



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Planning Commission

Wednesday, July 22, 2026

6:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/81302368821> Webinar ID: 813 0236 8821

Call in: (855) 758-1310 or (408) 961-3928

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Donna Allen, Bob Mankin, Ross Hillesheim, Joseph Calabrigo

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1. PLEDGE OF ALLEGIANCE

2. DEVELOPMENT PLAN: PUBLIC HEARING

- 2a. MAJOR GILL (Appellant/Owner) – SABINO URRUTIA (Applicant), County File CDDP25-03021: This is an appeal of the Zoning Administrator's June 1, 2026, denial of a Small Lot Design Review Development Plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as +12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required. The project site is located at 5980 Camino Tassajara Road in the Danville area of unincorporated Contra Costa County. (Zoning: A-2 General Agricultural District) (Assessor's Parcel Number: 206-200-002) AV

[26-3196](#)

Attachments: [Ex 1 FINDINGS FOR DENIAL.pdf](#)
[Ex 2 Appeal Letter.pdf](#)
[EX 3 Maps.pdf](#)
[Ex 4 Plans.pdf](#)
[EX 5 Correspondence.pdf](#)
[Ex 6 ZA SR 060126.pdf](#)
[Ex 7 CPC Presentation.pdf](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON WEDNESDAY, AUGUST 12, 2026.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-3196

Agenda Date: 7/22/2026

Agenda #: 2a.

Project Title: Small Lot Design Review Development Plan for a New Single-Family Residence

County File: #CDDP25-03021

Appellant: Major Gill

Applicant: Owners: Sabino Urrutia, Elevation Design + Consulting Kulwant & Major Gill

Zoning/General Plan : A-2 General Agricultural District / AL Agricultural Lands (AL)

Site Address/Location : 5980 Camino Tassajara Road, Danville (APN: 206-200-002)

California Environmental Quality Act (CEQA) Status: Categorical Exemption, CEQA Guidelines Section 15303(a) New Construction - One Single-Family Residence

Project Planner: Adrian Veliz, Senior Planner, (925) 655-2879
adrian.veliz@dcd.cccounty.us

Staff Recommendation: Deny the Appeal (See Section II for full recommendation)

I. PROJECT SUMMARY

This is an appeal of the Zoning Administrator's June 1, 2026, denial of a Small Lot Design Review Development Plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural -zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as ±12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection

and conveyance to an adequate storm drain system or adequate natural watercourse is required.

II. RECOMMENDATION

The Department of Conservation and Development, Community Development Division (CDD) staff recommend that the County Planning Commission:

- A. OPEN the public hearing, RECEIVE testimony and CLOSE the public hearing.
- B. FIND that the project is categorically exempt from CEQA under Section 15303(a) of the CEQA Guidelines.
- C. DENY the appeal of Major Gill.
- D. Deny the Small Lot Design Review Development Plan, County File CDDP21-03021,
- E. DIRECT staff to file a Notice of Exemption with the County Clerk.

III. GENERAL INFORMATION

- A. General Plan: AL Agricultural Lands Designation.
- B. Zoning: A-2 General Agricultural District
- C. California Environmental Quality Act (CEQA): CEQA Guidelines Section 15303(a) New Construction, Class 3 exemption for the construction of a single-family residence within a residential district.

IV. BACKGROUND

On May 13, 2025, the CDD received an application for a Small Lot Design Review (CDSL25-

00044) for the proposed residence. On June 18, 2025, the Community Development Division (CDD) staff mailed a Notice of Opportunity to Request a Public Hearing to property owners within 300 feet of the project site boundaries. CDD staff received comments from three respondents, two of which included a request for a public hearing on the matter. Due to the public hearing requests, the project proponent subsequently submitted this Small Lot Design Review Development Plan application on August 12, 2025, to allow for the continued processing of the proposed project.

The Development Plan was subsequently added to the Zoning Administrator's agenda for the public hearing held on March 16, 2026. During the meeting, the Zoning Administrator (ZA) opened the public hearing and heard testimony from the applicant in support of the project. Additionally, three neighboring property owners appeared, indicating concerns with the scale of the proposed home, its appearance, site drainage concerns, and concerns over the availability of ground water to serve the project. After discussion, the ZA raised aesthetic concerns relating to the project compatibility with the rural character of the Tassajara Valley and determined that revisions to the proposed residential design were necessary to establish neighborhood compatibility. The ZA continued the item as an open public hearing to the hearing scheduled for April 20, 2026, to allow additional time for the project proponent to consider potential project revisions. On April 8, 2026, a revised plan was submitted for CDD staff review. At the continued public hearing held on April 20, 2026, the ZA advised that the item would be continued again to allow sufficient time for CDD staff review of the revised submittal.

The project was next agendized for the ZA's consideration at the public hearing held on June 1, 2026. The ZA acknowledged that the revised project included a modified roofline and landscape screening would improve the project aesthetics. Nevertheless, the ZA noted that no substantive discussions with the concerned neighbors had occurred and the square footage of the home was not reduced as had been previously requested. For these reasons, the Zoning Administrator denied the Development Plan application based on a finding that the size of the home is incompatible with the surrounding neighborhood. On June 1, 2026, CDD staff received a valid written appeal of the Zoning Administrator's decision.

V. SITE/AREA DESCRIPTION

The subject property consists of approximately 1.95 acres of agricultural-zoned land addressed 5980 Camino Tassajara in the Danville area of unincorporated Contra Costa County. The subject property has an approximately 204-foot-wide frontage along the western side of Camino Tassajara, a public right-of-way providing vehicular access to the site. The subject property is relatively flat near the frontage (i.e. easterly portions of the site) as compared to the open space hillsides which begin to take rise near the rear (western) property boundaries and beyond. The site lacks buildings or structural improvements and predominantly consists of short-mown grasslands completely devoid of trees/shrubs.

The project vicinity consists of lands also located within agricultural zoning districts (e.g. A-2, A-20, A-40, A-80). The project site is abutted to the west by several hundred acres of open space hillside lands within an Agricultural Preserve (A-80) zoning district and to the east by the Camino Tassajara public right of way. Tassajara creek is located approximately ¼ mile east of the project site. The north/south stretch of Camino Tassajara in the project vicinity generally follows the course of Tassajara Creek, within a relatively flat valley between prominent open space hillsides. The vast majority of open space hillside lands in the surrounding area consists of larger (80+ acres) within A-80 zoning districts which has a minimum parcel size of 80-acres. There are also numerous smaller parcels between 1-to-15 acres in area within General Agricultural (A-2) district, in which the minimum parcel size is 5-acres. The smaller A-2 zoned parcels are generally concentrated along Camino Tassajara Road between Bruce Drive and Highland Avenue, and many have been improved with single-family residences consistent with permitted land uses within A-2 districts.

Established land uses on adjoining agricultural lands include a variety of established agricultural, public, commercial, and residential land uses. The subject property is one of five contiguous “substandard lots” (i.e. A-2 zoned parcels less than 5 acres in area) located along the western side of Camino Tassajara between Highland Road and Johnston Road. Development on the nearby substandard lots includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-

family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

VI. PROJECT DESCRIPTION

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as $\pm$ 12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required. Lastly, the project includes landscape screening in the form of uniformly spaced trees planted around the entirety of the subject property.

VII. APPEAL

An appeal letter from the project proponent was received by CDD staff on June 1, 2026. The appeal letter (included with this report in Exhibit 2) cites several appeal points as the basis for this appeal. The appeal points are summarized below followed by a staff response to each.

A. Summary of Appeal Point #1: The denial is based on the personal opinion of the Zoning Administrator (ZA) and is not supported by any identified code provision.

Staff Response: The ZA denied the project pursuant to County Ordinance Code Section 82-10.002(c), which authorizes the ZA to exercise discretion in determining neighborhood

compatibility in terms of height, size, location and design. In denying the application on June 1, 2026, the ZA stated that he does not believe the proposed residence is compatible with the surrounding neighborhood in terms of size. Although such discretionary determinations inherently involve a certain degree of subjectivity, the ZA has nonetheless exercised his discretion in a manner consistent with the criteria specified under said ordinance.

B. Summary of Appeal Point #2: The denial was not based on an objective standard and offered no guidance as to an acceptable home size. Therefore, it amounts to an arbitrary administrative decision.

Staff Response: The appellant correctly notes that a small lot design review ordinance does not entail any square-footage or floor area ratio restrictions for residential development on substandard lots. However, the Zoning Administrator specifically mentioned concerns with the size of the proposed residence during the initial public hearing held on March 16, 2026. In spite of the ZA's stated concerns, the appellant did not reduce the size of the residence in revised project plans. The consensus among those opposed to the project suggest that only homes 3,000 square feet or less should be considered compatible in the surrounding rural area. The project proposes ±11,000 square feet of living space. Given that the project was denied on the basis of size - and the significant disconnect in opinions amongst neighbors regarding appropriate home sizes for the area - it is understandable that the project proponent would welcome additional guidance from the ZA in determining how large is "too large". Nevertheless, the decision that was placed before the ZA was an up or down determination on the project, as proposed by the applicant. In denying the project on the basis of incompatible size, the ZA decision was consistent with the criteria specified in the small lot design review ordinance (County Ordinance Section 82-10.002[c]). It is not incumbent upon the ZA to redesign a project or otherwise direct an applicant on how a project should be revised upon rendering such a decision to deny a project.

C. Summary of Appeal Point #3: The ZA's findings are contradicted by existing large residential and agricultural buildings in the vicinity. The appellant contends that existing large homes in the area, including a nearby home addressed 1046 Country Lane having nearly

identical building mass on a similarly sized small lot (2.5 acres) were inappropriately excluded from the ZA consideration in determining neighborhood compatibility. The appellant also notes that large agricultural buildings comparable in size to that proposed with this project exist on nearby commercial equestrian centers and that the size of these buildings should also be considered as contributors to the established rural character in the Tassajara Valley.

Staff Response: In rendering the decision on June 1, 2026, the Zoning Administrator acknowledged that the County has previously approved homes as large as 30,000 square feet in area on substandard lots. It was specified that in this case, the neighborhood opposition weighed heavily into the decision and is what differentiates this project from other large homes that the County has previously found to be compatible under the Small Lot Design Review process.

D. Summary of Appeal Point #4: The denial was improperly influenced by prejudicial opposition testimony. The appellant contends that neighbors opposed to the project mischaracterized the surrounding neighborhood as a community of modestly sized homes, a characterization the appellant states are belied by the primarily commercial land uses established on adjoining lands. The appellant also states that inaccurate characterizations of him and his willingness to engage in discussions with the neighbors improperly influenced the ZA decision.

Staff Response: The ZA consideration of neighborhood compatibility was specifically limited to comparison of existing residences in the area, excluding non-residential improvements. This has consistently been the standard of review for prior small lot design reviews for which a public hearing was requested. Personal characterizations of the project proponent did not appear to figure prominently in the verbal/written comments submitted by neighboring property owners. The primary concerns expressed by the neighbors related to the size, appearance, and associated water usage entailed by the project. The appellant does not provide anything beyond their stated opinion which demonstrates that any such

characterization improperly affected the decision on the project.

E. Summary of Appeal Point #5: The project meets all review criteria (size, location, height, design) specified in the Small Lot Ordinance.

Staff Response: The small lot ordinance (County Ordinance Section 82-10.002[c]) authorizes the Zoning Administrator to determine neighborhood compatibility for the proposed project in terms of size, location, height, and design. The proposed project would meet all development standards for residential construction within the A-2 zoning district in which it is located. Nevertheless, in evaluating the comments received from surrounding neighbors, and comparing the size of the project to other existing residences in the vicinity, it has been determined that the project is substantially larger than virtually all other existing homes in the vicinity. Therefore, the project has been found to be incompatible with the surrounding neighborhood in terms of size, pursuant to the small lot ordinance.

VIII. STAFF ANALYSIS

A. Small Lot Design Review: Pursuant to County Ordinance Section 82-10.002(c), the Zoning Administrator may determine neighborhood compatibility in terms of location, size, height, and design for projects proposed on lots of substandard area or average width (i.e. “small lots”). The neighborhood compatibility for the proposed project, as determined June 1, 2026, by the County Zoning Administrator, is discussed below:

1. Location. The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space

hillsides comprising nearby hilltops having peak elevations ranging between one to two hundred feet higher than that of the building pad.

In denying the project on June 1, 2026, the Zoning Administrator raised no concerns specific to the location of the homesite on the subject property. Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project is surrounded by landscape screening around the entire project perimeter, the project is at an appropriate location upon the subject property.

2. Size. The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and several examples of large custom-built estates exist in the project vicinity, including A-2 zoned lands located along Camino Tassajara between Finey Road and Highland Road. County Assessor's data indicates that the largest existing homes within one mile of the project site include ten (10) two-story homes within A-2 district that range between 6,021 to 8,690 square feet in living area.

The most comparable nearby existing large home is a property addressed 1046 Country Lane (APN 204-070-032), located approximately 0.85 miles north of the project, County Assessor's data indicates that the existing residence on this 2.25-acre (substandard) parcel consists of 7,971 square feet of living area. Including approximately 2,381 square feet of attached first-floor garage and storage areas, this home has a building footprint of 8,529 square feet, exceeding that of the current project. At 34'9" in height, this existing residence is consistent with the project in terms of height/footprint yet is still significantly smaller in terms of square-footage. There are multiple examples of additional two-story homes on Bruce Drive having apparently similar bulk/height as the Major residence, but

in all cases the proposed project significantly exceeds even the largest of these nearby existing residences in terms of conditioned living area (in square feet). One additional example of a large-scale residence in the area is the residence addressed 8650 Camino Tassajara, which is outside of the immediate project vicinity but within the Tassajara Valley area and consists of 29,291 square feet in living area. In denying the project, the Zoning Administrator acknowledged the existence of the larger home within Tassajara Valley, but did not find this fact alone to be sufficient to establish neighborhood compatibility. Based on the fact that the project would result in a home size that substantially exceeds that of virtually all existing homes within the Tassajara Valley area, the project is found to be incompatible with existing residential development existing in the immediate vicinity in terms of size.

3. Height. Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are numerous examples of homes having both one-story and two-story designs in rural residential areas within the Tassajara Valley. Within a quarter-mile of the project, there is about an even ratio of single-story ranch style homes to multi-story homes. Further north of the project site on Bruce Drive, large two-story residences are even more prevalent, if not predominant on similarly zoned parcels. Furthermore, there are several instances of multi-story homes on parcels adjacent to and visible from Camino Tassajara right-of-way in the project vicinity, including multiple such homes at the intersections of Camino Tassajara and Johnston Road, and at Bruce Drive. Therefore, the introduction of a multi-story home at the project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within identical zoning district.
4. Design. The residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large "U" shaped interior courtyard at the front of the home and garage. The exterior of the home would incorporate a combination of stucco, wood paneling, and

decorative stonework. The project includes an open-faced gable over the front entryway, meant to resemble the character of the surrounding rural area, with a pitched hip roof covering most of the two-story residence. The two-story design of the home is substantially compatible with other larger estate-style homes in the vicinity, including existing two-story and three-story homes exceeding 30 feet in height prominently visible along the Camino Tassajara right-of-way north of the project.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along Camino Tassajara adjacent to the site reflects an area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development, the project would have minimal potential for the design to conflict with the surrounding rural character. Since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative

consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

- B. Neighborhood Outreach: At the public hearing held on March 16, 2026, the Zoning Administrator (ZA) encouraged the project proponent to reach out to discuss the project with their neighbors, noting that several of them appeared in opposition to the project based on the proposed size and design. During the public hearing held on June 1, 2026, the ZA expressed disappointment that the project proponent had neither reduced the square-footage of the project nor conducted neighborhood outreach despite receiving encouragement to do both. The project was ultimately denied based on the ZA determination that the size of the proposed home was incompatible with the surrounding neighborhood, however the ZA also cited the lack of neighborhood outreach as a factor in this decision.

After appealing the ZA decision, for which the lack of neighborhood outreach was specifically cited as a factor, the appellant emailed four neighboring property owners on June 5, 2026, requesting a video conference meeting with the neighbors. The appellants provided a time window for which they could accommodate such a meeting for each date between June 6th through June 14th 2026. After not receiving a response to this email, the appellant again emailed their concerned neighbors on June 19, 2026, to reiterate their meeting request. The appellant provided additional availability for the following week (June 22 to June 27, 2026). In response to the June 19th email, neighboring property owners Bauman and Oas respectively declined the meeting request and instead suggested that a substantial reduction of the proposed home size would be necessary as a precondition to further discussions. The appellant did not attempt additional neighborhood outreach after the June 19th email given the lack of engagement from the neighboring property owners.

IX. CONCLUSION

The proposed residence has been found incompatible with the surrounding neighborhood in terms of size. The project proponent has not revised the project to reduce the square-footage

subsequent to the Zoning Administrator's denial of the project. Therefore, staff recommends that the Commission deny the appeal and uphold the Zoning Administrator decision to deny the Small Lot Design Review Development Plan.

X. EXHIBITS

Exhibit 1: Findings For Denial

Exhibit 2: Letter of Appeal received on June 1, 2026

Exhibit 3: Maps

Exhibit 4: Plans

Exhibit 5: Correspondence between Appellant and Neighbors

Exhibit 6: Staff Report for June 1, 2026, Zoning Administrator Meeting

Exhibit 7: PowerPoint Presentation

**FINDINGS IN SUPPORT OF DECISION TO DENY COUNTY FILE #CDDP25-03021;
SABINO URRUTIA, ELEVATION DESIGN + CONSULTING (APPLICANT) KULWANT &
MAJOR GILL (OWNERS)**

The project includes a Small Lot Design review for a proposed two-story single-family residence having a gross floor area of $\pm 13,832$ square feet on an agricultural-zoned parcel of substandard area.

The County Planning Commission denies the proposed Small Lot Design Review Development Plan application on the following grounds and finds as follows:

FINDINGS:

1. The proposed residence is incompatible with the surrounding neighborhood in terms of location, size, height, and/or design.

- Size: The project includes a two-story, seven-bedroom residence consisting of 13,832 square feet within an 8,264-square-foot building footprint. Existing residences on adjacent properties range from 2,066-to-4,305 square feet in area. Thus, the project would result in a home substantially larger than existing homes on adjacent lands as well as nearly every other existing home in the Tassajara Valley area. Only one home is known to exist within the area that is larger than the proposed project. That existing home is located at 8650 Camino Tassajara and includes $\pm 29,000$ square feet of living area. It is also on a much larger 20-acre lot and is not considered comparable to the proposed development on property 2 acres in area. Thus, existing homes of larger or comparable size are considered outliers, and the size of the proposed residence is still considered substantially out of scale, and therefore incompatible with the surrounding neighborhood.
- Location: The project proposes the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. Considering that the project complies with all development

standards applicable to residential development within the A-2 district the project is at an appropriate location upon the subject property. No concerns specific to the location of the homesite on the subject property as cited as the basis for this denial.

- Height: The proposed project consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. Within a quarter-mile of the project, there is about an even ratio of single-story ranch style homes to multi-story homes. The introduction of a multi-story home at the project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within identical zoning district. Therefore, two-story design is consistent with existing one-story and two-story homes in the project vicinity. No concerns specific to the project height are cited as the basis for this denial.
- Design: The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development, the project would have minimal potential for the design to conflict with the surrounding rural character. No concerns specific to the project design are cited as the basis for this denial.

APPEAL OF ZONING ADMINISTRATOR DECISION

To: Contra Costa County Planning Commission

Date of Appeal:	June 2, 2026
Appellant:	Major Gill
Property Address:	5980 Camino Tassajara, Pleasanton, CA 94588
APN:	206-200-002
County File:	CDSL25-00044
Decision Being Appealed:	Zoning Administrator Denial of Small Lot Design Review — June 1, 2026
Appeal Deadline:	June 11, 2026 (10 calendar days from decision)
Appeal Filed To:	Contra Costa County Planning Commission 30 Muir Road, Martinez, CA 94553
Appellant Phone:	_____
Appellant Email:	_____

Dear Planning Commission,

Appellant Major Gill hereby appeals the Zoning Administrator's denial, issued June 1, 2026, of the Small Lot Design Review application for a new single-family residence at 5980 Camino Tassajara. The denial was based solely on the Zoning Administrator's stated opinion that the proposed home is 'too big for a substandard lot.' No specific code provision was cited. No maximum square footage, floor-area ratio, or objective size standard was identified. No guidance was offered as to what size would be acceptable.

This appeal is brought on the grounds that the Zoning Administrator's findings are not supported by evidence in the record, that the denial does not comply with the applicable legal standard under County Code Section 82-10.002(c), and that the decision is arbitrary in the absence of any identified code provision or objective standard supporting it.

GROUND I: THE DENIAL IS NOT SUPPORTED BY ANY IDENTIFIED CODE PROVISION

Appeal
Point #1

The Zoning Administrator denied this application with a single subjective statement: the proposed home is 'too big for a substandard lot.' No code section was cited. No floor-area ratio was referenced. No square footage maximum was identified. This is not a legal finding — it is a personal opinion, and personal opinions cannot form the basis for denial of a land use application.

Under Contra Costa County Ordinance Code Section 82-10.002(c), the Zoning Administrator may approve, conditionally approve, or deny a Small Lot Design Review based on four specific criteria: SIZE, LOCATION, HEIGHT, and DESIGN — all evaluated against compatibility with the neighborhood. The code does not:

Appeal
Point #2

- Establish a maximum square footage for homes on substandard lots;
- Set a floor-area ratio (FAR) limit for Small Lot Design Review applications;
- Require that homes on substandard lots be smaller than homes on conforming lots; or
- Authorize denial based on the Zoning Administrator's subjective expectation of appropriate size.

The sole legal question on the SIZE criterion is whether the proposed home is compatible with the surrounding neighborhood. The Zoning Administrator made no finding of neighborhood incompatibility supported by evidence. The statement that the home is 'too big for a substandard lot' is not such a finding — it is a conclusory opinion untethered to any code standard or evidentiary basis.

A denial that cites no code provision, identifies no objective standard, and offers no guidance as to what size would be acceptable is the definition of an arbitrary administrative decision. The Planning Commission should reverse this denial on that basis alone.

GROUND II: THE FINDINGS ARE CONTRADICTED BY SUBSTANTIAL EVIDENCE IN THE RECORD

Even if the Zoning Administrator's size concern were grounded in the compatibility standard — which it is not — the evidence in the record directly contradicts a finding of incompatibility. The following comparable properties were presented to the Zoning Administrator and are part of the hearing record:

Appeal
Point #3

Property	Size	Significance
1046 Country Lane Pleasanton, CA 94588 (same zip code)	7,971 sq. ft. Rural Residence Built 1974	Nearly identical in size to the proposed 8,284 sq. ft. home. Same zip code. Same rural Pleasanton community. Has existed for over 50 years. Directly disproves the incompatibility finding.

Appeal
Point #3

5959 Camino Tassajara (same road)	\$12,000,000 Multiple large structures	Iron Horse Equestrian Center — commercial equestrian campus on the same road. Owned by lead opponent Chuck Baumann.
5901 Camino Tassajara (same road)	4,626 sq. ft. 6 beds, 10.81 acres	Large single family home on same road, built 1960.
6621 Johnston Road (same intersection)	New SFR Small Lot Review Approved	County File CDLP23-02056. County itself approved new home on substandard lot on the same road. Cannot be reconciled with a denial here on size grounds.
Tassajara Lane (same valley)	3,500–5,000+ sq. ft. homes	High-end development, \$2M–\$5M range. Same Tassajara Valley corridor.

The existence of a 7,971 sq. ft. rural residence at 1046 Country Lane in the same zip code — built over 50 years ago — means that a home of nearly identical size has been part of this community since 1974. The proposed Major Residence at 8,284 sq. ft. is 313 square feet larger than an already-existing neighborhood home. It cannot be found incompatible with the neighborhood on size grounds when a home of virtually the same size already exists in the same community.

Furthermore, the County's own approval of a new single-family residence on a substandard lot at 6621 Johnston Road (County File CDLP23-02056) — on the same road that intersects Camino Tassajara — establishes that the County approves new residential construction on substandard lots in this very corridor. The Zoning Administrator's denial is inconsistent with the County's own prior actions.

GROUND III: THE DENIAL WAS IMPROPERLY INFLUENCED BY PREJUDICIAL OPPOSITION TESTIMONY

The opposition to this project was led entirely by three neighbors who each operate commercial businesses from their residential parcels:

- **Brian Oas — 5800 Camino Tassajara:** All-Star Swim School — commercial swimming instruction, open to public Mon–Fri since 1998.
- **Shane Garreny — 5990 Camino Tassajara:** Diablo K9 Academy — commercial pet sitting and boarding service.
- **Chuck Baumann — 5959 Camino Tassajara:** Iron Horse Equestrian Center — \$12,000,000 commercial equestrian facility.

These commercial operators repeatedly and falsely characterized the Tassajara Valley as a community of 'modestly sized homes' — a characterization directly contradicted by the evidence above. Mr.

Appeal
Point #4

Appeal
Point #4

Baumann further referred to Major Gill as a 'developer' — a deliberate mischaracterization designed to prejudice the proceeding. Major Gill is a private property owner building his family's residence. His name appears on every sheet of the plan set as the owner.

Mr. Baumann also claimed Major Gill refused to meet with neighbors. This claim is false — no formal, written, or documented meeting request was ever received by Major Gill. This unsubstantiated claim should have been disregarded by the Zoning Administrator and should be disregarded by the Planning Commission.

The Planning Commission should carefully evaluate whether the Zoning Administrator's denial was driven by the weight of organized commercial opposition rather than by a legally sound application of Section 82-10.002(c).

GROUND IV: ALL FOUR REVIEW CRITERIA ARE SATISFIED

SIZE: Compatible with the neighborhood. 1046 Country Lane (same zip code) = 7,971 sq. ft. 5901 Camino Tassajara = 4,626 sq. ft. 5959 Camino Tassajara = \$12M commercial campus. Tassajara Lane homes = 3,500–5,000+ sq. ft. No code provision limits square footage beyond the compatibility standard.

LOCATION: Front setback = 83.95 ft (required minimum: 50 ft). Rear setback = 40 ft. All side setbacks comply with A-district requirements. No encroachments into any required setback. The home is not built to minimum setbacks — it is set back generously on all sides.

HEIGHT: The neighboring property to the left sits at a higher natural grade than 5980 Camino Tassajara, as documented in the topographic survey (Sheet TP-1). A two-story home on lower ground cannot overlook or impose upon a neighbor at higher elevation. The Contemporary Farmhouse gabled roofline further reduces visual massing.

DESIGN: The submitted plans feature a Contemporary Farmhouse exterior with prominent pitched and gabled roof forms on all four elevations (Sheets A4.0, A5.0) and 3D renders (Sheet A6.0). This style is compatible with and expressive of the rural agricultural character of the Tassajara Valley. Section 82-10.002(c) requires compatibility — not uniformity, and not conformity to neighbor preferences.

RELIEF REQUESTED

Appellant Major Gill respectfully requests that the Planning Commission REVERSE the Zoning Administrator's denial of County File CDSL25-00044 and APPROVE the Small Lot Design Review for the proposed new single-family residence at 5980 Camino Tassajara as designed and submitted.

Specifically, Appellant requests that the Planning Commission:

1. Find that the Zoning Administrator's denial is not supported by any identified code provision or objective standard and is therefore arbitrary;
2. Find that the substantial evidence in the record — particularly 1046 Country Lane (7,971 sq. ft., same zip code) and the County's own approval at 6621 Johnston Road — establishes neighborhood compatibility on the SIZE criterion;
3. Find that all four criteria under Section 82-10.002(c) are satisfied; and
4. Approve the Small Lot Design Review and direct staff to process the building permit application.

Appellant is available to provide any additional documentation, attend the Planning Commission hearing, and address any questions the Commission may have. Appellant respectfully requests that this appeal be scheduled at the earliest available Commission date given the time already invested in this application across three public hearings.

Respectfully submitted,

Major Gill

Appellant / Owner — 5980 Camino Tassajara, Pleasanton, CA 94588

APN: 206-200-002 | County File: CDSL25-00044

Date: June 2, 2026

Phone: _____

Email: _____

cc: Elevation Design + Consulting (Sabino Urrutia) — Job #23-010 / 22-039

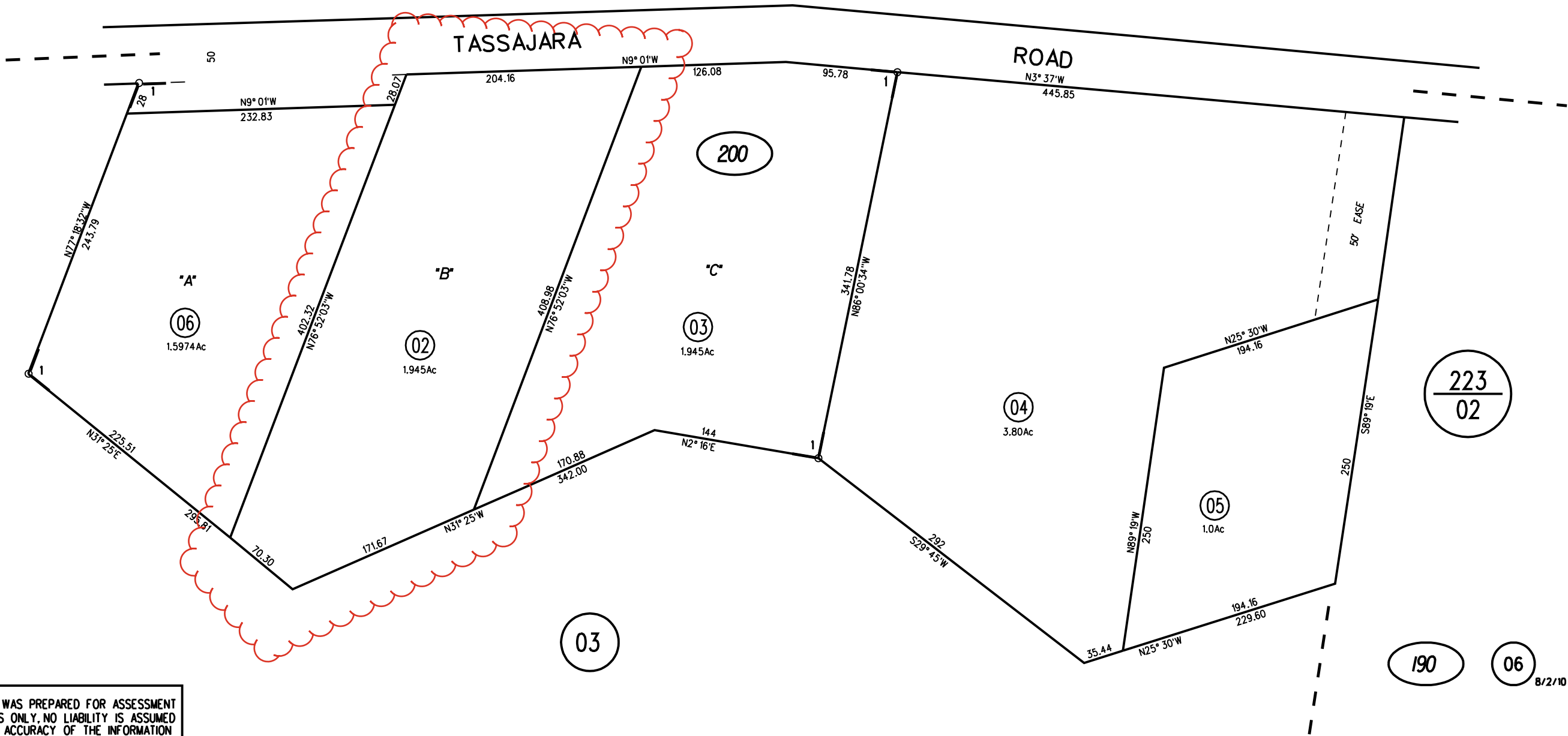
[Land Use Attorney, if retained]

County File CDSL25-00044

POR SEC 4 T2S R1E MDBM
1- 27LSM20 4/22/64 1975 ROLL

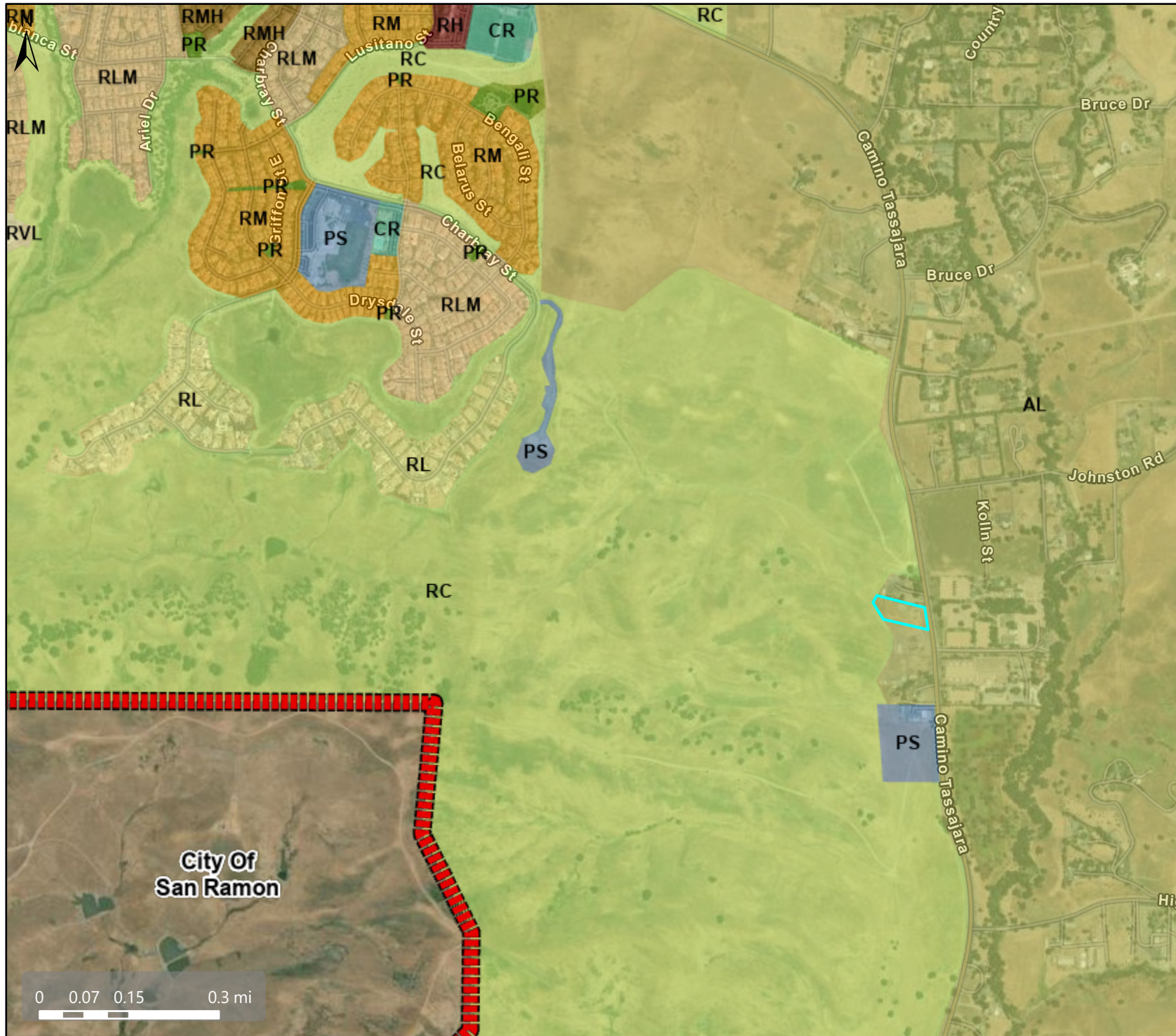


PB
205



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

General Plan: Agricultural Lands (AL)



Map Legend

- County Border
- Planning Layers (DCD)**
- General Plan**
 - RVL (Residential Very-Low Density) (≤ 1 du/na)
 - RL (Residential Low Density) (1-3 du/na)
 - RLM (Residential Low-Medium Density) (3-7 du/na)
 - RM (Residential Medium Density) (7-17 du/na)
 - RMH (Residential Medium-High Density) (17-30 du/na)
 - RH (Residential High Density) (30-60 du/na)
 - PS (Public and Semi-Public)
 - CR (Commercial Recreation)
 - PR (Park and Recreation)
 - RC (Resource Conservation)
 - AL (Agricultural Lands) (1 du/10 ac) (1 du/20 ac in DPZ)
- City Limits

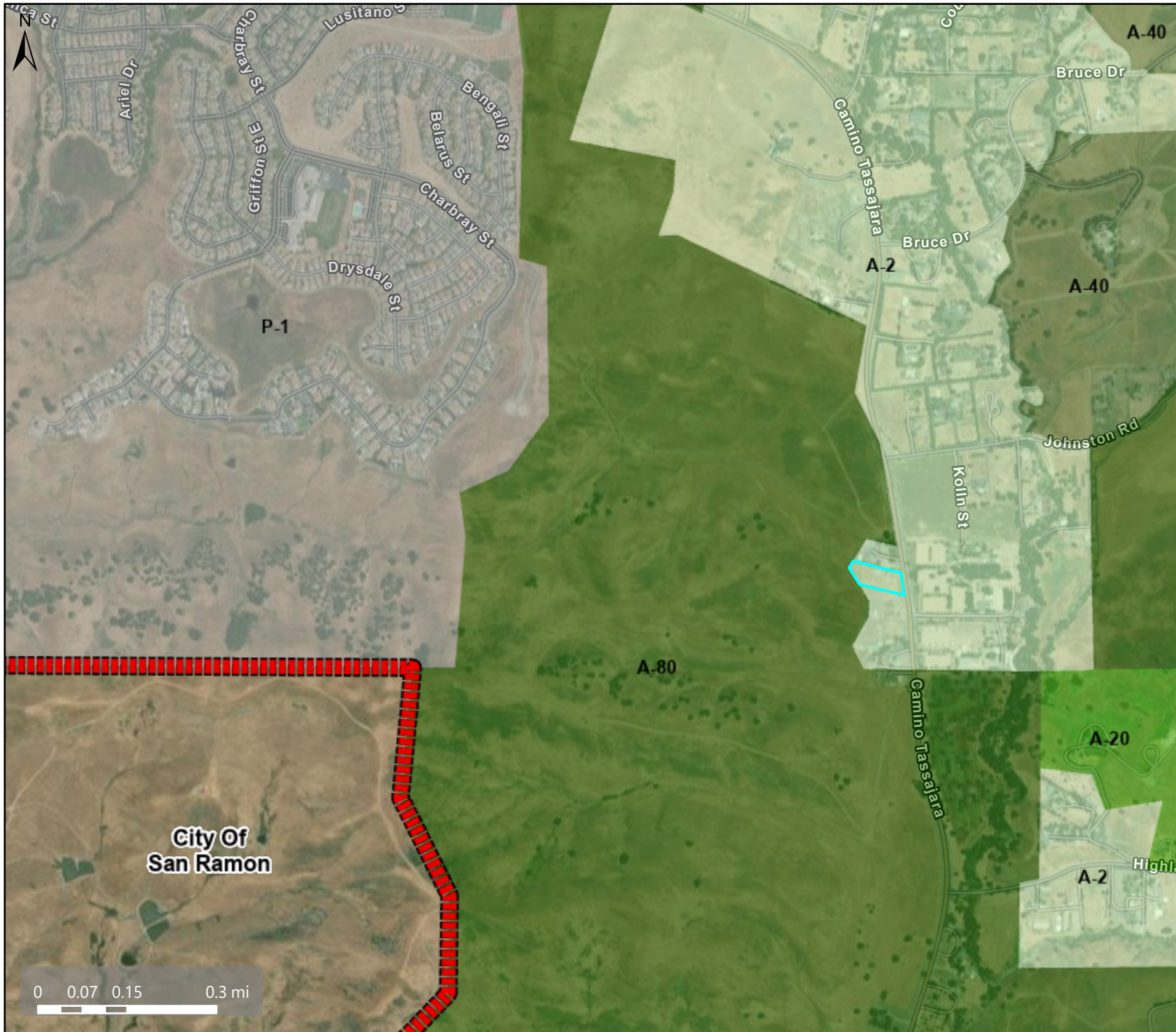
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THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

Zoning: General Agricultural District (A-2)



Map Legend

County Border

Planning Layers
(DCD)

Zoning

ZONE_OVER

A-2 (General Agriculture)

A-20 (Exclusive Agriculture)

A-40 (Exclusive Agriculture)

A-80 (Exclusive Agriculture)

P-1 (Planned Unit)

City Limits

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

Aerial



Map Legend

-  County Border
-  Assessment
-  Parcels

206200006

206200002

206200003

Camino Tassajara

0 0.01 0.01 0.02 mi

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

RECEIVED on 04/08/2026 CDDP25-03021
By Contra Costa County
Department of Conservation and Development

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS & ANY OTHER DISCREPANCIES FOR ACCURACY PRIOR TO THE START OF CONSTRUCTION. ANY & ALL DISCREPANCIES FOUND TO BE BROUGHT TO DRAFTSMAN / ENGINEER'S ATTENTION. ANY STRUCTURAL CHANGES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO FIELD CHANGE. IT IS FURTHER NOTED THAT THE APPROVED RECORD SET OF DRAWINGS BY THE BUILDING DEPARTMENT IS THE CONTRACTOR'S FINAL WORKING PLANS.

DESIGN AND CONSTRUCTION OF EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2.1(1) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2.1(2) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.



PROJECT SIZE & TYPE (S.F.R.)

MAIN FLOOR LIVING SPACE	5,806 S.F.
SECOND LEVEL LIVING SPACE	5,548 S.F.
6- CAR GARAGE	1,079 S.F.
COVERED PATIO	932 S.F.
BACK PATIO	527 S.F.
FRONT PORCH	807 S.F.

TOTAL CONSTRUCTION PROJECT	13,832 S.F.
TOTAL BUILDING AREA	2,884 S.F.

TOTAL BUILDING AREA	8,284 S.F.
LOT SIZE	1.945 ACRES

CONSTRUCTION STYLE	MODERN
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	NO
ZONING	RESIDENTIAL
LAND USE	SINGLE FAMILY DWELLING

- CONSTRUCTION OF A TWO STORY; 7 BEDROOM, 1 OFFICE, 1 PRAYER ROOM, 1 THEATER, 6 FULL BATHS, WITH 1 6-CAR GARAGE

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
ACCESSIBILITY CODE	2022 ANSI A117.1 ACCESSIBILITY CODE
HEALTH DEPARTMENT	2022 CALIFORNIA HEALTH CODE
RESIDENTIAL CODE	2022 CALIFORNIA RESIDENTIAL CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
GREEN CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

1. CONSTRUCTION OF PLUMBING WALLS IN RESIDENTIAL CONSTRUCTION TO BE OF SUFFICIENT DEPTH TO ACCOMMODATE ANY REQUIRED DRILLING OR NOTCHING. CLEAN OUTS TO BE IN PLACE AT TIME OF UNDER FLOOR/PRESLAB INSPECTION.
2. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE ABOVE LISTED CODES AND ALL OTHER PUBLICATIONS NOTED HEREIN.
3. DETAILS SHOWN ON THE STRUCTURAL DRAWINGS ARE TYPICAL AND SIMILAR DETAILS SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
4. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE ON THE PLANS. ANY DISCREPANCIES ON DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER
5. THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ALL THE ERRORS IN DETAILING, FABRICATION, AND THE CORRECT FITTING OF THE STRUCTURAL MEMBERS.
6. NAILING SHALL BE IN COMPLIANCE WITH THE TABLE R602.3.(1) CRC
7. TRUSS CLIPS SHALL BE PROVIDED AT ALL INTERIOR PARTITIONS WITH 1/2" CLEARANCE FROM TOP PLATE OF PARTITION AND BOTTOM CHORD.
8. PROVIDE A DOUBLE TOP PLATE WITH A MINIMUM 48 INCH LAP SPLICE AND NAILED AT EACH END WITH 16d NAILS.
9. ALL HEADERS TO BE 4x12 D.F. NO.1 UNLESS OTHERWISE NOTED.
10. PLYWOOD SHEATHING OVER EXPOSED EAVES, OR OTHER EXPOSED AREAS, ARE TO BE EXTERIOR, EXPOSURE 1 OR CC PLUGGED.
11. PROVIDE SOLID BLOCKING AT EXTERIOR WALLS ON TRUSSED ROOFS.
12. PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR AND STUD WALLS TO BE STUCCOED.
13. AN A.I.T.C. CERTIFICATE FOR EACH GLUE LAMINATED TIMBER SHALL BE AVAILABLE AT THE JOB SITE.
14. EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE A MINIMUM OF 24 INCHES.
15. NEED TO SUBMIT COMPACTION TEST BEFORE FIRST INSPECTION REQUEST.
16. "HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION".

TR	SHEET	DESCRIPTION
	CS	COVER SHEET AND NOTES
ARCHITECTURAL	TP-1	TOPOGRAPHIC SURVEY
	OWTS	ONSITE WASTE TREATMENT SERVICE
	A1.0	SITE PLAN AND STORMWATER CONTROL PLAN
	A2.0	MAIN FLOOR PLAN
	A3.0	ARCHITECTURAL DETAILS
	A4.0	ELEVATION PLAN
	A5.0	ELEVATION PLAN
	A6.0	RENDER ELEVATIONS

SITE AREA:

SAVINO IASSAJARA

HIGHLAND RD

OWNER:
MAJOR GILL
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588

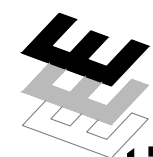
ARCHITECT DESIGNER
ELEVATION DESIGN + CONSULTING
915 13TH STREET
MODESTO, CA. 95354
209-872-2099 (SABINO URRUTIA)
elevation-dc@outlook.com

[illegible]

MAJOR RESIDENCE

INO TASSAJARA.
NTON, CA. 94588
A.P.N #

COVER SHEET AND NOTES



elevation
DESIGN + CONSULTING

SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	23-010
Scale:	AS NOTED
Date:	4/8/26
Drawn By:	SCU
Checked By:	JM

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SHEET:

CS



KEY NOTES

- (E) EXISTING
- PERCOLATION HOLE
- SOIL PROFILE TEST PIT

BASE PLAN AND TOPOGRAPHY MAP PREPARED BY RENE SERRANO
DATE: 01/23/2025
CONTOUR INTERVALS = 2'

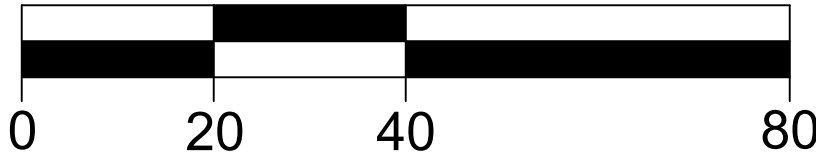
PROPOSED OWS DISPOSAL FIELD LOCATION

SCALE: 1" = 20'

PERCOLATION TEST RESULTS SUMMARY			
PERCOLATION HOLE #	DEPTH HOLE	SOIL PERCOLATION RATE (MPI)	AVERAGE RATE (MPI)
P1	18"	22	8
P2		3	
P3		3	
P4		9	
P5		5	
P6		6	

WASTEWATER APPLICATION RATE: 0.914 GPD/FT²
(PER CONTRA COSTA COUNTY HEALTH OFFICER REGULATIONS FOR SEWAGE COLLECTION AND DISPOSAL APPENDIX 1 FOR PERCOLATION RATE OF 8 MPI)

SCALE 1" = 20'



VICINITY MAP

SCALE: N.T.S.

SCOPE OF WORK: SOIL PROFILE AND PERCOLATION FOR FUTURE
ONSITE WASTEWATER DISPOSAL SYSTEM/SEPTIC SYSTEM.

NOTE: AREA TESTED SUITABLE FOR UP TO 8 BEDROOMS

WATER SOURCE: ONSITE WATER WELL

SHEET

DATE: 01/27/25
SCALE: 1" = 30'
DRAWN: ADR
CHECKED BY: SMR

SITE LOCATION:
5980 CAMINO TASSAJARA
DANVILLE, CA 94588
APN: 206-200-002

ONSITE WASTEWATER
SYSTEM PERCOLATION TEST
LOCATION FOR:

MAJOR GILL
5980 CAMINO TASSAJARA
DANVILLE CA 94588

SALVADOR M. RUIZ
REGISTERED ENVIRONMENTAL
HEALTH SPECIALIST
STATE OF CALIFORNIA
REGISTRATION NUMBER: 5940
EXPIRES: 12-31-26

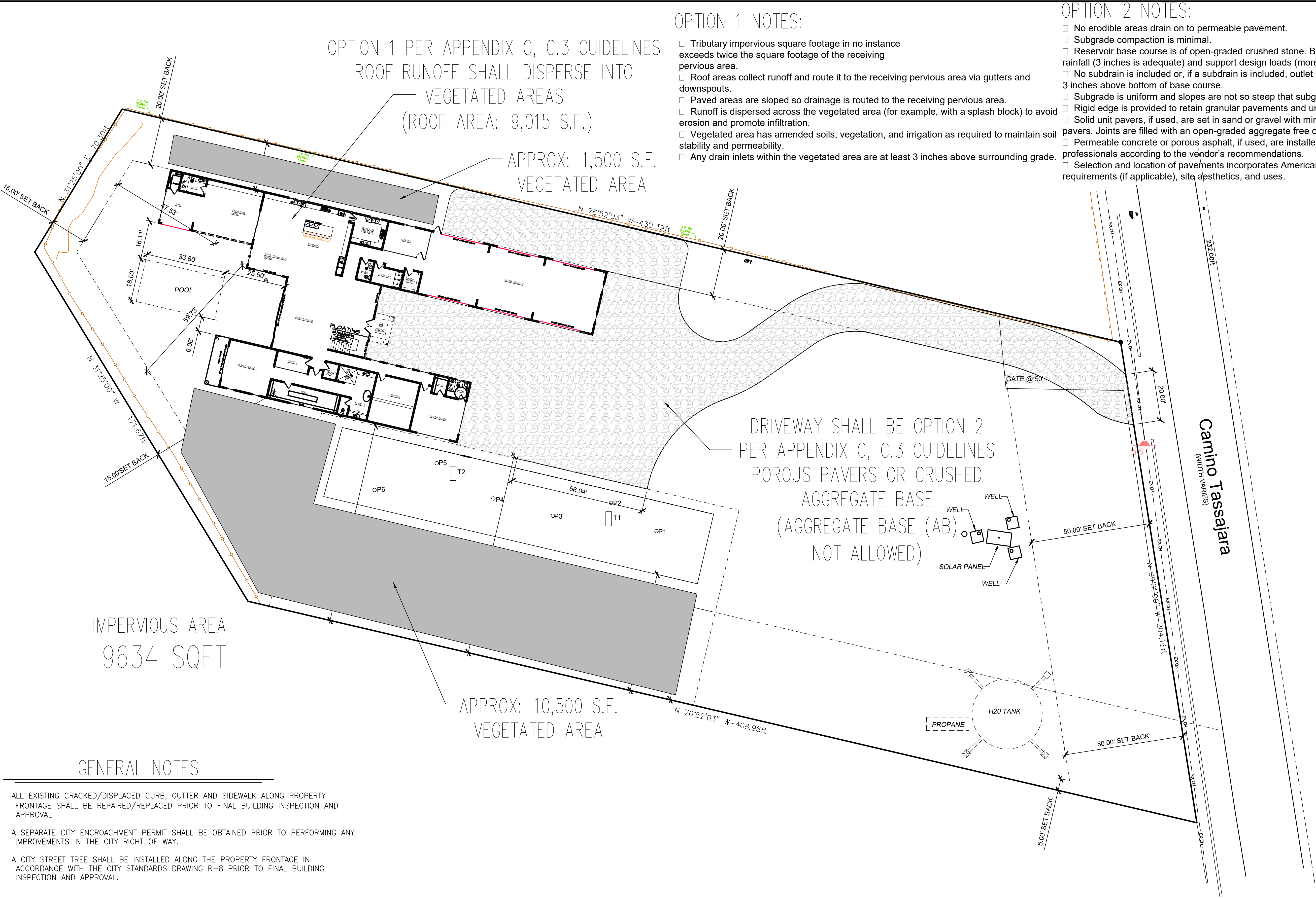
DATE: 01/27/25

SALVADOR M. RUIZ, R.E.H.S.
3941 PARK DRIVE STE. 20744
EL DORADO HILLS, CA 95762
PHONE: (925) 212-9168
EMAIL: suizehs@yahoo.com



CALL 811 AT LEAST 48
WORKING HOURS BEFORE
YOU DIG

THIS SITE MAP WAS PREPARED SOLELY FOR THE PURPOSE OF THE SEPTIC SYSTEM DESIGN
AND SHOULD NOT BE CONSTRUED AS A BOUNDARY SURVEY OR FOR OTHER PURPOSES.
LOCATIONS ARE APPROXIMATE, ALL INFORMATION SHOWN ON THE DRAWING HAS BEEN
PROVIDED BY THE PROPERTY OWNER OR AGENT AND MEASUREMENTS TAKEN IN THE FIELD.



OPTION 1 NOTES:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

OPTION 2 NOTES:

- No erodible areas drain on to permeable pavement.
- Subgrade compaction is minimal.
- Reservoir base course is of open-graded crushed stone. Base depth is adequate to retain rainfall (3 inches is adequate) and support design loads (more depth may be required).
- No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- Subgrade is uniform and slopes are not so steep that subgrade is prone to erosion.
- Rigid edge is provided to retain granular pavements and unit pavers.
- Solid unit pavers, if used, are set in sand or gravel with minimum 3/8-inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.
- Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.
- Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

IMPERVIOUS AREA
9634 SQFT

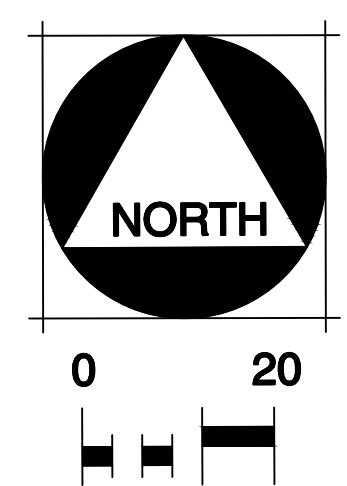
GENERAL NOTES

- ALL EXISTING CRACKED/DISPLACED CURB, GUTTER AND SIDEWALK ALONG PROPERTY FRONTAGE SHALL BE REPAIRED/REPLACED PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.
- A SEPARATE CITY ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO PERFORMING ANY IMPROVEMENTS IN THE CITY RIGHT OF WAY.
- A CITY STREET TREE SHALL BE INSTALLED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH THE CITY STANDARDS DRAWING R-8 PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.

GRADING NOTES

- NOTES:
- ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE.
 - ROOF DRAINS ARE TO BE DIRECTED TO A PERMEABLE AREA OR INFILTRATION TRENCH BEFORE ENTERING CITY OF STOCKTON STORM WATER SYSTEM. THE CAPTURE AND REUSE FOR SAME INITIAL FLOW VOLUME IS ALSO AN ACCEPTABLE BMP.
 - ELECTRICAL, CABLE, AND/OR TELEPHONE BOXES MAY BE LOCATED ON THIS LOT.
 - PERIMETER FENCING TO BE A 6' HIGH WOOD FENCE.
 - AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL-MOISTURE BASED CONTROLLERS.

811
Know what's below.
Call before you dig.
811 / 800-227-2600



Rev. #	Date	Description

MAJOR RESIDENCE
5880 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N. #

SITE PLAN AND WATER CONTROL PLAN

elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES CA 95307
PH) 209 . 872 . 2099

Job#:	23-004	Scale:	AS NOTED	Date:	11/14/25	Drawn By:	SCU	Checked By:	JM
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SHEET:
A1.0

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
4. DISHWASHER
5. LAVATORY
6. WATER CLOSET
7. ATTIC ACCESS
8. 2X6 PLUMBING WALL
9. TUB/ SHOWER WAINSCOT WALLS TO 6'-0" MIN. - PROVIDE SOLID WASTE CONNECTION
10. DOUBLE STACKED OVEN

FLOOR PLAN NOTES

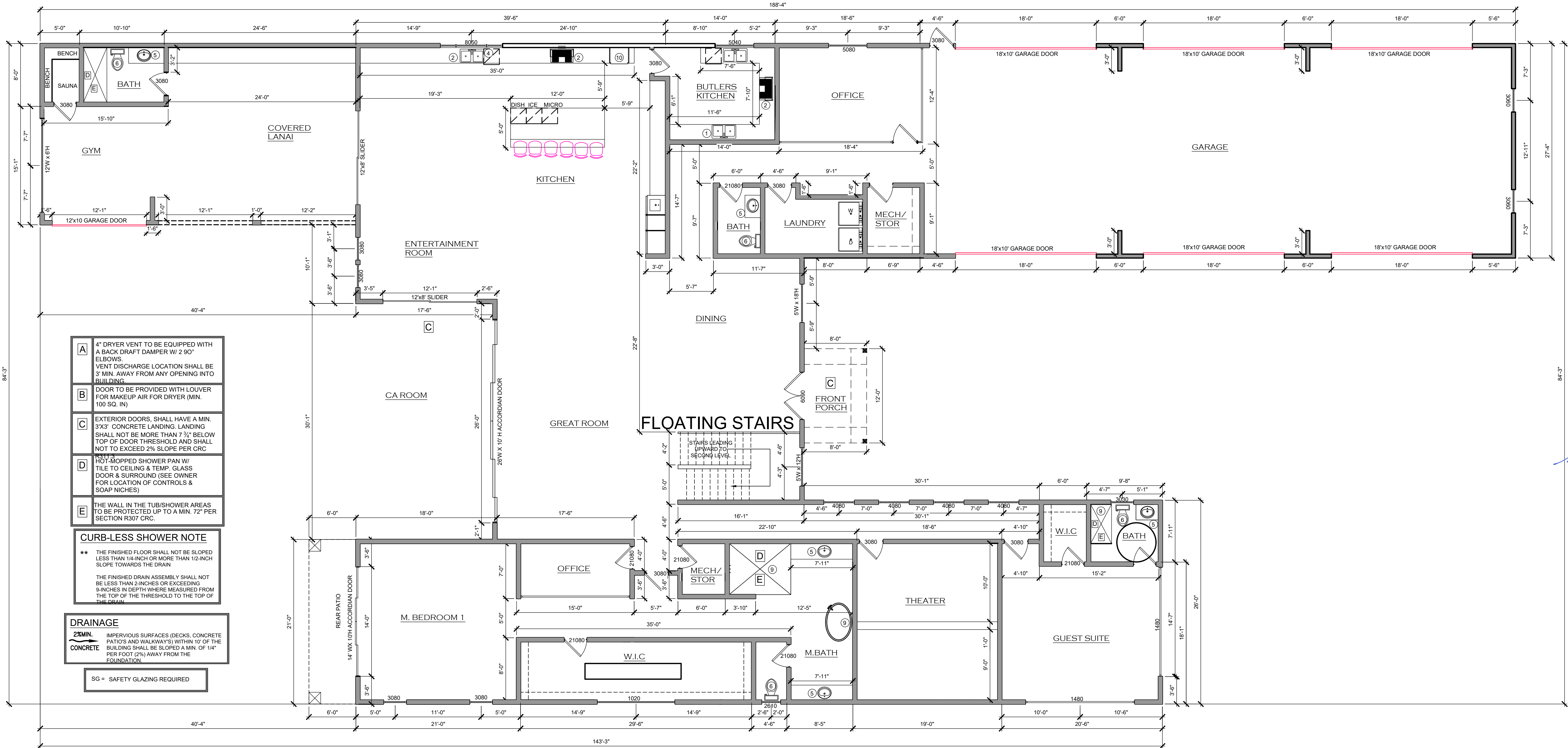
1. ALL EXTERIOR / INTERIOR WALLS SHALL BE 2X6 AT 16" O.C. D.F. #2 OR BETTER (U.O.N.) ALL WALLS 10'-0" SHALL BE 2X6 AT 16" O.C. D.F. #2
2. OR BETTER OR (2) 2X4 AT 16" O.C. D.F. #2 OR BETTER (UP TO 14'-0") (U.O.N.) FOR ADDITIONAL WOOD FRAMING NOTES AND DETAILS, REFER TO STRUCTURAL PLANS.
3. ALL LUMBER SHALL BEAR AN APPROVED RATING STAMP
4. ALL HEADERS SHALL BE 4X12 EXCEPT U.O.N.
5. STUBS, PLATES, BEAMS, AND BLOCKING SHALL HAVE 19% MAX. MOISTURE CONTENT
6. NAILING PER CRC TABLE R602.3(1) ALL NAILS TO BE COMMON
7. ALL MINIMUM DOOR HEIGHTS SHALL BE 80 INCHES FOR EXTERIOR DOORS AND 78 INCHES FOR INTERIOR. THE MAXIMUM THRESHOLD HEIGHT IS $\frac{3}{4}$ " FOR SLIDING DOORS AND $\frac{1}{2}$ " FOR HINGED DOORS. DOOR HANDLES, LATCHES, LOCKS ETC. SHALL BE MOUNTED 34 INCHES TO 48 INCHES ABOVE FLOOR.
8. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PTDF #2 OR BETTER
9. ATTIC SPACES. AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (509 MM BY 762 MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762 MM). A 30-INCH (762 MM) MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
10. MAXIMUM HEIGHT FROM FLOOR. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR.

VENTILATION NOTES

1. MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS IF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION ARE NOT PROVIDED.
2. WHEN A CONNECTOR USED FOR A GAS APPLIANCE HAVING A DRAFTHOOD MUST BE LOCATED IN OR PASS THROUGH A CRAWL SPACE OR OTHER COLD AREA THAT PORTION OF THE CONNECTOR SHALL BE LISTED TYPE B OR TYPE L VENT
3. MATERIAL OR BE PROVIDED WITH THE EQUIVALENT MEANS OF INSULATION. VENT CONNECTORS IN GARAGES OR OTHER NON-CONDITIONED AREAS ARE TO BE TYPE B
4. AT LEAST HALF OF COMMON WALL MUST BE OPEN HAVING NOT LESS THAN 1/10 OF FLOOR AREA OR 25 SQUARE FEET WHICHEVER IS GREATER IF LIGHT AND VENTILATION SUPPLIED FROM ADJACENT ROOM.
5. MINIMUM VENT AREA IS 1/150 OF THE ATTIC AREA OR 1/300 AREA IF AT LEAST 50% OF REQUIRED VENT IS THREE FEET ABOVE EAVE VENTS OR CORNICE VENTS
6. TYPE B OR BW GAS VENTS WITH LISTED VENT CAPS 12" IN SIZE OR SMALLER SHALL BE PERMITTED TO BE TERMINATED IN ACCORDANCE WITH TABLE B-A. PROVIDED THEY ARE LOCATED AT LEAST 8 FEET FROM A VERTICAL WALL OR SIMILAR OBSTRUCTION. ALL OTHER TYPE B GAS VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN TEN FEET.

WINDOW & GLAZING NOTES

1. IN DWELLING UNITS EVERY SLEEPING ROOM AND BASEMENT SHALL HAVE A OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" TO THE BOTTOM OF CLEAR OPENING.
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3. OPENABLE WINDOW AREA AND HABITABLE ROOMS MUST BE 4% VENTILATION OF THE FLOOR AREA SERVED AND A MINIMUM OF 5 SQUARE FEET. IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS, 1/20 OF THE AREA IS REQUIRED WITH 1.5 SQUARE FOOT MINIMUM.
4. ALL GLAZING WITHIN 18" OF THE FLOOR AND IN EXCESS OF 9 SQUARE FEET AND WITHIN 12 INCHES OF ANY DOOR, AND THAT HAS A TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR AND WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF PLANE SHALL BE TEMPERED. ALL SHOWER AND BATHTUB DOORS GLAZING WITHIN 60 INCHES OF THE BATHING SURFACE SHALL BE TEMPERED.
5. SAFETY GLAZING MUST BE INSTALLED IN INGRESS/EGRESS DOORS AND IN ALL PANELS OF SLIDING DOORS INCLUDING FIXED PANELS.
6. GLAZING WITHIN A 24 INCH ARC OF EITHER THE VERTICAL EDGE OF A DOOR AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED.
7. ALL GLAZING SHALL BE DUAL PANE AS INDICATED ON THE TITLE 24 DOCUMENTS.



MAJOR RESIDENCE

5980 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N. #

MAIN FLOOR PLAN



DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
Scale:	AS NOTED
Date:	5/13/25
Drawn By:	AC
Checked By:	SCU

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SHEET:
A2.0

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
4. DISHWASHER
5. LAVATORY
6. WATER CLOSET
7. ATTIC ACCESS
8. 2X6 PLUMBING WALL
9. TUB/ SHOWER WAINSCOT WALLS TO 6'-0" MIN. - PROVIDE SOLID WASTE CONNECTION
10. DOUBLE STACKED OVEN

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
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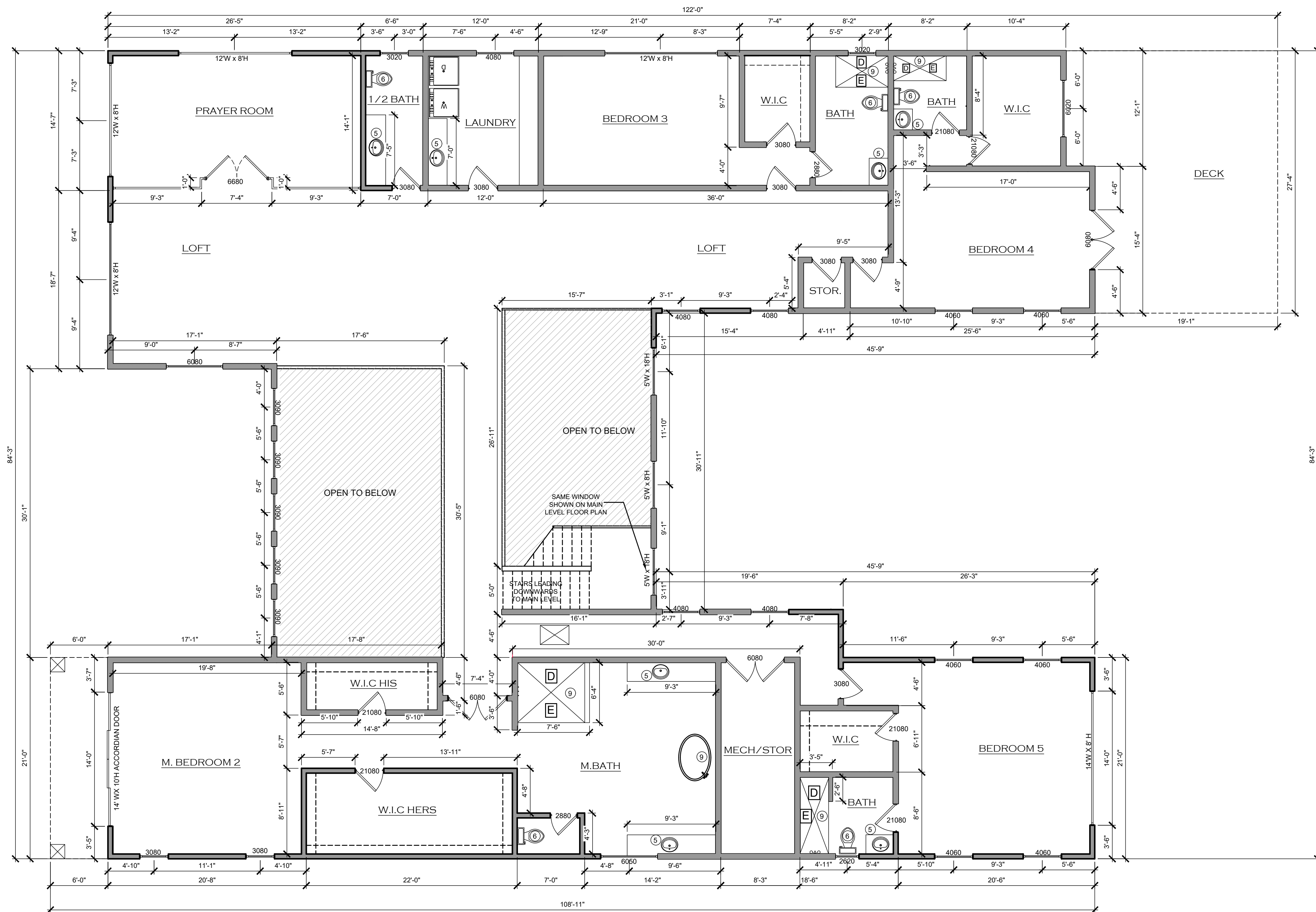
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A	4" DRYER VENT TO BE EQUIPPED WITH A BACK DRAFT DAMPER W/ 2 90° ELBOWS. VENT DISCHARGE LOCATION SHALL BE 3' MIN. AWAY FROM ANY OPENING INTO BUILDING
B	DOOR TO BE PROVIDED WITH LOUVER FOR MAKEUP AIR FOR DRYER (MIN. 100 SQ. IN)
C	EXTERIOR DOORS, SHALL HAVE A MIN. 3'X3' CONCRETE LANDING. LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW TOP OF DOOR THRESHOLD AND SHALL NOT TO EXCEED 2% SLOPE PER CRC
D	HOT-MOPPED SHOWER PAN W/ TILE TO CEILING & TEMP. GLASS DOOR & SURROUND (SEE OWNER FOR LOCATION OF CONTROLS & SOAP NICHES)
E	THE WALL IN THE TUB/SHOWER AREAS TO BE PROTECTED UP TO A MIN. 72" PER SECTION R307 CRC.

CURB-LESS SHOWER NOTE	
**	THE FINISHED FLOOR SHALL NOT BE SLOPED LESS THAN 1/4 INCH OR MORE THAN 1/2 INCH SLOPE TOWARDS THE DRAIN
	THE FINISHED DRAIN ASSEMBLY SHALL NOT BE LESS THAN 2 INCHES OR EXCEEDING 9 INCHES IN DEPTH WHERE MEASURED FROM THE TOP OF THE THRESHOLD TO THE TOP OF THE DRAIN

DRAINAGE	
2% MIN.	IMPERVIOUS SURFACES (DECKS, CONCRETE PATIOS AND WALKWAYS) WITHIN 10' OF THE BUILDING SHALL BE SLOPED A MIN. OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION
CONCRETE	

SG = SAFETY GLAZING REQUIRED

SECOND LEVEL FLOORPLAN

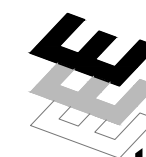
SCALE:

3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN



DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
Scale:	AS NOTED
Date:	5/13/25
Drawn By:	AC
Checked By:	SCU

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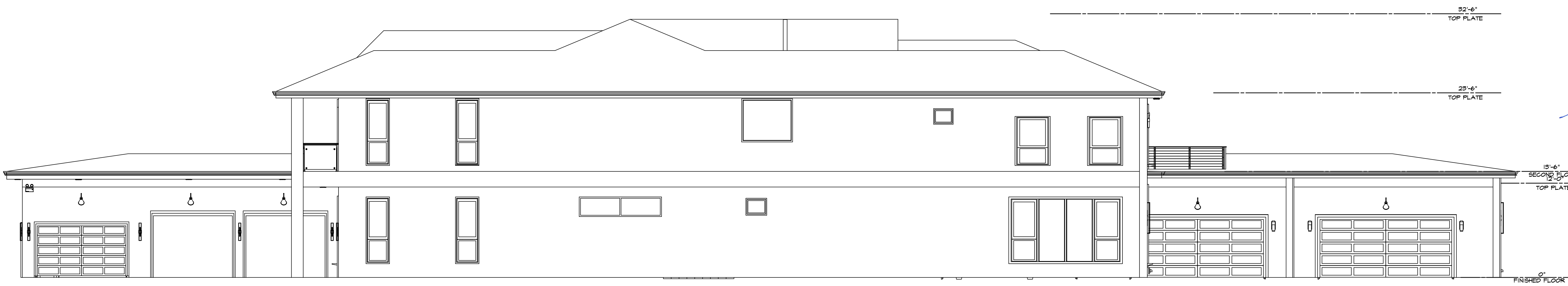
SHEET:

A3.0



FRONT SIDE ELEVATION

SCALE: 3/16"=1'-0"



LEFT SIDE ELEVATION

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
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SHEET:
A4.0



BACK SIDE ELEVATION

SCALE: 3/16"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

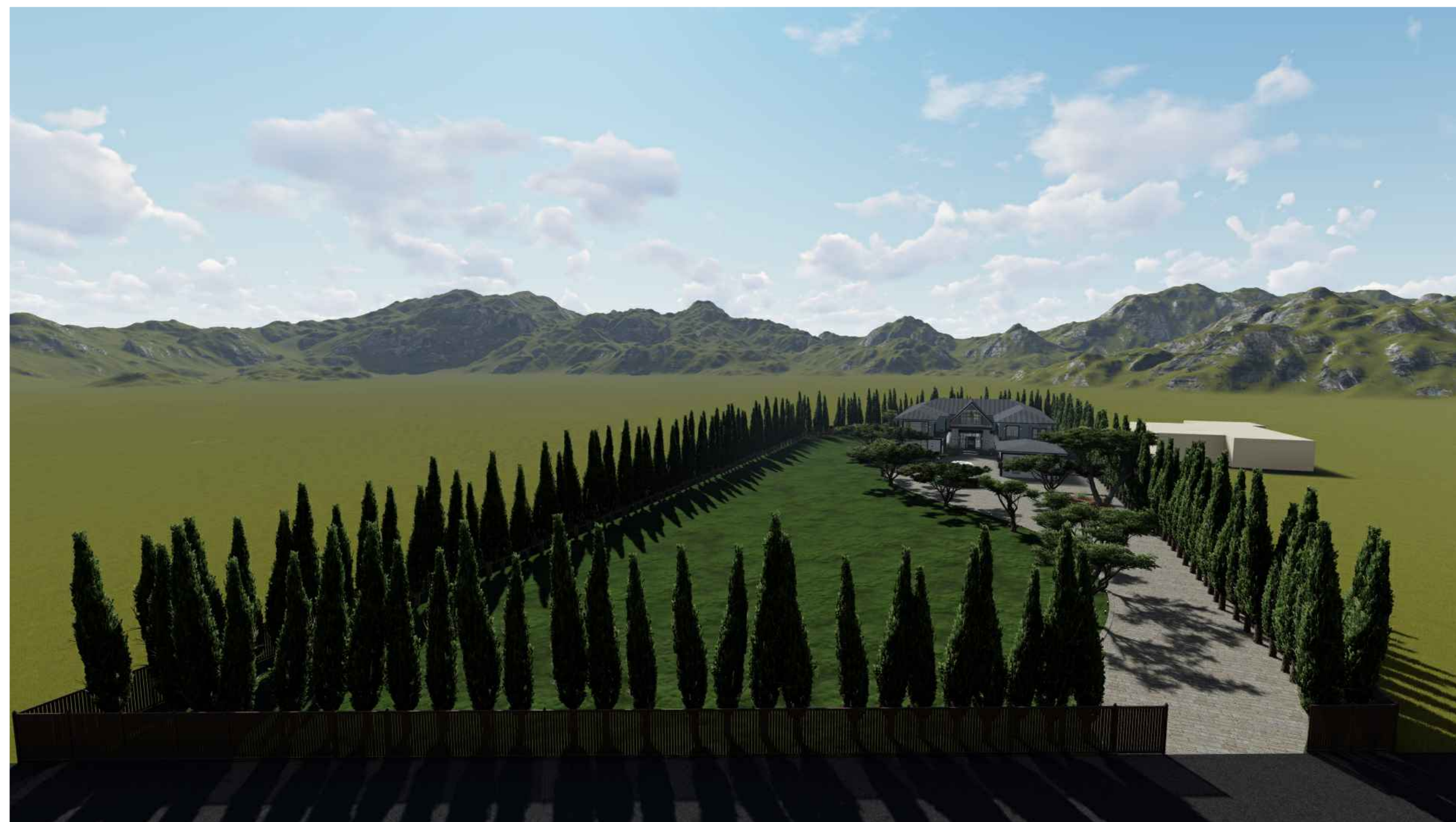
elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

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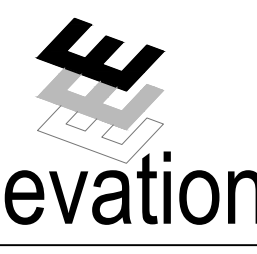
SHEET:
A5.0



MAJOR RESIDENCE

5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N #

RENDER ELEVATION



DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#: 22-039

Job#:	22-039
Scale:	AS NOTED

Date: 5/13/25

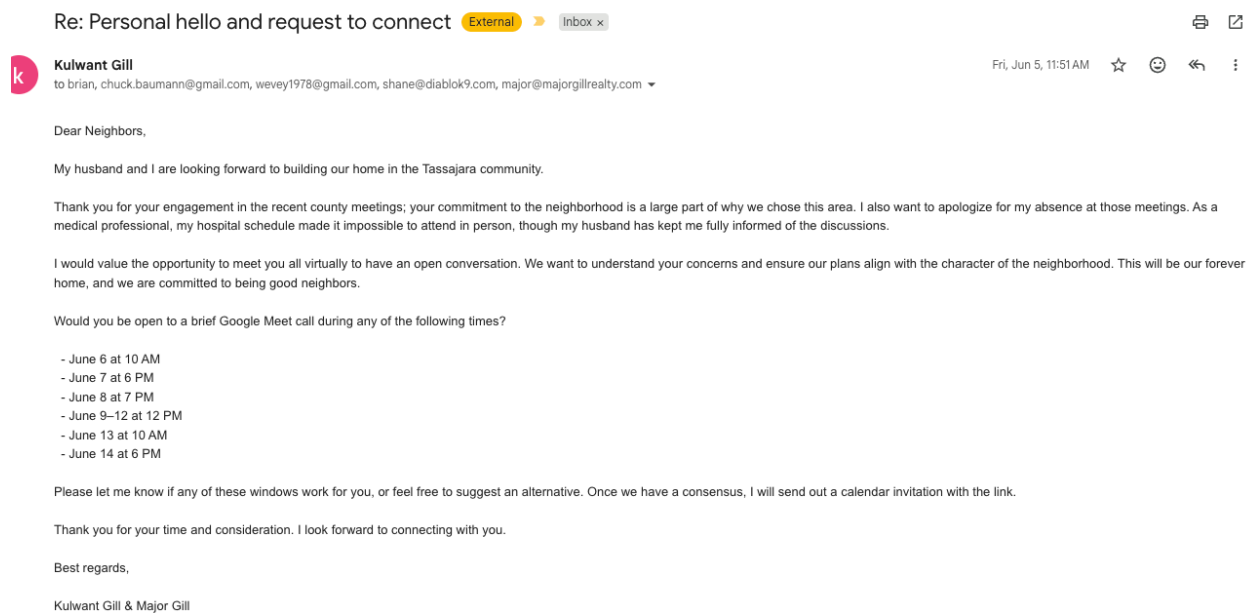
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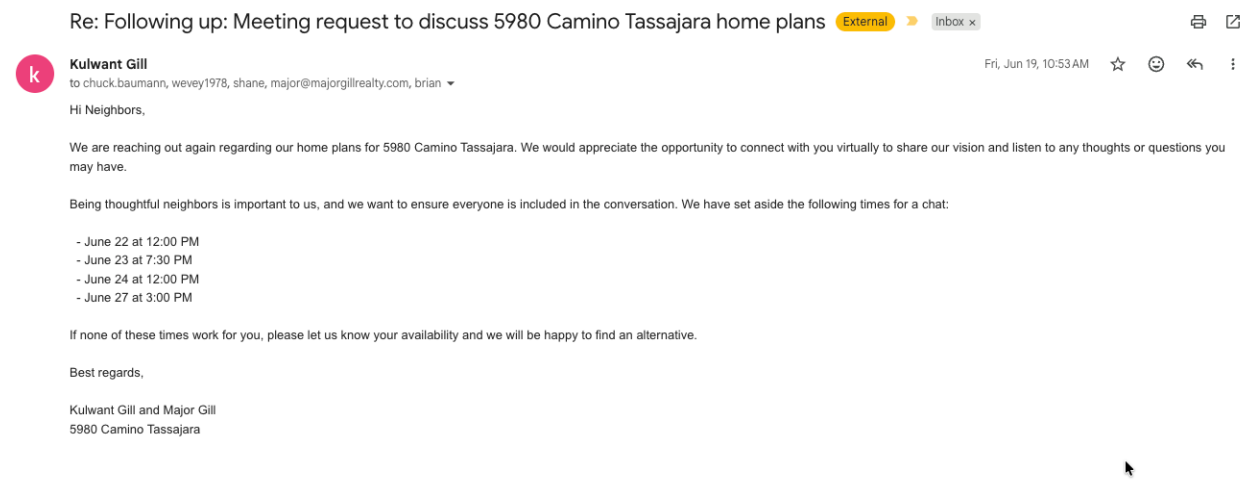
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SHEET:

A6.0



2nd attempt email to neighbors



Chuck replied

Re: Following up: Meeting request to discuss 5980 Camino Tassajara home plans External Inbox



Summarize this email



→ **Chuck Baumann** <chuck.baumann@gmail.com>
to Kulwant, wevey1978, shane, major, brian ▾

Fri, Jun 19, 11:19 AM ☆ ☺ ↶ ⋮

Kulwant,

I'm sorry to be delayed in responding to you and Major.... We have been so involved in helping with our son's wedding this weekend up here in Tahoe.

Rather than try to schedule a zoom meeting, I believe a good starting point would be for you to design your dream home within the parameters of what the ZA and his staff gave you as those critical design elements that are important to complying to the limits of a small review in a rural community. I encourage you to develop your property, however within the limits of size, height, architecture and compatibility to our rural community. Having a small lot limits what can and cannot build to be compatible with the rural area. Had you purchased a 5 acre minimum lot, there would be less restrictions.

I hope this helps as you prepare your new design to show your neighbors. I look forward to seeing your new ideas and giving my comments
Sent from Chuck's phone

> On Jun 19, 2026, at 10:53AM, Kulwant Gill <kgill@aharacare.org> wrote:
>

Brian replied

RE: Following up: Meeting request to discuss 5980 Camino Tassajara home plans External Inbox



Summarize this email



→ **Brian Oas** brian@allstarswimschool.com via@allstarswimschool.onmicrosoft.com
to Kulwant, chuck.baumann@gmail.com, wevey1978@gmail.com, shane@diablok9.com, major@majorjillrealty.com ▾

Mon, Jun 22, 12:06 PM ☆ ☺ ↶ ⋮

Kulwant

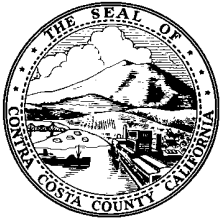
Appreciate your patience during this busy time of year.

As discussions about your development of 5980 Camino Tassajara with the Neighbors of Camino Tassajara Valley. Concern has been expressed about size and height and design and location of the proposed home.

Currently the character of the community consists of single-story homes under 3000 sqft. Location of current homes on properties helps to maintain privacy amongst neighbors. We look forward to reviewing the revised plans.

Thank you

Brian Oas
Owner
All-Star Swim School
www.allstarswimschool.com



Department of Conservation and Development
County Zoning Administrator
Monday, June 1, 2026 – 1:30 P.M.
(Continued from April 20, 2026)

STAFF REPORT

Agenda Item # _____

Project Title:	Small Lot Design Review Development Plan for a New Single-Family Residence
County File(s):	CDDP25-03021
Applicant	Sabino Urrutia, Elevation Design + Consulting
Owner:	Kulwant & Major Gill
Zoning/General Plan:	A-2 General Agricultural District, / Agricultural Lands (AL)
Site Address/Location:	5980 Camino Tassajara Road, Danville APN: 206-200-002
California Environmental Quality Act (CEQA) Status:	The proposed project is exempt under CEQA Guidelines Section 15303(a) New Construction – One Single Family Residence.
Project Planner:	Adrian Veliz, Senior Planner (925) 655-2879 adrian.veliz@dcd.cccounty.us
Staff Recommendation:	Approve (See Section II for Full Recommendation)

I. PROJECT SUMMARY

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as ±12,000 square-feet of vegetated dispersal areas for managing stormwater roof

runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required.

II. RECOMMENDATION

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the Zoning Administrator:

- A. OPEN the public hearing on the Development Plan for the proposed single-family residence, RECEIVE testimony, CLOSE the public hearing;
- B. FIND that the project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303(a);
- C. APPROVE Small Lot Design Review Development Plan #CDDP25-03021 to allow the development of a new single-family residence, based on the attached findings and subject to the attached conditions of approval;
- D. DIRECT staff to file a notice of exemption.

III. BACKGROUND

This Small Lot Design Review Development Plan application was considered by the Zoning Administrator during a noticed public hearing held on March 16, 2026. During the meeting, the Zoning Administrator opened the public hearing and heard testimony

from the applicant in support of the project. Additionally, numerous neighboring property owners appeared, indicating concerns with the scale of the proposed home, its appearance, site drainage concerns, and concerns over the availability of ground water to serve the project. After discussion, the Zoning Administrator raised aesthetic concerns relating to the project compatibility with the rural character of the Tassajara Valley and determined that revisions to the proposed residential design were necessary to establish neighborhood compatibility. The Zoning Administrator continued the item as an open public hearing to the hearing scheduled for April 20, 2026, to allow additional time for the project proponent to consider potential project revisions. On April 8, 2026, a revised plan was submitted for CDD staff review. At the continued public hearing held on April 20, 2026, the Zoning Administrator advised that the item would be continued again to allow sufficient time for CDD staff review of the revised submittal and the preparation of this report.

IV. PROJECT DESCRIPTION

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as $\pm 12,000$ square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required. Lastly, the project includes landscape screening in the form of uniformly spaced trees planted around the entirety of the subject property.

V. STAFF ANALYSIS

A. General Plan Consistency: The subject property is located within an Agricultural Land (AL) General Plan Land Use designation. Single-family residential development is permissible within the AL designation up to a maximum density of one unit per ten acres. The AL designation is applied to agricultural areas primarily composed of soils rated Class 3 or lower per the National Resources Conservation Service (NCRS) Land Capability Classification. Most areas within this designation are non-irrigated, rural lands that may support grazing and dryland farming, though it also includes non-prime productive agricultural lands. Other types of agricultural, open space, and non-urban land uses may be consistent with the AL designation when conducted in accordance with County’s policies pertaining to agricultural areas. These land uses include limited opportunities for recreation, lodging (farm stays, bed and breakfast, etc.), food services (farm-to-table dining, farm stands, etc.), special events, and similar activities that support the County’s agricultural economy. The proposed project involves the development of one single-family residence on a presently vacant AL-designated parcel. Thus, the project is consistent with the AL designation.

The Land Use Element of the Contra Costa County 2045 General Plan includes goals for specific land uses within the County, including Goal LU-10, which specifies the County’s goal to maintain “rural, agricultural, and open space areas that provide scenic value, support Delta ecosystem health, and meet the needs of the agricultural industry.” The General Plan further lists the following four policies, LU-P10.1 through LU-P10.4 enacted by the County in furtherance of Goal LU-10:

- LU-P10.1: Encourage consolidation of agricultural parcels not meeting the minimum acreage requirement for the applicable zoning district.

Project Consistency LU-P10.1: The subject property is substandard with respect to the five-acre minimum parcel size applicable to the A-2 zoning district, however, since all adjacent parcels are under separate ownership consolidation of parcels encouraged under policy LU-P10.1 does not appear possible. Thus, the applicant is seeking to establish a single-family residence on the subject property pursuant to the Small Lot Occupancy ordinance (Section 82-10.002(c)) of the County ordinance code.

- LU-P10.2: Ensure all former Williamson Act parcels are rezoned from Agricultural Preserve District to an agricultural zoning district appropriate for the area.

Project Consistency LU-P10.2: The project is not located upon a former Williamson Act parcel, nor is the subject property within an agricultural preserve district. Therefore, this policy does not apply.

- LU-P10.3(b): Preserve the rural character of the Tassajara Valley. Pay special attention to potential aesthetic impacts in these areas and ensure that such impacts are adequately mitigated.
- LU-P10.4: Maintain agricultural preserves in the Briones Hills and Tassajara Valley areas through agreements with adjacent cities to retain these areas for agricultural, open space, and other non-urban uses.

Project Consistency LU-P10.3(b), LU-P10.4: The subject property is located within the Tassajara Valley Agricultural Preservation and Enhancement Area (TVAPEA), as depicted on Figure LU-6 (Rural and Agricultural Areas) within the Land Use Element of the Contra Costa County 2045 General Plan, an area directly referenced by policies LU-P10.3(b) and LU-P10.4. The TVAPEA

includes well over 10,000 acres of unincorporated land area in southern Contra Costa County, predominantly consisting (in terms of acreage) of agricultural/open space grazing lands within an A-80 Exclusive Agricultural District having minimum parcel size of 80 acres. The project is in a northwesterly area of the TVAPEA along Camino Tassajara right-of-way. Existing rural residential development within the TVAPEA, including the project site, is predominantly concentrated in areas zoned A-2 General Agricultural District that are located along Camino Tassajara, south of Finley Road and north of Highland Road. The project is located outside of the urban limit line (ULL) and does not involve any urban land uses that conflict with permitted uses in rural areas. The project would not extend infrastructure to the site which could indirectly encourage urban development outside of the ULL. The project does not affect any existing preservation agreements on nearby properties, including ±609 acres of land immediately west of the site preserved as open space in perpetuity as part of the County's recent approval of the Tassajara Parks project.

The project does not demolish or obscure views of any existing agricultural buildings, or any other weathered rural structures, which are mentioned and depicted in the General Plan as examples of elements contributing to the rural character within the TVAPEA. Additionally, there are no scenic resources such as trees, rock outcroppings or ridgelines on the subject property which would be obstructed from view as a result of the project. Considering that the proposed development activities are limited to a portion of a small 2.5-acre agricultural parcel located along the western periphery of the TVAPEA, the project would seem to have relatively little potential for aesthetic impacts affecting the established rural character within the greater TVAPEA.

At the public hearing held on March 16, 2026, the Zoning Administrator noted that the height and scale of the proposed project raise aesthetic concerns based on policy LU-P10.3(b) and advised that the project may be revised to address these concerns via modifications to the height and scale of the project, landscaping, or a combination thereof to establish neighborhood compatibility. The project proponent subsequently submitted revised project plans on April 8, 2026, featuring a redesigned home exterior and landscaping plan. The revised project maintains the same square-footage and proposed two-story design but has a redesigned pitched hip roof over most of the building with a large open gable over the front entryway. The revised roofline results in an approximate nine-foot increase in building height relative to the original proposal. However, the Zoning Administrator may find this to be an improvement as it incorporates more traditional architectural elements relative to the prior design in an effort to improve neighborhood compatibility. Additionally, the project now includes landscape screening proposed around the entirety of the perimeter of the subject property, consisting of trees intended to obscure views of the home from the Camino Tassajara right of way, as well as from neighboring parcels. As discussed in more detail in the below small lot design review analysis, the revised project is consistent and compatible, in terms of size, bulk, and height, with several large estates existing nearby within the TVAPEA.

The Conservation, Open Space, and Working Lands Element of the Contra Costa County 2045 General Plan includes additional policies applicable to development in agricultural-designated lands. Collectively, these policies support the preservation of open space, promote sustainable agricultural practices, and protect prime farmland within the County's agricultural core. Most of these policies

are not applicable to the development of a single-family residence on agricultural lands within density ranges permissible in agricultural designations and therefore do not apply to this project.

According to County GIS data, the project site and surrounding lands along Camino Tassajara are identified as areas exposed to a Day/Night Average Sound Level (DNL) in excess of 65 decibels (dB). Although such noise levels are typical for agricultural areas, they exceed levels considered normally acceptable for residential land uses. Policy HS-14, within the Health and Safety Element of the Contra Costa County 2045 General Plan, includes measures intended to provide an acceptable noise environment in all areas of the County. The project is conditioned to restrict construction activities to weekdays and non-holidays between the hours of 7:30am to 5:00pm, consistent with the requirements of Policy HS-14. The applicant's compliance with all project conditions ensures that the project will be consistent with all applicable Health and Safety Element Policies.

- B. Zoning Consistency: The subject property is located within a General Agricultural (A-2) Zoning District. Generally, the intent of the A-2 Zoning District is to promote all types of agriculture and compatible land uses, on lands suitable for the production of food and/or fiber. Pursuant to County Ordinance Article 84-38.4 (Uses) a detached single-family dwelling on each parcel and the accessory structures and uses normally auxiliary thereto are permitted by right within the A-2 zoning district. The proposed project involves the construction of a single-family dwelling, consistent with permitted uses in the district. As shown in the table below the project is compliant with all development standards for the A-2 district.

	<u>A-2 Development Standard</u>	<u>Proposed Project</u>
Front Setback (Min)	25 feet	±190 feet
Side Yard (Min)	20 feet	20 feet
Aggregate Side Yard (Min)	40 feet	+52 feet
Rear Yard (Min)	15 feet	±30 feet
Building Height (Max)	35 feet	23.5 feet
Building Height (Max)	2.5 stories	2 stories
Off Street Parking (Min)	1 Space (9' x 19')	6-car garage

The project is proposed on a legal lot ±1.945 acres in area where 5 acres is the minimum parcel size in the A-2 district. Although section 84-38.608 specifies that the land uses permissible in the A-2 district pursuant to Article 84-38.4 of the County Ordinance are allowable only on lots equaling or exceeding 5 acres in area, County Ordinance Section 82-38.610 specifies that any legal lot having at least 40,000 square feet of area and established prior to November 29, 1973 may be used as provided in Article 84-38.4. The subject property consists of “Parcel B” as shown on the Record of Survey Map for Minor Subdivision #MS56-64, recorded on April 22, 1964. Thus, the ±1.945-acre subject property may be used as provided in Article 84-38.4. Thus, the proposed land use is consistent and compatible with permitted land uses within the A-2 district.

The project will not conflict with agricultural land uses permissible within the A-2 district and the development generally exceeds the minimum setback and yard requirements applicable to structural development within the district. Therefore, the project is considered consistent and compatible with all provisions of the A-2 district.

- C. Small Lot Design Review: Pursuant to Section 82-10.002(c) of the County Ordinance Code, a legal lot of less area or width than required by Divisions 82 and

84 may be improved with a single-family dwelling meeting yard and setback requirements “unless the zoning administrator determines that the proposed dwelling appears not to be compatible with the surrounding neighborhood”. In making this determination, the zoning administrator (ZA) may schedule a public hearing to review the proposed dwelling’s impact on the surrounding neighborhood in terms of its location, size, height and design. Based on the substandard area of the 1.95-acre subject property (where 5-acres is the minimum required), the proposed residential development is subject to design review. In evaluating the proposed project, CDD staff finds the project to be compatible with the surrounding neighborhood, based on the following:

1. Location: The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the proposed building pad.

The immediate project vicinity consists of agricultural-zoned land in a rural-residential area within the Tassajara Valley Agricultural Preservation and

Enhancement Area (TVAPEA), as identified by the Contra Costa County 2045 General Plan. Existing residences on adjoining parcels include single-story ranch homes on the northern and southern adjacent parcels. The southerly adjacent residence, addressed 5890 Camino Tassajara, is located at least 200 feet south of the project and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the proposed residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The building separation is consistent with A-2 minimum development standards and far exceeds the building separation that are typical within residential zoning districts. Additionally, the project includes landscape screening around the entirety of the project, which will preserve privacy between adjoining residences by substantially obstructing views of the project from neighboring properties. Furthermore, views of the project from the west, north, and south are substantially screened by topographical features, existing homes, and mature trees, such that distant views of the project site from Camino Tassajara would not exist even absent the perimeter landscape screening. Thus, the project location amongst the surrounding natural and built environment, combined with the project landscaping will prevent the project from having a substantial adverse aesthetic effect on the rural character established within this area of the TVAPEA.

Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project will be surrounded by dense landscape screening consistent with nearby large estate development within the TVAPEA, the project is at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size: The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are prevalent in similarly zoned (A-2) lands within the TVAPEA located along Camino Tassajara between Finney Road and Highland Road. County Assessor's data indicates that within one mile of the project site, there are at least 10 properties improved with existing two-story custom homes within A-2/TVAPEA featuring between 6,021 to 8,690 square feet in living area. In many cases, the aforementioned 10 properties are also improved with large, attached garages and/or detached accessory buildings, which combine with the living area to result in building bulk that is comparable to this project.

For example, the property addressed 1046 Country Lane (APN 204-070-032), approximately 0.85 miles north of the project, is extremely comparable to the proposed project. County Assessor's data indicates that

the existing residence on this 2.25-acre (substandard) parcel consists of 7,971 square feet of living area. At face value, the Assessor's data would suggest that this home is considerably smaller than the subject residence. However, when including approximately 2,381 square feet of attached first-floor garage and storage areas, this home actually has a reported building footprint¹ of 8,529 square feet, exceeding that of the current project. At 34' 9" in height, this existing residence exceeds the current project in terms of both height and building bulk despite having less conditioned living space. There are multiple examples of additional two-story homes on Bruce Drive having apparently similar bulk/height as the proposed residence. One additional example of a large-scale residence in the area is the residence addressed 8650 Camino Tassajara, which is outside of the immediate project vicinity but within the TVAPEA and consists of 29,291 square feet in living area. Thus, although the project results in a larger home than those on adjoining parcels and many others in the area, the project is of a bulk and scale consistent with existing development in the project vicinity, including lands within the identical zoning district and within the TVAPEA.

3. Height: Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are numerous examples of homes having both one-story and two-story designs in similarly zoned rural residential areas of the TVAPEA. As shown in the image below, amongst developed parcels within $\pm 1/4$ mile of the site, there is about an even ratio of single-story ranch style homes (yellow squares) to multi-story homes (blue squares). Staff has also

¹ Building footprint per data from County Building Permit BI339889

noted on the image below the location of two additional single-story homes that differ architecturally from the nearby ranches by incorporating high ceilings, steeply pitched hip roofs, and/or cupolas, resulting in comparatively taller homes than the other nearby single-story ranch homes. These “taller” single story homes are identified with green squares and have building heights of 22 to 27 feet. Further north of the project site on Bruce Drive, large two-story residences are even more prevalent than the area depicted below, if not predominant, on similarly zoned parcels. Furthermore, there are several instances of multi-story homes on parcels adjacent to and visible from Camino Tassajara right-of-way in the project vicinity, including multiple such homes at the intersections of Camino Tassajara at Johnston Road and at Bruce Drive. Therefore, the introduction of a multi-story home at the project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within similarly zoned areas of the TVAPEA. The provision of landscape buffering around the project will reduce aesthetic impacts by limiting distance views of the project site from other areas within the TVAPEA. This type of visual buffer via landscaping, such as that depicted on parcels north of Johnston Road below, is typical for this area.



Figure 1: An image highlighting the location of existing nearby single-story (yellow and green) and multi-story-homes (blue).

4. Design: The residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the home and garage. The exterior of the home would

incorporate a combination of stucco, wood paneling, and decorative stonework. The project includes an open-faced gable over the front entryway, meant to resemble the character of the surrounding rural area, with a pitched hip roof covering most of the two-story residence. The two-story design of the home is substantially compatible with other larger estate-style homes in the vicinity, including existing two-story and three-story homes exceeding 30 feet in height prominently visible along the Camino Tassajara right-of-way north of the project.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along Camino Tassajara adjacent to the site reflects an area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby

properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development, the project would have minimal potential for the design to conflict with the surrounding rural character. Since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

VI. CONCLUSION

CDD staff recommend approval of Small Lot Design Review Development Plan #CDDDP25-03021, subject to the attached findings and conditions of approval.

Attachments:

1. Findings and Conditions of Approval
2. Revised Plans (received 04/08/26)
3. 03/16/26 ZA Staff Report

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE# CDDP25-03021;
SABINO URRUTIA, ELEVATION DESIGN + CONSULTING (APPLICANT), KULWANT &
MAJOR GILL (OWNERS)**

I. FINDINGS

A. Small Lot Design Review Findings:

The project is compatible with the surrounding neighborhood in terms of its (a) location, (b) size, (c) height, and (d) design.

1. Location. The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the building pad.

The immediate project vicinity consists of agricultural-zoned land within a rural-residential area within the Tassajara Valley Agricultural Preservation and Enhancement Area (TVAPEA), as identified by the Contra Costa County 2045 General Plan. Existing residences on adjoining parcels include single-story ranch homes on

the northern and southern adjacent parcels. The southerly adjacent residence, addressed 5890 Camino Tassajara, is located at least 200 feet south of the project and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The building separation is consistent with A-2 minimum development standards and far exceeds the building separation that are typical within residential zoning districts. Additionally, the project includes landscape screening around the entirety of the project, which will preserve privacy between adjoining residences by substantially obstructing views of the project from neighboring properties. Furthermore, views of the project from the west, north, and south are substantially screened by topographical features, existing homes, and mature trees, such that distant views of the project site from Camino Tassajara would not exist even absent the perimeter landscape screening. Thus, the surrounding natural and built environment, combined with the project landscaping will prevent the project from having a substantial adverse aesthetic effect on the rural character established within this area of the TVAPEA.

Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project is surrounded by dense landscape screening consistent with nearby large estate development within the TVAPEA, the project is at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size. The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are prevalent in the project vicinity, including A-2 zoned lands within the TVAPEA located along Camino Tassajara between Finney Road and Highland Road. County Assessor's data indicates that within one mile of the project site, there are at least 10 properties improved with existing two-story custom homes within A-2/TVAPEA featuring between 6,021 to 8,690 square feet in living area. In many cases, the aforementioned 10 properties are also improved with large, attached garages and/or detached accessory buildings, which combine with the living area to result in building bulk that is comparable to this project.

For example, on a nearby property addressed 1046 Country Lane (APN 204-070-032), located approximately 0.85 miles north of the project, County Assessor's data indicates that the existing residence on this 2.25-acre (substandard) parcel consists of 7,971 square feet of living area. At face value, the Assessor's data would suggest that this home is considerably smaller than the subject residence. However, when including approximately 2,381 square feet of attached first-floor garage and storage areas, this home actually has a building footprint¹ of 8,529 square feet, exceeding that of the current project. At 34'9" in height, this existing residence appears to exceed the current project in terms of height and building bulk despite having less conditioned living area. There are multiple examples of additional two-story homes

¹ Building footprint per data from County Building Permit BI339889

on Bruce Drive having apparently similar bulk/height as the Major residence. One additional example of a large-scale residence in the area is the residence addressed 8650 Camino Tassajara, which is outside of the immediate project vicinity but within the TVAPEA and consists of 29,291 square feet in living area. Thus, although the project results in a home larger than those on adjoining parcels and many others in the area, the project is of a bulk and scale consistent with existing development in the project vicinity, including lands within the identical zoning district and within the TVAPEA.

3. Height. Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are numerous examples of homes having both one-story and two-story designs in rural residential areas of the TVAPEA. Within a quarter-mile of the project, there is about an even ratio of single-story ranch style homes to multi-story homes. There are also two additional nearby single-story homes that differ architecturally than the nearby ranches, incorporating high ceilings, steeply pitched hip roofs, and/or cupolas, resulting in comparatively taller homes than the other nearby single-story ranch homes. These “taller” single story homes are identified with green squares and have building heights of 22 to 27 feet. Further north of the project site on Bruce Drive, large two-story residences are even more prevalent, if not predominant on similarly zoned parcels. Furthermore, there are several instances of multi-story homes on parcels adjacent to and visible from Camino Tassajara right-of-way in the project vicinity, including multiple such homes at the intersections of Camino Tassajara and Johnston Road, and at Bruce Drive. Therefore, the introduction of a multi-story home at the project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within identical

zoning district. The provision of landscape buffering around the project will reduce aesthetic impacts by limiting distance views of the project site from other areas within the TVAPEA. This type of visual buffer via landscaping is typical for the area.

4. Design. The residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the home and garage. The exterior of the home would incorporate a combination of stucco, wood paneling, and decorative stonework. The project includes an open-faced gable over the front entryway, meant to resemble the character of the surrounding rural area, with a pitched hip roof covering most of the two-story residence. The two-story design of the home is substantially compatible with other larger estate-style homes in the vicinity, including existing two-story and three-story homes exceeding 30 feet in height prominently visible along the Camino Tassajara right-of-way north of the project.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along Camino Tassajara adjacent to the site reflects an

area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development, the project would have minimal potential for the design to conflict with the surrounding rural character. Since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

Exception Findings:

The applicant has requested an exception to the collect and convey requirements specified in Division 914 of the County Ordinance Code in order to allow on site treatment of stormwaters originating on or traversing the project site, where collection and conveyance to an adequate natural watercourse within an adequate storm drain system is required. Pursuant to Chapter 92-6 of the County Code, the Advisory Agency (Zoning Administrator) may authorize exceptions to the requirements and regulations of

County Code Division 914. Accordingly, following are the findings for granting the requested exceptions.

1. That there are unusual circumstances or conditions affecting the property.

The subject parcel is nearly 2 acres in area and is surrounded by agricultural or open space land. The nearest watercourse, Tassajara creek, is located nearly a quarter mile east of the property. There are no known drainage issues at the property and after development will have ample surrounding open space area of onsite runoff to infiltrate prior to existing the property.

2. That the exception is necessary for the preservation and enjoyment of a substantial property right of the applicant.

Collecting and conveying stormwater runoff to an adequate public storm drain system would be impactful to the property and potentially add more roadside runoff within the Camino Tassajara public right of way - and more so to the offsite areas to reach the nearest adequate watercourse located over a quarter-mile distant from the project. Given the lack of existing storm drainage infrastructure, and the distance to the nearest adequate watercourse, full compliance with the Collect and Convey requirements of Division 914 of the County Ordinance would involve extensive off-site improvements which would be incongruous with a project of this nature and scale. The granting of the exception will allow the property owner to develop their land in a manner consistent with permitted land uses within the A-2 zoning district, and consistent with stormwater management practices in rural areas of Contra Costa County.

3. That the granting of the exception will not be materially detrimental to the public welfare or injurious to other property in the territory in which the property is situated.

Granting this exception would not be materially detrimental to the public welfare or injurious to other properties. The proposed development will convert approximately 11.3% of the total open space lot to impervious surface. The remaining open space area will infiltrate the new runoff from the home and patios. There is a low likelihood of additional impacts to the neighboring properties or the general public.

B. California Environmental Quality Act (CEQA) Findings:

1. Small Lot Design Review Development Plan #CDDP25-03021 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a), which pertains to the construction of a new single-family residence. The project involves the construction of a new single-family residence on a vacant legal lot within unincorporated Contra Costa County. There is no substantial evidence that the project involves unusual circumstances, including future activities, resulting in, or which might reasonably result in, significant impacts which threaten the environment. None of the exceptions in CEQA guidelines section 15300.2 apply.

CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP25-03021

Project Approval

Small Lot Design Review Approval

1. This application for a Small Lot Design Review Development Plan is APPROVED for the construction of a two-story, 13,832-square-foot single-family residence on a parcel of

substandard area and improvements associated with providing vehicular access and utilities thereto.

2. The Development Plan approval described above includes an exception to Division 914 (Collect and Convey) of the County Ordinance Code
3. The Design Review approval described above is granted based upon:
 - The application and project plans received by the Department of Conservation and Development, Community Development Division (CDD) on August 12, 2025;
 - Revised Plans, stamped received by CDD on April 8, 2026;
4. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan.

Landscaping

5. Prior to CDD stamp approval of plans for the issuance of building or grading permits, the applicant shall provide landscaping and irrigations plans for all landscaped areas of the project which demonstrate compliance with the County Water Efficient Landscapes Ordinance. The landscaping and irrigation plans shall be subject to review and approval by CDD staff.
6. **Prior to CDD stamp approval of plans for the issuance of building or grading permits**, the applicant shall demonstrate to CDD staff that the project landscaping adequately screens offsite views of the project. The landscaping plan shall include a visual buffer consistent with that depicted on Sheet A6.0 of the approved plan set, **except**, the visual buffer shall be concentrated around the area of residential development as opposed to the entire parcel perimeter. The visual buffer may consist of trees, vines, shrubs, or a combination thereof, provided that they are of a species having a mature height exceeding 20 feet and providing adequate lateral coverage between plantings. All trees depicted on the approved landscaping plan shall be considered code protected pursuant to Chapter 816-6 of the County Ordinance Code. The tree species and width between adjacent plantings shall be designed such that, when mature, the trees will substantially screen the approved development from offsite views.

Payment of Fees

7. This application is subject to an initial application deposit of \$3000.00, which was paid with the application submittal, plus time and material costs if the application review

expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit approval date or prior to use of the permit, whichever occurs first. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.

Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

8. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
9. The project sponsor shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
10. Transportation of heavy equipment and trucks shall be limited to weekdays between the hours of 9:00 A.M. and 4:00 P.M. and prohibited on Federal and State holidays.
11. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
12. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also be visible to ensure compliance with applicable regulations.
13. Unless specifically approved otherwise via prior written authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government, as listed below:

New Year's Day (State and Federal)

Birthday of Martin Luther King, Jr. (State and Federal)

Washington's Birthday (Federal)

Lincoln's Birthday (State)
President's Day (State)
Farmworkers Day (State)
Memorial Day (State and Federal)
Juneteenth National Independence Holiday (Federal)
Independence Day (State and Federal)
Labor Day (State and Federal)
Columbus Day (Federal)
Veterans Day (State and Federal)
Thanksgiving Day (State and Federal)
Day after Thanksgiving (State)
Christmas Day (State and Federal)

For details on the actual date the state and federal holidays occur, please visit the following websites:

Federal Holidays: www.federalreserve.gov/aboutthefed/k8.htm

California Holidays: [State Holidays :: California Secretary of State](#)

PUBLIC WORKS CONDITIONS OF APPROVAL FOR SUBDIVISION CDDP25-03021

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements

14. In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvement outlined below shall require the review and approval of the Public Works Department and are based on the site plan prepared by Elevated Design + Consulting Dated November 14, 2025.
15. The applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of

approval below are subject to the review and approval of the Public Works Department.

Frontage – Setback

16. The applicant shall not place or install driveway gates, water tanks and pumps, or any solar equipment within the 50-foot setback from the public works right of way for Camino Tassajara.
17. The applicant shall obtain encroachment permit from County Public Works Department for all work within the public right of way for Camino Tassajara, including the construction of driveway connections, utility lateral line connections, or other improvements.

Street Lights

18. The property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of a building permit.

Drainage Exception

19. The applicant shall be permitted an exception from the collect and convey requirements of the County Ordinance Code due to the large size of the existing parcel, provided that there are no known drainage problems on-site currently, the existing drainage pattern is maintained, and additional concentrated stormwater runoff is not discharged onto adjacent properties.

Stormwater Management and Discharge Control

20. Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with provision C.3 of the County's NPDES permit and the County's Stormwater Management and Discharge Control Ordinance.
21. The applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify that this total does not exceed 10,000 square feet.

22. The applicant shall construct the entire driveway with porous pavers or crushed porous aggregate (aggregate base (AB) is not acceptable) in accordance with Appendix C of Revised 9th Edition of Contra Costa Clean Water Program Stormwater C.3 Guidebook – June, 2025.

ADVISORY NOTES

ADVISORY NOTES ARE NOT CONDITIONS OF APPROVAL; THEY ARE PROVIDED TO ALERT THE APPLICANT TO ADDITIONAL ORDINANCES, STATUTES, AND LEGAL REQUIREMENTS OF THE COUNTY AND OTHER PUBLIC AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

Pursuant to California Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations or exactions required as part of this project approval. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and must be delivered to the Community Development Division within a 90-day period that begins on the date that this project is approved. If the 90th day falls on a day that the Community Development Division is closed, then the protest must be submitted by the end of the next business day.

- B. The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the South County Area of Benefit as adopted by the Board of Supervisor. Payment is required prior to issuance of a building permit.
- C. The applicant will be required to comply with the drainage fee requirements for Drainage Area 102 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.
- D. Prior to applying for a building permit, the applicant is strongly encouraged to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the project:
- Contra Costa County Building Inspection Division
 - Contra Costa County Environmental Health Division
 - East Bay Municipal Utility District
 - Central Contra Costa Sanitary District
 - San Ramon Valley Fire Protection District

MAJOR RESIDENCE

NEW SINGLE FAMILY RESIDENCE

5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N. 206-200-002

RECEIVED on 04/08/2026 CDDP25-03021
By Contra Costa County
Department of Conservation and Development

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS & ANY OTHER DISCREPANCIES FOR ACCURACY PRIOR TO THE START OF CONSTRUCTION. ANY & ALL DISCREPANCIES FOUND TO BE BROUGHT TO DRAFTSMAN / ENGINEER'S ATTENTION. ANY STRUCTURAL CHANGES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO FIELD CHANGE. IT IS FURTHER NOTED THAT THE APPROVED RECORD SET OF DRAWINGS BY THE BUILDING DEPARTMENT IS THE CONTRACTOR'S FINAL WORKING PLANS.

2022 CRC TABLE R602.3.(1)

DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2.1(1) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2.1(2) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.



PROJECT DATA

PROJECT SIZE & TYPE (S.F.R.)	
MAIN FLOOR LIVING SPACE	5,806 S.F.
SECOND LEVEL LIVING SPACE	5,548 S.F.
6- CAR GARAGE	1,079 S.F.
COVERED PATIO	932 S.F.
BACK PATIO	527 S.F.
FRONT PORCH	807 S.F.
TOTAL CONSTRUCTION PROJECT	13,832 S.F.
TOTAL BUILDING AREA	8,284 S.F.
LOT SIZE	1.945 ACRES
CONSTRUCTION STYLE	MODERN
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	NO
ZONING	RESIDENTIAL
LAND USE	SINGLE FAMILY DWELLING

SUMMARY OF WORK

- CONSTRUCTION OF A TWO STORY; 7 BEDROOM, 1 OFFICE, 1 PRAYER ROOM,1 THEATER, 6 FULL BATHS, WITH 1 6-CAR GARAGE

BUILDING CODES

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
ACCESSIBILITY CODE	2022 ANSI A117.1 ACCESSIBILITY CODE
HEALTH DEPARTMENT	2022 CALIFORNIA HEALTH CODE
RESIDENTIAL CODE	2022 CALIFORNIA RESIDENTIAL CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
GREEN CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

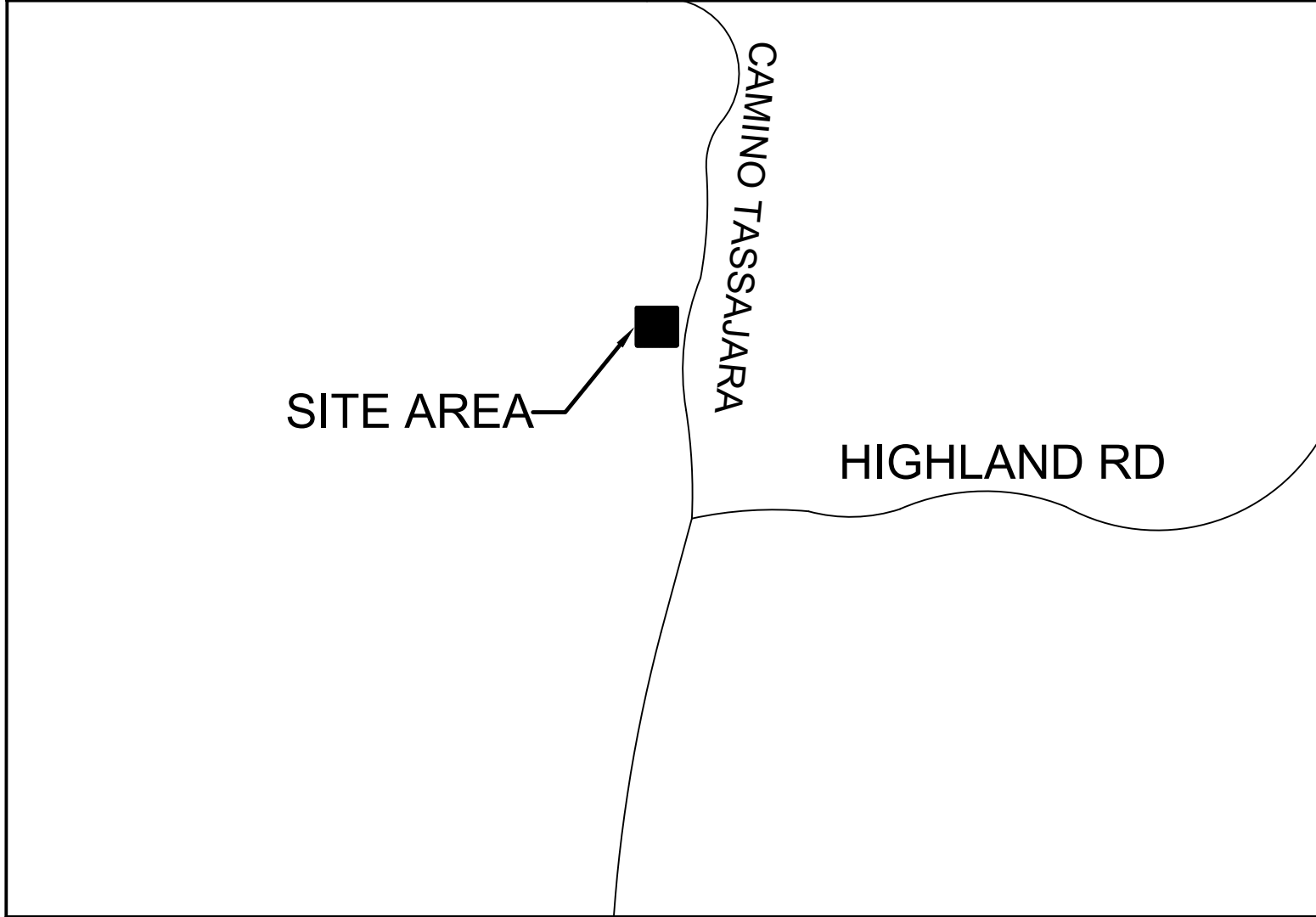
GENERAL NOTES

- CONSTRUCTION OF PLUMBING WALLS IN RESIDENTIAL CONSTRUCTION TO BE OF SUFFICIENT DEPTH TO ACCOMMODATE ANY REQUIRED DRILLING OR NOTCHING. CLEAN OUTS TO BE IN PLACE AT TIME OF UNDER FLOOR/PRESLAB INSPECTION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE ABOVE LISTED CODES AND ALL OTHER PUBLICATIONS NOTED HEREIN.
- DETAILS SHOWN ON THE STRUCTURAL DRAWINGS ARE TYPICAL AND SIMILAR DETAILS SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE ON THE PLANS. ANY DISCREPANCIES ON DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER
- THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ALL THE ERRORS IN DETAILING, FABRICATION, AND THE CORRECT FITTING OF THE STRUCTURAL MEMBERS.
- NAILING SHALL BE IN COMPLIANCE WITH THE TABLE R602.3.(1) CRC
- TRUSS CLIPS SHALL BE PROVIDED AT ALL INTERIOR PARTITIONS WITH 1/2" CLEARANCE FROM TOP PLATE OF PARTITION AND BOTTOM CHORD.
- PROVIDE A DOUBLE TOP PLATE WITH A MINIMUM 48 INCH LAP SPLICE AND NAILED AT EACH END WITH 16d NAILS.
- ALL HEADERS TO BE 4x12 D.F. NO.1 UNLESS OTHERWISE NOTED.
- PLYWOOD SHEATHING OVER EXPOSED EAVES, OR OTHER EXPOSED AREAS, ARE TO BE EXTERIOR, EXPOSURE 1 OR CC PLUGGED.
- PROVIDE SOLID BLOCKING AT EXTERIOR WALLS ON TRUSSED ROOFS.
- PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR AND STUD WALLS TO BE STUCCOED.
- AN A.I.T.C. CERTIFICATE FOR EACH GLUE LAMINATED TIMBER SHALL BE AVAILABLE AT THE JOB SITE.
- EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH, THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE A MINIMUM OF 24 INCHES.
- NEED TO STUBMIT COMPACTION TEST BEFORE FIRST INSPECTION REQUEST.
- "HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION".

SHEET INDEX

TRADE	SHEET	DESCRIPTION
	CS	COVER SHEET AND NOTES
	TP-1	TOPOGRAPHIC SURVEY
	OWTS	ONSITE WASTE TREATMENT SERVICE
ARCHITECTURAL	A1.0	SITE PLAN AND STORMWATER CONTROL PLAN
	A2.0	MAIN FLOOR PLAN
	A3.0	ARCHITECTURAL DETAILS
	A4.0	ELEVATION PLAN
	A5.0	ELEVATION PLAN
	A6.0	RENDER ELEVATIONS

VICINITY MAP



PROJECT DIRECTORY

OWNER:
MAJOR GILL
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588

ARCHITECT DESIGNER
ELEVATION DESIGN + CONSULTING
915 13TH STREET
MODESTO, CA. 95354
209-872-2099 (SABINO URRUTIA)
elevation-dc@outlook.com

Description

Date

Rev. #

MAJOR RESIDENCE

5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N. #

COVER SHEET AND NOTES

elevation
DESIGN + CONSULTING

SABINO URRUTIA
PO BOX 1159 CERES,CA 95307
PH) 209 . 872 . 2099

Job#:	23-010	AS NOTED	
Scale:			
Date:	4/8/26	SCU	JM
Drawn By:			
Checked By:			

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SHEET:

CS



KEY NOTES

- (E) EXISTING
- PERCOLATION HOLE
- SOIL PROFILE TEST PIT

BASE PLAN AND TOPOGRAPHY MAP PREPARED BY RENE SERRANO
DATE: 01/23/2025
CONTOUR INTERVALS = 2'

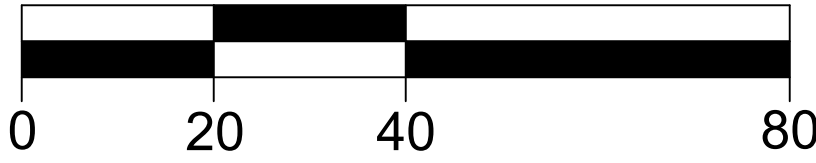
PROPOSED OWS DISPOSAL FIELD LOCATION

SCALE: 1" = 20'

PERCOLATION TEST RESULTS SUMMARY			
PERCOLATION HOLE #	DEPTH HOLE	SOIL PERCOLATION RATE (MPI)	AVERAGE RATE (MPI)
P1	18"	22	8
P2		3	
P3		3	
P4		9	
P5		5	
P6		6	

WASTEWATER APPLICATION RATE: 0.914 GPD/FT²
(PER CONTRA COSTA COUNTY HEALTH OFFICER REGULATIONS FOR SEWAGE COLLECTION AND DISPOSAL APPENDIX 1 FOR PERCOLATION RATE OF 8 MPI)

SCALE 1" = 20'



VICINITY MAP

SCALE: N.T.S.

SCOPE OF WORK: SOIL PROFILE AND PERCOLATION FOR FUTURE
ONSITE WASTEWATER DISPOSAL SYSTEM/SEPTIC SYSTEM.

NOTE: AREA TESTED SUITABLE FOR UP TO 8 BEDROOMS

WATER SOURCE: ONSITE WATER WELL

SHEET

DATE: 01/27/25
SCALE: 1" = 30'
DRAWN: ADR
CHECKED BY: SMR

SITE LOCATION:
5980 CAMINO TASSAJARA
DANVILLE, CA 94588
APN: 206-200-002

ONSITE WASTEWATER
SYSTEM PERCOLATION TEST
LOCATION FOR:

MAJOR GILL
5980 CAMINO TASSAJARA
DANVILLE CA 94588

SALVADOR M. RUIZ
REGISTERED ENVIRONMENTAL
HEALTH SPECIALIST
STATE OF CALIFORNIA
REGISTRATION NUMBER: 5940
EXPIRES: 12-31-26

DATE: 01/27/25

SALVADOR M. RUIZ, R.E.H.S.
3941 PARK DRIVE STE. 20744
EL DORADO HILLS, CA 95762
PHONE: (925) 212-9168
EMAIL: suizehs@yahoo.com



CALL 811 AT LEAST 48
WORKING HOURS BEFORE
YOU DIG

THIS SITE MAP WAS PREPARED SOLELY FOR THE PURPOSE OF THE SEPTIC SYSTEM DESIGN
AND SHOULD NOT BE CONSTRUED AS A BOUNDARY SURVEY OR FOR OTHER PURPOSES.
LOCATIONS ARE APPROXIMATE, ALL INFORMATION SHOWN ON THE DRAWING HAS BEEN
PROVIDED BY THE PROPERTY OWNER OR AGENT AND MEASUREMENTS TAKEN IN THE FIELD.

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
4. DISHWASHER
5. LAVATORY
6. WATER CLOSET
7. ATTIC ACCESS
8. 2X6 PLUMBING WALL
9. TUB/ SHOWER WAINSCOT WALLS TO 6'-0" MIN. - PROVIDE SOLID WASTE CONNECTION
10. DOUBLE STACKED OVEN

FLOOR PLAN NOTES

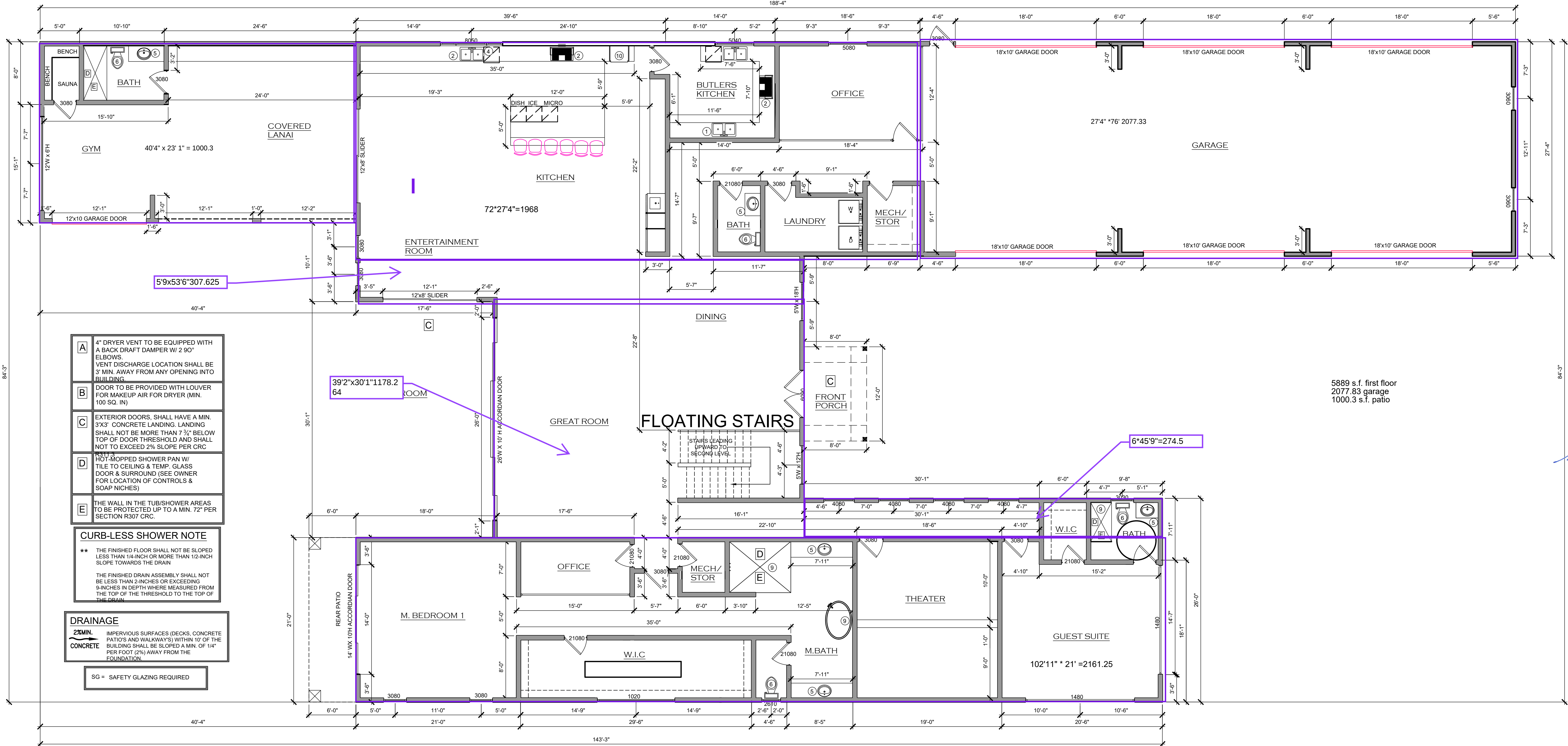
1. ALL EXTERIOR / INTERIOR WALLS SHALL BE 2X6 AT 16" O.C. D.F. #2 OR BETTER (U.O.N.) ALL WALLS 10'-0" SHALL BE 2X6 AT 16" O.C. D.F. #2
2. OR BETTER OR (2) 2X4 AT 16" O.C. D.F. #2 OR BETTER (UP TO 14'-0") (U.O.N.) FOR ADDITIONAL WOOD FRAMING NOTES AND DETAILS, REFER TO STRUCTURAL PLANS.
3. ALL LUMBER SHALL BEAR AN APPROVED RATING STAMP
4. ALL HEADERS SHALL BE 4X12 EXCEPT U.O.N.
5. STUDS, PLATES, BEAMS, AND BLOCKING SHALL HAVE 19% MAX. MOISTURE CONTENT
6. NAILING PER CRC TABLE R602.3(1) ALL NAILS TO BE COMMON
7. ALL MINIMUM DOOR HEIGHTS SHALL BE 80 INCHES FOR EXTERIOR DOORS AND 78 INCHES FOR INTERIOR. THE MAXIMUM THRESHOLD HEIGHT IS $\frac{3}{4}$ " FOR SLIDING DOORS AND $\frac{1}{2}$ " FOR HINGED DOORS. DOOR HANDLES, LATCHES, LOCKS ETC. SHALL BE MOUNTED 34 INCHES TO 48 INCHES ABOVE FLOOR.
8. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PTDF #2 OR BETTER
9. ATTIC SPACES. AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (509 MM BY 762 MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762 MM). A 30-INCH (762 MM) MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
10. MAXIMUM HEIGHT FROM FLOOR. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR.

VENTILATION NOTES

1. MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS IF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION ARE NOT PROVIDED.
2. WHEN A CONNECTOR USED FOR A GAS APPLIANCE HAVING A DRAFTHOOD MUST BE LOCATED IN OR PASS THROUGH A CRAWL SPACE OR OTHER COLD AREA THAT PORTION OF THE CONNECTOR SHALL BE LISTED TYPE B OR TYPE L VENT
3. MATERIAL OR BE PROVIDED WITH THE EQUIVALENT MEANS OF INSULATION. VENT CONNECTORS IN GARAGES OR OTHER NON-CONDITIONED AREAS ARE TO BE TYPE B
4. AT LEAST HALF OF COMMON WALL MUST BE OPEN HAVING NOT LESS THAN 1/10 OF FLOOR AREA OR 25 SQUARE FEET WHICHEVER IS GREATER IF LIGHT AND VENTILATION SUPPLIED FROM ADJACENT ROOM.
5. MINIMUM VENT AREA IS 1/150 OF THE ATTIC AREA OR 1/300 AREA IF AT LEAST 50% OF REQUIRED VENT IS THREE FEET ABOVE EAVE VENTS OR CORNICE VENTS
6. TYPE B OR BW GAS VENTS WITH LISTED VENT CAPS 12" IN SIZE OR SMALLER SHALL BE PERMITTED TO BE TERMINATED IN ACCORDANCE WITH TABLE 8-A, PROVIDED THEY ARE LOCATED AT LEAST 8 FEET FROM A VERTICAL WALL OR SIMILAR OBSTRUCTION. ALL OTHER TYPE B GAS VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN TEN FEET.

WINDOW & GLAZING NOTES

1. IN DWELLING UNITS EVERY SLEEPING ROOM AND BASEMENT SHALL HAVE A OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" TO THE BOTTOM OF CLEAR OPENING.
2. WINDOW AREA MUST BE AT LEAST 8% OF THE FLOOR AREA SERVED, WITH A MINIMUM OF 10 SQUARE FEET IN ALL HABITABLE ROOMS.
3. OPENABLE WINDOW AREA AND HABITABLE ROOMS MUST BE 4% VENTILATION OF THE FLOOR AREA SERVED AND A MINIMUM OF 5 SQUARE FEET. IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS, 1/20 OF THE AREA IS REQUIRED WITH 1.5 SQUARE FOOT MINIMUM.
4. ALL GLAZING WITHIN 18" OF THE FLOOR AND IN EXCESS OF 9 SQUARE FEET AND WITHIN 12 INCHES OF ANY DOOR, AND THAT HAS A TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR AND WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF PLANE SHALL BE TEMPERED. ALL SHOWER AND BATHTUB DOORS GLAZING WITHIN 60 INCHES OF THE BATHING SURFACE SHALL BE TEMPERED.
5. SAFETY GLAZING MUST BE INSTALLED IN INGRESS/EGRESS DOORS AND IN ALL PANELS OF SLIDING DOORS INCLUDING FIXED PANELS.
6. GLAZING WITHIN A 24 INCH ARC OF EITHER THE VERTICAL EDGE OF A DOOR AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED.
7. ALL GLAZING SHALL BE DUAL PANE AS INDICATED ON THE TITLE 24 DOCUMENTS.



MAJOR RESIDENCE

5980 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N. #

MAIN FLOOR PLAN

elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#: 22-039
Scale: AS NOTED
Date: 5/13/25
Drawn By: AC
Checked By: SCU

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SHEET:
A2.0

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
4. DISHWASHER
5. LAVATORY
6. WATER CLOSET
7. ATTIC ACCESS
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FLOOR PLAN LEGEND

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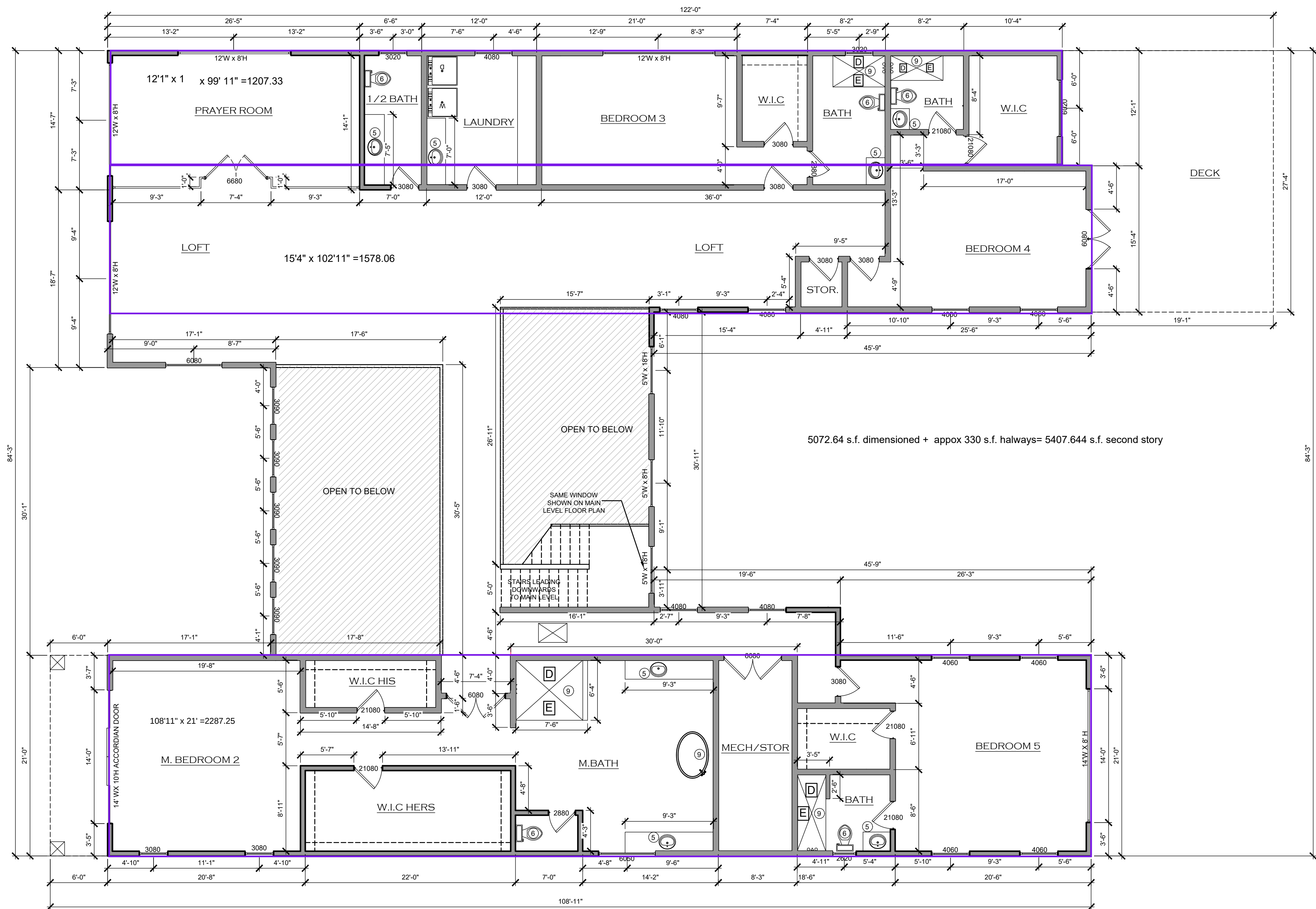
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SAFETY GLAZING MUST BE INSTALLED IN INGRESS/EGRESS DOORS AND IN ALL PANELS OF SLIDING DOORS INCLUDING FIXED PANELS.

GLAZING WITHIN A 24 INCH ARC OF EITHER THE VERTICAL EDGE OF A DOOR AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED.

ALL GLAZING SHALL BE DUAL PANE AS INDICATED ON THE TITLE 24 DOCUMENTS.



A	4" DRYER VENT TO BE EQUIPPED WITH A BACK DRAFT DAMPER W/ 2 90° ELBOWS. VENT DISCHARGE LOCATION SHALL BE 3' MIN. AWAY FROM ANY OPENING INTO BUILDING
B	DOOR TO BE PROVIDED WITH LOUVER FOR MAKEUP AIR FOR DRYER (MIN. 100 SQ. IN)
C	EXTERIOR DOORS, SHALL HAVE A MIN. 3'X3' CONCRETE LANDING. LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW TOP OF DOOR THRESHOLD AND SHALL NOT TO EXCEED 2% SLOPE PER CRC
D	HOT-MOPPED SHOWER PAN W/ TILE TO CEILING & TEMP. GLASS DOOR & SURROUND (SEE OWNER FOR LOCATION OF CONTROLS & SOAP NICHES)
E	THE WALL IN THE TUB/SHOWER AREAS TO BE PROTECTED UP TO A MIN. 72" PER SECTION R307 CRC.

CURB-LESS SHOWER NOTE	
**	THE FINISHED FLOOR SHALL NOT BE SLOPED LESS THAN 1/4 INCH OR MORE THAN 1/2 INCH SLOPE TOWARDS THE DRAIN
	THE FINISHED DRAIN ASSEMBLY SHALL NOT BE LESS THAN 2 INCHES OR EXCEEDING 9 INCHES IN DEPTH WHERE MEASURED FROM THE TOP OF THE THRESHOLD TO THE TOP OF THE DRAIN

DRAINAGE	
2% MIN.	IMPERVIOUS SURFACES (DECKS, CONCRETE PATIOS AND WALKWAYS) WITHIN 10' OF THE BUILDING SHALL BE SLOPED A MIN. OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION
CONCRETE	

SG = SAFETY GLAZING REQUIRED	
------------------------------	--

SECOND LEVEL FLOORPLAN

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

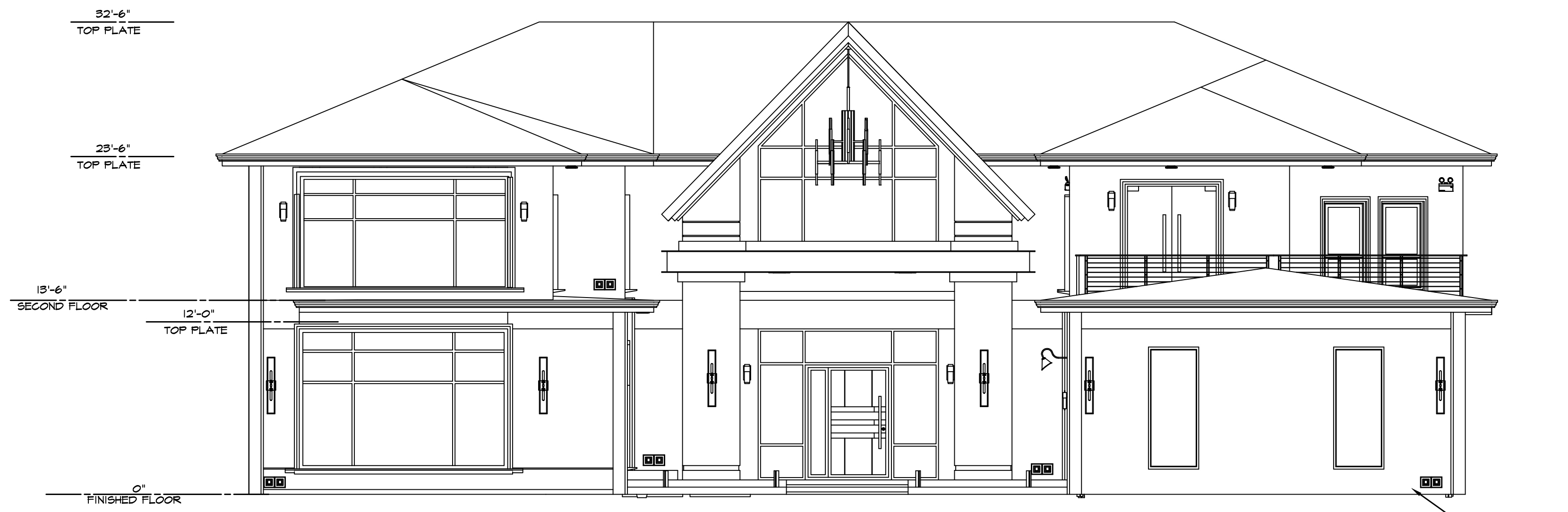
elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
Scale:	AS NOTED
Date:	5/13/25
Drawn By:	AC
Checked By:	SCU

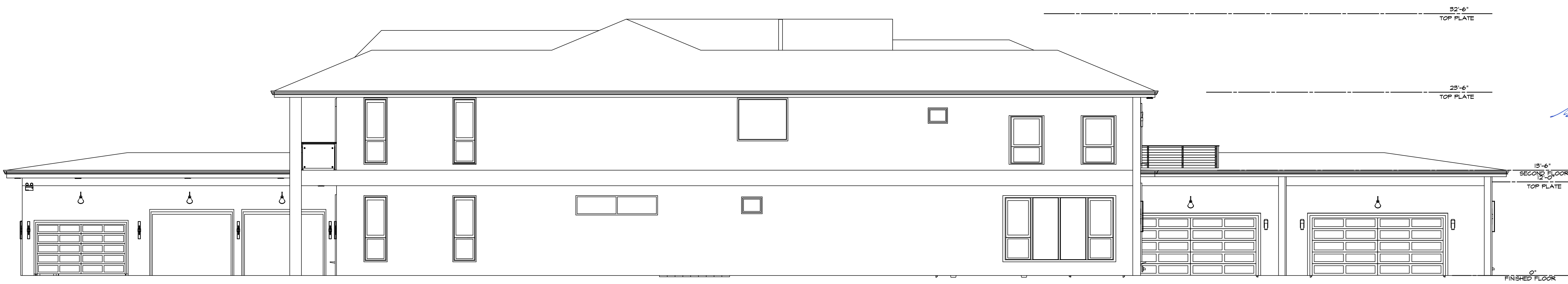
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SHEET:
A3.0



FRONT SIDE ELEVATION

SCALE: 3/16"=1'-0"



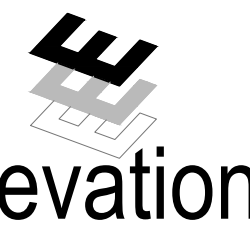
LEFT SIDE ELEVATION

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA,
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN



DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
Scale:	AS NOTED
Date:	5/13/25
Drawn By:	AC
Checked By:	SCU

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SHEET:
A4.0



BACK SIDE ELEVATION

SCALE: 3/16"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

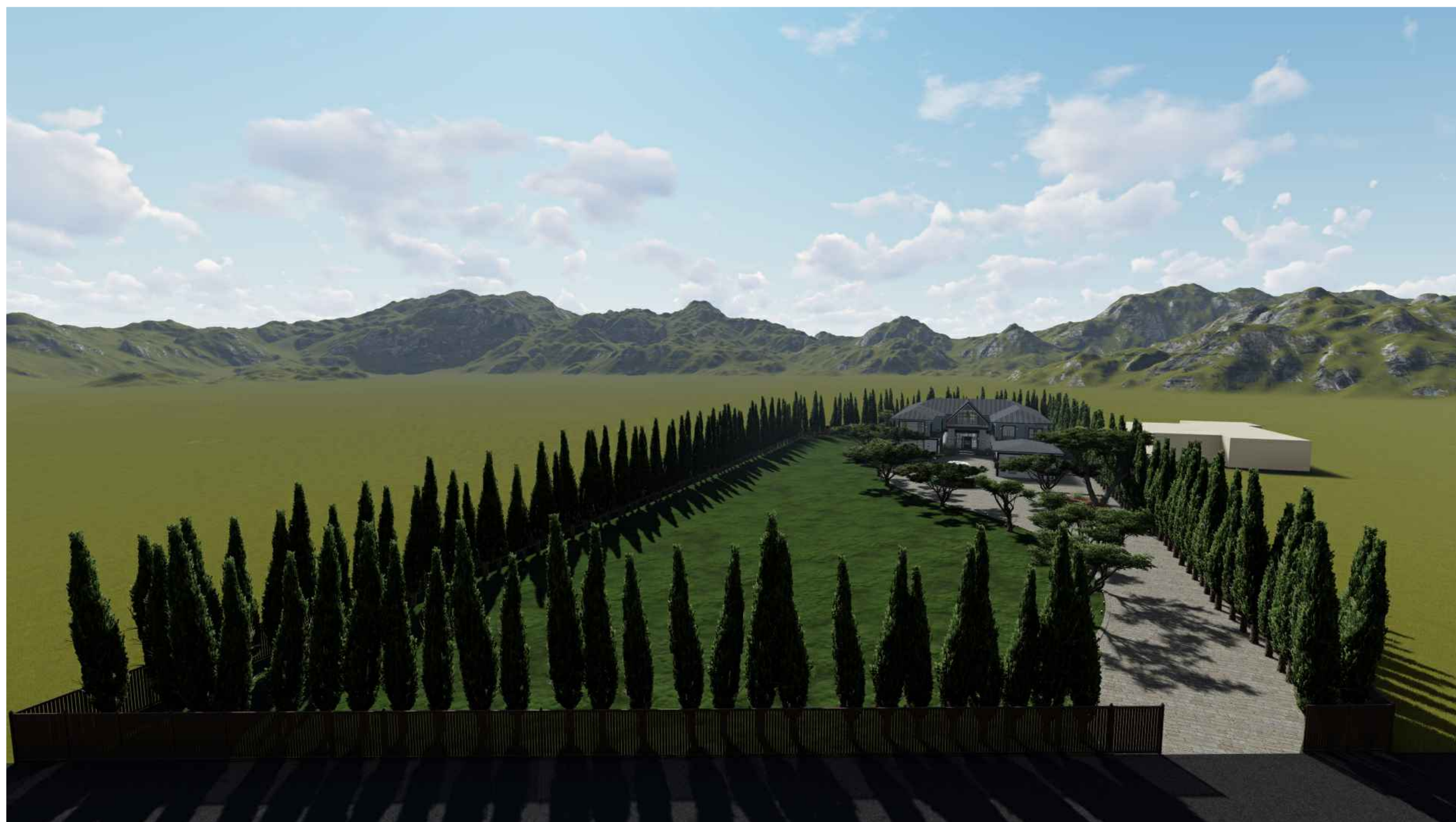
elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#:	22-039
Scale:	AS NOTED
Date:	5/13/25
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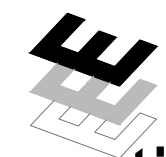
SHEET:
A5.0



MAJOR RESIDENCE

5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N #

RENDER ELEVATION



elevation
DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#: 22-039

Job#:	22-039
Scale:	AS NOTED

Date: 5/13/25

Drawn By: AC

Checked By:	SC11
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SHEET:

A6.0

Major Gill Appeal

County File: CDDP25-03021

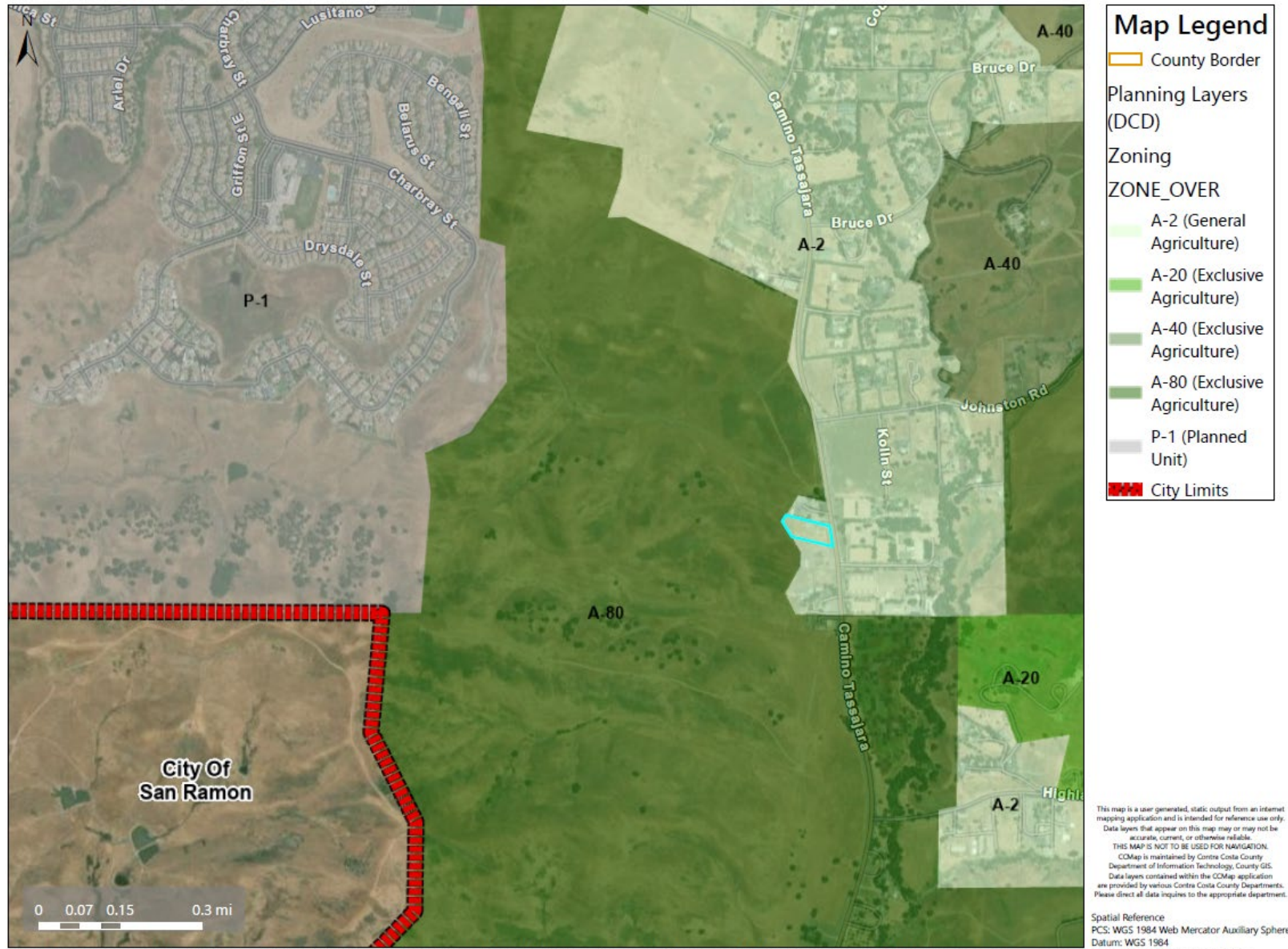
COUNTY PLANNING COMMISSION

JULY 22, 2026

Zoning Map

2

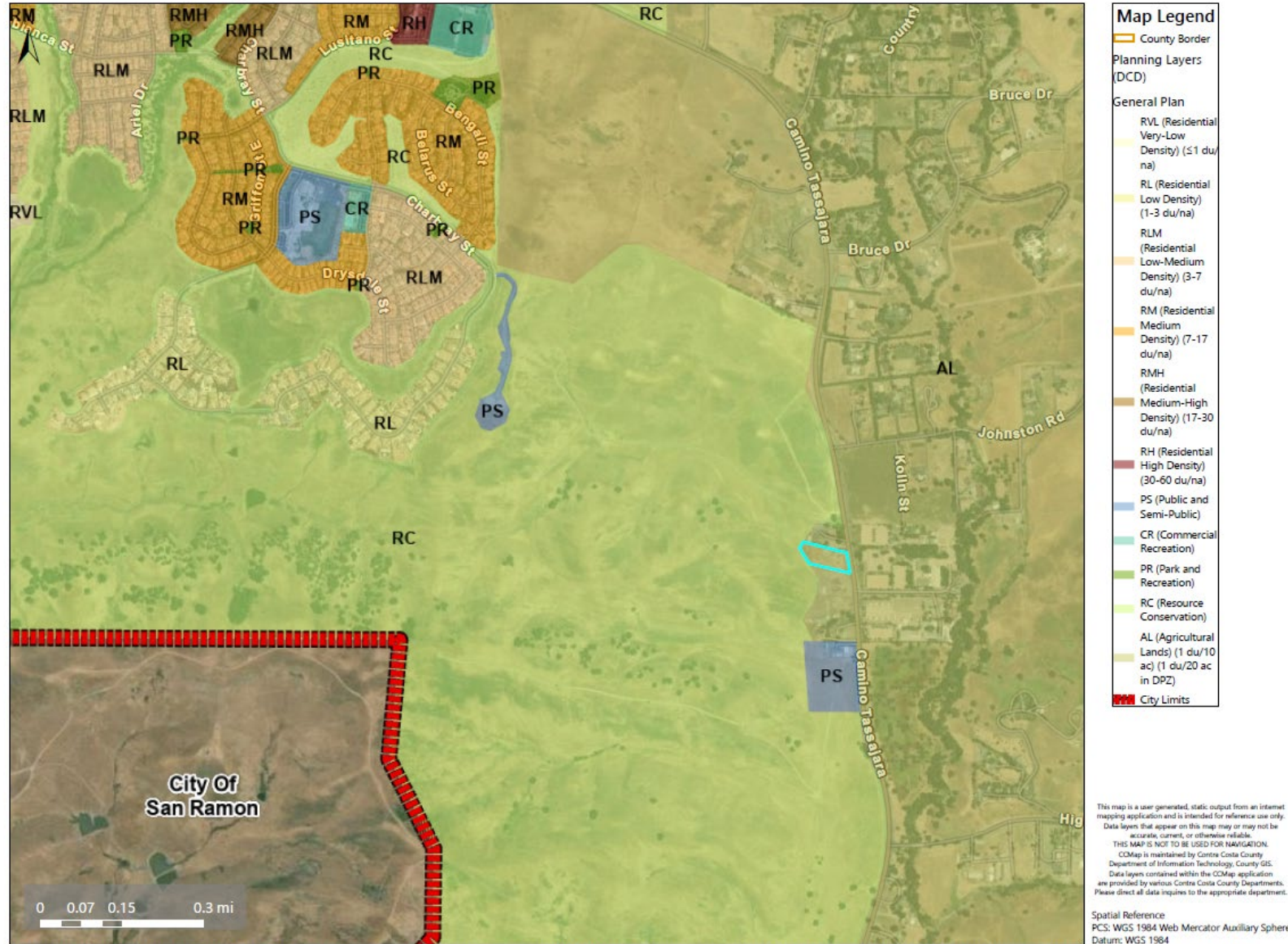
Zoning: General Agricultural District (A-2)



General Plan Map

3

General Plan: Agricultural Lands (AL)



Aerial Map

4



5



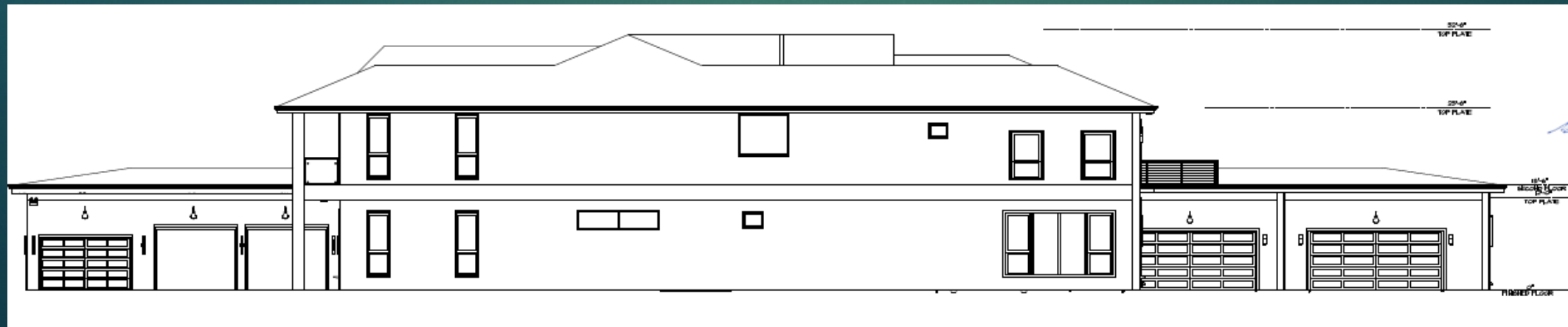
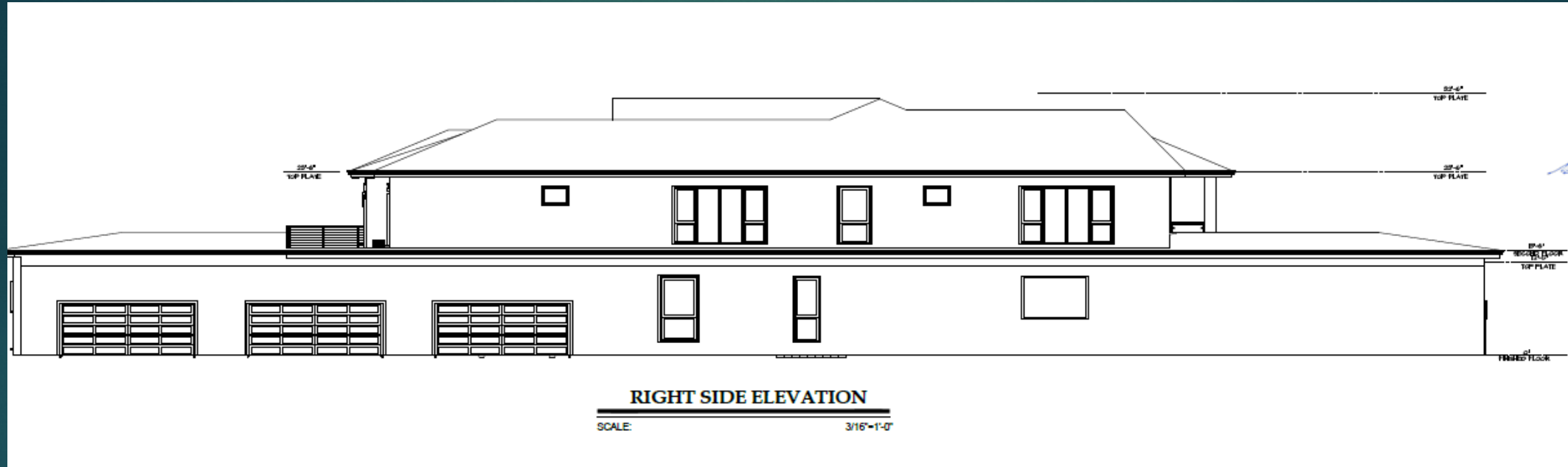
Proposed Two-Story Residence

6



Proposed Two-Story Residence

7



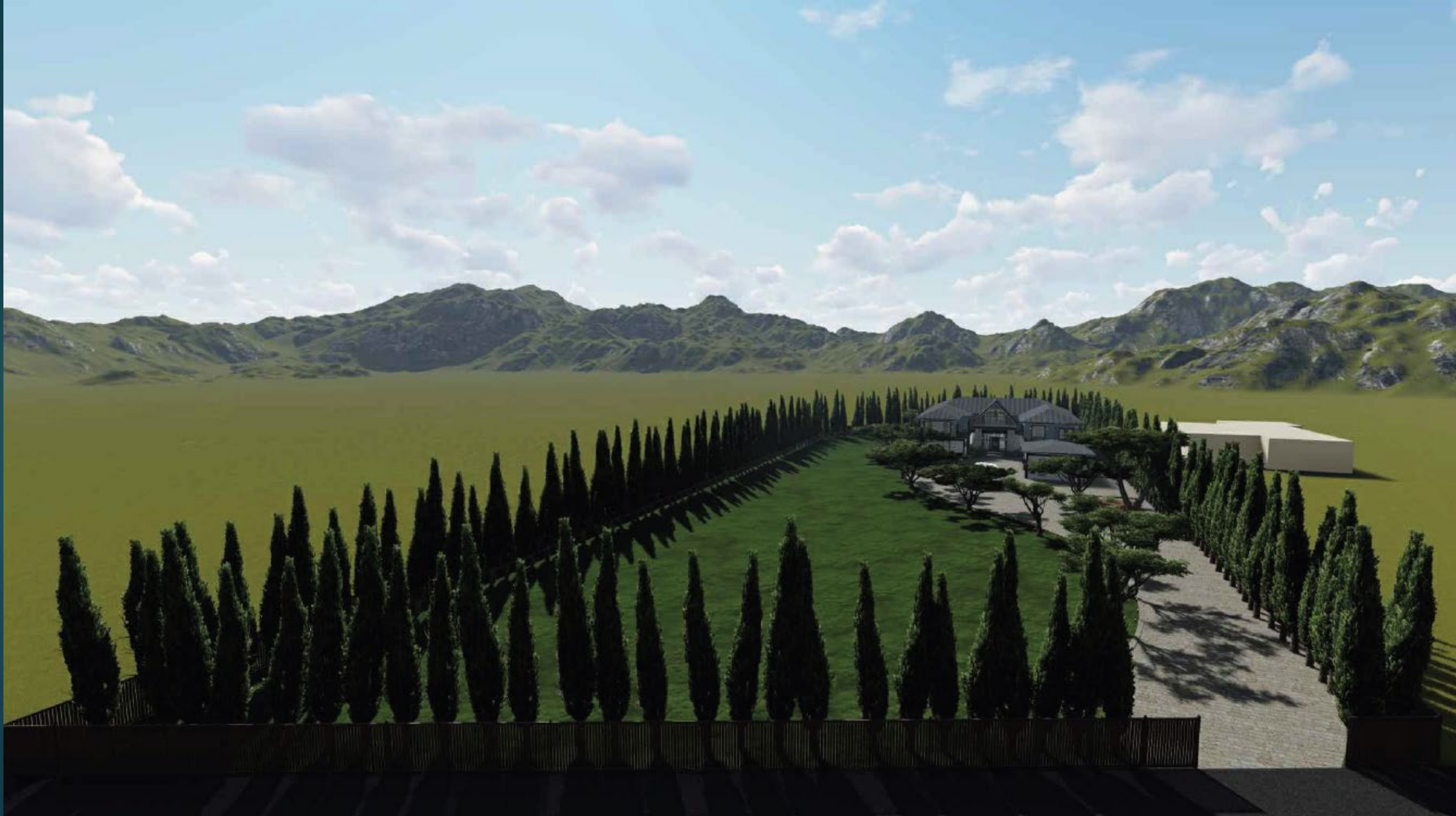
Proposed Two-Story Residence

8



Proposed Two-Story Residence

9



Zoning Administrator's Decision

10

- ▶ On June 1, 2026, the County Zoning Administrator denied the project, finding the residence to be incompatible with the surrounding area in terms of size.
- ▶ On June 1, 2026, CDD staff received a formal appeal of the ZA decision from Major Gill.

Gill Appeal

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- ▶ The denial is based on the personal opinion of the Zoning Administrator (ZA) and is not supported by any identified code provision.
- ▶ The denial was not based on an objective standard and offered no guidance as to an acceptable home size - it amounts to an arbitrary administrative decision.
- ▶ The ZA's findings are contradicted by substantial evidence in the record.
- ▶ The denial was improperly influenced by prejudicial opposition testimony.
- ▶ The project meets all review criteria (size, location, height, design) specified in the Small Lot Ordinance.

Staff Response to Appeal

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- ▶ The proposed residence is larger than the vast majority of homes in Tassajara Valley area.
- ▶ The ZA determination on neighborhood compatibility is consistent with criteria specified within the small lot ordinance.

Questions?