



CONTRA COSTA COUNTY

AGENDA

East Richmond Heights Municipal Advisory Council

Monday, January 27, 2025

5:00 PM

Zoom:
<https://cccounty-us.zoom.us/j/898653307>
80

Land Use Subcommittee

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. **Roll Call and Introductions**
2. **Discussion Items**

County File Number: CDVR24-01032

[25-344](#)

Attachments: [Packet CDVR24-01032](#)

D.1 - The applicant requests approval of a variance to allow an as-built 3rd story (where 2.5 stores is the max) for the construction of a concrete slab in an unconditioned basement space.

County File Number: CDVR24-01046

[25-345](#)

Attachments: [Packet CDVR24-01046](#)

D.2 – UPDATE: The applicant requests approval of a Variance and Small Lot Design Review to allow for an 8'-8.5" secondary frontage and public road setback (where 15' is the minimum and 10' minimum to the public road setback) and for the construction of second story addition and house remodel. The existing residence is currently encroaching onto the secondary frontage.

3. **Public comment (speakers may be limited to two minutes).**

Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at during normal business hours. Staff reports related to items on the agenda are also accessible on line at www.contracosta.ca.gov. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Ronnie Mills | District Coordinator, Supervisor John Gioia | District 1
P (510) 942-2222
C (925) 839-3173



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-344

Agenda Date: 1/27/2025

Agenda #:

Advisory Board: East Richmond Heights Land Use Subcommittee
Subject: County File Number: CDVR24-01032

Information:

Accept County File Number: CDVR24-01032



Planning Application Summary

County File Number: CDVR24-01032

File Date: 10/29/2024

Applicant:

rene cardona construction
140 spinaker way
pittsburg, CA 94565

rene@cardonaconstruction.com
(925) 642-6349

Property Owner:

PRABUDHYA BHATTACHARYYA
6319 HIGHLAND AVE
RICHMOND, CA 948051637

prabudhya@gmail.com
(607) 793-8924

Project Description:

The applicant requests approval of a variance to allow an as-built 3rd story (where 2.5 stores is the max) for the construction of a concrete slab in an unconditioned basement space.

Project Location: (Address: 6319 HIGHLAND AVE, RICHMOND, CA 948051637), (APN: 521051007)

Additional APNs:

General Plan Designation(s): SH

Zoning District(s): R-6

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC: East Richmond Heights MAC

Sphere of Influence: Richmond

Fire District: CONSOLIDATED FIRE

Sanitary District: WEST CO WASTEWATER

Housing Inventory Site:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

REV	DATE
1	7/27/2023

Codes

2022 California Building Code

Property Information

All existing and proposed
Occupancy: R3
Type V-B
Single Family Residence
No vertical or horizontal expansion

Scope of Work

1. Voluntary seismic upgrade
2. Garage/basement retaining walls
3. Add necessary smoke and Carbon Monoxide alarms

Drawing Index

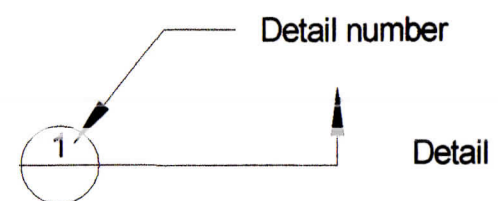
- Sheet 1 - General information and plot plan
- Sheet 2 - Foundation and framing plan
- Sheet 3 - Structural details
- Sheet 4 - Structural details

Legend

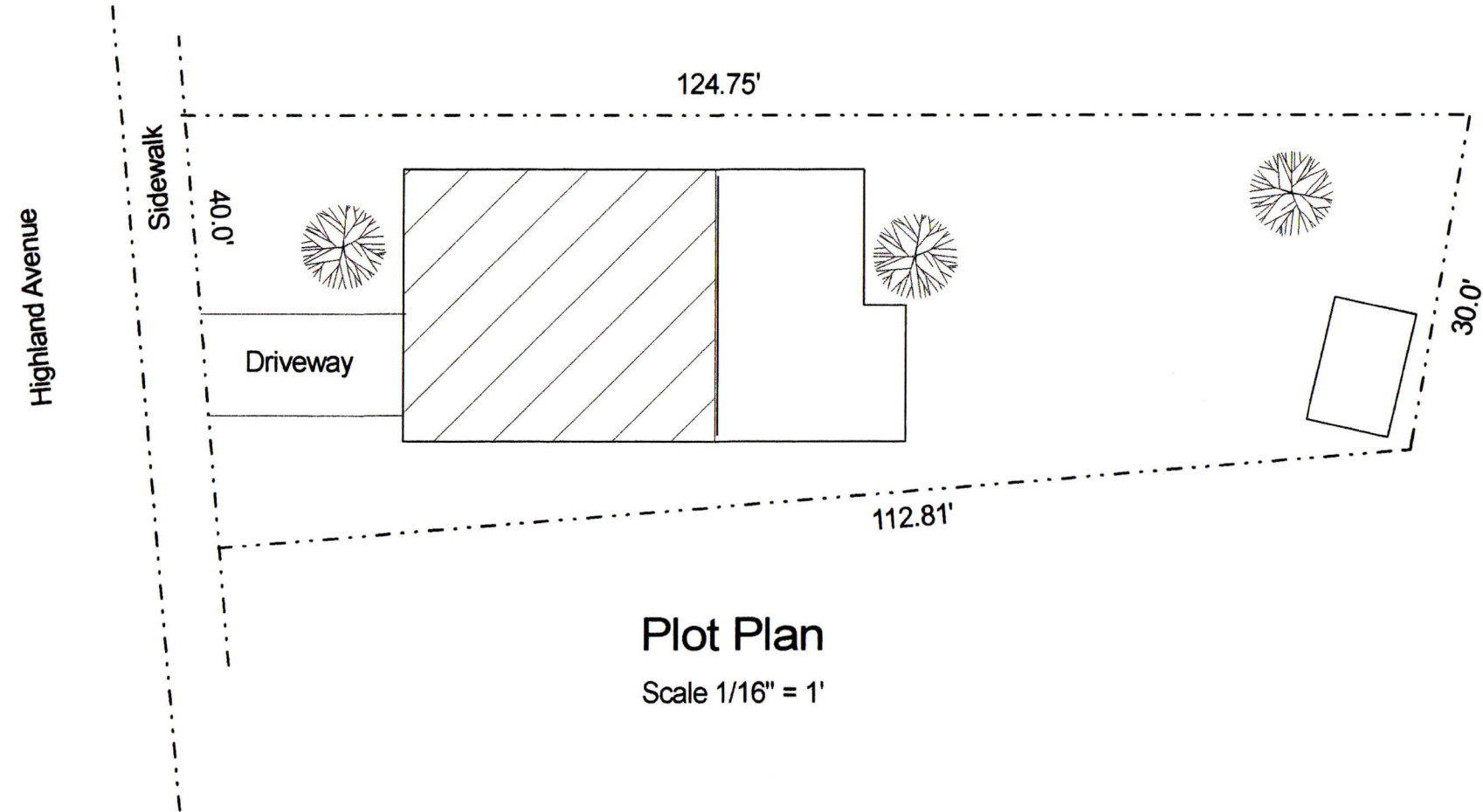
- (E) structural members
- _____ (N) structural members
- Property line
- Demo'd structural members



Abbreviations and symbols



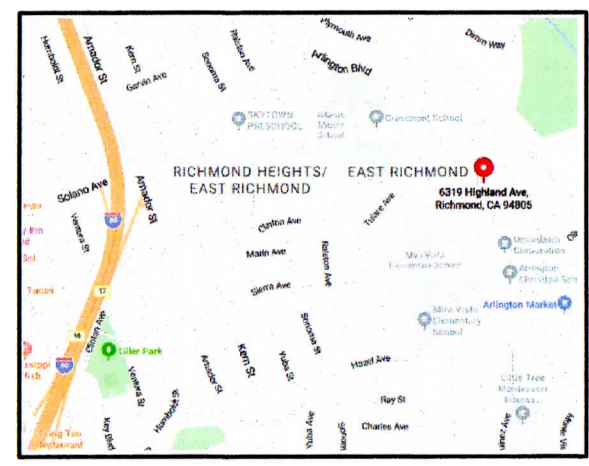
- (N) New (E) Existing FJ floor joist
- PTDF Pressure treated Douglas Fir
- OCE On center edge OCF On center field



Plot Plan

Scale 1/16" = 1'

RECEIVED on 10/29/2024 CDVR24-01032
By Contra Costa County
Department of Conservation and Development



Vicinity Map

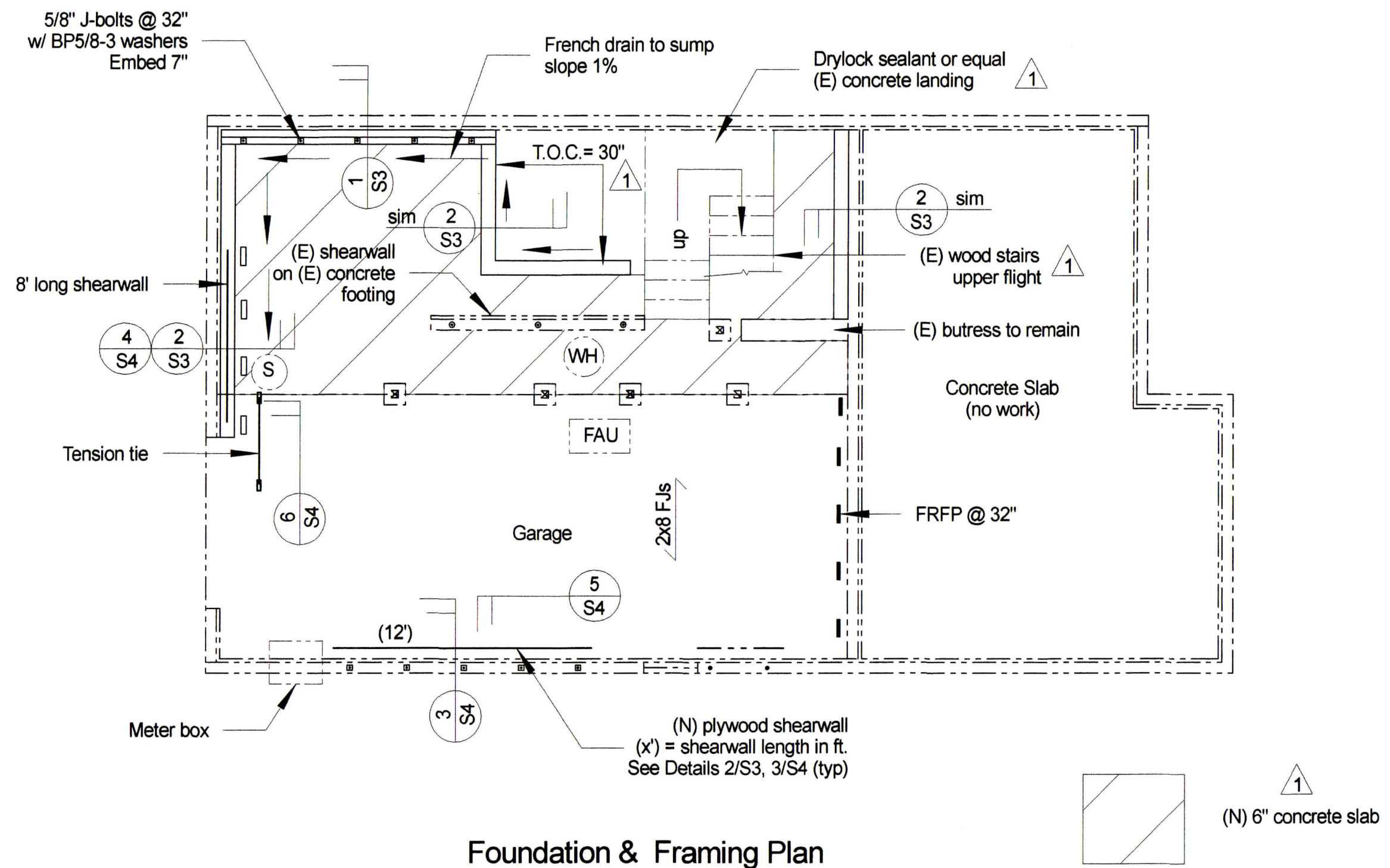
Project North

BY: KSF
DATE: 2/11/2024
SHEET: S1



BENT RETAINING WALL & SEISMIC UPGRADE
6319 HIGHLAND AVE., RICHMOND, CA 94805
KSF STRUCTURAL 1805 LEIMERT BLVD OAKLAND, CA 94602 (510) 531-4177

REV	DATE
1	4/1/2024



Foundation & Framing Plan

Scale: 3/16" = 1'

- Engineer shall be notified of any discrepancies between the drawings and field conditions prior to construction
- Work shall be performed in accordance with the 2022 California Building Code.
- Plywood shall be APA rated, 5-Ply, 15/32", Struct 1 grade Nails shall be 10d common.
- Fasteners in contact with pressure treated shall be galvanized per ASTM A653 or A153.
- Do not overdrive, countersink, or otherwise damage outer ply.
- Concrete shall have 28-day compressive strength = 2500 psi Reinforcing steel shall conform to ASTM A 615, Gr. 60
- Wood shall be Douglas Fir Larch. All wood members shall be #1 and better. Outdoor exposure shall be pressure treated.
- Metal connectors shall be Simpson or equal. Epoxy shall be Simpson SET- XP or equal Use SET-3G for holdowns..
- Shearwalls may be moved along length to avoid interferences. Provide openings in shearwalls around existing vents & openings.
- Special inspections shall be conducted for epoxy bolts, and shearwall nails with spacing 4" or less. Inspections shall be performed by the engineer-of-record or a City approved lab.

BY: KSF
 DATE: 2/11/2024
 SHEET: S2



BENT RETAINING WALL & SEISMIC UPGRADE
6319 HIGHLAND AVE., RICHMOND, CA 94805
 KSF STRUCTURAL 1805 LEIMERT BLVD OAKLAND, CA 94602 (510) 531-4177

REV	DATE:
1	4/1/2024

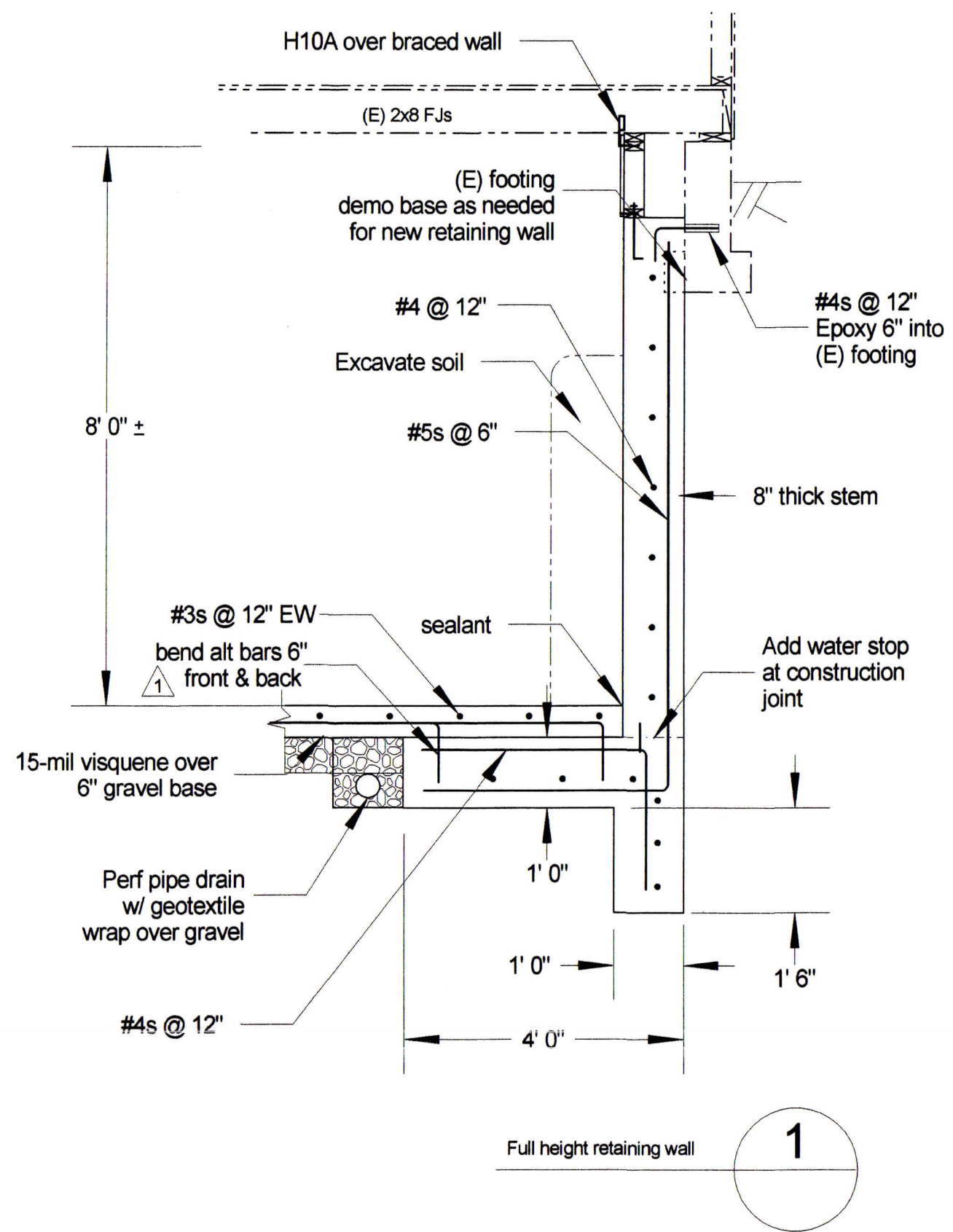
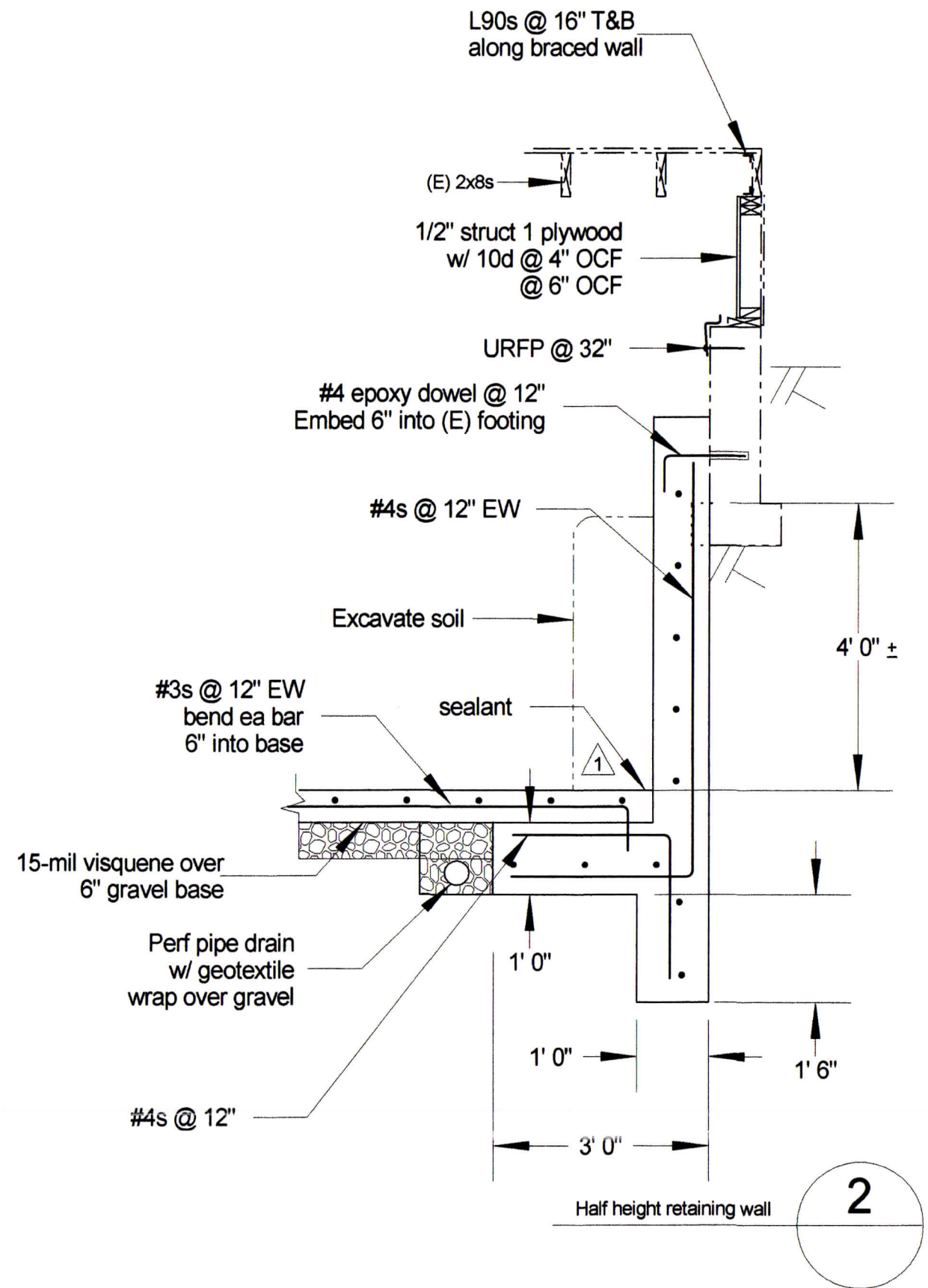
**BENT RETAINING WALL & SEISMIC UPGRADE
6319 HIGHLAND AVE., RICHMOND, CA 94805**

KSF STRUCTURAL 1805 LEIMERT BLVD. OAKLAND, CA 94602 (510) 531-5120

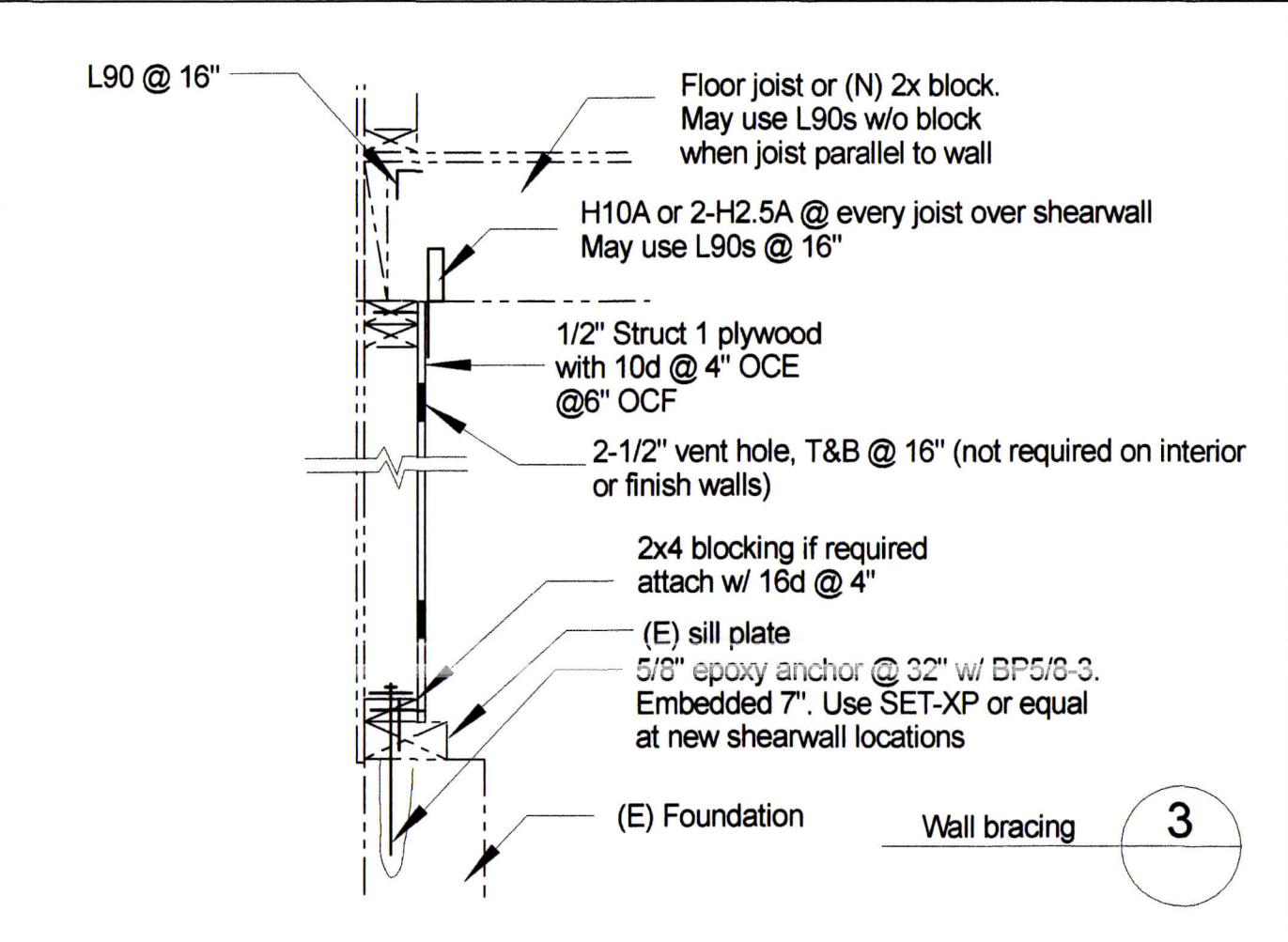
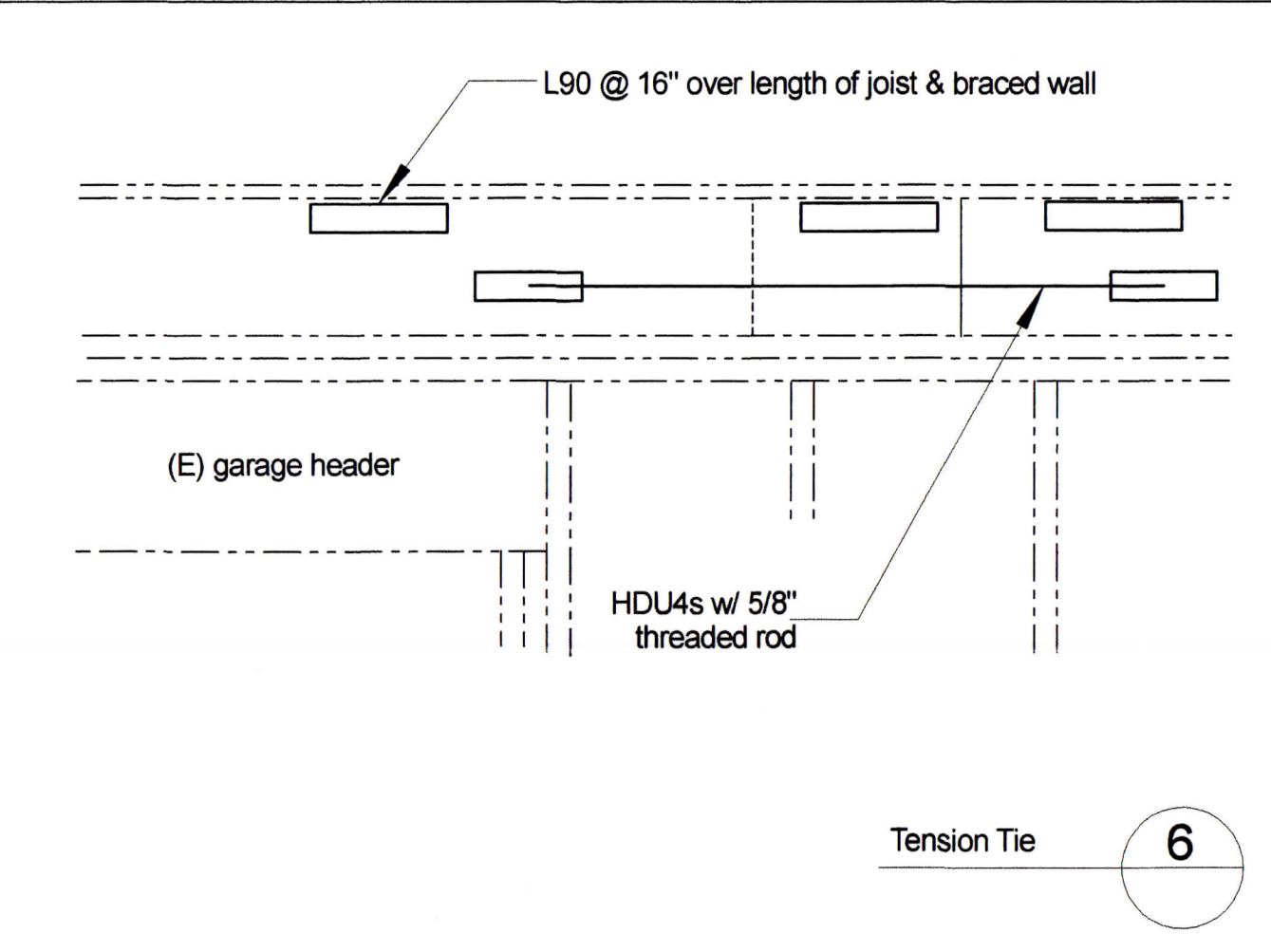
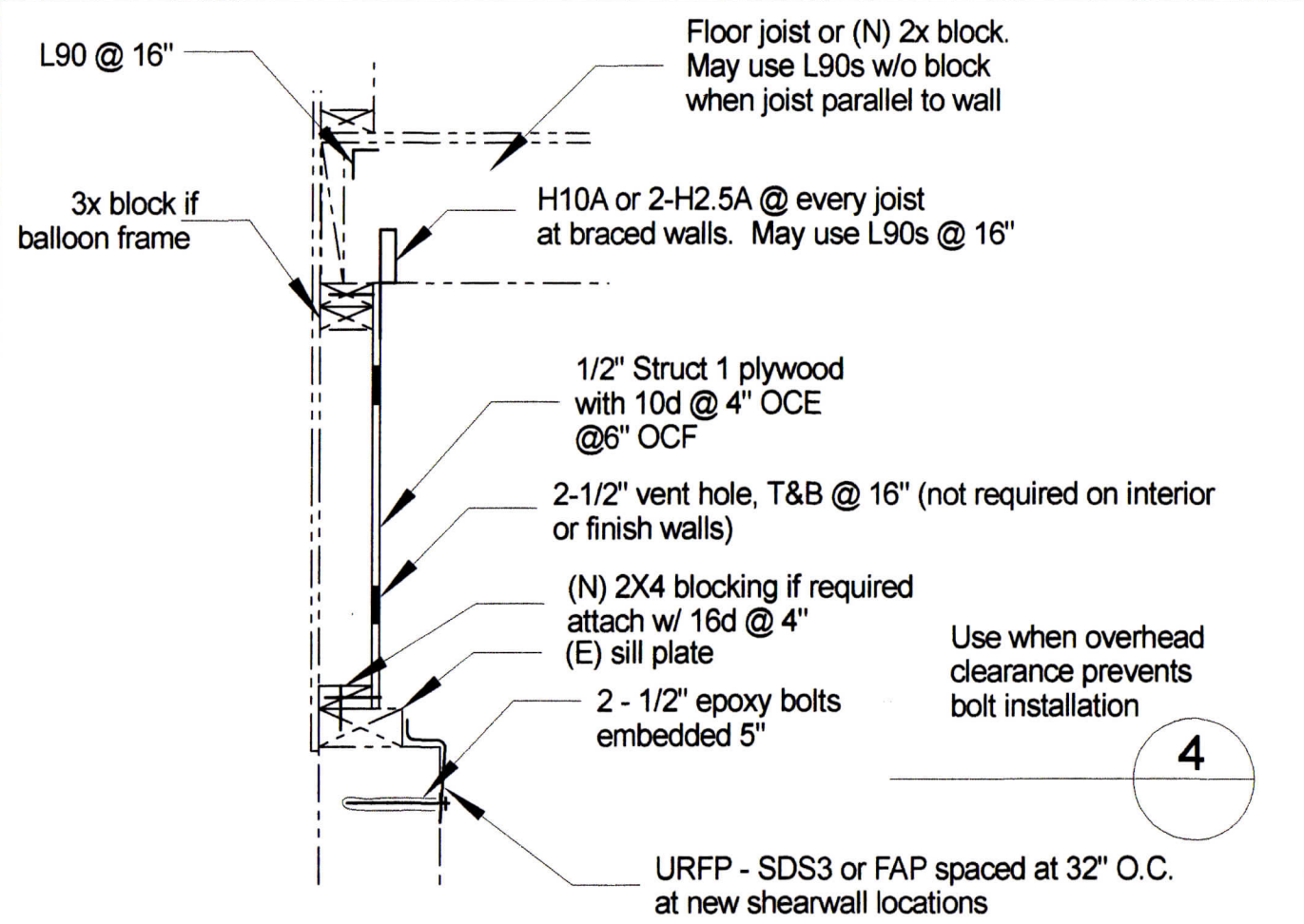
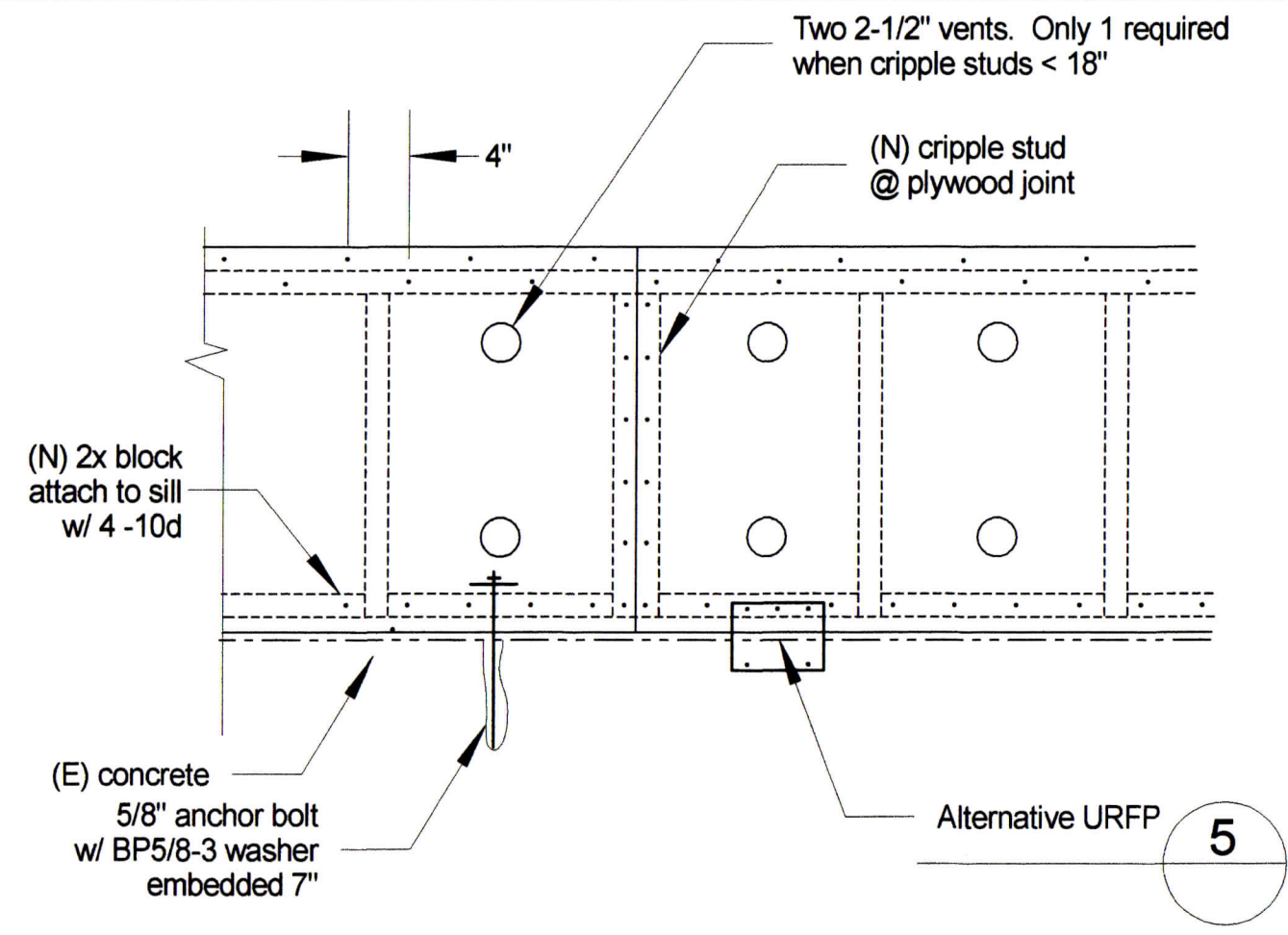
BY: KSF

DATE: 2/11/2024

SHEET: 3 of 4



REV.	DATE







BENT SEISMIC UPGRADE DETAILS
6319 HIGHLAND AVE., RICHMOND, CA 94805
 KSF STRUCTURAL 1805 LEIMERT BLVD., OAKLAND, CA (510) 531-4177

BY: KSF
 DATE: 2/11/2024
 SHEET: S4





Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  Board of Supervisors' Districts
- Base Data**
-  Address Points

Highland Ave



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.






THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SH (Single Family Residential - High) 5.0 - 7.2 Units per Net Acre
-  Unincorporated
-  Board of Supervisors' Districts
- Base Data**
-  Address Points

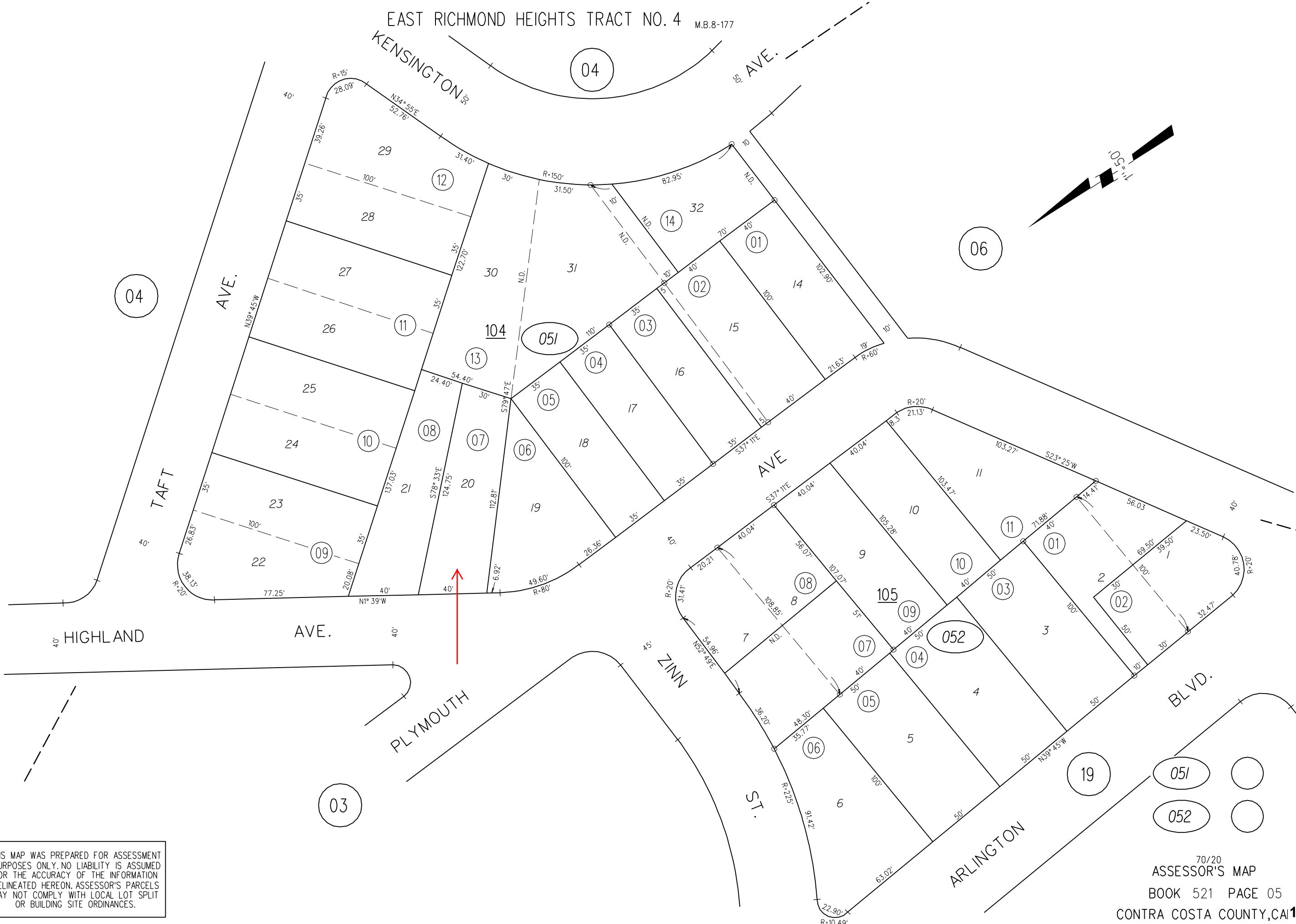


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 Datum: WGS 1984



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)
- Zoning
- ZONE_OVER
-  R-6 (Single Family Residential)
- Unincorporated
- Board of Supervisors' Districts
- Base Data
-  Address Points



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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-345

Agenda Date: 1/27/2025

Agenda #:

Advisory Board: East Richmond Heights Land Use Subcommittee
Subject: County File Number: CDVR24-01046

Information:

Accept County File Number: CDVR24-01046



AGENCY COMMENT REQUEST

Date _____

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <p> <input type="checkbox"/> Building Inspection <input type="checkbox"/> Grading Inspection <input type="checkbox"/> Advance Planning <input type="checkbox"/> Housing Programs <input type="checkbox"/> Trans. Planning <input type="checkbox"/> Telecom Planner <input type="checkbox"/> ALUC Staff <input type="checkbox"/> HCP/NCCP Staff <input type="checkbox"/> APC PW Staff <input type="checkbox"/> County Geologist </p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p><input type="checkbox"/> Environmental Health <input type="checkbox"/> Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts) <input type="checkbox"/> Traffic <input type="checkbox"/> Flood Control (Full-size) <input type="checkbox"/> Special Districts </p> <p><u>LOCAL</u></p> <p><input type="checkbox"/> Fire District _____</p> <p style="margin-left: 20px;"> <input type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov <input type="checkbox"/> Consolidated – (email) fire@cccfd.org <input type="checkbox"/> East CCC – (email) brodriguez@cccfd.org </p> <p><input type="checkbox"/> Sanitary District _____</p> <p><input type="checkbox"/> Water District _____</p> <p><input type="checkbox"/> City of _____</p> <p><input type="checkbox"/> School District(s) _____</p> <p><input type="checkbox"/> LAFCO</p> <p><input type="checkbox"/> Reclamation District # _____</p> <p><input type="checkbox"/> East Bay Regional Park District</p> <p><input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD</p> <p><input type="checkbox"/> MAC/TAC _____</p> <p><input type="checkbox"/> Improvement/Community Association</p> <p><input type="checkbox"/> CC Mosquito & Vector Control Dist (email)</p> <p><u>OTHERS/NON-LOCAL</u></p> <p><input type="checkbox"/> CHRIS (email only: nwic@sonoma.edu)</p> <p><input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta</p> <p><input type="checkbox"/> Native American Tribes</p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <p><input type="checkbox"/> Active Fault Zone (Alquist-Priolo)</p> <p><input type="checkbox"/> Flood Hazard Area, Panel # _____</p> <p><input type="checkbox"/> 60-dBA Noise Control</p> <p><input type="checkbox"/> CA EPA Hazardous Waste Site</p> <p style="margin-left: 40px;">High or Very High FHSZ</p> <p style="text-align: center;">*****</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None <input type="checkbox"/> Below <input type="checkbox"/> Attached</p> <p> </p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
--	--



Planning Application Summary

County File Number: CDVR24-01046

File Date: 9/24/2024

Applicant:

Robert Nunally
2758 del Monte Ave
El Cerrito, CA 94530

rob.nunally@meta-tek.com
(808) 987-5095

Property Owner:

Robert Nunally
2758 Del Monte Ave
El Cerrito, CA 94530

rob.nunally@meta-tek.com
(808) 987-5095

Project Description:

The applicant requests approval of a Variance and Small Lot Design Review to allow for an 8'-8.5" secondary frontage and public road setback (where 15' is the minimum and 10' minimum to the public road setback) and for the construction of second story addition and house remodel. The existing residence is currently encroaching onto the secondary frontage.

Project Location: (Address: 2758 DEL MONTE AVE, RICHMOND, CA 945301508), (APN: 521122001)

Additional APNs:

General Plan Designation(s): SH

Zoning District(s): R-6

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence: El Cerrito

Fire District: CONSOLIDATED FIRE

Sanitary District: WEST CO WASTEWATER

Housing Inventory Site:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3337.00	3337.00

Richmond, California

Google Street View

Jun 2022 See more dates

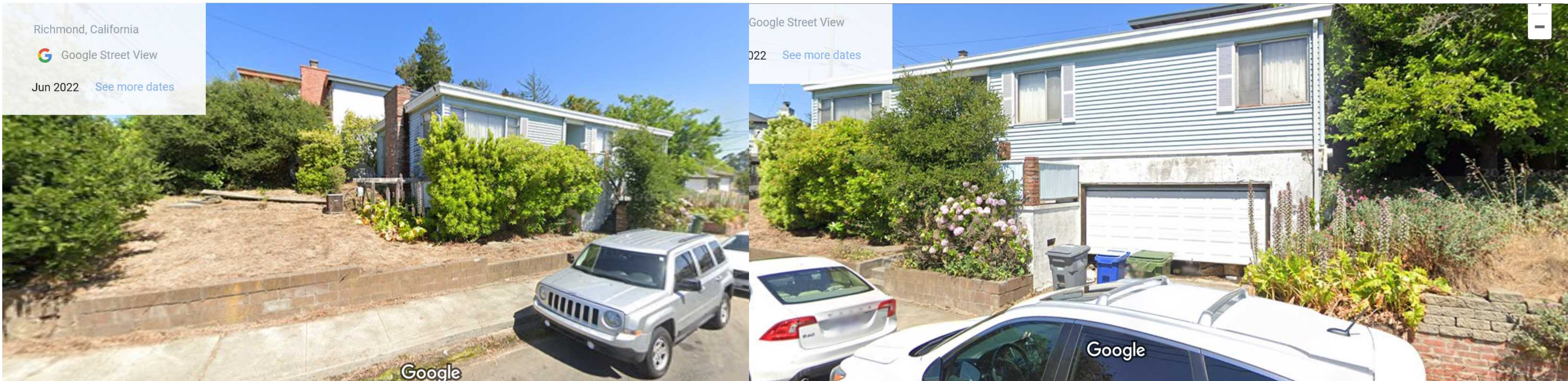


Image capture: Jun 2022 © 2024 Google

Residential Renovation

2758 Del Monte Ave El Cerrito CA

GENERAL PROJECT OUTLINE:

2758 DEL MONTE AVE, EL CERRITO, CA

Project: 2758 Del Monte Ave., is a single family home restoration project by Robert Nunally and The Greg Phipps Company. The current residence, built in 1954, is vacant due to neglect and deferred maintenance. This proposal will restore the home to a habitable state meeting current building codes while maintaining the existing foundation footprint.

Energy: Power will be 100% electric, supported by solar panels and back-up batteries including a state-of-the-art heat-to-water hydronic heat pump system, providing efficient hydronic radiant heat along with domestic hot water.

Footprint: Impact of construction will be renovating the main floor and adding bump-outs to increase the square footage by 145 sq ft. A second floor will be added accommodating a primary bedroom and bath, adding 570 sq ft. The current square footage, including garage, is 1502 sq ft. which will be expanded to 2217 sq ft., including the garage and bump outs in the living areas on the main floor. The existing foundation and footprint will remain unchanged.

Construction: Living spaces will be constructed with 9' ceilings, 2" x 6" exterior walls, and standard 2" x 4" interior walls. Decks will be added on the north and south sides of the property to expand outdoor use while providing ingress to and egress from the home. The main entry will be moved to the north side consistent with other residences on this street, improving accessibility to the front door. The "as built" west side entry will be eliminated, increasing the setback by 3 feet. The house is sited on a small, 3500 sq. ft. lot, like many in the East Richmond Heights area. This project strives to represent mid-century modern design consistent with existing architecture in the community.

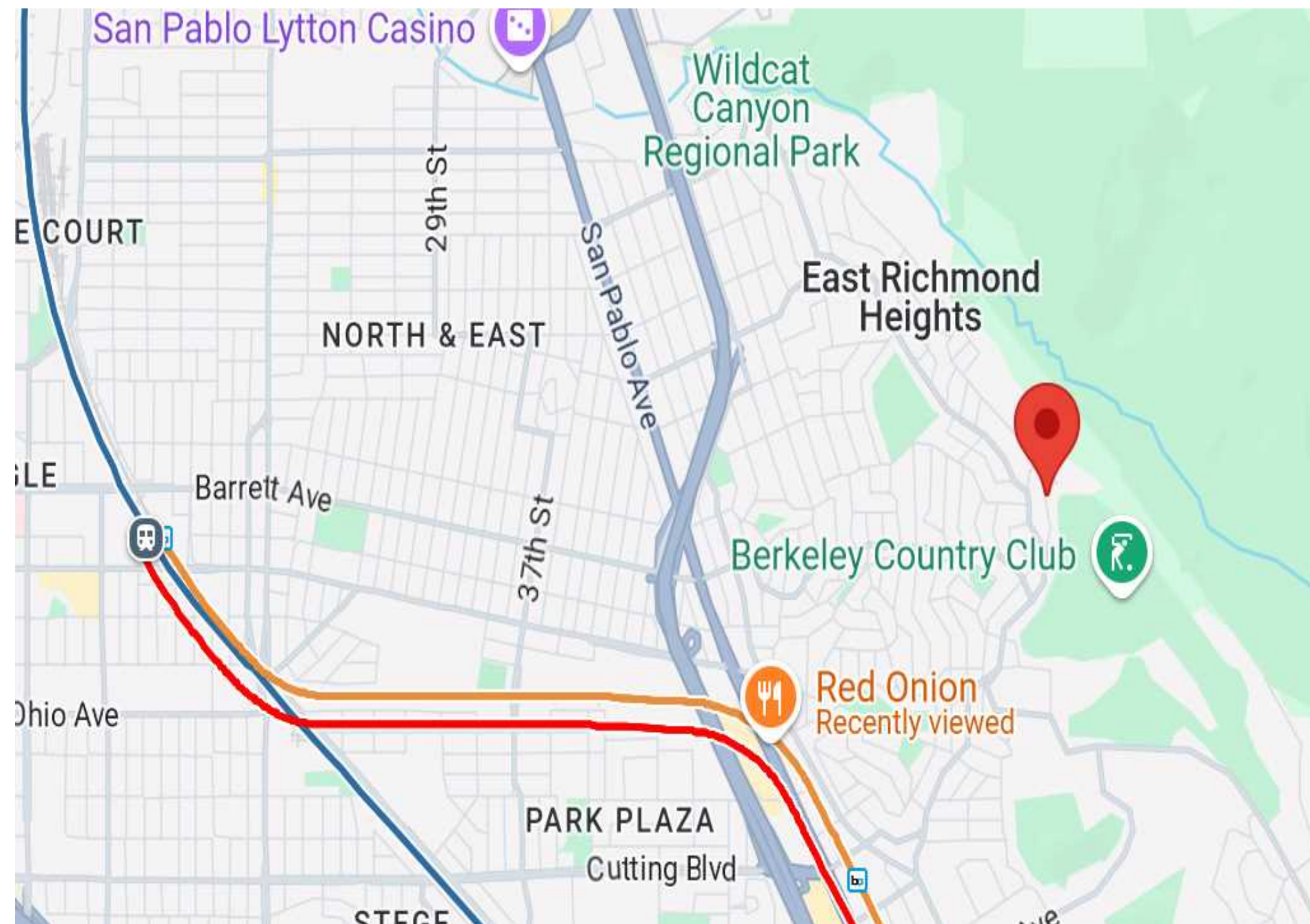


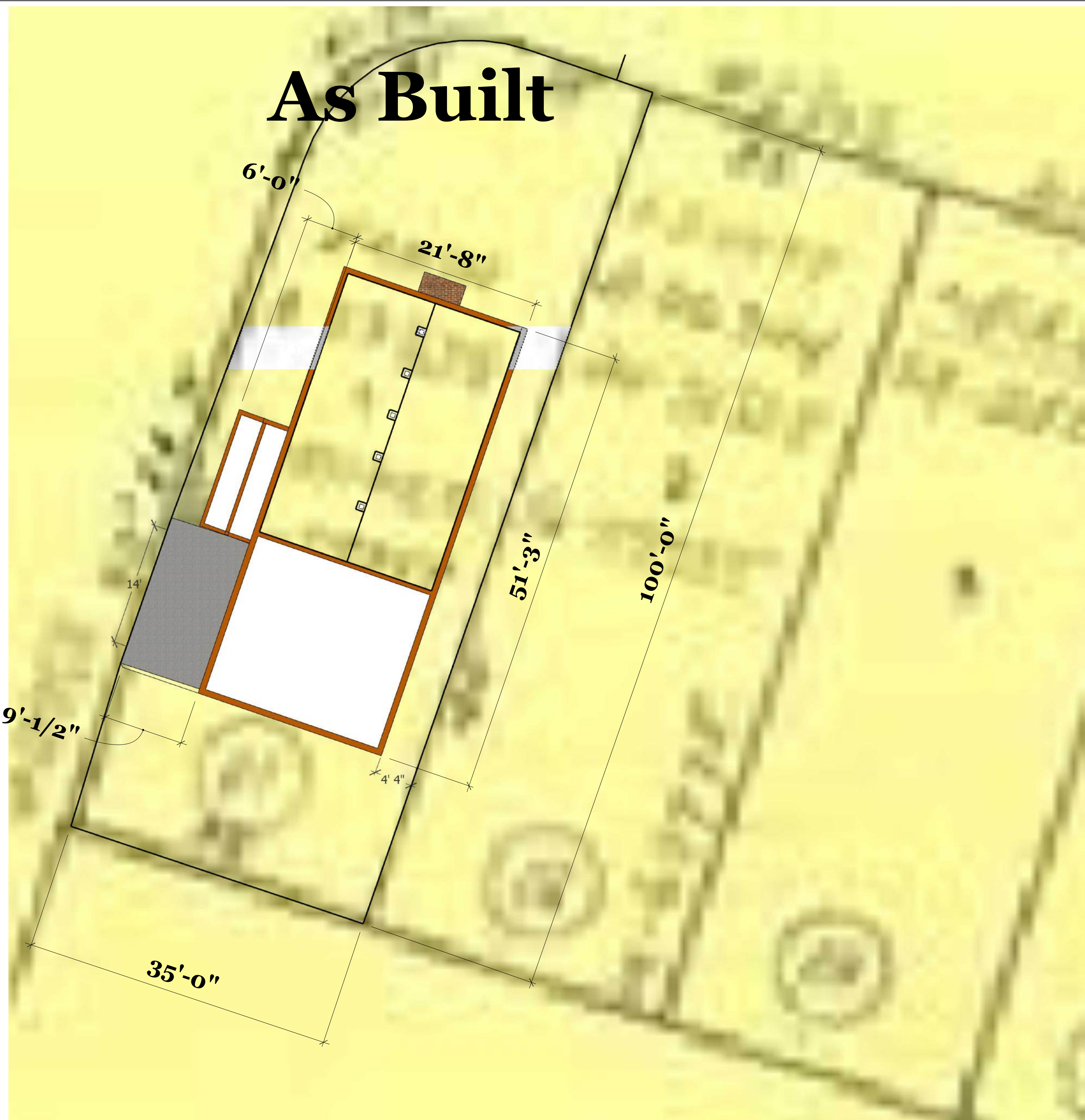
TABLE OF CONTENTS

- 1 Site Plan
- 2 As Built Floor Plan/Elevations
- 3 Proposed Decks and Pathways
- 4 Floor Plan AB and Proposed
- 5 Site Plan/Foundation
- 6 Elevation Height Compliance
- 7 Topo Elevations
- 8 Roof and Deck Detail
- 9 Section Cut and Detail

The Greg Phipps Company
Contractor

Residential Renovation
2758 Del Monte Ave

January 18, 2025

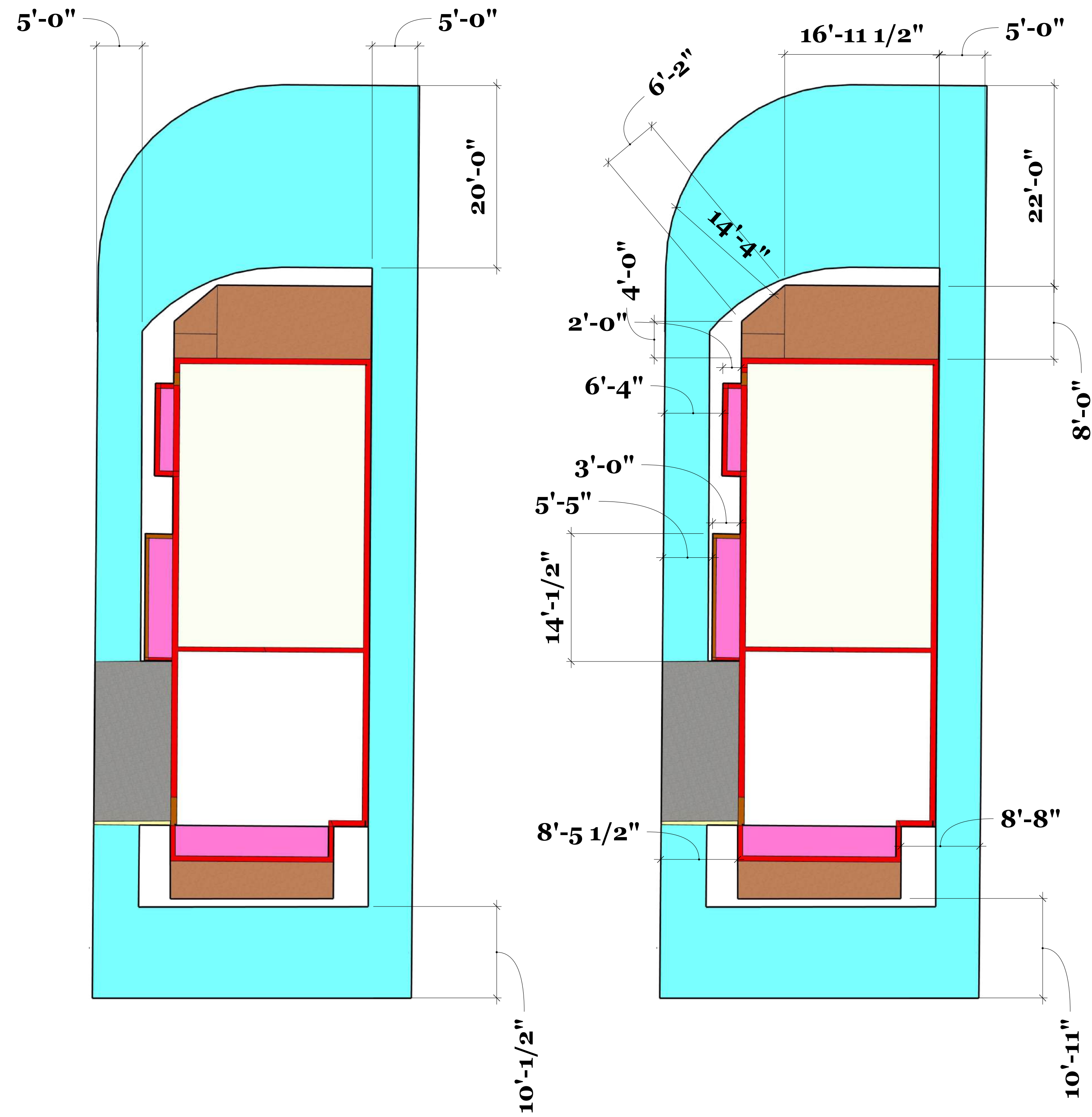


- Setback Lines**
- Bump Outs**
- Decks**
- Fireplace**

Proposed Site

Setbacks

Proposed Setbacks

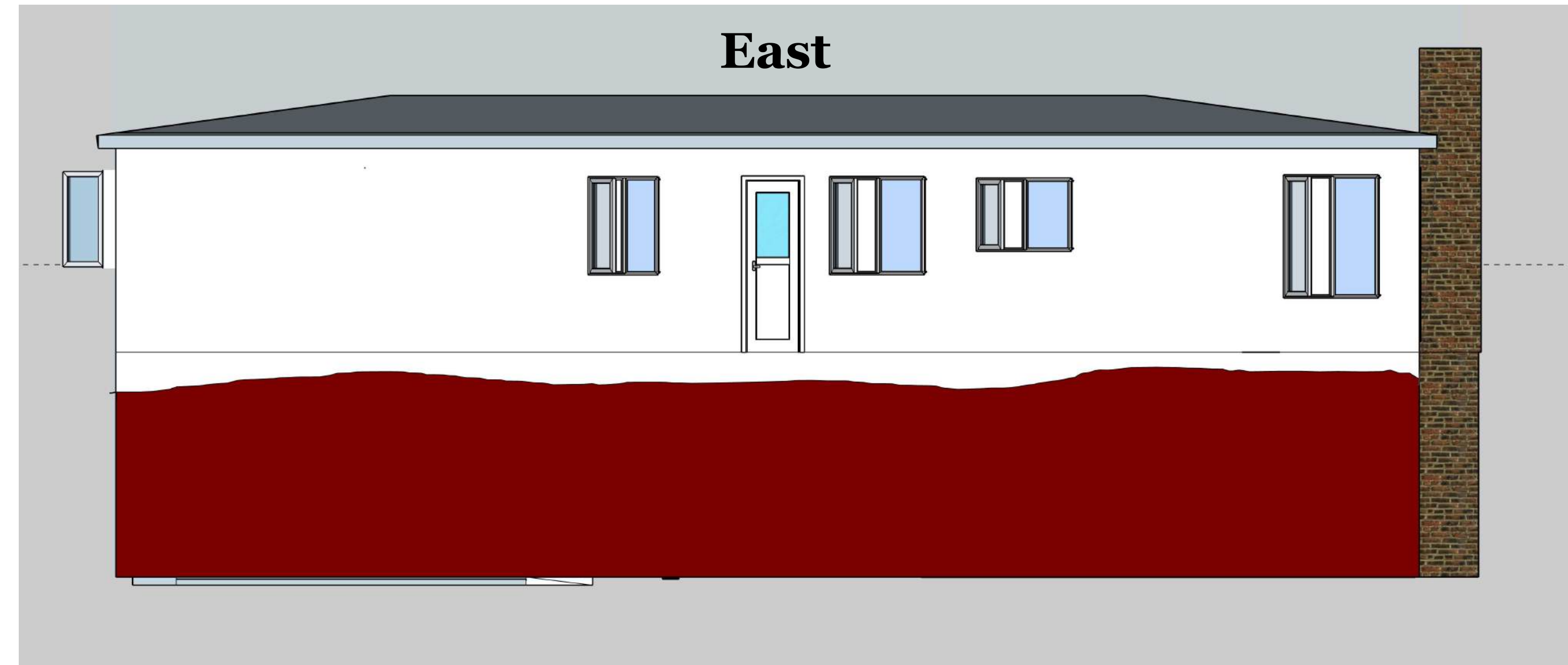
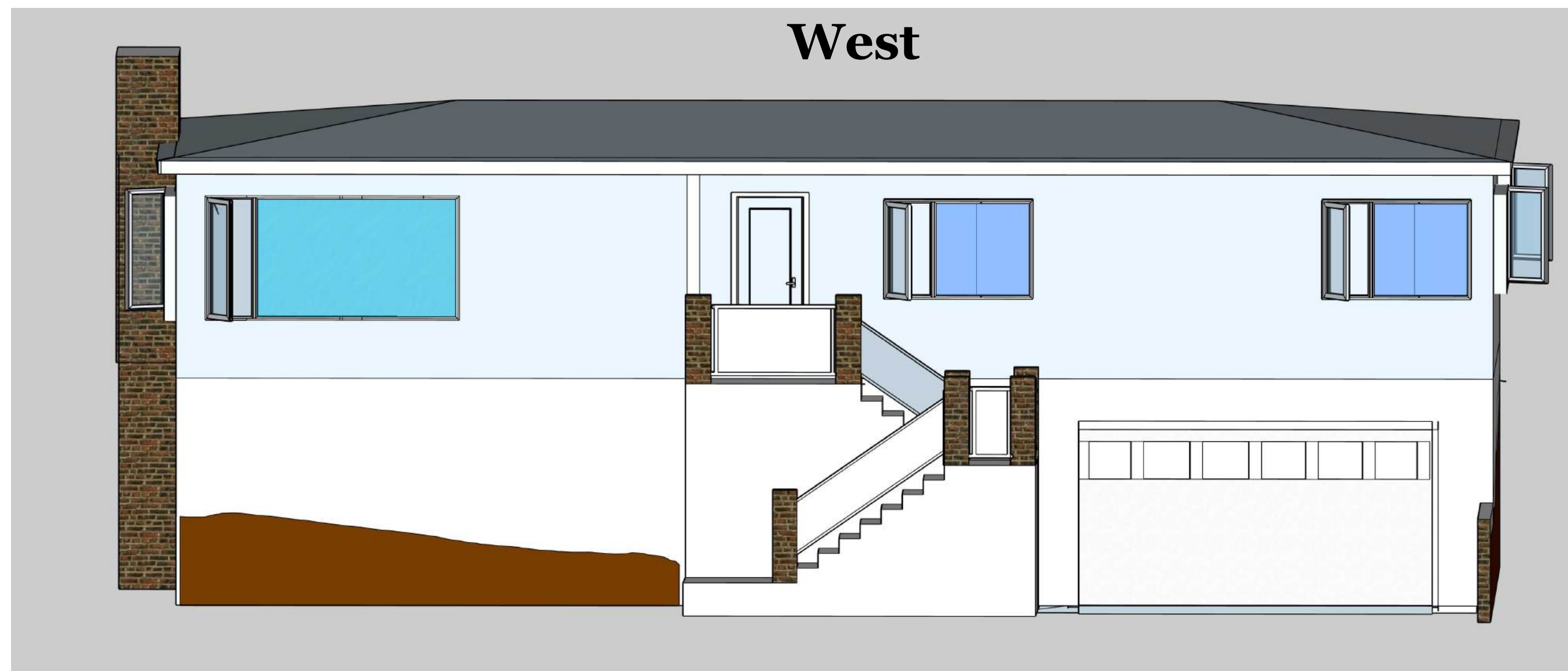
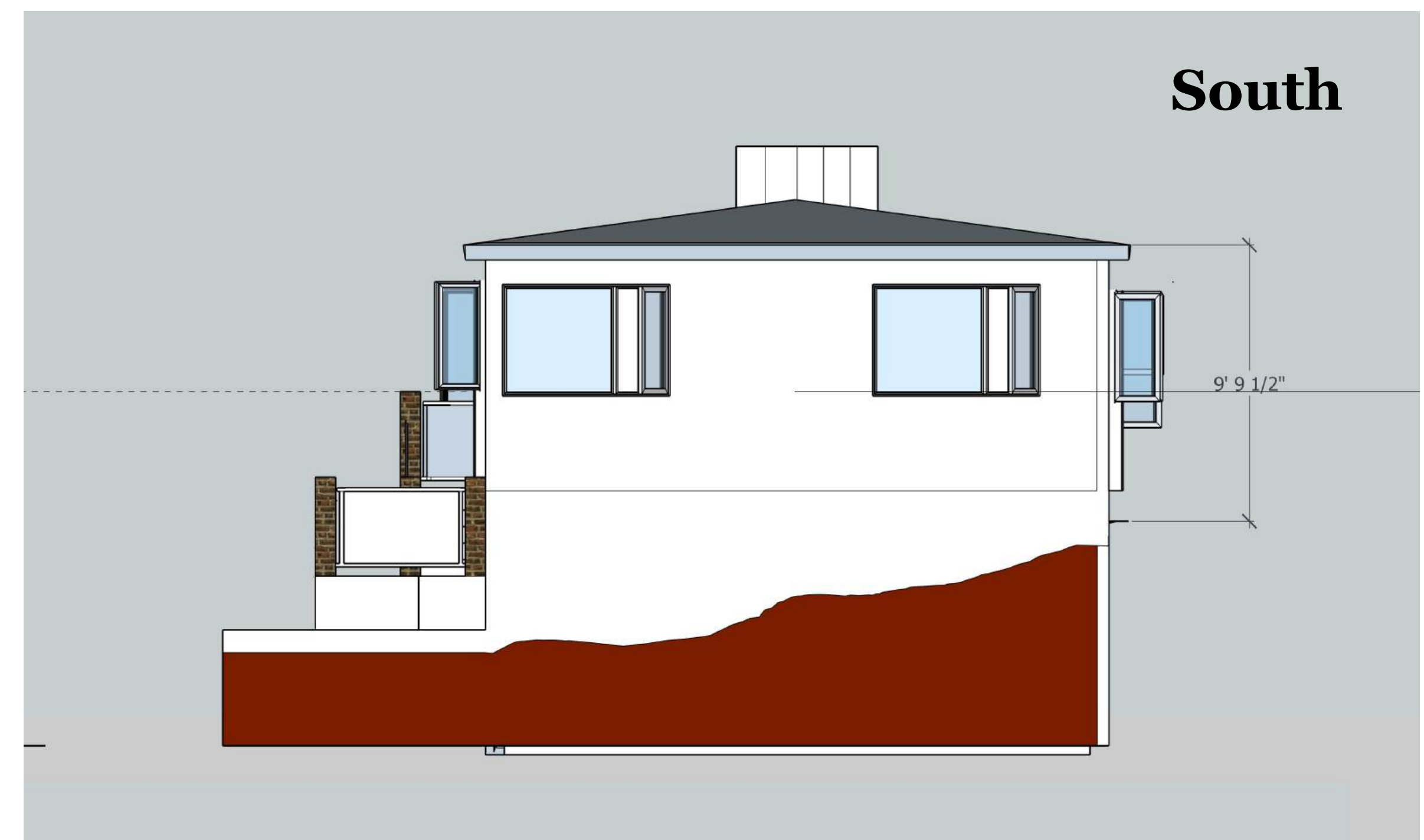
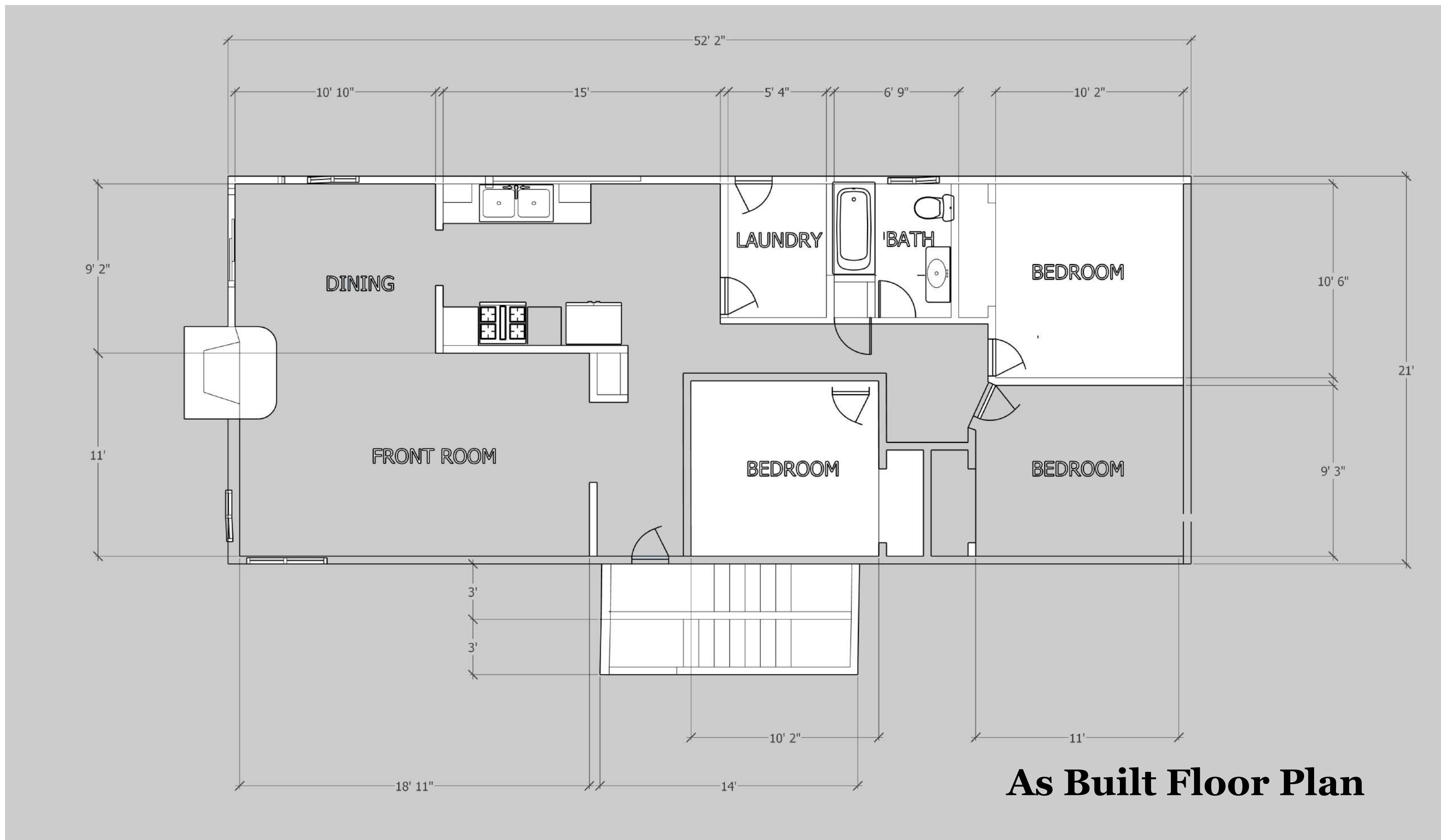


SCALE 1/8" - 1'

NO.	DATE	REVISIONS
1		REMARKS
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2728 De Monte Av El Cerrito CA

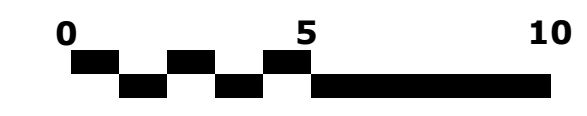
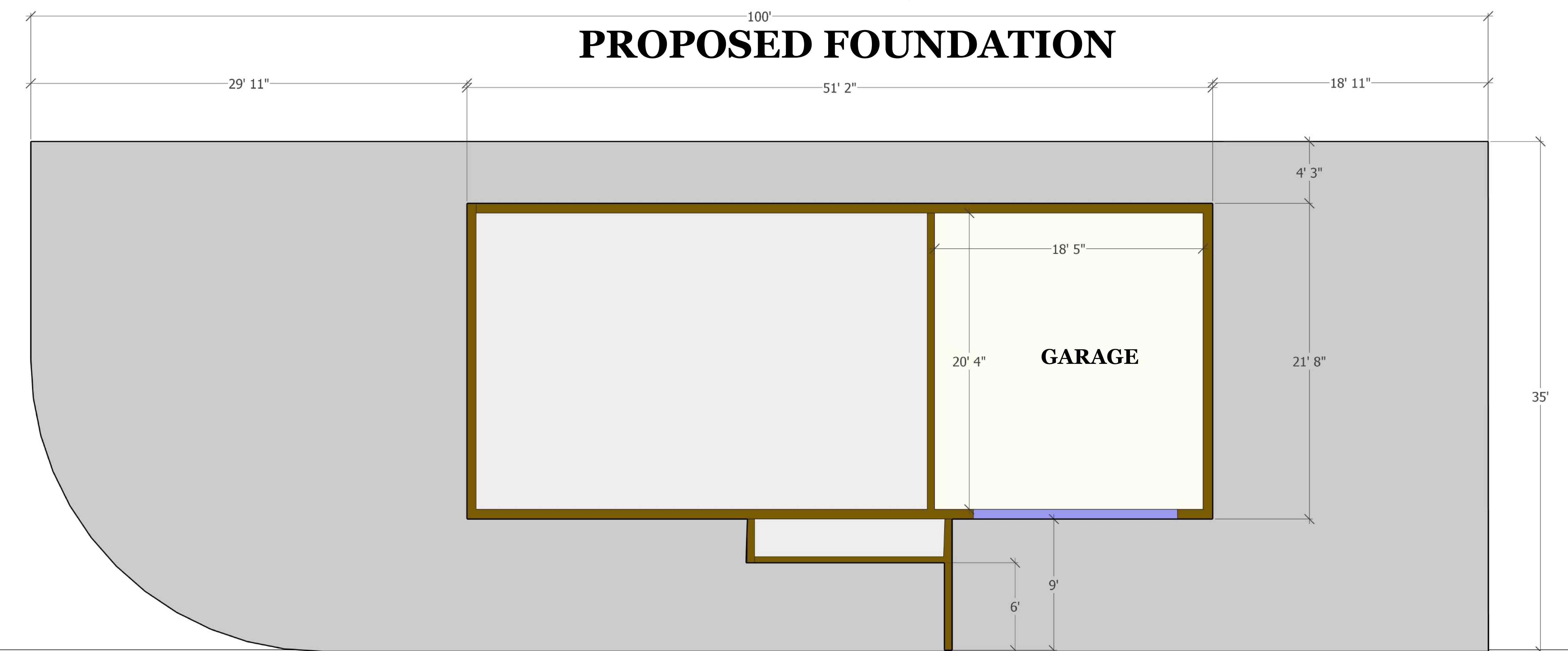
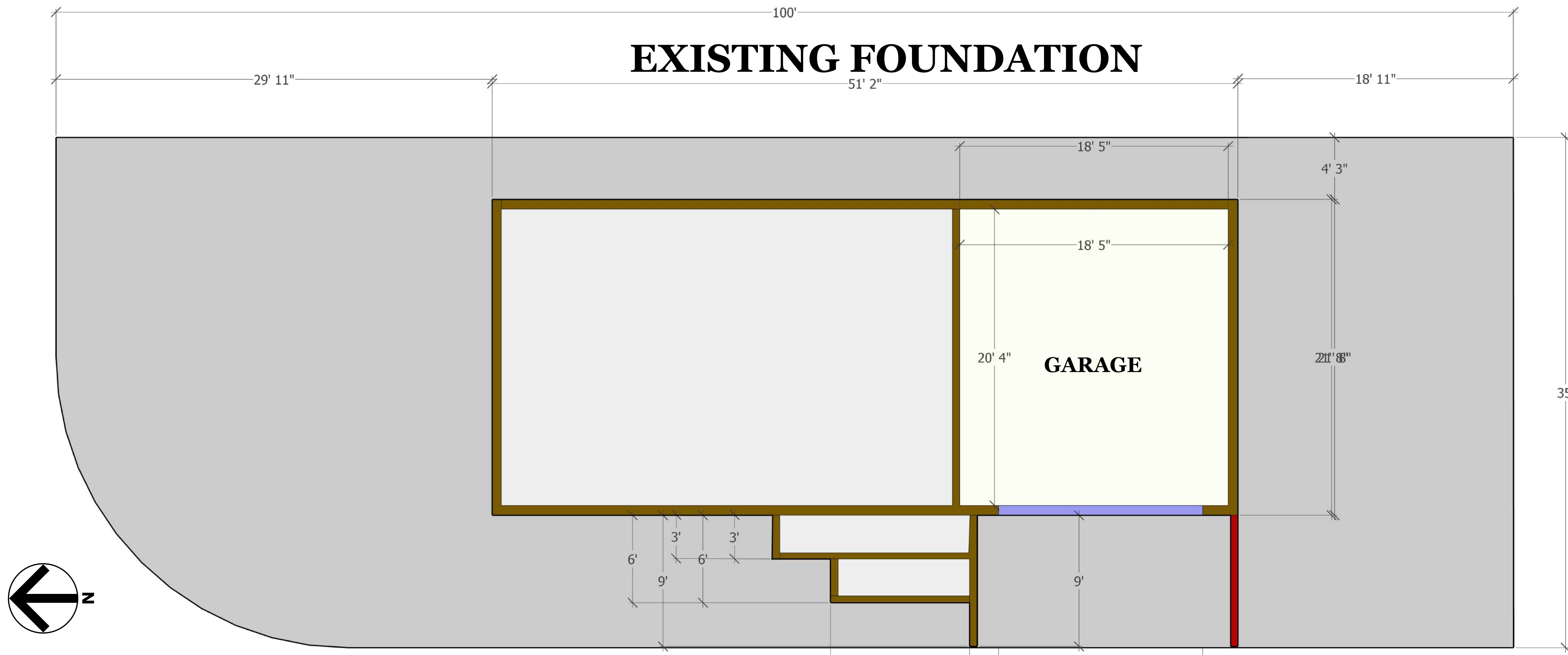
Site Plan



NO.	DATE	REVISIONS	REMARKS
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**The Greg Phipps Company
Contractor**
2728 De Monte Av El Cerrito CA

**As Built Floor Plan and
Elevations**

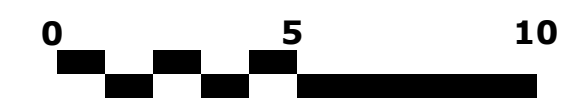
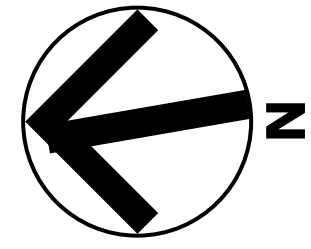
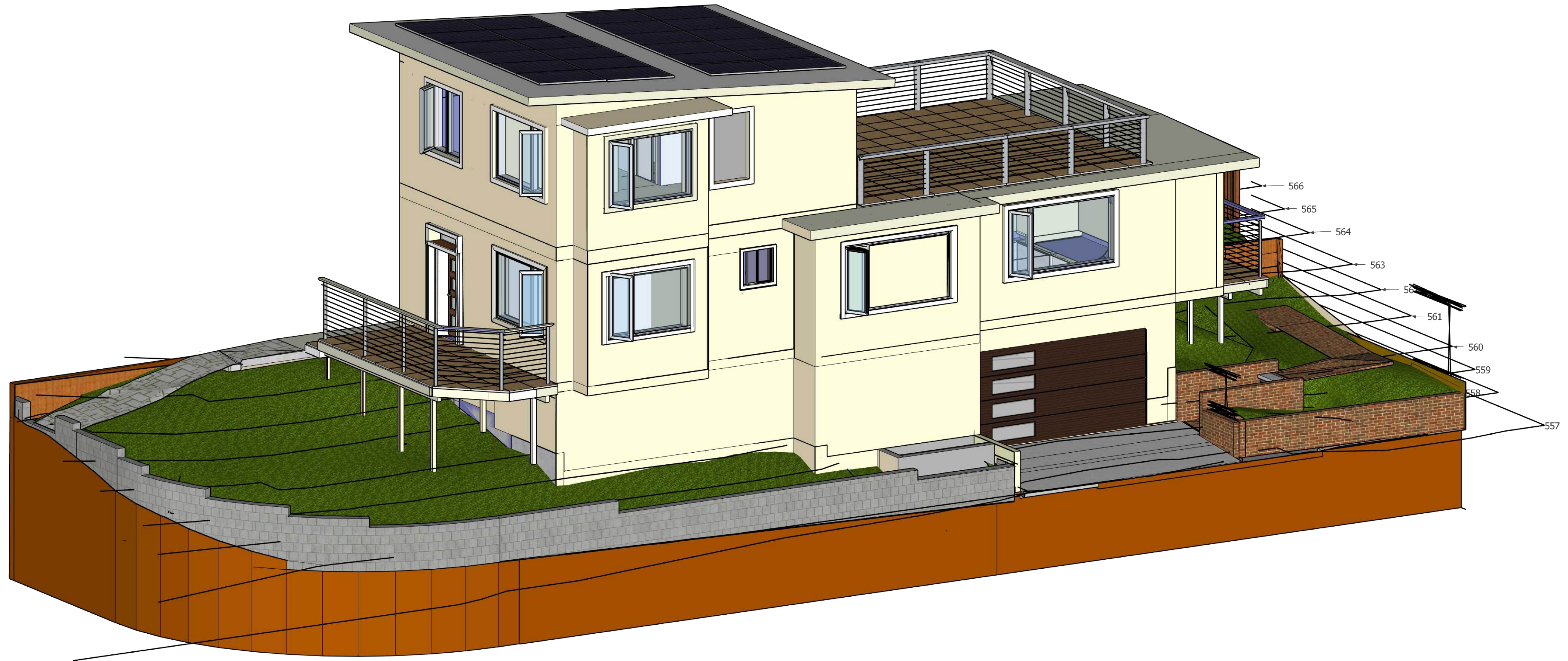


NO.	DATE	REVISIONS	REMARKS
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The Greg Phipps Company
Contractor
 2728 De Monte Av El Cerrito CA

Site Plan
Foundatiuon

Topo Site Plan with Decks, Pathways, Fences



REVISIONS	REMARKS
1	
2	
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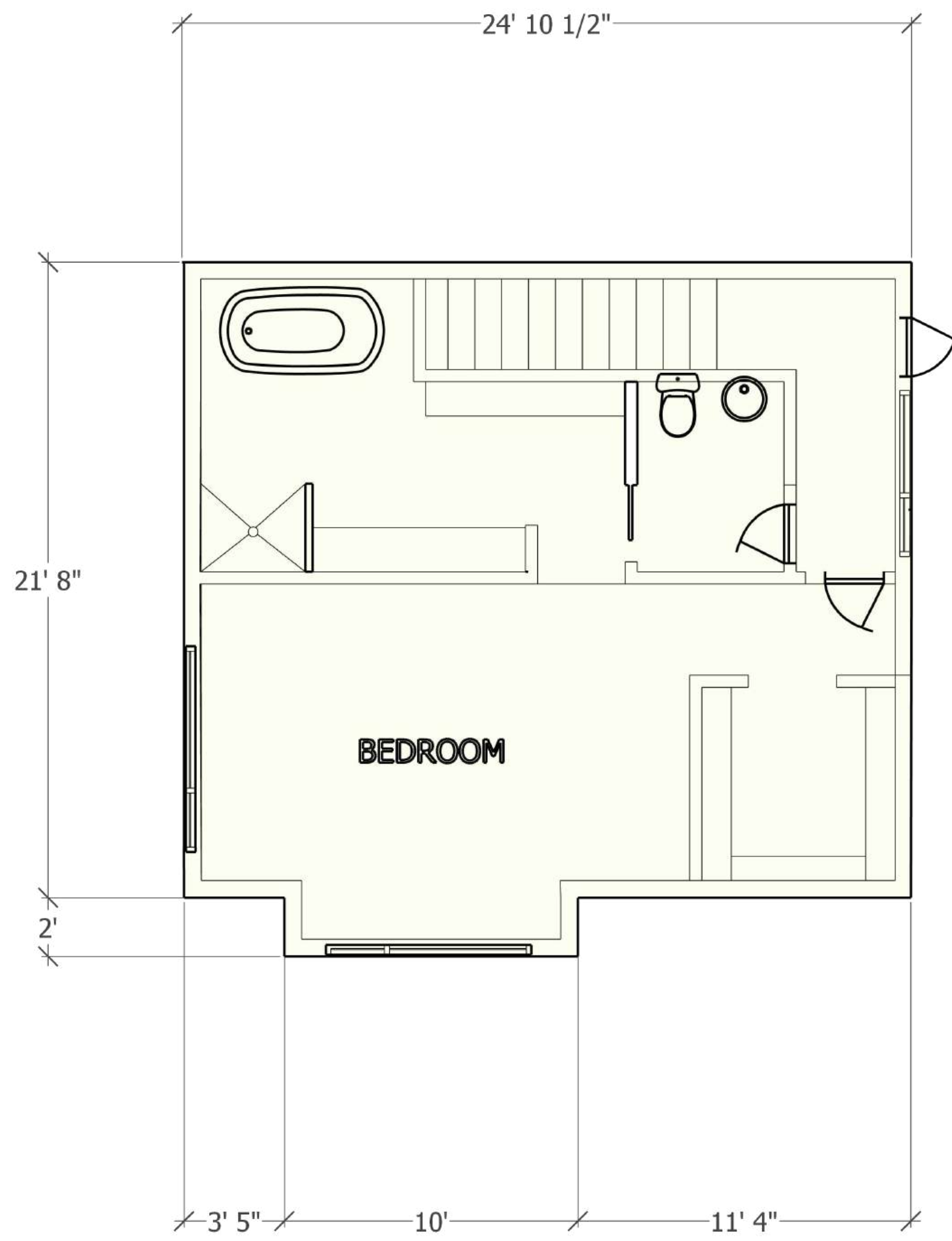
**The Greg Phipps Company
Contractor**
2728 De Monte Av El Cerrito CA

**Topo Site Plan with
Decks, Pathways, Fences**

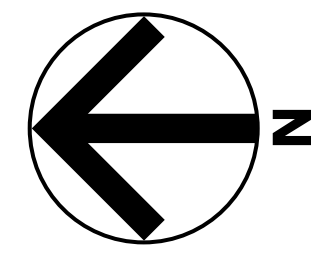
Square Footage

Existing square footage of residence – 1138
 Existing square footage of garage – 380
 Total existing square footage – 1518

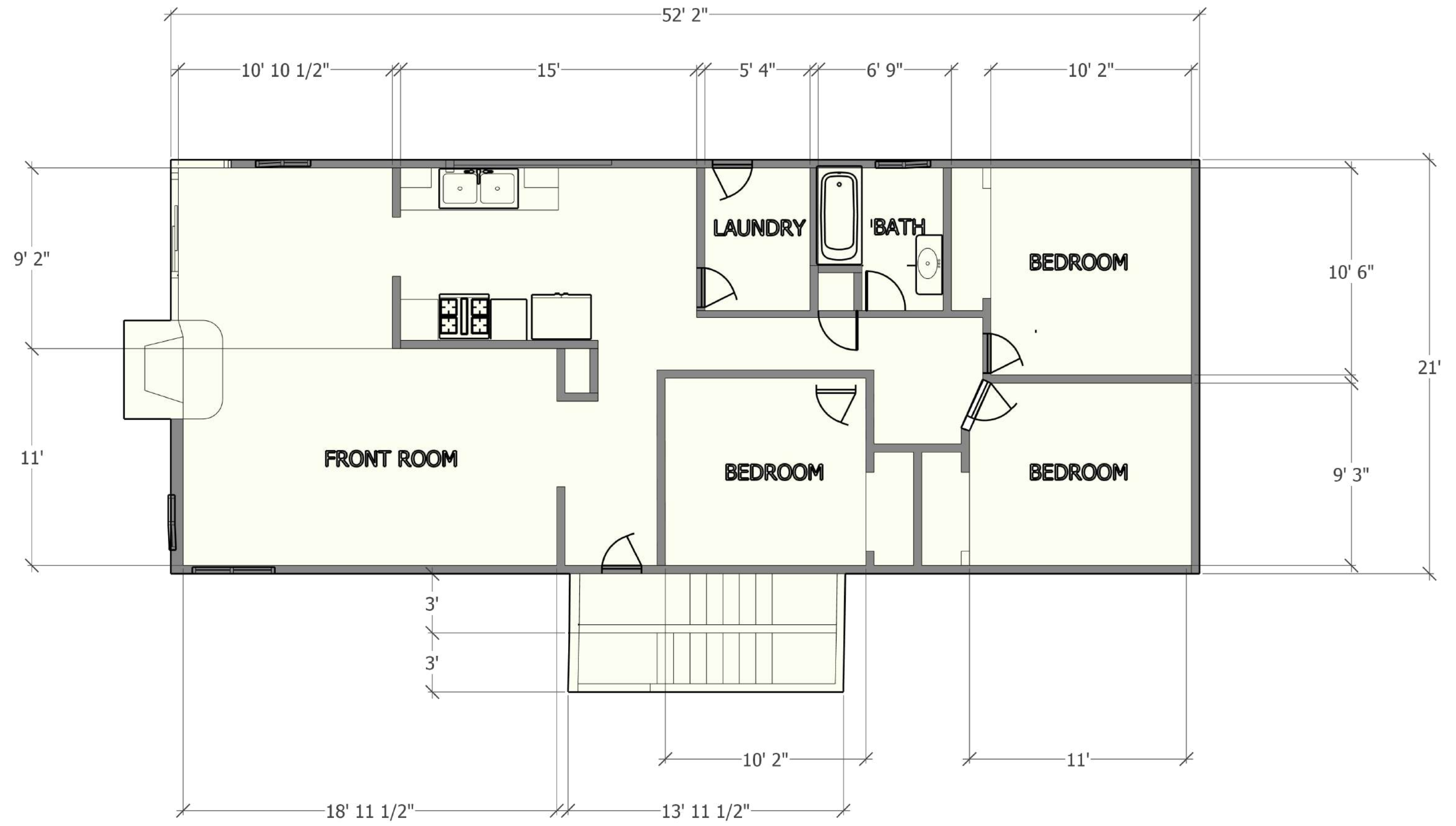
Proposed square footage of first floor - 1273
 Proposed square footage of second floor – 636
 Proposed square footage of living area- 1902
 Existing square footage of garage - 380
 Total proposed square footage - 2282



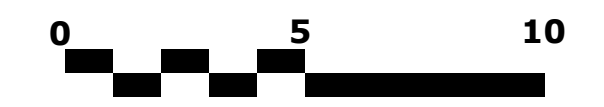
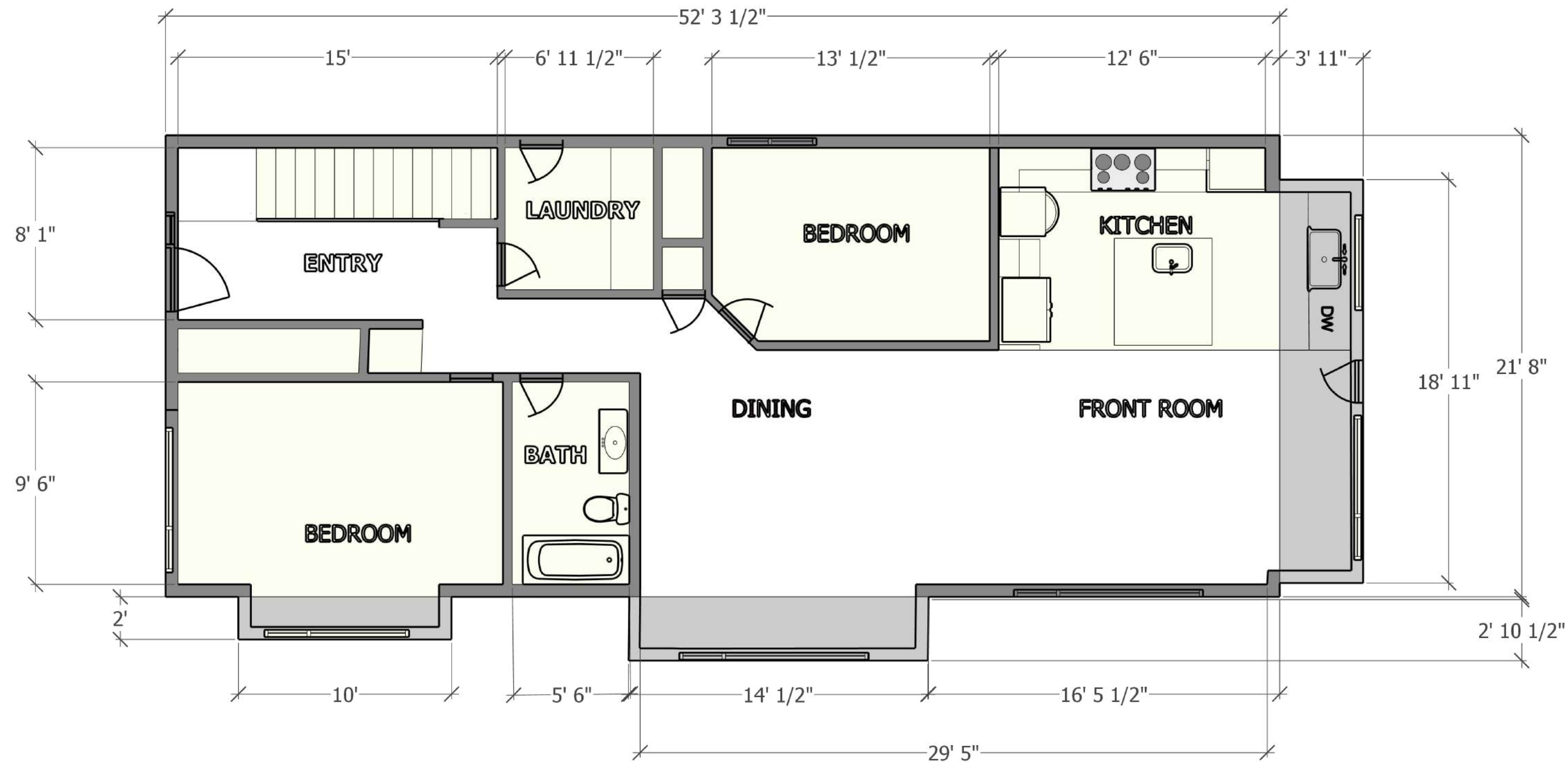
Proposed 2nd Floor



As Built Floor Plan



Proposed Main Floor



NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

The Greg Phipps Company
Contractor
 2728 De Monte Av El Cerrito CA

As Built,
Proposed Floor Plans

Back, South Facing Elevation



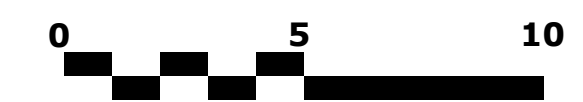
Front, North Facing Elevation



West Facing Elevation



Note: Measurements taken from base of foundation



REVISIONS

REMARKS

MM/DD/YY

1

2

3

4

5

**The Greg Phipps Company
Contractor**

2728 De Monte Av El Cerrito CA

**Elevation Height
Compliance**

A

06

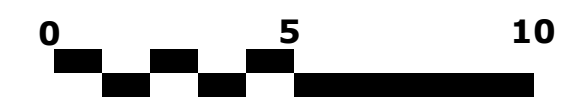
West Facing Elevation



South Facing Elevation



North Facing Elevation



REVISIONS
REMARKS

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			
5			

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Topo Elevations

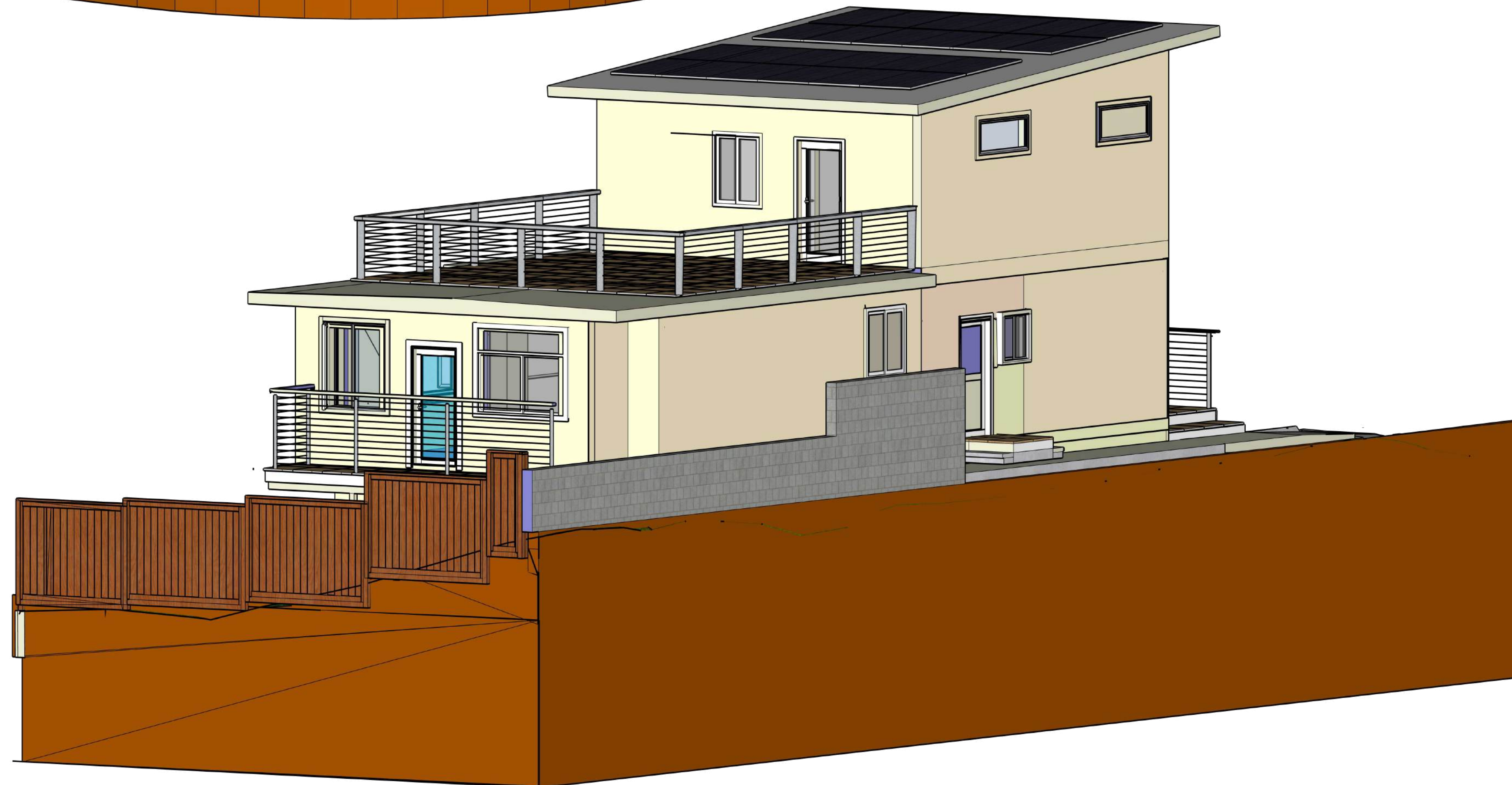
A

07

North West Elevation



South East Elevation

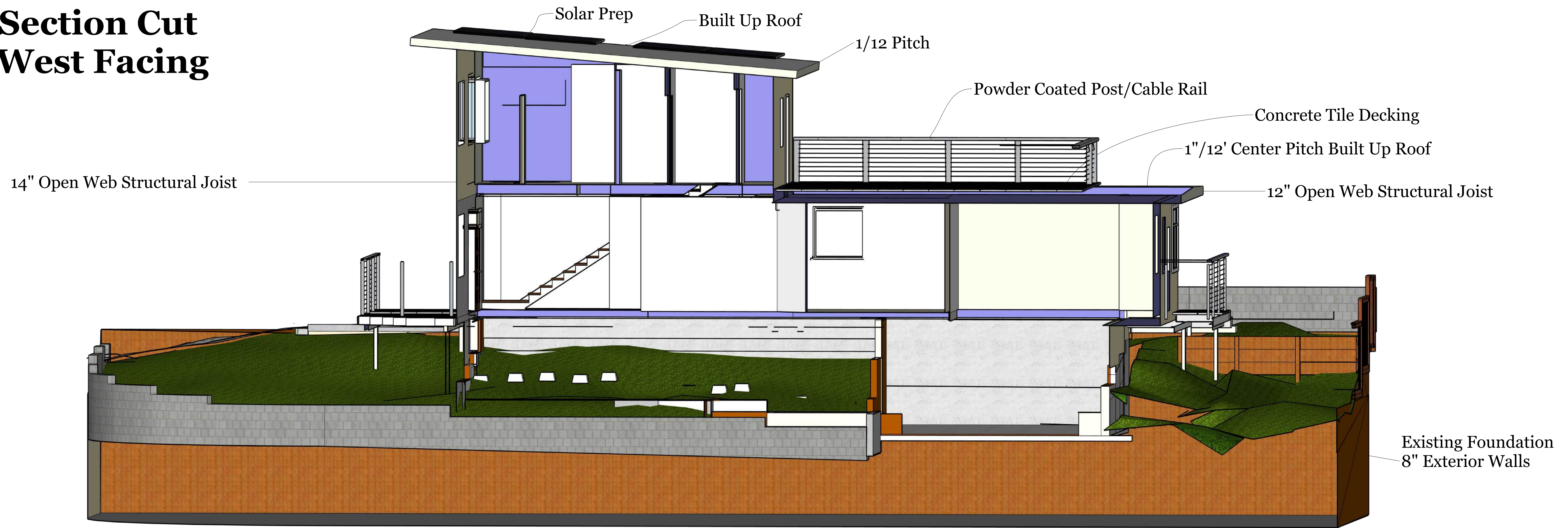


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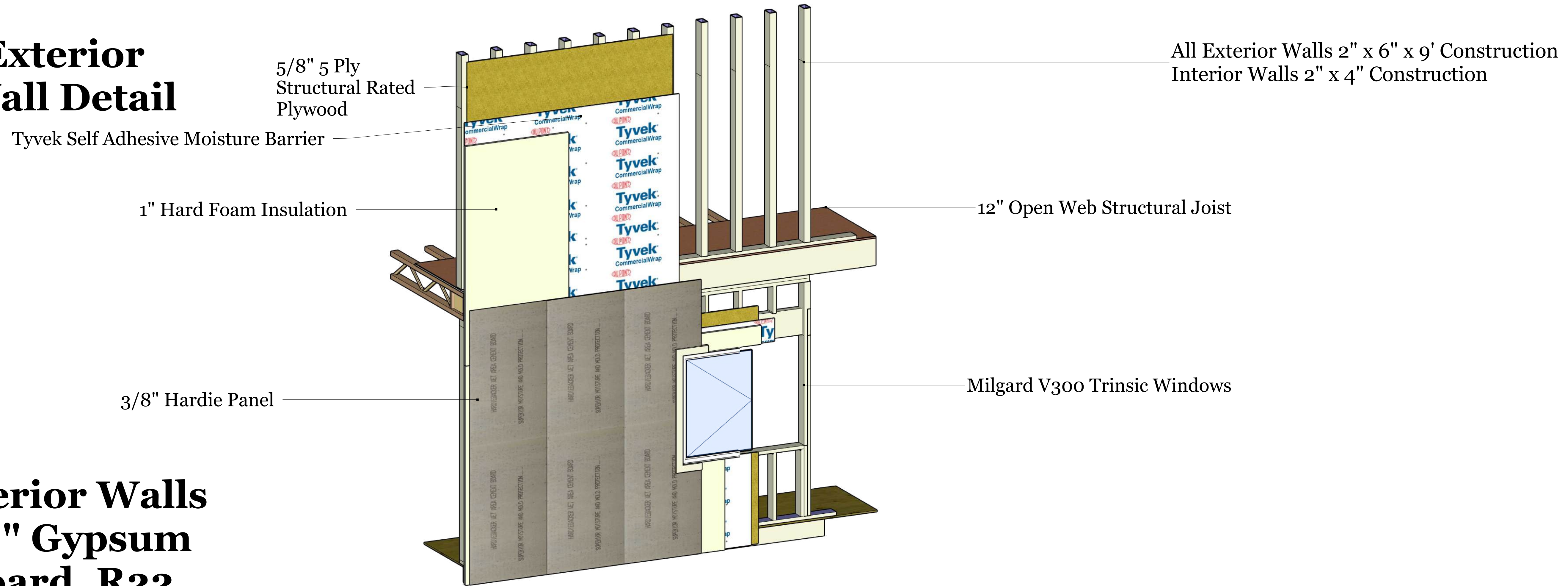
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North/South Elevations

Section Cut West Facing



Exterior Wall Detail



Interior Walls 5/8\"/>

REVISIONS

REMARKS

NO.	DATE	REVISIONS
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Structure Details