



CONTRA COSTA COUNTY

AGENDA

North Richmond Municipal Advisory Council

Tuesday, April 7, 2026

5:00 PM

515 Silver Ave, North Richmond |
<https://cccouny-us.zoom.us/j/810469011>

64

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call and Introductions
2. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
3. REVIEW and APPROVE Agenda and February 3, 2026 Notes
REVIEW and APPROVE February 3, 2026 NRMAC Meeting Notes [26-1384](#)
Attachments: [2026February3NRMACNotes](#)
4. Law Enforcement Updates
5. CC Planning Permit Recommendation
REVIEW AND APPROVE County Planning Permit CDVR26-01005 [26-1385](#)
Attachments: [CDVR26-01005 ACR](#)
6. Community Updates (COR, CCHA, Supervisor Gioia, CHDC, RLAND, Urban Tilth)

The next meeting is currently scheduled for _____.

Adjourn

For Additional Information Contact: Tania.pulido@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-1384

Agenda Date: 4/7/2026

Agenda #:

Advisory Board: North Richmond Municipal Advisory Board

Subject: REVIEW and APPROVE February 3, 2026 NRMAC Meeting Notes

Information: REVIEW and APPROVE February 3, 2026 NRMAC Meeting Notes

NORTH RICHMOND MUNICIPAL ADVISORY COUNCIL

Tuesday, February 3, 2026

Corrine Sain/Senior and Family Community Center

515 Silver Street

N. Richmond, CA 94801

Meetings are being conducted at the Corrine Sain/Senior and Family Community Center, 515 Silver Street, N. Richmond, CA 94801. The meetings are accessible on ZOOM.

CALL TO ORDER

The meeting was called to order at 5:05 p.m.

PUBLIC COMMENT

Kaden Cotton Blake/Community Engagement Manager/Richmond Land: Mr. Blake introduces himself as the new community engagement manager for Richmond Land. He is looking forward to working in the communities.

Latifah Abdullah, Community Engagement Manager/Urban Tilth Farms - N. Richmond

As a North Richmond resident, there are ongoing issues with street sweeping.

On street sweeping days, the sweeper is driving down the middle of the street, going around cars. The vehicle owners are not abiding by the posted rules pertaining to street sweeping days. Hopefully, we can get an update on the situation today. The N. Richmond farm, CSA, is back, and the new year's program has started. Residents can have produce delivered to their house, or it can be picked up at the farm's location, 323 Brookside Drive. If you need more information, contact Latifah. The Back to School Program is back. Grades Pre K - 5. Every Wednesday at the N.R. farm, from 3:30 p.m. - 5:30 p.m. The program - Not For Us - Without Us has started. Schedules are as follows: Series #2: Verde Elementary Cafeteria, 2000 Giaramita St., Richmond, CA Meeting #1: Orientation + Laying the Groundwork, Wednesday, February 4th, 2026, from 5:30 p.m. - 7:30 p.m. Meeting #2: Learning about the Projects, Wednesday, February 11th, 2026, from 5:30 - 7:30 p.m. Series #3: Online Zoom Webinar - Meeting #1: Orientation + Laying the Groundwork, Wednesday, February 18th, 2026, from 5:30 p.m. - 7:30 p.m. Meeting #2: Learning About the Projects, Wednesday, February 25th, 2026, from 5:30 p.m. - 7:30 p.m. Come out and let your voice be heard at the Community Vote and Celebration at Verde K-8 on Saturday, March 7th, from 11:00 a.m. to 2:00 p.m. Stipends are available for N. Richmond residents.

**Annie states that this meeting began out of order. She would like to make a motion that they start over, beginning with roll call. Motion is made, Princess seconds, all are in favor.

CALL TO ORDER/ROLL CALL

Board members present are: Annie King-Meredith, Donald Gilmore, Princess Robinson, and Latifah Abdullah. Absent is Glory Lopez.

APPROVAL OF AGENDA/MINUTES

Annie motions that the board accept and adopt the agenda and the minutes. Princess seconds, all are in favor.

LAW ENFORCEMENT/AGENCY REPORTS

Lieutenant Lucas/RPD: Reporting for the past thirty days.

There were seventy-seven 911 disconnect calls. Forty-nine traffic stops, 32 citations were issued. There were 31 abandoned vehicles, 18 suspicious vehicles, and seven occupied vehicles. Fifteen parking violations, twelve stolen vehicle reports. Twelve hot spotter calls, twelve arrests were made. Sixty-two incident reports were written in the past thirty days. Annie asks what area Lt. Lucas covers. The reply was that he is the Central District Commander, working three different beats. Beat four is the Belding Woods, Bissel, 23rd, and Rheem. Beat five is the Iron Triangle and N. R. Beat six is the McDonald Corridor, and 23rd Street. Annie also asks whether his report tonight pertains to the N. Richmond area. The answer is yes.

LAW ENFORCEMENT/AGENCY REPORTS CONTINUED

Lt. Lucas (RPD) says that there are new law enforcement officers working the Central District. They are still getting familiar with their jobs and are getting up to speed.

Sergeant Brian Fitzgerald/CCC Sheriff's Department: Reports for the last couple of months. There were 324 calls for service. Twenty-one reports were generated. There was one recovered stolen vehicle. An assault with a deadly weapon. A couple of thefts and auto burglaries. The trend for the last few months was assaults with deadly weapons in November. Two auto burglaries in the last two months. Questions: Princess asks how many thefts and if anyone was in custody. The answer is yes, they are in custody. Annie has a few questions: Last weekend on the County side, a party started at 9:00 p.m. and didn't end until 5:00 a.m. in the morning. The vibrations from the party rocked your entire house. Did anyone call in on that? Is the noise ordinance still in effect? The County's ordinance shut-off time is 9:00 p.m. This pertains to construction.

After ten o'clock, the music should be lowered, pertaining to a party. If called, the sheriff's department will come out. The dispatch number for the Sheriff's Department is (925) 646-2441. There is a problem with cars parking at the dead-end streets, adjacent to the creeks. Access roads for emergency vehicles are being blocked. In case of a fire or other emergencies, it is impossible to gain access to the creek areas. If a car is parked for over 72 hours on the roadway, it is subject to being legally towed. In the future, the Sheriff's Department will enforce the parking violations.

PRESENTATIONS

Judy Chen, Planning & Support Manager/West County Wastewater Management - Understanding Wastewater Management and Compliance: Ms. Chen will present tonight on the purpose of the sewer lateral compliance. The West County Wastewater - Service Area - Responsible Wastewater Management - Sewer Lateral Compliance - Incentive Program and Contact Information The purpose of the sewer lateral compliance program is to protect public health. Environmental stewardship: maintain private sewer laterals to ensure compliance and protect our environment. Preventing spills, keeping waterways clean, and ensuring a reliable wastewater system for the future. Responsible wastewater management takes place at the water quality and resource recovery plant. What not to flush down your drains: grease, chemicals, medicine and pills, and baby wipes. Household hazardous wastes should go to the West Contra Costa County Household Hazardous Waste Facility, 101 Pittsburg Ave. Richmond, CA 94801. Property owners are responsible for the care and maintenance of laterals. When buying or selling a house, you need a certificate of sewer lateral compliance from WCS. Important information on overflow devices: If a backup occurs, the overflow device's ball-check mechanism automatically opens, allowing the overflow to occur outside the build rather than inside. The Public Incentive Program is for the efficiency of sewers (pipes). You may be entitled to rebates by replacing lateral pipes at your current address location. Waste Water Management has several strategies to inform customers about the various programs: Social Media, Mail Correspondence, and In-Person Engagement. Contact information: Website: <https://www.wc wd.org> Inspection email: Inspections@wc wd.org Permits Email: Permits@wc wd.org PIPES Email: PIPESProgram@wc wd.org Phone: 510-222-6700

PRESENTATIONS CONTINUED

Naama Raz-Yaseef, Senior Manager, The Watershed Project - Climate Ready Communities/Richmond Sea Level Rise Adaptation and Resilience Plan:

This is the City of Richmond Sea Level Rise Adaptation and Resiliency Plan. The project purpose: The City of Richmond's 32 miles of shoreline faces increasing risks from sea level rise, which threatens community well-being and environmental

health. The City is launching a community-driven effort to develop a shared vision and clear pathways for implementation that build resilience for Richmond residents against coastal flooding.

The plan will address SB272, California legislation from 2023, that “requires local governments within the coastal zone to develop a sea level rise plan by 2034.

The plan will need to be approved by the San Francisco Bay Conservation and Development Commission (BCDC) and follow their Regional Shoreline Resilience Plan (RSAP) Funding for the planning process comes from the California Ocean Protection Council.

Project Partners are the City of Richmond, The Watershed Project, ESA, MITHUN, KLEINFELDER, and ERG.

Other Sea-Level Rise Resilience Adjacent Projects in CCC: North Richmond, and of course City of Richmond.

The Project Timeline: Confirm Vulnerable Assets, September 2025 - March 2026.

Adaptation Responses: March 2026 - January 2027, Develop Sea Level Rise

Adaptation and Resiliency Plan: January 2026 - May 2027. An average of ten years to achieve. An opportunity for development: The plan can include multi-benefit protection structures, changes in land use policy, transportation and utility system adaptation, site and building adaptation strategies, emergency response, and flood management.

Climate change, sea level rise, and their impact on our communities: Global Warming, since the Industrial Revolution (1850) earth has warmed by 2 degrees Fahrenheit (1.2 degrees Celsius). Most of the warming happened over the last 40 years. The most recent decade was the hottest on record. Sea level rise will increase coastal flooding.

The types of coastal flooding are: Large waves, high winds, high tides, and storm surges. When the sea rises, it moves further inland and pushes the groundwater up.

The impacts from rising groundwater, basements, and drainage systems could flood roads and other structures weaken.

Vulnerable assets and priorities: What is most vulnerable to sea level rise in your community? How will sea level rise impact your day-to-day life? Moving Forward - Solutions to Sea Level Rise: Topic Areas the Plan will be Working on:

Community health and wellbeing, Ecosystem health and resilience, development, housing, and land use, critical infrastructure and services, flood management, public access and recreation, transportation and transit, shoreline contamination, and collaborative governance and funding.

PROGRAM AND OTHER AGENCY REPORTS

Tony Ucciferri, Deputy Executive Director/Housing Authority Contra Costa County

Presenting the status of the sales of the scattered sites at the market rate. Have closed on two sales, and two are getting ready to close. There are fourteen more sites that

need to be closed on. Thirteen are in escrow. Hoping to close sometime soon in the next sixty days. The new buyers will start getting the houses fixed up to live in or sell. The vacant lot at 1601 2nd Street, in N. Richmond, needs to be sold. Hoping to list this property by March. The below-market-rate units that were purchased by Richmond Community Foundation, have been remodeled and were on the verge of releasing one of the properties to the public for sale. Unfortunately, while waiting for PG&E to come out and power the property up, the site was vandalized. Someone broke into the property and stole all of the electrical wiring and copper piping. This was a tremendous setback. Tony will return next month with the status of the below-market homes. Annie asks about the vacant lot on 2nd Street. She would like to know the cost of the property. The site is valued at \$240,000. Latifah says that the remodeled house across from the senior center looks really nice. A very pleasant upgrade to the community.

Tania Pulido/District Coordinator/Supervisor, John Gioia's Office: Supervisor Gioia's Community Impact Fund is open. He is accepting applications until February 27th. It is a fairly simple application process. Hoping to do a quick turnaround with this. At the county level, they have the Youth Town Hall of Fame Award. You can nominate someone, ages 12 to 18. There are six categories, and a youth will be selected for each category. This is a great way to recognize a young person who is doing amazing work. The deadline to file is February 20th. Tania will follow up with more information if needed. There will be a meeting with the superintendent at Verde School this Friday. They are advocating for the portables to remain on the campus. The other meeting at Verde is the - (Not For Us - Without Us). This is a great opportunity to prioritize unfinished projects in the community.

PROGRAM AND OTHER AGENCY REPORTS CONTINUED

The VEOLIA Grant benefits the Iron Triangle and N. Richmond. Trying to get a panel together in order to access the funding. Presently, the amount of funding is \$300,000. Tania and Annie have been working to get people on the panel. Tania says Annie is playing a great role in doing outreach. Annie says Tania is doing a great job with her outreach efforts.

Donald Gilmore, Director/Community Housing Development Corporation: Don gives an update on the progress of acquiring the property known as the Las Deltas Main Campus. They are working through the necessary transactions. Legacy Court units are being rented out. There will be a grand opening ceremony

on March 6th. The permit for the grocery store has been extended. Have speed up the conversation with Urban Tilth Farm.

Kalu Dennis, Community Service Coordinator/CHDC - Mitigation Fee Funded:

Have been doing a lot of outreach in the community. Spending a lot of time at Wildcat Creek, along the train tracks. BNSF has a cleanup crew; Union Pacific does not. There was a fire at the homeless encampment, and mitigation went and checked things out. Several homeless structures were burnt down. Trying to get the area cleaned up. Working with SOS, they came out and passed out blankets. Offered up social services and resources. The majority of the homeless people refused the services. CORE came out and was able to take a few people to the Brookside Shelter. Tons of trash were moved from two locations, San Pablo Creek and Wildcat Creek. The issues pertaining to trash are overwhelming. Annie asks how many people go out on the monthly trash walk. Kalu says it depends on which agencies come out on that day. The walk is scheduled for the 2nd Thursday of each month. Kalu also does a trash walk with local deputies on a regular basis.

Princess Robinson, Executive Director/Richmond Land: Princess explains what a (CLT) organization is. A Community Land Trust is a community-driven model of land ownership where land is held in trust for the long-term benefit of marginalized communities rather than for individual profit. Richmond Land was able to launch a monthly virtual orientation to give people a visual presentation of who they are and what they do. And to bring more and help members unite their organizations. Available every 3rd Tuesday of the month. Was able to increase the board members to a total of eight. Was able to approve and finalize their goals for 2026. A new community engagement manager was hired. Eco Village News: Been working with a pro bono technical assistance focus group. Still trying to secure a senior developer to complete the project designs. The project has changed to eight family units and three to four small cottages.

Latifah Abdullah, Community Engagement Manager/Urban Tilth Farm:

Have a couple of job positions open. One position is for a CSA Logistics Specialist. The ideal candidate is a West Contra Costa County resident, 21+ y/o, with a valid CA driver's license. Please go to the Urban Tilth Farm Website for the application.

Cheryll Lopez, Community Engagement Manager/Urban Tilth Farm:

Making plans for Earth Day in April 2026. There is ongoing work at Wildcat Creek. Starting some restoration work. Have plans to get the planting done before the rains come in.

Donald Gilmore (Chair) The meeting ended with a moratorium in honor of Mr. Tommy, who passed away last week. He was up in age, in his 90's. Father of Jannine Shaheed/N. R. Senior Center. Mr Tommy was the owner of North Richmond Liquor and Grocery Store. The store was located at the property, where Legacy Court is presently located. He and his family were pillars in the community. Providing the community with essential daily needs. Mr. Tommy was a mentor to many residents and always had kind, encouraging words of wisdom and knowledge to pass on. May his memory live on in the North Richmond community.

The meeting was adjourned at 7:03 p.m.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-1385

Agenda Date: 4/7/2026

Agenda #:

Advisory Board: North Richmond Municipal Advisory Council

Subject: REVIEW AND APPROVE County Planning Permit CDVR26-01005

Information: REVIEW AND APPROVE County Planning Permit CDVR26-01005



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Project Summary

County File Number: CDVR26-01005

Submitted Date: 3/23/2026

Applicant: scott galka

Property Owner: COMMUNITY HOUSING DEVELOPMENT CORP

Project Description:

Request approval of a Variance to allow a 4-foot side yard where 5-feet is the minimum required for a new carport.

Project Location: (Address: 121 CHESLEY AVE, RICHMOND, CA 94801 157), (APN: 409052003)

Additional APNs:

General Plan Designation(s): RMH

Flood Hazard Areas: B

60-dBA Noise Control: NO

Sphere of Influence: Richmond

Sanitary District: WEST CO WASTEWATER

Specific Plan: NO

Zoning District(s): HE-C

AP Fault Zone: NO

MAC/TAC: NORTH RICHMOND MAC

Fire District: CONSOLIDATED FIRE

Housing Inventory Site: YES



PB
408

ST.

1 ST.

ST.

07

2 ND.

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

04

YORK ST.

P.B.
561

051

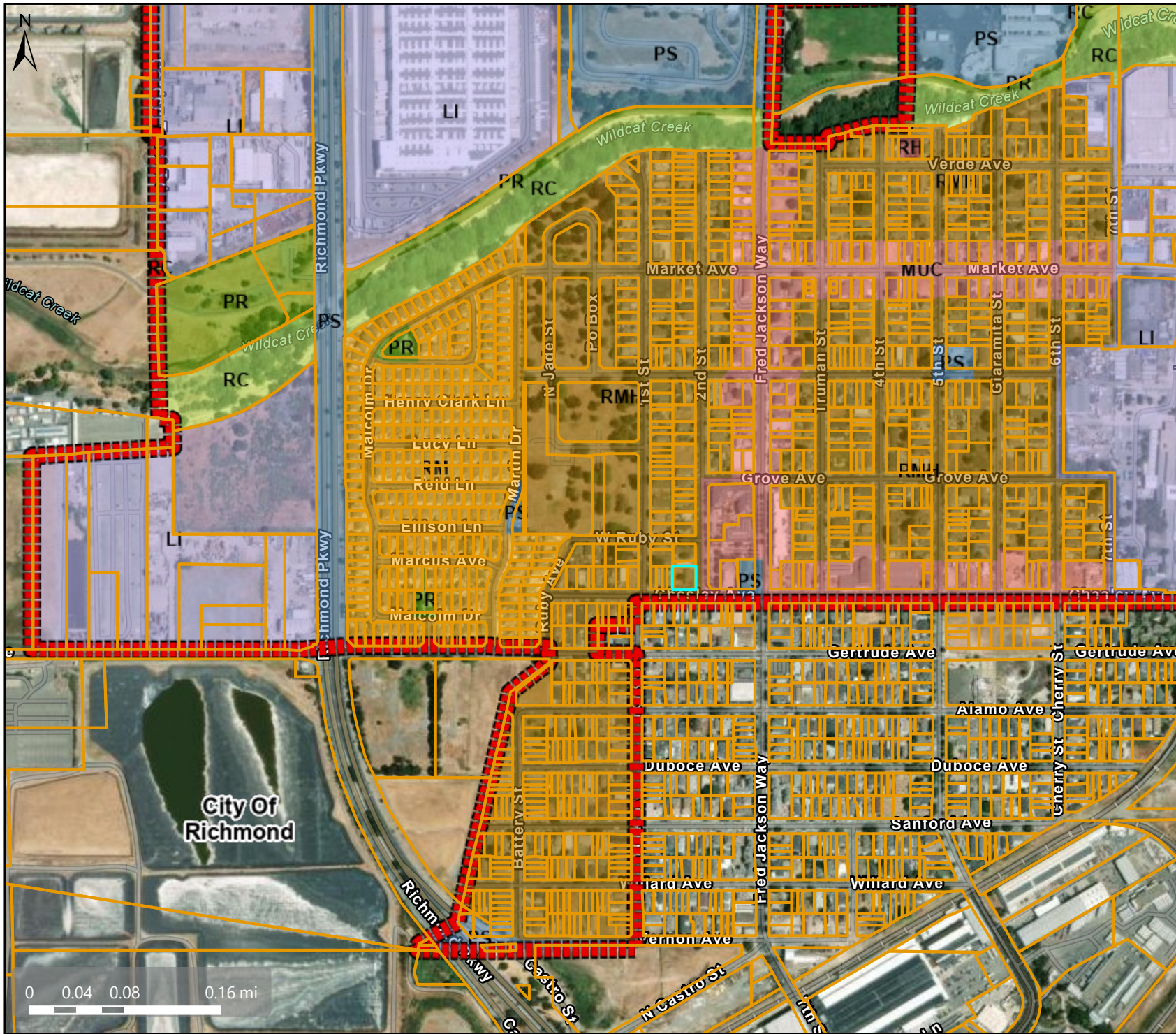
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12

1/22/04

General Plan: Residential Medium High Density (RMH)



Map Legend

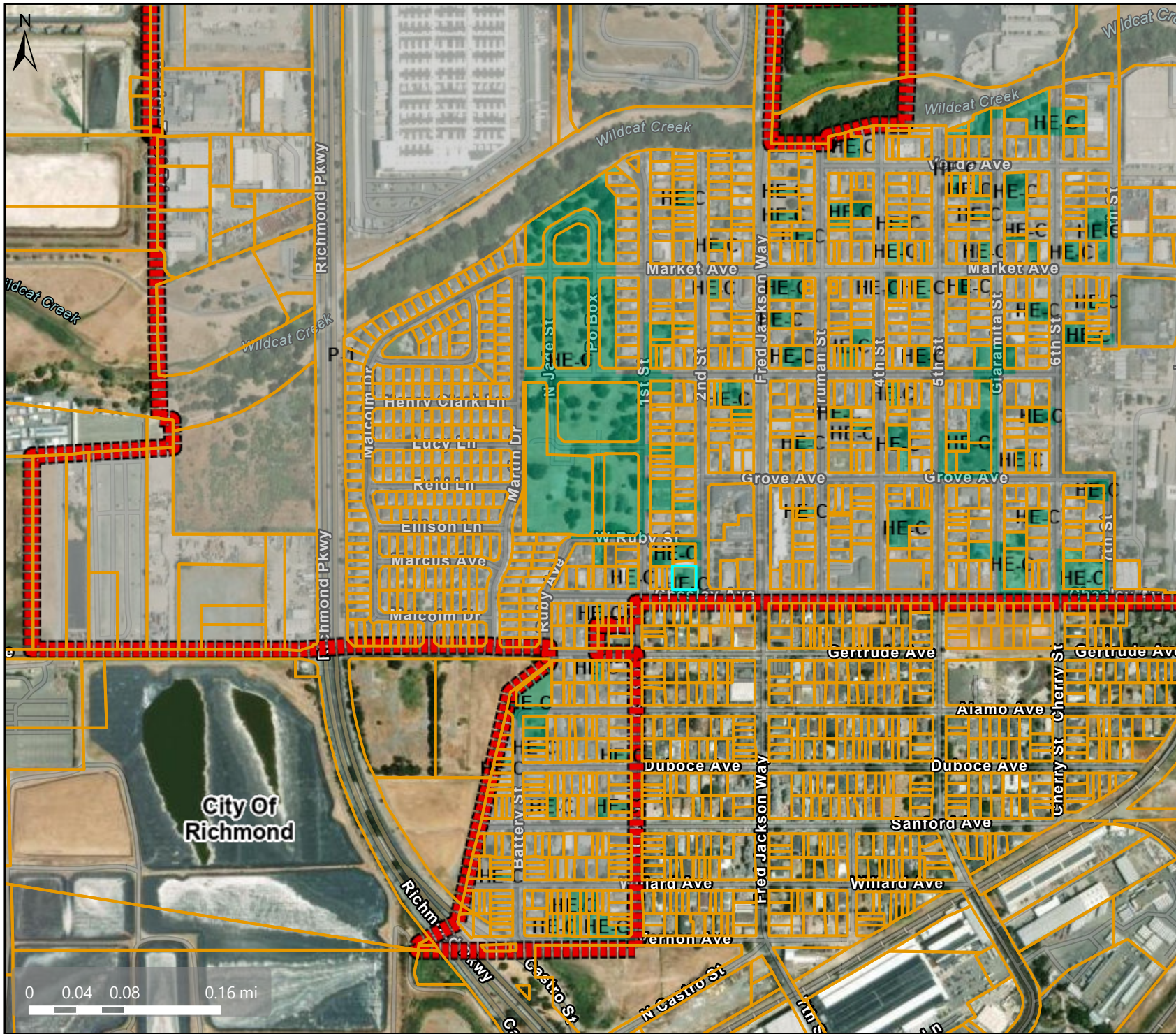
- County Border
- Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
- RM (Residential Medium Density) (7-17 du/na)
- RMH (Residential Medium-High Density) (17-30 du/na)
- RH (Residential High Density) (30-60 du/na)
- MUC (Mixed-Use Community-Specific) (Variable)
- LI (Light Industry) (1.5 FAR)
- PS (Public and Semi-Public)
- PR (Park and Recreation)
- RC (Resource Conservation)
- City Limits

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

Zoning: Housing Element Consistency District (HE-C)



Map Legend

- County Border
- Assessment Parcels

Planning Layers (DCD)

Zoning

ZONE_OVER

- P-1 (Planned Unit)
- HE-C (Housing Element Consistency)
- City Limits

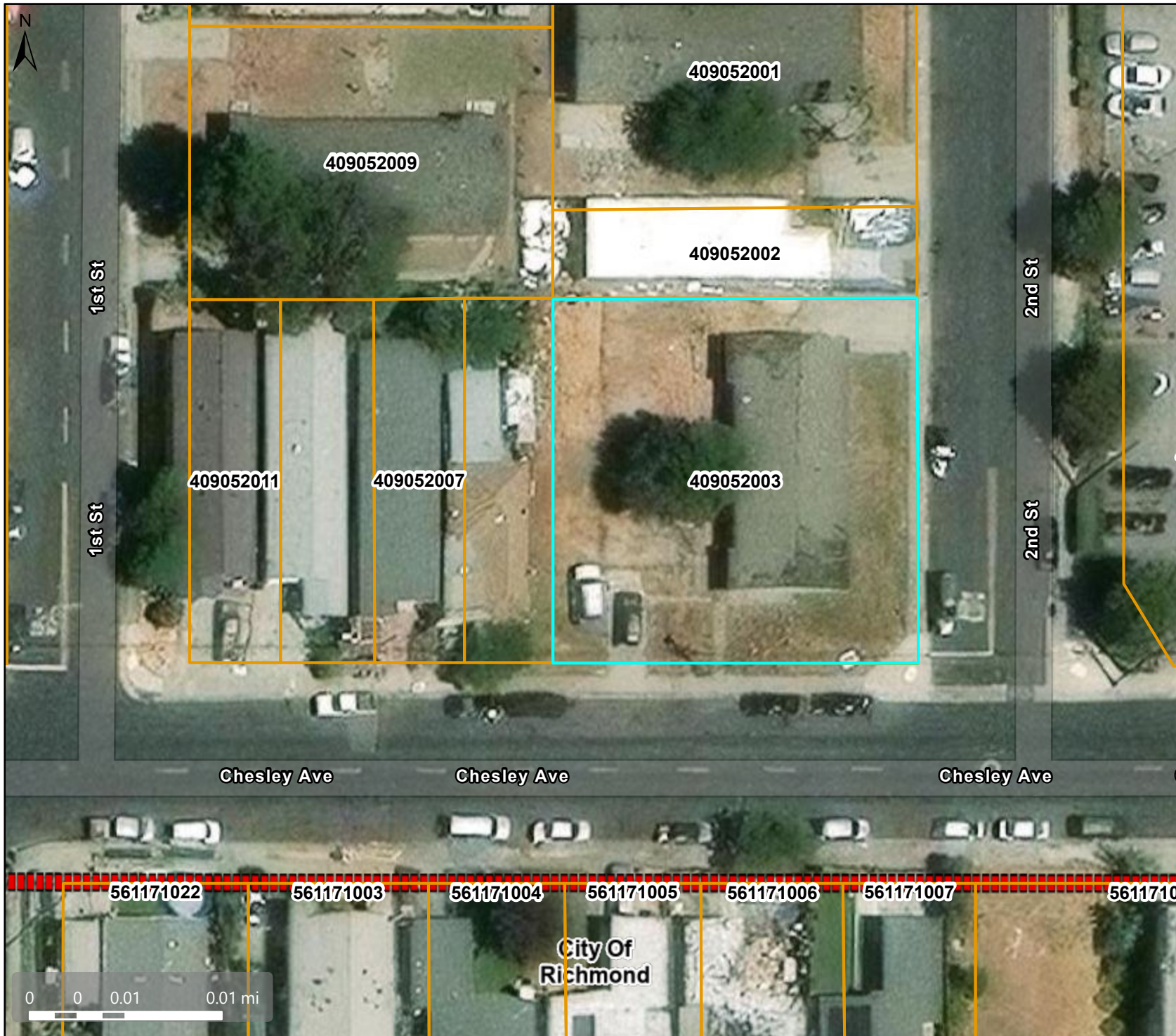
0 0.04 0.08 0.16 mi

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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984


Aerial



Map Legend

-  County Border
-  Assessment Parcels

Planning Layers (DCD)

-  City Limits

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Datum: WGS 1984



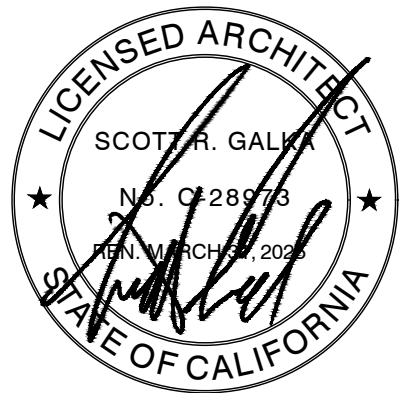
562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS: Δ ISSUES: \circ

NO.	DATE	DESCRIPTION
	02.12.2026	PLANNING

PROJECT:
**RESIDENTIAL
REMODEL**
121 CHESLEY AVE
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:

RECEIVED on 03/23/2026 CDVR26-01005
By Contra Costa County
Department of Conservation and Development

SHEET DESCRIPTION:

COVERSHEET

JOB NUMBER: 2025.021
SCALE:
DATE: 02.12.2026
DRAWN BY: KWM
CHECKED BY: SRG
CAD TITLE: A0.0 - COVERSHEET.dwg
SHEET NUMBER:

A0.0

OF XX SHEETS

SITE INFORMATION

OWNER	COMMUNITY HOUSING DEVELOPMENT CORPORATION
ADDRESS	121 CHESLEY AVE
PLANNING AGENCY	CONTRA COSTA COUNTY
APN	409-052-003-4
PERMIT NUMBER	TBD
CONSTRUCTION TYPE	VB
OCCUPANCY	R-3
LAND USE	RESIDENTIAL
ZONING	HE-C
FIRE ZONE	NO
FAULT ZONE	NO
LIQUEFACTION ZONE	YES
LANDSLIDE ZONE	NO
FEMA FLOOD ZONE	ZONE D
FIRE SPRINKLERS	NO

SCOPE OF WORK

TO RENOVATE AN EXISTING DUPLEX, INCLUDING NEW KITCHEN AND BATHROOM FIXTURES AND FINISHES, EXTERIOR SIDING, INSULATION, WINDOWS, ELECTRICAL AND MECHANICAL SYSTEMS.

NEW LANDSCAPING, IRRIGATION, PAVEMENT AT EXISTING DRIVEWAYS, ENTRY PATHWAYS, CARPORTS, AND FENCING.

NO CHANGE TO NUMBER OF UNITS OR BATHROOM COUNT.

NO GAS SERVICE. PROJECT TO BE ALL ELECTRIC.

SEPARATE SUBMITTALS

SEWER LATERAL COMPLIANCE

ZONING TABLE

ZONE HE-C			
	EXIST	PROP	CODE
FRONT SETBACK	19'-9"	18'-9"	10'-0"
STREET SIDE SETBACK	14'-10"	NC	10'-0"
WEST SIDE SETBACK	57'-6"	NC	5'-0"
REAR SETBACK	17'-10"	NC	15'-0"
MAX. BUILDING HEIGHT	11'-9"	NC	45'-0"
NUMBER OF STORIES	1	NC	4
LOT COVERAGE	17%	NC	50%

AREAS (SF)			
	EXIST	PROP	
LOT AREA	9,994	NC	
UNIT 1	779	NC	
UNIT 2	944	NC	
TOTAL CONDITIONED AREA	1,723	NC	

CONTACTS LIST

OWNER

COMMUNITY HOUSING DEVELOPMENT CORPORATION
1535 FRED JACKSON WAY, SUITE A
RICHMOND, CA 94801
(510) 412-9290
SHANE SUTHERLAND
SSUTHERLAND@COMMUNITYHDC.ORG

SURVEYOR

JACKIE LUK, PE, PLS
LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CA 94547
(510) 724 - 3388

ARCHITECT

SCOTT GALKA
SRG ARCHITECTS
562 61ST STREET
OAKLAND, CALIFORNIA 94609
SCOTTG@SCOTTGALKAAARCHITECTS.COM
510-610-6602

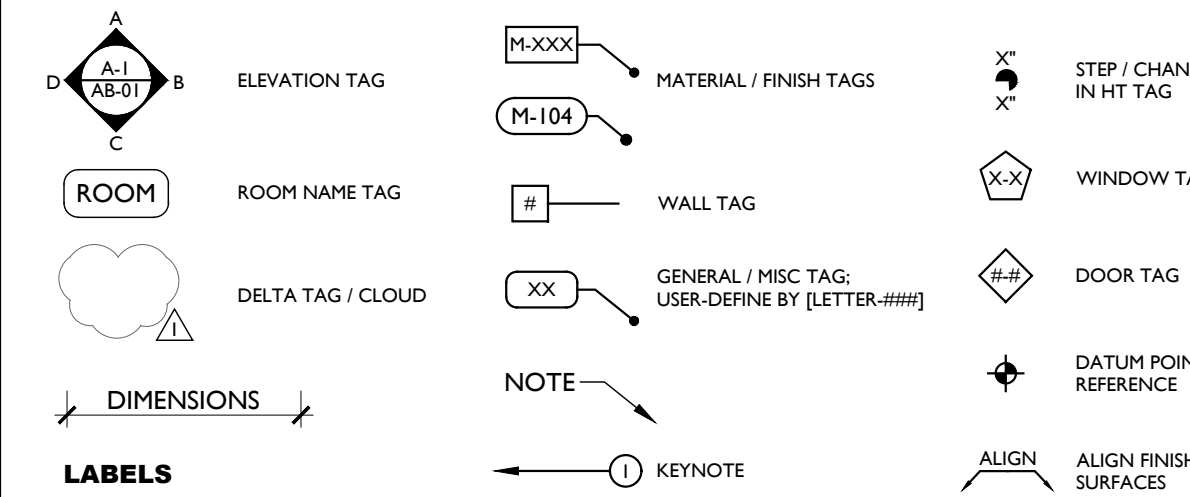
TITLE-24 CONSULTANT

BENJAMIN MONTALBANO
NRG COMPLIANCE, LP
4480 MAIN ST SUITE B
RIVERSIDE, CA 92501
202-870-7813

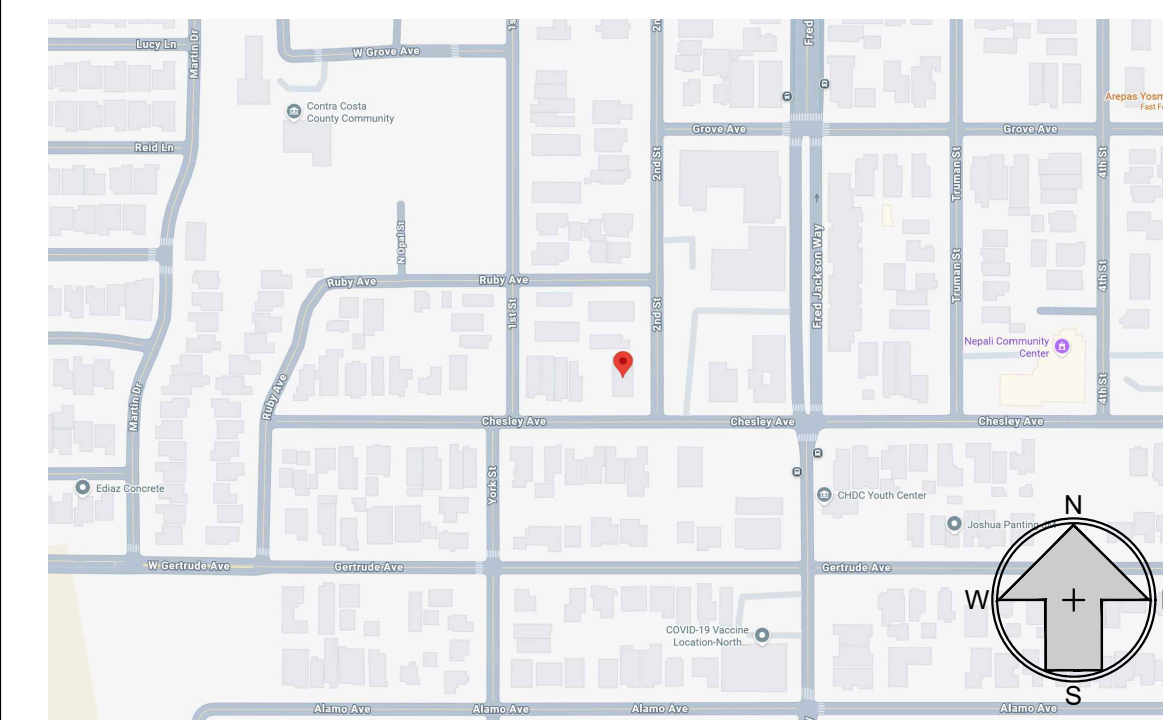
GENERAL NOTES

- THE SCOPE OF WORK SHALL CONSIST OF FURNISHING ALL THE LABOR, MATERIALS, & EQUIPMENT NECESSARY TO COMPLETE ALL THE WORK INDICATED ON THE DRAWINGS.
- ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, & NATIONAL CODES, ORDINANCES, & REGULATIONS.
- UNLESS OTHERWISE DETERMINED BY THE OWNER, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING & PAYING FOR ALL PERMITS, FILINGS, INSPECTIONS, & SIGN-OFF & SHALL SUBMIT CERTIFICATES OF COMPLIANCE TO OWNER.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS ON JOB SITE & NOTIFY THE ARCHITECT AS TO ANY DISCREPANCY.
- ALL MANUFACTURED PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS & RECOMMENDATIONS.
- ALL PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW & APPROVAL.
- ALL WORK SHALL BE DONE IN NEAT & WORKMANLIKE MANNER.
- ALL DIMENSIONS ARE FACE OF WALL FINISH TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE ARCHITECT SHALL BE NOTIFIED IF FIELD DIMENSIONS NECESSITATE ANY CHANGES OR MODIFICATIONS.
- CONTRACTOR SHALL KEEP ALL WORK AREAS CLEAR OF ALL REFUSE, RUBBISH, & DEBRIS.
- ALL PERTINENT CONSTRUCTION SHALL MEET ALL CALIFORNIA TITLE 24 ENERGY REQUIREMENTS.
- THE CONTRACTOR SHALL POST & MAINTAIN ALL REQUIRED NOTICES, SIGNS, & SAFEGUARDS.
- THE CONTRACTOR SHALL FILE RELEASE OR WAIVER OF LIENS. A COMPLETE SET OF MANUALS CONTAINING MANUFACTURERS' INSTRUCTIONS FOR MAINTENANCE & OPERATION OF EACH PIECE OF EQUIPMENT SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- PROJECT SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 - 2025 CALIFORNIA BUILDING CODE (T24, PART 2)
 - 2025 CALIFORNIA RESIDENTIAL CODE (T24, PART 2.5)
 - 2025 CALIFORNIA ELECTRICAL CODE (T24, PART 3)
 - 2025 CALIFORNIA MECHANICAL CODE (T24, PART 4)
 - 2025 CALIFORNIA PLUMBING CODE (T24, PART 5)
 - 2025 CALIFORNIA ENERGY CODE (T24, PART 6)
 - 2025 CALIFORNIA HISTORICAL CODE (T24, PART 8)
 - 2025 CALIFORNIA FIRE CODE (T24, PART 9)
 - 2025 CALIFORNIA EXISTING BUILDING CODE (T24, PART 10)
 - 2025 CALIFORNIA GREEN BUILDING CODE (T24, PART 11)
 - CONTRA COSTA COUNTY AMENDMENTS & ORDINANCES

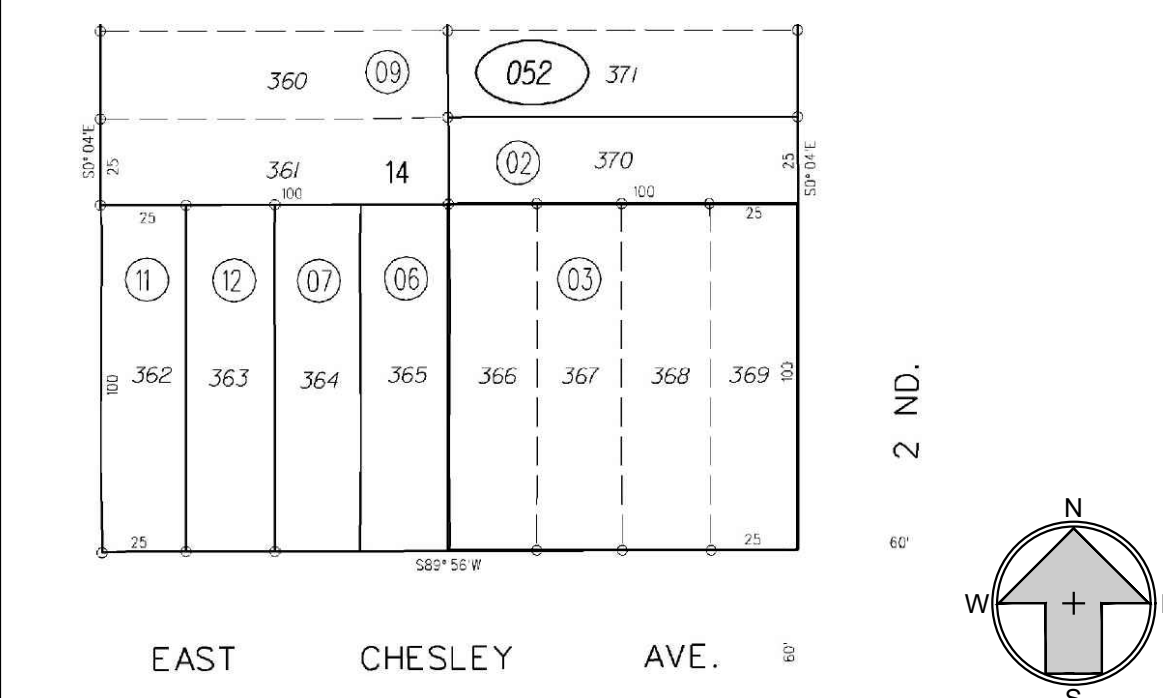
SYMBOL KEY



VICINITY MAP



PLOT MAP



3D MODEL



FRONT



SIDE



ABOVE



2025 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1

Y = YES APPLICABLE
N/A = NOT APPLICABLE
RESP. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)



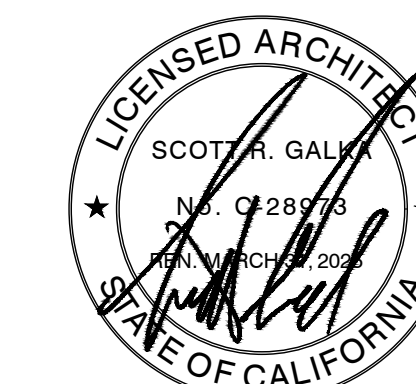
562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

REVISIONS: ISSUES:

NO.	DATE	DESCRIPTION
	02.12.2026	PLANNING

PROJECT:
**RESIDENTIAL
REMODEL**
121 CHESLEY AVE
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:

SHEET DESCRIPTION:

CALGREEN

JOB NUMBER: 2025.021

SCALE:

DATE: 02.12.2026

DRAWN BY: KWM

CHECKED BY: SRG

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SHEET NUMBER:

A0.2

OF XX SHEETS

Y	N/A	RESP. PARTY
		CHAPTER 3 GREEN BUILDING
		SECTION 301 GENERAL
		301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.
		301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.
		The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.
		Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.
		Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
		301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.
		SECTION 302 MIXED OCCUPANCY BUILDINGS
		302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. Exceptions: 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the <i>California Building Code</i> , shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable.
		DIVISION 4.1 PLANNING AND DESIGN
		ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New
		CHAPTER 4 RESIDENTIAL MANDATORY MEASURES
		SECTION 4.102 DEFINITIONS
		4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)
		FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.
		WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.
		4.106 SITE DEVELOPMENT
		4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.
		4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.htm)
		4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path.
		4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Section 4.106.4.1 or 4.106.4.2. Electric vehicle supply equipment (EVSE) shall comply with the <i>California Electrical Code</i> . Exceptions: 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.
		4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i> .
		4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

Y	N/A	RESP. PARTY
		4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Section 4.106.4.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as an EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.
		4.106.4.2.1 Reserved.
		4.106.4.2.2 Multifamily dwellings, hotels and motels
		1. EV ready parking spaces with receptacles. a. Multifamily parking facilities with assigned parking. Where dwelling units are provided with assigned parking spaces equal to or greater than the number of dwelling units, at least one low power Level 2 EV charging receptacle shall be provided at an assigned parking space for each dwelling unit. 1. Where the total number of dwelling units exceeds the number of assigned parking spaces, all assigned parking spaces shall be provided with one low power Level 2 EV charging receptacle. Exception: Areas of parking facilities served by parking lifts, including but not limited to, automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging. b. Multifamily parking facilities with unassigned parking. Where dwelling units are provided with unassigned parking spaces equal to or greater than the number of dwelling units, at least one low power Level 2 EV charging receptacle shall be provided at an unassigned parking space for each dwelling unit. 1. Where the total number of dwelling units exceeds the number of unassigned parking spaces, all unassigned parking spaces shall be provided with one low power Level 2 EV charging receptacle. Exception: Areas of parking facilities served by parking lifts, including but not limited to, automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging. 3. Multifamily parking facilities with assigned and unassigned parking. Where multifamily buildings are provided with both assigned and unassigned parking spaces equal to or greater than the number of dwelling units, at least one low power Level 2 EV charging receptacle shall be provided for each dwelling unit at either the assigned or unassigned parking space, but not both. d. Receptacle power source. EV charging receptacles in multifamily parking facilities at assigned parking spaces shall be provided with a dedicated branch circuit connected to the dwelling unit's electrical panel, unless determined as infeasible by the project builder or designer and subject to concurrence of the local enforcing agency. Exception: Areas of parking facilities served by parking lifts, including but not limited to, automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging. e. Receptacle configurations. 208/240V EV charging receptacles shall comply with one of the following configurations: 1. For 20-ampere receptacles, NEMA 6-20R 2. For 30-ampere receptacles, NEMA 14-30R 3. For 50-ampere receptacles, NEMA 14-50R
		2. EV ready parking spaces with EV chargers a. Multifamily parking facilities with unassigned or common use parking. In addition to the low power Level 2 EV charging receptacle requirements of Section 4.106.4.2.2 (1), twenty-five (25) percent of unassigned or common use parking spaces not already provided with low power Level 2 EV charging receptacles, pursuant to Section 4.106.4.2.2 (1), shall be equipped with Level 2 EV chargers and shall be made available for use by all residents or guests. b. EV charger connectors. EV chargers shall be equipped with J1772 or J3400 connectors. c. An automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not less than 30 amperes.
		4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 2, with EV chargers installed shall comply with Section 4.106.4.2.2.1. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See <i>California Building Code</i> , Chapter 11B, for applicable requirements.
		4.106.4.2.2.1.1 Electric vehicle charging stations (EVCS) spaces with EV chargers installed; dimensions and location. EVCS spaces shall be designed to comply with the following: 1. The minimum length of each EVCS space shall be 16 feet (5486 mm) 2. The minimum width of each EVCS space shall be 9 feet (2743 mm) 3. In any event 25 EVCS spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EVCS space is 12 feet (3659 mm). Surface slope for this EVCS space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. These EVCS spaces shall also comply with at least one of the following: a. The EVCS space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i> , Chapter 11A, to allow use of the EV charger from the accessible parking space. b. The EVCS space shall be located on an accessible route, as defined in the <i>California Building Code</i> , Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the <i>California Building Code</i> , Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1.
		4.106.4.2.2.1.2 Accessible electric vehicle charging station spaces. In addition to the requirements in Section 4.106.4.2.2.1.1, all EV chargers, where installed, shall comply with the accessibility provisions for EV chargers in the <i>California Building Code</i> , Chapter 11B, EV ready spaces and EVCS in multifamily developments shall comply with <i>California Building Code</i> , Chapter 11A, Section 1109A.
		4.106.4.2.3 Reserved.
		4.106.4.2.4 Reserved.
		4.106.4.2.5 Electric vehicle ready space signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).
		4.106.4.2.6 Hotels and motels.
		1. EV ready parking spaces with receptacles. a. Hotels and motels. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. Exception: Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging. b. Receptacle configurations. 208/240V EV charging receptacles shall comply with one of the following configurations: 1. For 20-ampere receptacles, NEMA 6-20R 2. For 30-ampere receptacles, NEMA 14-30R 3. For 50-ampere receptacles, NEMA 14-50R.
		2. EV Ready parking spaces with EV chargers. a. Hotels and motels. Twenty-five (25) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. b. EV charger connectors. EV chargers shall be equipped with J1772 or J3400 connectors. Exception: Areas of parking facilities served by parking lifts, including but not limited to, automated mechanical-access open parking garages as defined in the <i>California Building Code</i> ; or parking facilities otherwise incapable of supporting electric vehicle charging.

Y	N/A	RESP. PARTY
		c. An automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not less than 30 amperes.
		4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings, hotels and motels. When existing parking facilities are altered or new parking spaces are added to existing parking facilities, and the work requires a building permit, each parking space added or altered shall have access to either a low power Level 2 EV charging receptacle or Level 2 EV charger, unless determined as infeasible by the project builder or designer and subject to concurrence of the local enforcing agency. Exception: Where work requiring a permit is being performed for the installation of 120-volt electrical receptacle(s) for level 1 EV charging.
		4.106.4.4 Bicycle parking. Bicycle parking shall comply with Sections 4.106.4.4.1 through 4.106.4.4.3.
		4.106.4.4.1 Short-term bicycle parking for multifamily buildings, hotels and motels. Provide on-site bicycle parking at a ratio of one parking space for every 10,000 square feet, but not less than two spaces. Short-term bicycle parking shall be located within 200 feet of building entrances, and readily visible to passers-by. Acceptable parking facilities shall be conveniently accessed from the street and may include, but not be limited to: 1. Permanently anchored bicycle parking devices, racks, or lockers in an unsheltered, open area. 2. Covered or uncovered enclosures with permanently anchored bicycle parking devices or racks.
		4.106.4.4.2 Long-term bicycle parking for multifamily buildings. Provide on-site bicycle parking at a ratio of one parking space for every two dwelling units. Acceptable parking facilities shall be conveniently accessed from the street and may include, but not be limited to: 1. Covered, lockable enclosures with permanently anchored bicycle parking devices or racks. 2. Lockable bicycle storage rooms with permanently anchored bicycle parking devices or racks. 3. Lockable, weatherproof, permanently anchored bicycle lockers.
		4.106.4.4.3 Long-term bicycle parking for hotel and motel buildings. Provide one on-site long-term bicycle parking space for every 25,000 square feet, but not less than two. Acceptable parking facilities shall be conveniently accessed from the street and may include, but not be limited to: 1. Covered, lockable enclosures with permanently anchored bicycle parking devices or racks. 2. Lockable bicycle storage rooms with permanently anchored bicycle parking devices or racks. 3. Lockable, weatherproof, permanently anchored bicycle lockers.
		DIVISION 4.2 ENERGY EFFICIENCY
		4.201 GENERAL
		4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.
		DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION
		4.303 INDOOR WATER USE
		4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.
		Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
		4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
		4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.
		4.303.1.3 Showerheads.
		4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.
		4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.
		4.303.1.4 Faucets.
		4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 2.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.5 gallons per minute at 20 psi.
		4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.
		4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.
		4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
		4.303.1.4.5 Pre-rinse spray valves. When installed, commercial pre-rinse spray valves shall meet the requirements in the <i>California Plumbing Code</i> , Section 420.3.
		4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the <i>California Plumbing Code</i> .
		4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> .
		4.304 OUTDOOR WATER USE
		4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the <i>California Code Regulations</i> , Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

Y	N/A	RESP. PARTY
		DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
		4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
		4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
		4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
		4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
		4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
		4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.
		4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).
		4.410 BUILDING MAINTENANCE AND OPERATION
		4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements.
		4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
		DIVISION 4.5 ENVIRONMENTAL QUALITY
		SECTION 4.501 GENERAL
		The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.
		SECTION 4.502 DEFINITIONS
		The following terms are defined in Chapter 2 (and are included here for reference)
		AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.
		COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), title 17, Section 93120.1.
		DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

LIFETIME STEEL POST™ by ADJUST-A-GATE™ Installation Guidelines

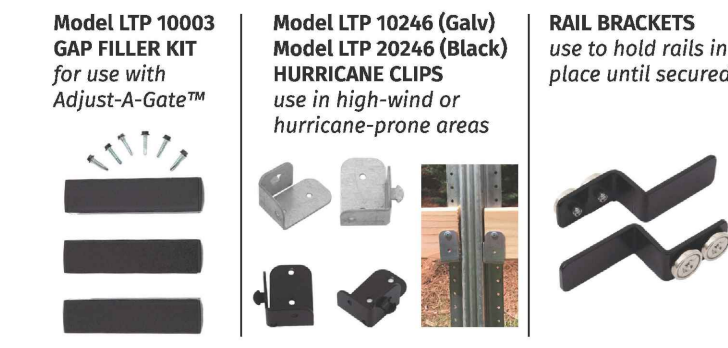
LifeTime Steel Post™
Designed by installers for installers

The following installation instructions should be used as guidelines only. If you are a tradesman please use your training and experience. If you are a DIY consumer and have questions, please consult your local building and permit department, or a professional. Take all proper safety precautions.

Remember you Must CALL Before You Dig

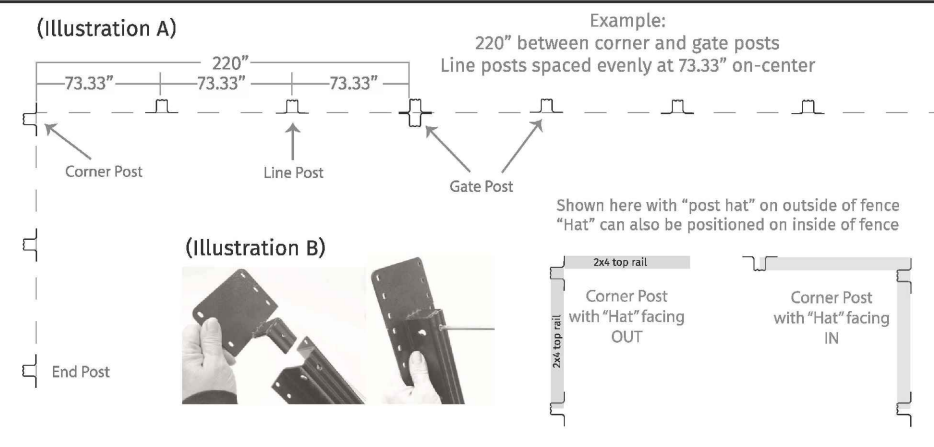


OPTIONAL ACCESSORIES - SOLD SEPARATELY



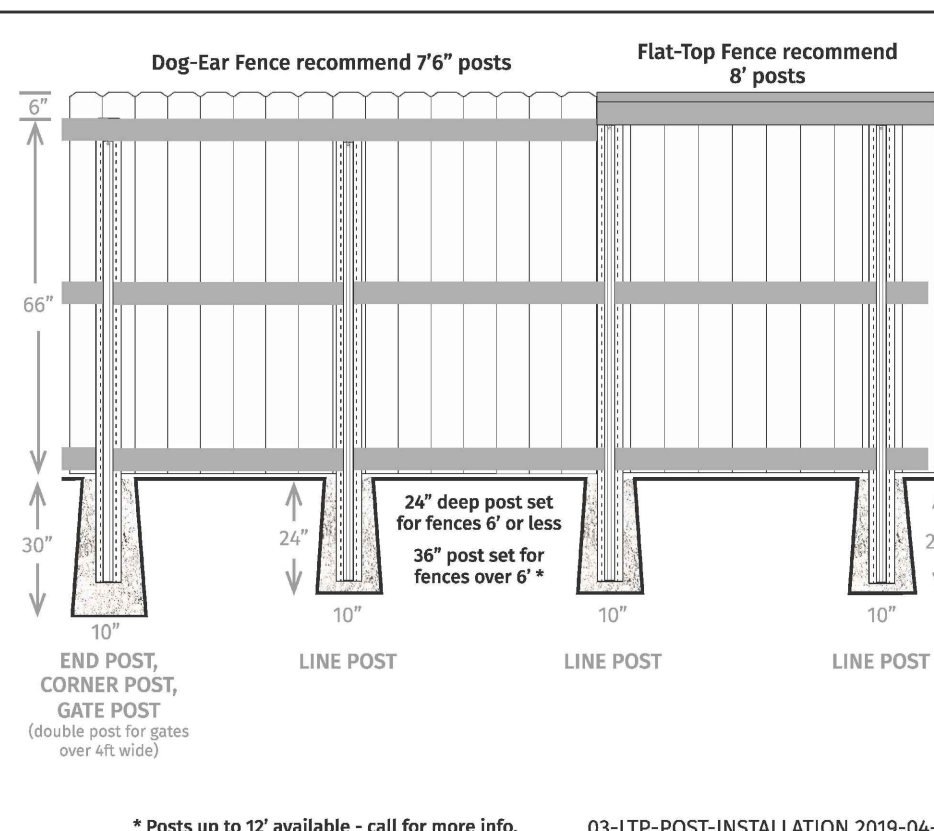
STEP 1: SITE LAYOUT & MARKING

Once you have established your legal property lines. Layout and clean the fence line of any debris, limbs, plants and as much as possible level or flatten the ground before you begin the fence layout. (Note: if there are any underground utility marks close to your post locations proceed with extreme caution.) Stake the locations of your CORNER, END, AND GATE POSTS. (Hint: The post can be hidden if desired, see illustration on pg 2)



STEP 2: DIGGING AND SETTING END, CORNER AND GATE POSTS

Remove and re-attach UPPER RAIL PLATE to post. (Illustration B) Now install your END, CORNER AND GATE POSTS. Set these posts to a minimum of 30" depth x 10" diameter holes. (Hint: It is recommended to use a single LifeTime Post for gates up to 4' wide, and a double back-to-back post for gates over 4' wide - see illustration on page 2) Set the posts in mixed damp concrete, raise and level the posts to the proper height, measuring from the ground to the TOP OF THE UPPER RAIL PLATE.



STEP 3: DIGGING AND SETTING LINE POSTS

The line posts should be spaced no more than 92" apart on-center and as evenly spaced as possible. (Example: the space between two end posts is 220", you would use two line posts with spacing of approx. 73.33" apart, see illustration A) Dig holes for the LINE POSTS no less than 24" deep x 8-10" in diameter. Raise the line post allowing damp concrete to flow under the bottom of the steel post until the post height is the same as the two end posts, using your string as a guide.

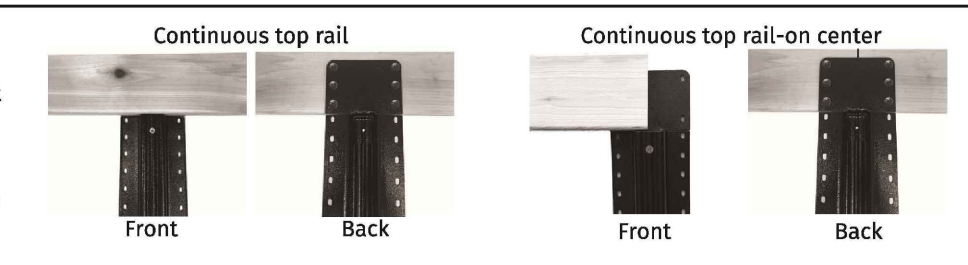
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STEP 4: OPTIONAL HURRICANE BRACKETS (sold separately) The Lifetime Post wood fence system has brackets available for high-wind or hurricane-prone locations. These brackets also help to prevent rail sagging. Install prior to fence rails.



STEP 5: INSTALLING FENCE RAILS

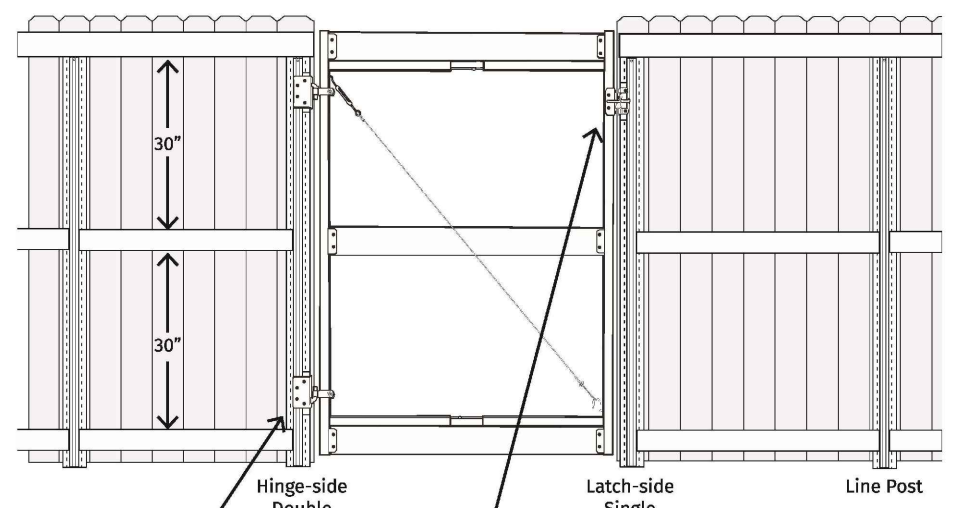
The Lifetime Post wood fence system has to have the top fence rail installed, "on the top" of the steel post and attached to the UPPER RAIL PLATE. This will allow vertical rail support and prevent sagging between the posts. Recommend using steel to wood screws, through the back of the post. (Models LTP 10004 or LTP 10005 - jar of 500)



The center and bottom rail will be spaced 30" apart matching the Adjust-A-Gate™ steel gate frame (see step 7 for AAG install). This Lifetime Steel Post™ and Adjust-A-Gate™ frame system completes a robust Lifetime wood fence.

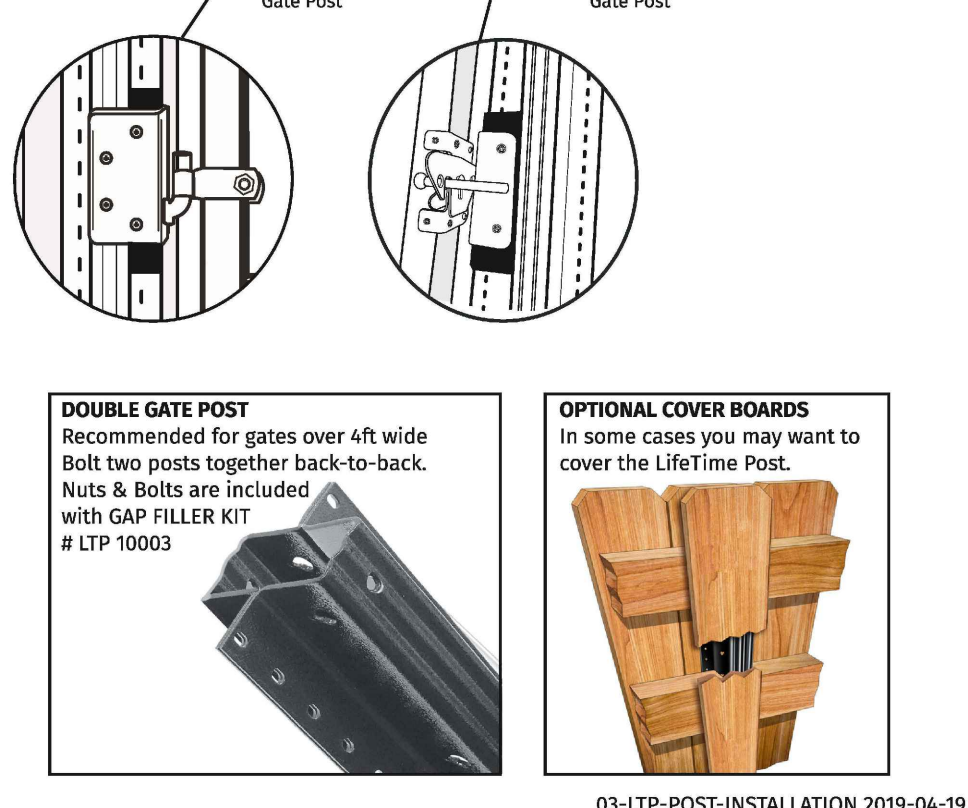
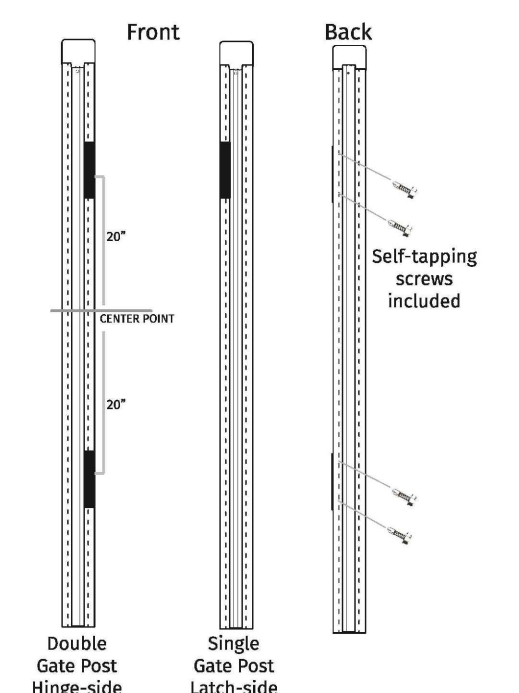
STEP 6: INSTALLING FENCE PICKETS

Fence pickets are typically installed 2" off the ground and extend up to 6" above the top rail.



STEP 7: ADJUST-A-GATE™ ALL STEEL GATE FRAME SYSTEM

We recommend using our GAP FILLER TUBES, Model #LTP10003, pack of three. TWO for the hinge-side gate post and ONE for the latch-side gate post. Using the self-tapping screws included, attach these to the gate posts, at the correct height for the hinges and latch. Follow instructions included with your Adjust-A-Gate to complete assembly.



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SRG

562 61ST STREET
OAKLAND, CALIFORNIA
510.550.5314

NO.	DATE	DESCRIPTION	ISSUES
02.12.2026		PLANNING	

PROJECT:
RESIDENTIAL REMODEL
121 CHESLEY AVE
RICHMOND, CA 94801

ARCHITECT OF RECORD:



CONSULTANTS:

FENCE 2

BACKYARD DISCOVERY TEST REPORT

Product Name:
20' X 9.5' STONEBRIDGE GAZEBO

Test Type:
Snow Load Testing
Wind Testing

Document Control Number:
W: GZ11100482145
S: P8140.01-801-47

Issue Date:
3/1/2023

Scope of work
Weight was evenly distributed for a 24 hour period over the entire surface of the roof structure at 9800 Pounds

Summary of Snow Load Test Results	
Title	20' x 9.5' Stonebridge Gazebo
Total Weight	9,800 Pounds
Duration	24 Hours
Results	Pass, No damage.

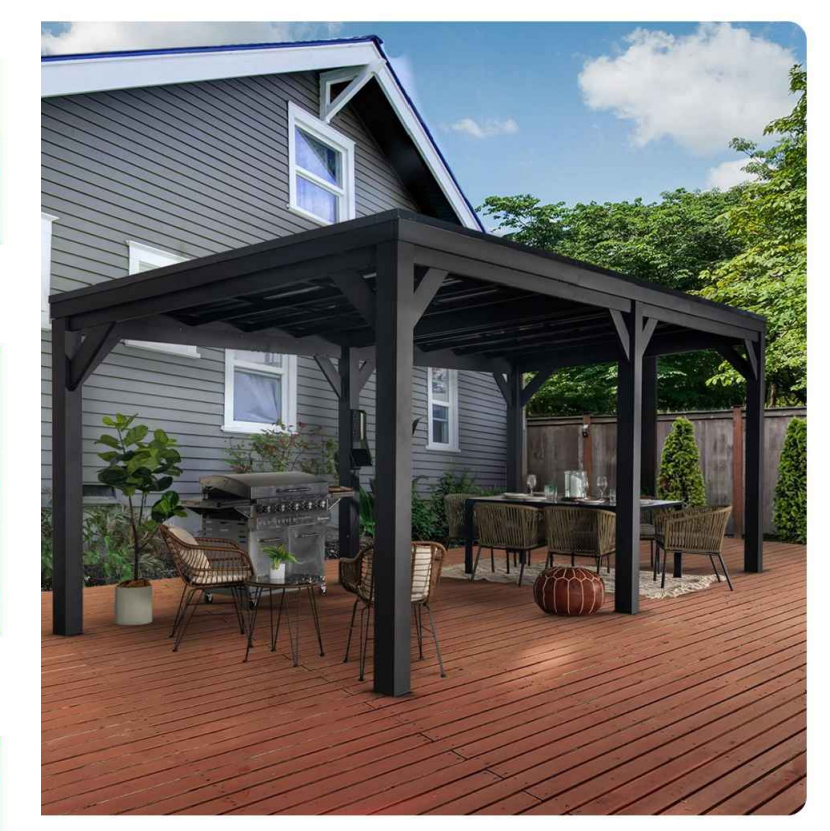
Product Size			
Overall Area	195.4 ft ²	Width (inches)	Length (inches)
Overall Footprint (Per roof side)	114.5	245.75	
Number of Roof Sides	1		
Roof Pitch	5°		

Frame Construction		
Frame Member	Material	Description
Post	Galvanized Steel	Vertical post, one at each corner, and centered
Rafter	Galvanized Steel	Wood vertical sections
Beam	Galvanized Steel	Wood horizontal sections
Sheathing Board	Galvanized Steel	Wood sheathing boards to support roof metal
Metal Panel	Galvanized Steel .0476" Thick	Roof panel

Summary of Wind Test Results			
Title	20' x 9.5' Stonebridge Gazebo		
Total Wind Speed (mph)	100	Static Pressure (lb/ft ²)	24.96
Projected Area (ft ²)	33.745	Force (lbs)	842.28

Completed by: B. Siebert
Title: Project Engineer
Signature: *B. Siebert*
Date: 3/1/2023

Reviewed By: P. Hardy
Title: Project Engineering Manager
Signature: *P. Hardy*
Date: 3/1/2023



20X9.5 STONEBRIDGE GAZEBO/CARPORT

★★★★★ 4.9 (10)
\$ 3,999
Free Shipping

Free Shipping | Check Arrival Dates

Available Sizes
20x9.5 Stonebridge Gazebo/Carport

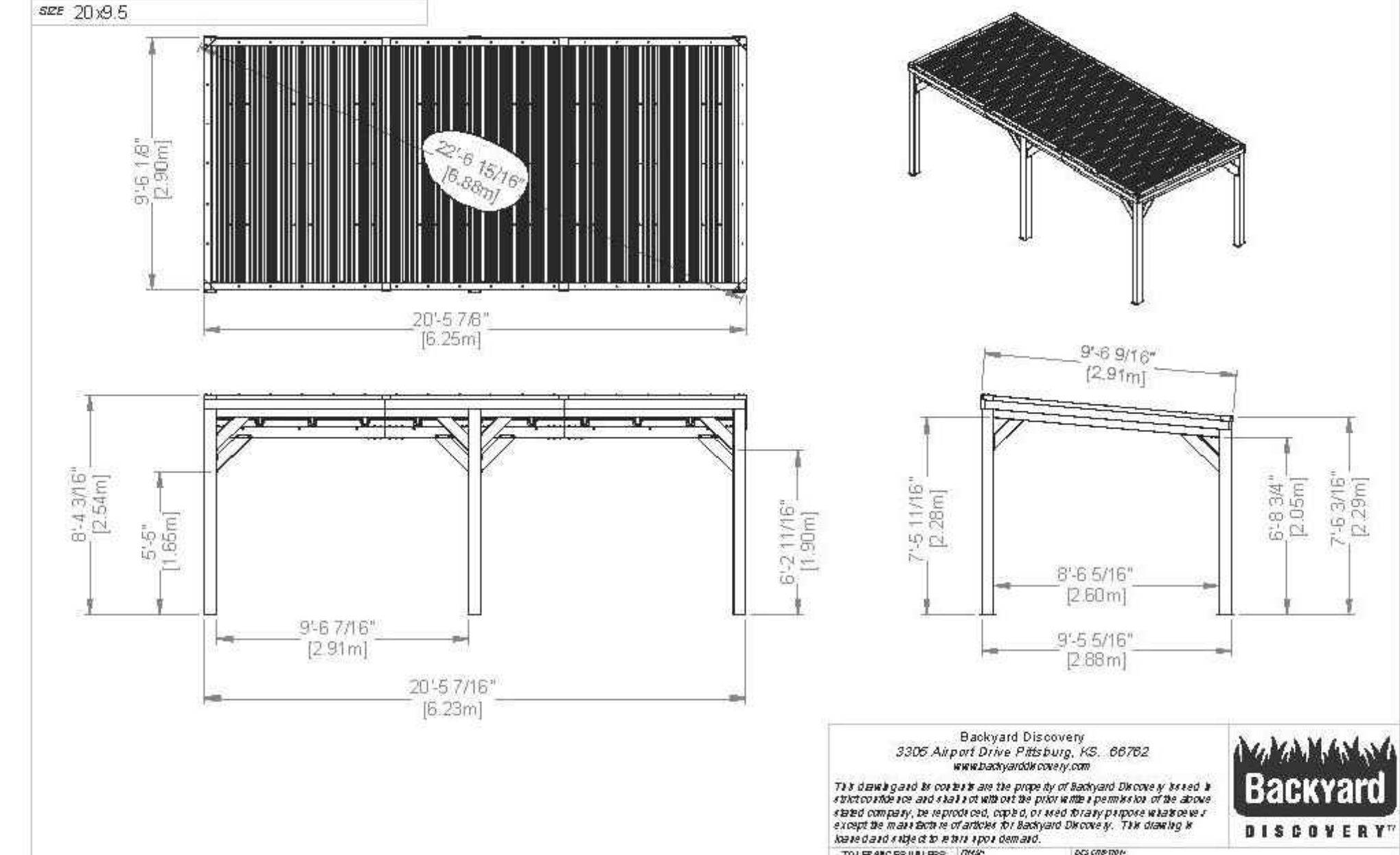
Optional Add Ons
 Assembly Service \$1090

- All-Weather Durability: Pro-Tect™ tested and proven to withstand up to 9,800 pounds or up to 30 inches of snow load, and winds up to 100 mph
- Industry-Leading Warranty: 5-year warranty for added peace of mind
- Powered Lid: Patented PowerWind™ features 3 electrical outlets and 3 USB ports to power your outdoor living space, mounting easily to any post on the structure (power source not included)
- 200# Heavy Duty Steel: Premium galvanized steel craftsmanship provides superior strength compared to aluminum or vinyl structures
- Maintenance-Free: Engineered for zero upkeep with powder-coated galvanized steel construction for full protection against rust, corrosion, and UV harm
- Robust Support Posts: 6" x 6" galvanized steel posts provide superior strength
- Ready to Assemble: Pre-fabricated, pre-drilled, and powder-coated panels, paired with step-by-step instructions in the interactive iDCL™ app, offer easy installation
- Durable Finishes: Powder-coated steel brackets and anchors combined with a modern black finish provides enhanced weather resistance and lasting style
- Slope Roof Design: 5° roof pitch creates a clean yet versatile architectural design while preventing water accumulation
- Please Note: *Product must be anchored as specified in the Backyard Discovery instruction manual

See Also: Use Code PREZIS for an extra 10% off at checkout.

Add to cart | See In Your Space

Part Number: 2307117 20x9.5 STONEBRIDGE GAZEBO
SHEET 1 OF 1
SIZE 20x9.5



REV	BY	DESCRIPTION	DATE
REVISIONS			

Backyard Discovery
3305 Airport Drive Pittsburg, KS 66762
www.backyarddiscovery.com



YOU CAN ASK US ANYTHING	WE'LL ANSWER IT FOR YOU	WE'LL ANSWER IT FOR YOU
877-877-8777	1-800-877-8777	1-800-877-8777
9:00am - 5:00pm CST	9:00am - 5:00pm CST	9:00am - 5:00pm CST
MON-FRI	MON-FRI	MON-FRI

CARPORT 1

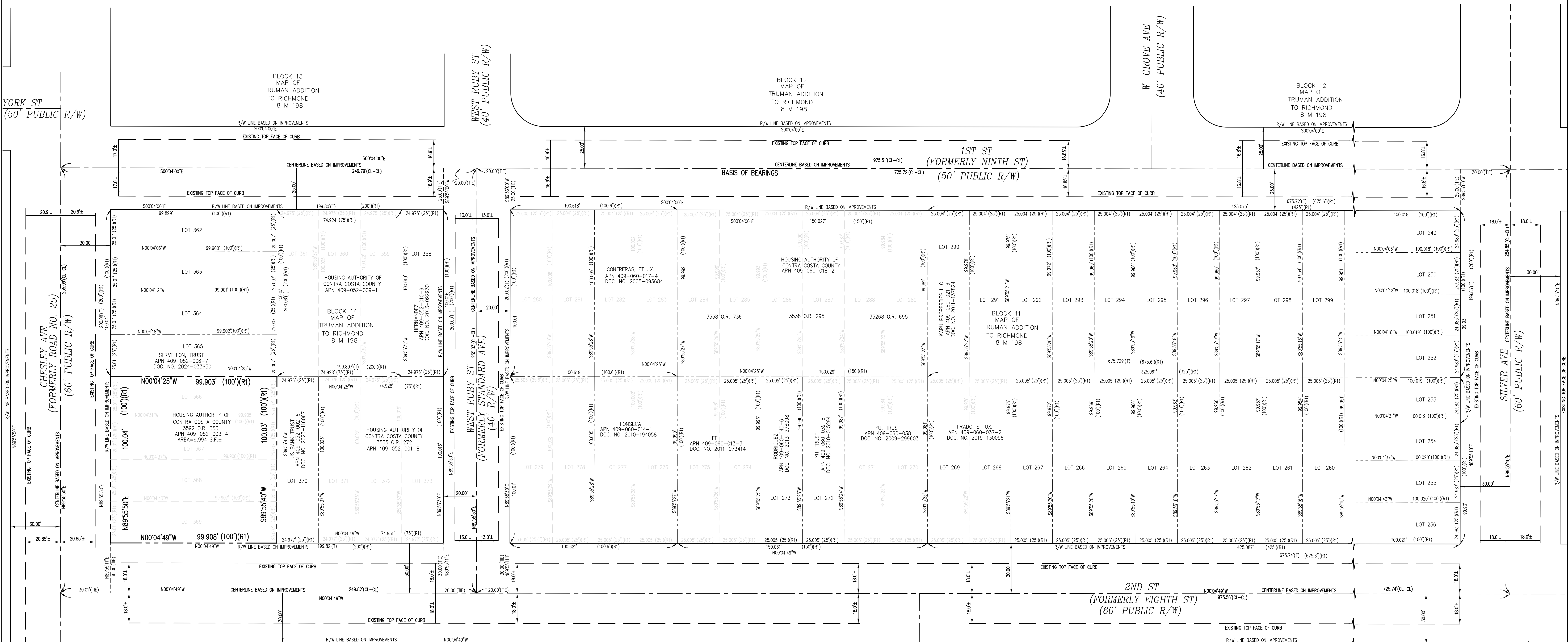
DETAILS

JOB NUMBER: 2025.021
SCALE:
DATE: 02.12.2026
DRAWN BY: KWM
CHECKED BY: SRG
CAD TITLE: A5.0 - SCHEDULES.dwg
SHEET NUMBER:

A5.1

OF XX SHEETS

YORK ST
(50' PUBLIC R/W)



TITLE REPORT
THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 1117028551-AS, SECOND UPDATED REPORT, DATED OCTOBER 7, 2024 AT 7:30 A.M., REFERRED TO HEREON AS THE "PTR".

TITLE TO SAID ESTATE IS VESTED IN:
HOUSING AUTHORITY OF THE CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION

THE ESTATE OR INTEREST IN THE LAND IS:
FEE

LEGAL DESCRIPTION
THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF CONTRA COSTA, CITY OF RICHMOND, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
LOTS 366, 367, 368, 369 IN BLOCK 14, AS SAID LOTS AND BLOCK ARE DELINEATED AND SO DESIGNATED ON THE MAP ENTITLED "MAP OF TRUMAN ADDITION TO RICHMOND", FILED NOVEMBER 18, 1912 IN BOOK 8 OF MAPS, PAGE 198, CONTRA COSTA COUNTY RECORDS.
APN: 409-052-003-4

EXCEPTIONS
1. REDEVELOPMENT PLAN, AS FOLLOWS, ENTITLED ORDINANCE NO. 87-50 (ADOPTING A REDEVELOPMENT PLAN FOR THE NORTH RICHMOND DEVELOPMENT PROJECT), EXECUTED BY CONTRA COSTA COUNTY REDEVELOPMENT AGENCY, RECORDED JULY 23, 1987 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 87 157129, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PROCEEDINGS, RECORDED JULY 23, 1987 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 87 157129, A NOTICE AS FOLLOWS, ENTITLED ORDINANCE NO. 99-06 (AMENDMENT TO THE REDEVELOPMENT PLAN), BY BOARD OF SUPERVISORS OF THE COUNTY OF CONTRA COSTA, RECORDED JUNE 15, 1999 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 99-0070071, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PLAN AMENDMENT, RECORDED JUNE 9, 1999 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 99-0154227, A NOTICE AS FOLLOWS, ENTITLED ORDINANCE NO. 2006-35 (ADOPTING AMENDMENT TO REDEVELOPMENT PLAN), RECORDED JULY 24, 2006 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2006-0233265, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PROCEEDINGS, RECORDED JUNE 12, 2007 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2007-017044, A NOTICE AS FOLLOWS, ENTITLED STATEMENT OF INSTITUTION OF REDEVELOPMENT PLAN AMENDMENT, RECORDED JUNE 2, 2008 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2008-021615 (EXC. 3 OF PTR - NOT PLOTTABLE).

2. CONDITIONS CONTAINED AND/OR REFERRED TO IN AN INSTRUMENT, ENTITLED DECLARATION OF TRUST (GRANTS PROJECTS), BY HOUSING AUTHORITY OF THE COUNTY OF CONTRA COSTA, RECORDED OCTOBER 27, 1988 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 88 199060 (EXC. 4 OF PTR - NOT PLOTTABLE).

3. CONDITIONS CONTAINED AND/OR REFERRED TO IN AN INSTRUMENT, ENTITLED DECLARATION OF TRUST (CADI0098 (NORTH RICHMOND)), BY HOUSING AUTHORITY OF THE COUNTY OF CONTRA COSTA, RECORDED SEPTEMBER 30, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2016-0202049, THE ABOVE MATTER IS ALSO DATED OCTOBER 12, 2016, RECORDED OCTOBER 13, 2016 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2016-0214130 (EXC. 5 OF PTR - NOT PLOTTABLE).

4. TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT, ENTITLED RENTAL ASSISTANCE DEMONSTRATION TRANSFER OF ASSISTANCE/DEMOLITION AND/OR DISPOSITION RESTRICTIVE COVENANTS, EXECUTED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, RECORDED JULY 30, 2020 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 2020-0156869 (EXC. 6 OF PTR - NOT PLOTTABLE).

GENERAL NOTES

- DATE OF FIELD SURVEY: JANUARY 31, 2025.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
STORM DRAINS: CONTRA COSTA COUNTY
SANITARY SEWER: CONTRA COSTA COUNTY
WATERS: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD)
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
- THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY
- THE SURVEYED PROPERTY IS THE SAME PROPERTY DESCRIBED IN THE TITLE REPORT.
- THE LEGAL DESCRIPTION AS SHOWN IN THE TITLE REPORT MATHEMATICALLY CLOSES.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL
- THERE ARE NO WETLAND AREAS IN THE SUBJECT PROPERTY.
- THE LEGAL DESCRIPTIONS OF THE SUBJECT PROPERTIES ARE THE SAME AS THE PROPERTIES DESCRIBED IN THE PRELIMINARY TITLE REPORTS.
- THE SUBJECT PROPERTY HAS ACCESS TO AND FROM SECOND STREET, A PUBLIC RIGHT OF WAY, AND CHESLEY AVENUE, A PUBLIC RIGHT OF WAY.

BENCHMARK
STATION NAME B.M. #1258, BEING CONTRA COSTA COUNTY BRONZE DISC, SET IN TOP OF W. END OF CATCH BASIN, NE CORNER INTER. MARKET STREET AND 2ND STREET (NORTH RICHMOND). ELEVATION = 125.77 FEET, CONTRA COSTA COUNTY DATUM.

TABLE A NOTES

- FOUND MONUMENTS ARE SHOWN ON THIS SHEET OF THE SURVEY.
- THE STREET ADDRESS OF THE PROPERTY IS 121 CHESLEY AVENUE; 1511 SECOND STREET, RICHMOND, CA 94801 (UNINCORPORATED AREA OF CONTRA COSTA COUNTY).
- FLOOD ZONE DESIGNATION: THE PROPERTY IS LOCATED IN ZONE "X" (SHADED) DEFINED AS "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 0601300226G, EFFECTIVE DATE: SEPTEMBER 30, 2015.
- THE TOTAL GROSS LAND AREA IS: 9,994 SQUARE FEET +/- OR 0.229 ACRES MORE OR LESS.
- (A/B) ZONING REQUIREMENTS: PER THE CONTRA COSTA COUNTY ZONING MAP, THE PROPERTY IS ZONED "HE-C" DEFINED HOUSING ELEMENT CONSISTENCY DISTRICT.
REFERENCE FOR "HE-C" ZONING IS MADE HERE TO THE CONTRA COSTA COUNTY MUNICIPAL CODE, CHAPTER 84-92 REGARDING PROPERTY DEVELOPMENT STANDARDS, MINIMUM SETBACKS, BUILDING HEIGHT LIMITATION, DENSITY AND PARKING REQUIREMENTS ARE AS FOLLOWS:
SETBACKS:
MINIMUM FRONT: 10 FEET
MINIMUM SIDE: 5 FEET
MINIMUM REAR YARD: 15 FEET
MAXIMUM HEIGHT:
RESIDENTIAL LOW/HIGH: 35/65 FEET
MIXED-USE MEDIUM/HIGH: 50/85 FEET
MAXIMUM DENSITY: 30 DWELLING UNITS PER ACRE
- (A/B) EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF BUILDING AT GROUND LEVEL, AND NUMBER OF STORES ARE SHOWN ON SHEET 2.
- SUBSTANTIAL IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY ARE SHOWN ON SHEET 2.
- THERE ARE NO PARKING SPACES ON THE SUBJECT PROPERTY.
- THERE ARE NO DIVISIONS OR PARTY WALLS LOCATED ON THE SUBJECT PROPERTY WITH RESPECT TO ADJOINING PROPERTIES.
- (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2 OF THE SURVEY.
- NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON THIS SHEET.
- DISTANCE TO THE NEAREST INTERSECTING STREET IS SHOWN ON THIS SHEET.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE ARE NO OFFSITE EASEMENTS TO THE SUBJECT PROPERTY.
- PROFESSIONAL LIABILITY INSURANCE IN THE AMOUNT OF \$2,000,000 IS HELD BY THE SURVEYOR.

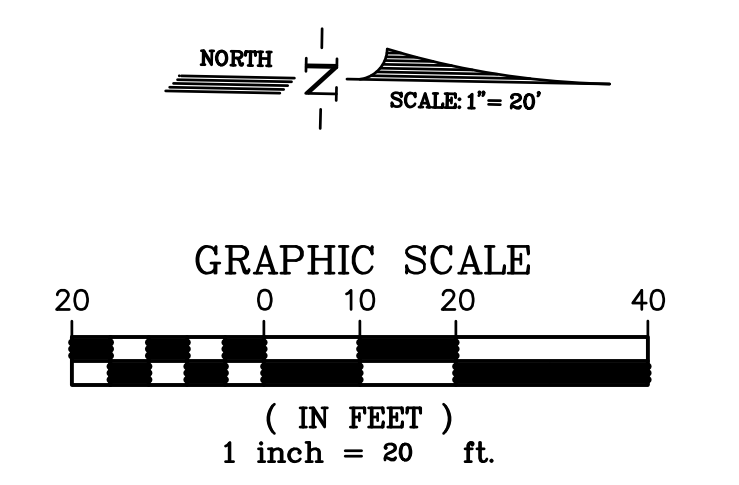
SURVEYOR'S CERTIFICATE
TO HOUSING AUTHORITY OF CONTRA COSTA COUNTY, A POLITICAL SUBDIVISION; AND OLD REPUBLIC TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, SOLELY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A/B), 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 31, 2025.

JACQUELINE LUK
P.L.S. 8934
FOR LUK & ASSOCIATES, INC.

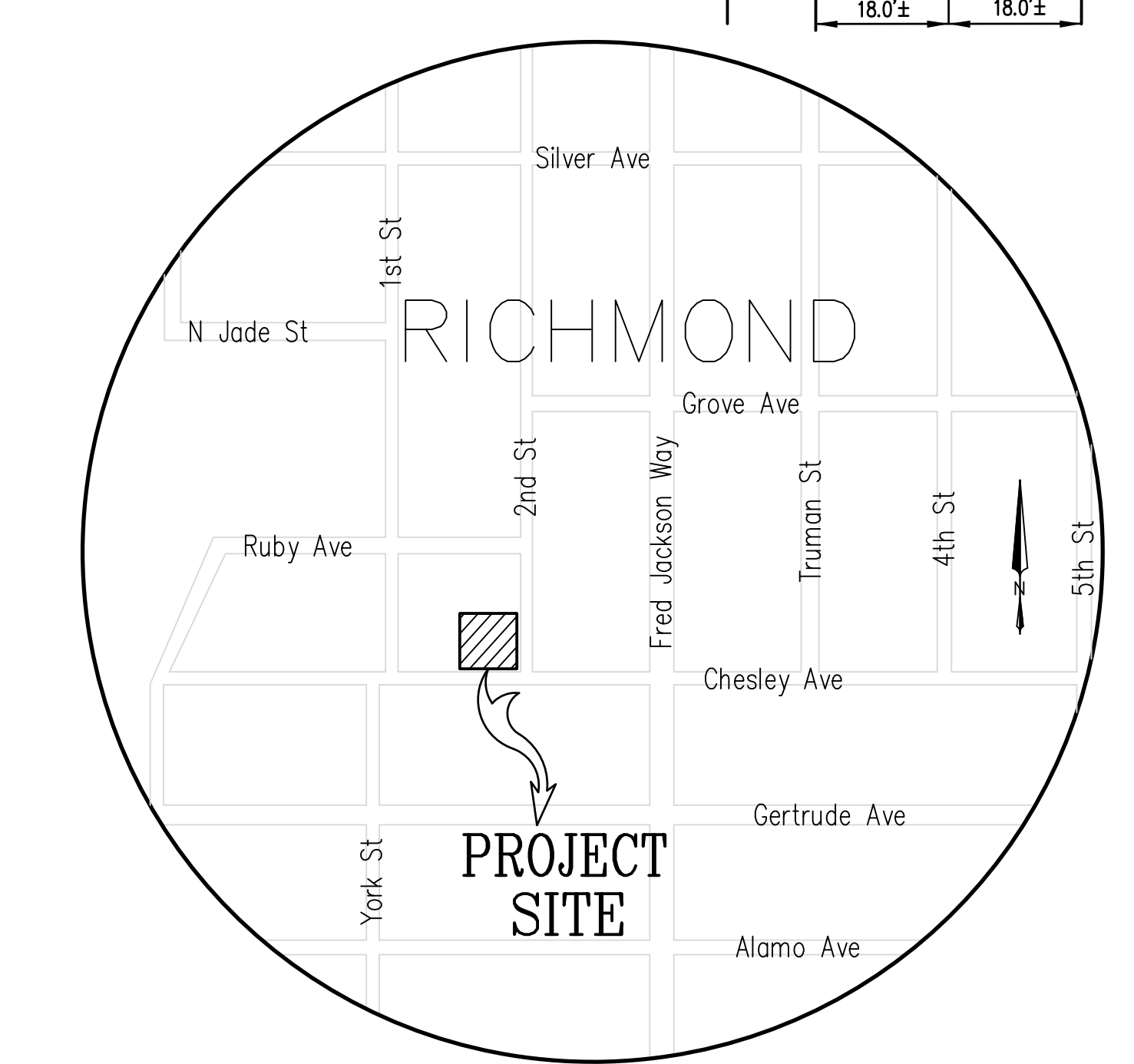
DATE: FEBRUARY 14, 2025

SHEET INDEX
1. NOTES AND BOUNDARY SURVEY
2. TOPOGRAPHIC SURVEY



LEGEND

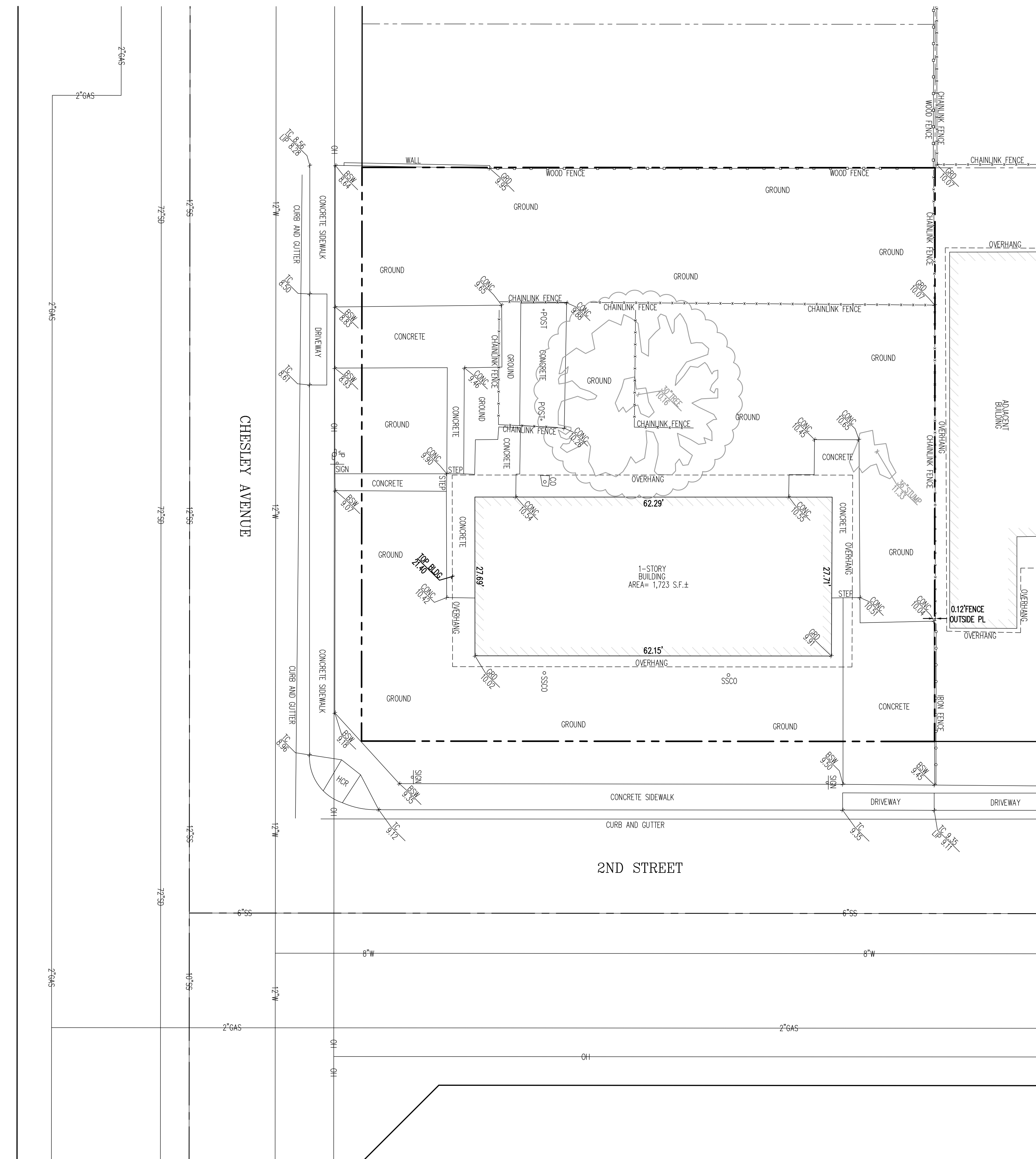
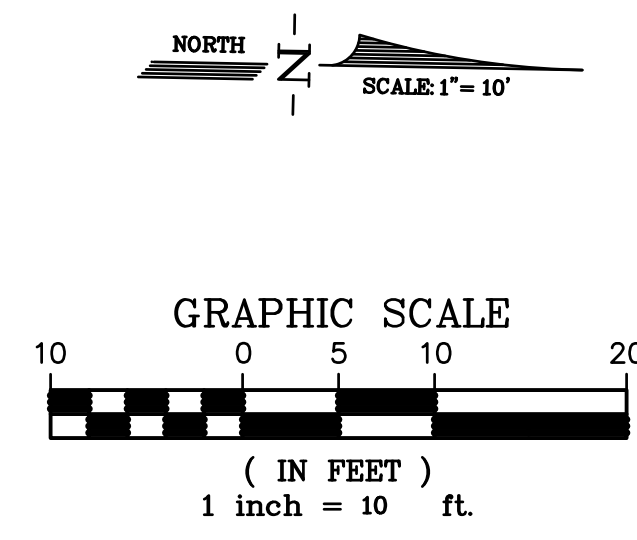
---	BOUNDARY OF SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	INTERIOR PROPERTY LINE
---	CENTERLINE
---	LINE
---	OLD LOT LINE
(T)	TOTAL
±	MORE OR LESS
(R)	REFERENCE
R/W	RIGHT OF WAY
APN	ASSESSOR'S PARCEL NUMBER
(100')	RECORD DATA
DOC. NO.	DOCUMENT NUMBER
S.F.	SQUARE FEET
O.R.	OFFICIAL RECORDS
(CL-CL)	CENTERLINE TO CENTERLINE



VICINITY MAP
NO SCALE

**ALTA/NSPS
LAND TITLE SURVEY**
OF
121 CHESLEY AVENUE; 1511 SECOND STREET
CITY OF RICHMOND, CONTRA COSTA COUNTY, CALIFORNIA
FEBRUARY 2025

PREPARED BY
LUK AND ASSOCIATES
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388



LEGEND	
SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT-OF-WAY LINE
---	ADJONER LOT LINE
---	CENTERLINE
---	BUILDING LINE
SS	SANITARY SEWER LINE
W	WATER LINE
SD	STORM DRAIN LINE
OH	OVERHEAD WIRE
HCR	HANDICAP RAMP
JP	JOINT POLE
SSCO	SANITARY SEWER CLEANOUT
CO	CLEANOUT
BSW 65.00	BACK OF SIDEWALK ELEVATION
IC 65.64	TOP OF CURB ELEVATION
TOP BLDG 65.64	TOP OF BUILDING ELEVATION
CONC 65.64	CONCRETE ELEVATION
LIP 65.64	LIP OF GUTTER ELEVATION
GRD 65.64	GROUND ELEVATION

ALTA/NSPS
LAND TITLE SURVEY
 OF
 121 CHESLEY AVENUE; 1511 SECOND STREET
 CITY OF RICHMOND, CONTRA COSTA COUNTY, CALIFORNIA
 FEBRUARY 2025
 PREPARED BY
LUK AND ASSOCIATES
 LAND PLANNERS - LAND SURVEYORS
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 (510) 724-3388