

On April 7, 2025, the CDDP24-03056 Development Plan application was heard by the ZA. After considering the testimony provided at the public hearing from four persons, including the owner, the project architect, and the 90 Discovery Bay Boulevard property owners, and the email submitted by the neighboring property owners, the ZA approved the Development Plan.

- C. Appeal of the Zoning Administrator Decision: An appeal of the Zoning Administrator decision was filed on April 15, 2025, within the 10-day appeal period by Dave and DeAnna Turcotte, the 90 Discovery Bay Boulevard property owners.

#### **V. SITE/AREA DESCRIPTION**

The subject property is in a 7,200 square-foot vacant parcel on the north side of Discovery Bay Boulevard near its eastern cul-de-sac. The property and vicinity are in a residential area located inside of the urban limit line, bounded by Saint Mary's Bay to the north and surrounded by single-family residences on all other sides, as shown on the photos in Attachment D. The applicant submitted Compliance Review application CDCV24-00040 for a new single-family residence on the parcel. The CDCV24-00040 application was approved by the CDD on April 23, 2025. The proposed deck that requires Development Plan approval to allow a 0-foot rear yard would be located at the rear of the residence. The rear yard is moderate sloping, with a

topography that descends towards the water at the rear of the property.

## VI. PROJECT DESCRIPTION

The subject property is in the P-1 Planned Unit District regulated by Final Development Plan CDDP74-3014. Pursuant to Final Development Plan CDDP74-3014 Condition of Approval #6, a 15-foot rear yard is the minimum required. Accordingly, the applicant requests approval of a Development Plan to modify Final Development Plan CDDP74-3014 to allow a 0-foot rear yard for a rear deck that will be attached to the new 6,414 square-foot, 2-story single-family residence on the parcel. The proposed deck would be accessible from the main floor of the residence and is approximately 1,475 square feet in surface area with an approximate height of 2.5-feet from grade.

## VII. APPEAL

An appeal letter from Dave and DeAnna Turcotte, , the neighboring property owners at 90 Discovery Bay Boulevard, was received on April 15, 2025. The appeal letter is included as Attachment B. The appeal is based on two appeal points, each of which is summarized below and followed by a staff response.

- A. Summary of Appeal Point #1: *The single-family residence is located within the slope control area. This adversely affects views, privacy, reduced sunlight, and reduced property values.*

Staff Response: Development Plan CDDP24-03056 is to allow a 0-foot rear yard for a rear deck that will be attached to the new single-family residence. The single-family residence was reviewed under Compliance Review CDCV24-00040 for compliance with the applicable Conditions of Approval for Final Development Plan CDDP74-03014. CDCV24-00040 was approved by the CDD on April 23, 2025. The associated building permit application BIR25-004601 is currently being reviewed by the Building Inspection Division. This building received Reclamation District 800 approval, and complies with setback and height requirements of Final Development Plan CDDP74-03014. Which are the R-6 Single-Family Residential District development standards, including a 20-foot minimum front yard setback, 5-foot minimum side yard, 15-foot minimum aggregate side yard, 15-foot minimum rear yard, and 35-foot maximum height or 2.5 story maximum height. The approved residence is 31-feet, 9-inches tall, and meets all minimum yard and setback requirements.

The proposed location of attached deck in the rear setback is consistent with several neighboring properties, including the adjacent properties. Moreover, the deck is only 2.5-feet above grade, conforms to side yard setback requirements, and the only deviation from R-6 standards is in the direction of the water at the rear of the property, where there are no neighbors immediately located. Furthermore, the deck extends just to the rear property line,

unlike several neighboring properties that include decks that cantilever over the water past the property line. Based on the foregoing, the rear yard deck is not expected to have a significant effect on views, privacy, sunlight, or property values. As proposed, the deck is relatively low to the ground, outside of the required side yard setbacks, and compatible with the character of the neighborhood.

Finally, the slope control area is under the jurisdiction of Reclamation District #800, which is a separate entity from Contra Costa County. The concerns regarding the single-family residence within the slope control area should be discussed with the Reclamation District. Reclamation District #800 has separate review requirements that the project proponent is responsible to satisfy. Plans with the Reclamation District's approval stamps were provided showing that the project received District approval on November 7, 2024.

- B. Summary of Appeal Point #2: The 0-foot rear yard should not be allowed as Final Development Plan CDDP74-03014 requires a 15-foot minimum rear yard.

Staff Response: While the Final Development Plan CDDP74-03014 does not allow for a 0-foot rear yard for decks that are greater than 18-inches above grade, staff has been able to make the findings to support a modification to the rear yard development standard of CDDP74-03014 to allow a 0-foot rear yard. The new rear deck is consistent with the P-1 District as its design is consistent with other rear decks in the immediate neighborhood. The project is also compatible with other similar uses in the neighborhood, as there are at least five neighboring lots with attached rear-yard decks that abut their respective rear property lines on similarly sloped lots. Therefore, staff finds a 0-foot setback for a rear yard deck attached to a residence to be consistent with the intent and purpose of the Final Development Plan for this P-1 Planned Unit District, and is compatible with other uses in the vicinity, both inside and outside the district.

Staff has also been able to make the findings of consistency with the 2045 General Plan. In particular, the rear deck is consistent with Guiding Principle #1 of Chapter 3 of the Stronger Communities Element, in that the rear deck encapsulates Discovery Bay's waterfront character by providing access to water from the new residence, and opportunities for boating and other water recreation activities

## **VIII. STAFF ANALYSIS**

- A. General Plan Consistency: The subject property is located within the RLM Residential Low-Medium General Plan land use designation. The RLM designation allows for a residential density between 3.0 and 7.0 units per net acre and typically includes detached single-family homes on lots approximately 6,000 to 15,000 square-feet. The proposed deck will be ancillary to a proposed single-family residence that will be located on the 7,200 square-foot lot. The proposed development is consistent with the existing residential land use

designation. The project is also consistent with the guiding principles within Chapter 3 Stronger Communities Element of the 2045 General Plan, particularly Guiding Principle #1, in that a rear deck encapsulates Discovery Bay's waterfront character by providing access to water from the new residence, and opportunities for boating and other water recreation activities.

- B. Zoning Compliance: The subject property is located in the P-1 Planned-Unit District established by Rezone CDRZ73-1786. Development standards for this P-1 District were established by Final Development Plan CDDP74-3014, including Condition of Approval #6 that requires development to comply with the yard requirements of the R-6 Single-Family Residential District. The single-family residence will comply with all R-6 setbacks and building height requirements; however, the proposed deck is within the required 15-foot rear yard setback. The applicant requests modification of Final Development Plan CDDP74-3014 to allow the rear yard deck to have a 0-foot rear yard (where 15-feet is the minimum required). The new rear deck is consistent with the P-1 District as its design is consistent with existing rear decks in this neighborhood. The project is also considered compatible with other uses in the neighborhood, as there are at least five neighboring lots with attached, rear-yard decks that abut their respective rear property lines on similarly sloped lots. Therefore, a 0-foot setback for a rear yard deck attached to the residence consistent with the intent and purpose of the P-1 District, and is compatible with other uses in the vicinity, both inside and outside the district.
- C. Sacramento-San Joaquin Delta: The subject property is located within the Secondary Zone of the Delta, and therefore, not subject to the Delta Stewardship Council's (DSC) Delta Plan.

## IX. CONCLUSION

The proposed modification of Final Development Plan CDDP74-03014 to allow a 0-foot rear yard for a deck that will be attached to a new single-family residence on a vacant lot is consistent with the RLM Residential Low-Medium General Plan land use designation, the Discovery Bay Guiding Principles, and complies with the intent and purpose of the Discovery Bay P-1 District. Therefore, staff recommends denying the appeal, and upholding the Zoning Administrator's approval of Development Plan CDDP24-03056 to allow the 0-foot rear yard (where 15 feet is the minimum required) for the deck to be attached to the new single-family residence, based on the findings and subject to the conditions of approval, which are included as Attachment A.

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03056:**  
**BHAVANA SHAH, TALON DESIGN GROUP (APPLICANT), EDWARD ALLEN**  
**(OWNER)**

**FINDINGS**

A. Development Plan Findings:

In approving a Development Plan in the P-1 Planned Unit District, findings are required pursuant to County Code Section 84-66.1804(b) that the proposed project is consistent with the intent and purpose of the P-1 District and that it is compatible with other uses in the vicinity, both inside and outside the district.

*Project Findings:* The subject property is located within a Planned-Unit (P-1) District established by Rezone CDRZ73-1786. Development standards for this P-1 District were established by Final Development Plan CDDP74-3014. The project will modify CDDP74-3014 Condition of Approval #6 to allow a 0-foot rear yard setback (where 15-feet is the minimum required) for a new deck to be attached to a new single-family residence.

The new rear deck is consistent with the P-1 District as its design is consistent with other rear decks in the existing neighborhood. The project is also considered compatible with other uses in the neighborhood, as there are at least five neighboring lots with attached, rear-yard decks that abut their respective rear property lines on similarly sloped lots. Therefore, the Zoning Administrator finds a 0-foot setback for a rear yard deck attached to the residence consistent with the intent and purpose of the Final Development Plan for this P-1 Planned Unit District, and is compatible with other uses in the vicinity, both inside and outside the district.

B. California Environmental Quality Act (CEQA) Review Finding:

The project is exempt under CEQA Guidelines Section 15303(e), New Construction or Conversion of Small Structures, which provides a Class 3 exemption for new accessory structures like the subject deck. There is no substantial evidence that the project involves unusual circumstances, including future activities, resulting in, or which might reasonably result in, significant impacts which threaten the environment. None of the exceptions in CEQA guidelines section 15300.2 apply.

## **CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03056**

### Project Approval

1. Development Plan CDDP24-03056 to modify Final Development Plan CDDP74-3014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a new deck to be attached to a new single-family residence, is APPROVED.
2. The Development Plan approval described above is generally based on the application materials and project plans accepted by the Department of Conservation and Development, Community Development Division (CDD) on December 19, 2024.
3. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan.

### Application Costs

4. This application is subject to an initial application deposit of \$1,500.00, which was paid with the application submittal, plus time and material costs if the application review expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit effective date or prior to use of the permit, whichever occurs first. The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due from the date of approval, the application shall be charged interest at a rate of ten percent (10%). The applicant may obtain current costs by contacting the project planner. If you owe additional fees, a bill will be sent to you shortly after permit issuance.

### Building Permits

5. No construction is approved with this permit. Any construction at the subject parcel will require issuance of building permits from the Department of Conservation and Development, Building Inspection Division, prior to commencement of work.

### Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

6. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
7. The applicant shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
8. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
9. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also be visible to ensure compliance with applicable regulations.
10. Unless specifically approved otherwise via prior authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 8:00 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government as listed below:
  - New Year's Day (State and Federal)
  - Birthday of Martin Luther King, Jr. (State and Federal)
  - Washington's Birthday (Federal)
  - Lincoln's Birthday (State)
  - President's Day (State)
  - Cesar Chavez Day (State)
  - Memorial Day (State and Federal)
  - Juneteenth National Independence Holiday (Federal)
  - Independence Day (State and Federal)
  - Labor Day (State and Federal)
  - Columbus Day (Federal)
  - Veterans Day (State and Federal)

Thanksgiving Day (State and Federal)

Day after Thanksgiving (State)

Christmas Day (State and Federal)

For specific details on the actual date the State and Federal holidays occur, please visit the following websites:

Federal Holidays: [Federal Holidays \(opm.gov\)](https://www.opm.gov)

California Holidays: [State Holidays \(ca.gov\)](https://www.ca.gov)

11. Large trucks and heavy equipment are subject to the same restrictions that are imposed on construction activities, except that the hours are limited to 9:00 AM to 4:00 PM.

### **ADVISORY NOTES**

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. Seq, the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.



- B. The applicant shall submit building plans to the Building Inspection Division and comply with Division requirements. It is advisable to check with the Division prior to requesting a building permit or proceeding with the project.
- C. The applicant is responsible for contacting the Health Services Department Environmental Health Division regarding its requirements and permits.
- D. The applicant must comply with the requirements of the Contra Costa County Fire Protection District. The applicant is required to submit plans to the Fire Protection District for approval.
- E. The applicant must comply with the requirements of the Town of Discovery Bay Community Services District (DBCSD). The applicant is required to submit plans to the DBCSD for approval.
- F. The applicant is responsible for contacting Reclamation District 800 regarding its requirements and permits.

CONTRA COSTA COUNTY

DEPARTMENT OF CONSERVATION DEVELOPMENT

30 MUIR ROAD

MARTINEZ, CA 94553

CONTRA COSTA COUNTY

APR 15 2025 AM 10:02

APPROVAL & PERMIT  
CENTER

DAVE & DEANNA TURCOTTE

90 DISCOVERY BAY BLVD

DISCOVERY BAY, CA 94505

daveturcott@sbcglobal.net

CC -BRIAN D SEIBEL & FINTA.LLP

1401 WILLOW PASS ROAD SUIT 1010

CONCORD, CA 94520-7921

APRIL 15<sup>th</sup> 2025

COUNTY FILE# CDDP24-03056

SUBJECT 100 DISCOVERY BAY BLVD PRICIPAL STRUCTURE ENPROCHING INTO TH SCA.

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THIS LETTER IS A FORMAL APPEAL NOT TO ALLOW 0 REAR SET BACKS AS PER THE LAST MEETING DATE APRIL 7, 2025,

We have agreed that the structure in question and rear deck is to stay in its 5 and 10 side setbacks but are not in agreement as to the two-story home intruding into the SLOPE CONTROL. This should never of been passed, We are not in agreement as to a 0 rear set back.

We would like to see a full set of plans as requested to scale. The ones stamped by Rec 800 allowing the 0 rear setbacks as well as the ones submitted to the ccc building to insure all heights and set backs are being looked at.

There are many reasons as to why not to allow 0 rear setbacks (one being that it is CCC own rules as well as REC 800 that are all residences are required to follow .There is going to be a 30 foot wall in the slope control, the fact is it ruins our view, privacy and sun and brings down our property value. It also puts the slope control in risk of failing. REC 800 now dose not even allow hard scape decking to be done but it will allow a permanent two-story structure.

We have given 4 reasons as to why it should not be allowed and yet have no other valid reason from the owners at 100 Discovery Bay Blvd as to why it should be other than they want to.

SECTION 2.01 SLOPE CONTROL AREA (SCA) NO PART OF THE PRICIPAL STRUCTURE SHALL ENCROCH INTO THE (SCA) A PRINCIPAL STRUCTURE MAY ENCROCH SUCH ON A CASE-BY-CASE BASIS APPLYING (REASONABLE) AND (NECESSARY) ENGINEERING PRINCIPAL TO PROTEC DISTRICT INTREST

THIS SHOULD ALSO AFFECT THE ADJOINING PARTIALS STUCURES WITCH DOES AFFECT THE (SCA)  
IF THERE IS A FAILURE IN DESIGN AND ENGINEERING

SUBJECT (A) CONCERN THIS IS A LARGE 30 + FEET TALL STUCOO STRUCTURE WITH A ROOF  
LOAD ON IT INTO THE (SCA) THIS MAY AFFECT THE SWIMMING POOL AT 90 DISCOVERY BAY BLVD WHICH  
MAY ALSO AFFECT THE (SCA) AND AFFECT THE DECK AT 90 DISCOVERY BAY BLVD

SUBJECT (B) WHEN SOILS REPORT WAS DONE THEIR WAS NO TESTING DONE INTO THE FAR-  
RIGHT BACK OF CORNER OF THE (SCA)

SUBJECT (C) AFFECTING THE VAKUE OF 90 DISCOVERY BAY BLVD.

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ADDING A LARGE 30 FEET + SRUCTURE INTO THE (SCA) BLOCKING A LARGE VEIW OF THE DELTA.

BLOCKING THE SUN FROM BEING ON DECK AND POOL

CONCLUTION BEST FOR THIS MATTER DO NOT LET STRUCTURE INTO (SCA)  
THIS IS AFFECTING THE (SCA) TO MUCH ALONG WITH THE ADJOINING PROPERTY

THANK YOU, DAVE AND DEANNA TURCOTTE

TO -REC DISTRICT 800 1540 DISCOVERY BAY BLVD  
SUITE A DISCOVERY BAY CA 94505  
P.O BOX 262 BYRON CA 94514

DAVE & DEANNA TURCOTTE  
90 DISCOVERY BAY BLVD  
DISCOVERY BAY, CA 94505

CC -BRIAN D SEIBEL & FINTA.LLP  
1401 WILLOW PASS ROAD SUITE 1010  
CONCORD, CA 94520-7921  
April 13, 2025

SUBJECT 100 DISCOVERY BAY BLVD PRINCIPAL STRUCTURE ENCROACH INTO THE SCA.

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THIS LETTER IS TO INFORM YOU THAT WE WILL BE APPEALING THE DECISION BY THE COUNTY FOR NO REAR SET BACKS THAT YOU PUT INTO MOTION BY APPROVING THE STRUCTURE GOING INTO THE SLOPE CONTROL.

BY APPROVING THE STRUCTURE OF 100 D.B.B GOING INTO THE (SCA) IT IS CHANGING THE MAP THAT WAS APPROVED BY C.C.C BUILDING DEPT THAT EVERYONE HAD TO ABIDE BY WHEN THEY BUILT THEIR HOMES.

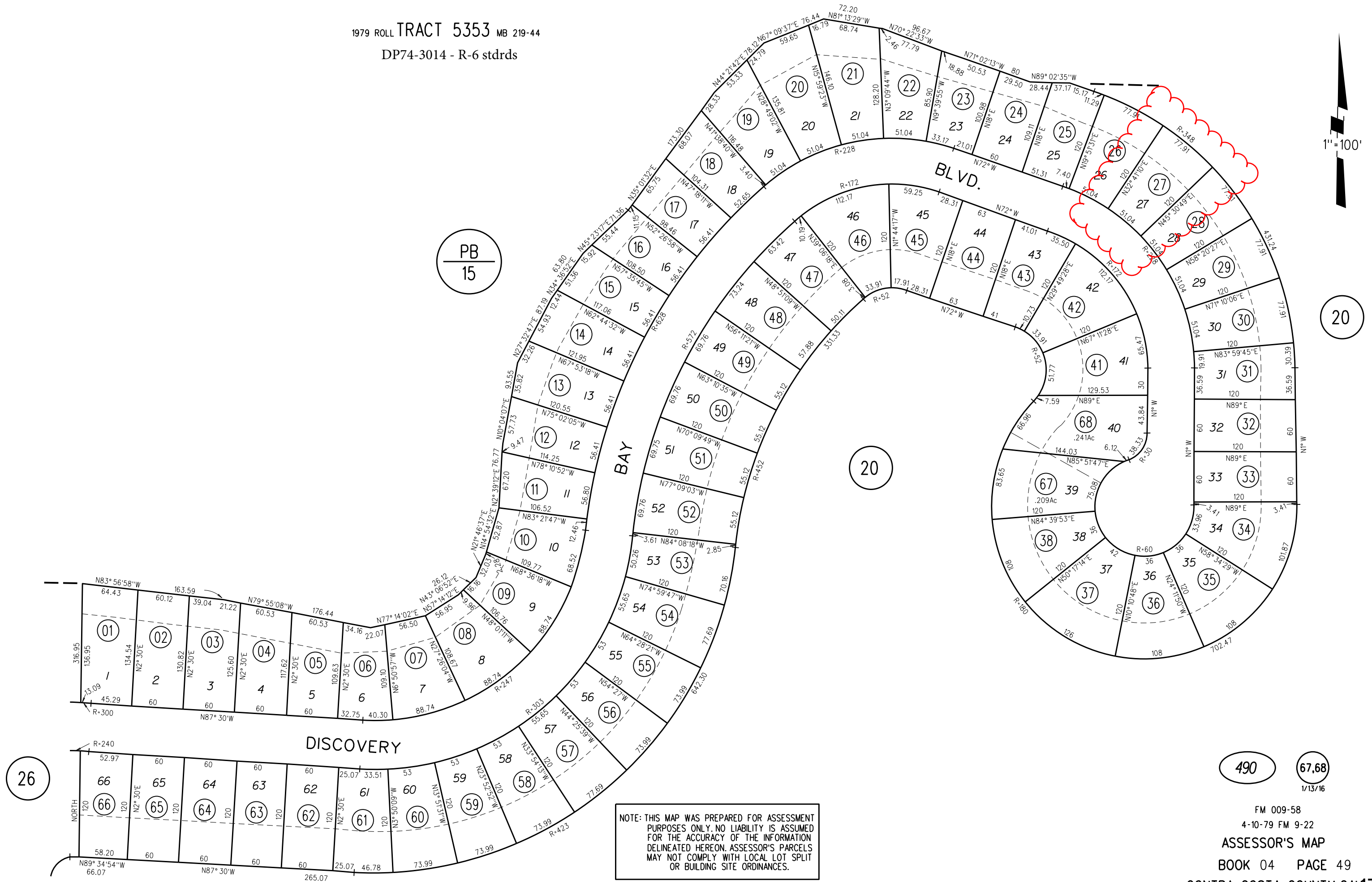
WE DO NOT AGREE WITH THIS DECISION AND ARE ASKING WHY IT WAS APPROVED. THERE ARE MANY REASONS WHY NOT TO ALLOW IT AND ONLY ONE THAT WE ARE AWARE OF IS THAT THEY WANT IT. WE ARE NOW NOT ALLOWED TO PUT ANY HARD SCAPING DECKING ON OR REAR DECKS IN THE SLOPE CONTROL BUT YOU APPROVED A TWO STORY HOME IN THE SLOPE CONTROL WITH REAR SET BACKS.

WE WERE TOLD NO DECISION WAS GOING TO BE MADE THAT DAY AND UPON CALLING FOR THE NEXT MEETING AGENDA I WAS INFORMED THAT THEY WERE ALREADY STAMPED AND APPROVED.; I WAS GIVEN NO OPPORTUNITY TO APPEAL.

SO AS OF NOW I AM REQUESTING FOR A THIRD TIME FOR THE MEETING MINUTES TO BE PROVIDED TO ME. I ALSO AM REQUESTING AS TO WHEN PLANS WERE STAMPED.

DAVE TURCOTTE

1979 ROLL TRACT 5353 MB 219-44  
DP74-3014 - R-6 stdrds





General Plan: Residential Low-Medium Density (RLM)



Map Legend

Assessment  
Parcels

General Plan

RLM  
(Residential  
Low-Medium  
Density) (3-7  
du/na)

PS (Public and  
Semi-Public)

RC (Resource  
Conservation)

AL (Agricultural  
Lands) (1 du/10  
ac) (1 du/20 ac  
in DPZ)

WA (Water)



Zoning: Planned-Unit District (P-1) and Urban Farm Animal Exclusion Combining District (-UE)



**Map Legend**

Assessment  
Parcels

Zoning  
ZONE\_OVER

- A-3 (Heavy Agriculture)
- A-4 (Agricultural Preserve)
- P-1 (Planned Unit)
- P-1 -UE (Urban Farm Animal Exclusion)





**Map Legend**

Assessment  
Parcels









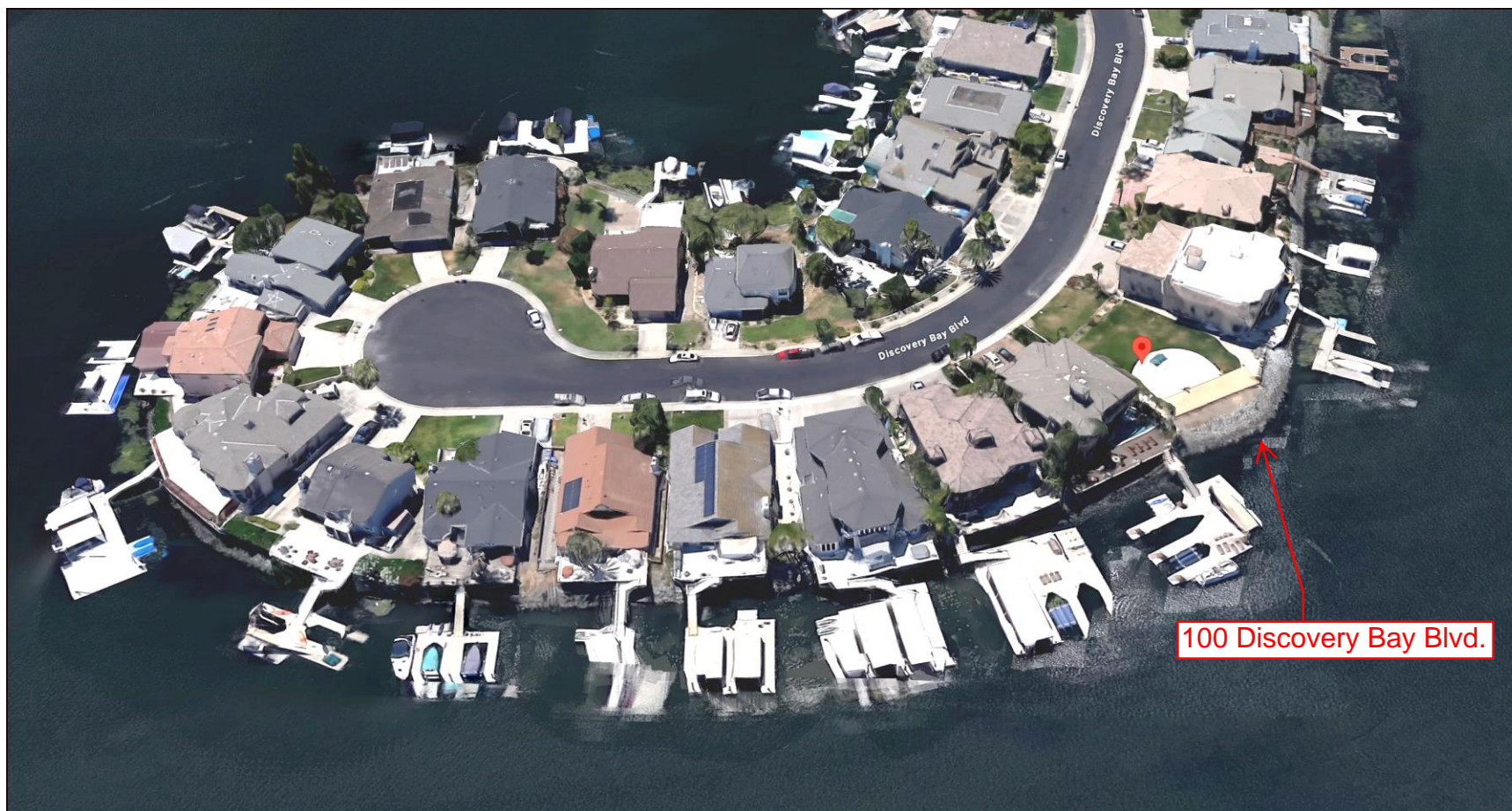
View north of 100 Discovery Bay Boulevard neighborhood.  
Source: Google Maps accessed 03/17/2025.





View south of 100 Discovery Bay Boulevard and vicinity.  
Source: Google Maps accessed 03/17/2025.





View west of 100 Discovery Bay Boulevard and vicinity.  
Source: Google Maps accessed 03/17/2025.

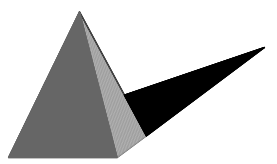


Street view northeast of 100 Discovery Bay Boulevard.  
Source: Google Maps accessed 03/17/2025.









- A. THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURES.
- B. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. REFER TO PLANS BY CIVIL ENGINEER.
- C. REFER TO SOILS REPORT BY SOILS ENGINEER FOR ANY SPECIAL CONCERNS.
- D. ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH CITY AND/OR COUNTY GRADING ORDINANCES.
- E. NOT USED
- F. ALL DOWNSPOUTS TO DISCHARGE AS INDICATED ON CIVIL DRAWINGS; CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.
- G. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN.
- H. SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO EXECUTE THE WORK.
- I. SURFACE DRAINAGE SHALL SLOPE 5% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 10 FEET AND AT LEAST 1% TO SUITABLE COLLECTION POINTS PER CIVIL DRAWINGS.
- J. PROPERLY DISPOSE OF ALL REMOVED MATERIALS WHICH WILL NOT BE REUSED IN THE NEW CONSTRUCTION.
- K. UNUSUAL CONDITIONS NOT COVERED BY CONTRACT. IF ENCOUNTERED; SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF DESIGNER AND OWNER.

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REVISIONS:	
A	RECLAMATION DIST. 10-31-24
B	DEVELOPMENT PERMIT 12-19-24

# PLATES

**SHEET CONTENTS:**

JOB NO. :	23-22
DATE :	07-22-24
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT: NEW PRIVATE RESIDENCE FOR :  
ED ALLEN  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA

DESIGNER SIGNATURE:

SHEET NO.:

A3

SITE PLAN

---

SCALE 1" = 10'-0"



GENERAL ELEVATION NOTES

- A. SEE ALSO GENERAL NOTES SHEET A2.  
B. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER.  
C. ALIGN THE WINDOW HEADS WITH THE TOP OF DOORS TYPICAL. ± 8'-0" NOMINAL UNDO, ON ALL BUILDING LEVELS. VERIFY ACTUAL FRAMING HEIGHTS WITH SELECTED DOOR MANUFACTURERS ROUGH OPENING SPECIFICATIONS.  
D. ALL DOWNSPOUTS TO DISCHARGE AS INDICATED ON CIVIL DRAWINGS. CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.  
E. WHERE STUCCO FINISH OCCURS, PROVIDE EXPANSION AND CONTROL JOINTS AT EXTERIOR PLASTER WALLS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. CONTRACTOR TO VERIFY ALL LOCATIONS.  
F. ADDRESS NUMBERS - MUST BE CLEARLY VISIBLE FROM THE STREET. MINIMUM 4" HIGH, HAVE A MINIMUM STROKE OF 1/2", AND SHALL CONTRAST WITH THEIR BACKGROUND PER CGC R314.  
G. CHIMNEYS - EXTEND ALL FIREPLACE FLUE PIPES 2'-0" MINIMUM ABOVE ALL PORTIONS OF BUILDING WITHIN A 10'-0" RADIUS.

ELEVATION KEYNOTES

- 1 CONCRETE TILE ROOF  
2 ADDRESS NUMBERS - SEE GENERAL ELEVATION NOTES  
3 EXTERIOR PLASTER (STUCCO) W/ SMOOTH TROWEL ACRYLIC PAINT FINISH - SEE GENERAL ELEVATION NOTES  
4 WOOD TRIM PER DETAILS  
5 PRE-FINISHED FOAM TRIM PER DETAILS  
6 WOOD ENTRY DOOR PER OWNER'S SELECTION  
7 WOOD SECTIONAL ROLL-UP GARAGE DOOR  
8 DUAL GLAZED COMPOSITE WINDOW PER DETAILS  
9 DUAL GLAZED COMPOSITE SLIDING PATIO DOORS - TEMPERED - SEE DETAILS  
10 SOLID WOOD DOOR W/ TEMP VISION PANEL PAINTED  
11 G.S.M. GUTTER WITH BRACKETS @ 48" O.C. MAX. - SEE GENERAL ELEVATION NOTES  
12 WOOD OUTLOOKER - SEE DETAILS  
13 WOOD FRIEZE - SEE DETAILS  
14 A/C COMPRESSOR LOCATION  
15 ELECTRIC METER LOCATION  
16 GAS METER LOCATION  
17 8" X 14" SCREENED VENT WITH 60 SQ. IN. FREE AREA PER CAR.  
18 FINISH GRADE - SEE CIVIL DRAWINGS  
19 CABLE-RAIL GUARD RAIL - SEE DETAILS  
20 GAS FIREPLACE VENT  
21 WATER SERVICE LOCATION  
22 WOOD TRELLIS

GENERAL ELEVATION NOTES

- A. SEE ALSO GENERAL NOTES SHEET A2.  
B. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, FINISHES AND COLORS WITH OWNER.  
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D. ALL DOWNSPOUTS TO DISCHARGE AS INDICATED ON CIVIL DRAWINGS. CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.  
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G. CHIMNEYS - EXTEND ALL FIREPLACE FLUE PIPES 2'-0" MINIMUM ABOVE ALL PORTIONS OF BUILDING WITHIN A 10'-0" RADIUS.

ELEVATION KEYNOTES

- 1 CONCRETE TILE ROOF  
2 ADDRESS NUMBERS - SEE GENERAL ELEVATION NOTES  
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19 CABLE-RAIL GUARD RAIL - SEE DETAILS  
20 GAS FIREPLACE VENT  
21 WATER SERVICE LOCATION  
22 WOOD TRELLIS



FRONT (WEST) ELEVATION

SCALE 1/4" = 1'-0"



REAR (EAST) ELEVATION

SCALE 1/4" = 1'-0"

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REVISIONS:	RECLAMATION DIST.	10-31-24
A	DEVELOPMENT PERMIT	12-19-24
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SHEET CONTENTS:

EXTERIOR  
ELEVATIONS

JOB NO. :	25-22
DATE :	07-22-24
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT:  
NEW PRIVATE RESIDENCE FOR:  
**ED ALLEN**  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA  
DESIGNER SIGNATURE:

SHEET NO.:

A4



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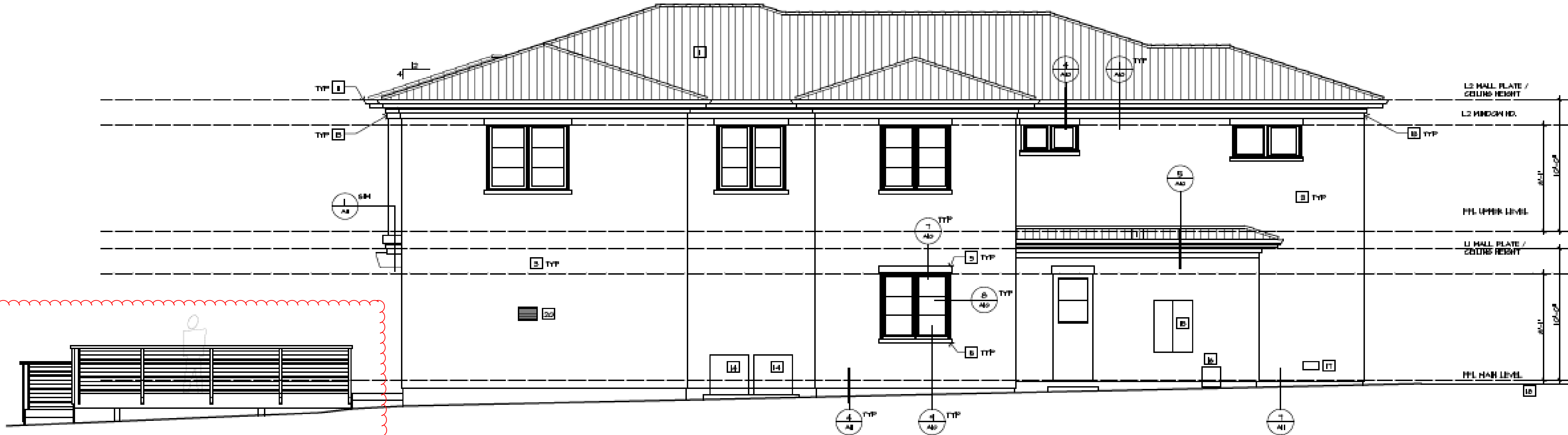
SHEET CONTENTS:  
**EXTERIOR  
ELEVATIONS**

JOB NO. : 25-22  
DATE : 07-22-24  
ISSUE : PERMIT SUBMISSION  
DRAWN : MP  
CHECKED : AP

PROJECT:  
NEW PRIVATE RESIDENCE FOR:  
**ED ALLEN**  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA  
DESIGNER SIGNATURE:

SHEET NO.:

**A5**



LEFT (NORTH) ELEVATION

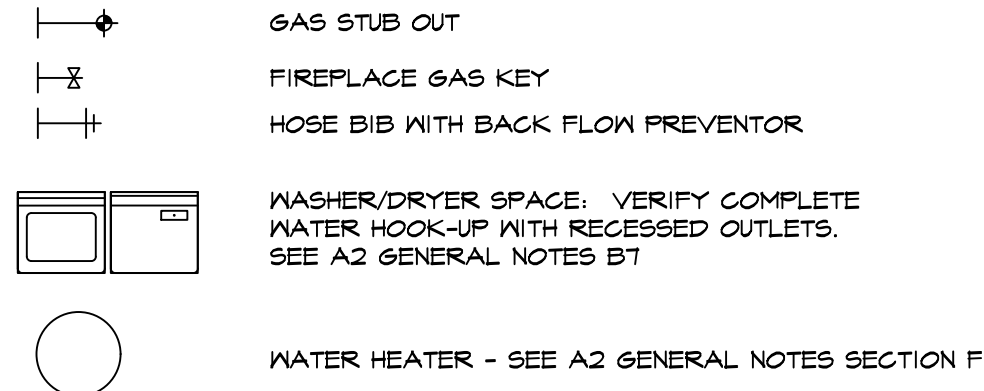
SCALE 1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION

SCALE 1/4" = 1'-0"

## SYMBOLS LEGEND



## FLOOR PLAN NOTES

- A. SEE "GENERAL NOTES" SHEET A2 FOR ADDITIONAL INFORMATION.  
B. ALL FLOOR FINISHES ARE PER OWNER SELECTION.  
C. U.N.O DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF PLYWOOD/FACE OF FOUNDATION; AT INTERIOR PARTITIONS, DIMENSIONS ARE TO FACE OF STUD.  
D. U.N.O MALL NIBS ADJACENT TO HINGE SIDE OF DOORS ARE 6".

## FLOOR PLAN KEYNOTES

- 1 BASE CABINETS.  
2 UPPER CABINETS.  
3 ISLAND COUNTERTOP W/CABINETS BELOW.  
4 KNEESPACE BELOW COUNTER TOP.  
5 ISLAND SINK W/DISPOSAL.  
6 ENERGY STAR UNDERCOUNTER REFRIGERATOR.  
7 ENERGY STAR DISHWASHER AS SELECTED BY OWNER.  
8 ENERGY STAR 48" BUILT IN REFRIG/FREEZER AS SELECTED BY OWNER.  
9 UTILITY SINK.  
10 RANGE WITH HOOD OVER. VENT THRU WALL TO EXTERIOR.  
11 WALL OVENS W/ MICROWAVE AS SELECTED BY OWNER.  
12 NOT USED.  
13 BAR SINK.  
14 TEMPERED CLEAR GLASS SHOWER ENCLOSURE.  
15 TILE TUB ENCLOSURE - EXTEND TILE MIN. T2" ABOVE DRAIN INLET.  
16 TILE SHOWER WITH SEAT - EXTEND TILE MIN. T2" ABOVE DRAIN INLET.  
17 TILED SHAMPOO NICHE.  
18 VANITY - CONSULT W/ OWNER FOR STYLE AND FINISHES.  
19 BUILT-IN MAKEUP COUNTER - CONSULT OWNER.  
20 PROVIDE G.I. SCREENED MONOXIDE VENTS AT GARAGE EXTERIOR WALLS. PROVIDE MINIMUM 60 SQ. IN. PER CAR.  
21 20 MINUTE RATED SOLID CORE DOOR GASKETED AND WITH SELF CLOSURE.  
22 5/8" TYPE 'X' GYP. BD. ON ALL GARAGE CEILINGS, WALLS, BEAMS AND COLUMNS - SEE DETAIL 4/A12 FOR RATED ASSEMBLIES.  
23 ELECTRICAL METER LOCATION.  
24 GAS METER LOCATION.  
25 HEAT PUMP CONDENSER UNIT LOCATION.  
26 HEAT PUMP WATER TANK LOCATION.  
27 MECHANICAL CHASE.  
28 ATTIC HEAT PUMP UNITS ON VIBRATION ISOLATOR PADS ON PLYWOOD PLATFORM. PROVIDE NECESSARY ELECTRICAL AS REQUIRED BY MANUFACTURERS SPECS. SEE ALSO GENERAL NOTE B5 SHEET A2.  
29 30" X 30" ATTIC ACCESS W/ GASKETED DOOR.  
30 STAIR - SEE DETAIL 3/A9 FOR APPLICABLE REQUIREMENTS.  
31 BUILT IN CABINET W/FULL FACE FRAME AND SHELVES.  
32 BUILT-IN SHELVING - CONSULT OWNER.  
33 SHELF AND ROD.  
34 BUILT INS - CONSULT OWNER.  
35 BUILT-IN LINEN CABINET - CONSULT OWNER.  
36 BUILT-IN BENCH SEAT WITH COAT HOOKS ABOVE.  
37 BUILT-IN STORAGE CUBBIES - CONSULT OWNER.  
38 SAUNA WITH TEMPERED GLASS ENCLOSURE PER SAUNA KIT MANUFACTURER - CONFIRM WITH OWNER.  
39 FLOOR MATERIAL TRANSITION.  
40 PROVIDE 5/8" TYPE 'X' GYP. BD. ON ALL WALLS AND CEILINGS BENEATH STAIRS.  
41 LINE OF FLOOR ABOVE SHOWN DASHED.  
42 PRE-FAB SEALED UNIT DIRECT VENT GAS APPLIANCE FIREPLACE PER OWNER'S SELECTION.  
43 WATER SERVICE LOCATION.

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REVISIONS:  
A RECLAMATION DIST. 10-31-24  
B DEVELOPMENT PERMIT 12-19-24

SHEET CONTENTS:

MAIN LEVEL  
FLOOR PLAN

JOB NO. : 25-22  
DATE : 07-22-24  
ISSUE : PERMIT SUBMISSION  
DRAWN : MP  
CHECKED : AP

PROJECT:  
NEW PRIVATE RESIDENCE FOR:  
ED ALLEN  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA  
DESIGNER SIGNATURE:

SHEET NO.:

A6

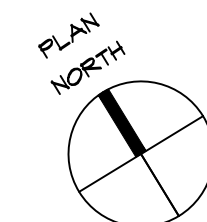
## WALL LEGEND

NEW 2X6 WOOD FRAMED WALL CONSTRUCTION @ 16" O.C. SEE  
STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.

## MAIN LEVEL PLAN

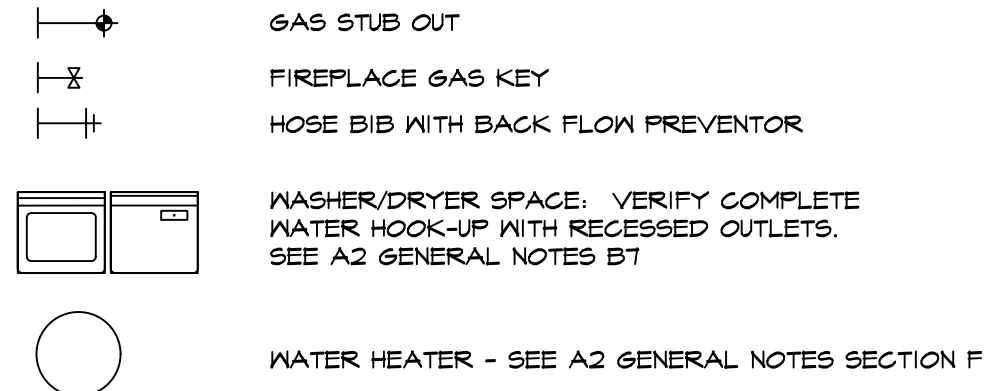
SCALE 1/4" = 1'-0"

LIVING AREA = 1452  
COVERED PORCHES = 100  
GARAGE = 116  
STORAGE/UTILITY = 180





## SYMBOLS LEGEND



## FLOOR PLAN NOTES

- SEE "GENERAL NOTES" SHEET A2 FOR ADDITIONAL INFORMATION.
- ALL FLOOR FINISHES ARE PER OWNER SELECTION.
- U.O. DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF PLYWOOD/FACE OF FOUNDATION; AT INTERIOR PARTITIONS, DIMENSIONS ARE TO FACE OF STUD.
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## FLOOR PLAN KEYNOTES

- BASE CABINETS.
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- KNEESPACE BELOW COUNTER TOP.
- ISLAND SINK W/DISPOSAL.
- ENERGY STAR UNDERCOUNTER REFRIGERATOR.
- ENERGY STAR DISHWASHER AS SELECTED BY OWNER.
- ENERGY STAR 48" BUILT IN REFRIG/FREEZER AS SELECTED BY OWNER.
- UTILITY SINK.
- RANGE WITH HOOD OVER. VENT THRU WALL TO EXTERIOR.
- MALL OVENS W/ MICROWAVE AS SELECTED BY OWNER.
- NOT USED.
- BAR SINK.
- TEMPERED CLEAR GLASS SHOWER ENCLOSURE.
- TILE TUB ENCLOSURE - EXTEND TILE MIN. 12" ABOVE DRAIN INLET.
- TILE SHOWER WITH SEAT - EXTEND TILE MIN. 12" ABOVE DRAIN INLET.
- TILED SHAMPOO NICHE.
- VANITY - CONSULT W/ OWNER FOR STYLE AND FINISHES.
- BUILT-IN MAKEUP COUNTER - CONSULT OWNER.
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- GAS METER LOCATION.
- HEAT PUMP CONDENSER UNIT LOCATION.
- HEAT PUMP WATER TANK LOCATION.
- MECHANICAL CHASE.
- ATTIC HEAT PUMP UNITS ON VIBRATION ISOLATOR PADS ON PLYWOOD PLATFORM. PROVIDE NECESSARY ELECTRICAL AS REQUIRED BY MANUFACTURERS SPECS. SEE ALSO GENERAL NOTE B5 SHEET A2.
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- STAIR - SEE DETAIL 3/A9 FOR APPLICABLE REQUIREMENTS.
- BUILT IN CABINET W/FULL FACE FRAME AND SHELVES.
- BUILT-IN SHELVING - CONSULT OWNER.
- SHELF AND ROD.
- BUILT INS - CONSULT OWNER.
- BUILT-IN LINEN CABINET - CONSULT OWNER.
- BUILT-IN BENCH SEAT WITH COAT HOOKS ABOVE.
- BUILT-IN STORAGE CUBBIES - CONSULT OWNER.
- SAUNA WITH TEMPERED GLASS ENCLOSURE PER SAUNA KIT MANUFACTURER - CONFIRM WITH OWNER.
- FLOOR MATERIAL TRANSITION.
- PROVIDE 5/8" TYPE 'X' GYP. BD. ON ALL WALLS AND CEILINGS BENEATH STAIRS.
- LINE OF FLOOR ABOVE SHOWN DASHED.
- PRE-FAB SEALED UNIT DIRECT VENT GAS APPLIANCE FIREPLACE PER OWNER'S SELECTION.
- WATER SERVICE LOCATION.

COUNTY STAMP:

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REVISIONS:  
A RECLAMATION DIST. 10-31-24  
B DEVELOPMENT PERMIT 12-19-24

SHEET CONTENTS:

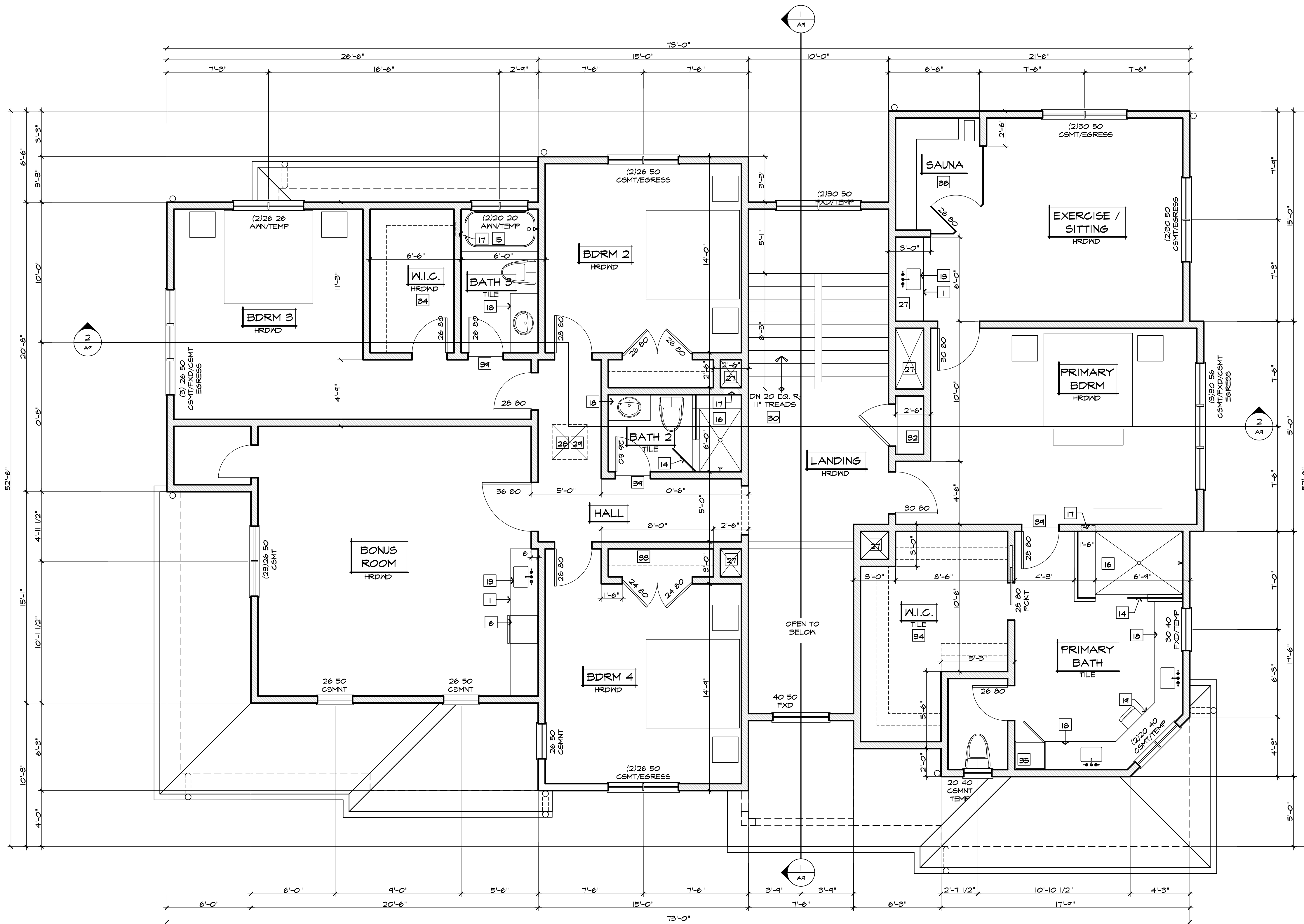
UPPER LEVEL  
FLOOR PLAN

JOB NO. : 25-22  
DATE : 07-22-24  
ISSUE : PERMIT SUBMISSION  
DRAWN : MP  
CHECKED : AP

PROJECT:  
NEW PRIVATE RESIDENCE FOR:  
ED ALLEN  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA  
DESIGNER SIGNATURE:

SHEET NO.:

A7



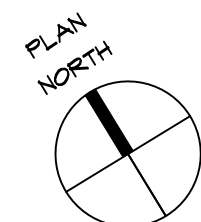
## WALL LEGEND

NEW 2X6 WOOD FRAMED WALL CONSTRUCTION @ 16" O.C. SEE  
STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.

## UPPER LEVEL PLAN

SCALE 1/4" = 1'-0"

LIVING AREA = 2105







REVISIONS:		
A	RECLAMATION DIST.	10-31-24
B	DEVELOPMENT PERMIT	12-19-24
C		
D		
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G		

ROOF PLAN

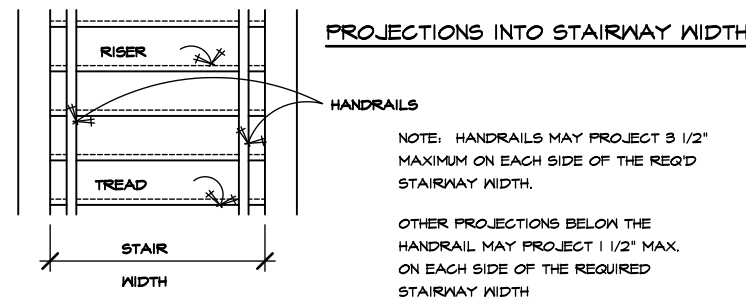
PROJECT:  
NEW PRIVATE RESIDENCE FOR :  
**ED ALLEN**  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA

DESIGNER SIGNATURE:

VENTED ATTIC SPACE CALCULATIONS - ZONE 3			
VENTILATION REQUIRED			
AREA TO BE VENTED	VENTILATION RATE		REQUIRED VENT AREA
2130 SQ.FT. (421220 SQ.IN.)	1/200 LOWER ROOF	1406 SQ.IN. LOWER	
	1/200 UPPER ROOF	1406 SQ.IN. UPPER	
VENTILATION PROVIDED LOWER			
VENT TYPE	LENGTH	AREA/LIN. FT.	TOTAL
'COR-A-VENT' MODEL S-400 1" X 1/2" CONT. STRIP	250 LIN.FT.	10 SQ.IN.	2500 SQ.IN.
NOTE: LOWER VENTILATION CALCULATIONS ARE BASED ON 'COR-A-VENT' MODEL S-400. CONTRACTOR MAY SUBSTITUTE FOR ANOTHER MANUFACTURER MEETING SAME OR GREATER NET FREE AREA			
VENTILATION PROVIDED UPPER			
VENT TYPE	AREA/VENT	QUANTITY	TOTAL
COBRA RIDGE VENT	40 LIN.FT.	16.9 SQ.IN.	676 SQ.IN.
CHASIN LOW PROFILE FLAT	48.75 SQ. IN.	8	790 SQ.IN.
		TOTAL	1466 SQ.IN.
NOTE: UPPER VENTILATION CALCULATIONS ARE BASED ON COBRA RIDGE VENTS GIVING A NET FREE AREA OF 1466 SQ. IN. AND CHASIN LOW PROFILE FLAT VENT FOR CONCRETE TILE CONTRACTOR MAY SUBSTITUTE FOR ANOTHER MANUFACTURER MEETING SAME OR GREATER NET FREE AREAS.			







**GENERAL NOTES**  
CONSTRUCTION REQUIREMENTS AND MATERIALS SHALL CONFORM TO 2014 CALIFORNIA BUILDING CODE (CBC) AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC).

- STAIRWAYS SHALL SATISFY THE FOLLOWING:
1. PRIVATE STAIRS WITH OCCUPANCY LOAD LESS THAN 10, MIN. RISE 4" MAX RISE 7 1/8", MIN. TREAD 10", MIN. HEADROOM 6'-8" MIN. WIDTH 36". ALL OTHERS 44" MIN. AND 7" MAX RISE MIN. TREAD 11".
  2. EXTERIOR STAIRWAYS ON TYPE V BUILDINGS MAY BE CONSTRUCTED OF POOD NOT LESS THAN 2" NOMINAL THICKNESS.
  3. STAIRWAYS SHALL BE 42" MINIMUM WIDTH FOR OCCUPANT LOADS LESS THAN 50.
  4. WHEN A STAIRWAY INTERCEPTS SLOPING WALLS OR DRIVEWAYS, THE TOP OR BOTTOM RISER MAY NOT VARY MORE THAN 3/8" OF STAIRWAY WIDTH.
  5. A DOOR IN AN R-8 OR H-1 OCCUPANCY MAY OPEN IN AT A LANDING IF THE LANDING IS NO MORE THAN 8' BELOW THE FLOOR LEVEL. SCREEN AND STORM DOORS MAY OPEN OVER STAIRS, STEPS OR LANDINGS. A DOOR MAY OPEN AT THE TOP STEP OF AN INTERIOR FLIGHT OF STAIRS PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP.
  6. LANDINGS AT DOORS SHALL BE THE WIDTH OF THE STAIR OR DOOR WHICHEVER IS GREATER. LANDINGS AT DOORS IN R-8 AND H-1 OCCUPANCIES MAY BE 36" IN THE DIRECTION OF TRAVEL, ALL OTHERS MUST BE 44" MINIMUM. SEE 1004.0.
  7. STAIRWAY LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF TRAVEL EQUAL TO THE STAIRWAY WIDTH. SUCH DIMENSIONS NEED NOT EXCEED 44" WHEN THE STAIRWAY AND A STRAIGHT RUN.
  8. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS AND SHALVE SURFACES EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE WATERPROOF. DECK FRAISING TO SLOPE 1/4" PER FOOT TO DRAIN.
  9. THREE STORY DWELLINGS REQUIRE TWO FLOORS. (SEE EXCEPTIONS).
  10. EXCEPT IN R-8 OCCUPANCIES, ALL EXTERIOR OPENINGS WITH 10' OF EXTERIOR STAIRWAYS IN BUILDINGS OVER TWO STORES OR A FLOOR LEVEL, HAVING OPENINGS IN TWO OR MORE FLOORS SHALL BE 5/4" HOUR FIRE RATING. (SEE EXCEPTIONS).

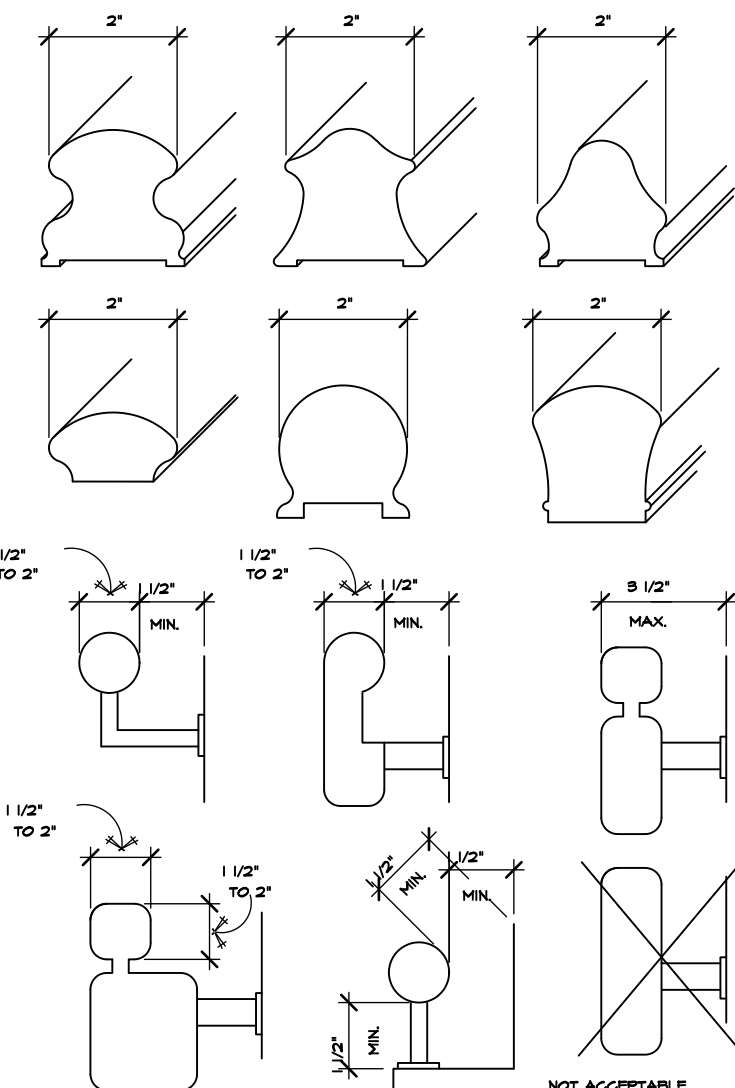
- HANDRAILS SHALL SATISFY THE FOLLOWING:
1. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAY WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES.
  2. HANDRAIL HEIGHT SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS.
  3. HANDRAIL WITH CIRCULAR CROSS SECTIONS SHALL HAVE A DIAMETER OF 1 1/2" TO 2".
  4. HANDRAIL WITH OTHER THAN CIRCULAR CROSS SECTIONS SHALL HAVE A PERIMETER DIMENSION OF 4-6.25 INCHES WITH A MAXIMUM CROSS SECTION OF 2.375".
  5. HANDRAILS WITH A PERIMETER GREATER THAN 6.25 INCHES.
  6. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NISHEL, POST OR OTHER OBSTRUCTION, EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT OR LORIST TREAD.
  7. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 18".
  8. GROUP R-8 AND H-1 STAIRWAYS HAVING MORE THAN THREE RISERS REQUIRE HANDRAILS. THE INTERMEDIATE RAILINGS MUST BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH ANY PORTION. THE HEIGHT OF THE RAIL MUST BE BETWEEN 34" AND 38" AND TO THE NOSING OF THE TREAD. THE DOOR MUST BE RETAINED. THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF HANDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

- GUARDRAILS SHALL MEET THE FOLLOWING:
1. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITH 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.
  2. GUARD HEIGHT SHALL BE A MINIMUM OF 42".
  3. OPENINGS BETWEEN INTERMEDIATE BALLUSTERS SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE.
  4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL PRECLUDE THE PASSAGE OF A 4" DIAMETER SPHERE.
  5. OPENINGS BETWEEN INTERMEDIATE BALLUSTERS ON THE OPEN SIDE OF STAIRS SHALL PRECLUDE THE PASSAGE OF A 4 5/8" DIAMETER SPHERE.
  6. GUARDRAILS FOR R-8, INDOOR R-1 AND H-1 OCCUPANCIES MUST BE AT LEAST 42" HIGH WITH INTERMEDIATE RAILINGS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH ANY PORTION OF THE RAILING. A GUARDRAIL IS REQUIRED ON ALL LANDINGS AND DECK AREAS MORE THAN 30" ABOVE ADJACENT LEVEL.
  7. GUARDRAILS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARD.

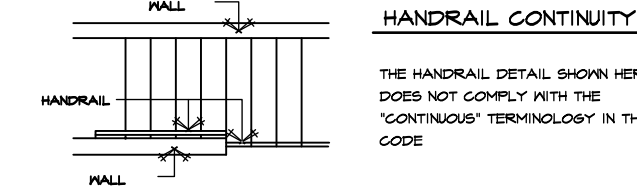
NOTE: CONTRACTOR SHALL PROVIDE DETAILS AND CALCULATIONS FOR THE CONNECTION OF GUARD RAILS PER TABLE 1603 CATEGORY "A" AND HANDRAIL MOUNTING PER TABLE 1603 CATEGORY "B" TO THE CITY FOR REVIEW PRIOR TO INSTALLATION.

#### ACCEPTABLE SHAPES AND INSTALLATIONS

NOTE: HANDRAILS SHALL HAVE NO SHARP CORNERS.

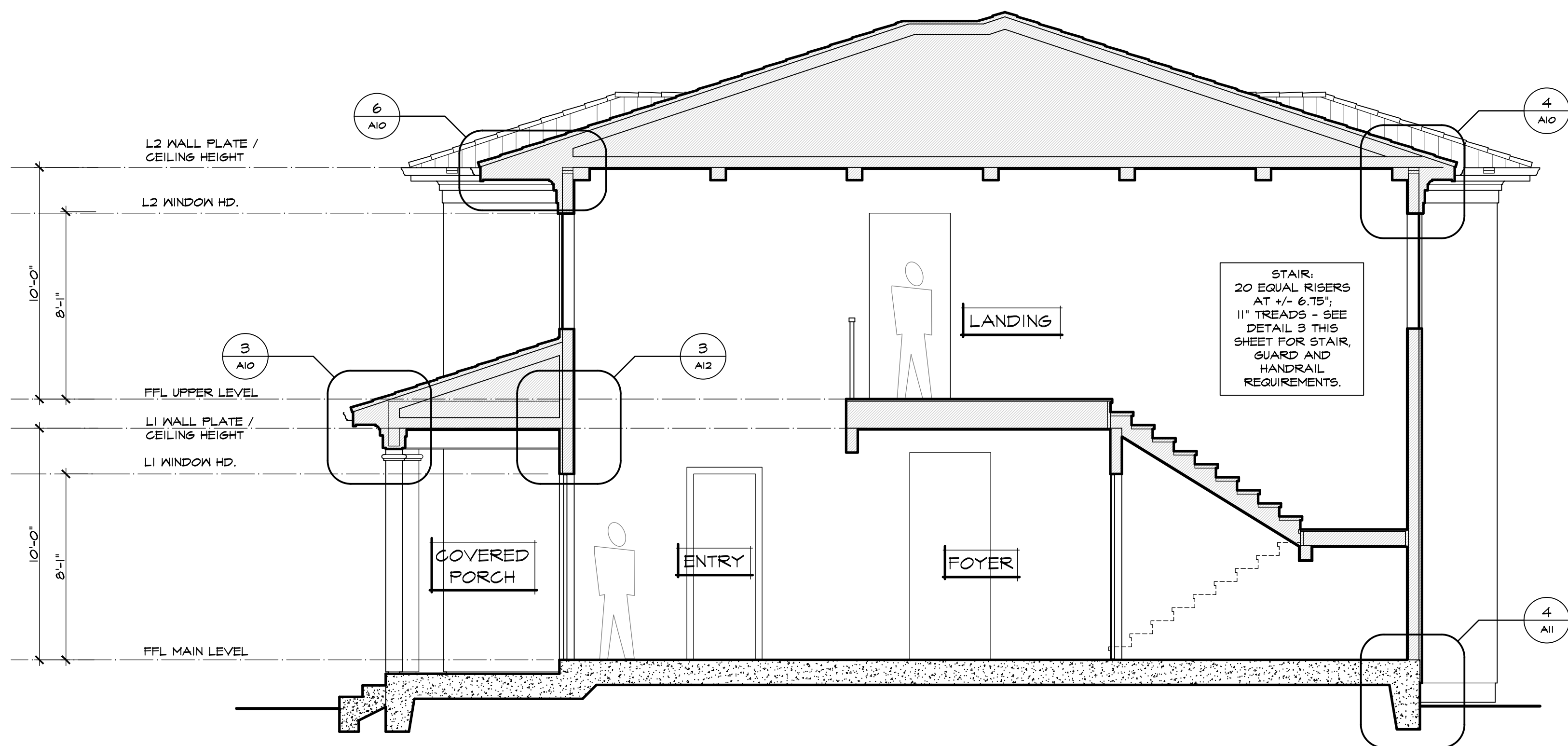


NOTE: OTHER SHAPES MAY BE ACCEPTABLE IF THEY PROVIDE AN EQUIVALENT GRIPPING SERVICE. SEE 2022 CBC AND CRC.



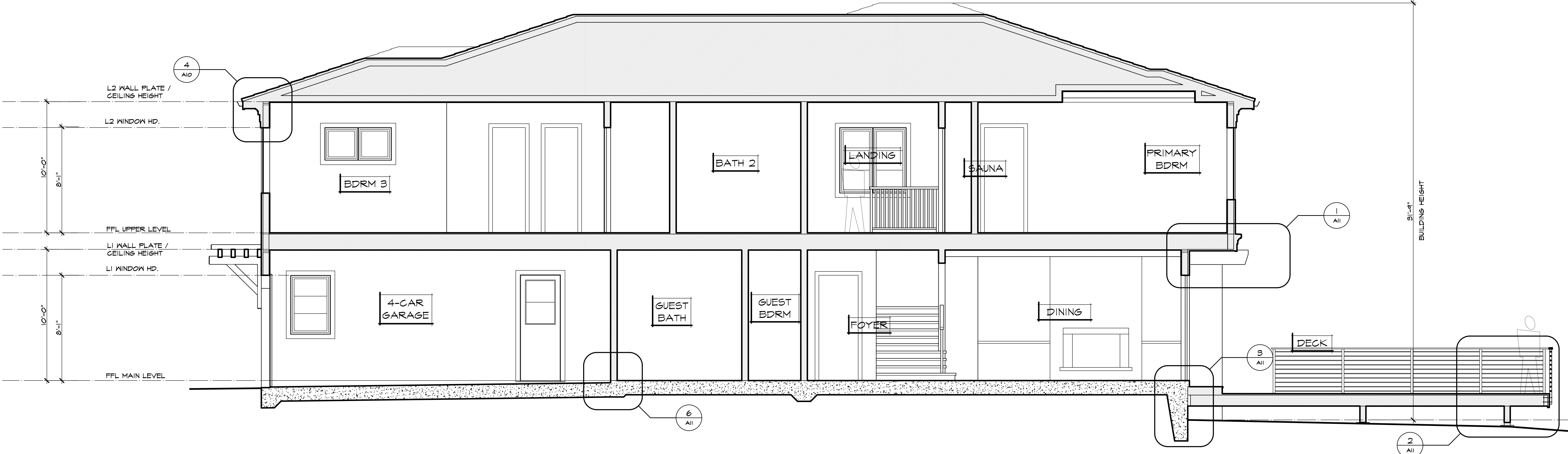
**STAIR & GUARDRAIL REQUIREMENTS**  
SCALE : NTS

3



**BUILDING CROSS SECTION A**  
SCALE : 1/4" = 1'-0"

1



**BUILDING LONGITUDINAL SECTION B**  
SCALE : 1/4" = 1'-0"

2

COUNTY STAMP:

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REVISIONS:	RECLAMATION DIST.	10-31-24
A	DEVELOPMENT PERMIT	12-19-24
B		

## BUILDING SECTIONS

JOB NO. :	28-22
DATE :	07-22-24
ISSUE :	PERMIT SUBMISSION
DRAWN :	MP
CHECKED :	AP

PROJECT:  
NEW PRIVATE RESIDENCE FOR :  
**ED ALLEN**  
100 DISCOVERY BAY BLVD.  
DISCOVERY BAY, CA  
DESIGNER SIGNATURE:

SHEET NO.:

A9



**Department of Conservation and Development**  
**County Zoning Administrator**  
**Monday, April 7, 2025 – 1:30.P.M.**

**STAFF REPORT**

**Agenda Item #3a**

---

<b>Project Title:</b>	100 Discovery Bay Boulevard Development Plan
<b>County File:</b>	CDDP24-03056
<b>Applicant/Owner:</b>	Bhavana Shah, Talon Design Group (Applicant) / Edward Allen (Owner)
<b>Zoning/General Plan:</b>	P-1 Planned-Unit District, -UE Urban Farm Animal Exclusion Combining District / RLM Residential Low Medium Density
<b>Site Address/Location:</b>	100 Discovery Bay Boulevard in the Discovery Bay area of unincorporated Contra Costa County (Assessor's Parcel Number: 004-490-027)
<b>California Environmental Quality Act (CEQA) Status:</b>	Categorical Exemption, CEQA Guidelines Section 15303(e)
<b>Project Planner:</b>	Allison Seoane, Project Planner (925) 655-2871 <a href="mailto:Allison.Seoane@dcd.cccounty.us">Allison.Seoane@dcd.cccounty.us</a>
<b>Staff Recommendation:</b>	Approve (See Section II for Full Recommendation)

---

**I. PROJECT SUMMARY**

The applicant requests approval of a Development Plan to modify Final Development Plan CDDP74-3014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck that will be attached to a new single-family residence on a vacant lot.

**II. RECOMMENDATION**

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Zoning Administrator:

- A. FIND that the project is categorically exempt from CEQA under Section 15303(e) of the CEQA Guidelines.
- B. APPROVE Development Plan CDDP24-03056 to modify Final Development Plan CDDP74-3014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck that will be attached to a new single-family residence on a vacant lot.
- C. DIRECT staff to file a Notice of Exemption with the County Clerk.

### **III. GENERAL INFORMATION**

- A. General Plan: RLM - Residential Low Medium Density.
- B. Zoning: P-1 - Planned-Unit District, -UE - Urban Farm Animal Exclusion Combining District.
- C. California Environmental Quality Act (CEQA): CEQA Guidelines, Section 15303(e), New Construction of Small Structures, which provides a Class 3 exemption for the construction of accessory structures like the subject deck.
- D. Previous Applications:
  - 1. CDRZ73-1786: A Rezone of land in the Discovery Bay area from A-2 General Agriculture District and R-100 Single-Family Residential District to P-1 Planned Unit District was approved by the Board of Supervisors on August 7, 1973. The approval included the approval of the Preliminary Development Plan for the Discovery Bay area.
  - 2. CDDP74-3014: A Final Development Plan for the RZ73-1786 P-1 area was approved by the County Planning Commission on June 3, 1975.
  - 3. CDSD78-5353: A Major Subdivision of the P-1 area was approved by the Board of Supervisors on December 19, 1978. The subject property is Lot 27 of this subdivision, which was recorded as Tract 5353 on December 21, 1978.
  - 4. CDCV24-00040: A Compliance Review for the review and approval of new single-family residence on the subject property was accepted by the CDD on August 13, 2024.

#### **IV. SITE/AREA DESCRIPTION**

The subject property is in a 7,200 square-foot vacant parcel on the north side of Discovery Bay Boulevard near its eastern cul-de-sac. The property and vicinity are in a residential area located inside of the urban limit line, bounded by Saint Mary's Bay to the north and surrounded by single-family residences on all other sides, as shown on the photos in Attachment C. The applicant has submitted Compliance Review application CDCV24-00040 for the review and approval of new single-family residence on the parcel. The proposed deck that requires approval of a 0-foot rear yard would be located at the rear of the residence. The rear yard is moderate sloping, with a topography that descends towards the water at the rear of the property.

#### **V. PROJECT DESCRIPTION**

The subject property is in the P-1 Planned Unit District regulated by Final Development Plan CDDP74-3014. Pursuant to Final Development Plan CDDP74-3014 Condition of Approval #6, a 15-foot rear yard is the minimum required. Accordingly, the applicant requests approval of a Development Plan to modify Final Development Plan CDDP74-3014 to allow a 0-foot rear yard for a rear deck that will be attached to a new single-family residence on a vacant lot. The new 6,414 square-foot, 2-story single-family residence is currently being reviewed under Compliance Review CDCV24-00040. The deck is accessible from the main floor of the residence and is approximately 1,475 square feet in surface area with an approximate height of 2.5-feet from grade.

#### **VI. AGENCY COMMENTS**

An Agency Comment Request packet was sent on December 19, 2024 to a number of public agencies, including Building Inspection Division, Environmental Health Division of the Health Services Department, Contra Costa County Fire Protection District, Town of Discovery Bay Community Services District, Reclamation District #800, Contra Costa Mosquito and Vector Control District, and California Department of Fish and Wildlife Region 3. Agency comments received by staff are included in Attachment E. Following are summaries of the comments received.

- A. Reclamation District #800: The Reclamation District reviewed and approved the project on November 7, 2024, prior to the distribution of the Agency Comment Request packet.



- B. Contra Costa Environmental Health Division (CCEHD): On December 24, 2024, the CCEHD submitted a letter, stating: "Any abandoned wells (water, environmental, or geotechnical) and septic tanks must be destroyed under permit from CCEH. If the existence of such wells or septic tanks are known in advance or discovered during construction or other activities, these must be clearly marked, kept secure, and destroyed pursuant to CCEH requirements."
- C. Contra Costa County Fire Protection District: The Fire Protection District submitted an Agency Comment Request form on January 9, 2025, stating that District approval is required prior to construction.
- D. Town of Discovery Bay Community Services District (CSD): On March 12, 2025, the CSD submitted an email stating that it had no comments on the project.

## **VII. REQUEST FOR HEARING**

A Notice of Intent to Render an Administrative Decision was mailed on February 7, 2025 that included a February 18, 2025 deadline to request a public hearing. On February 13, 2025, a request for a public hearing was received from Dave and DeAnna Turcotte of 90 Discovery Bay Boulevard, owner of a parcel adjacent to the southeast of the subject property. The hearing request is included in Attachment F. The following is a summary of the request for hearing comments along with staff responses:

Request for Hearing Comment 1: "The property in question at 100 Discovery Bay Blvd is already in the slope control over 8 feet which should not of be approved by rec 800s own by laws. (section 2.01 of the SCA) However, after Rec 800 had a public meeting that we attended and were told they would need to look into it further they stamped the plans the following day without addressing our concern. We still do not agree with this decision and are now seeking legal counsel as to our rights and how to proceed."

Staff Response: Reclamation District #800 is a separate entity from Contra Costa County that has separate review requirements that the project proponent is responsible to satisfy. Plans with the Reclamation District's approval stamps (included in Attachment E) were provided showing that the project received District approval on November 7, 2024.

Request for Hearing Comment 2: "The property owner has over built already and while I understand as a builder that wanting to get the max out of their new home it still should not come at the expense of their soon to be new neighbors."

Staff Response: The property at 100 Discovery Bay Boulevard is currently a vacant lot. (See street view photo in Attachment C.) The submitted plans show that the proposed single-family residence is compliant with all setbacks and height restrictions for its zoning. The proposed deck is an accessory structure to the residence, and the requested modification of Final Development Plan CDDP74-3014 Condition of Approval #6 for a 0-foot rear yard is consistent with similar decks on several neighboring properties along Discovery Bay Boulevard that will allow access to the water, which is in character with the Discovery Bay residential neighborhood.

Request for Hearing Comment 3: “The setbacks are in place and have been for 20 plus years and are there to protect the owners of adjoining properties for just this reason. It ensures that future building does not block your neighbors’ view or intrude into their privacy. If you allow the new building’s deck to intrude into the 15 ft minimum set back, then it does just that. In allowing them no setback at all they decrease the value of our home, blocks our view and intrude on our privacy.”

Staff Response: Final Development Plan CDDP74-3014 Condition of Approval #6 can be modified if the proposed project is compatible with other uses in the vicinity, both inside and outside the P-1 District. The guiding principles for the Discovery Bay P-1 District are to encourage development of its existing vacant lots that remain in kind with its waterfront character. This project will allow a new residence to be developed on one of the last vacant lots in subdivision Tract 5353 and provide access to the water. The project, thereby, follows the existing development pattern for the area. A developed lot will increase property values for the area, and as the deck is proposed to be 2.5-feet above grade it should not impact privacy or views any more than other neighboring properties with comparable rear yards.

## **VIII. STAFF ANALYSIS**

- A. General Plan Consistency: The subject property is located within the RLM Residential Low-Medium General Plan land use designation. The RLM designation allows for a residential density between 3.0 and 7.0 units per net acre and typically includes detached single-family homes on lots approximately 6,000 to 15,000 square-feet. The proposed deck will be ancillary to a proposed single-family residence that will be located on the 7,200 square-foot lot. The proposed development is consistent with the existing residential land use designation. The project is also consistent with the guiding principles within Chapter 3 Stronger Communities Element of the 2045 General Plan, particularly Guiding Principle #1,

in that a rear deck encapsulates Discovery Bay's waterfront character by providing access to water from the new residence, and opportunities for boating and other water recreation activities.

- B. Zoning Compliance: The subject property is located in the P-1 Planned-Unit District established by Rezone CDRZ73-1786. Development standards for this P-1 District were established by Final Development Plan CDDP74-3014, including Condition of Approval #6 that requires development to comply with the yard requirements of the R-6 Single-Family Residential District. The single-family residence will comply with all R-6 yard setback and building height requirements; however, the proposed deck is within the required 15-foot rear yard setback. The applicant requests modification of Final Development Plan CDDP74-3014 to allow the rear yard deck to have a 0-foot rear yard (where 15-feet is the minimum required). The new rear deck is consistent with the P-1 District as its design is consistent with existing rear decks in this neighborhood. The project is also considered compatible with other uses in the neighborhood, as there are at least five neighboring lots with attached, rear-yard decks that abut their respective rear property lines on similarly sloped lots. Therefore, a 0-foot setback for a rear yard deck attached to the residence consistent with the intent and purpose of the P-1 District, and is compatible with other uses in the vicinity, both inside and outside the district.
- C. Sacramento-San Joaquin Delta: The subject property is located within the Secondary Zone of the Delta, and therefore, not subject to the Delta Stewardship Council's (DSC) Delta Plan.

## **IX. CONCLUSION**

The proposed modification of Final Development Plan CDDP74-3014 to allow a 0-foot rear yard for a deck that will be attached to a new single-family residence on a vacant lot is consistent with the RLM Residential Low-Medium General Plan land use designation, the Discovery Bay Guiding Principles, and complies with the intent and purpose of the Discovery Bay P-1 District. Staff recommends that the Zoning Administrator approve Development Plan CDDP24-03056 to modify Final Development Plan CDDP74-3014 to allow the 0-foot rear yard (where 15 feet is the minimum required) for the deck to be attached to a new single-family residence, based on the attached findings and subject to the attached conditions of approval.

- No Solid Surface decking
- Must have driven piles or engineered supports in SCA

RECLAMATION DISTRICT NO. 600

**RECEIVED** on 11/25/2024 CDCV24-00040  
By Contra Costa County  
Department of Conservation and Development

RECLAMATION DISTRICT NO. 800

AND DISCOVERY BAY RECLAMATION AND

DRAINAGE MAINTENANCE DISTRICT

PERMIT

LOT: 29

TRACT: 5353

ADDRESS: 100 D.B. Blvd.

ED ALLEN

P.O. Box 232, BYRON, CA 94514 (510) 634-2351

OWNER: ED ALLEN

BUILDER: ED ALLEN

Please accept this as approval from the above Districts to proceed with construction of your Yes House Yes Deck -  
Dock, \_\_\_\_\_ (Other) Plans. The approval granted herewith is subject to the  
following:

Yes That no structural wood members be used below elevation 8.2 MSL, other than treated piles.

yes That quarry stone riprap be installed to provide slope surface protection. The riprap must extend from election minus (-) 2.0 MSL to elevation 7.0 MSL along the entire Slope Control Area.

yes That finished floor elevation be at least elevation 9.2 MSL.

That quarry stone riprap be carried to the top of slope due to the coverage of the deck over the slope.

That styrofoam, fiberglass or concrete floats be utilized for floatation.

yes That all irrigation, precipitation and other on-lot surface flows be collected and conveyed to the bays and lakes *without* wetting of the Slope Control Area.

Interior Lot. No special requirements.

Review for negative impacts only. No fee.

Note: Reclamation District Elevation Control Easements (R.D.E.C.E.) are for the purpose of maintaining a minimum ground or structural elevation. All structures or other encroachments within this area may from time to time be required to be removed by the owners or at the owner's expense.

Slope Control Areas (S.C.A.) are subject to erosion from wavewash, tidal action, surface runoff, floodflows and other sources and are subject to instability due to tidal action, vegetation, rodents, varying soil conditions, and varying water conditions. The Slope Control Areas require continuous access for maintenance and therefore no principal structures should be placed thereon. All structures or other encroachments within this area will from time to time be required to be removed by the owners or at the owner's expense.

Reclamation District No. 800's approval does not include review or evaluation of the adequacy of the structural design. The applicant should engage appropriate engineers, contractors, and other experts to analyze available information and/or conduct test upon which to base conclusions and to determine the actual conditions to be encountered and to design and construct the structures as appropriate. Lateral earth pressures associated with slope movement as well as vertical loads should be considered. Design should include provisions for collection and conveyance of irrigation, precipitation, and other on-lot surface flows to the bays and lakes without wetting of the Slope Control Area.

Decks and other structures located on or near the slopes and water areas are subject to differential movement both in the horizontal and vertical direction. Design and use of lightweight concrete and other rigid deck coverings should anticipate more noticeable reflection of movement in the form of cracking and gapping.

The owner assumes all risk of damage or loss to the structures permitted hereby and agrees to hold Reclamation District No. 800 harmless with regard to any such damage.

This permit is conditioned upon proper execution and recordation of the Reclamation District No. 800 Covenants, Release and Indemnification document.

Date Issued: 11.7.24

DISTRICT MANAGER  
RECLAMATION DISTRICT NO. 800



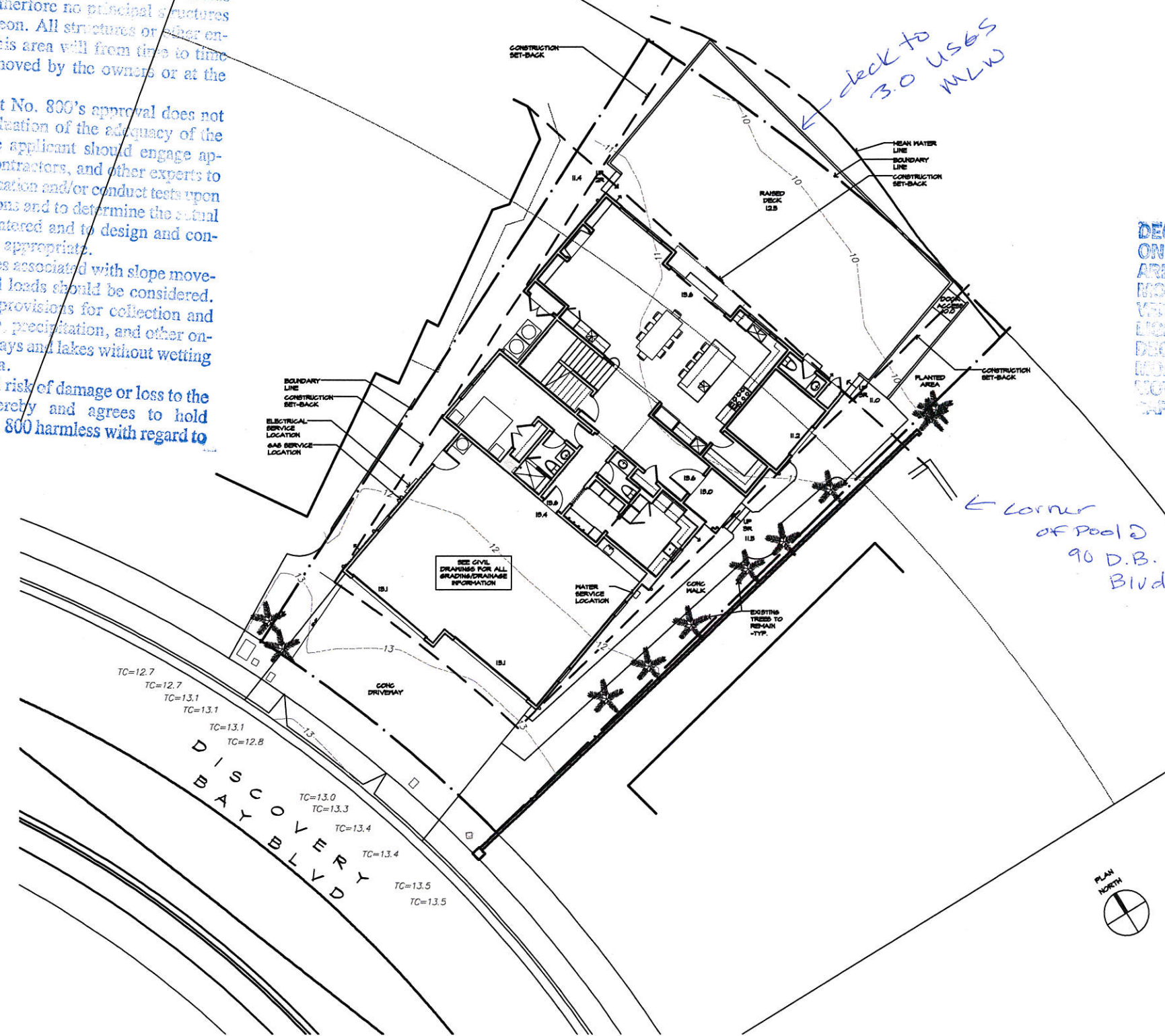
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The Slope Control Areas require continuous access for maintenance and therefore no principal structures should be placed thereon. All structures or other encroachments within this area will from time to time be required to be removed by the owners or at the owner's expense.

Reclamation District No. 800's approval does not include review or evaluation of the adequacy of the structural design. The applicant should engage appropriate engineers, contractors, and other experts to analyze available information and/or conduct tests upon which to base conclusions and to determine the actual conditions to be encountered and to design and construct the structures as appropriate.

Lateral earth pressures associated with slope movement as well as vertical loads should be considered. Design should include provisions for collection and conveyance of irrigation, precipitation, and other on-site surface flows to the bays and lakes without wetting of the slope control area.

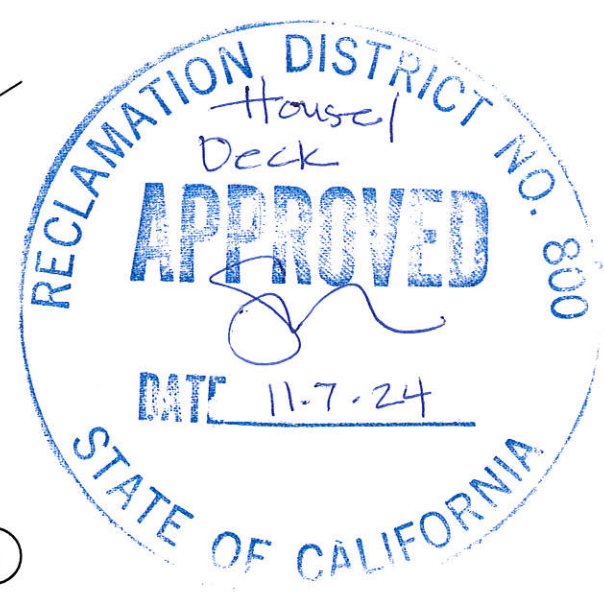
The owner assumes all risk of damage or loss to the structures permitted hereby and agrees to hold Reclamation District No. 800 harmless with regard to any such damage.



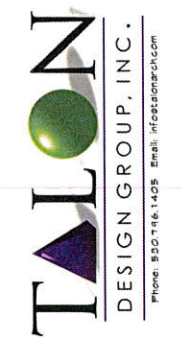
# SITE GENERAL NOTES

- A. THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURES.
- B. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. REFER TO PLANS BY CIVIL ENGINEER.
- C. REFER TO SOILS REPORT BY SOILS ENGINEER FOR ANY SPECIAL CONDITIONS.
- D. ALL GRADINGS, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH CITY AND/OR COUNTY GRADING ORDINANCES.
- E. NOT USED.
- F. ALL DOWNSPOUTS TO DISCHARGE AS INDICATED ON CIVIL DRAWINGS. CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.
- G. TAKE NECESSARY PRECAUTIONS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION TO REMAIN.
- H. SOIL DISTURBANCE SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO EXECUTE THE WORK.
- I. SURFACE DRAINAGE SHALL SLOPE 5% FROM BUILDING FOUNDATIONS FOR A MINIMUM OF 10 FEET AND AT LEAST 18" TO SUITABLE COLLECTION POINTS PER CIVIL DRAWINGS.
- K. PROPERLY DISPOSE OF ALL REMOVED MATERIALS WHICH WILL NOT BE REUSED IN THE NEW CONSTRUCTION.
- L. UNUSUAL CONDITIONS NOT COVERED BY CONTRACT. IF ENCOUNTERED, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF DESIGNER AND OWNER.

DECKS AND OTHER STRUCTURES LOCATED ON OR NEAR THE SLOPES AND WATER AREAS ARE SUBJECT TO DIFFERENTIAL MOVEMENT BOTH IN THE HORIZONTAL AND VERTICAL DIRECTION. DESIGN AND USE OF LIGHTWEIGHT CONCRETE AND OTHER FLEXIBLE DECK COVERINGS SHOULD ANTICIPATE MORE NOTICEABLE REFLECTION OF MOVEMENT IN THE FORM OF CRACKING AND SLIPPING.



SITE PLAN  
SCALE 1" = 10'-0"



COUNTY STAMP:

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REVISIONS	DATE	BY	APP
1	10-31-24		

SHEET CONTENTS:
SITE PLAN

JOB NO.	25-22
DATE	07-22-24
ISSUE	PERMIT SUBMISSION
DRAWN	MP
CHECKED	AP

PROJECT:	NEW PRIVATE RESIDENCE FOR
DESIGNER:	ED ALLEN
LOCATION:	100 DISCOVERY BAY BLVD. DISCOVERY BAY, CA
DESIGNER SIGNATURE:	

SHEET NO.:

A3





CONTRA COSTA  
HEALTH

2120 Diamond Blvd. Suite 100 | Concord, CA 94520  
Phone: 925-608-5500 | Fax: 925-608-5502  
cchealth.org

12/24/2024

CONTRA COSTA COUNTY DEPARTMENT OF CONSERVATION

Attn: SEOANE, ALLISON

30 MUIR RD

MARTINEZ, CA94565

RE: CDDP2403056  
100 DISCOVERY BAY BLVD  
APN: 004 900 027  
**Service Request #:** SR0023880

Dear SEOANE, ALLISON :

Contra Costa Environmental Health (CCEH) has received a request for agency comment regarding the above referenced project. See below for our comments grouped by environmental health program:

- If an onsite water supply well is used for this project, it must meet current standards, including construction, yield, water quality, and setbacks. A hydrogeological study may be required to ensure adequate water supply.
- A permit from CCEH is required for any well or soil boring prior to commencing drilling activities, including those associated with water supply, environmental investigation and cleanup, or geotechnical investigation.
- Any abandoned wells (water, environmental, or geotechnical) and septic tanks must be destroyed under permit from CCEH. If the existence of such wells or septic tanks are known in advance or discovered during construction or other activities, these must be clearly marked, kept secure, and destroyed pursuant to CCEH requirements.
- If this project is not served by sanitary sewer and an onsite wastewater disposal system (septic system) is needed for this project, a permit from CCEH is required prior to installation. The new septic system, including disposal field replacement area must comply with current standards. Holding tanks for sewage disposal are prohibited unless these are owned and maintained by a public entity.
- For proposed subdivisions/minor subdivisions served by onsite wastewater disposal systems (septic systems). It must be demonstrated that each lot can accommodate a septic system meeting current standards, including disposal field replacement area.
- For proposed subdivisions/minor subdivisions served by onsite private water wells. It must be demonstrated that each lot has a water supply well meeting current standards, including construction, yield, water quality, and setbacks. A hydrogeological study may be required to ensure adequate water

supply.

- If the project will require a small public water system, these systems must operate under permit from CCEH. The water supply (e.g. well) must meet current standards, including construction, yield, water quality, and setbacks. A hydrogeological study may be required to ensure adequate water supply.
- If the proposed lot line adjustment involves properties served by an onsite waster disposal system (septic system). The new lot configurations must accommodate the septic system(s), including the disposal field replacement area(s), without conflicting with current standards(e.g., setbacks to property lines).
- If the proposed lot line adjustment involves properties served by an onsite water well. The new lot configurations must not conflict with current standards(e.g., setbacks to property lines).
- Horse boarding facilities are subject to the requirements of the Contra Costa County Cleanwater Program, including routine inspections. The applicant can contact CCEH for details.
- It is recommended that the project be served by public sewer and public water wherever possible.

These comments do not limit an applicant's obligation to comply with all applicable laws and regulations. If the proposed project is subject to regulation by CCEH, the project tenant must apply for all applicable health permits. Should you have any questions, please do not hesitate to contact Environmental Health at (925) 608-5500 or [CoCoEH@cchealth.org](mailto:CoCoEH@cchealth.org).

Sincerely,

A handwritten signature in dark ink, appearing to read "Kristian Lucas", with a stylized, flowing script.

Kristian Lucas, REHS  
Director of Environmental Health

2024-2025-000049

CONTRA COSTA COUNTY  
DEPARTMENT OF CONSERVATION AND DEVELOPMENT  
COMMUNITY DEVELOPMENT DIVISION  
30 Muir Road  
Martinez, CA 94553-4601  
Phone: 925-655-2700  
Fax: 925-655-2758



**CONTRA COSTA**  
CONSERVATION & DEVELOPMENT

## AGENCY COMMENT REQUEST

Date 12/19/24

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**  
INTERNAL  
☒ Building Inspection      Grading Inspection  
Advance Planning      Housing Programs  
Trans. Planning      Telecom Planner  
ALUC Staff      HCP/NCCP Staff  
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health      Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services      Special Districts  
Traffic  
Flood Control (Full-size)

LOCAL

☒ Fire District CONTRA COSTA

San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)

☒ Consolidated – (email) [fire@cccfd.org](mailto:fire@cccfd.org)

☒ Sanitary District TOWN OF DISCOVERY BAY CSD

☒ Water District TOWN OF DISCOVERY BAY CSD

City of \_\_\_\_\_

School District(s) \_\_\_\_\_

LAFCO

☒ Reclamation District # 800

East Bay Regional Park District

☒ Diablo Discovery Bay Crockett CSD

MAC/TAC \_\_\_\_\_

Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))

☒ CA Fish and Wildlife, Region 3 – Bay Delta

Native American Tribes

ADDITIONAL RECIPIENTS

Please submit your comments to:

Project Planner Allison Seoane

Phone # (925) 655-2871

E-mail allison.seoane@dcd.cccounty.us

County File # CDDP24-03056

Prior to Jan. 15, 2025

\*\*\*\*\*

We have found the following special programs apply to this application:

Landslide      Active Fault Zone (A-P)

☒ Liquefaction      ☒ Flood Hazard Area

60-dBA Noise Control

CA EPA Hazardous Waste Site

High or Very High FHSZ

\*\*\*\*\*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments:      None      Below      Attached

SUBMIT LAND DEVELOPMENT  
PLANS TO CCCFPD  
WHEN READY, BEFORE  
CONSTRUCTION,

Print Name M. CAMERON

Signature [Signature] DATE 1-9-25

Agency phone # 925 941 3300



**From:** [Dina Breitstein](#)  
**To:** [Allison Seoane](#)  
**Subject:** RE: CDDP24-03056 - 100 Discovery Bay Blvd, Discovery Bay  
**Date:** Wednesday, March 12, 2025 3:17 PM

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Hi Allison,

The Town of Discovery Bay has no comments on the proposed.

Thank you, have a wonderful day.

Thank you,  
Dina Breitstein MSL, CSDM, General Manager  
| [Town of Discovery Bay](#) | [Community Service District](#)  
1800 Willow Lake Road • Discovery Bay, CA • 94505  
(925) 634-1131 *phone* • (925) 513-2705 *fax*  
[dbreitstein@todb.ca.gov](mailto:dbreitstein@todb.ca.gov)

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**From:** Allison Seoane <[allison.seoane@dcd.cccounty.us](mailto:allison.seoane@dcd.cccounty.us)>  
**Sent:** Wednesday, March 12, 2025 1:47 PM  
**To:** Dina Breitstein <[dbreitstein@todb.ca.gov](mailto:dbreitstein@todb.ca.gov)>  
**Subject:** CDDP24-03056 - 100 Discovery Bay Blvd, Discovery Bay

Hello Dina,

I am the project planner for this Development Application, County File #CDDP24-03056.

I wanted to verify if CSD would like to comment.

Please let me know if you have any questions,

Regards,

Allison Seoane, Project Planner

Department of Conservation and Development

Community Development Division

30 Muir Road Martinez, CA 94553

(925) 655-2871

Dave and DeAnna Turcotte  
90 Discovery Bay Blvd  
Discovery Bay Ca 94505

(AKA: Turcotte Construction, a Discovery Bay custom home Builder for 25 years)

February 12, 2025

RE : Response to Request to remove 15 ft setback for new residence:

We are formally requesting for a hearing or asking and hoping for a straight denial concerning the request to remove the minimum 15 foot setback at 100 Discovery Bay Blvd .

The property in question at 100 Discovery Bay Blvd is already in the slope control over 8 feet which should not of be approved by rec 800s own by laws. (section 2.01 of the SCA) However after Rec 800 had a public meeting that we attended and were told they would need to look into it further they stamped the plans the following day without addressing our concern. We still do not agree with this decision and are now seeking legal counsel as to our rights and how to proceed.

The property owner has over built already and while I understand as a builder that wanting to get the max out of their new home it still should not come at the expense of their soon to be new neighbors.

The setbacks are in place and have been for 20 plus years and are there to protect the owners of adjoining properties for just this reason. It insures that future building dose not block your neighbors view or intrude into their privacy.

If you allow the new buildings deck to intrude into the 15 ft minimum set back than it does just that . In allowing them no set back at all they decrees the value of our home, blocks our view and intrudes on our privacy.

We removed a dock that was adjoined to my existing dock that was there for over 16 years. I had the original Rec 800 approval and past owners to allow it to be place there, as it was not a permanent structure and could be removed at any time so it fell into the floating dock category. I did this as a courtesy to them without making it into a lengthily legal battle. I now believe In doing so it makes them think that anything goes and that should not be the case.

We ask that you please grant our request to keep the 15 ft minimum in effect so to keep and retain the look, protection and property values of the Discovery Bay water community as it was meant to do when it was originally put in place.

Sincerely,  
Dave and DeAnna Turcotte

FINAL DEVELOPMENT PLAN

DISCOVERY BAY 3014-74

- I. INTRODUCTION AND BACKGROUND
- II. GENERAL PLAN
- III. THE FINAL DEVELOPMENT PLAN
- IV. DEVELOPMENT PHASING
- V. SERVICE DISTRICTS
- VI. SUMMARY AND RECOMMENDATIONS

May 9, 1975

### III. THE FINAL DEVELOPMENT PLAN

The Final Development Plan represents an area consisting of 1,343 acres, for the completion of the Discovery Bay Development. The proposed land uses of the Final Development Plan generally follow the delineation of land uses of the previously approved Preliminary Development Plan. Increases in the allocation of land uses are: multiple family residential, the community center recreational facilities, an additional school site, and the area of the golf course, roads and utilities. Correspondingly, there has been a reduction in acreage devoted to single family residential, the area of marinas and clubhouse facilities, neighborhood parks and water areas.

The various uses proposed with the Final Development Plan and the change in acreage from the Preliminary Development Plan is indicated by the following table:

Land Use	Pre. Dev. Plan December 1, 1972	Final Dev. Plan 3014-74	Acreage Change
Single Family	385* ac.	325 ac.	60
Multiple Family	50	100	+50
Shopping & Offices	15	15	-
Highway Commercial	30	35	+5
Marinas, Clubhouse & Related Uses	79	69	-10
Community Center & Recreation Facilities	1	14	+13
Schools	11	20	+9
Sewage Treatment Plant Maintenance & Water Supply	20	24	+4
Golf Course & Related Open Space	200	230	+30
Parks	40	23	-17
Water Areas	388	358	-30
Roads & Road Medians	124	130	+6
TOTAL	1,343 ac.	1,343 ac.	

\*Includes area previously shown as regional park and an area designated for houseboats, a total of 35 acres.

The major portion of the single family and multiple family residential areas are designed with water orientation. A lesser portion is pro-

posed within and related to the golf course development. The multiple housing is mostly of "townhouse" design for individual ownership, and the number of units has been increased by more than 300 from the Preliminary Development Plan. There has been an overall decrease of 93 residential units from the Preliminary Plan, shown with the following table:

	Pre. Dev. Plan December 1, 1972	Final Dev. Plan 3014-74	Change
Single Family	2,250 lots	1,830 lots	-420 lots
Multiple Family	750 units	1,083 units	+333 units
TOTAL	3,006 lots & units	2,913 lots & units	-93 lots & units

Acreage for commercial use has not increased appreciably. More logical boundaries have been finalized for those areas adjacent to Highway 4. Approximately one-half acre for fire station facilities has been included within the Highway Commercial area at Discovery Bay Boulevard and Clipper Drive. Community shopping located toward the center of the project has been modified to allow for the redesign of the golf course.

The overall area for marinas-clubhouse and related facilities has been reduced approximately 10 acres less than the 79 acres of the Preliminary Development Plan. Included are: public and private marinas-harbors and accessory facilities, marina related commercial uses and harbormaster facilities, the proposed clubhouse and recreational facilities, and a 56 unit "lanai" (transient residential complex).

An additional school site of 9 acres and private recreational facilities of 13 acres has increased the area for these uses from 12 acres of the preliminary development to 34 acres on the Final Development Plan.

The golf course and related open space has been redesigned and its area increased 30 acres. The Preliminary Development Plan indicated 7 neighborhood parks having a total of 20 acres. One 2.25 acre neighborhood park is proposed with the Final Development Plan. The reduction of neighborhood parks is compensated by the increase of other open space and the provision of private recreational facilities.

The road circulation pattern for the development has not significantly changed from the Preliminary Development Plan. Three roads, Harbor Point Drive, Discovery Bay Boulevard, and Channel, intersect State Highway 4, and serve as collector roads within the interior of the development. It will be necessary to phase the improvements of Highway 4 with the on-going development of the project. Traffic studies have been submitted and reviewed by the Public Works Department.

Supporting exhibits and reports submitted with the application for Final Development Plan.

Plans & Drawings:

- Final Development Plan (revised 3/10/75)
- Boundary Map Survey
- Street Lane & Right-of-Way Requirements
- Grading, Drainage & Levees
- Sanitary Sewers
- Water Distribution
- Phasing Plan
- Street Tree Plan
- Park & Open Space Responsibilities
- Town House Village, Site Plan, Elevations & Floor Plans
- Golf Course Clubhouse, Harbormaster, Marina & Lanai Complex
- Golf Course Development
- Park Studies and Recreation Center
- Island Parks in Willow Lake
- Shopping Center & Commercial Development Studies
- Tentative Subdivision Map of Golf Course Area

Reports:

- Traffic Report & Updated Amendments
- Market Analysis
- Water Quality Management Report
- Appendix to Final Development Plan



The Preliminary Development Plan was approved with thirty-one conditions to be recognized with the Final Development Plan. Listed below are the conditions approved with the Preliminary Development Plan and comments concerning Final Development Plan compliance with those conditions.

CONDITION 1. *The development shall be as shown on the plans received by the Contra Costa County Planning Department December 1, 1972.*

The Final Development Plan substantially conforms to the Preliminary Development Plan.

CONDITION 2. *The Final Development Plan shall indicate the grading and drainage details; the landscapae details prepared by a landscpae architect; the height and location of all multiple-family residences, commercial building and the required parking to serve these facilities; the development of parks and common areas; the location, size and species of street trees, and; any other additional information as is necessary to review the Final Development Plan since the Preliminary Development Plan is conceptual and serves only to give direction to the developers.*

The above materials have been submitted, with the exception of site development detail of portions of the commercial and multiple family areas, which are to be submitted with subsequent phasing.

CONDITION 3. *An alternate access shall be provided to the marina area and golf course club house so that the traffic from these two major traffic generators will not pass through the residential area. The road can be located along the east side of the project, so that it will also provide access to the easterly properties.*

Channel Road, a new easterly access road, has been provided to serve marina area, clubhouse and related facilities. Traffic conflicts with residential development have been minimized.

CONDITION 4. *The traffic analysis report shall be broadened to reflect the two recommendations above and to provide for the improvement of the State Highway in keeping with the traffic generated.*

Traffic analysis reports have been filed and have been reviewed by the Public Works Department. Road widening and improvements of Highway 4 is to be phased with the development of this project.

CONDITION 5. *The Final Development Plan shall include provisions for two elementary schools.*

Two school sites have been designated with the Final Development Plan.

CONDITION 6. *The minimum lot size for single-family residential lots shall be 6,000 square feet. The yard requirements shall comply with the R-6 Single-Family Residential District. All lots shall be 60-foot wide at the building setback line.*

All lots appear to be 6,000 square feet or larger, in area. Most cul-de-sac lots do not have 60 feet in width at the building setback line. It is necessary to have the sufficient width at the setback line to provide building site area for a typical house. Tentative subdivision maps should be submitted in conformance with this requirement.

CONDITION 7. *The Multiple-Family Residential, as shown on the plan, shall not exceed a density more than 12 units per net acre.*

Density of areas of attached housing, shown on the Final Development Plan, is 12 units or less per net acre. The combined overall density multi-residential density for the project is 11 units per net acre.

CONDITION 8. *The houseboat area, as shown on the Preliminary Development Plan, shall be subject to further study and review and the matter of whether or not the area shall remain as a part of the plan for Discovery Bay shall be finalized at the Final Development Plan submittal.*

The proposed houseboat area shown on the Preliminary Development Plan along the west side of Harbor Point Road has been changed to single family use.

CONDITION 9. *The area designated as "Regional Parks" on the Preliminary Development Plan shall be further studied and reviewed and finalized at the Final Development Plan submittal.*

The concept of a regional park within the development has been eliminated. The area, now shown as single family residential, was located at the end of Anchor Drive at the westerly side of the project.

CONDITION 10. *The golf course subdivision concept is desirable, however, more detailed planning of the course and units surrounding the course is required to determine its acceptability from a design consideration. The fairway width, number of street crossings by golfers*

*and length of streets serving the units will require more detailed study on the Final Development Plan.*

The golf course and street pattern has been redesigned to make the two uses compatible.

CONDITION 11. *Some of the neighborhood park sites are located in semi-secluded areas, such as the parks adjacent to the golf course. On the Final Development Plan, access shall be provided to these parks for better maintenance and general community access.*

The isolated neighborhood parks have been eliminated. It is the applicant's intention to substitute the smaller parks with a larger park along Highway 4.

CONDITION 12. *Service Area M-8 is responsible for the park and recreation functions in Discovery Bay. All plans for park construction and maintenance shall be approved by the Service Area.*

All public park and recreation proposals are to be submitted through County Service Area M-8.

CONDITION 13. *All utilities shall be placed in an underground system. The development shall be serviced by a cable television underground system. No television antennae shall be permitted.*

Utilities are to be underground, including conduit for a television cable system.

CONDITION 14. *Street lights shall be installed on all streets and the development shall be annexed to County Service Area M-8 for the maintenance and operation of the system.*

Street lights are to be installed to County requirements and the area annexed to County Service Area M-8 for operation and maintenance.

CONDITION 15. *The development of subdivisions within the subject area shall conform to Ordinance standards. Exceptions, however, may be granted if sufficiently documented and engineered to allow the staff and Commission reason to recommend and grant such exception. This is particularly true of typical street sections as presently proposed, which do not include traditional curb and gutter on the minor and collector streets.*

Typical street section including the County standard curbs and gutter design will be used with tract development.

CONDITION 16. *Landscaping and irrigation facilities for median and traffic islands in the streets shall be indicated on the Final Development Plan.*

A street tree plan has been submitted with the Final Development Plan. Detailed design of medians and traffic islands are to be submitted when individual tracts are developed.

CONDITION 17. *The development plan shows parks, golf course, median island, roadside plantings, and other common or park-like areas assumed to be at least quasi public. A complete study and details of the purpose and function of each of these areas and how they are to be constructed, managed and maintained must be made.*

Plans for development of the golf course and proposed parks have been submitted.

CONDITION 18. *Access to water area by the public as required by the Subdivision Map Act, shall be clearly identified.*

Public access to the water area is provided in the commercial marina area.

CONDITION 19. *The responsibility for maintenance of levees, water quality, drainage, parks, parkways, median islands and other public or quasi public functions shall be clearly identified and, in the case of dual responsibility, the function clearly assigned (e.g. Flood Control and Reclamation District #800 with regards to levees and drainage responsibility).*

Reclamation District #800 has notified Flood Control of its readiness to accept responsibility for the levees and terminal drainage facilities as each tract is recorded. County Service Area M-8 is responsible for maintenance of public parks, median and traffic islands. The common open space areas adjacent to residential development will be maintained by a homeowners' association. The responsibility and maintenance for the golf course and related open spaces will be Discovery Bay Corporation.

CONDITION 20. *All of the details concerning the water distribution treatment system, sewage treatment, and collection system are subject to review and approval of the Contra Costa Sanitation District No. 19.*

This information has been submitted. As the individual tracts are developed, detailed plans will be submitted to Contra Costa County Sanitation District No. 19 for approval and acceptance.



CONDITION 21. *The traffic report should address itself to the necessity and need for traffic signals at the points of highest congestion. It would appear that signals will be needed upon completion of the development at the intersection of the State Highway and locations "C" and "D" (Discovery Bay Boulevard and Channel Road). (See below)*

Traffic report submitted.

CONDITION 22. *With the filing of the Final Development Plan, the traffic analysis report shall be expanded to assign street widths to the major collector streets within the project. It appears that some of the major collector streets shall be four-lane roads. (See below)*

Traffic report submitted.

CONDITION 23. *All intersections at State Highways shall be channelized with left-turn medians. Intersections such as "B" and "C" (Harbor Point and Discovery Bay Boulevard) shall not be spread so far and divided so as to present points of double conflict. Details of these intersections shall be worked out with the Public Works Department.*

Traffic report submitted.

CONDITION 24. *Sidewalks will be required on all streets.*

Sidewalks are to be provided on both sides of all streets with exceptions requested where it is proposed to provide a golf cart path on one side of the street in lieu of sidewalk, fronting: the easterly side of Discovery Bay Boulevard between Augusta Drive and Willow Lake Road; the northerly side of Pinehurst Drive and Augusta Drive between Discovery Bay Boulevard and Riverlake Road; and the easterly side of Channel Road between Prestwick Drive and Channel Court and along the southerly side of Channel Court to golf clubhouse.

CONDITION 25. *All development plans, ingress, egress, signalization, construction, etc. involving State Highway No. 4 shall be subject to State of California review.*

The submitted traffic report addresses the various problems of left turn lanes, channelization, and signalization. All work within the right-of-way of State Route 4 will be subject to the regulations of the State Division of Highways.

CONDITION 26. *With the filing of the Final Development Plan, the developer shall submit a phasing plan for the development of the projects. In this plan, special attention must be given to the de-*

*velopment of parks and collector streets to assure completion prior to building permit issuance and to be in proper sequence with the development of the project.*

A phasing plan has been submitted. The applicant proposes to provide continuous access and a second access as soon as possible. Development of the golf course is proposed during the early phasing. It will be necessary to phase the improvements of Highway 4 with the on-going development of the project.

*CONDITION 27. The lots adjacent to the third fairway and the sewage disposal plant shall be eliminated from the plan as submitted.*

Lots easterly of Channel Road have been eliminated with the Final Development Plan.

*CONDITION 28. The development of the Highway Commercial, Retail Business, Business and Professional Offices and any gas stations as shown on the plan, is subject to review under the Final Development Plan, complete plans for construction and landscaping must be submitted for review and approval.*

Detailed plans for Highway Commercial are proposed to be submitted as each site is developed. A market analysis has been submitted for the overall Commercial Development. The proposed uses at Highway 4 and Discovery Bay Boulevard include: restaurant, bank, title office, offices, shops, and fire station.

*CONDITION 29. A street tree planting program shall be a part of the Final Development Plan.*

A street tree plan has been submitted.

*CONDITION 30. The location of a civic or community center shall be included in the Final Development Plan.*

A site for a community center has been included in the Final Development Plan.

*CONDITION 31. Approval of this proposal is based upon the aforesaid maps as modified by these conditions. However, each segment of this proposed development shall be subject to further review when the Final Development Plan is submitted. It may be that additional requirements, conditions or modifications may be specified following review of the Final Development Plan. The conditions in this approval strove to give direction to the applicant in preparation of the Final Development Plan.*





# APPEAL OF 100 Discovery Bay Boulevard – REAR DECK County File CDDP24-03056

COUNTY PLANNING COMMISSION

JUNE 11, 2025

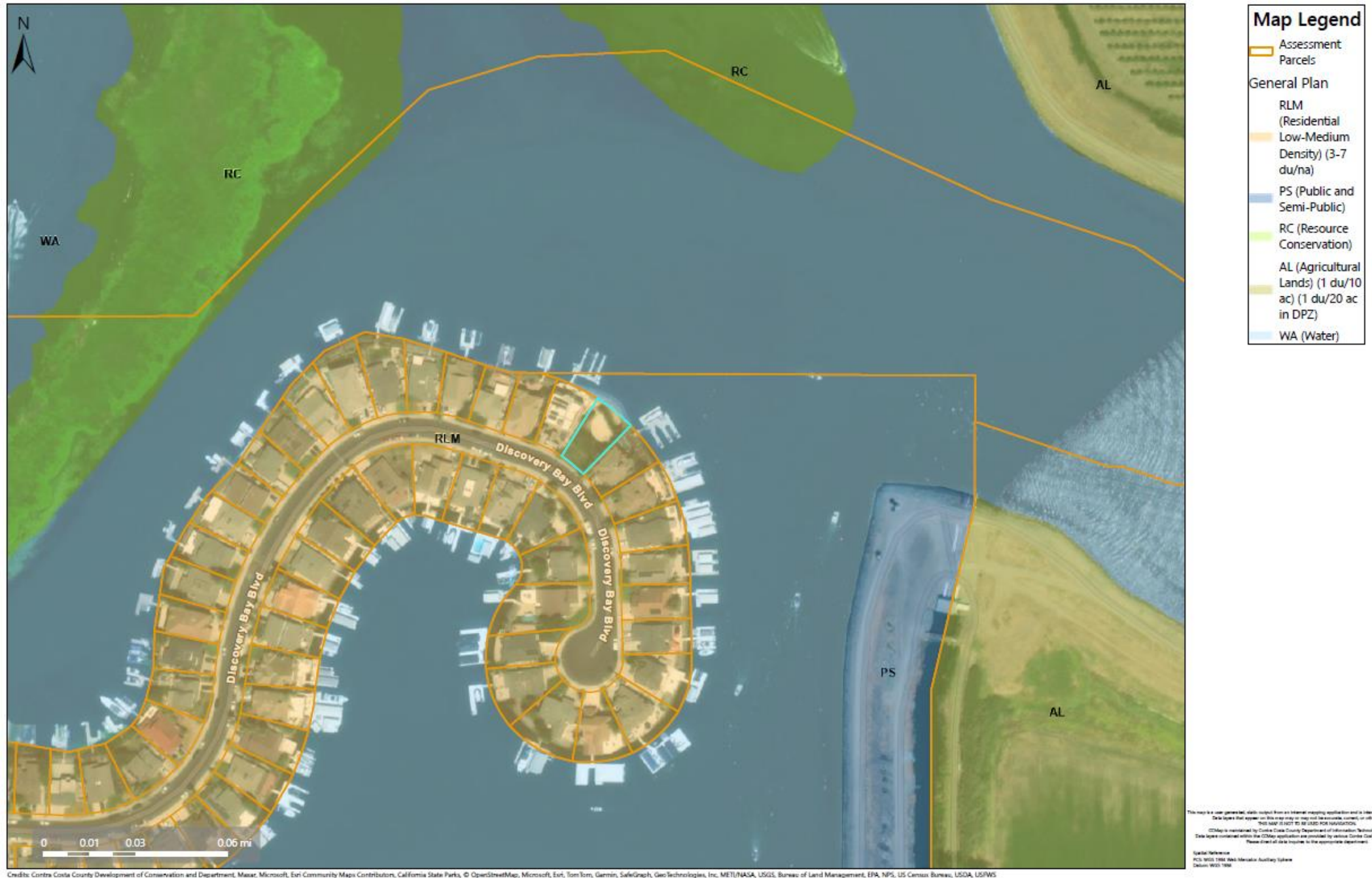
ALLISON SEOANE, PROJECT PLANNER

CONTACT: [ALLISON.SEOANE@DCD.CCCOUNTY.US](mailto:ALLISON.SEOANE@DCD.CCCOUNTY.US) 925-655-2871





# General Plan: Residential Low-Medium Density (RLM)



Zoning: Planned-Unit District (P-1) and Urban Farm Animal Exclusion Combining District (-UE)





Aerial Photo



#### Map Legend

Assessment  
Parcels

Project Site

90 Discovery Bay  
Boulevard,  
Dave and DeAnna  
Turcotte,  
appellants

This map is a user-generated, static, raster-based reference mapping application and is intended for reference use only. Data layers that require real-time processing or map real-time information are not available when this application is accessed. This map is not to be used for navigation.

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Florida Department of Information Technology  
P.O. Box 13800 West International Access System  
Tallahassee, FL 32309-3800

# Background

5

- August 14, 2024 – County File CDCV24-00040 for the review and approval of new single-family residence on the subject property was accepted by the Department of Conservation and Development (DCD) where it was determined that the rear deck required approval of a Development Plan to allow a 0-foot rear yard.
- December 19, 2024 – County File CDDP24-03056 was accepted by DCD and deemed complete.
- February 13, 2025 – Dave and DeAnna Turcotte, property owners of 90 Discovery Bay Boulevard, submitted a letter requesting a public hearing during the notice of intent to render an administrative decision for County File CDDP24-03056.
- April 7, 2025 – Zoning Administrator approved County File CDDP24-03056.
- April 15, 2025 – Dave and DeAnna Turcotte, filed their appeal of the Zoning Administrator's decision.

# Project Description

- A Development Plan to modify Final Development Plan CDDP74-03014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck that will be attached to a new single-family residence on a vacant lot.
- The deck will comply with side yard standards as set forth by CDDP74-03014 (5-foot minimum side yard, 15-foot aggregate side yard).
- The deck is approximately 1,475 square-feet in surface area with an approximate height of 2.5-feet from grade.
- The new 6,414 square-foot, 2-story single-family residence is currently approved under Compliance Review CDCV24-00040.







1995-1996, 1997-1998, 1999-2000, 2001-2002, 2003-2004, 2005-2006, 2007-2008, 2009-2010, 2011-2012, 2013-2014, 2015-2016, 2017-2018, 2019-2020, 2021-2022, 2023-2024, 2025-2026, 2027-2028, 2029-2030, 2031-2032, 2033-2034, 2035-2036, 2037-2038, 2039-2040, 2041-2042, 2043-2044, 2045-2046, 2047-2048, 2049-2050, 2051-2052, 2053-2054, 2055-2056, 2057-2058, 2059-2060, 2061-2062, 2063-2064, 2065-2066, 2067-2068, 2069-2070, 2071-2072, 2073-2074, 2075-2076, 2077-2078, 2079-2080, 2081-2082, 2083-2084, 2085-2086, 2087-2088, 2089-2090, 2091-2092, 2093-2094, 2095-2096, 2097-2098, 2099-2100, 2101-2102, 2103-2104, 2105-2106, 2107-2108, 2109-2110, 2111-2112, 2113-2114, 2115-2116, 2117-2118, 2119-2120, 2121-2122, 2123-2124, 2125-2126, 2127-2128, 2129-2130, 2131-2132, 2133-2134, 2135-2136, 2137-2138, 2139-2140, 2141-2142, 2143-2144, 2145-2146, 2147-2148, 2149-2150, 2151-2152, 2153-2154, 2155-2156, 2157-2158, 2159-2160, 2161-2162, 2163-2164, 2165-2166, 2167-2168, 2169-2170, 2171-2172, 2173-2174, 2175-2176, 2177-2178, 2179-2180, 2181-2182, 2183-2184, 2185-2186, 2187-2188, 2189-2190, 2191-2192, 2193-2194, 2195-2196, 2197-2198, 2199-2200, 2201-2202, 2203-2204, 2205-2206, 2207-2208, 2209-2210, 2211-2212, 2213-2214, 2215-2216, 2217-2218, 2219-2220, 2221-2222, 2223-2224, 2225-2226, 2227-2228, 2229-2230, 2231-2232, 2233-2234, 2235-2236, 2237-2238, 2239-2240, 2241-2242, 2243-2244, 2245-2246, 2247-2248, 2249-2250, 2251-2252, 2253-2254, 2255-2256, 2257-2258, 2259-2260, 2261-2262, 2263-2264, 2265-2266, 2267-2268, 2269-2270, 2271-2272, 2273-2274, 2275-2276, 2277-2278, 2279-2280, 2281-2282, 2283-2284, 2285-2286, 2287-2288, 2289-2290, 2291-2292, 2293-2294, 2295-2296, 2297-2298, 2299-2300, 2301-2302, 2303-2304, 2305-2306, 2307-2308, 2309-2310, 2311-2312, 2313-2314, 2315-2316, 2317-2318, 2319-2320, 2321-2322, 2323-2324, 2325-2326, 2327-2328, 2329-2330, 2331-2332, 2333-2334, 2335-2336, 2337-2338, 2339-2340, 2341-2342, 2343-2344, 2345-2346, 2347-2348, 2349-2350, 2351-2352, 2353-2354, 2355-2356, 2357-2358, 2359-2360, 2361-2362, 2363-2364, 2365-2366, 2367-2368, 2369-2370, 2371-2372, 2373-2374, 2375-2376, 2377-2378, 2379-2380, 2381-2382, 2383-2384, 2385-2386, 2387-2388, 2389-2390, 2391-2392, 2393-2394, 2395-2396, 2397-2398, 2399-2400, 2401-2402, 2403-2404, 2405-2406, 2407-2408, 2409-2410, 2411-2412, 2413-2414, 2415-2416, 2417-2418, 2419-2420, 2421-2422, 2423-2424, 2425-2426, 2427-2428, 2429-2430, 2431-2432, 2433-2434, 2435-2436, 2437-2438, 2439-2440, 2441-2442, 2443-2444, 2445-2446, 2447-2448, 2449-2450, 2451-2452, 2453-2454, 2455-2456, 2457-2458, 2459-2460, 2461-2462, 2463-2464, 2465-2466, 2467-2468, 2469-2470, 2471-2472, 2473-2474, 2475-2476, 2477-2478, 2479-2480, 2481-2482, 2483-2484, 2485-2486, 2487-2488, 2489-2490, 2491-2492, 2493-2494, 2495-2496, 2497-2498, 2499-2500, 2501-2502, 2503-2504, 2505-2506, 2507-2508, 2509-2510, 2511-2512, 2513-2514, 2515-2516, 2517-2518, 2519-2520, 2521-2522, 2523-2524, 2525-2526, 2527-2528, 2529-2530, 2531-2532, 2533-2534, 2535-2536, 2537-2538, 2539-2540, 2541-2542, 2543-2544, 2545-2546, 2547-2548, 2549-2550, 2551-2552, 2553-2554, 2555-2556, 2557-2558, 2559-2560, 2561-2562, 2563-2564, 2565-2566, 2567-2568, 2569-2570, 2571-2572, 2573-2574, 2575-2576, 2577-2578, 2579-2580, 2581-2582, 2583-2584, 2585-2586, 2587-2588, 2589-2590, 2591-2592, 2593-2594, 2595-2596, 2597-2598, 2599-2600, 2601-2602, 2603-2604, 2605-2606, 2607-2608, 2609-2610, 2611-2612, 2613-2614, 2615-2616, 2617-2618, 2619-2620, 2621-2622, 2623-2624, 2625-2626, 2627-2628, 2629-2630, 2631-2632, 2633-2634, 2635-2636, 2637-2638, 2639-2640, 2641-2642, 2643-2644, 2645-2646, 2647-2648, 2649-2650, 2651-2652, 2653-2654, 2655-2656, 2657-2658, 2659-2660, 2661-2662, 2663-2664, 2665-2666, 2667-2668, 2669-2670, 2671-2672, 2673-2674, 2675-2676, 2677-2678, 2679-2680, 2681-2682, 2683-2684, 2685-2686, 2687-2688, 2689-2690, 2691-2692, 2693-2694, 2695-2696, 2697-2698, 2699-2700, 2701-2702, 2703-2704, 2705-2706, 2707-2708, 2709-2710, 2711-2712, 2713-2714, 2715-2716, 2717-2718, 2719-2720, 2721-2722, 2723-2724, 2725-2726, 2727-2728, 2729-2730, 2731-2732, 2733-2734, 2735-2736, 2737-2738, 27

[illegible]

## Summary

EXTERIOR  
ELEVATIONS

1997年	1998年
1999年	2000年
2001年	2002年
2003年	2004年
2005年	2006年
2007年	2008年
2009年	2010年
2011年	2012年
2013年	2014年
2015年	2016年
2017年	2018年
2019年	2020年
2021年	2022年
2023年	2024年
2025年	2026年
2027年	2028年
2029年	2030年
2031年	2032年
2033年	2034年
2035年	2036年
2037年	2038年
2039年	2040年
2041年	2042年
2043年	2044年
2045年	2046年
2047年	2048年
2049年	2050年
2051年	2052年
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2061年	2062年
2063年	2064年
2065年	2066年
2067年	2068年
2069年	2070年
2071年	2072年
2073年	2074年
2075年	2076年
2077年	2078年
2079年	2080年
2081年	2082年
2083年	2084年
2085年	2086年
2087年	2088年
2089年	2090年
2091年	2092年
2093年	2094年
2095年	2096年
2097年	2098年
2099年	2100年

**PROVEN**  
Black red oak and white oak veneers.

**ED ALLEN**  
ED HENNINGWAY BROS. INC.  
HENNINGWAY BROS. CO.

**THE HENNINGWAY GROUP**

**MEET ME2**

A4





EXISTING SITE PHOTO





AERIAL SITE PHOTO

# Summary of Appeal Points

As the basis for their appeal, the appellants mentioned the following concerns:

- *The location of the single-family residence being within the slope control area.*
- *The impacts on views, privacy, sunlight, and property values as a result of the single-family residence.*
- *The zero-foot rear setback for the attached deck not complying with the original conditions of Final Development Plan CDDP74-03014.*

# Staff Responses

- The single-family residence was approved under Compliance Review CDCV24-00040 and is currently being reviewed by the Building Inspection Division under County File BIR25-004601.
- As required by Final Development Plan CDDP74-03014, the residence will comply with R-6 Single-Family Residential District development standards, which sets a 20-foot minimum front yard setback, 5-foot minimum side yard, 15-foot minimum aggregate side yard, 15-foot minimum rear yard, and 35-foot maximum height or 2.5 story maximum height. The approved residence is 31-feet, 9-inches tall where the maximum height allowed is 35-feet, and otherwise meets all minimum yard and setback requirements.
- The attached deck being located in the rear setback is consistent with several neighboring properties, including the adjacent properties, is relatively low to the ground as it is only 2.5-feet above grade, conforms to side yard setback requirements, and is only deviating from R-6 standards in the direction of the water at the rear of the property, where there are no neighbors immediately located. Therefore, the rear yard deck should not have a significant effect on views, privacy, sunlight, or property.
- The slope control area is under the jurisdiction of the Reclamation District. The Reclamation District #800 is a separate entity from Contra Costa County that has separate review requirements that the project proponent is responsible to satisfy. Plans with the Reclamation District's approval stamps were provided showing that the project received District approval on November 7, 2024.



# Staff Recommendation

Staff recommends that the County Planning Commission:

- DENY the appeal by Dave and DeAnna Turcotte.
- FIND that the project is categorically exempt from CEQA under Section 15303(e) of the CEQA Guidelines.
- UPHOLD the Zoning Administrator's approval of County File CDDP24-03056 to modify Final Development Plan CDDP74-03014 to allow a 0-foot rear yard (where 15-feet is the minimum required) for a rear deck that will be attached to a new single-family residence on a vacant lot.
- DIRECT staff to file a Notice of Exemption.



THANK YOU

Questions ?

