



# CONTRA COSTA COUNTY

## AGENDA - PUBLISHED

### Alamo Municipal Advisory Council

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**Tuesday, June 3, 2025**

**6:00 PM**

**Alamo Women's Club - 1401 Danville  
Blvd., Alamo**

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*Agenda Items: Items may be taken out of order based on the business of the day and preference of the Council.*

1. Roll Call and Introductions
2. Staff Reports
3. Public comment on any item under the jurisdiction of the Council and not on this agenda (speakers may be limited to two minutes).
4. CDVR24-01005 [25-2079](#)  
**Attachments:** [CDVR25-01005 - 1524 Manning](#)  
[Design Review Rev 0509-1524 Manning Ln Planset](#)
5. Contra Costa County Proposed Tree Ordinance Comments
6. Livorna Park Play Structure Design
7. Subcommittee Reports
8. Consent Calendar
9. Comments by Members of the MAC
10. Future Agenda Items
11. The next meeting is currently scheduled for scheduled for August 5, 2025.
12. Adjourn

*The Council will provide reasonable accommodations for persons with disabilities planning to attend the Council meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Council less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours. Staff reports related to items on the agenda are also accessible online at [www.contracosta.ca.gov](http://www.contracosta.ca.gov). If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.*

For Additional Information Contact: Cameron Collins at [Cameron.Collins@bos.cccounty.us](mailto:Cameron.Collins@bos.cccounty.us) or 925.655.2300.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-2079

**Agenda Date:** 6/3/2025

**Agenda #:** 4.

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Advisory Board: Alamo Municipal Advisory Council

Subject: CDVR25-01005 - 1524 Manning

Contact: Everett Louie, [Everett.Louie@dcd.cccounty.us](mailto:Everett.Louie@dcd.cccounty.us) <<mailto:Everett.Louie@dcd.cccounty.us>>

### Information:

The applicant requests a variance, tree permit and small lot design review for the demolition of an existing single-family located at a 13'-2" secondary frontage (where 20' is the minimum), and a 27' side yard aggregate (where 35' is the minimum) and a 5' side yard minimum (where 15' side yard is the minimum) and a tree permit to work within the dripline of a 60" tree (vacant lot) and a small lot design review for the construction of a 5,202 square foot new single family residence on a substandard parcel size.

### Recommendation(s)/Next Step(s):

The Alamo MAC is a recommending body only.



## AGENCY COMMENT REQUEST

Date 02/04/2025

We request your comments regarding the attached application currently under review.

**DISTRIBUTION**

INTERNAL

☒ Building Inspection      Grading Inspection  
Advance Planning      Housing Programs  
Trans. Planning      Telecom Planner  
ALUC Staff      HCP/NCCP Staff  
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health      Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services      Special Districts  
Traffic  
Flood Control (Full-size)

LOCAL

☒ Fire District \_\_\_\_\_  
    ☒ San Ramon Valley – (email) [rwendel@srvfire.ca.gov](mailto:rwendel@srvfire.ca.gov)  
    Consolidated – (email) [fire@cccfdpd.org](mailto:fire@cccfdpd.org)

☒ Sanitary District Central San

☒ Water District EBMUD

City of \_\_\_\_\_  
School District(s) \_\_\_\_\_  
LAFCO  
Reclamation District # \_\_\_\_\_  
East Bay Regional Park District  
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Alamo

☒ Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: [nwic@sonoma.edu](mailto:nwic@sonoma.edu))  
CA Fish and Wildlife, Region 3 – Bay Delta  
Native American Tribes

ADDITIONAL RECIPIENTS

AIA  
\_\_\_\_\_  
\_\_\_\_\_

Please submit your comments to:

Project Planner Everett Louie  
Phone # 925-655-2873  
E-mail everett.louie@dcd.cccounty.us  
County File # CDVR25-01005

Prior to March 4, 2025

\*\*\*\*\*

We have found the following special programs apply to this application:

    Landslide      Active Fault Zone (A-P)  
☒ Liquefaction      Flood Hazard Area  
☒ 60-dBA Noise Control  
    CA EPA Hazardous Waste Site  
    High or Very High FHSZ

\*\*\*\*\*

**AGENCIES:** Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments:      None      Below      Attached

Print Name \_\_\_\_\_

Signature \_\_\_\_\_ DATE \_\_\_\_\_

Agency phone # \_\_\_\_\_



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR25-01005**

**File Date: 2/4/2025**

**Applicant:**

Javaid Noorzad  
1524 MANNING LN  
ALAMO, CA 94507

javid.m.noorzad@kp.org  
(510) 458-4777

**Property Owner:**

JAVOID & JOCELY NOORZAD  
1524 MANNING LN  
ALAMO, CA 945071028

javid.m.noorzad@kp.org  
(510) 458-4777

**Project Description:**

The applicant requests a variance, tree permit and small lot design review for the demolition of an existing single-family located at a 13'-2" secondary frontage (where 20' is the minimum), and a 27' side yard aggregate (where 35' is the minimum) and a 5' side yard minimum (where 15' side yard is the minimum) and a tree permit to work within the dripline of a 60" tree (vacant lot) and a small lot design review for the construction of a 5,202 sf new single family residence on a substandard parcel size.

**Project Location: (Address: 1524 MANNING LN, ALAMO, CA 945071028), (APN: 191040028)**

**Additional APNs:**

**General Plan Designation(s):** RL

**Zoning District(s):** R-20

**Flood Hazard Areas:** X

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:**

**Fire District:** SAN RAMON VLY FIRE

**Sanitary District:** CENTRAL SANITARY

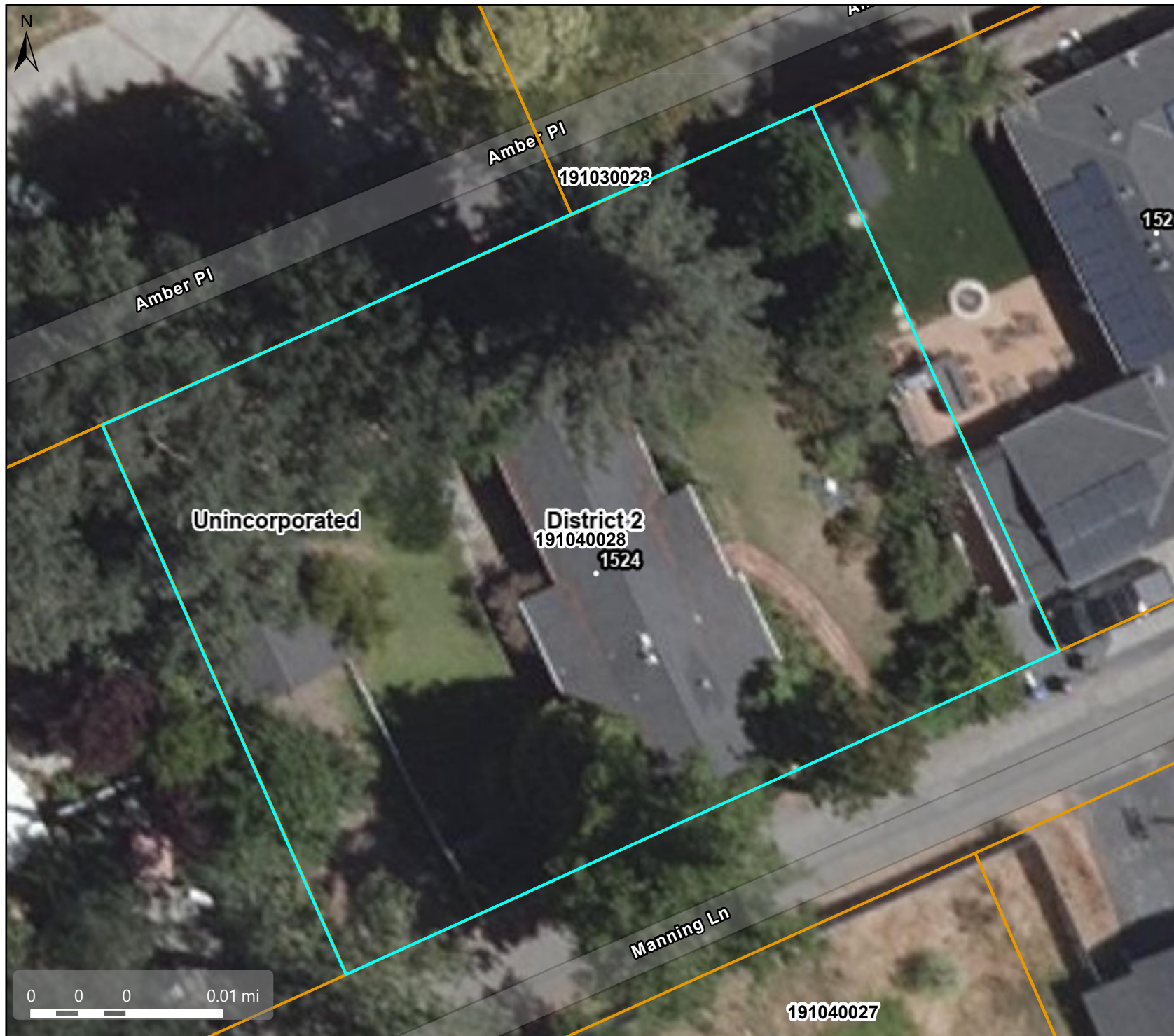
**Housing Inventory Site:** NO

**Specific Plan:**

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3280.00</b>	<b>3280.00</b>

# Aerial



## Map Legend

Assessment  
Parcels

### Planning Layers (DCD)

Unincorporated  
 Board of  
Supervisors'  
Districts

### Base Data

Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Spheroid  
Datum: WGS 1984





## Map Legend

Assessment  
Parcels

Planning Layers  
(DCD)

General Plan

RL (Residential  
Low Density)  
(1-3 du/na)

Unincorporated

Board of  
Supervisors'  
Districts

Base Data

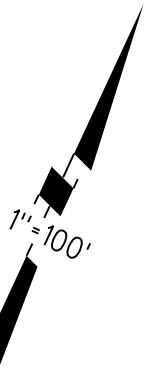
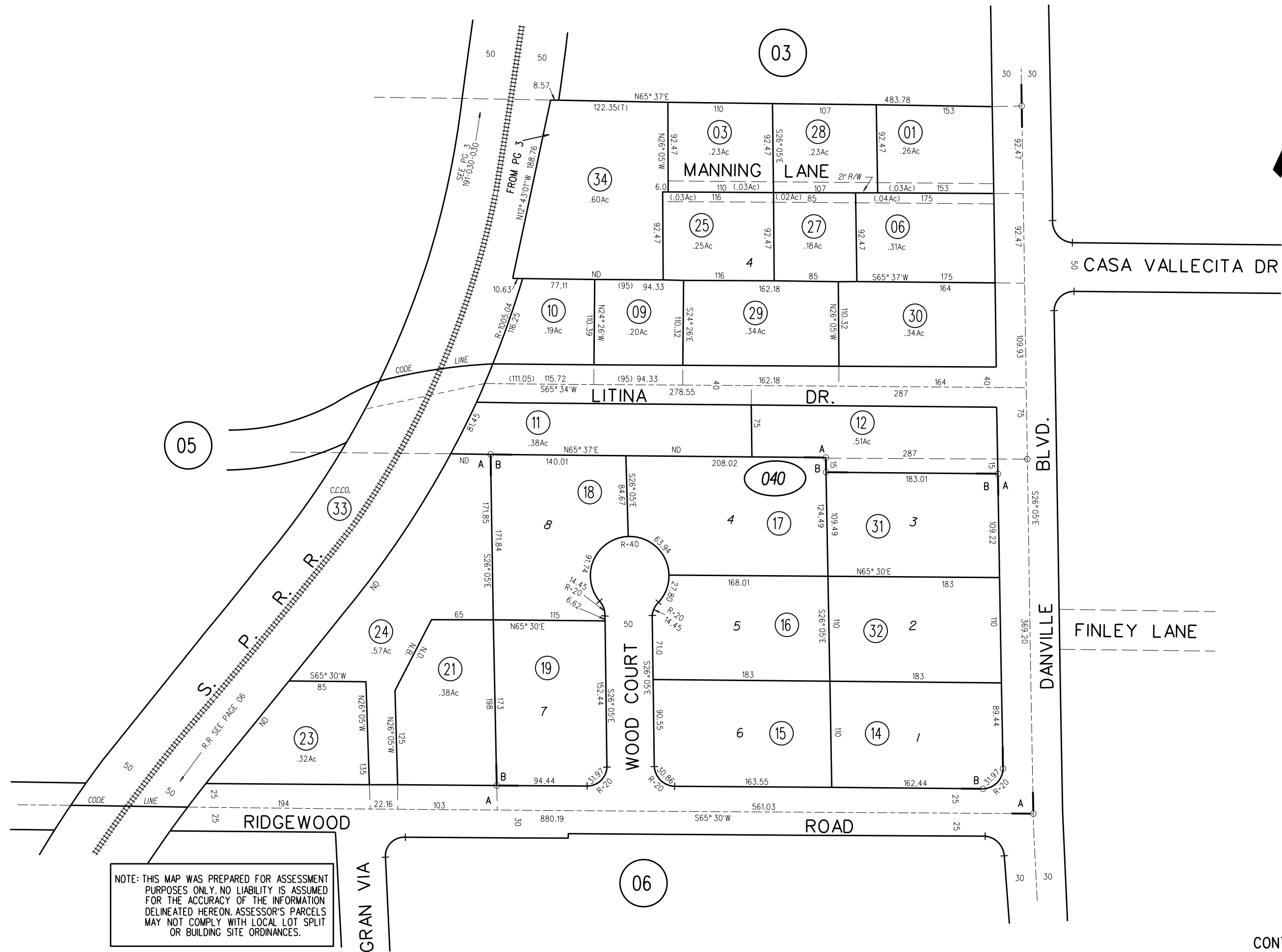
Address Points

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Spheroid  
Datum: WGS 1984

A- LITINA HOMESTEAD - POR. LOTS 4-5 225-20 DEEDS  
B- RIDGEWOOD ACRES 33-9

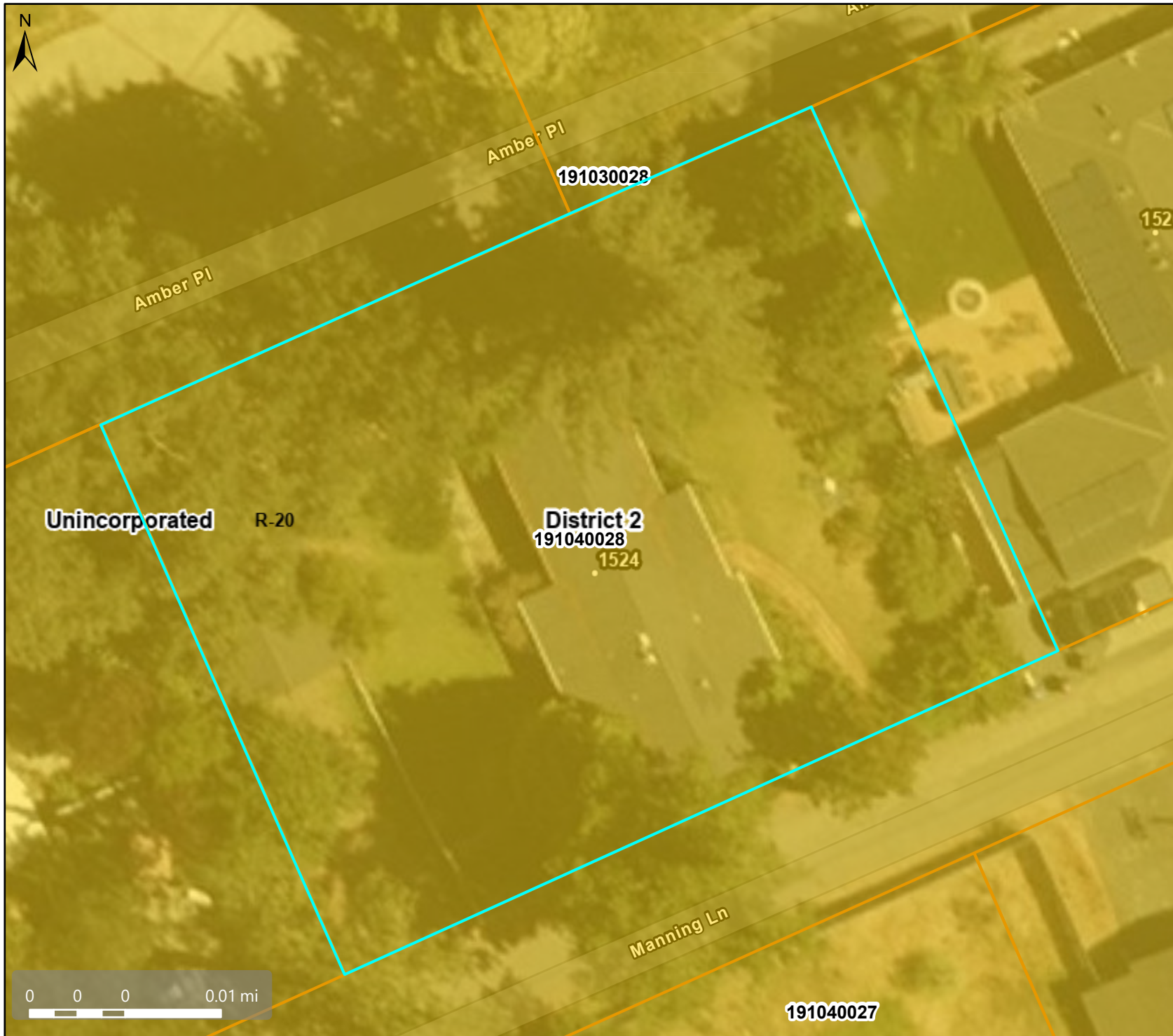


P B  
192

040 34  
11/17/14



# Zoning - R-20



## Map Legend

Assessment  
Parcels

Planning Layers  
(DCD)

Zoning

ZONE\_OVER

R-20 (Single  
Family  
Residential)

Unincorporated

Board of  
Supervisors'  
Districts

Base Data

Address Points

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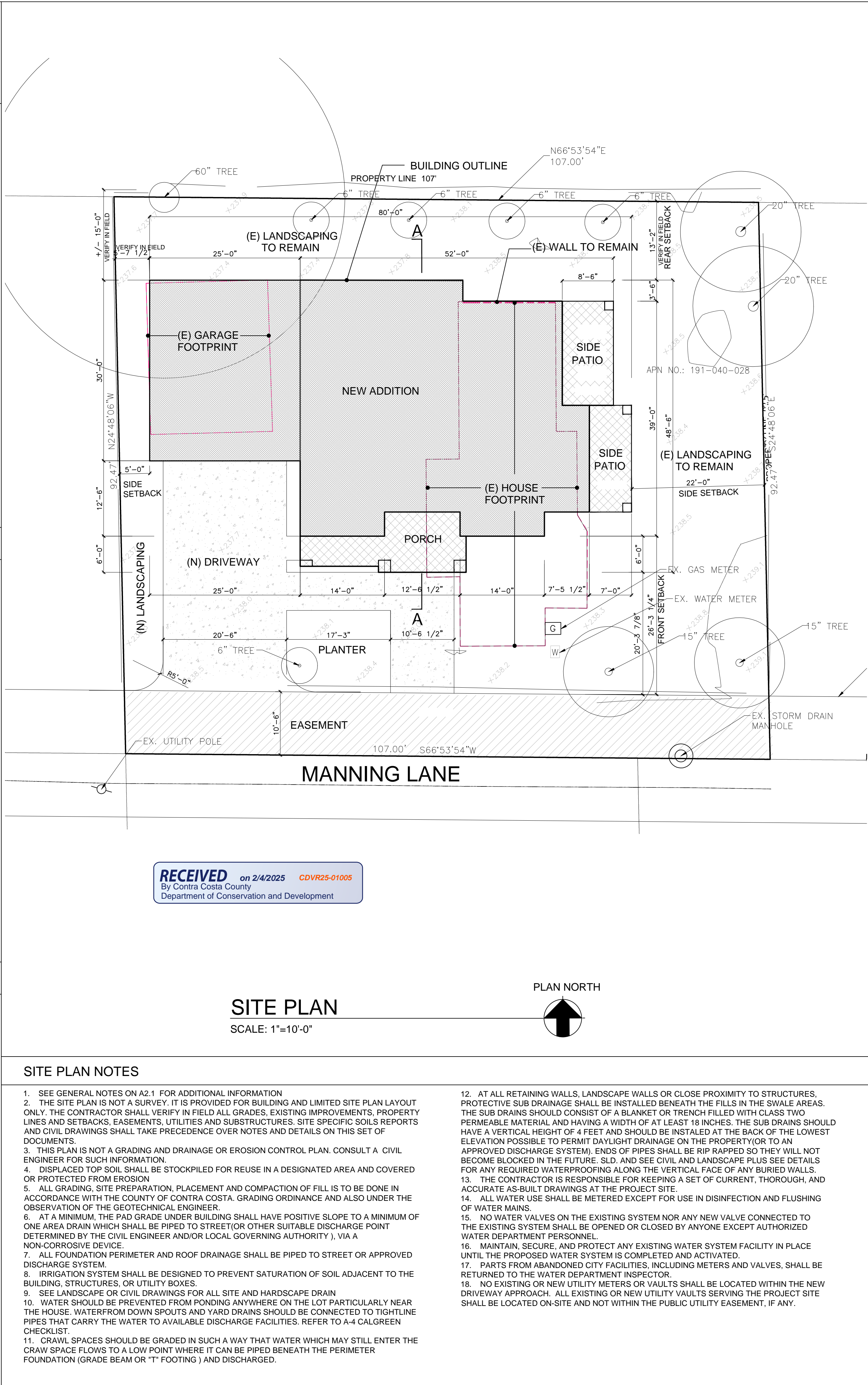
Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Spheroid  
Datum: WGS 1984



1524 MANNING LN., ALAMO  
A RESIDENTIAL EXPANSION PROJECT



VICINITY MAP		PROJECT DIRECTORY	PROJECT INFO.
		<p>Owner : <b>Javaid and Jocelyn Noorzad</b> 1524 Manning Ln., Alamo, CA 94507 Email: <a href="mailto:jocelynnoorzad@gmail.com">jocelynnoorzad@gmail.com</a> Phone #: 510-600-5100</p> <p>Architect: LNX Architecture inc. Address: 6710 Corte Snata Maria, Pleasanton, CA 94566 Responsible Person: Yuan Lin, Architect Phone#: 925 357 5801 Email: <a href="mailto:yuanlin29@yahoo.com">yuanlin29@yahoo.com</a></p>	<p>LOCATION: 1524 Manning Ln., Alamo, CA 94507 APN: 191-040-028-0 ZONING: R-20 LOT SIZE: 9,889 SF CONSTRUCTION TYPE: TYPE V/B; SPRINKLERED OCCUPANCY GROUP: R-3/U(garage)</p> <p>(E) HOUSE: 1140 SF (E) LIVING AREA: 1140 SF (E) GARAGE AREA: 488 SF (E) BUILDING FOOT PRINT: 1745 SF</p> <p>(N) ADDITION: 1876 SF (N) 1ST FLOOR: 2332 SF (N) 2ND FLOOR: 4208 SF (N) TOTAL MAIN HOUSE LIVING AREA: 4208 SF</p> <p>(N) GARAGE AREA: 673 SF (N) COVERED FRONT PORCH : 202 SF</p>
CODE COMPLIANCE:		2022 CBC,CMC,CPC,CEC, CRC, CFC 2022 CAL GREEN STANDARDS 2022 CALIFORNIA ENERGY CODE CONTRA COSTA CO. CODES/ORDINANCES	LOT COVERAGE: 2751/ 9889 = 27.8% FAR(FLOOR AREA RATIO): 4208/ 9889 = 42.5%
ABBREVIATIONS		GRAPHIC SYMBOL LEGEND	DRAWING DIRECTORY
<p>&amp;: And @: At ABV: Above AC: Air Conditioning, Acoustical ADH: Adhesive ADJ: Adjust, Adjustable, Adjacent AFF: Above Finished Floor AGA: American Gas Association ALT: Alternate, Alteration; Altitude BR: Bedroom, CLG: Ceiling CLO.: CLEAN-OUT CSMT: CASEMENT DTL: DETAIL E: EXISTING ELEC.: ELECTRICAL GA: Gauge, Gage GAL: Gallon GC: General Contractor GFCI: Ground Fault Circuit Interrupted GLZ: Glaze GPH: Gallons Per Hour GVL: Gravel GYP: Gypsum GYP BD: Gypsum Board INSTL.: Install N: NEW OPT.: OPTIONAL PNL.: PANEL S.D.: STRUCTURAL DRAWING SH: SINGLE HUNG U.O.N.: Unless Otherwise Noted V.C.T.: Vinyl Composition Tile V.I.F.: VERIFY IN FIELD VERT.: Vertical VYL: Vinyl WD: Wood WDW: Window W.P.M Water Proofing Membrane WT: Weight YD: Yard</p>		<p>WORK POINT, CONTROL POINT OR DATUM POINT INDICATION DETAIL NUMBER DETAIL CUT INDICATOR SHEET LOCATION DETAIL AREA CUT</p> <p>ELEVATION VIEW ELEVATION NUMBER SHEET LOCATION</p> <p>BUILDING SECTION LETTER SHEET LOCATION</p> <p>FULL BUILDING SECTION PARTIAL BUILDING SECTION</p> <p>REVISION NUMBER AREA OF REVISION</p> <p>NORTH 3050</p> <p>WINDOW AND DOOR SIZE TAG: 3'-0"X5'-0" SHEET NOTES TAG</p> <p>DOOR TAG, SEE WINDOW/DOOR SCHEDULE</p> <p>WINDOW TAG, SEE WINDOW/DOOR SCHEDULE</p>	<p>A-1.1 COVER SHEET AND SITE PLAN A-2.1 1ST FLOOR PLAN A-2.2 2ND FLOOR PLAN A-2.3 ROOF PLAN A-3.1 ELEVATIONS &amp; SECTION A-3.2 ELEVATIONS &amp; SECTION G-1 SURVEY MAP</p>
SCOPE OF WORK:		<p>1). Expand (E) house of 1140 sf to 1876 sf on 1st floor to accomodate open living/dining/kitchen and foyer.</p> <p>2). Expand (E) garage to accomodate extra storage and pantry.</p> <p>3). Add 2nd story. to accomodate 4 bedrooms/ 4 baths</p> <p>4). Install new 400AMP electrical panel, heat pump water heater and ducted AC unit ;</p> <p>5). Install new fire sprinkler system, permit separately;</p> <p>6). Modify (E) driveway and front yard landscaping.</p>	



6710 CORTE SANTA MARIA  
PLEASANTON, CA 94566  
EMAIL: [yuanlin29@yahoo.com](mailto:yuanlin29@yahoo.com)  
TEL: 925 357 5801

YUAN LIN  
C-27999  
12/31/2025  
RENEWAL DATE

REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT

OWNER: Mr. & Mrs. Javaid Noorzad

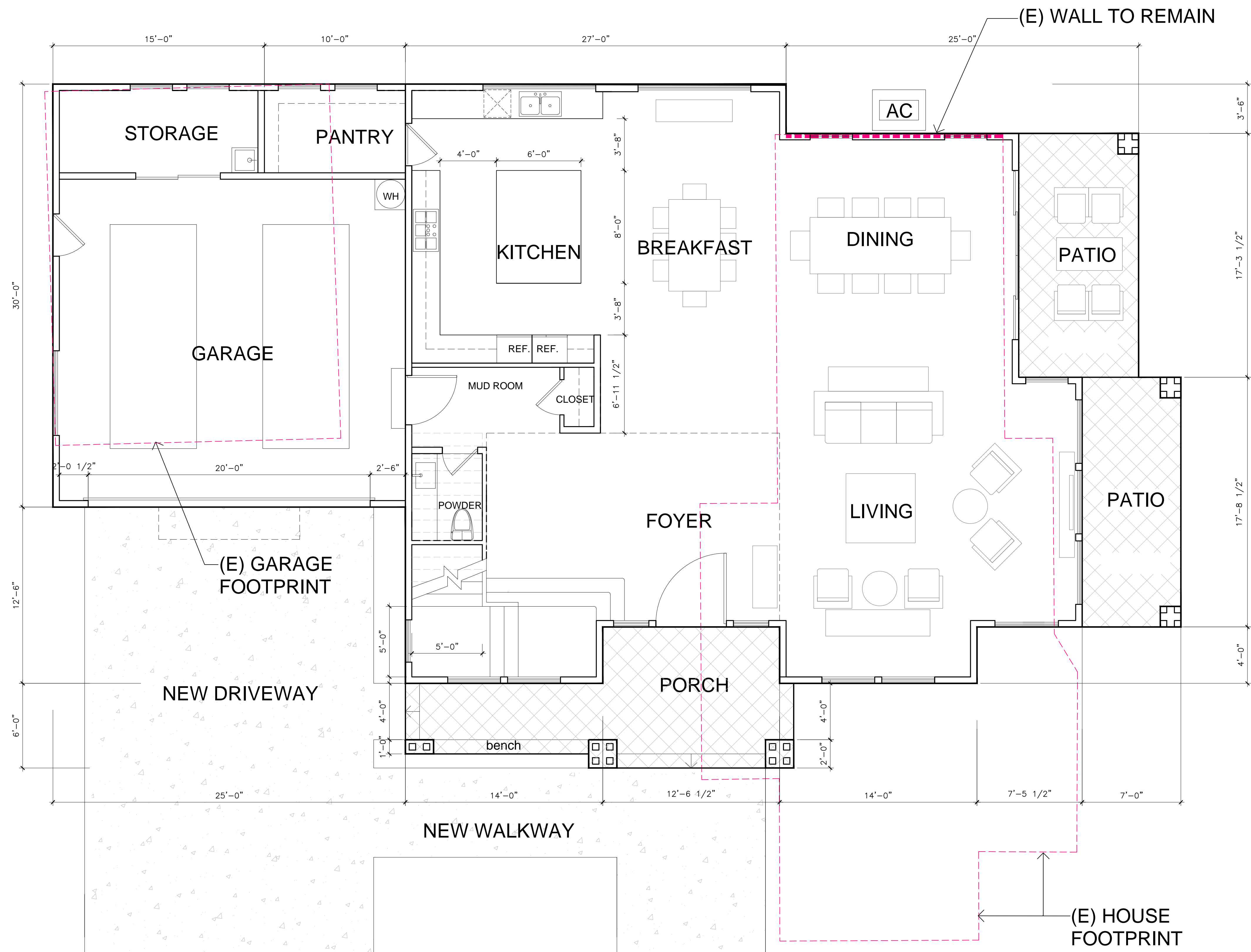
DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

COVER SHEET  
& SITE PLAN

SHEET NO.

A-1.1





PLUMBING FIXTURE SCHEDULE:

FIXTURE TYPE	# OF FIXTURE	FLOW RATE
W.C .	4	1.28 GL/FLUSH
LAV.	6	1.2 GPM@60psi
SHOWERHEAD	3	1.8 GPM@80psi
TUB FAUCET	2	1.8 GPM@80psi
KITCHEN SINK	1	1.8 GPM@60psi
LAUNDRY SINK	1	1.8 GPM@60psi

FLOOR PLAN NOTES

1. ALL EXTERIOR WALLS TO BE 2X6 FRAMING
2. 1ST FLOOR INTERIOR WALLS TO BE 2X6 FRAMING
3.

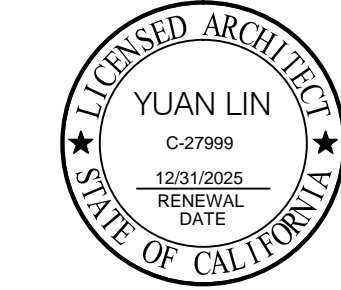
NOTES FOR STAIRWAY:

1. STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY
2. STAIRS TO HAVE MAXIMUM 7.75" RISE AND MINIMUM 10" RUN. CRC R311.7.4.1
3. STAIRS TO HAVE MINIMUM 80" HEAD room

1

PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

1ST FLOOR PLAN

SHEET NO.



ROOF PLAN NOTES

ROOF PLATE HEIGHTS ARE REFERENCED FROM TOP OF SUB FLOOR AT ENTRY, U.N.O.

CLASS A ROOF COVERING SHALL BE  
MANUFACTURER: OWENS CORNING ROOFING OR EQUAL QUALITY PRODUCT  
TYPE 1: COMP. SHINGLE ROOFING FOR SLOPED ROOF  
COLOR: GRAY

GUTTERS ON ALL ELEVATIONS SHALL BE PROFILED ALUMINUM GUTTERS BY AMERIMAX OR EQUAL

ROOF PITCH SHALL BE AS NOTED ON ROOF PLAN

OVERHANG DIMENSIONS SHALL BE AS NOTED ON ROOF PLAN

DASHED LINES INDICATE WALL(STRUCTURE) BELOW.

LOCATE GUTTERS AND DOWNSPOUTS AS SHOWN. NOTE: LOCATE DOWNSPOUTS MIN. 8" OFF CORNER WHERE POSSIBLE (U.O.N.)

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE (WHERE POSSIBLE) SEE DETAIL 11 /A-4.1

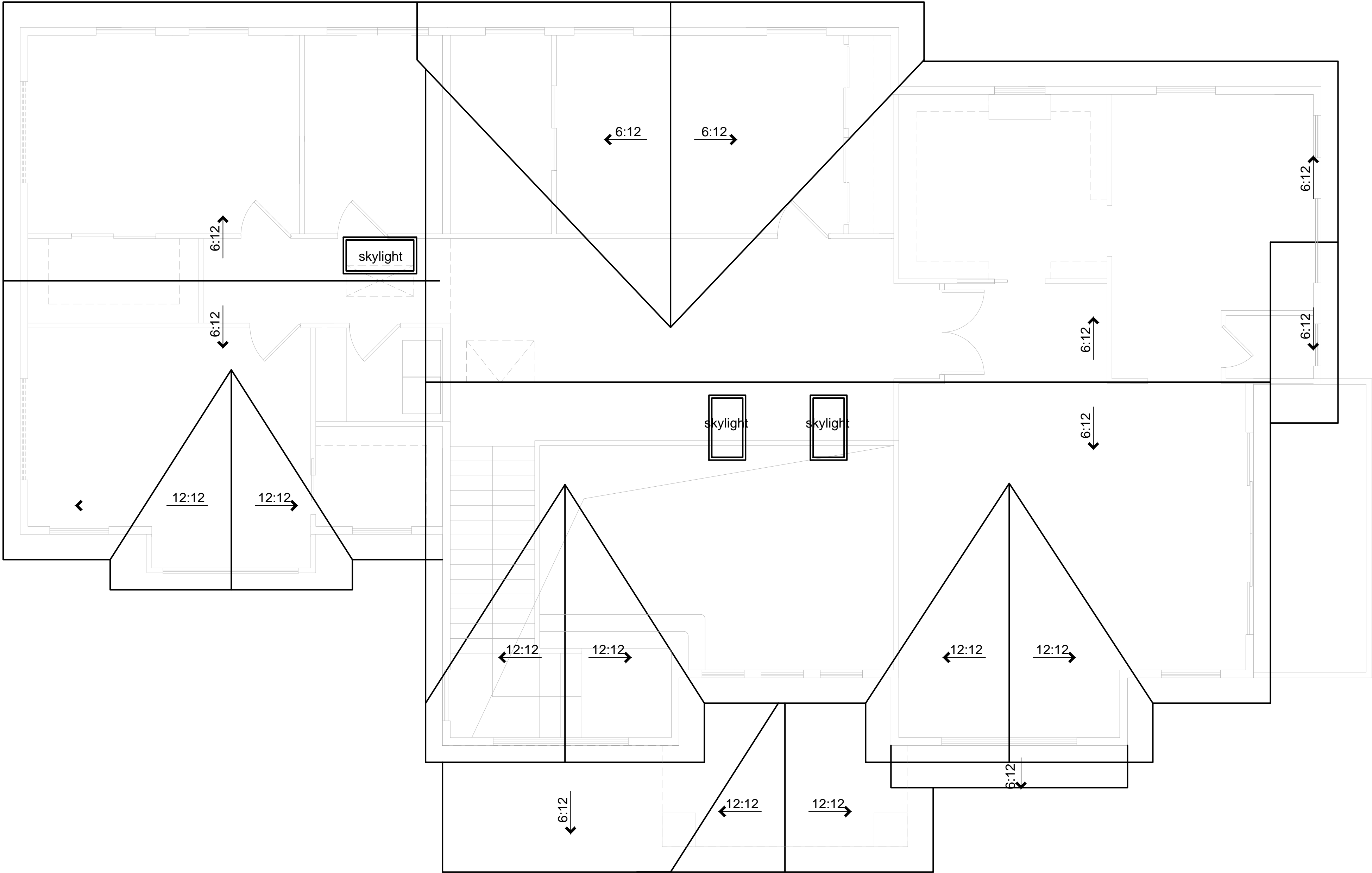
ATTIC VENTILATION SHALL BE PROVIDED PER SECTION 1505.3 OF THE UBC. (SEE CALCULATIONS, THIS SHEET)

LOCATE UPPER AND LOWER ROOF VENTS AS SHOWN ON PLAN.

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I,II,III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. (R905.1.1)

FLASH ALL ROOF VALLEYS (INSTALL FLASHING OVER 30# FELT)

ALL FLASHING SHALL BE 26 GAUGE G.S.M.



1

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

ROOF PLAN

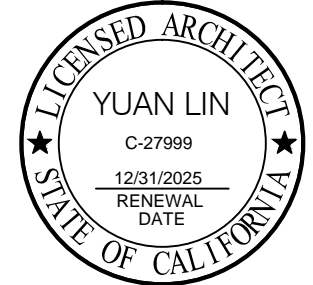
SHEET NO.





LNx  
ARCHITECTURE  
INC.

6710 CORTE SANTA MARIA  
PLEASANTON, CA 94566  
EMAIL: yuan.lin29@yahoo.com  
TEL: 925 357 5801



REVISIONS

PROJECT NAME

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A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

BUILDING  
ELEVATIONS  
& SECTION

SHEET NO.

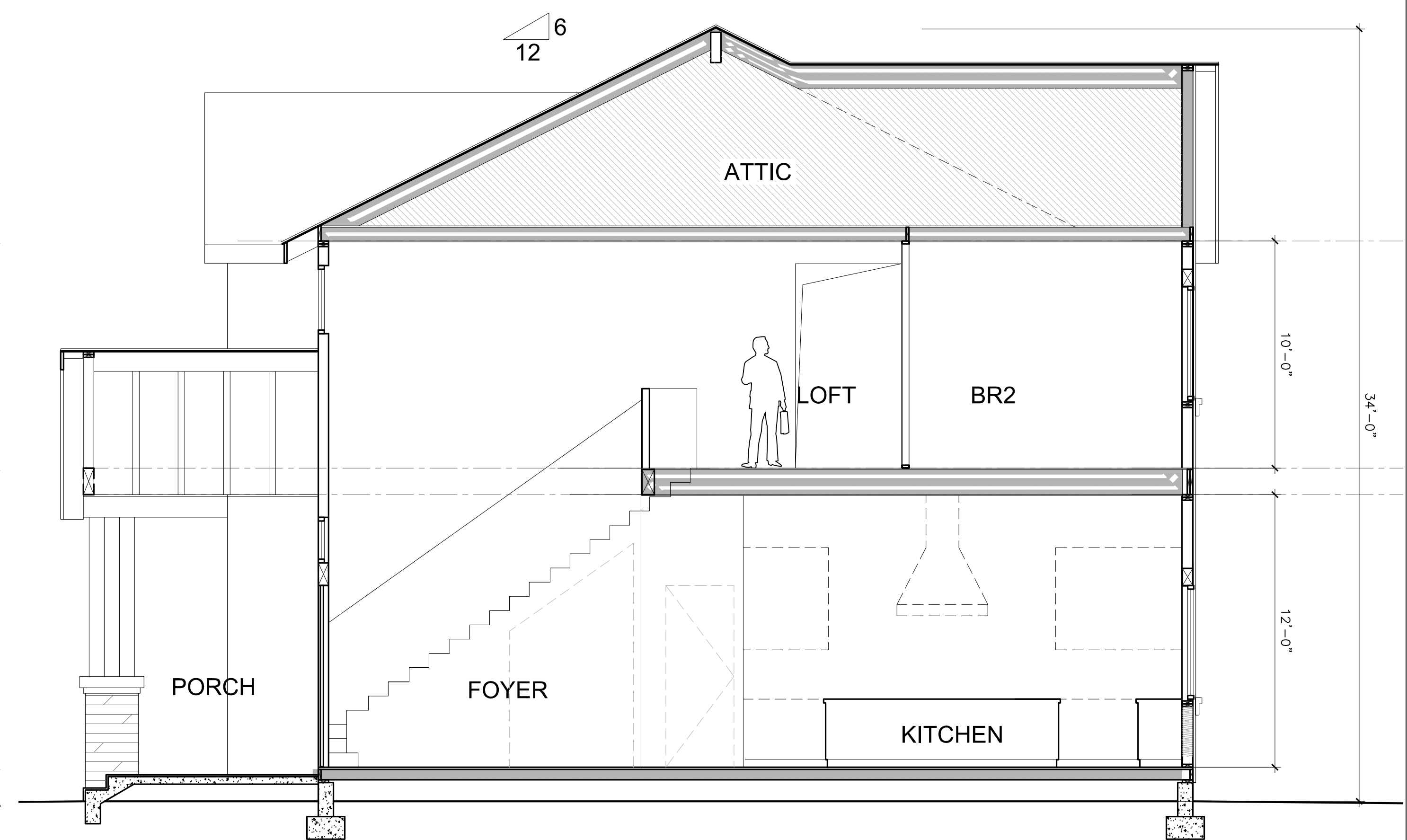
A-3.1



3 FRONT ELEVATION ( SOUTH )  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



1 BUILDING SECTION A-A  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



LNx  
ARCHITECTURE  
INC.

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EMAIL: yuan.lin29@yahoo.com  
TEL: 925 357 5801



REVISIONS

PROJECT NAME

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OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

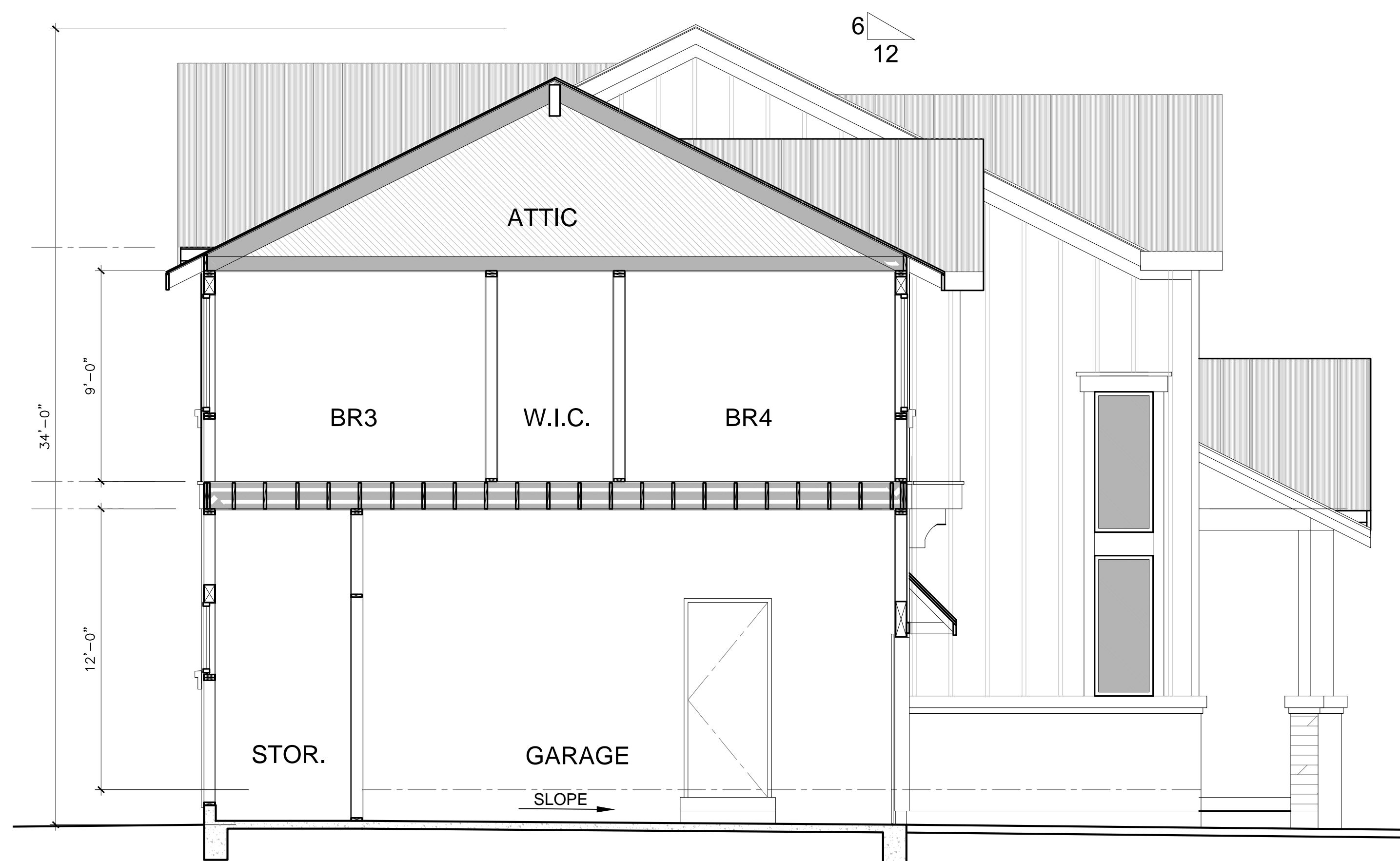
BUILDING  
SECTIONS

SHEET NO.

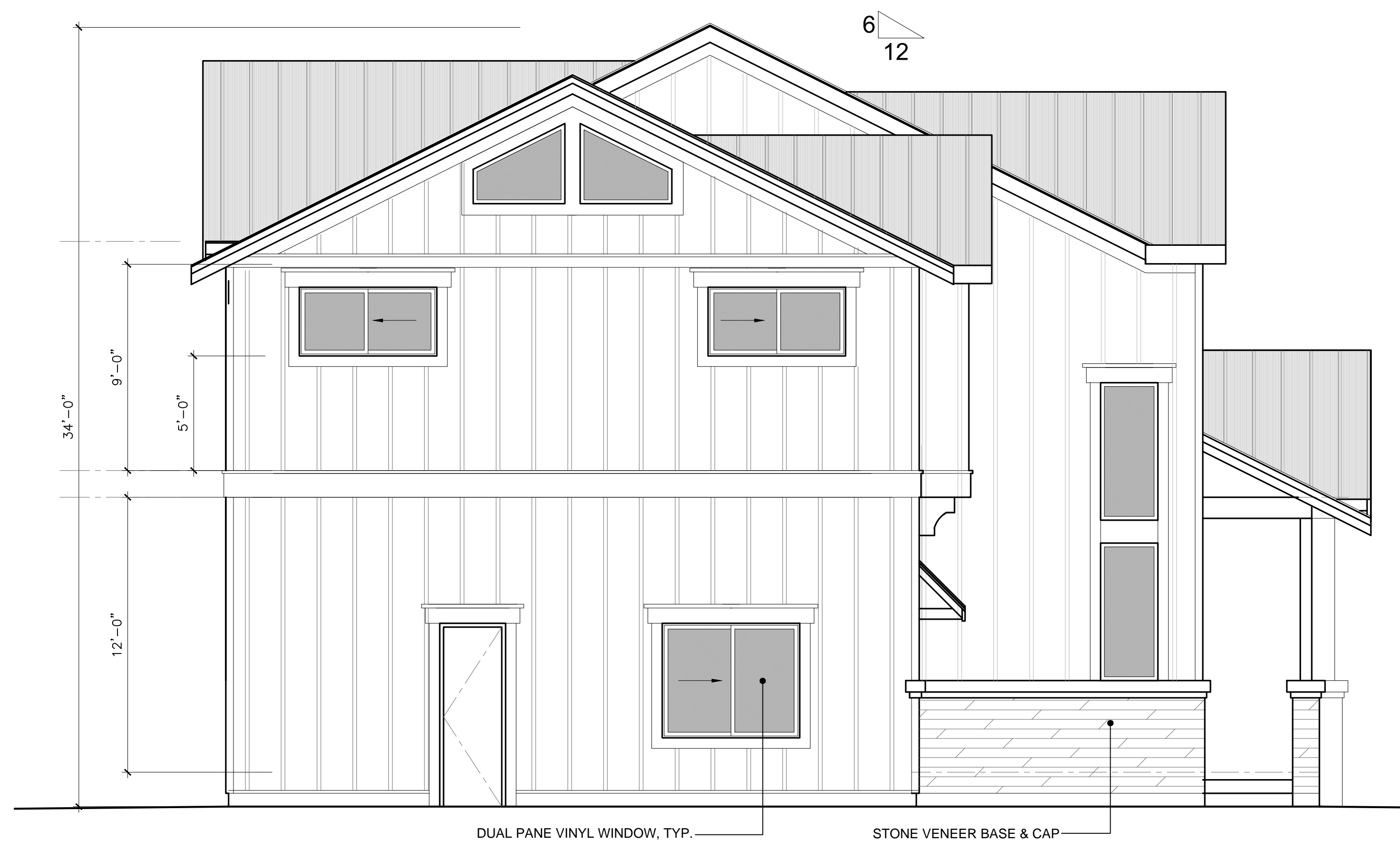
A-3.2



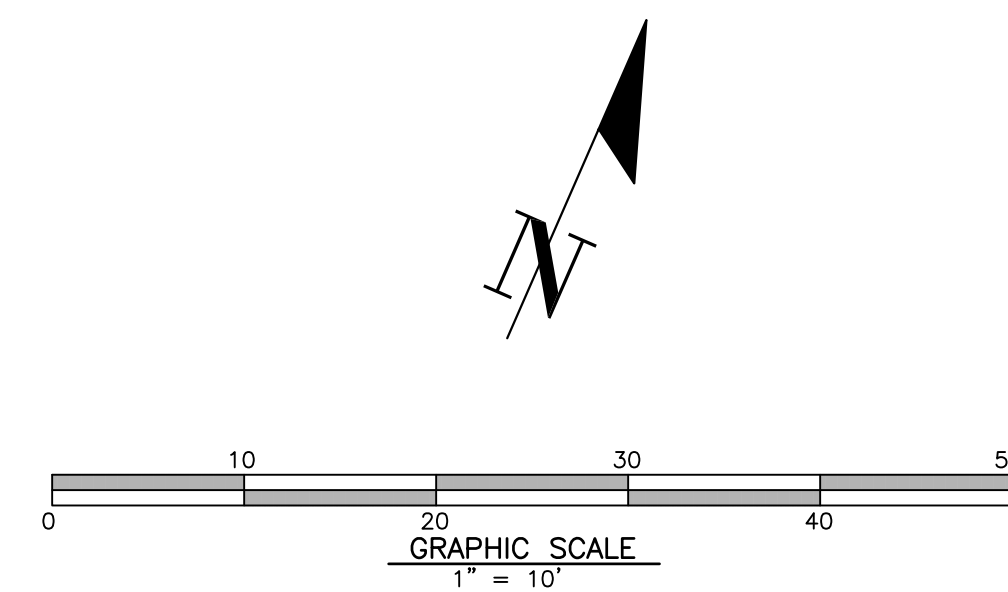
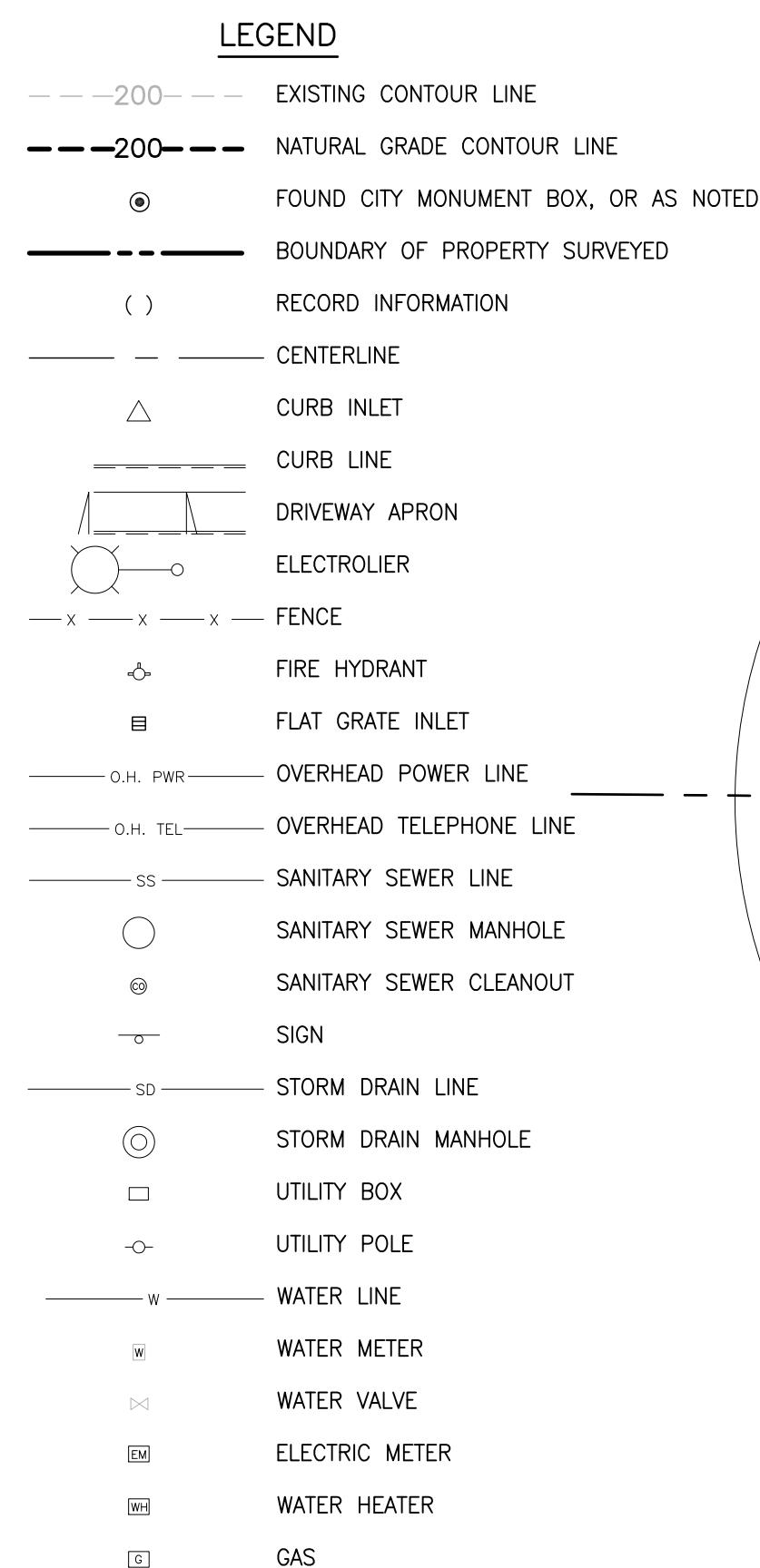
3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



2 SECTION B-B  
SCALE: 1/4"=1'-0"



1 LEFT SIDE ELEVATION(EAST)  
SCALE: 1/4"=1'-0"



BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE  
SOUTH EASTERLY CORNER OF LOT AS SHOWN:  
PROJECT BENCHMARK 238.86' (NAVD88 DATUM)

## ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
AE	ANCHOR EASEMENT
BM	BENCH MARK
BSL	BUILDING SETBACK LINE
BTRC	BACK/TOP OF ROLLED CURB
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
EX	EXISTING
FL	FINISH FLOOR
FF	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
R#	REFERENCE DOCUMENT
SD	STORM DRAIN
SS	SANITARY SEWER
T	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT
WCE	WIRE CLEARANCE EASEMENT


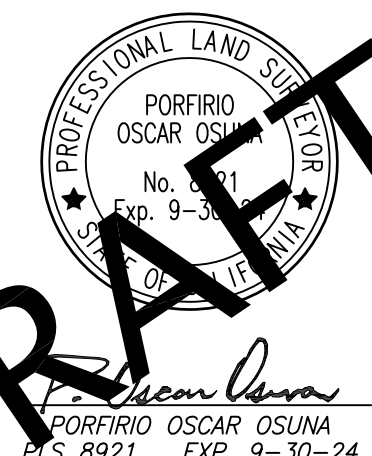
NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
3. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
4. ACCESS UTILITIES ON THIS MAP, LOCATED BOTH THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED FOR THE LOCATIONS OF OVERHEAD UTILITIES CALL "USA" (1-800-642-2440).
5. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
6. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
7. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY QUALITY ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN.

## RECORD OF SURVEY NOTE:

THIS PRELIMINARY SITE SURVEY BOUNDARY IS INTENDED FOR INITIAL STUDIES OR PLANNING DESIGN. TO FINALIZE THIS BOUNDARY SURVEY A RECORD OF SURVEY MUST BE FILED PER THE MANDATORY FILING PROVISIONS OF SECTION 8762(B) OF THE PROFESSIONAL LAND SURVEYORS' ACT. OSUNA ENGINEERING, IS CURRENTLY WORKING TOGETHER WITH THE NEIGHBOR SURVEYOR (BAY LAND CONSULTING). BAY LAND CONSULTING WILL FILE A RECORD OF SURVEY WITHIN THE TIME LIMITS PRESCRIBED BY STATE LAW. NOTE THAT ONCE SAID RECORD OF SURVEY IS RECORDED, OSUNA ENGINEERING, INC. WILL FILE A CORNER RECORD OR RECORD OF SURVEY, WHATEVER IS APPLICABLE, AND SET PERMANENT FIELD MARKERS/CORNERS. THIS SURVEY NOTE THAT CONSTRUCTION STAKING, NOR PERMANENT FIELD MARKERS/CORNERS, ARE TO BE SET IN THE FIELD UNTIL THE BOUNDARY SURVEY IS FINALIZED.

	BY	CITY	DATE	REVISIONS
△				
△				
△				
△				
△				



**OSUNA**  
**ENGINEERING INC.**  
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

TEL. (408) 772-4381  
Info@osunaeengineering.com  
SAN JOSE, CA 95119

PRELIMINARY SITE SURVEY

1524 MANNING LANE  
APN.: 191-040-028-0

LAND, CALIFORNIA

Project No.: 3010    Program No.: 111427    Checkpoint: 0.0    Date: 6/12/24

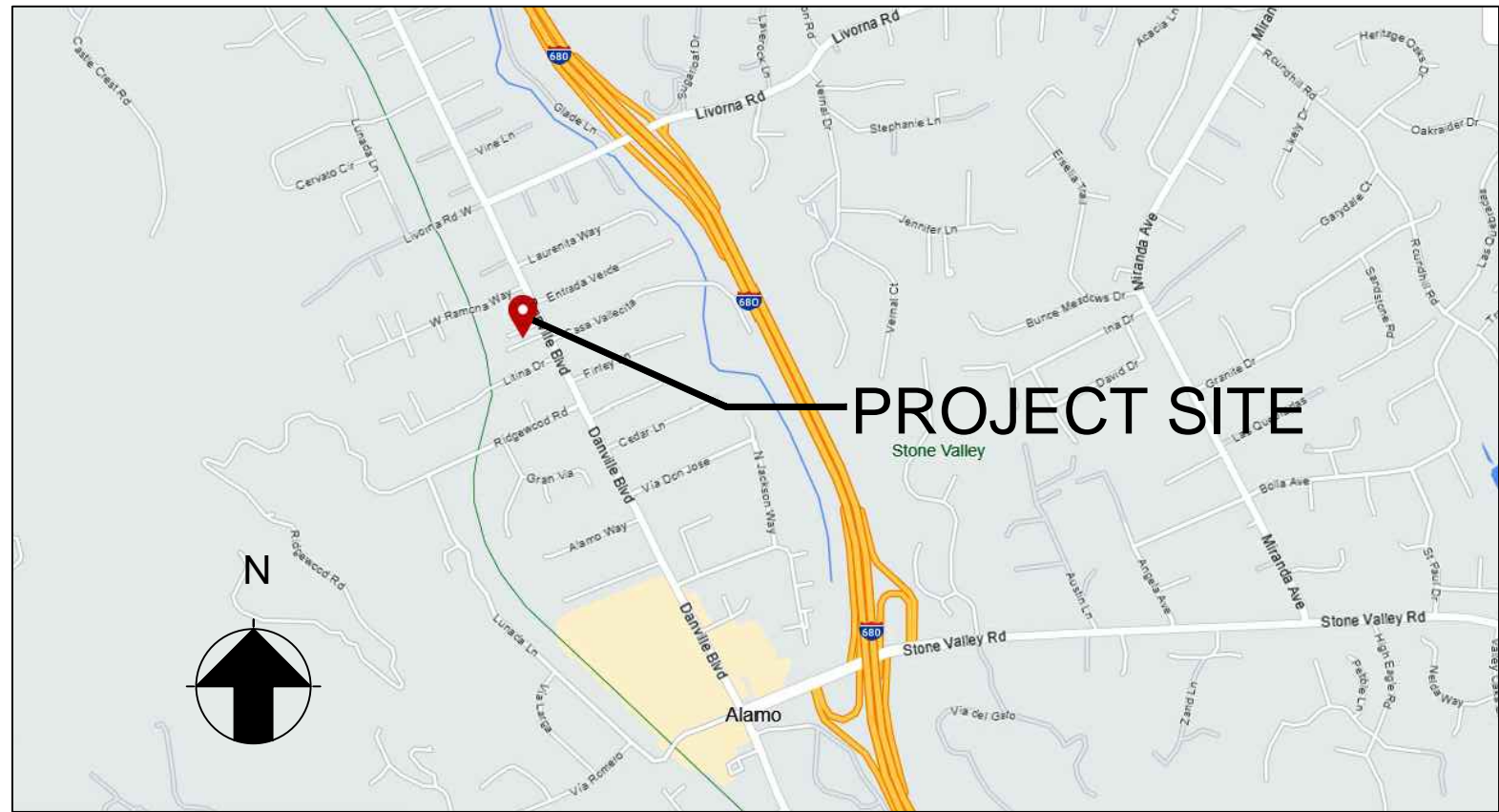
SHEET  
1  
F 1 SHEETS



1524 MANNING LN., ALAMO  
A RESIDENTIAL EXPANSION PROJECT



VICINITY MAP



PROJECT DIRECTORY

Owner : **Javaid and Jocelyn Noorzad**  
1524 Manning Ln., Alamo, CA 94507  
Email: [jocelynnoorzad@gmail.com](mailto:jocelynnoorzad@gmail.com)  
Phone #: 510-600-5100

Architect: LNX Architecture inc.  
Address: 6710 Corte Santa Maria,  
Pleasanton, CA 94566  
Responsible Person: Yuan Lin, Architect  
Phone#: 925 357 5801  
Email: [yuanlin29@yahoo.com](mailto:yuanlin29@yahoo.com)

PROJECT INFO.

LOCATION: 1524 Manning Ln., Alamo, CA 94507  
APN: 191-040-028-0  
ZONING: R-20  
LOT SIZE: 9,889 SF  
CONSTRUCTION TYPE: TYPE V/B; SPRINKLERED  
OCCUPANCY GROUP: R-3/U(garage)  
(E) HOUSE:  
(E) LIVING AREA: 1140 SF  
(E) GARAGE AREA: 488 SF  
(E) BUILDING FOOT PRINT: 1745 SF  
(N) ADDITION:  
(N) 1ST FLOOR: 1741 SF  
(N) 2ND FLOOR: 2119 SF  
(N) TOTAL MAIN HOUSE LIVING AREA: 3860 SF  
(N) GARAGE AREA: 656 SF  
(N) COVERED FRONT PORCH : 82 SF  
(N) COVERED SIDE PATIO : 272 SF

CODE COMPLIANCE:

2022 CBC,CMC,CPC,CEC, CRC, CFC  
2022 CAL GREEN STANDARDS  
2022 CALIFORNIA ENERGY CODE  
CONTRA COSTA CO. CODES/ORDINANCES

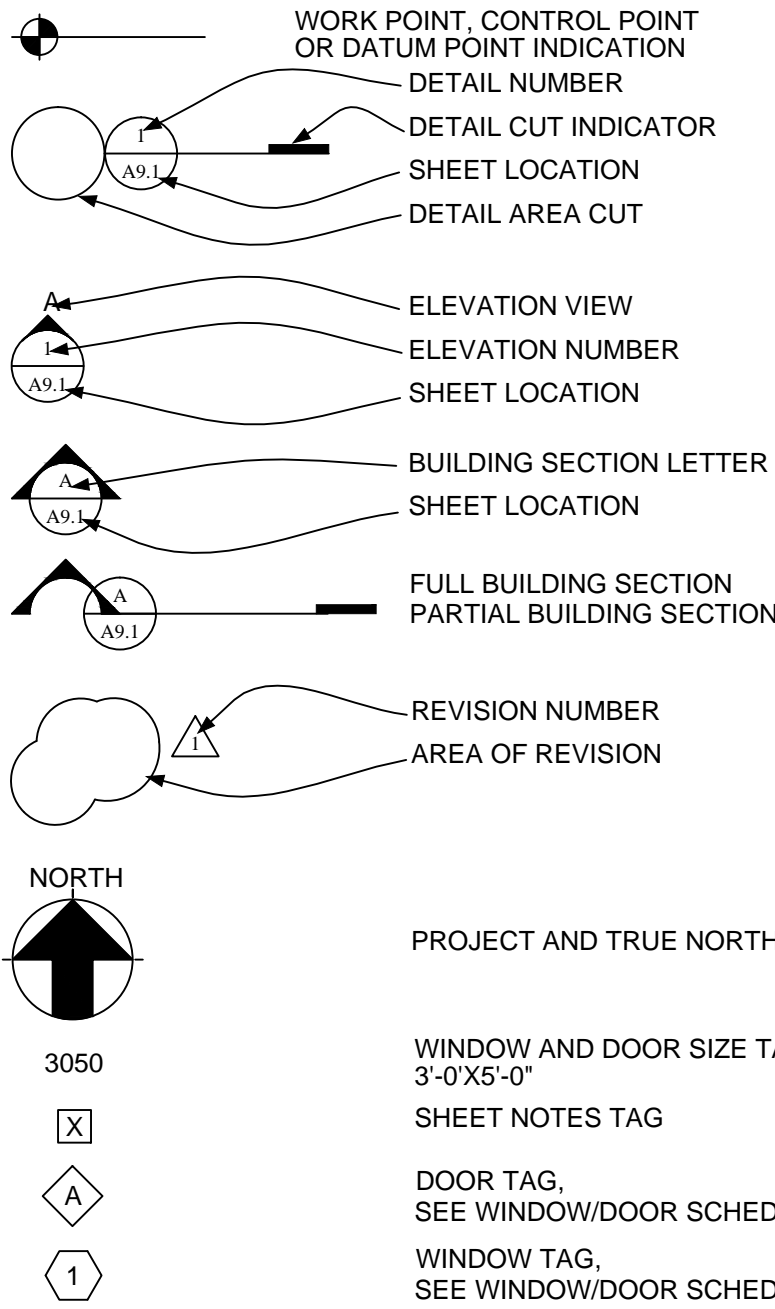
LOT COVERAGE: (1741+656+82+272)/ 9889 = 27.8%  
FAR(FLOOR AREA RATIO): 3860/ 9889 = 39%

FIRE SPRINKLERS: YES, DEFERRED SUBMITTAL OF  
NFPA 13D 2019 APPROVED FIRE SPRINKLER SYSTEM  
PER SMC 16.17.080

ABBREVIATIONS

&: And  
@: At  
ABV: Above  
AC: Air Conditioning, Acoustical  
ADH: Adhesive  
ADJ: Adjust, Adjustable, Adjacent  
AFF: Above Finished Floor  
AGA: American Gas Association  
ALT: Alternate, Alteration; Altitude  
BR: Bedroom,  
CLG: Ceiling  
CLO.: CLEAN-OUT  
CSMT: CASEMENT  
DTL: DETAIL  
E: EXISTING  
ELEC.: ELECTRICAL  
GA: Gauge, Gage  
GAL: Gallon  
GC: General Contractor  
GFCI: Ground Fault Circuit Interrupted  
GLZ: Glaze  
GPH: Gallons Per Hour  
GVL: Gravel  
GYP: Gypsum  
GYP BD: Gypsum Board  
INSTL.: Install  
N: NEW  
OPT.: OPTIONAL  
PNL.: PANEL  
S.D.: STRUCTURAL DRAWING  
SH: SINGLE HUNG  
U.O.N.: Unless Otherwise Noted  
V.C.T.: Vinyl Composition Tile  
V.I.F.: VERIFY IN FIELD  
VERT: Vertical  
VYL: Vinyl  
WD: Wood  
WDW: Window  
W.P.M Water Proofing Membrane  
WT: Weight  
YD: Yard

GRAPHIC SYMBOL LEGEND

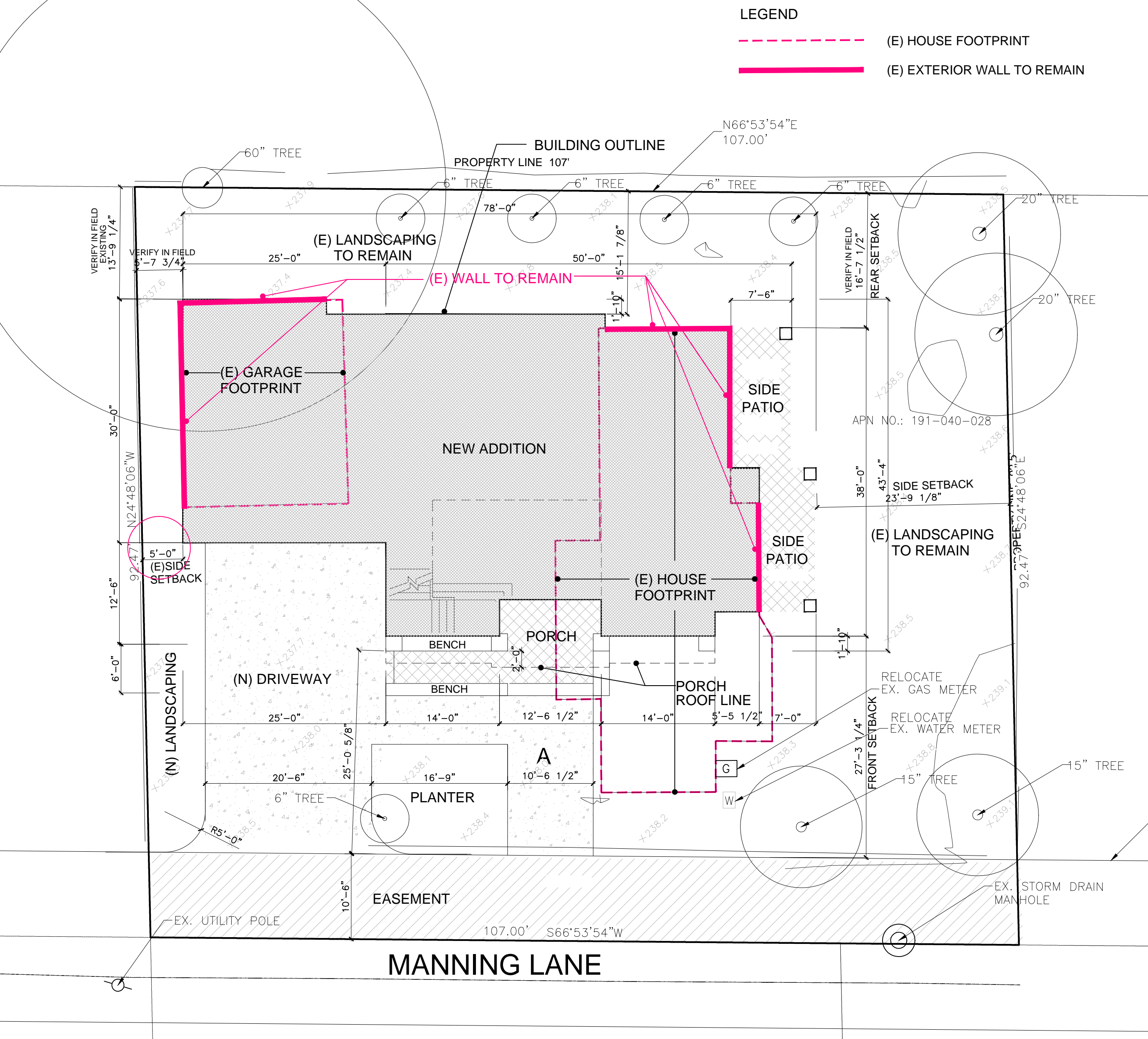


DRAWING DIRECTORY

A-1.1 COVER SHEET AND SITE PLAN  
A-2.1 1ST FLOOR PLAN  
A-2.2 2ND FLOOR PLAN  
A-2.3 ROOF PLAN  
A-3.1 ELEVATIONS & SECTION  
A-3.2 ELEVATIONS & SECTION  
G-1 SURVEY MAP

SCOPE OF WORK:

- 1). Expand (E) house of 1140 sf to 1876 sf on 1st floor to accommodate open living/dining/kitchen and foyer.
- 2). Expand (E) garage to accommodate extra storage and pantry.
- 3). Add 2nd story, to accomodate 4 bedrooms/ 4 baths
- 4). Install new 400AMP electrical panel, heat pump water heater and ducted AC unit ;
- 5). Install new fire sprinkler system, permit separately;
- 6). Modify (E) driveway and front yard landscaping.



SITE PLAN

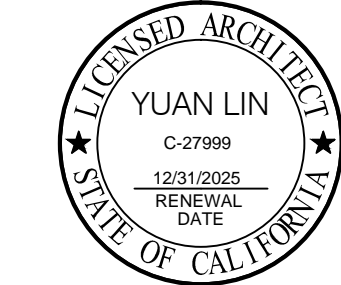
SCALE: 1"=10'-0"

SITE PLAN NOTES

1. SEE GENERAL NOTES ON A2.1 FOR ADDITIONAL INFORMATION
2. THE SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND LIMITED SITE PLAN LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY IN FIELD ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES AND SETBACKS, EASEMENTS, UTILITIES AND SUBSTRUCTURES. SITE SPECIFIC SOILS REPORTS AND CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER NOTES AND DETAILS ON THIS SET OF DOCUMENTS.
3. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. CONSULT A CIVIL ENGINEER FOR SUCH INFORMATION.
4. DISPLACED TOP SOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION
5. ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE COUNTY OF CONTRA COSTA, GRADING ORDINANCE AND ALSO UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
6. AT A MINIMUM, THE PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET(OR OTHER SUITABLE DISCHARGE POINT DETERMINED BY THE CIVIL ENGINEER AND/OR LOCAL GOVERNING AUTHORITY ), VIA A NON-CORROSIVE DEVICE.
7. ALL FOUNDATION PERIMETER AND ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DISCHARGE SYSTEM.
8. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO THE BUILDING, STRUCTURES, OR UTILITY BOXES.
9. SEE LANDSCAPE OR CIVIL DRAWINGS FOR ALL SITE AND HARDSCAPE DRAIN
10. WATER SHOULD BE PREVENTED FROM PONDING ANYWHERE ON THE LOT PARTICULARLY NEAR THE HOUSE. WATERFROM DOWN SPOUTS AND YARD DRAINS SHOULD BE CONNECTED TO TIGHTLINE PIPES THAT CARRY THE WATER TO AVAILABLE DISCHARGE FACILITIES. REFER TO A-4 CALGREEN CHECKLIST.
11. CRAWL SPACES SHOULD BE GRADED IN SUCH A WAY THAT WATER WHICH MAY STILL ENTER THE CRAW SPACE FLOWS TO A LOW POINT WHERE IT CAN BE PIPED BENEATH THE PERIMETER FOUNDATION (GRADE BEAM OR T" FOOTING ) AND DISCHARGED.
12. AT ALL RETAINING WALLS, LANDSCAPE WALLS OR CLOSE PROXIMITY TO STRUCTURES, PROTECTIVE SUB DRAINAGE SHALL BE INSTALLED BENEATH THE FILLS IN THE SWALE AREAS. THE SUB DRAINS SHOULD CONSIST OF A BLANKET OR TRENCH FILLED WITH CLASS TWO PERMEABLE MATERIAL AND HAVING A WIDTH OF AT LEAST 18 INCHES. THE SUB DRAINS SHOULD HAVE A VERTICAL HEIGHT OF 4 FEET AND SHOULD BE INSTALED AT THE BACK OF THE LOWEST ELEVATION POSSIBLE TO PERMIT DAYLIGHT DRAINAGE ON THE PROPERTY(OR TO AN APPROVED DISCHARGE SYSTEM). ENDS OF PIPES SHALL BE RIP RAPPED SO THEY WILL NOT BECOME BLOCKED IN THE FUTURE. SLD. AND SEE CIVIL AND LANDSCAPE PLUS SEE DETAILS FOR ANY REQUIRED WATERPROOFING ALONG THE VERTICAL FACE OF ANY BURIED WALLS.
13. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A SET OF CURRENT, THOROUGH, AND ACCURATE AS-BUILT DRAWINGS AT THE PROJECT SITE.
14. ALL WATER USE SHALL BE METERED EXCEPT FOR USE IN DISINFECTION AND FLUSHING OF WATER MAINS.
15. NO WATER VALVES ON THE EXISTING SYSTEM NOR ANY NEW VALVE CONNECTED TO THE EXISTING SYSTEM SHALL BE OPENED OR CLOSED BY ANYONE EXCEPT AUTHORIZED WATER DEPARTMENT PERSONNEL
16. MAINTAIN, SECURE, AND PROTECT ANY EXISTING WATER SYSTEM FACILITY IN PLACE UNTIL THE PROPOSED WATER SYSTEM IS COMPLETED AND ACTIVATED.
17. PARTS FROM ABANDONED CITY FACILITIES, INCLUDING METERS AND VALVES, SHALL BE RETURNED TO THE WATER DEPARTMENT INSPECTOR.
18. NO EXISTING OR NEW UTILITY METERS OR VAULTS SHALL BE LOCATED WITHIN THE NEW DRIVEWAY APPROACH. ALL EXISTING OR NEW UTILITY VAULTS SERVING THE PROJECT SITE SHALL BE LOCATED ON-SITE AND NOT WITHIN THE PUBLIC UTILITY EASEMENT, IF ANY.



LNx  
ARCHITECTURE  
INC.



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT

OWNER: Mr. & Mrs. Javaid Noorzad

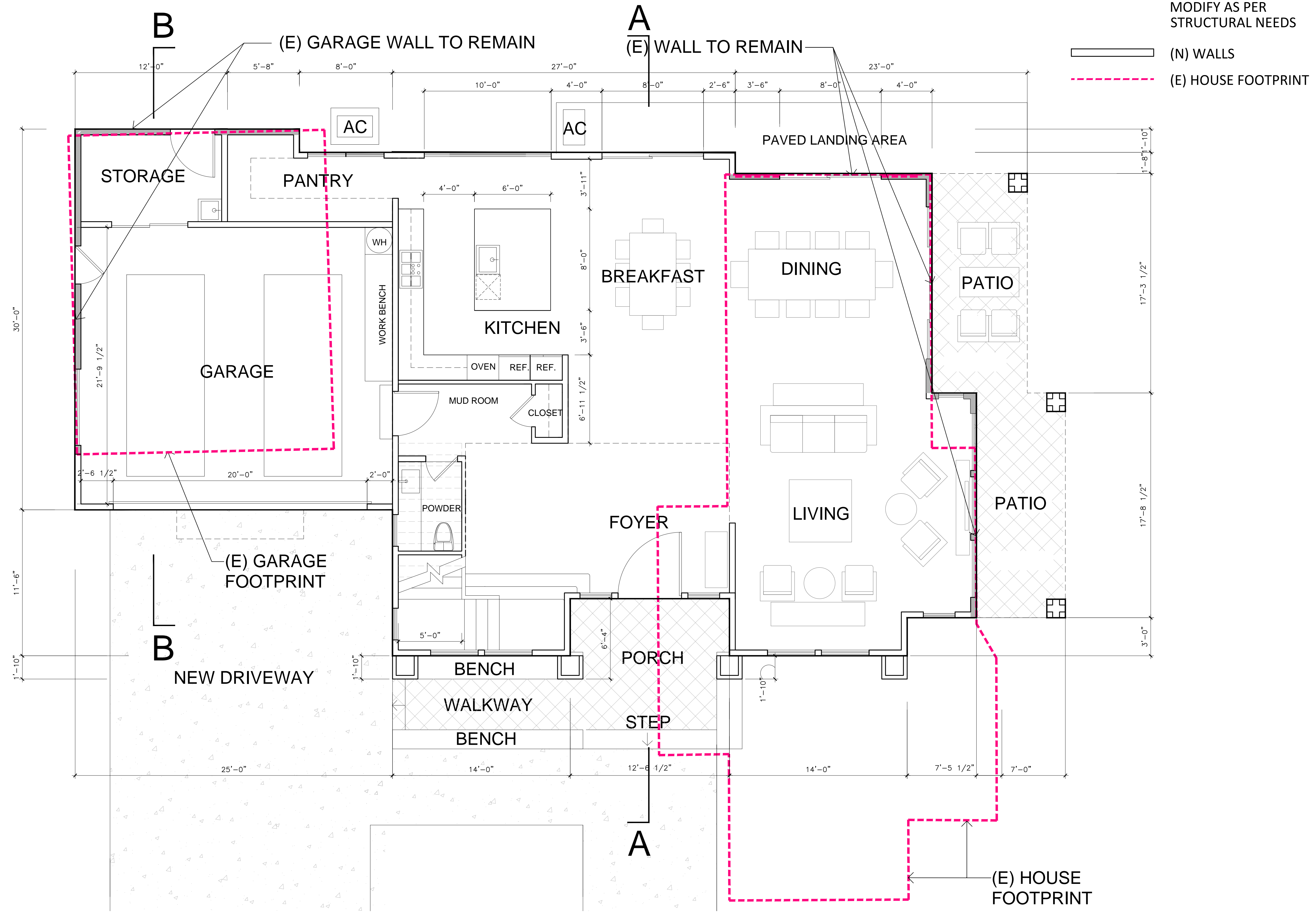
DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

COVER SHEET  
& SITE PLAN

SHEET NO.

A-1.1





PLUMBING FIXTURE SCHEDULE:

FIXTURE TYPE	# OF FIXTURE	FLOW RATE
W.C .	4	1.28 GL/FLUSH
LAV.	6	1.2 GPM@60psi
SHOWERHEAD	3	1.8 GPM@80psi
TUB FAUCET	2	1.8 GPM@80psi
KITCHEN SINK	1	1.8 GPM@60psi
LAUNDRY SINK	1	1.8 GPM@60psi

FLOOR PLAN NOTES

- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING
- 1ST FLOOR INTERIOR BEARING WALLS TO BE 2X6 FRAMING
- REMAINING EXTERIOR WALLS TO BE MODIFIED TO MEET STRUCTURAL NEEDS

NOTES FOR STAIRWAY:

- STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY
- STAIRS TO HAVE MAXIMUM 7.75" RISE AND MINIMUM 10" RUN. CRC R311.7.4.1
- STAIRS TO HAVE MINIMUM 80" Head room

1 PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4"=1'-0"

1ST FL. LIVING AREA: 1741  
2ND FL. LIVING AREA: 2119  
TOTAL LIVING AREA: 3860  
GARAGE AREA: 656  
FRONT PORCH: 82  
SIDE PATIO: 255

LNX ARCHITECTURE INC.

6710 CORTE SANTA MARIA  
PLEASANTON, CA 94566  
EMAIL: yuanlin1102@yahoo.com  
TEL: 925 357 5801



REVISIONS

PROJECT NAME

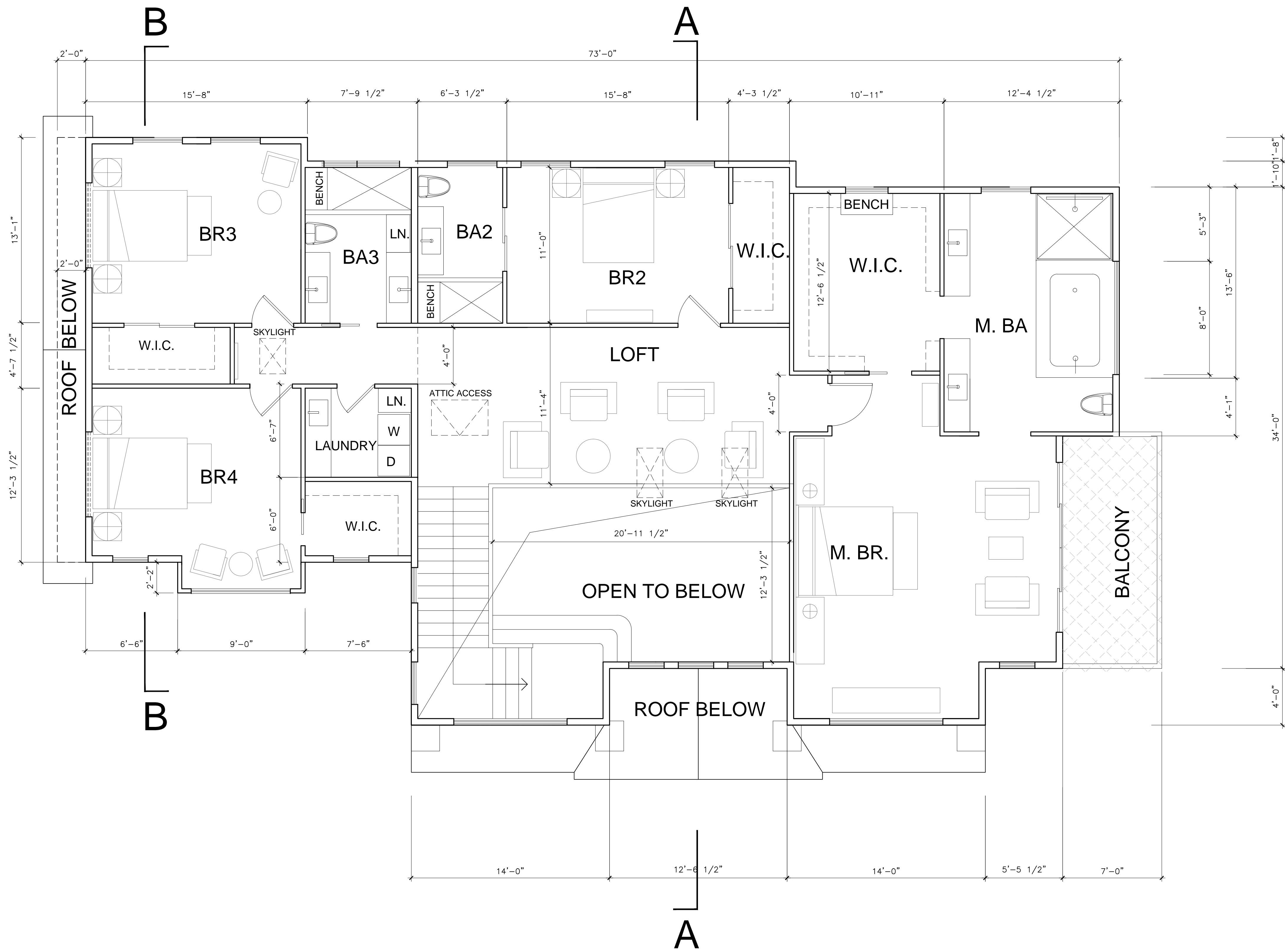
1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javaid NoorZad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

1ST FLOOR PLAN

SHEET NO.





WINDOW / DOOR NOTES

- SH

DH

SLD

SLW

AWN

FX

PKD

CSM

COM

STK

3060

2680

OPT.

⊙
- SINGLE HUNG

DOUBLE HUNG

SLIDING DOOR

SLIDING WINDOW

AWNING WINDOW

FIXED WINDOW

POCKET DOOR

CASEMENT WINDOW

COMBINATION WINDOWS

STACKED WINDOW

3'-0"X8'-0"

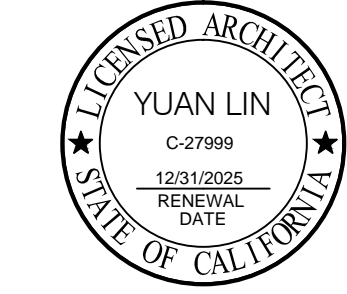
2'-6"X8'-0"

OPTIONAL

TEMPERED GLASS

1 PROPOSED 2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

LIVING AREA: 2119 SF



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA  
A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javald Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

2ND FLOOR PLAN

SHEET NO.

A-2.2

ROOF PLAN NOTES

ROOF PLATE HEIGHTS ARE REFERENCED FROM TOP OF SUB FLOOR AT ENTRY, U.N.O.

CLASS A ROOF COVERING SHALL BE  
MANUFACTURER: OWENS CORNING ROOFING OR EQUAL QUALITY PRODUCT  
TYPE 1: COMP. SHINGLE ROOFING FOR SLOPED ROOF  
COLOR: GRAY

GUTTERS ON ALL ELEVATIONS SHALL BE PROFILED ALUMINUM GUTTERS BY AMERIMAX OR EQUAL

ROOF PITCH SHALL BE AS NOTED ON ROOF PLAN

OVERHANG DIMENSIONS SHALL BE AS NOTED ON ROOF PLAN

DASHED LINES INDICATE WALL(STRUCTURE) BELOW.

LOCATE GUTTERS AND DOWNSPOUTS AS SHOWN. NOTE: LOCATE DOWNSPOUTS MIN. 8" OFF CORNER WHERE POSSIBLE (U.O.N.)

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE (WHERE POSSIBLE) SEE DETAIL 11 /A-4.1

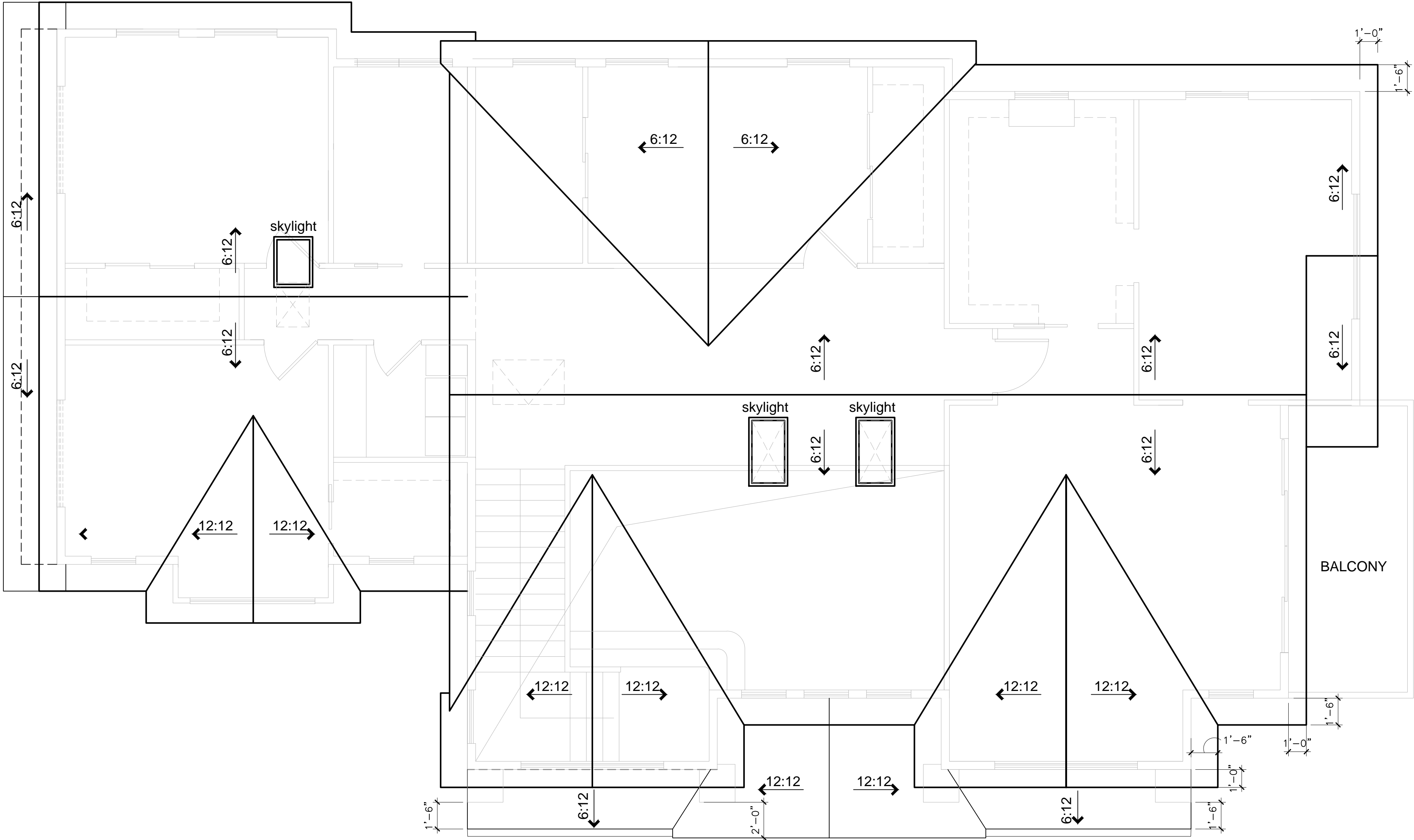
ATTIC VENTILATION SHALL BE PROVIDED PER SECTION 1505.3 OF THE UBC. (SEE CALCULATIONS, THIS SHEET)

LOCATE UPPER AND LOWER ROOF VENTS AS SHOWN ON PLAN.

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I,II,III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. (R905.1.1)

FLASH ALL ROOF VALLEYS (INSTALL FLASHING OVER 30# FELT)

ALL FLASHING SHALL BE 26 GAUGE G.S.M.



1

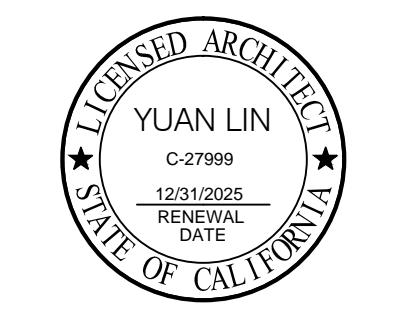
PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



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A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024  
SCALE: AS SHOWN  
SHEET NAME

ROOF PLAN

SHEET NO.

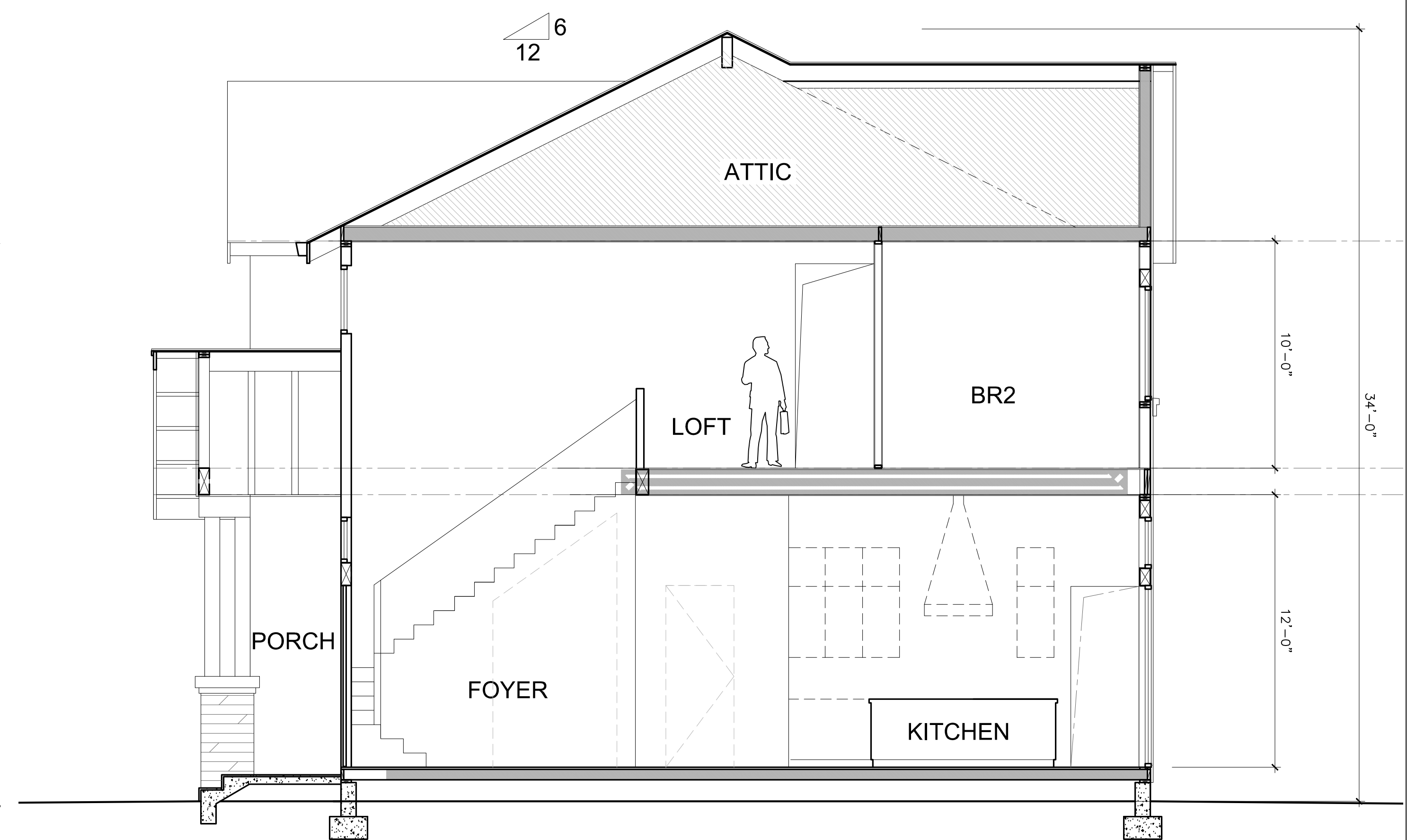
A-2.3



3 FRONT ELEVATION ( SOUTH )  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"

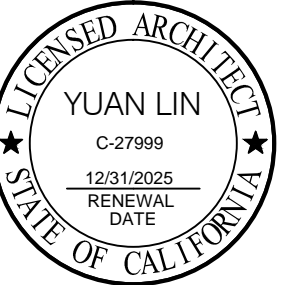


1 BUILDING SECTION A-A  
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



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A HOME EXPANSION PROJECT  
OWNER: Mr. & Mrs. Javald Noorzad

DATE: 06/11/2024  
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SHEET NAME

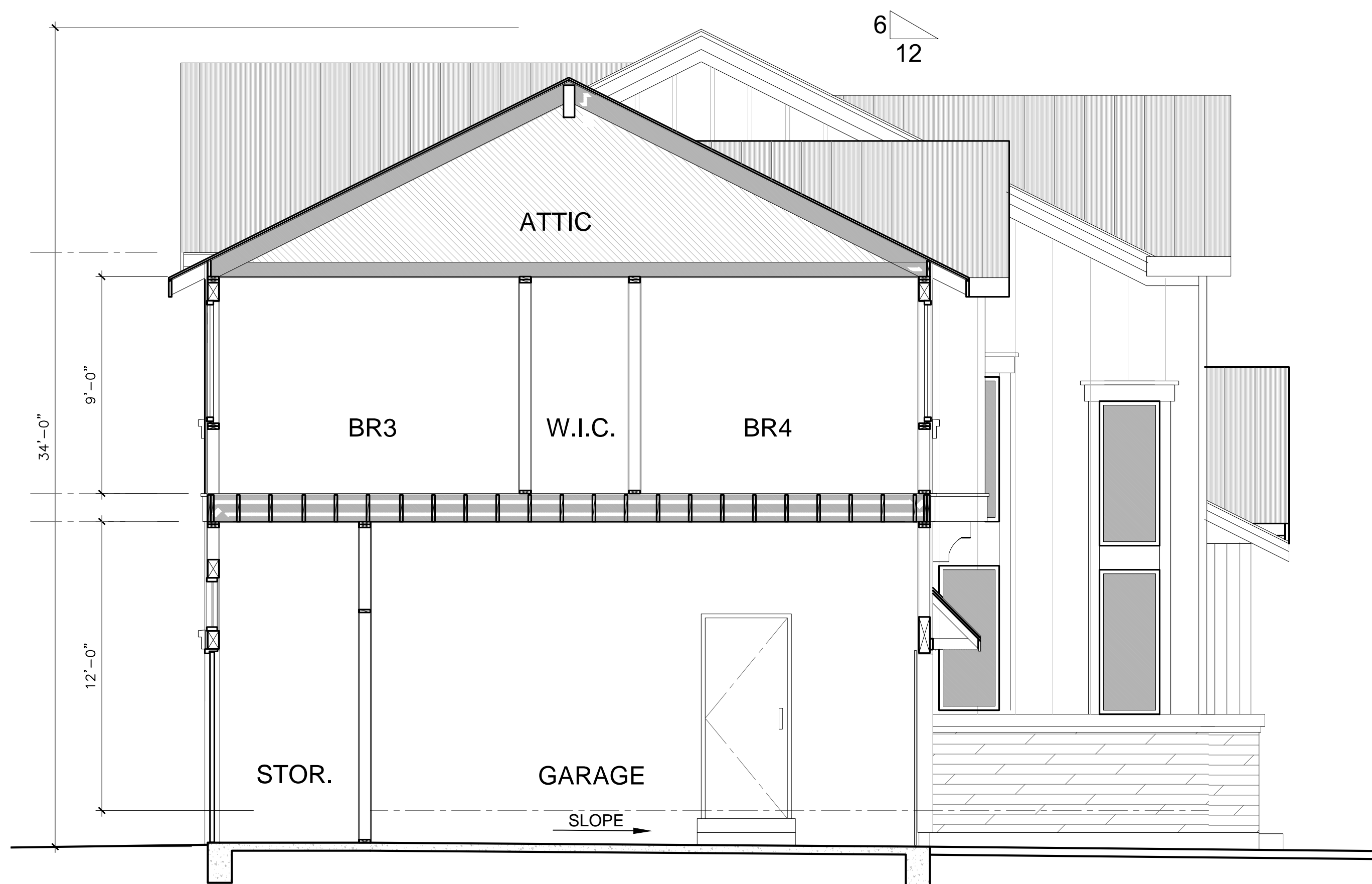
BUILDING  
SECTIONS

SHEET NO.

A-3.2



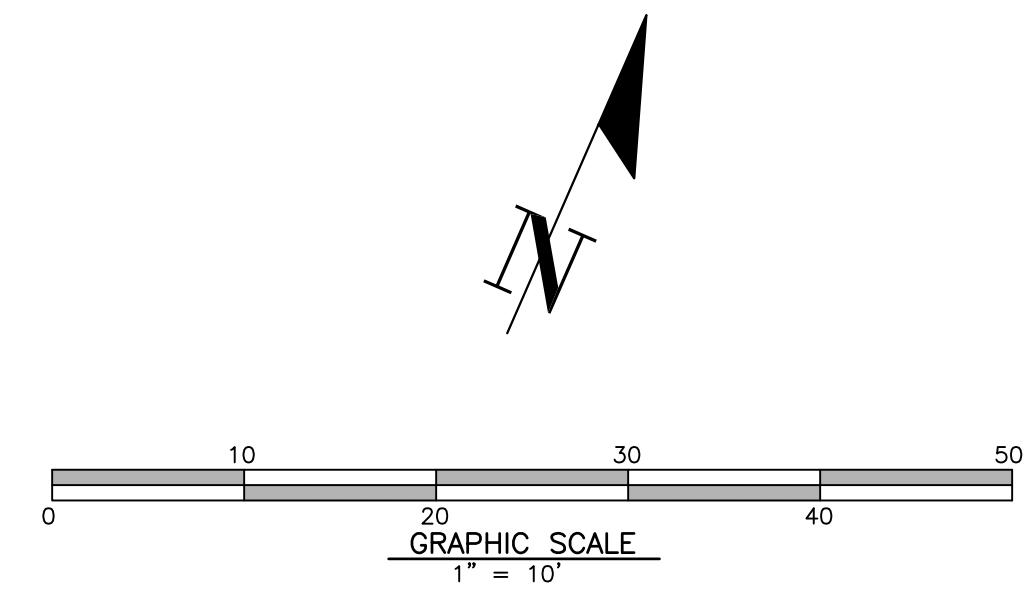
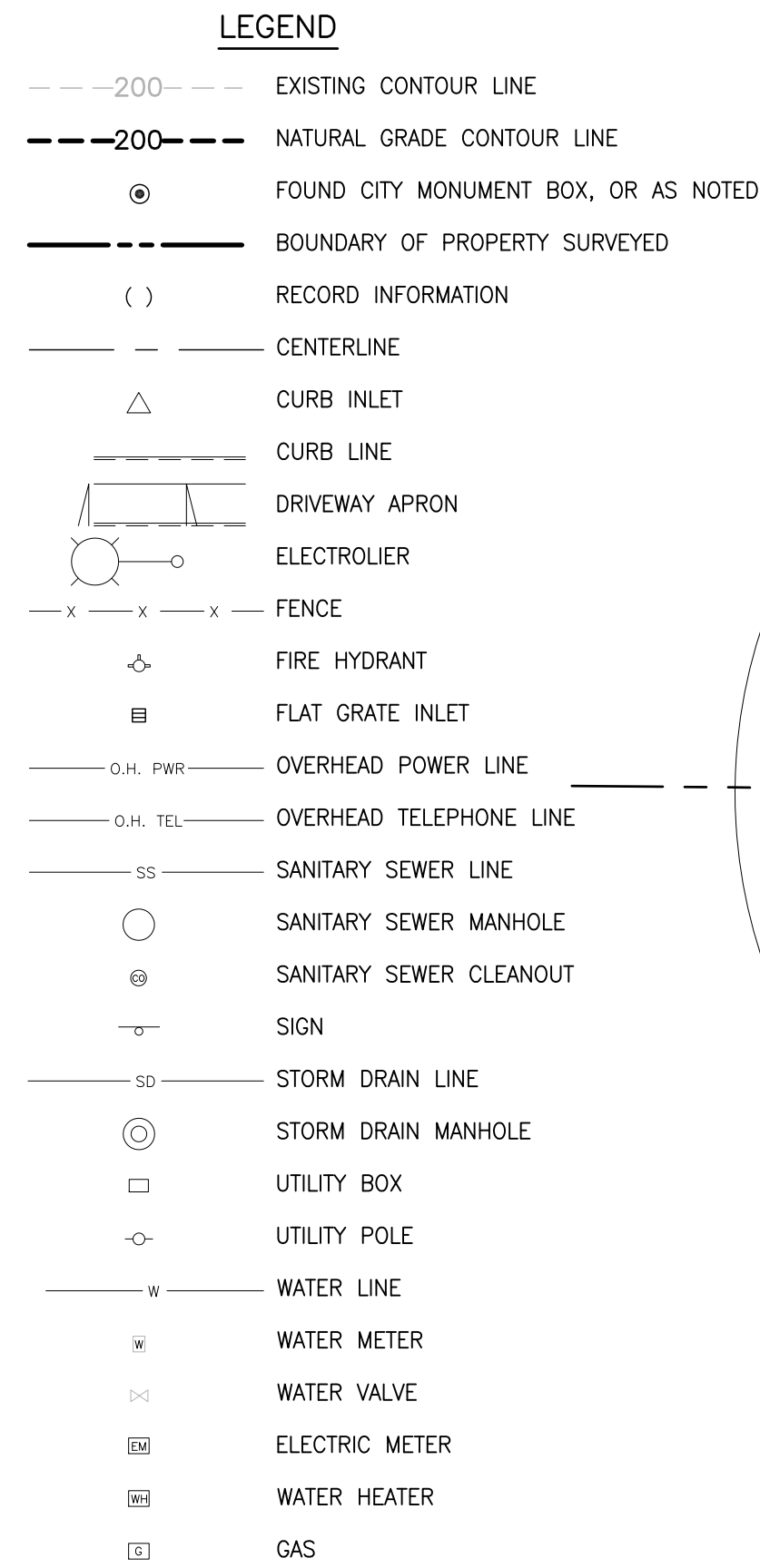
3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



2 SECTION B-B  
SCALE: 1/4"=1'-0"



1 LEFT SIDE ELEVATION(EAST)  
SCALE: 1/4"=1'-0"



### BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE  
SOUTH EASTERLY CORNER OF LOT AS SHOWN:  
PROJECT BENCHMARK 238.86' (NAVD88 DATUM)

## ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
AE	ANCHOR EASEMENT
BM	BENCH MARK
BSL	BUILDING SETBACK LINE
BTRC	BACK/TOP OF ROLLED CURB
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
EX	EXISTING
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
OFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
R#	REFERENCE DOCUMENT
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT
WCE	WIRE CLEARANCE EASEMENT

NOTES:


1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. TREES' SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
3. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
4. UNLESS SPECIFICALLY NOTED, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
6. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
7. TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN

RECORD OF SURVEY NOTE:

THIS PRELIMINARY SURVEY BOUNDARY IS INTENDED FOR INITIAL STUDIES OR PLANNING DESIGN. TO FINALIZE THIS BOUNDARY SURVEY A RECORD OF SURVEY MUST BE FILED PER THE MANDATORY FILING PROVISIONS OF SECTION 8762(B) OF THE PROFESSIONAL LAND SURVEYORS' ACT. OSUNA ENGINEERING, IS CURRENTLY WORKING TOGETHER WITH THE NEIGHBOR SURVEYOR (BAY LAND CONSULTING). BAY LAND CONSULTING WILL FILE A RECORD OF SURVEY WITHIN THE TIME LIMITS PRESCRIBED BY STATE LAW. NOTE THAT ONCE SAID RECORD OF SURVEY IS RECORDED, OSUNA ENGINEERING, INC. WILL FILE A CORNER RECORD OR RECORD OF SURVEY, WHATEVER IS APPROPRIATE, AT THE SET-BACK CORNERS.

NOTE THAT CONSTRUCTION STAKING, NOR PERMANENT FIELD MARKERS/CORNERS, ARE TO BE SET IN THE FIELD UNTIL THE BOUNDARY SURVEY IS FINALIZED.

BY	CITY	DATE	REVISIONS
△			
△			
△			
△			
△			



**OSUNA**  
**ENGINEERING INC.**  
Planning | Surveying | Civil Engineering  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

6920 SANTA TERESA BLVD. 206  
SAN JOSE, CA 95119  
TEL. (408) 772-4381  
[Info@osunaengineering.com](http://Info@osunaengineering.com)

# PRELIMINARY SITE SURVEY

1524 MANNING LANE  
APN.: 191-040-028-0

ALAMO,	Drawn By: J.L./A.Z	Checked: O.O.	Date: 6/12/24
CALIFORNIA			

SHEET  
1  
F 1 SHEETS