



CONTRA COSTA COUNTY

AGENDA

Bethel Island Municipal Advisory Council

Tuesday, February 11, 2025

6:00 PM

Scout Hall, 3090 Ranch Lane, Bethel
Island, CA 94511

1. Roll Call and Introductions
2. Pledge of Allegiance
3. Approval of Agenda
4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers are limited to three minutes).
5. Council Member Comments
6. Agency Reports
 - a. **Contra Costa County Office of the Sheriff**
Contra Costa Fire Protection District
Contra Costa County Supervisor Diane Burgis
7. Consent Items

APPROVE Record of Actions - January 14, 2025 [25-456](#)

Attachments: [MeetingMinutes 14-Jan-2025](#)
8. Discussion Items
 - a. CONSIDER Agency Comment Request CDLP24-02027 where the applicant seeks approval of a Land Use Permit application to add a commercial kitchen within the existing Gateway Market building to establish a take-out food business. Pursuant to Chapter 88-16 - TAKE-OUT FOOD ESTABLISHMENTS of the County code, take-out food establishments must obtain a Land Use Permit from the County Planning Department [25-454](#)

Attachments: [Agency Comment Request packet_CDLP24-02027 \(1\)](#)

- b. CONSIDER Agency Comment Request CDRZ25-03278 where the applicant requests approval of a rezone application to rezone property APN 032-330-013, from F-1 to A-2, to establish a boat and RV storage (Concurrent CDLP25-02003). [25-455](#)
Attachments: [CDRZ25-03278_CDLP25-02003 - Agency Comment Packet](#)
- c. **DISCUSS and RECOMMEND the placement on no dumping signs on Bethel Island to Contra Costa Public Works.**
- d. **DISCUSS Increasing Participation at Monthly MAC Meetings**
- 9. Committee Reports
 - a. **Code Enforcement**
Bethel Island Chamber of Commerce
Bethel Island Municipal Improvement District
Bethel Island Post Office
Park Committee
San Joaquin Yacht Club
Scout Hall
Heart Safe Communities Program
Emergency Preparedness Committee
- 10. Correspondence/Announcements
- 11. Future Agenda Items
- 12. Adjourn

The next meeting is currently scheduled for March 11, 2025.

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 3361 Walnut Blvd, Suite 140, Brentwood, CA 94513, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Stephen Griswold, Deputy Chief of Staff, (925) 655-2330.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-456

Agenda Date: 2/11/2025

Agenda #:

Choose an item.

Meeting Date: Feb 11, 2025

Subject: Record of Actions - Jan 14, 2025

Submitted For: BIMAC

Recommendation(s)/Next Step(s):

APPROVE Record of Actions - January 14, 2025

CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553



Meeting Minutes

Tuesday, January 14, 2025

6:00 PM

Scout Hall, 3090 Ranch Lane, Bethel Island, CA 94511

Bethel Island Municipal Advisory Council

1. Roll Call and Introductions

Present Pam Allen, Mark Whitlock, Bob Brunham, Phil Kammerer, and Belinda Bittner

2. Pledge of Allegiance

3. Approval of Agenda

A motion was made by Bittner, seconded by Kammerer, that the agenda be approved. The motion carried by the following vote:

Motion: Bittner
Second: Kammerer
Aye: Allen, Whitlock, Brunham, Kammerer, and Bittner
Result: Passed

4. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers are limited to three minutes).

Lori Castillo - Spoke regarding flooding concerns on Stone Road on Bethel Island.

Bethi Carver Gibb - Spoke regarding flooding concerns on Bethel Island.

5. Agency Reports

- a. **Contra Costa County Office of the Sheriff**
Contra Costa Fire Protection District
Contra Costa County Supervisor Diane Burgis

Contra Costa County Office of the Sheriff - Lt Jacquez provided an activity report and shared some upcoming events from the Sheriff's Office.

Contra Costa Fire Protection District - Chief Wannamaker and Michele Rinehart provided updates on calls for service to Bethel Island, FireWise, and other relevant updates.

Contra Costa County Supervisor Diane Burgis - Stephen Griswold provided an updated on the Board of Supervisors re-organization and new Supervisor. Also, shared upcoming events and the extension of public comment on the Delta Stewardship Councils Delta Adapts plan.

6. Consent Items

[25-158](#)

Attachments: [MeetingMinutes_12-Nov-2024](#)

A motion was made by Bittner, seconded by Brunham, that this consent Item was approved.. The motion carried by the following vote:

Motion: Bittner
Second: Brunham
Aye: Allen, Whitlock, Brunham, Kammerer, and Bittner
Result: Passed

7. Discussion Items

d. [25-162](#)

Attachments: [Bethel Island MAC Sphere of Influence \(SOI\) Map \(1\)](#)
 [Bethel Island MAC Sphere of Influence \(SOI\) Map \(2\)](#)

Chair Whitlock provided an overview of the MACs roles and responsibilities as well as their Sphere of Influence.

e. **DISCUSS Increasing Participation at Monthly MAC Meetings**

 This matter was tabled

a. [25-159](#)

Attachments: [CDVR24-01060 ACR](#)

The applicant was present and the application was discussed.

A motion was made by Whitlock, seconded by Bittner, that this Discussion Item was recommended for approval. The motion carried by the following vote:

Motion: Whitlock
Second: Bittner
Aye: Allen, Whitlock, Brunham, Kammerer, and Bittner
Result: Passed

b. [25-160](#)

Attachments: [CDDP25-03001_Agency Comment Request Packet \(1\)](#)

A motion was made by Kammerer, seconded by Brunham, that this Discussion Item was recommended for approval. The motion carried by the following vote:

Motion: Kammerer
Second: Brunham
Aye: Allen, Whitlock, Brunham, Kammerer, and Bittner
Result: Passed

c. [25-161](#)

Attachments: [Agency Comment Request packet_CDDP24-03058 \(1\)](#)

A motion was made by Brunham, seconded by Kammerer, that this Discussion Item was recommended for approval. The motion carried by the following vote:

Motion: Brunham
Second: Kammerer
Aye: Allen, Whitlock, Brunham, Kammerer, and Bittner
Result: Passed

8. Committee Reports/Member Reports

- a. **Code Enforcement**
- Bethel Island Chamber of Commerce**
- Bethel Island Municipal Improvement District**
- Bethel Island Post Office**
- Park Committee**
- San Joaquin Yacht Club**
- Scout Hall**
- Citizen's Fire Committee**
- Heart Safe Communities Program**
- Emergency Preparedness Committee**

Code Enforcement - No Report.

Bethel Island Chamber of Commerce - Lori Castillo updated on the new website and a call for new memberships/renewals.

Bethel Island Municipal Improvement District - No Report.

Bethel Island Post Office - No Report.

Park Committee - No Report.

San Joaquin Yacht Club - Pam Allen updated that there is a new Commodore.

Scout Hall - Mark Whitlock updated on building maintenance and door replacement costs.

Citizen's Fire Committee - No Report.

Heart Safe Communities Program - Mark Whitlock updated that all the island AEDs are good.

Emergency Preparedness Committee - Mark Whitlock provided some education on the island sirens and the flock camera situations.

- 9. Correspondence/Announcements

No Correspondence/Announcements.

- 10. Future Agenda Items

- 11. Adjourn

Adjourned at 7:49 PM

The next meeting is currently scheduled for February 11, 2025.

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For Additional Information Contact: Stephen Griswold, Deputy Chief of Staff, (926) 655-2330.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-454

Agenda Date: 2/11/2025

Agenda #: a.

Choose an item.

Meeting Date: Feb 11, 2025

Subject: ACR CDLP 24-02027

Submitted For: BIMAC

Recommendation(s)/Next Step(s):

CONSIDER Agency Comment Request CDLP24-02027 where the applicant seeks approval of a Land Use Permit application to add a commercial kitchen within the existing Gateway Market building to establish a take-out food business. Pursuant to Chapter 88-16 - TAKE-OUT FOOD ESTABLISHMENTS of the County code, take-out food establishments must obtain a Land Use Permit from the County Planning Department



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDLP24-02027

File Date: 1/10/2025

Applicant:

Mario Tenorio
2324 Roberto St.
Napa, CA 94558

generalcontractor764@yahoo.com
(415) 504-4059

Property Owner:

Rajbir Sarkaira
3615 Gateway Road
Bethel Island, CA 94511

gateway3615@att.net
(925) 766-5784

Project Description:

Request for approval of a Land Use Permit application to add a commercial kitchen within the existing Gateway Market building to establish a take-out food business. Pursuant to Chapter 88-16 - TAKE-OUT FOOD ESTABLISHMENTS of the County code, take-out food establishments must obtain a Land Use Permit from the County Planning Department.

Project Location: (Address: 3615 GATEWAY RD, BETHEL ISLAND, CA 94511), (APN: 029050064)

Additional APNs:

General Plan Designation(s): CO

Zoning District(s): R-B, T-1, -FH, -CE

Flood Hazard Areas: AE

AP Fault Zone: No

60-dBA Noise Control: NO

MAC/TAC: Bethel Island

Sphere of Influence: NO

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

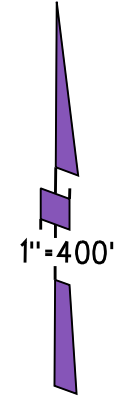
Specific Plan: NO

Fees:

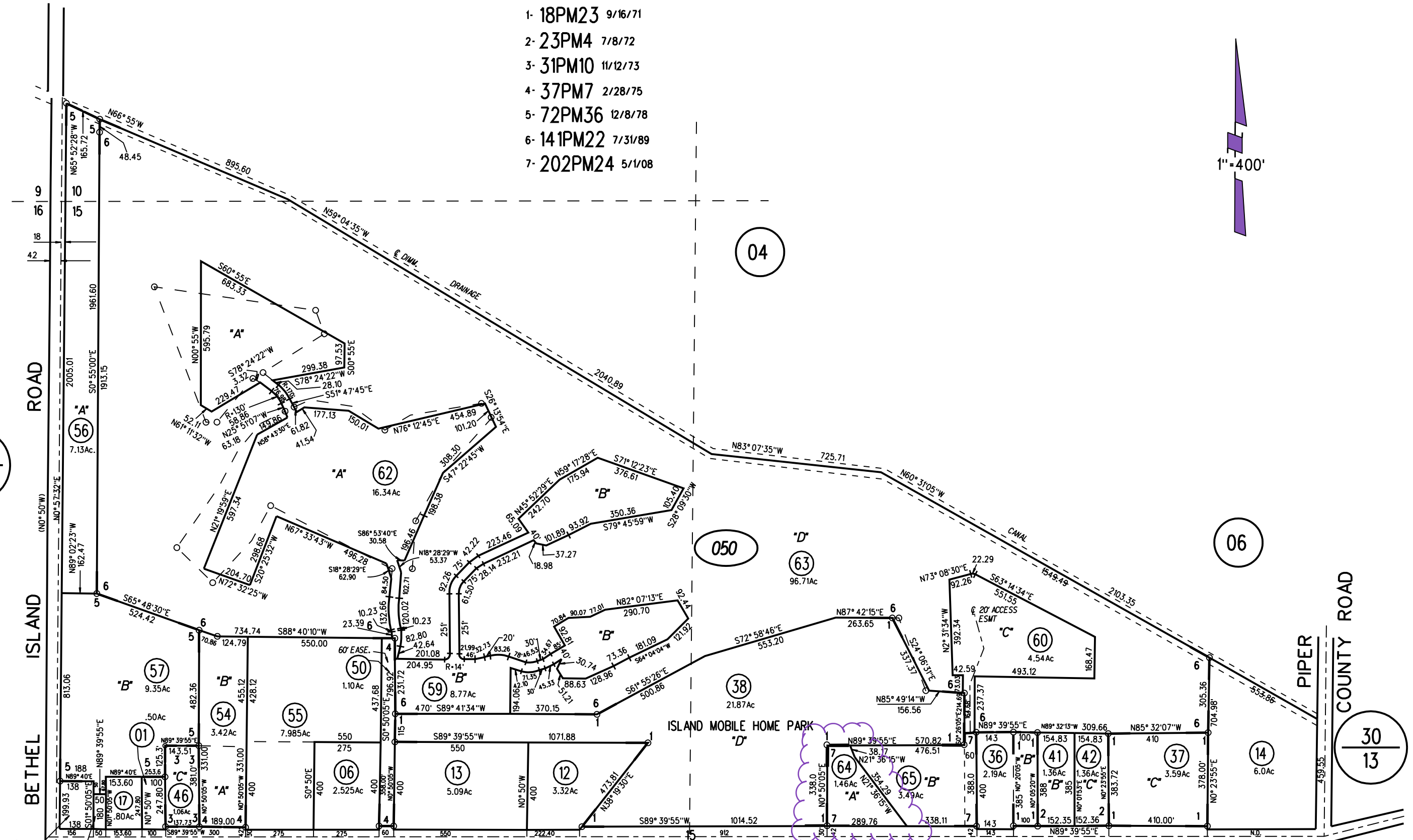
Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
LPS0027	Land Use Permit - Other	002606-9660-REV-000-5B0027	5500.00	5500.00
Total:			5662.00	5662.00

POR SW 1/4 SEC 10 & POR N 1/2 SEC 15 T2N R3E MDB&M

- 1- 18PM23 9/16/71
- 2- 23PM4 7/8/72
- 3- 31PM10 11/12/73
- 4- 37PM7 2/28/75
- 5- 72PM36 12/8/78
- 6- 141PM22 7/31/89
- 7- 202PM24 5/1/08



28
31



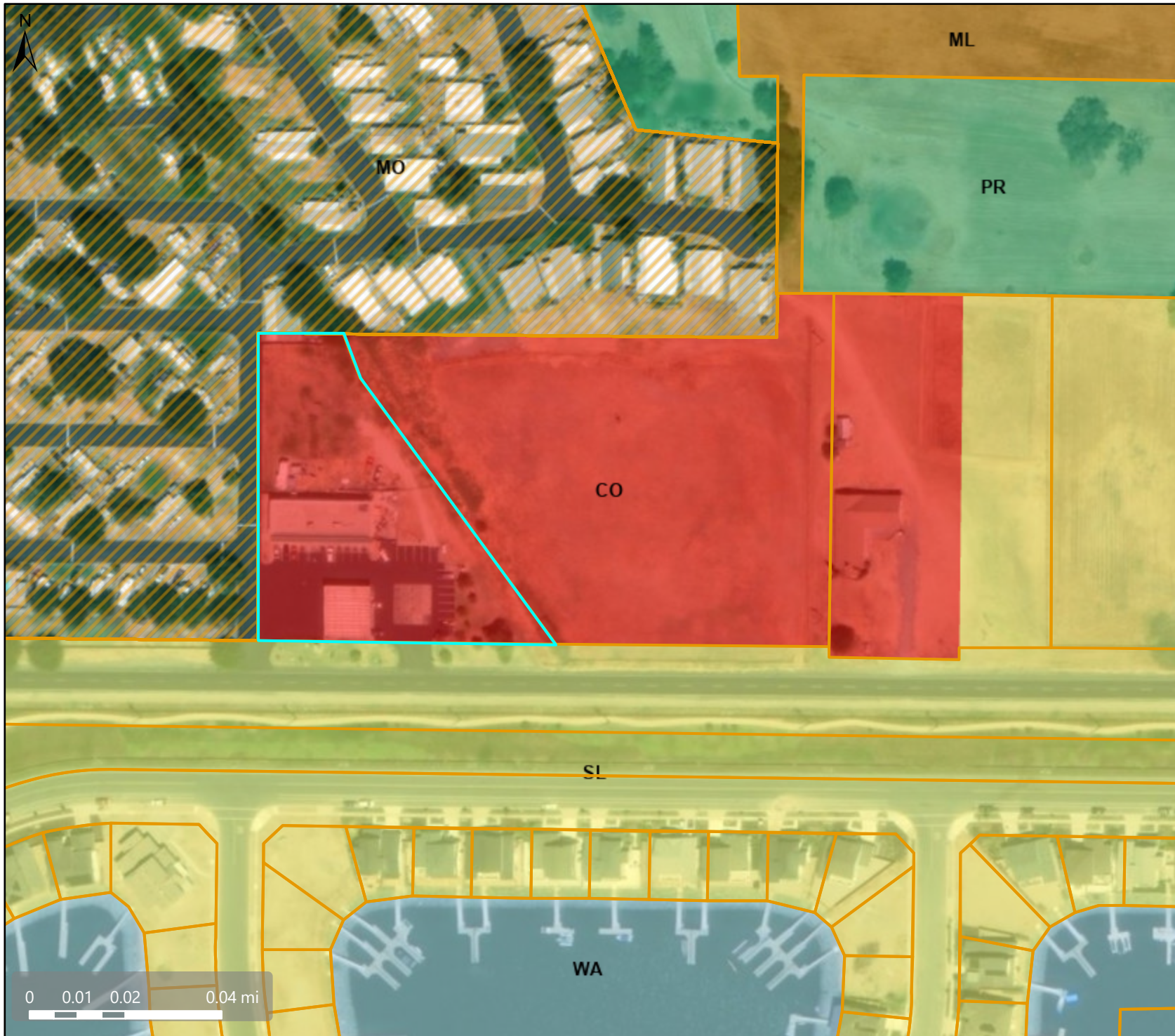
3820
Fm. SW Corn.
NW 1/4 Sec. 15

31
02








31
01



General Plan: Commercial



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SL (Single Family Residential - Low) 1.0 - 2.9 Units per Net Acre
-  ML (Multiple Family Residential - Low) 7.3 - 11.9 Units per Net Acre
-  MO (Mobile Home) 1.0 - 12.0 Units per Net Acre
-  CO (Commercial)
-  PR (Parks and Recreation)
-  WA (Water)



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

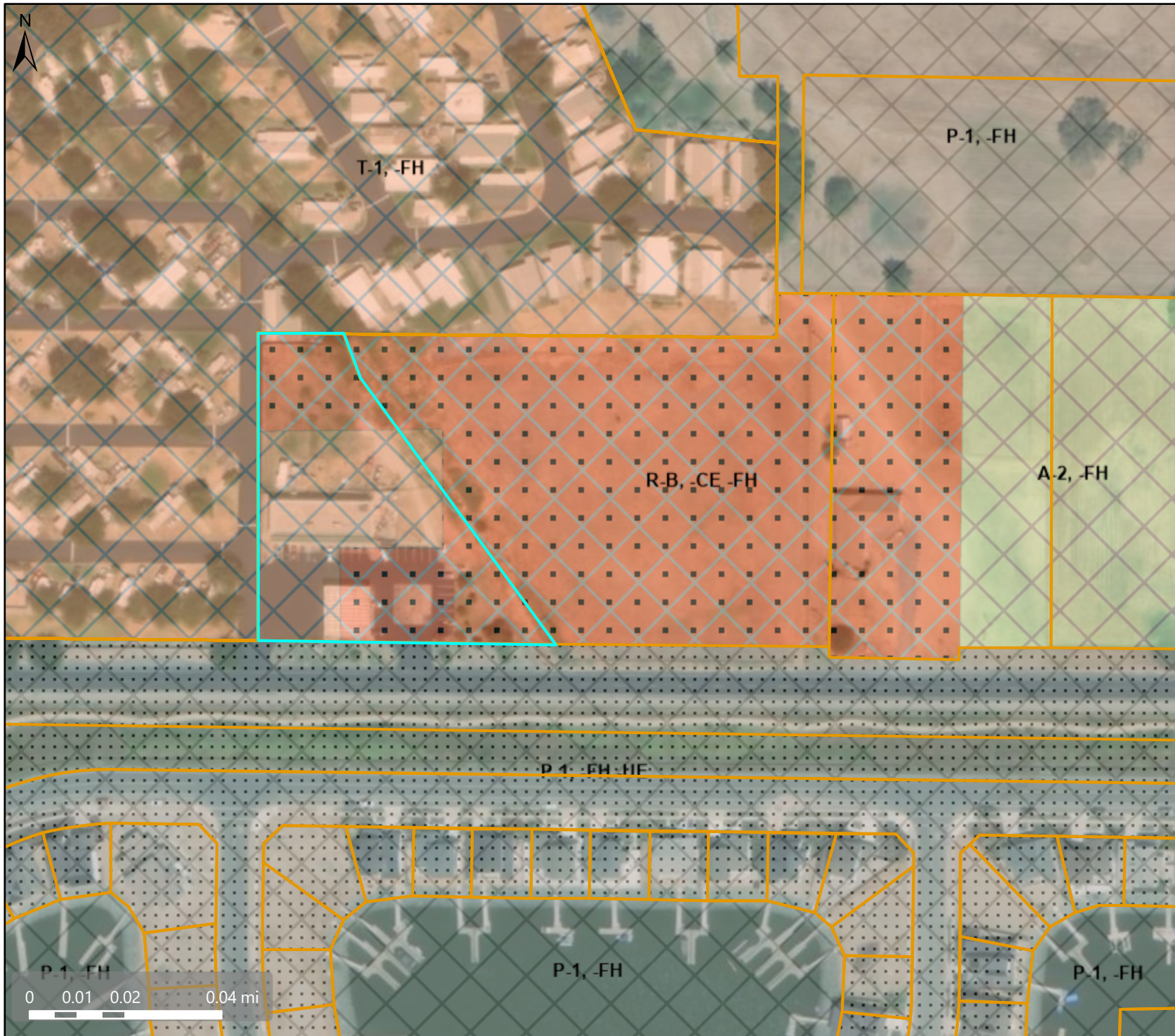
THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



Zoning: Retail Business, Mobile Home, Cannabis Exclusion, Flood Hazard



Map Legend

Assessment
Parcels

Planning Layers
(DCD)

Zoning

ZONE_OVER

A-2 -FH (Flood
Hazard

Combining
District)

R-B -CE -FH
(Cannabis
Exclusion and
Flood Hazard)

P-1 -FH (Flood
Hazard
Combining
District)

P-1 -FH -UE
(Flood Hazard
and Animal
Exclusion)

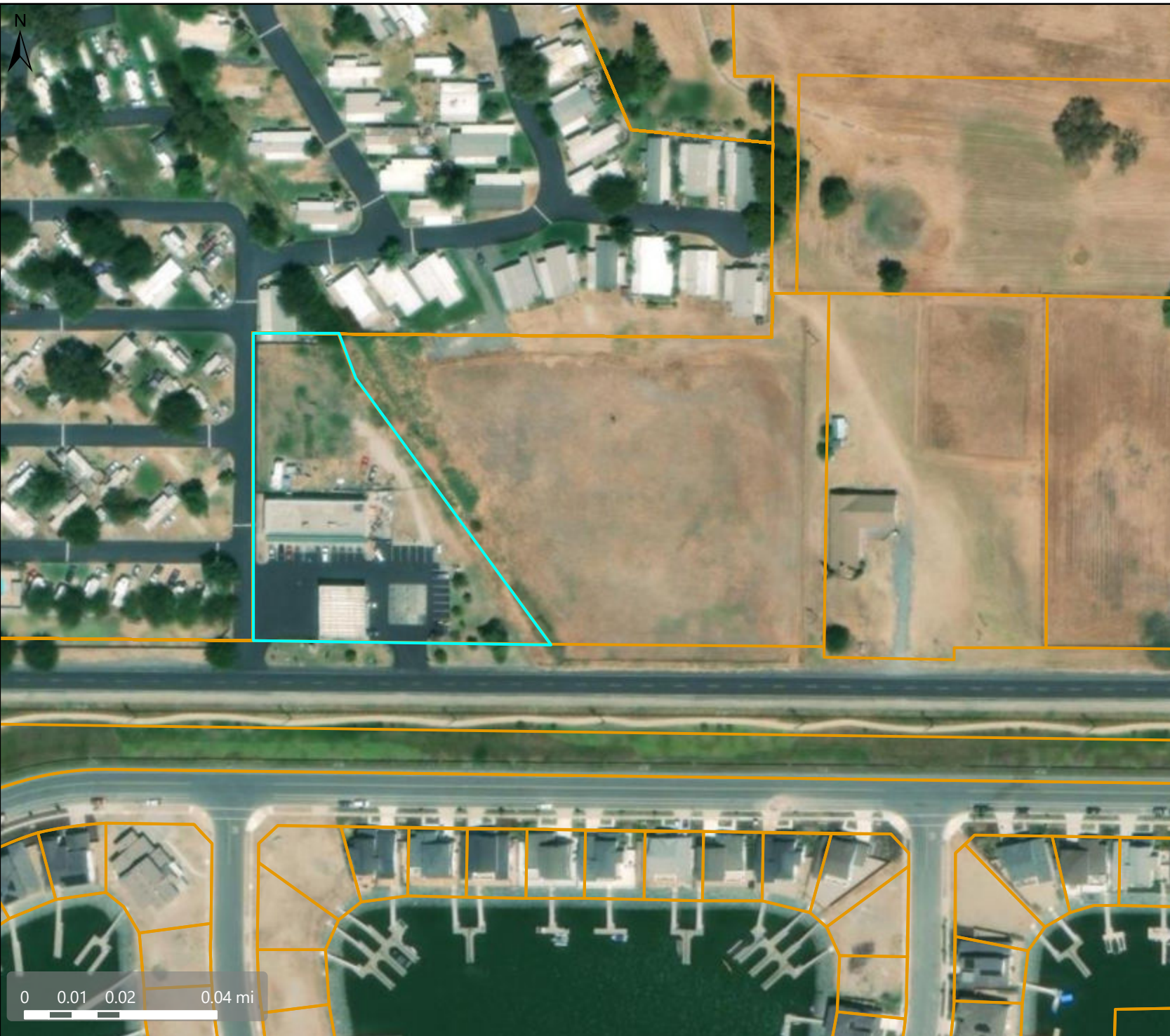
T-1 -FH (Flood
Hazard
Combining
District)



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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984



Map Legend

- Assessment
- Parcels

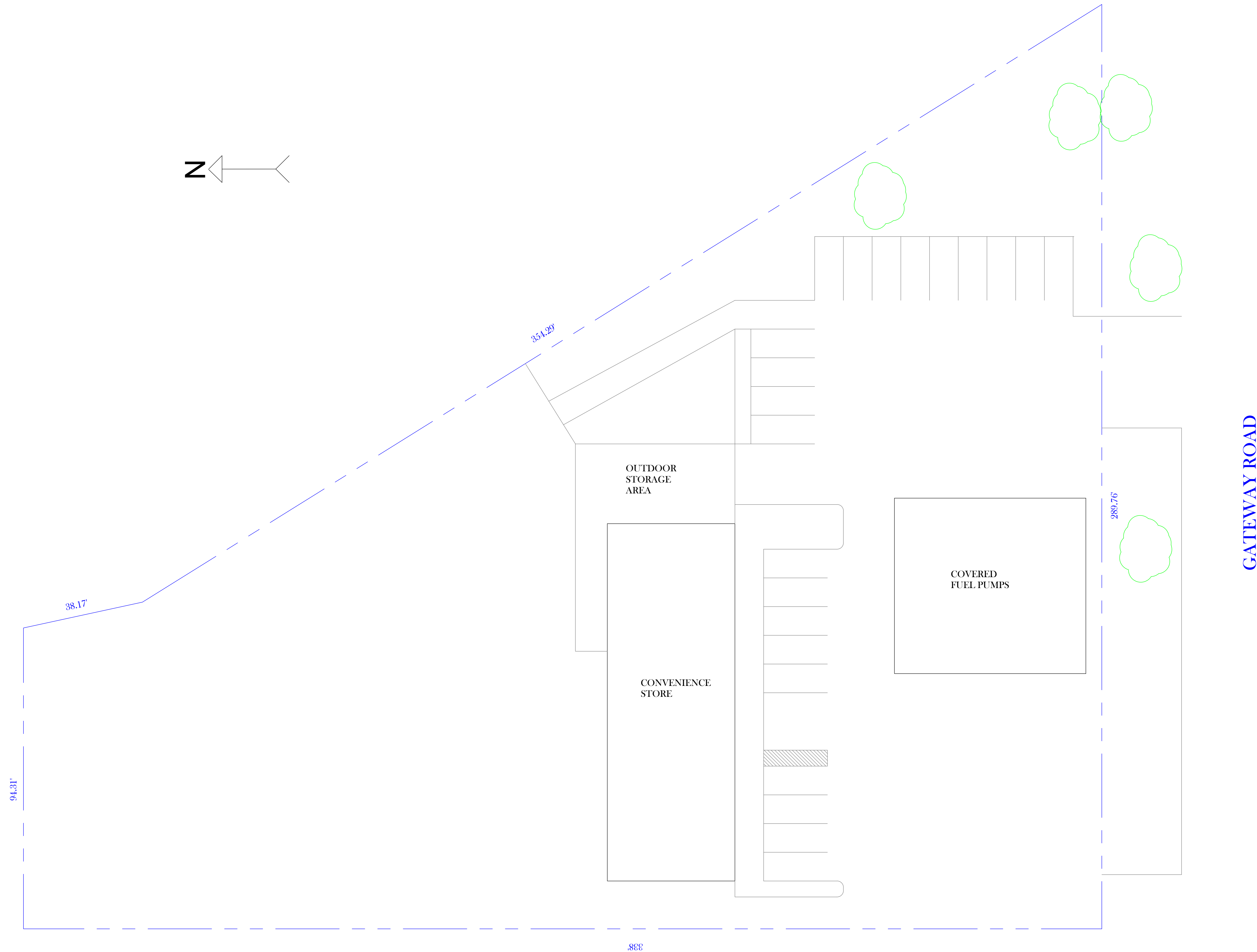
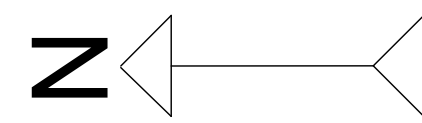


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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



.888

1
 - EXISTING SITE PLAN

Project:
 New Portable
 Office Trailer

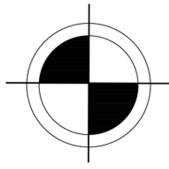
Project Address:
 3615 Gateway
 Road, Bethel
 Island

Sheet Title:
 Existing Site
 Plan

Revisions		
No.	Descrptn	Date

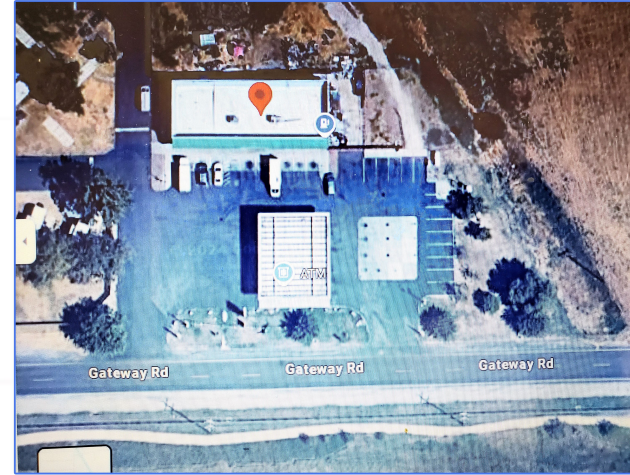
Date:
 12Apr24
Scale:
 1/16" = 1' 0"

Page
A1



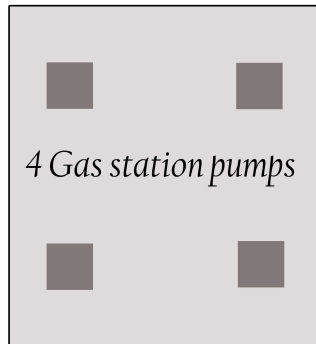
Existing store and proposed kitchen area plot plan

1,071.88 Feet long



400' Feet wide

474' Feet wide



222.40' Feet long

IPN: 029-050-064
 4,000' Square feet
 (Including store)
 To install a hood 6' feet
 commercial kitchen.

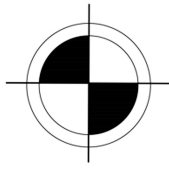
OWNER:
 Rajbir Sarkaira

LOCATION:
 3615 Gateway Road, Bethel Island, CA 94511

DATE:
 09/09/2024

01
 16

ESC: 1" inches = 10' feet



Commercial Kitchen and Hood Plan Details

75 gallon water heater 76,000 BTU

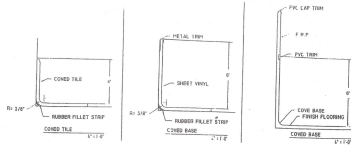


NOTES:

EXHAUST HOOD MAKE UP AIR SOURCE W/IN 10' OF EXHAUST HOOD TO BE PERFORATED TYPE (SEE CAPTIVE AIR PLANS)

ALL KITCHEN HAND WASH SINKS TO HAVE 6" SPLASH GUARDS ON 3 SIDES.

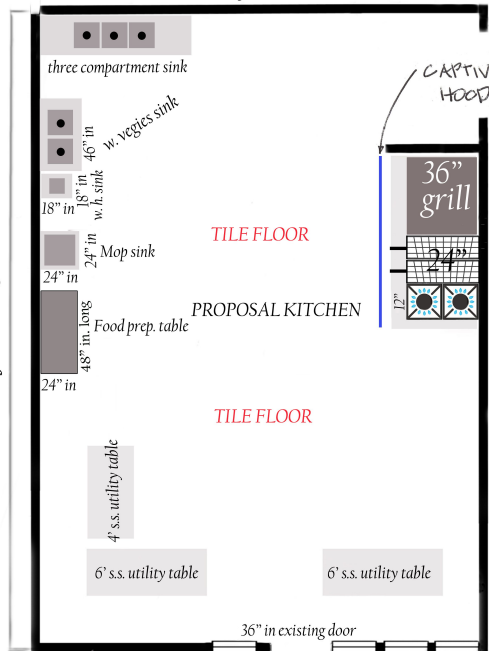
FOOD PREP SINK TO BE 18" x 18" x 12" DEEP W/ INTEGRAL DRAIN BOARD.



FLOOR/WALL JUNCTURES & FLOOR/COUNTER TOE-KICK JUNCTURES CROSS-SECTIONS KITCHEN

25' feet long

14'6" feet wide



CAPTIVE AIR HOOD
6 feet commercial kitchen hood

4' feet entrance from store to kitchen

LIGHTING NOTES:

LIGHT OF AT LEAST 50 FC CANDLE (FC) INTENSITY MUST BE PROVIDED DURING HOURS OF OPERATION IN THE KITCHEN & OTHER FOOD HANDLING AREAS. OTHER AREAS MAY OPERATE W/A LIGHT INTENSITY OF AT LEAST 20 FC.

REFRIGINATION UNITS (INCLUDING WALK IN REFRIGERATOR & FREEZER UNITS.) MAY OPERATE W/A LIGHT INTENSITY OF AT LEAST 10 FC.

LIGHTING IN FOOD PREP AREAS TO HAVE SHATTERPROOF CONTAINMENT WHEN LOCATED ABOVE FOOD PREP, BEVERAGE, UTENSIL WASHING, OPEN FOOD STORAGE, & WHEREVER LIGHT FIXTURES ARE EXPOSED TO EMPLOYEE CONTACT (eg, INSIDE REFRIGERATION UNITS)

Important Food Safety Issues

Refrigerators containing potentially hazardous food (PHF) must have readily visible thermometers placed in the warmest part of the unit. These foods include meats, dairy products, eggs, cooked vegetables, cooked grains, etc.

While not required to be shown on the plans, suitable temperature measuring devices must be provided for checking the delivery temperature of PHF, cooking temperatures, holding temperatures, and cooling temperatures.

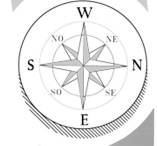
While not required to be shown on the plans, a suitable means must be provided for measuring sanitizer levels used for utensil washing, wiping rag solutions, etc.

Entryways and harborage for rodents and insects must be eliminated throughout the building and exterior premises. You may wish to contact a licensed pest control company, or for free information you may call the Contra Costa Mosquito and Vector Control District at (925) 685-9301.

If the facility is intending to cool large quantities of PHF, it is critical that this process be completed as quickly as possible (recommended 6 hours, or faster to get from 135 °F down to 41 °F or colder). This may include sufficient food preparation sinks for ice baths, cooling refrigeration units, chill sticks (and sufficient freezer capacity), etc.

Notes of the commercial kitchen and hood details

- 1.- All items are a proposal for being set up for a kitchen commercial hood behind the grocery store as food to go (Mexican and American food) They will be connected for a 4' feet opening.
- 2.- The hood will be type II.
- 3.- The waterheater 50 gallons as minimum for kitchen
- 4.- The homeowner will follow all the rules and regulations about construction from Contra Costa County and local codes.
- 5.- The elevation from the floor to ceiling is 9' feet of high.
- 6.- All kitchen equipment must have the NFS certification insignia.



IPN: 029-050-064
4,000' Square feet
(Including store)
To install a hood 6' feet commercial kitchen.

OWNER: Rajbir Sarkaira

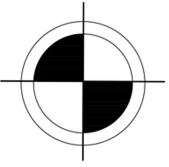
LOCATION: 3615 Gateway Road, Bethel Island, CA 94511

DATE: 09/09/2024

02

17

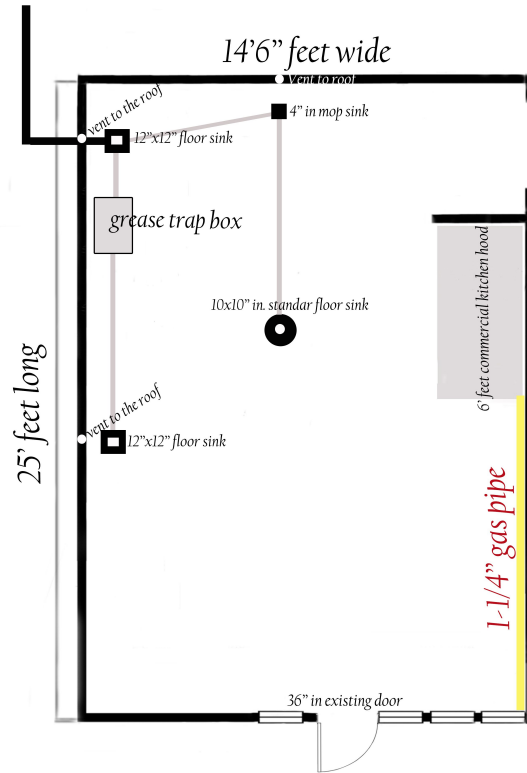
ESC: 1" = 1/4 inch



Kitchen plumbing plan details

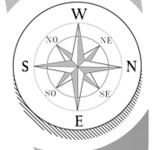
General plumbing notes:

- 1.- All plumbing pipes must comply with the rules and regulations of Contra Costa County and local codes.
- 2.- Size of pipes are 4" inches in diameter unless it require less for underground plumbing.
- 3.- Vent pipe must be at least 1.1/2" inches in diameter as minimum req. Waterheater must have 50 gallons as minimum of capacity.



Note of the gas pipe:

The gas pipe can come from outside under the ground or above ceiling with all construction codes and regulations of Contra Costa County.



IPN: 029-050-064
4,000' Square feet
(Including store)
To install a hood 6' feet
commercial kitchen.

OWNER:
Rajbir Sarkaira

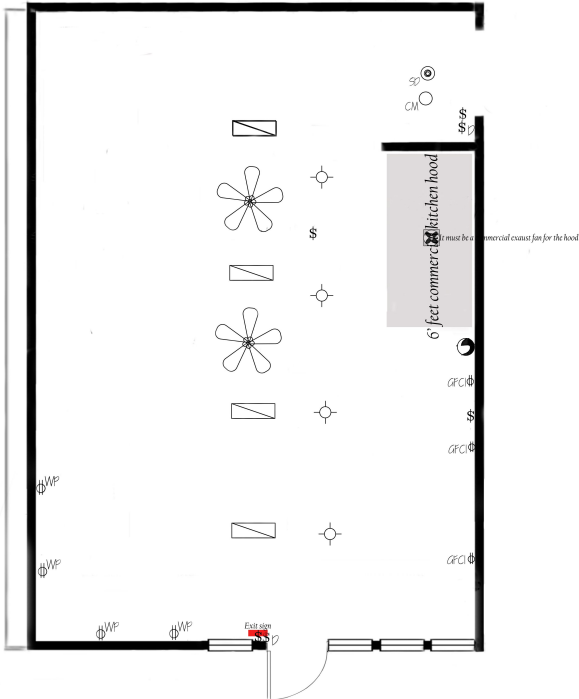
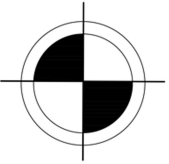
LOCATION:
3615 Gateway Road, Bethel Island, CA 94511

DATE: 09/09/2024

03

18

ESC: 1" = 1/4 inch



SMOKE DETECTOR NOTES:

- (1) Smoke alarms and smoke detectors shall not be located where ambient conditions, including humidity and temperature, are outside the limits specified by the manufacturer's published instructions.
- (2) Smoke alarms and smoke detectors shall not be located within unfinished attics or garages or in other spaces where temperatures can fall below 40°F (4°C) or exceed 100°F (38°C).
- (3) Where the mounting surface could become considerably warmer or cooler than the room, such as a poorly insulated ceiling below an unfinished attic or an exterior wall, smoke alarms and smoke detectors shall be mounted on an inside wall.
- (4) Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance. Exception: Ionization smoke alarms with an alarm silencing switch or Photoelectric smoke alarms shall be permitted to be installed 10 feet (3 m) or greater from a permanently installed cooking appliance. Photoelectric smoke alarms shall be permitted to be installed greater than 6 feet (1.8 m) from a permanently installed cooking appliance where the kitchen or cooking area and adjacent spaces have no clear interior partitions and the IOR distances would prohibit the placement of a smoke alarm or smoke detector required by other sections of the code. Smoke alarms listed for use in closed proximity to a permanently installed cooking appliance.
- (5) Installation near **stoves** - Smoke alarms shall be installed not less than a 3-foot (0.91 m) horizontal distance from the door or opening of stoves.

- (6) Smoke alarms and smoke detectors shall not be installed within a 3G in. (31.0 mm) horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow from those registers.
- (7) Smoke alarms and smoke detectors shall not be installed within a 3G in. (31.0 mm) horizontal path from the blade of a ceiling suspended (paddle) fan.
- (8) Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

[I] ELECTRICAL KEY NOTES:

1. Outlet boxes or outlet box systems used as the sole support for ceiling (paddle) fans shall be listed, shall be marked by their manufacturer as suitable for this purpose and shall not support ceiling (paddle) fans that weigh more than 32kg (70lb).
2. Bath fans shall be:
 - A) direct vented to the exterior with a back draft damper,
 - B) that it shall be controlled by a de-humidistat switch and,
 - C) shall be an "energy star" rated appliance

GFCI PROTECTION NOTES:

- (1) GFCI protection is required for all 15A, or 20A, 120V receptacles installed in the following locations:
 - Sinks: GFCI protection for receptacles is required within an measurement of 6ft. of the outside edge of a sink.
 - Bath tubs or shower stalls: GFCI protection is required for receptacles located within 6ft. of the outside edge of a bathtub or shower stall.
 - Laundry areas: Receptacles installed in laundry areas of a dwelling unit shall be GFCI protected.
 - Dwelling unit dishwashers: Outlets supplying dishwashers in a dwelling unit must be GFCI protected per 2019 CEC Art. CEC210.0.

LIGHTING REQUIREMENT:

- Switches: All permanently installed luminaires in dwelling units shall be high efficacy and have manual On/Off controls and vacancy sensors or dimmers except for hallways 4 closets less than 70 sq. ft.
- Exhaust fans: must be switched separate from lighting or share a device where lighting can be turned OFF while the fan is running. Excludes kitchen exhaust hoods.
- Under cabinet lighting: must be switched separate from all other lighting. Permanently installed lighting in cabinets must be high efficacy.
- All luminaires required to have light sources compliance with Reference Joint Appendix JAB, except hallways and closets over 70 sq. ft. shall be controlled by Dimmers or vacancy sensors. (This applies to all G1-G1 LEDs and recessed luminaires) CREEFS 150 Cx(2).
- Bath Rooms: Lighting in bathroom, garage, laundry room & utility rooms must have at least one luminaire controlled by vacancy sensors.
- Outdoor lighting: Permanently installed outdoor lighting attached to residence or other buildings must be high efficacy AND must be controlled by a manual On and Off switch or use one of these control types:
 - Photo-control and motion sensor or
 - Photo-control and automatic time switch control or
 - Astronomical time clock that automatically turns outdoor lighting off during daylight hours or
 - Energy management control system (EMCS) that provides the functionality of an astronomical time clock.

Arc-Fault Circuit-Interrupter Protection:

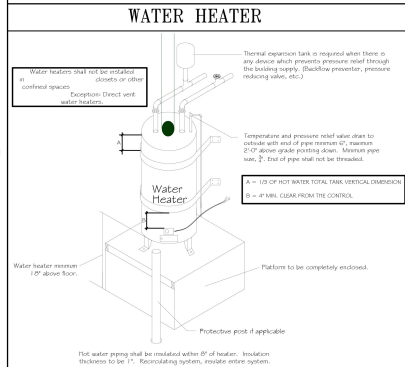
- All 15A, or 20A, 120V branch circuits in dwelling units supplying outlets or devices in kitchens, family rooms, dining rooms, living rooms, porches, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas shall be arc-fault circuit-interrupter protected in accordance with CEC Art. 2010.012(A)

FLUORBUNG NOTE:

- Hot water supply piping 3/4" and greater shall be insulated per CEC Section 150.0 (2)(ii)
- All hot water supply piping from the heating source to the kitchen fixtures shall be insulated per CEC Section 150.0 (2)(iv).

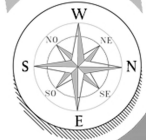
FAN NOTES:

- Kitchen and bath fans rated 3 speeds or less are now required 1.00cfm per kitchen with intermittent operation, 50cfm per bathroom with intermittent operation & 20 cfm with continuous operation - duct sizing list per table 7.1



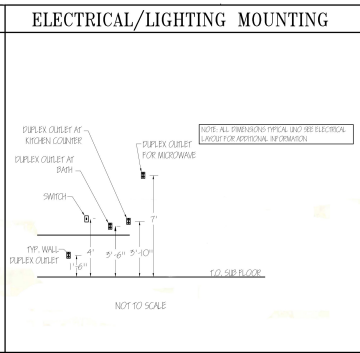
MECHANICAL SYMBOLS

	RETURN AIR REGISTER
	FLOOR OR CEILING SUPPLY AIR REGISTER
	SUPPLY AIR REGISTER, WALL
	THERMOSTAT
	INDOOR AIR QUALITY CONTINUOUS FAN SEE 224 FOR FAN SPECIFICATIONS MAX RATING 1/8 HP



ELECTRICAL SYMBOLS

	SWITCH		CEILING FIXTURE (high efficacy)		SPOTLIGHT / SECURITY LIGHT (NOTION SENSORED LIGHT W/ PHOTOCELL PER CODE) (high efficacy can't show offset)		EXHAUST FAN ENERGY STAR RATED (high efficacy)
	DIMMER		PENDANT Drop (high efficacy)		CHANDLER (high efficacy)		GARAGE DOOR OPENER w/ GFI OUTLET listed in accordance w/ d 525
	DUPLEX RECEPTACLE (all indicate also 1 Foot offset (6ft))		FLUORESCENT FIXTURE W/ (OR TO) LAMPS & ELECTRONIC BALLAST (high efficacy & controlled by vacancy sensor)		WALL MOUNT VANITY BAR (high efficacy)		GARAGE DOOR WALL CONTROL
	QUAD RECEPTACLE		HEAT LAMP		ELECTRICAL PANEL (min 100 amp)		WATER PROOF BUBBLE COVER FOR OUTDOOR RECEPTABLES-GFCI (suitable for wet locations)
	220 V. RECEPTACLE		SOLAR TUBE		FLOOR OUTLET		CLOSET LIGHTING to comply w/ section 2010.02 & A1016
	SWITCHED OUTLET		SMOKE DETECTOR w/ A/C		GARBAGE DISPOSAL		NOTION SENSORED LIGHT W/ PHOTOCELL PER CODE
	RECESSED FIXTURE (high efficacy) (all dims to be in dimmers suitable for wet locations @ exterior & Bath areas)		CARBON MONOXIDE DETECTOR		ILLUMINATED HOUR NUMBERS min 4 inch high w/ min stroke width 1/2 inch		VACUANCY SENSOR (high efficacy & controlled by vacancy sensor)
	EXTERIOR WALL FIXTURE suitable for wet locations (high efficacy photo cell w/ motion (-to show downward & base shielded louver))		KITCHEN HOOD listed min 100cfm		ELECTRIC VEHICLE CHARGE w/ A RACEWAY TO ACCOMMODATE A DEDICATED 208V/240 VOLT BRANCH CIRCUIT & A DEDICATED 40 AMP BRANCH CIRCUIT FOR THE EV CHARGER PER CAL GREEN		APPLANCE OUTLET W/ TAMPER RESISTANT
	CEILING FAN w/ LIGHTS (high efficacy) fan & lights to be switched separately		HIGH EFFICACY		GFCI		GAS METER



Note of the waterheater:

The waterheater can be electrical or gas (Wichever applies)
The ceiling lighting can be switched from fluorescent lighting to recessed lighting or can install just the flourecent lighting plus ceiling fan lighting (wichever applies. see comments)

IPN: 029-050-064
4,000' Square feet
(Including store)
To install a hood 6' feet commercial kitchen.

OWNER:
Rajbir Sarkaria

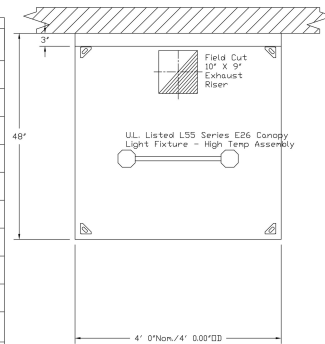
LOCATION :
3615 Gateway Road, Bethel Island, CA 94511

DATE: 09/09/2024

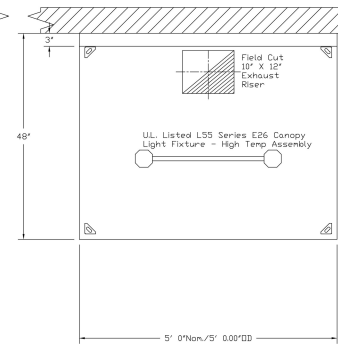
04

HOOD INFORMATION - Job#

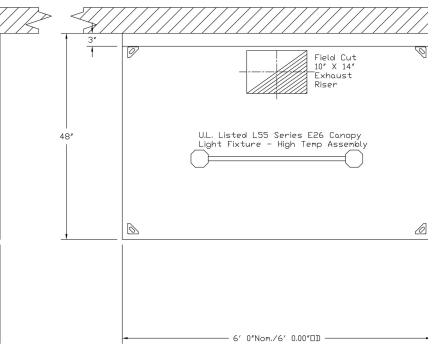
HOOD NO.	TAG	MODEL	LENGTH	MAX. COOKING TEMP.	APPLIANCE DUTY	DESIGN CFM/Ft	TOTAL EXH. CFM	EXHAUST PLENUM RISER(S)					HOOD CONSTRUCTION	HOOD CONFIG.		
								WIDTH	LENG.	HEIGHT	DIA.	CFM		VEL.	S.P.	END TO END
1		4824 EX-1	4' 0"	600 Deg.	Heavy	250	1000	10"	9"	4"	1000	1600	-0.413"	430 SS Where Exposed	ALONE	ALONE
2		4824 EX-1	5' 0"	600 Deg.	Heavy	250	1250	10"	12"	4"	1250	1500	-0.399"	430 SS Where Exposed	ALONE	ALONE
3		4824 EX-1	6' 0"	600 Deg.	Heavy	250	1500	10"	14"	4"	1500	1543	-0.424"	430 SS Where Exposed	ALONE	ALONE
4		4824 EX-1	7' 0"	600 Deg.	Heavy	250	1750	10"	16"	4"	1750	1575	-0.454"	430 SS Where Exposed	ALONE	ALONE
5		4824 EX-1	8' 0"	600 Deg.	Heavy	250	2000	10"	19"	4"	2000	1516	-0.450"	430 SS Where Exposed	ALONE	ALONE
6		4824 EX-1	9' 0"	600 Deg.	Heavy	250	2250	10"	21"	4"	2250	1543	-0.489"	430 SS Where Exposed	ALONE	ALONE
7		4824 EX-1	10' 0"	600 Deg.	Heavy	250	2500	10"	24"	4"	2500	1500	-0.487"	430 SS Where Exposed	ALONE	ALONE
8		4824 EX-1	11' 0"	600 Deg.	Heavy	250	2750	10"	26"	4"	2750	1523	-0.522"	430 SS Where Exposed	ALONE	ALONE
9		4824 EX-1	12' 0"	600 Deg.	Heavy	250	3000	10"	28"	4"	3000	1543	-0.561"	430 SS Where Exposed	ALONE	ALONE
10		4824 EX-1	13' 0"	600 Deg.	Heavy	250	3250	10"	15"	4"	1625	1560	-0.440"	430 SS Where Exposed	ALONE	ALONE
								10"	15"	4"	1625	1560	-0.440"	430 SS Where Exposed	ALONE	ALONE
11		4824 EX-1	14' 0"	600 Deg.	Heavy	250	3500	10"	16"	4"	1750	1575	-0.454"	430 SS Where Exposed	ALONE	ALONE
								10"	16"	4"	1750	1575	-0.454"	430 SS Where Exposed	ALONE	ALONE
12		4824 EX-1	15' 0"	600 Deg.	Heavy	250	3750	10"	18"	4"	1875	1500	-0.425"	430 SS Where Exposed	ALONE	ALONE
								10"	18"	4"	1875	1500	-0.425"	430 SS Where Exposed	ALONE	ALONE
13		4824 EX-1	16' 0"	600 Deg.	Heavy	250	4000	10"	19"	4"	2000	1516	-0.450"	430 SS Where Exposed	ALONE	ALONE
								10"	19"	4"	2000	1516	-0.450"	430 SS Where Exposed	ALONE	ALONE



PLAN VIEW - Hood #1
4' 0.00" LONG 4824EX-1



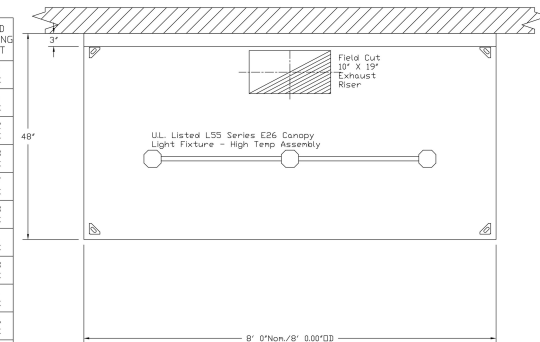
PLAN VIEW - Hood #2
5' 0.00" LONG 4824EX-1



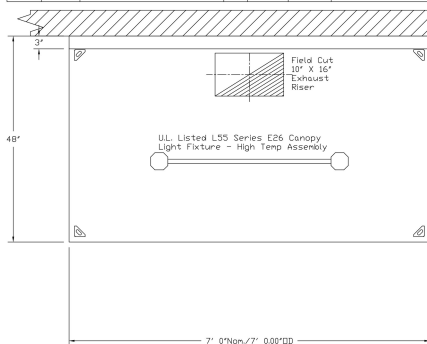
PLAN VIEW - Hood #3
6' 0.00" LONG 4824EX-1

HOOD INFORMATION

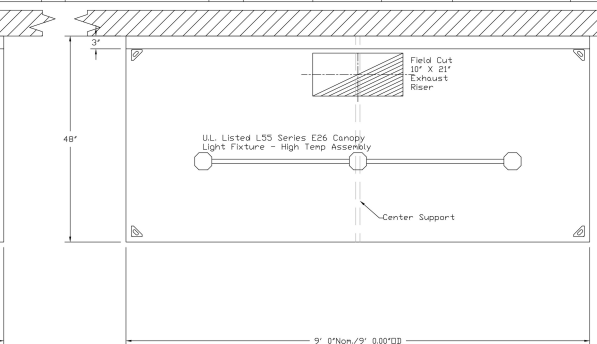
HOOD NO.	TAG	TYPE	FILTER(S)			EFFICIENCY MICRONS	LIGHT(S)			UTILITY CABINET(S)				FIRE SYSTEM PIPING	HOOD HANGING WGT
			QTY	HEIGHT	LENGTH		QTY	TYPE	WIRE GUARD	LOCATION	SIZE	FIRE SYSTEM	ELECTRICAL		
1		SS Baffle with Handles	2	16"	20"	30%	2	L55 Series E26	ND					ND	190 LBS
2		SS Baffle with Handles	3	16"	16"	30%	2	L55 Series E26	ND					ND	216 LBS
3		SS Baffle with Handles	4	16"	16"	30%	2	L55 Series E26	ND					ND	242 LBS
4		SS Baffle with Handles	5	16"	16"	30%	2	L55 Series E26	ND					ND	268 LBS
5		SS Baffle with Handles	5	16"	16"	30%	3	L55 Series E26	ND					ND	297 LBS
6		SS Baffle with Handles	6	16"	16"	30%	3	L55 Series E26	ND					ND	323 LBS
7		SS Baffle with Handles	7	16"	16"	30%	3	L55 Series E26	ND					ND	351 LBS
8		SS Baffle with Handles	8	16"	16"	30%	4	L55 Series E26	ND					ND	388 LBS
9		SS Baffle with Handles	9	16"	16"	30%	4	L55 Series E26	ND					ND	414 LBS
10		SS Baffle with Handles	9	16"	16"	30%	4	L55 Series E26	ND					ND	436 LBS
11		SS Baffle with Handles	10	16"	16"	30%	4	L55 Series E26	ND					ND	462 LBS
12		SS Baffle with Handles	11	16"	16"	30%	5	L55 Series E26	ND					ND	499 LBS
13		SS Baffle with Handles	12	16"	16"	30%	5	L55 Series E26	ND					ND	525 LBS



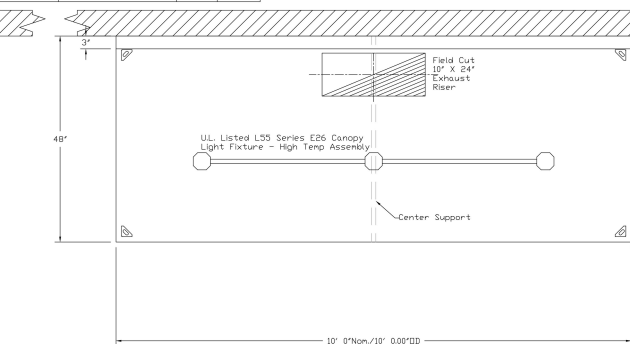
PLAN VIEW - Hood #5
8' 0.00" LONG 4824EX-1



PLAN VIEW - Hood #4
7' 0.00" LONG 4824EX-1



PLAN VIEW - Hood #6
9' 0.00" LONG 4824EX-1



PLAN VIEW - Hood #7
10' 0.00" LONG 4824EX-1

REVISIONS	
DESCRIPTION	DATE



DATE: 09/09/2024

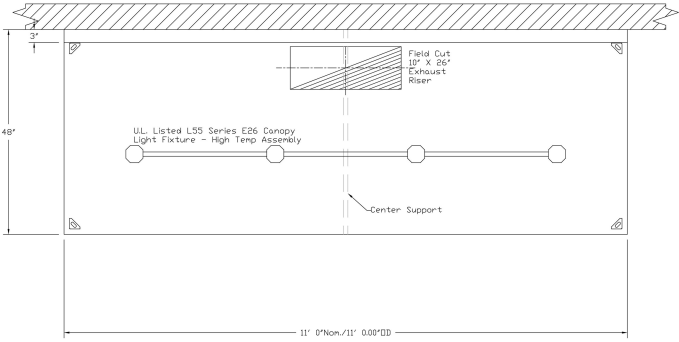
DWG.#:

DRAWN BY: M. T.

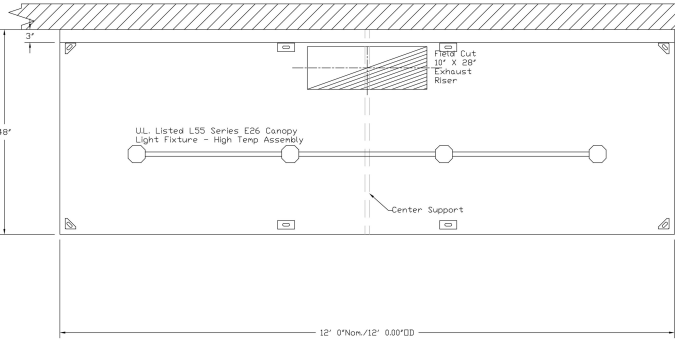
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MASTER DRAWING

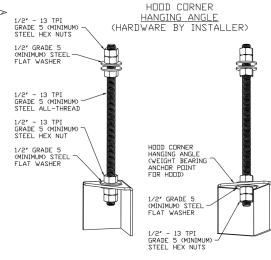
NO.	DESCRIPTION	DATE



PLAN VIEW - Hood #8
11' 0.00" LONG 4824EX-1

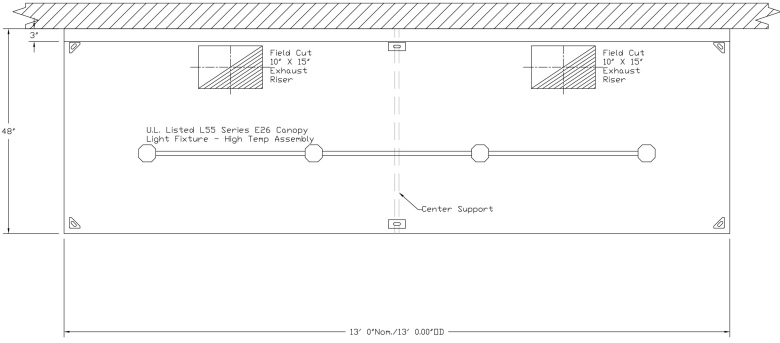


PLAN VIEW - Hood #9
12' 0.00" LONG 4824EX-1
NOTE: Additional hanging angles provided for hoods 12' and longer.

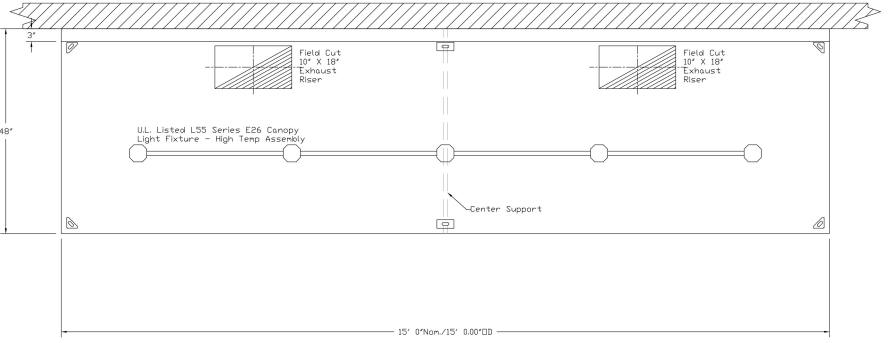


ASSEMBLY INSTRUCTIONS

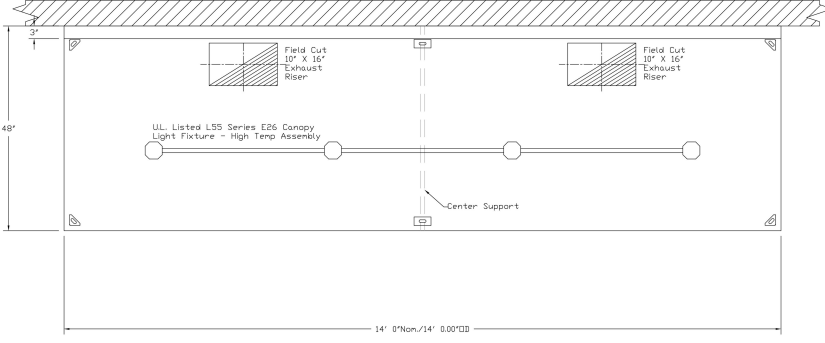
HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD, SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION BENEATH HOOD HANGING ANGLES AND ABOVE CEILING ANCHORS. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



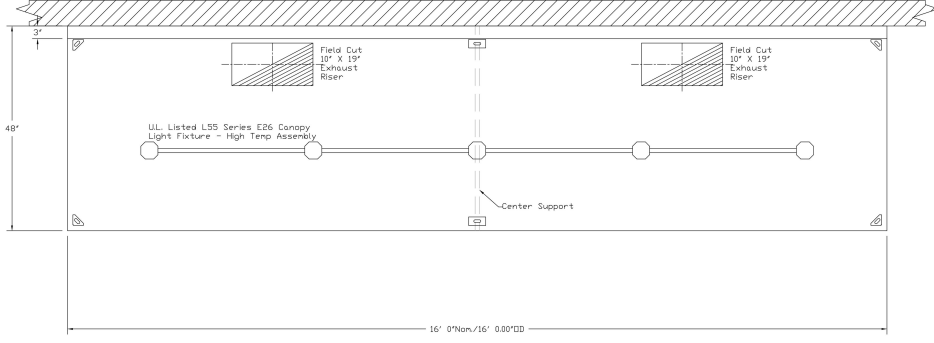
PLAN VIEW - Hood #10
13' 0.00" LONG 4824EX-1
NOTE: Additional hanging angles provided for hoods 12' and longer.



PLAN VIEW - Hood #12
15' 0.00" LONG 4824EX-1
NOTE: Additional hanging angles provided for hoods 12' and longer.



PLAN VIEW - Hood #11
14' 0.00" LONG 4824EX-1
NOTE: Additional hanging angles provided for hoods 12' and longer.



PLAN VIEW - Hood #13
16' 0.00" LONG 4824EX-1
NOTE: Additional hanging angles provided for hoods 12' and longer.

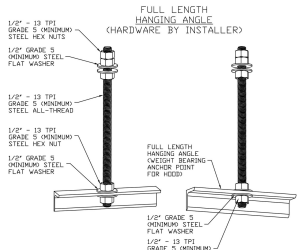
DATE: 9/09/2024

DWG.#:

DRAWN BY: M. T.

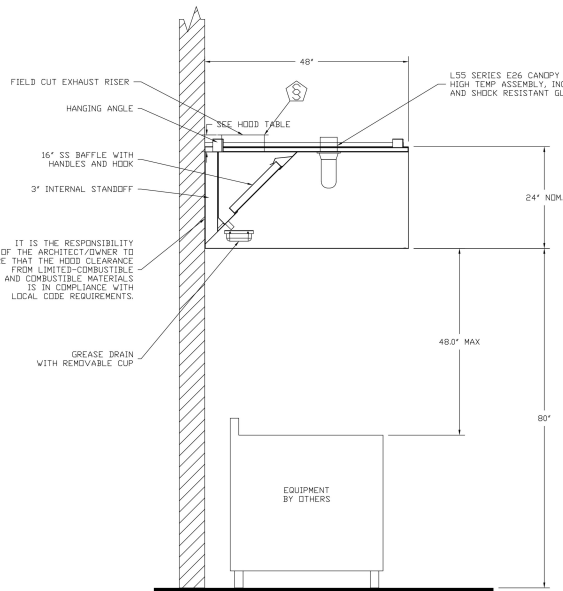
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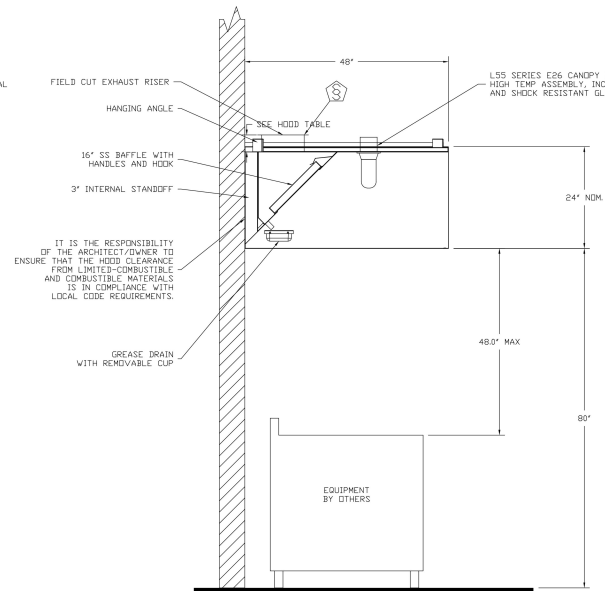


ASSEMBLY INSTRUCTIONS

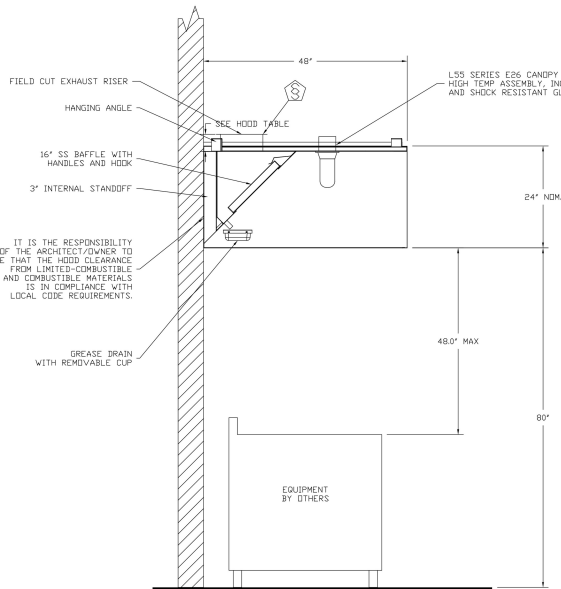
HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD, SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION ABOVE CEILING ANCHORS. SINGLE HEX NUT BENEATH HANGING ANGLE IS ACCEPTABLE FOR FULL LENGTH HANGING ANGLES. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



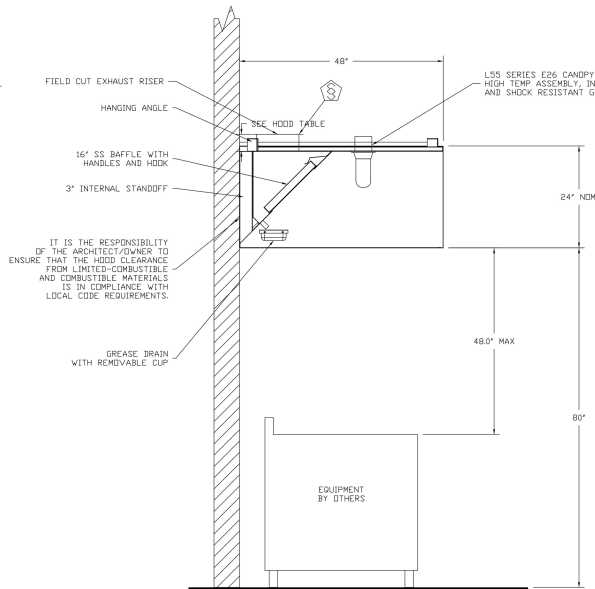
**SECTION VIEW - MODEL 4824EX-1
HOOD - #1**



**SECTION VIEW - MODEL 4824EX-1
HOOD - #2**



**SECTION VIEW - MODEL 4824EX-1
HOOD - #3**



**SECTION VIEW - MODEL 4824EX-1
HOOD - #4**

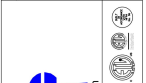
REVISIONS	
NO.	DESCRIPTION



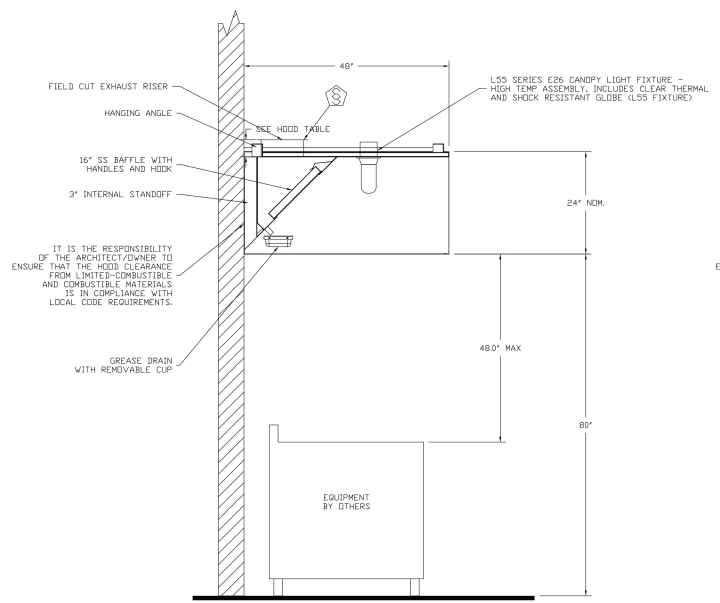
ECON-AIR
www.econair.com
Southern California Office

DATE: 09/09/2024
DWG.#:
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SCALE: 3/4" = 1'
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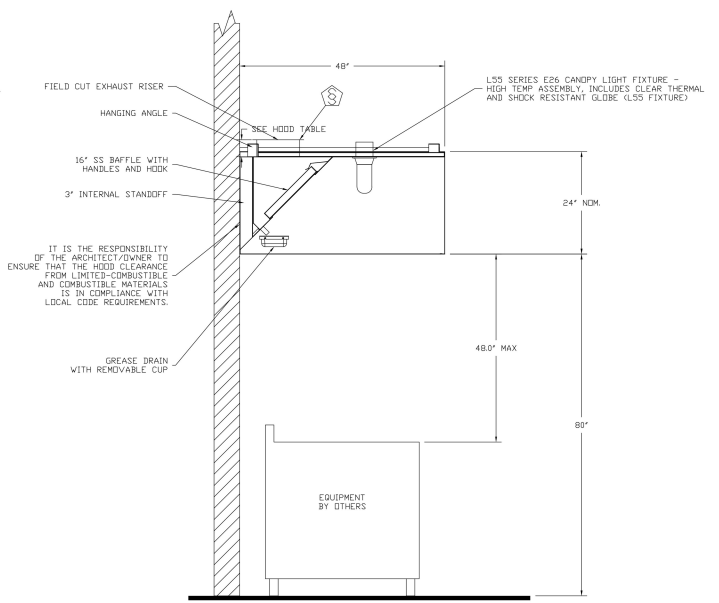
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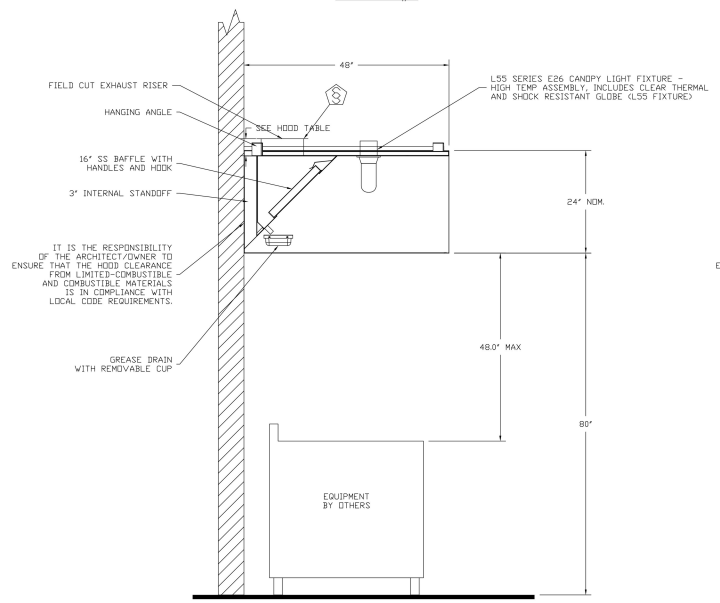
ECON-AIR
www.econair.com
Southern California Office



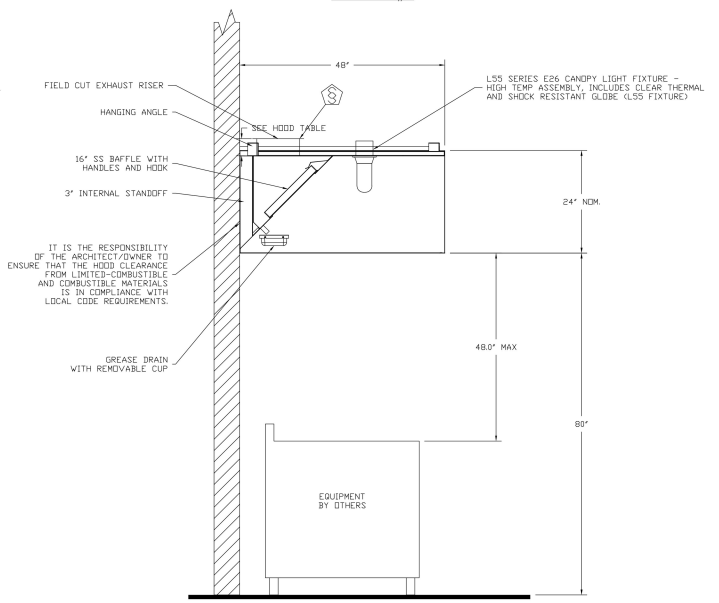
SECTION VIEW - MODEL 4824EX-1
HOOD - #5



SECTION VIEW - MODEL 4824EX-1
HOOD - #6



SECTION VIEW - MODEL 4824EX-1
HOOD - #7



SECTION VIEW - MODEL 4824EX-1
HOOD - #8

DATE: 09/09/2024

DWG.#:

DRAWN BY:

SCALE:
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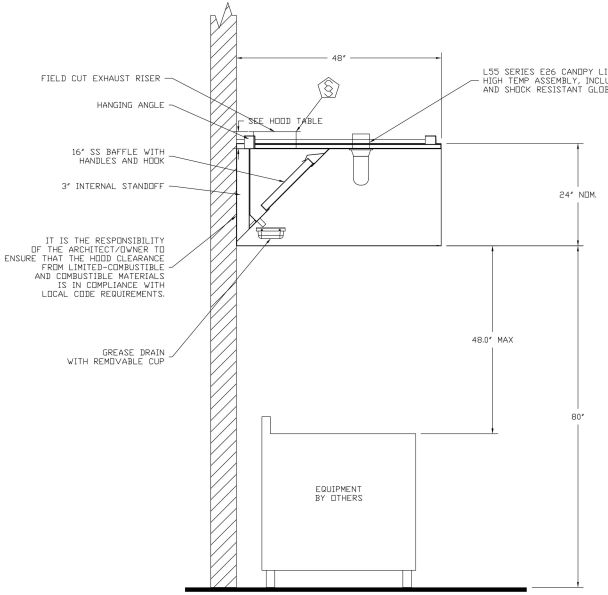
MASTER DRAWING

M. T.
23
SHEE
08

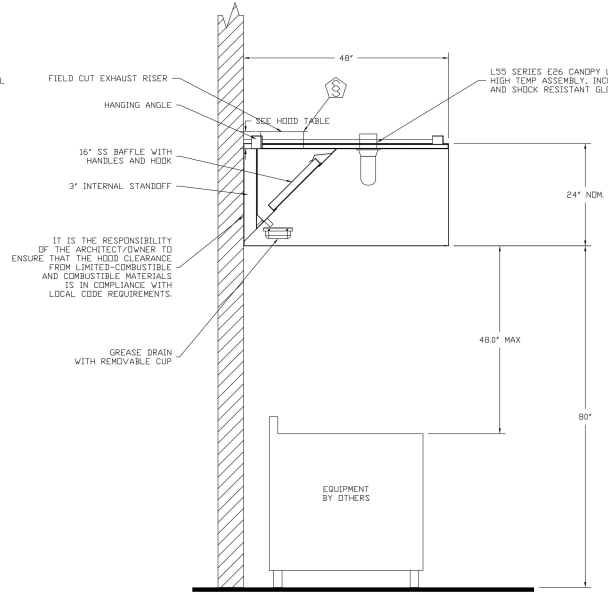
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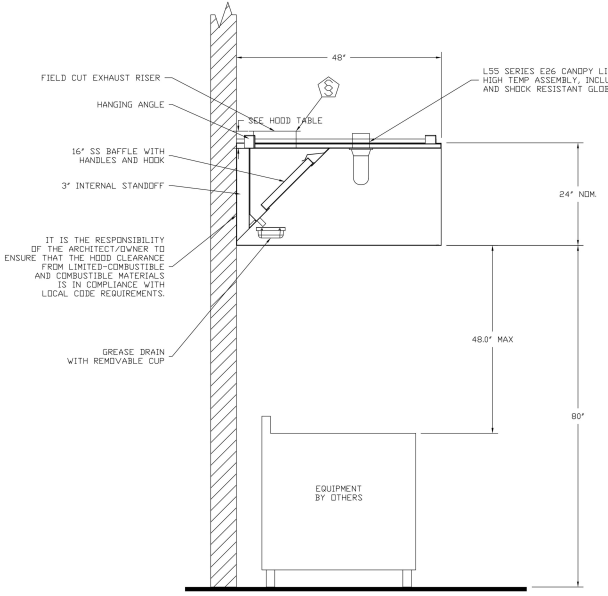
ECON-AIR
www.econair.com
Southern California Office



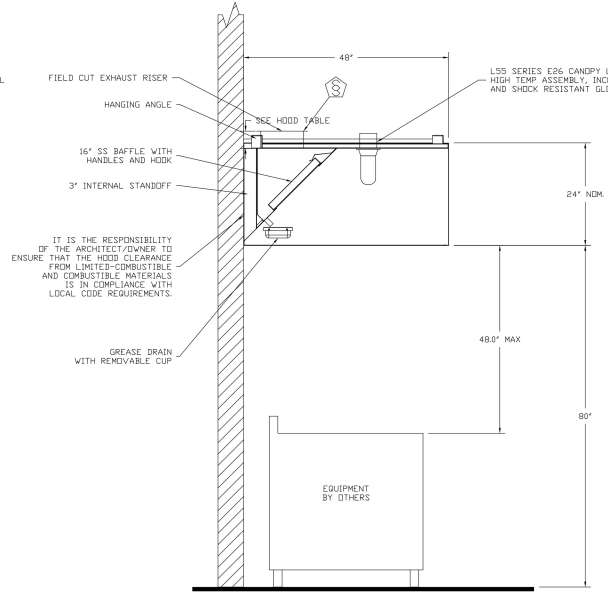
SECTION VIEW - MODEL 4824EX-1
HOOD - #9



SECTION VIEW - MODEL 4824EX-1
HOOD - #10



SECTION VIEW - MODEL 4824EX-1
HOOD - #11



SECTION VIEW - MODEL 4824EX-1
HOOD - #12

DATE: 09/09/2024

DWG.#:

DRAWN BY:

SCALE:
3/4" = 1'-0"

MASTER DRAWING

M. T.
SHEET 24
09



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-455

Agenda Date: 2/11/2025

Agenda #: b.

Choose an item.

Meeting Date: Feb 11, 2025

Subject: ACR CDRZ25-03278

Submitted For: BIMAC

Recommendation(s)/Next Step(s):

CONSIDER Agency Comment Request CDRZ25-03278 where the applicant requests approval of a rezone application to rezone property APN 032-330-013, from F-1 to A-2, to establish a boat and RV storage (Concurrent CDLP25-02003).



Planning Application Summary

County File Number: CDRZ25-03278

File Date: 2/5/2025

Applicant:

Debra Fromme
Choice Plans and Permit Services
1021 Vineyard Drive
Oakley, CA 94561

choicepps@yahoo.com
(925) 783-1858

Property Owner:

ISLAND ROAD PRP BETHEL
5993 BETHEL ISLAND RD
OAKLEY, CA 94561

anjiredi@gmail.com
(408) 623-6284

Project Description:

The applicant requests approval of a rezone application to rezone property APN 032-330-013, from F-1 to A-2, to establish a boat and RV storage (Concurrent CDLP25-02003).

Project Location: (Address: 0 BETHEL ISLAND RD, OAKLEY, CA 94561), (APN: 032-330-013)

General Plan Designation(s): AL

Zoning District(s): F-1

Flood Hazard Areas: AE

AP Fault Zone: N/A

60-dBA Noise Control: X

MAC/TAC: Bethel Island MAC

Sphere of Influence: Oakley

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
RZS0042	Rezoning Rvw-Other	002606-9660-REV-000-5B0042	7000.00	7000.00
Total:			7000.00	7000.00



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDLP25-02003

File Date: 2/5/2025

Applicant:

Debra Fromme
Choice Plans and Permit Services
1021 Vineyard Drive
Oakley, CA 94561

choicepps@yahoo.com
(925) 783-1858

Property Owner:

ISLAND ROAD PRP BETHEL
5993 BETHEL ISLAND RD
OAKLEY, CA 945615075

anjiredi@gmail.com
(408) 623-6284

Project Description:

The applicant requests approval of a Land Use Permit to establish a boat and RV storage (Concurrent CDRZ25-03278).

Project Location: (Address: 0 BETHEL ISLAND RD, OAKLEY, CA 94561), (APN: 032-330-013)

General Plan Designation(s): AL

Zoning District(s): F-1

Flood Hazard Areas: AE

AP Fault Zone: N/A

60-dBA Noise Control: X

MAC/TAC: Bethel Island MAC

Sphere of Influence: Oakley

Fire District: CONSOLIDATED FIRE Former ECC

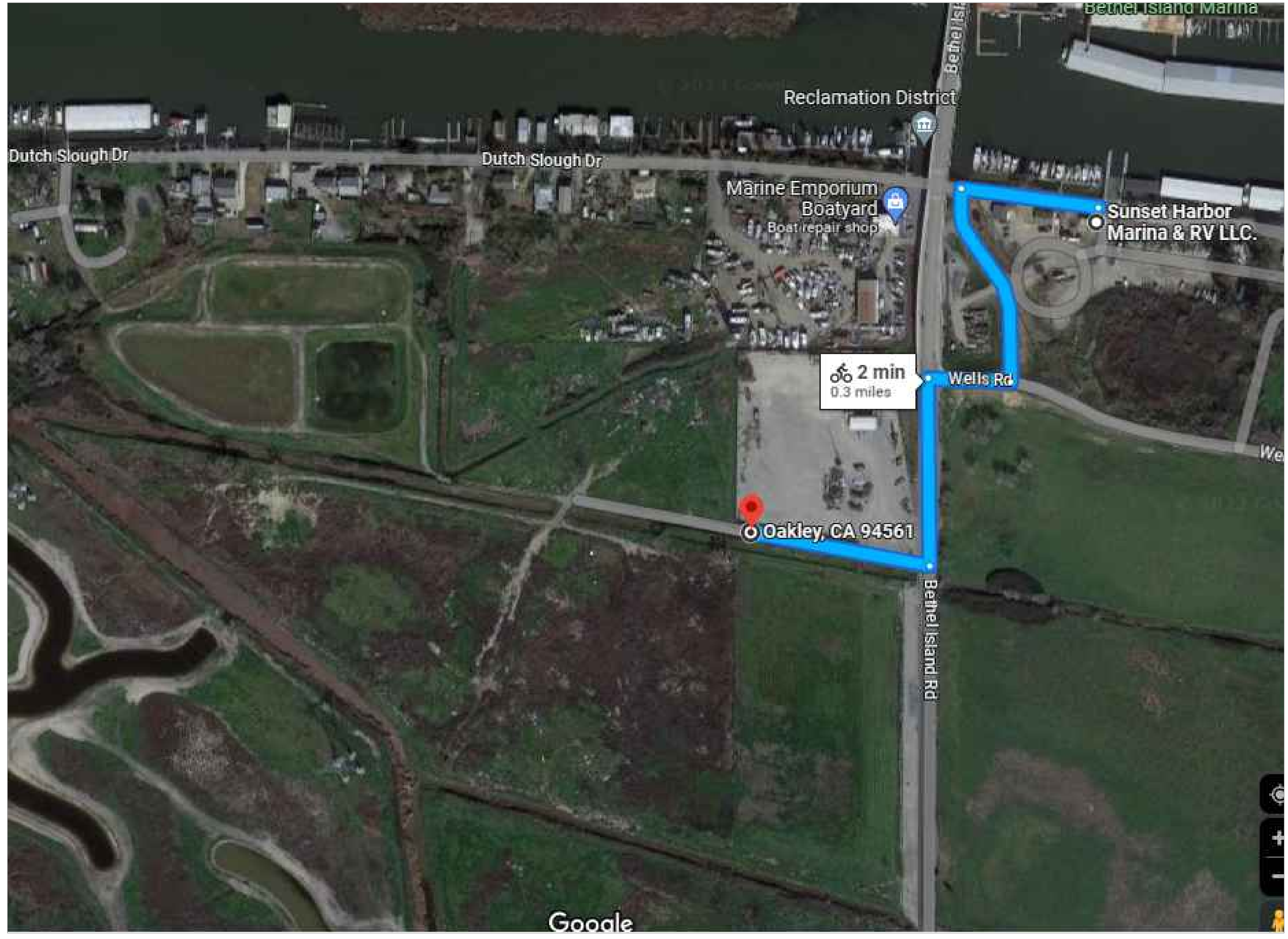
Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
LPS0029	Land Use Permit-Other DCD	002606-9660-REV-000-5B0029	5500.00	5500.00
LPS0029P	Land Use Permit-Other PW	000651-9660-REV-000-6L0029	2000.00	2000.00
Total:			7500.00	7500.00



BOAT STORAGE FACILITY
 WITHIN 1 MILE OF BOAT
 LAUNCH. NEAREST BOAT
 LAUNCH IS .3 MILES FROM THE
 PROPERTY AT SUNSET HARBOR
 MARINA

Bethel Island Rd Properties
Anji Redi
 (408) 623-6284

Project:
 Boat & RV
 Storage
 LUP

Project Address:
 0 Bethel
 Island Rd,
 Oakley

Sheet Title:
 Distance to
 Boat Launch

Revisions		
No.	Descrptn	Date

APN:
 032-330-013

Date:
 25Jan25

Scale:
 1/64" = 1' 0"

Page
A2

Marine Emporium RV & Boat Storage Operation Plan

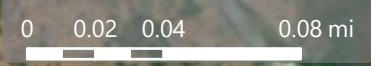
- The storage yard hours will be from 7 am to 5 pm, 7 days a week
- The storage yard will be unmanned with an electric gate for access. The gate will have a keypad for entry
- The storage yard access is an easement road across parcel 032-330-033. The easement road is existing and has a base rock surface. The access to the storage yard will consist of a 40 feet deep parkway in front of the gate. The access road is off of Bethel Island Road and is existing
- The storage yard will consist of a total of 935 spaces with:
 - 40% for boat and boat trailers
 - 40% for Recreational Vehicles (RVs) and travel trailers and campers
 - 20% for miscellaneous vehicles and equipment
- There is existing fencing on some of the property lines as shown on the plan. The new fences per plan will be max 7 feet in height and will be chain link type with slats for privacy/screening.
- The north side of the property is adjacent to the Marine Emporium boat yard and will be in operation along with the boat yard. The property is owned by the same owner
- Signage
 - There will be a large banner type sign with the business name on the fence on the east side parallel with Bethel Island Road
 - A 4' by 4' sign with the business name and contact information will be located at the entrance to the easement road accessing the property from Bethel Island Road
 - A 4' by 4' sign with operation hours and contact information will be located on the access gate to the storage yard
- Solar lighting will be located along the outer fence lines
- The gate will be solar powered with battery back up

Aerial Map (APN 032-330-013)



Map Legend

- Assessment Parcels



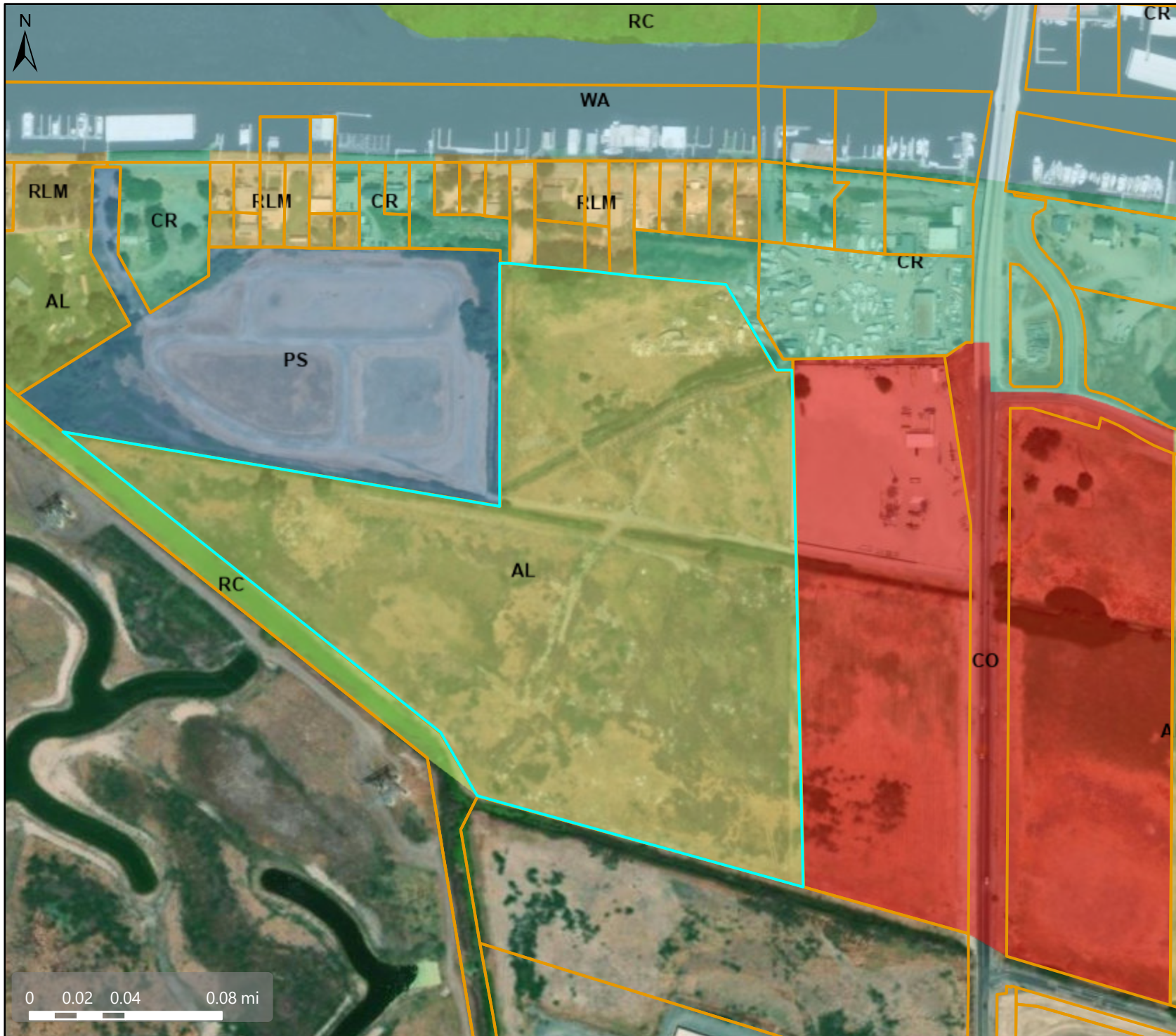
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

General Plan: AL - Agricultural Lands



Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
- RLM (Residential Low-Medium Density) (3-7 du/na)
- CO (Commercial and Office) (C: 1.0 FAR O: 2.75 FAR)
- PS (Public and Semi-Public)
- CR (Commercial Recreation)
- RC (Resource Conservation)
- AL (Agricultural Lands) (1 du/10 ac) (1 du/20 ac in DPZ)
- WA (Water)

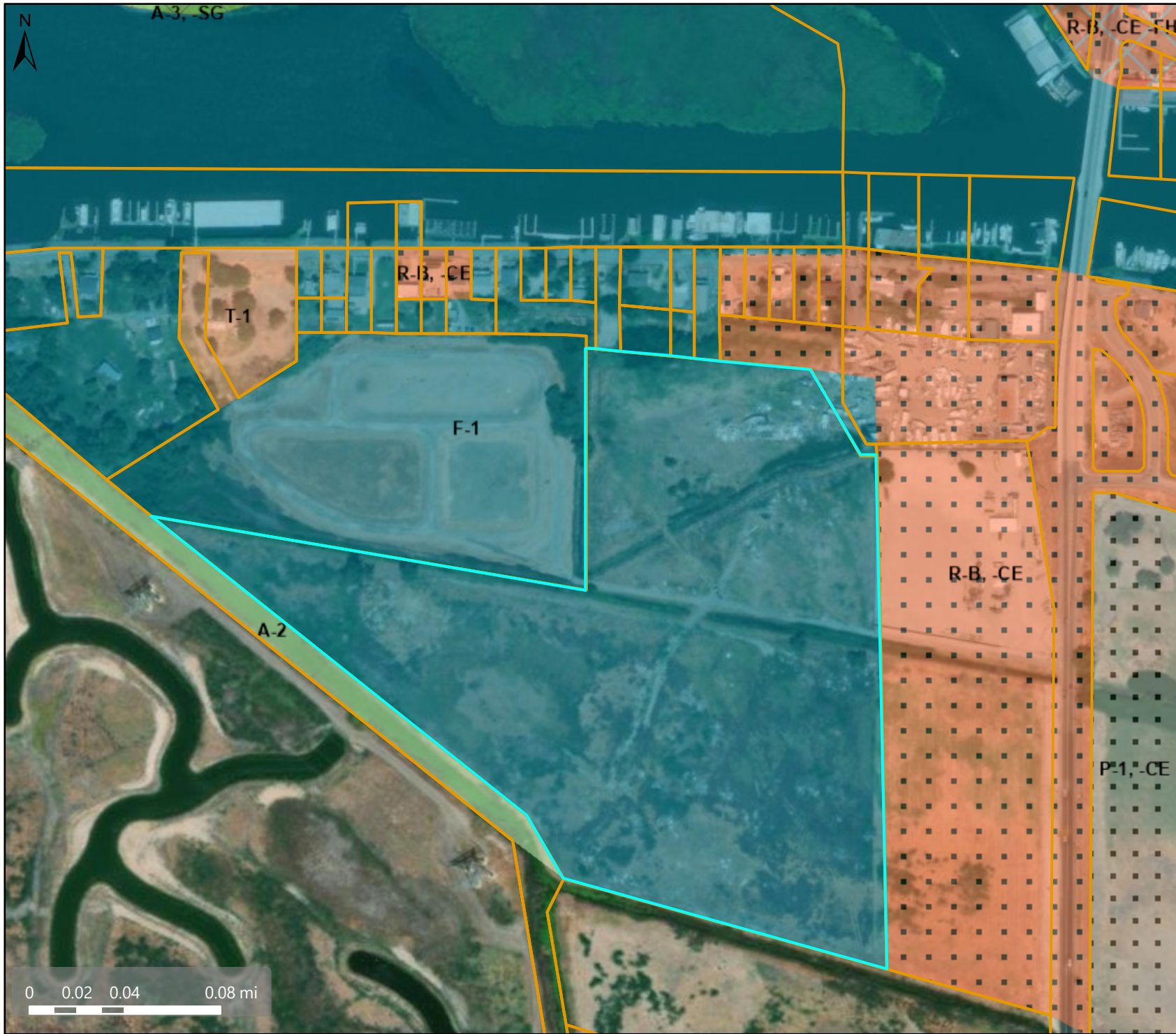
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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

Zoning: F-1 Water Recreational District



Map Legend

- Assessment Parcels
- Planning Layers (DCD)
- Zoning
- ZONE_OVER
 - F-1 (Water Recreational)
 - A-2 (General Agriculture)
 - A-3, -SG (Solar Energy Generation Combining District)
 - R-B -CE (Cannabis Exclusion Combining District)
 - R-B -CE -FH (Cannabis Exclusion and Flood Hazard)
 - P-1, -CE (Cannabis Exclusion Combining District)
 - T-1 (Mobile Home/Manufactured Home Park)

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