



CONTRA COSTA COUNTY

AGENDA - PUBLISHED

Alamo Municipal Advisory Council

Tuesday, June 23, 2026

10:00 AM

Zoom Meeting ID: 873 9677 4616;
Passcode: 539664

Land Use Subcommittee

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call
2. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).
3. CDDP26-03012 – 184 Alamo Square [26-2623](#)
Attachments: [Agency Comment Packet CDDP26-03012 \(2\)](#)
4. CDMS23-00001 - 1260 Livorna Road, Alamo [26-2624](#)
Attachments: [CDMS23-00001 Agency Comment Packet \(Revised\)](#)
5. Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 309 Diablo Road, Danville, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Cameron Collins at Cameron.Collins@bos.cccounty.us



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2623

Agenda Date: 6/23/2026

Agenda #: 3.

Advisory Board: Alamo Municipal Advisory Council

Subject: CDDP26-03012 - 184 Alamo Square

Contact: Diana Lecca, Department of Conservation and Development

Information:

Applicant: WeiHong Yang

Property Owner: David Dornan Project

Location: 184 Alamo Sq, Alamo, CA 94507

Assessor's Parcel Numbers (APN): 197-320-020

Zoning District: M-12 (Multiple-Family Residential District)

General Plan Designation: RM (Residential Medium Density, 7-17 units per net acre)

Project Planner: Diana Lecca, Community Development Division

Project Description

The proposed development involves expanding infrastructure and access components to support residential property upgrades for an existing multi-story townhouse.

The scope of work includes: Installation of a new engineered, expanded structural wooden deck layout, a decorative open-air trellis system, and a secured residential modification.

The proposal requires a non-substantial Development Plan modification for a 225-square-foot first-floor wooden deck footprint where a 150-square-foot deck is currently established, extending outward net additions of 75 square feet into the property lines, and an open-air decorative wooden trellis section situated directly over the upper deck assembly.

These requests are necessitated by the lot's existing multi-story structure, which was established under original planned unit development constraints. Research into the subdivision's history confirms that similar development plan modifications have been granted for residential upgrades on neighboring properties with comparable site constraints.

Variance Requests

The subject parcel is an existing multi-story townhouse configuration within the M-12 district because the property bounds are restricted by immediate historical residential alignments. To accommodate the proposed additions, the applicant requires variances for the structural deck footprint and upper roof coverage area.

Specifically, the installation of the newly engineered deck directly interfaces with the designated property lines to the exterior. The upper trellis section provides a structurally similar replacement for a previously existing 70-square-foot solid roof covering feature. To ensure local code compliance, this trellis will feature an open-air decorative wood layout established, engineered, and maintained directly to satisfy light, air, and aesthetic

standards. Long-term operational upkeep and structural liability for the modified footprint will be managed explicitly under the standard conditions of approval for Tract 4480 (Alamo Bridge). Furthermore, the property is an established multiple-family residential unit, validating the necessity of these residential provisions.

Public Notification

As part of the review process, notification regarding this meeting and the project application has been shared with all neighbors located within 300 feet of the property line.



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Project Summary

County File Number: CDDP26-03012

Submitted Date: 4/9/2026

Applicant: WeiHong Yang

Property Owner: DAVID DORNAN

Project Description:

The applicant requests approval of a non-substantial Development Plan for the replacement of an existing 150 square-foot deck with a new, 225 square-foot deck on the first floor, and the replacement of an existing approx. 70-square-foot roof covering over the deck with a similar size trellis, for an existing townhouse.

Project Location: (Address: 184 ALAMO SQ, ALAMO, CA 94507 193), (APN: 197320020)

Additional APNs:

General Plan Designation(s): RM

Flood Hazard Areas: X

60-dBA Noise Control: NO

Sphere of Influence: NO

Sanitary District: CENTRAL SANITARY

Specific Plan: NO

Zoning District(s): M-12

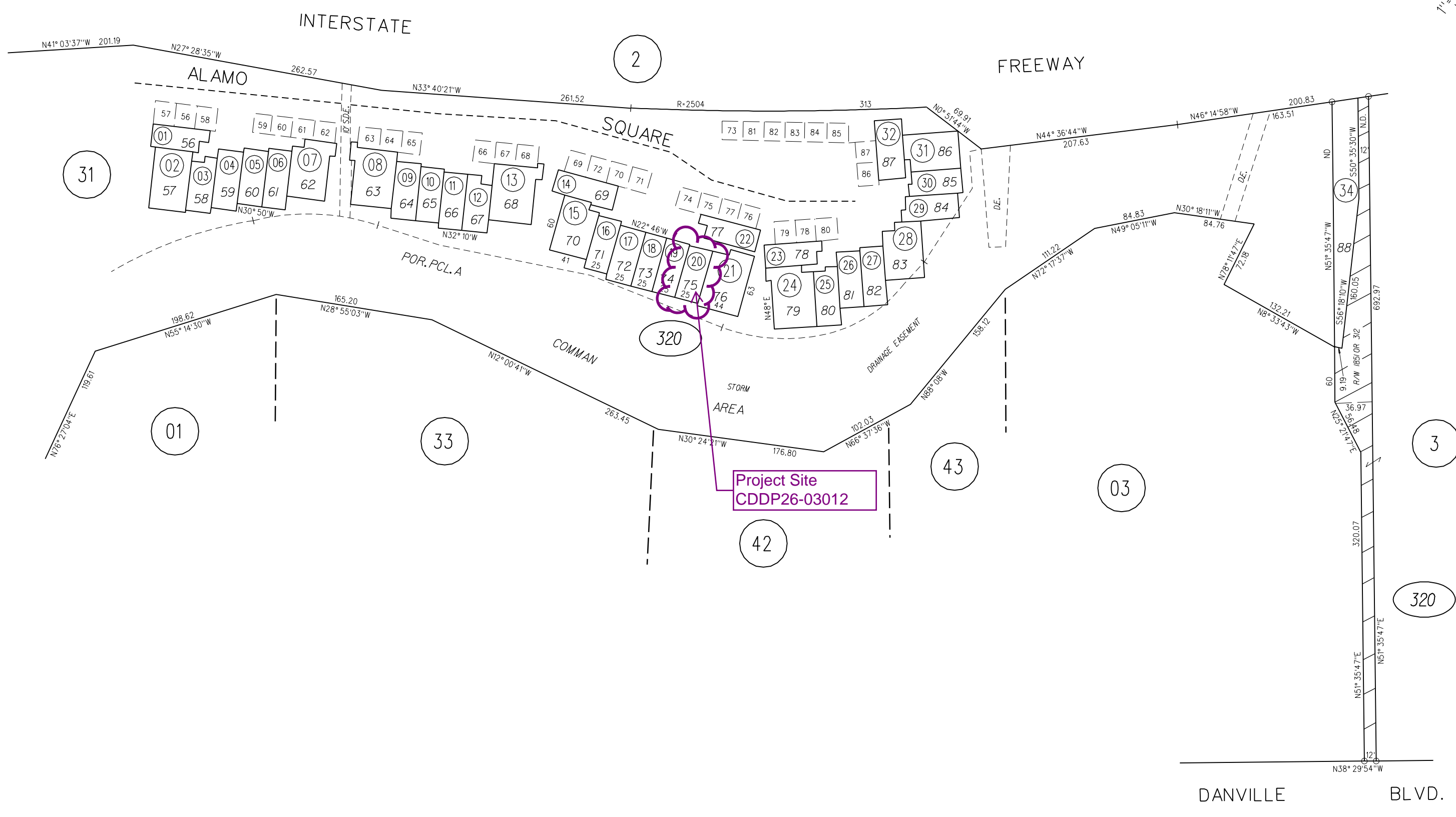
AP Fault Zone: NO

MAC/TAC: ALAMO MAC

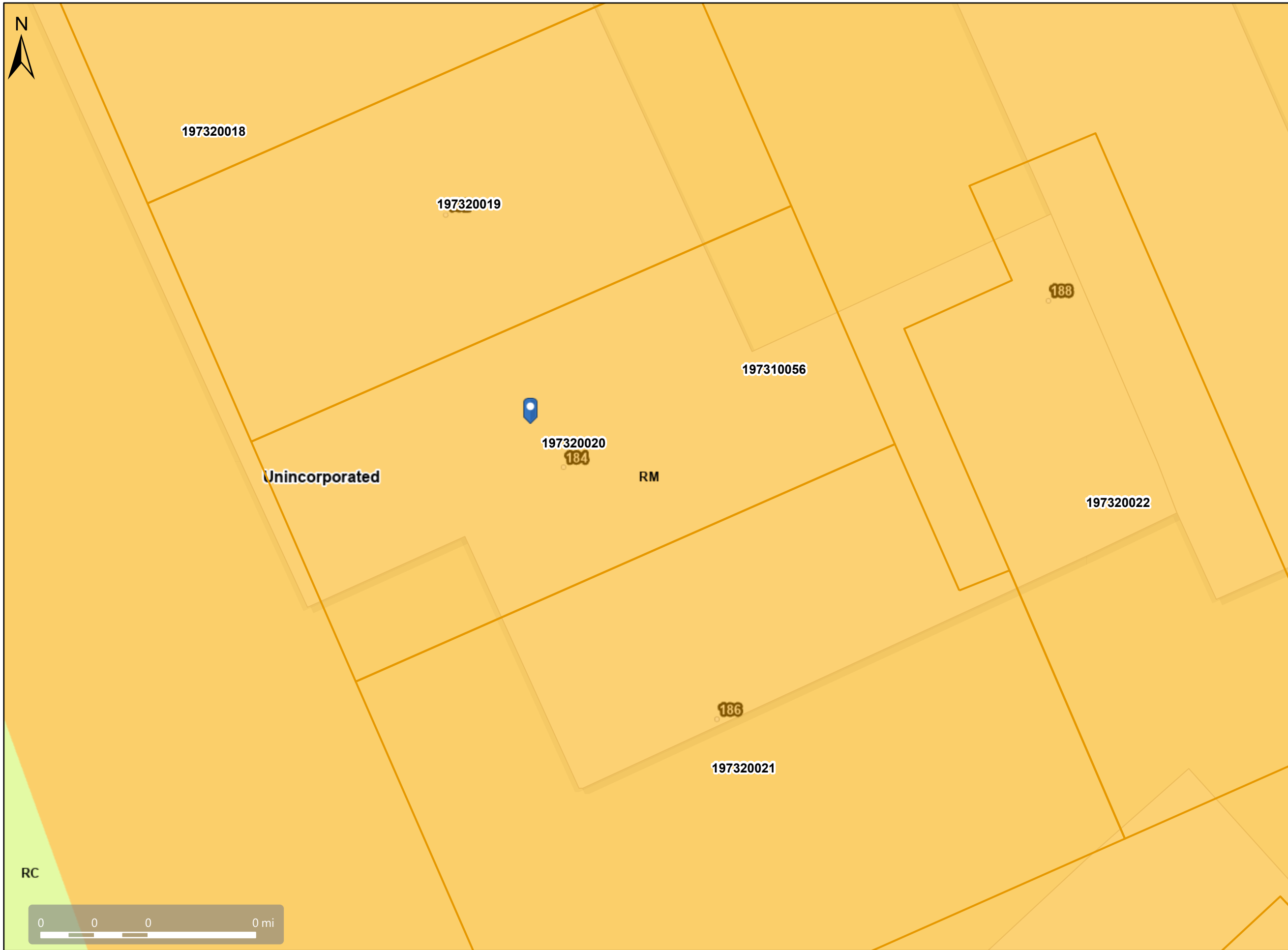
Fire District: SAN RAMON VLY FIRE

Housing Inventory Site: NO

1" = 100'



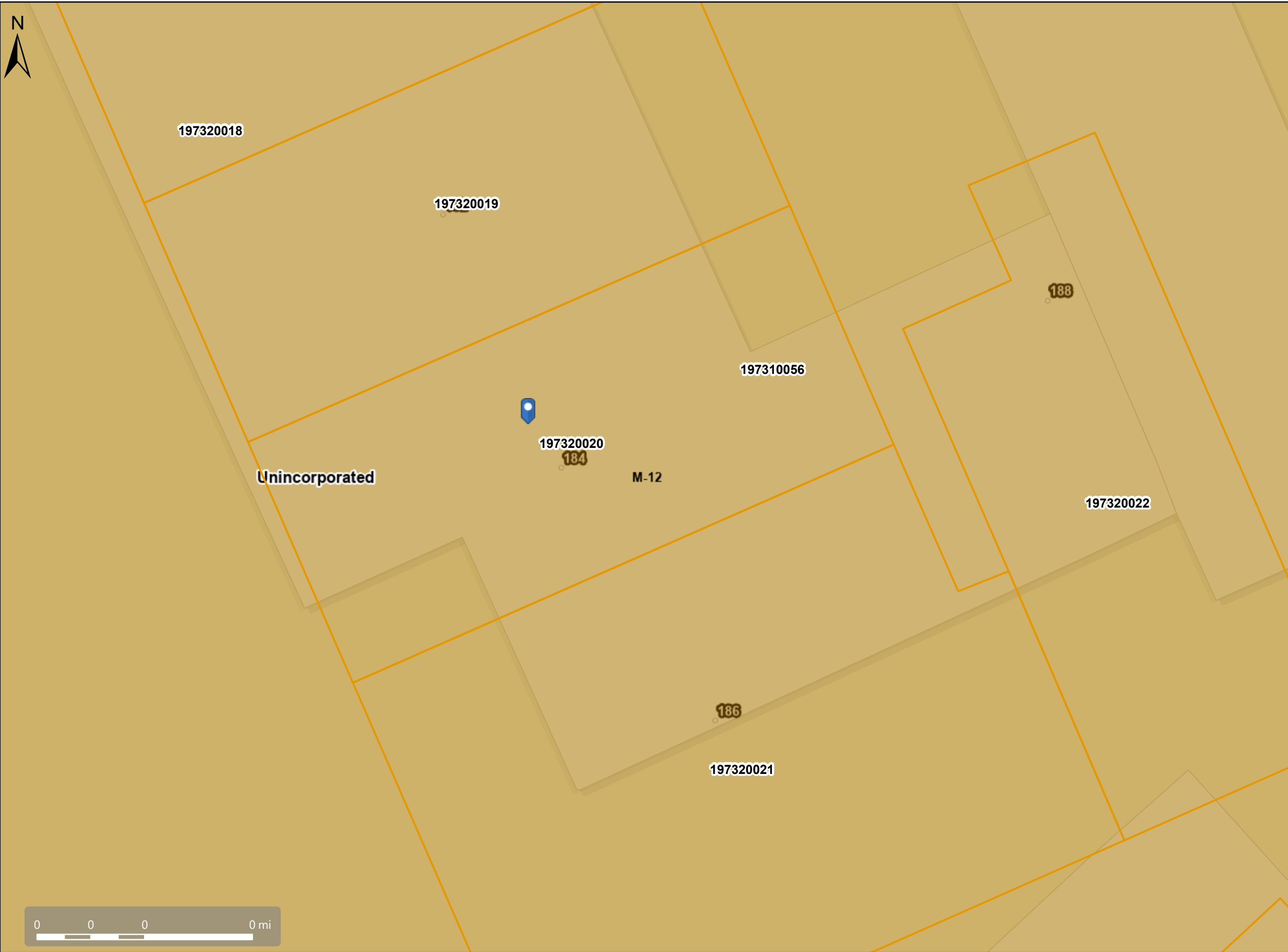
General Plan: RM, Residential Medium Density



Map Legend

- Assessment Parcels
- General Plan
 - RM (Residential Medium Density) (7-17 du/na)
 - RC (Resource Conservation)
 - Unincorporated
- Address Points

Zoning: M-12



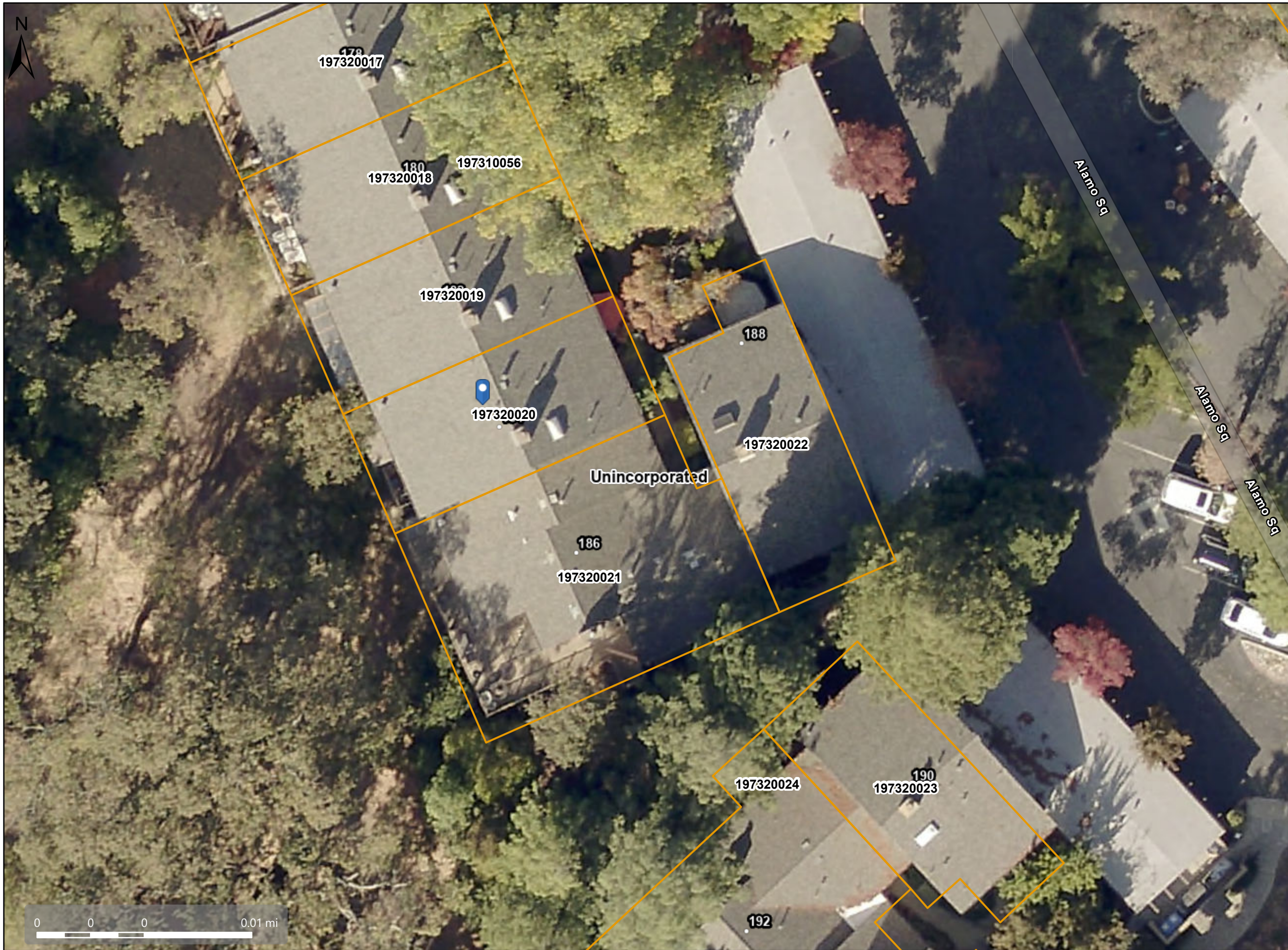
Map Legend

- Assessment Parcels
- Zoning
- ZONE_OVER
 - M-12 (Multiple Family Residential)
 - Unincorporated
- Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Aerial View



Map Legend

- Assessment Parcels
 - Unincorporated
 - Address Points
- Aerials 2019
RGB
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

LIST OF SUMMARY

PROJECT ADDRESS	
184 ALAMO SQ, ALAMO, CA 94507	
SCOPE OF WORK	
1. REMOVE EXISTING DECK (150 SF), AND REBUILT ENLARGED NEW ONE BY EXTENDING OUT 4' (225 SF)	
PROJECT INFORMATION	
APN NUMBER:	197-320-020
CONSTRUCTION TYPE:	V-B
STORY:	2
ZONING:	M-12
OCCUPANCY:	R-3/U
LIVING SPACE AREA:	1757 SF
LOT AREA:	1425 SF

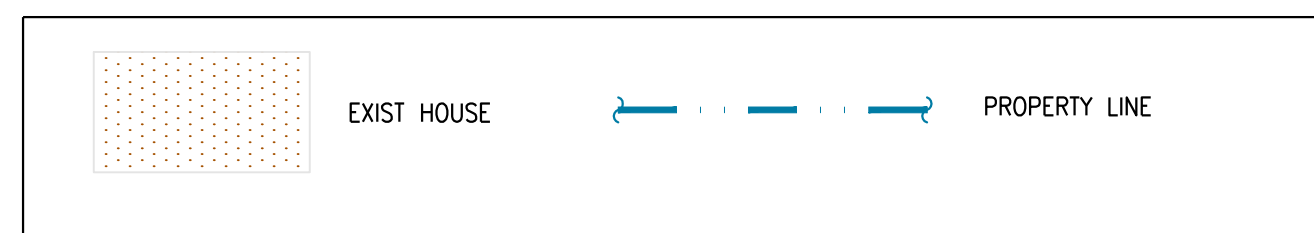
CODE COMPLIANCE:

CALIFORNIA FIRE CODE 2025 EDITION
 CALIFORNIA BUILDING CODE 2025 EDITION
 CALIFORNIA RESIDENTIAL CODE 2025 EDITION
 CALIFORNIA MECHANICAL CODE 2025 EDITION
 CALIFORNIA PLUMBING CODE 2025 EDITION
 CALIFORNIA ELECTRIC CODE 2025 EDITION
 CALIFORNIA GREEN BUILDING CODE 2025 EDITION
 2025 ENERGY EFFICIENCY STANDARDS (TITLE 24)

LIST OF DRAWING SHEETS:

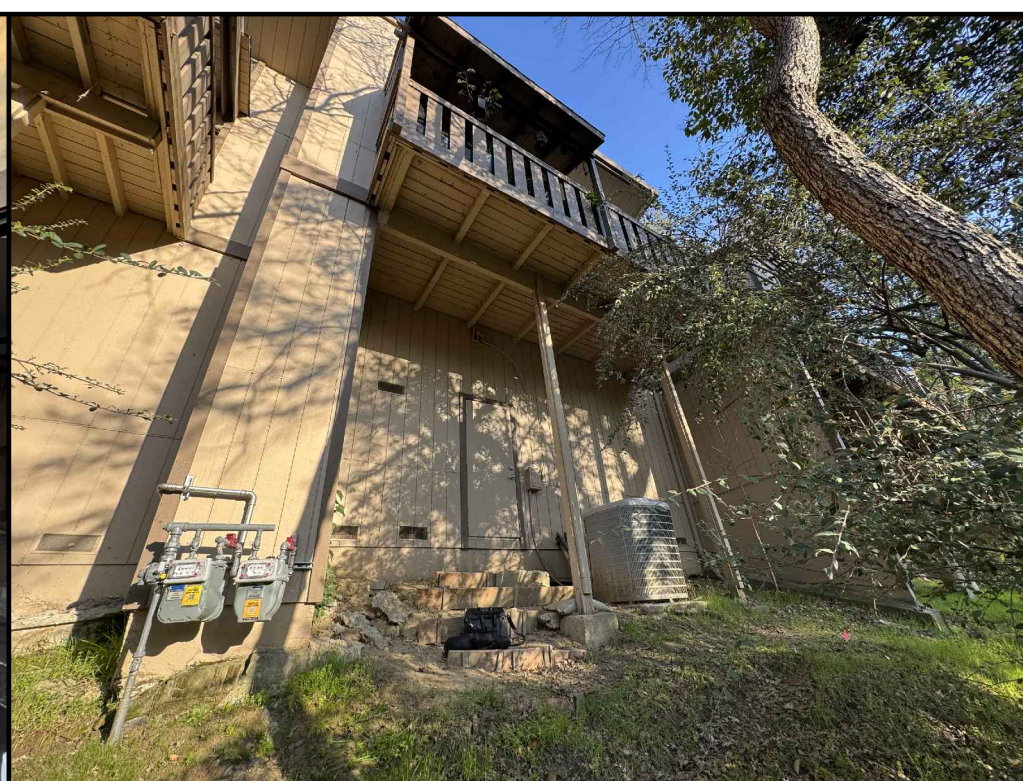
A1.0	SITE PLAN, PROJECT SUMMARY, LIST OF DRAWING SHEETS, PARCEL MAP & SITE PHOTOS
A2.1	EXISTING 1st & 2nd FLOOR/DEMOLITION PLANS
A2.2	PROPOSED 1st & 2nd FLOOR PLANS
A3.1	EXISTING & PROPOSED ELEVATIONS
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES
<hr/>	
S1.0	GENERAL NOTES, SYMBOLS AND ABBREVIATIONS & TYPICAL DETAILS
S2.1	FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN
S2.2	2ND FLOOR FRAMING PLAN & DETAILS
S3.1	DETAILS I
S3.2	DETAILS II
S3.3	DETAILS III

LEGEND



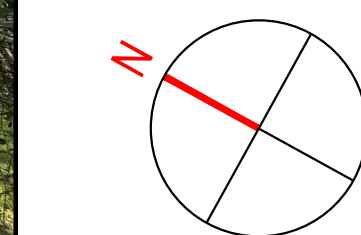
CONSTRUCTION NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER or ARCHITECT OF ANY CONDITIONS TO BE FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, or OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT, IN THE CASE OF CONFLICT BETWEEN EXISTING BUILDING AND ARCHITECTURAL PLANS AND ELEVATIONS, NOTIFY APPLICABLE PARTIES IMMEDIATELY.

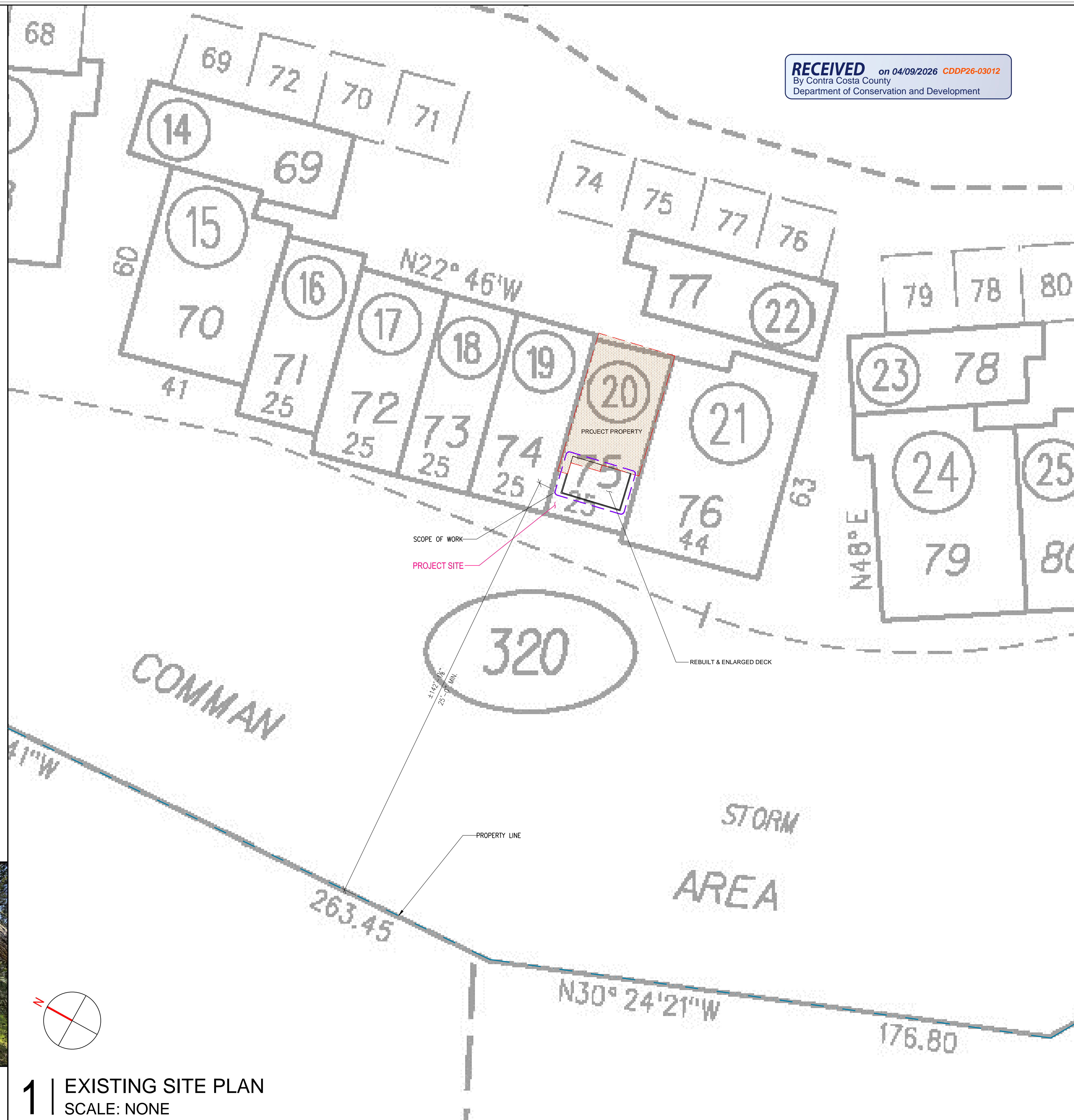


3 | SITE PHOTO II
SCALE: NONE

2 | SITE PHOTO I
SCALE: NONE



1 | EXISTING SITE PLAN
SCALE: NONE



RECEIVED on 04/09/2026 CDDP26-03012
 By Contra Costa County
 Department of Conservation and Development

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL ENGINEERING SERVICE
 ADD: PO BOX 390695 MOUNTAIN VIEW CALIFORNIA 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING
 184 ALAMO SQ, ALAMO, CA 94507

DATE: 04/03/2026
 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
 SITE PLAN, PROJECT SUMMARY, LIST OF DRAWING SHEETS, PARCEL MAP & SITE PHOTOS

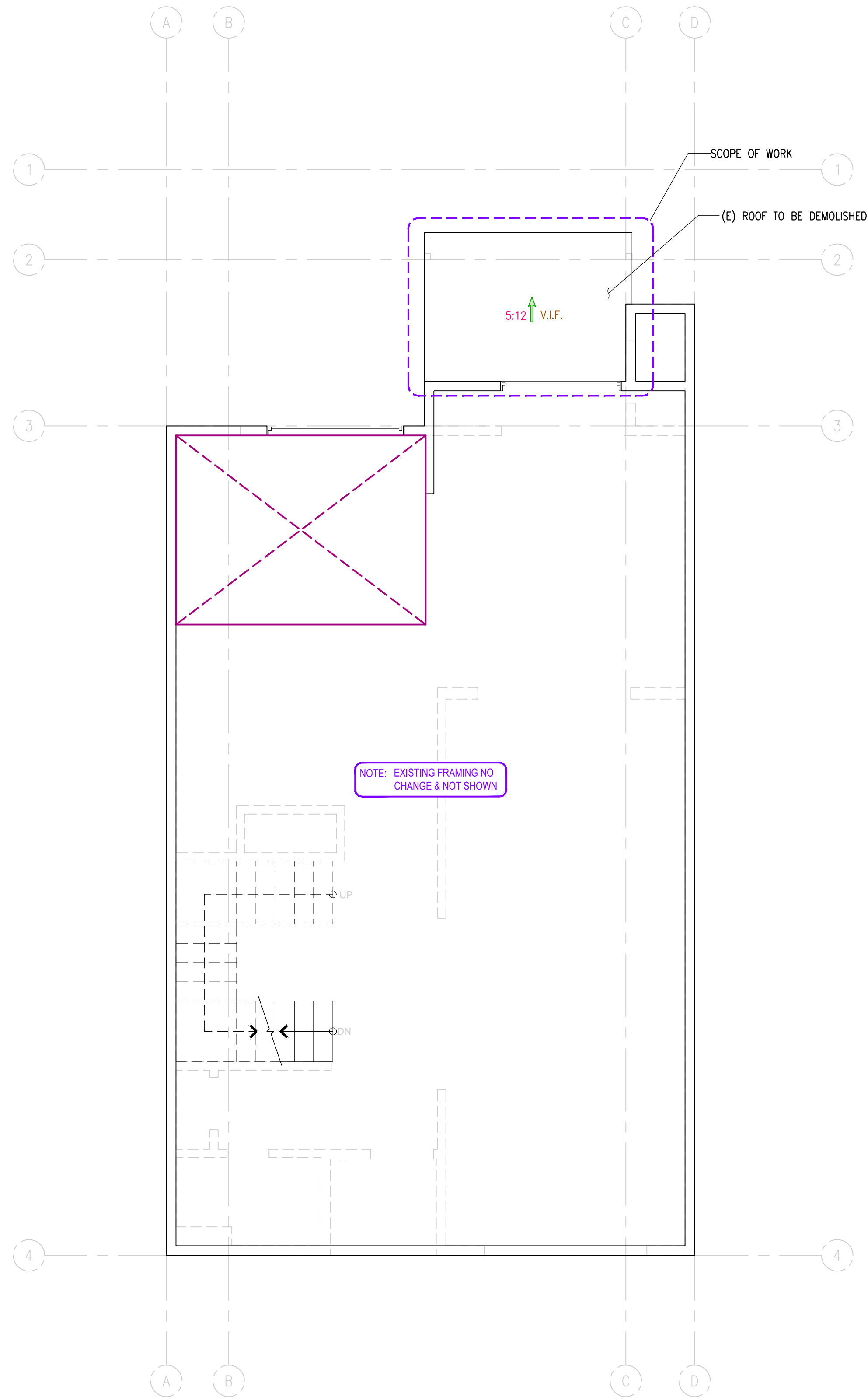
JOB No.: 2603
 SCALE: AS NOTED
 SHEET:

A1.0

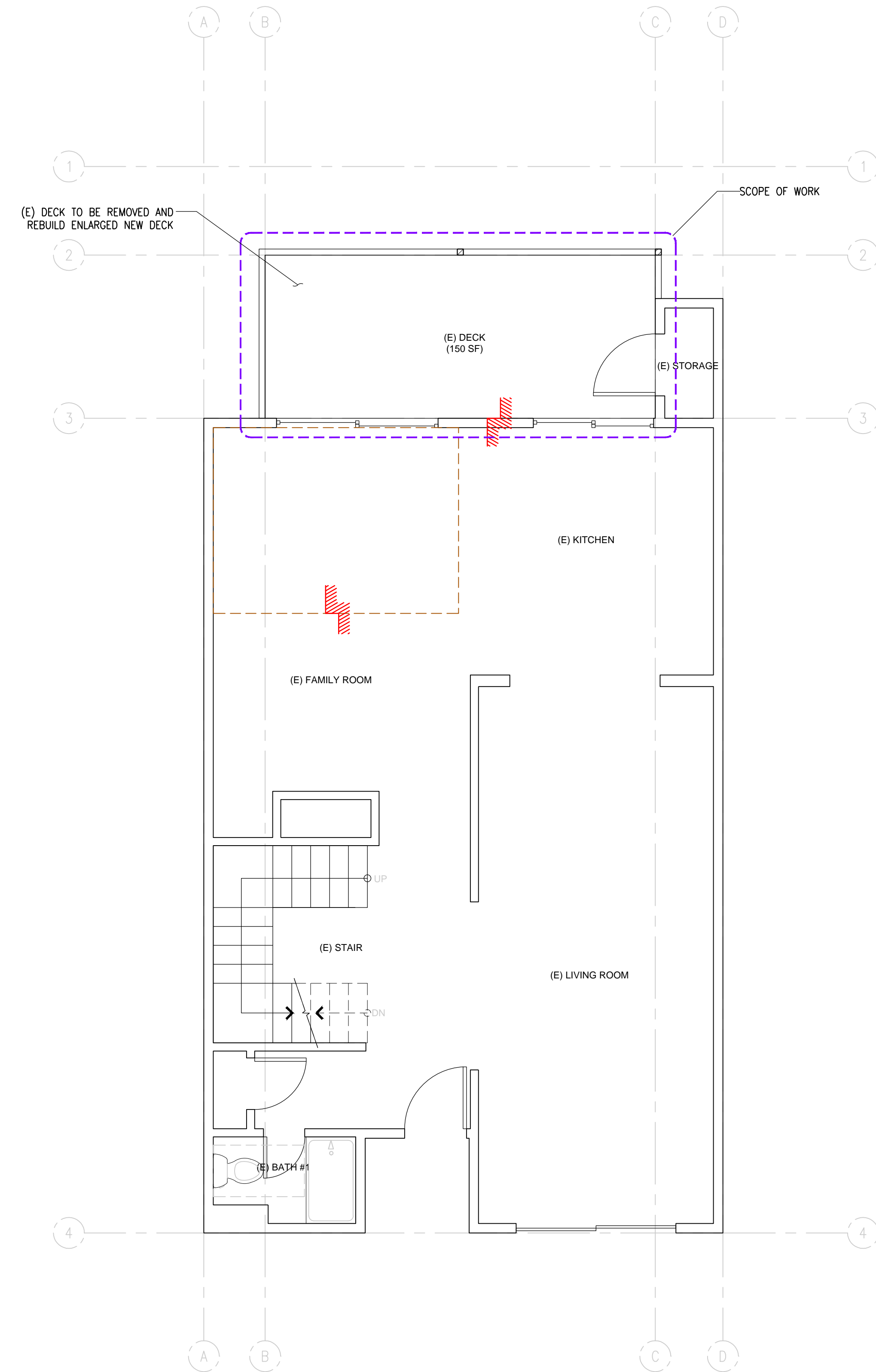
NOTE: THIS SHEET SHOULD BE 24"x36"

LEGEND

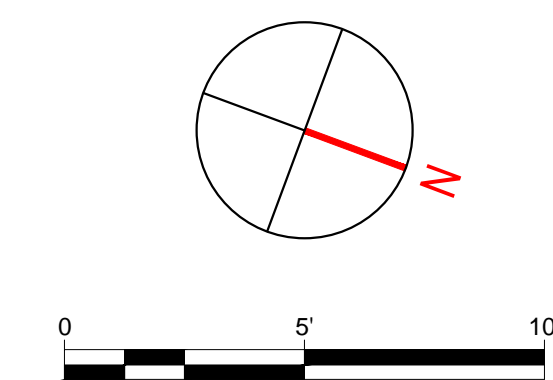
EXISTING WALL
 WALL BELOW, WHERE OCCURS
 INDICATE CHANGE IN ELEVATION, WHERE OCCURS
 V.I.F.
 SPECIAL NOTES:
 SEE SHEET A1.R FOR MORE LEGEND INFO. NOT SHOWN



2 | EXISTING 2ND FLOOR/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 | EXISTING 1ST FLOOR/DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL
 ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW
 CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING

184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026
 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
 EXISTING 1ST & 2ND
 FLOOR/DEMOLITION
 PLANS

JOB NO.: 2603
 SCALE: AS NOTED
 SHEET:

A2.1

NOTE: THIS SHEET SHOULD BE 24"x36"

LEGEND

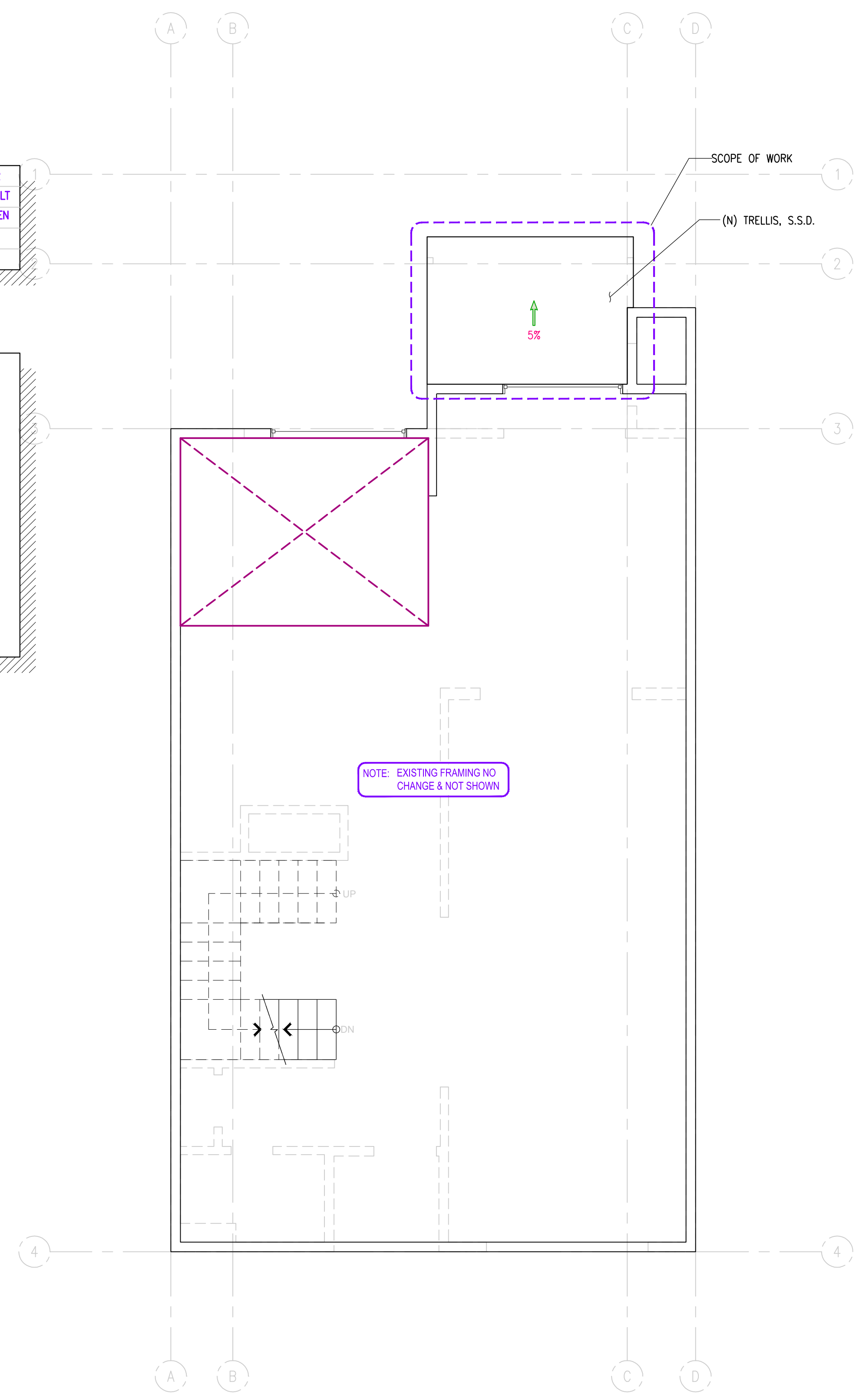
EXISTING WALL
 WALL BELOW, WHERE OCCURS
 INDICATE CHANGE IN ELEVATION, WHERE OCCURS
 SPECIAL NOTES:
 SEE SHEET A1.R FOR MORE LEGEND INFO. NOT SHOWN

GENERAL DRAWINGS NOTES:

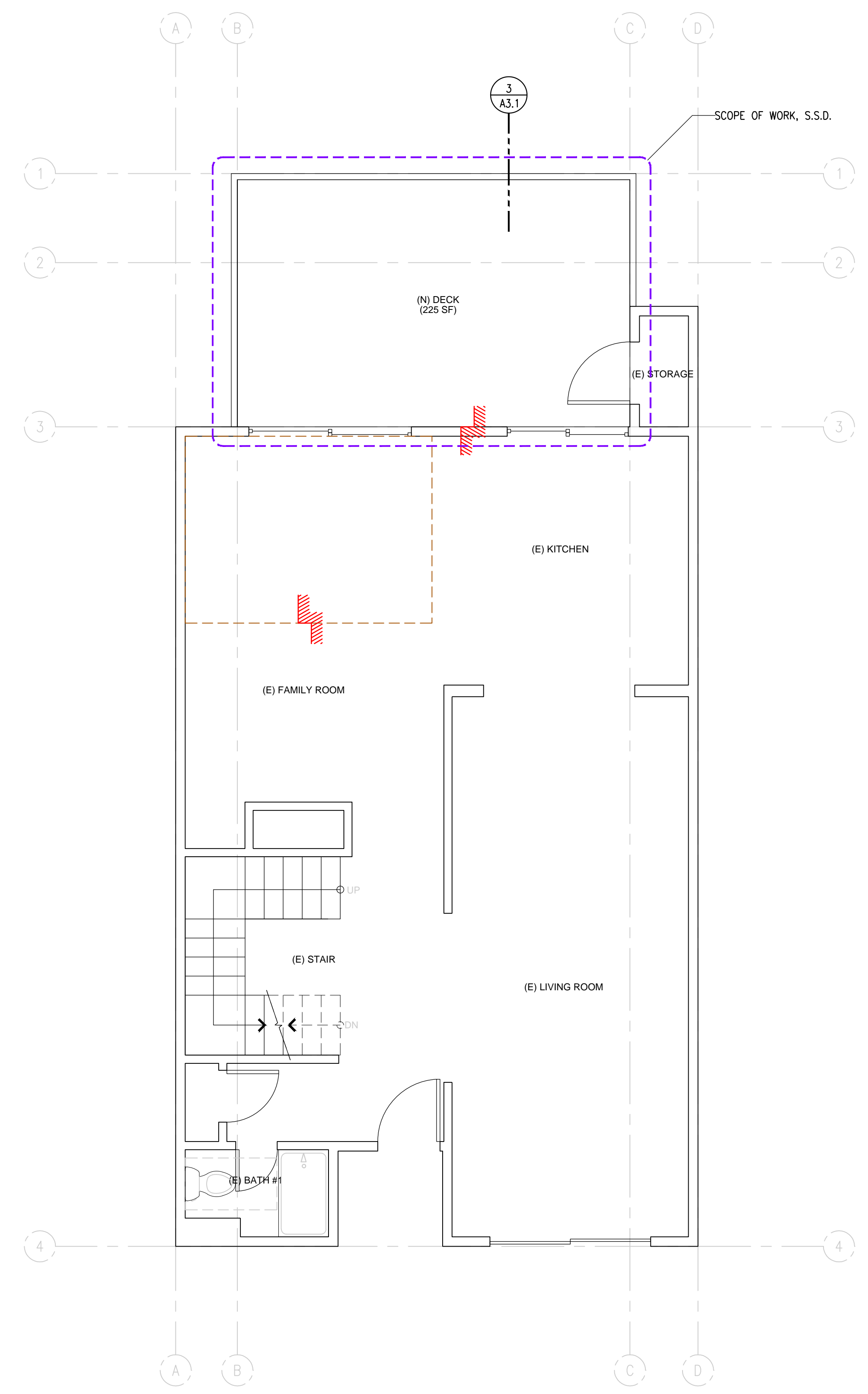
1. THE DIMENSIONS IN THIS SHEET IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THE REAL FIELD DIMENSIONS FOR THE EXISTING AND AS-BUILT STRUCTURES, INCLUDING CEILING HEIGHT, BEFORE ORDERING THE KITCHEN & BATH CABINETS, ETC. DO NOT SCALE DRAWINGS.

NOTES OF RAIL:

1. GUARDRAIL REQ'D AT WALKING SURFACE 30" OR MORE ABOVE GRADE.
2. GUARDRAIL SHALL NOT BE LESS THAN 42" IN HEIGHT.
3. OPENINGS IN GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.
4. THE BOTTOM CONNECTION OF THE GUARDRAIL TO SHOW THE CONNECTION IS CAPABLE OF RESISTING 200 LBS LOAD APPLIED ON TOP OF THE RAIL IN ANY DIRECTION.
5. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, SHALL NOT BE LESS THAN 34" OR MORE THAN 38".
6. HANDGRIPS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4", AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".



2 | PROPOSED 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 | PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL
 ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW
 CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



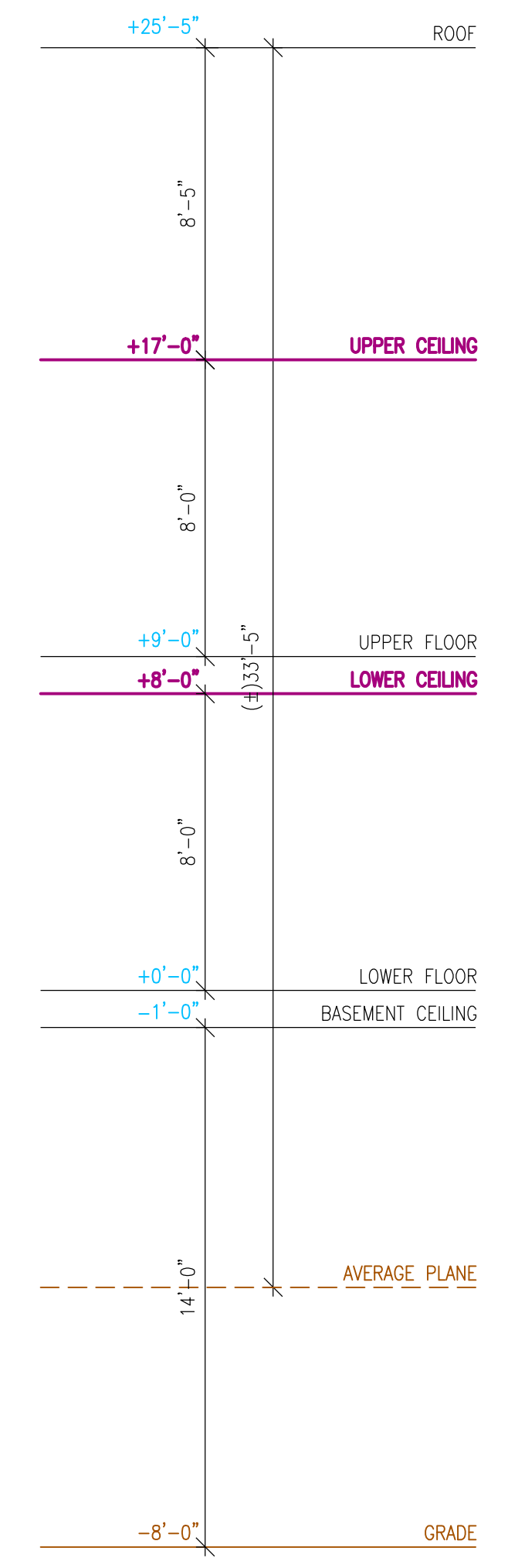
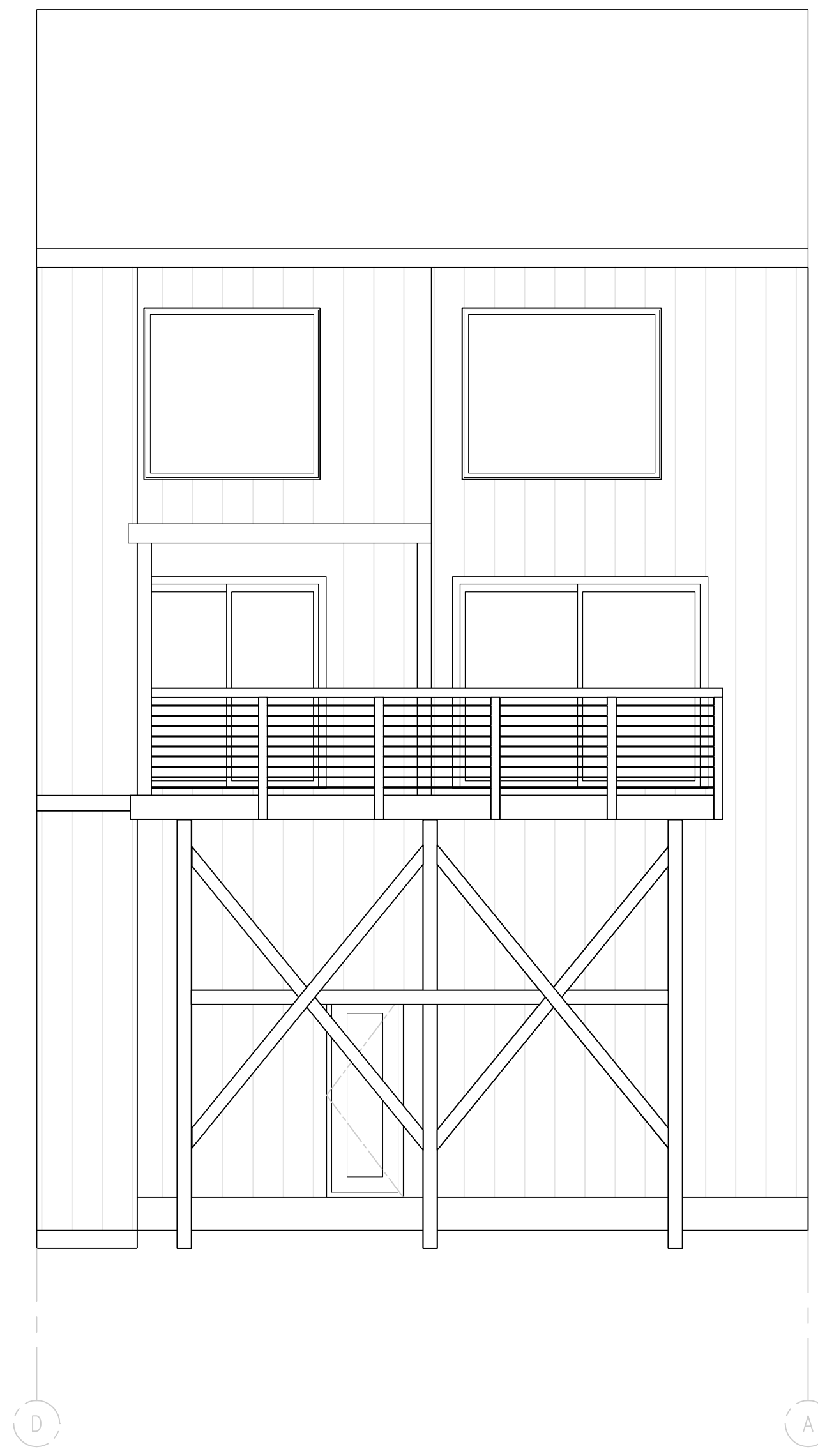
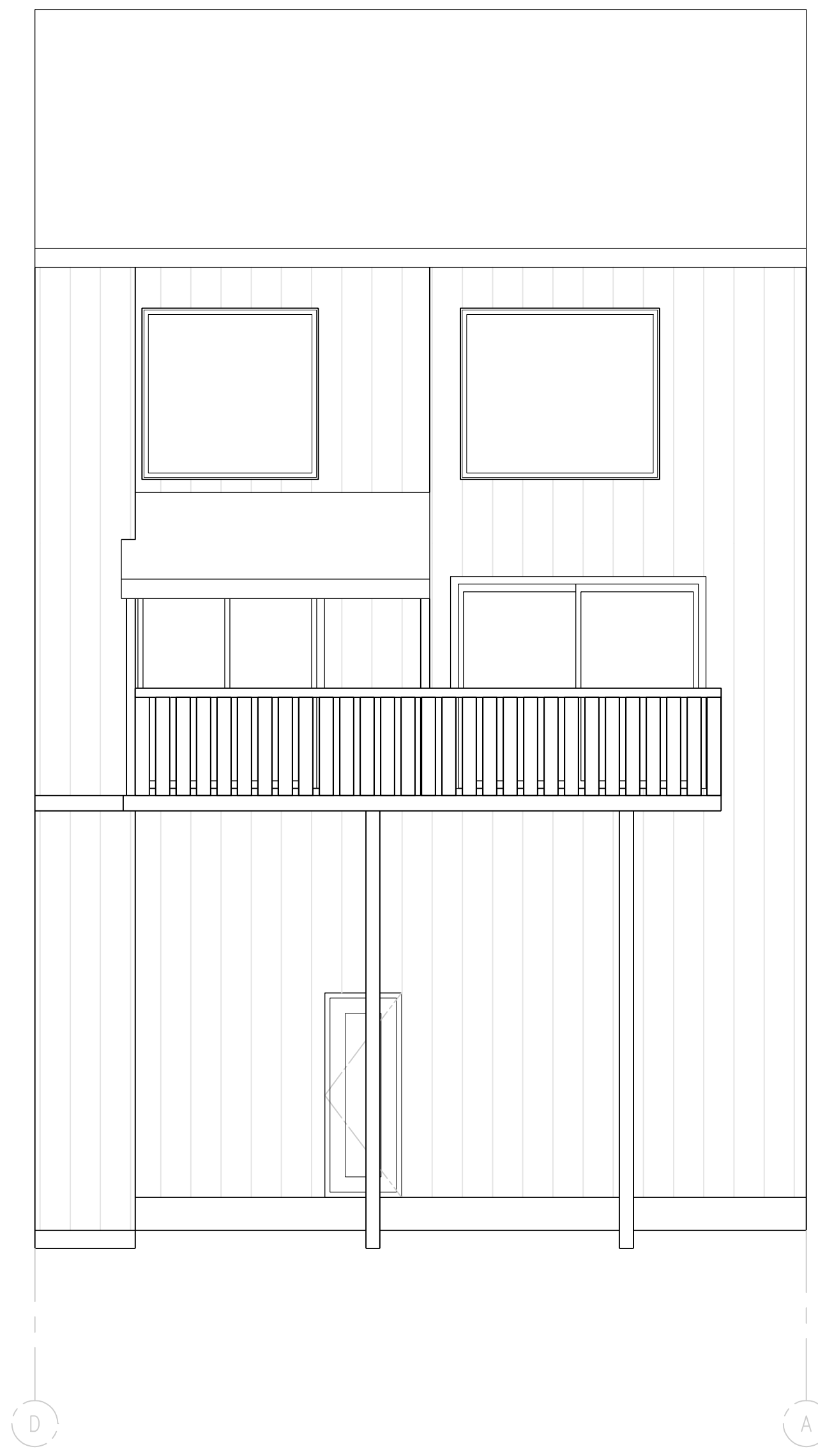
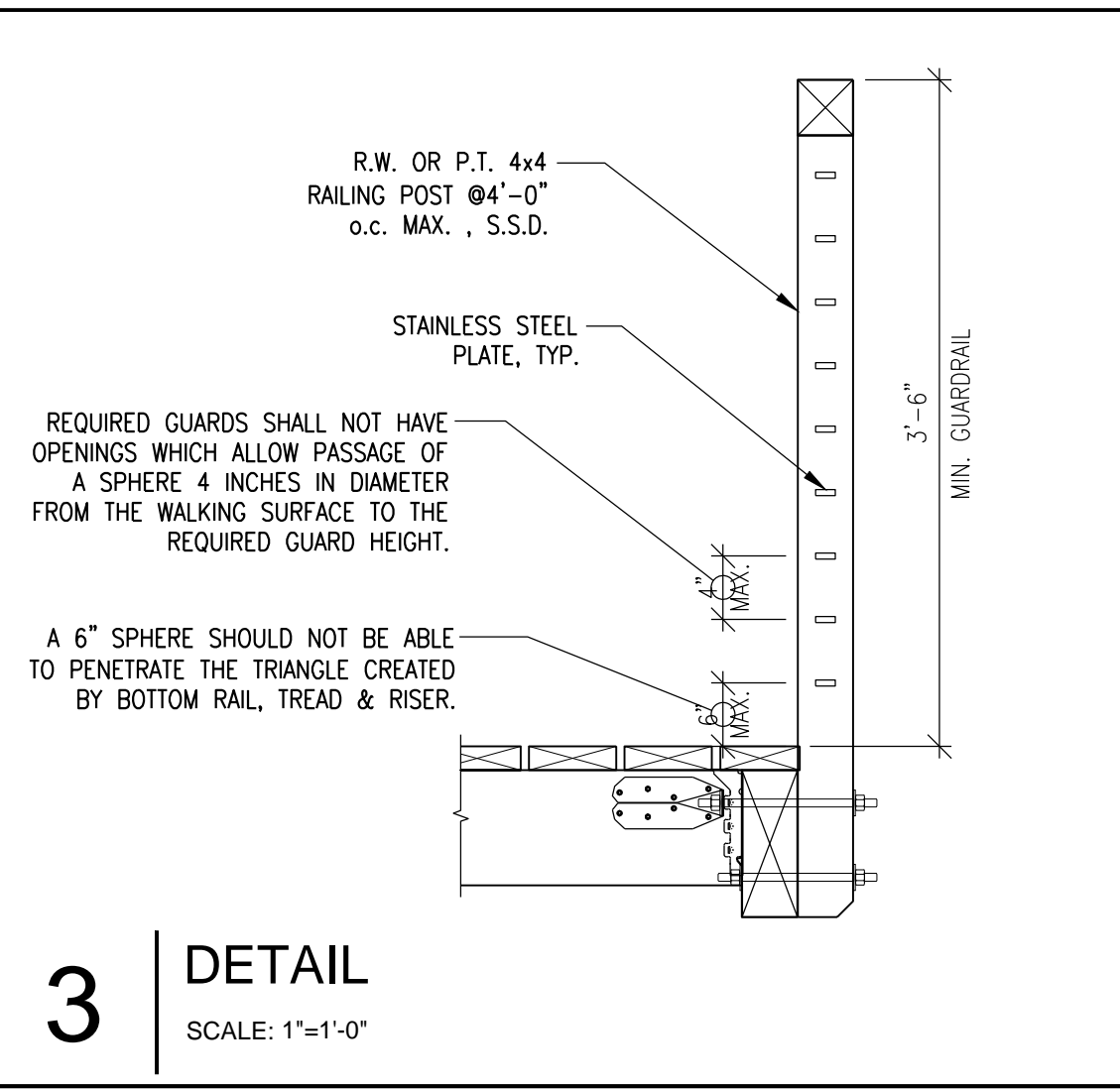
DECK REBUILDING
 184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026
 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
PROPOSED 1ST & 2ND FLOOR PLANS
 JOB No.: 2603
 SCALE: AS NOTED
 SHEET:
A2.2

NOTE: THIS SHEET SHOULD BE 24"x36"



STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL
ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW
CALIFORNIA
94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

DATE: 04/03/2026 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
EXISTING & PROPOSED ELEVATIONS

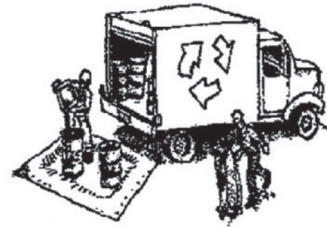
JOB No.: 2603
SCALE: AS NOTED
SHEET:

A3.1

NOTE: THIS SHEET SHOULD BE 24"x36"

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



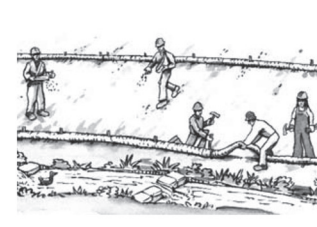
EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

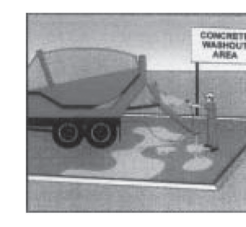


PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.



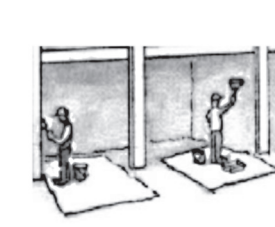
CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



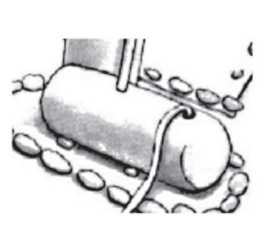
PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.



DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

GENERAL NOTES

GENERAL

THESE NOTES APPLY TO THE "S" SERIES OF STRUCTURAL DRAWINGS.
ALL WORK SHALL COMPLY WITH THE DRAWINGS AND AS WELL AS, THE MINIMUM REQUIREMENTS OF THE 2025 CALIFORNIA BUILDING CODE (CBC).

WHERE DIMENSIONS ARE NOT INFERRABLE FROM THE FRAMING PLAN DRAWINGS, CONTRACTOR MAY SCALE THE DRAWINGS ONLY TO ESTIMATE THE LENGTH OF MEMBERS. DRAWINGS SHALL NOT BE SCALED FOR THE PURPOSE OF PREPARING SHOP DRAWINGS OR CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE. THE CONTRACTOR SHALL COMPARE STRUCTURAL DRAWINGS WITH EXISTING CONDITIONS BEFORE COMMENCING WITH THE WORK, AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES REQUIRING CLARIFICATION OR REVISION. DO NOT SCALE STRUCTURAL DRAWINGS. CONTACT OWNER'S REPRESENTATIVE FOR CLARIFICATION.

FOR PROPER FIELD OBSERVATION BY THE STRUCTURAL ENGINEER, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE VARIOUS CONSTRUCTION PHASES.

OBSERVATION VISITS TO THE JOB SITE BY THE ENGINEER'S FIELD REPRESENTATIVE SHALL BE CONSTRUED AS NEITHER INSPECTION NOR APPROVAL OF CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND SHORING PARTIALLY COMPLETED PORTIONS OF WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER OR ARCHITECT OF ANY CONDITIONS TO BE FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, OR OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT; IN THE CASE OF CONFLICT BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS, DETAILS, EXISTING CONDITION AND/OR SPECIFICATIONS, THE MORE RESTRICTIVE CONDITION SHALL APPLY AND NOTIFY APPLICABLE PARTIES IMMEDIATELY.

PLYWOOD

WALL AND ROOF SHEATHING SHALL BE PS1, APA STRUCTURAL 1, EXTERIOR TYPE DOUGLAS FIR, GRADE C-C. ALL EXTERIOR WALLS SHALL BE PLYWOOD SHEATHED. FLOOR SHEATHING SHALL BE PS1, APA STURD-I-FLOOR, EXTERIOR TYPE, DOUGLAS FIR GRADE C-C PLUGGED, T&G TYPE.

PLYWOOD SHEETS SHALL ABUT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING NOT LESS THAN 3/8" FROM EDGE OF SHEETS AT THE FOLLOWING SPACINGS:

PLYWOOD NAILING SCHEDULE:

PLYWOOD LOCATION	PLYWOOD THICKNESS	NAIL TYPE	NAIL SIZE	EDGE/COLLECTOR	NAIL SPACING	INTERMEDIATE
FLOOR	1/2"	8d COMM.	6"		12"	
ROOF	3/4"	10d COMM.	4" (U.O.N.)		10"	
NON-SHEAR WALL	1/2"	8d COMM.	6"		12"	

FIELD NAIL INTERIOR OF WOOD SHEATHED SHEARWALL WITH 8d (10d) AT 12" O.C.
BLOCK ALL EDGES OF WOOD SHEATHED SHEARWALL.

PROVIDE 3x (OR 4x) MEMBERS (OR DOUBLE 2x TOP PLATE) AT ALL PLYWOOD EDGES FOR SHEARWALL WHERE NAILING IS EQUAL OR LESS THAN 4" O.C.

CARPENTRY

ALL WOOD CONSTRUCTION SHALL BE PER CBC, CHAPTER 23.

ALL FRAMING SHALL BE DOUGLAS FIR, No. 2 GRADE OR BETTER, EXCEPT BEAMS, POSTS AND TRUSS SHALL BE No. 1 OR BETTER GRADE.

ALL STRUCTURAL LUMBER SHALL BE HAVE THE FOLLOWING MAXIMUM MOISTURE CONTENT: MC <19%.

ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED.

ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE GALVANIZED WITH G185 GALVANIZATION.

MANUFACTURED TIMBER FASTENERS ARE INDICATED ON THE DRAWINGS USING THE SIMPSON COMPANY CATALOG DESIGNATIONS. THESE SYMBOLS ARE USED ONLY FOR IDENTIFICATION. NAILING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, WITH A NAIL PROVIDED FOR EACH PUNCHED HOLE.

NAILS SHALL BE GALVANIZED COMMON WIRE NAILS. USE STAINLESS STEEL COMMON NAILS WHERE EXPOSED TO WEATHER. MINIMUM NAILING SHALL BE IN ACCORDANCE WITH THE 2025 CALIFORNIA BUILDING CODE, TABLE 2304.10.2

PROVIDE THE FOLLOWING BLOCKING AND BRIDGING AS A MINIMUM, UNLESS OTHERWISE SHOWN:

- 2" x FULL DEPTH SOLID BLOCKING BETWEEN JOISTS OVER SUPPORTS.
- 2" x FULL DEPTH SOLID BLOCKING BETWEEN JOISTS OVER AND BELOW PARTITION WALLS.
- 2 x 3 CROSS BRIDGING AT MID-SPAN OF ALL JOISTS WHERE SPAN EXCEEDS 8'-0".
- 2 x 4 MIN. FLAT BLOCKING FOR PLYWOOD EDGE JOINTS. CONTINUOUS 2x STUD WIDTH HORIZONTAL BLOCKING AT STUD WALLS; PROVIDE AT MID-HEIGHT AND AT SPACING NOT TO EXCEED 8'-0", WHICHEVER IS LESS.

CONCRETE

ALL CONCRETE CONSTRUCTION SHALL BE PER CBC CHAPTER 19 AND IN ACCORDANCE WITH ACI 318-19 STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE.

REINFORCEMENT SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.

NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE. CONSTITUENT OR ADMIXTURE.

ANCHOR BOLTS, STRAP ANCHORS, DOWELS, REINFORCING BARS, AND OTHER INSERTS SHALL BE SET AND SECURELY FASTENED PRIOR TO POURING CONCRETE.

USE THE FOLLOWING MATERIAL PROPERTIES U.O.N.

NORMAL WEIGHT CONCRETE FOOTINGS: 2,500 PSI

ALL REINFORCING STEEL SHALL BE NEW BILLET, HOT ROLLED, DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 (MINIMUM YIELD STRENGTH OF 60 KSI).

ENGINEERED TIMBER (ICC-ES ESR-1387)

PARALLAM PSL BEAMS:
USE TRUSS JOIST MACMILLAN 2.0E PARALLAM PSL OR EQUAL WITH THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
FLEXURAL STRESS $F_b = 2900$ psi MODULUS OF ELASTICITY $E = 2.0 \times 10^6$ psi SHEAR STRESS $F_v = 290$ psi

MODULAM LVL BEAMS:
USE TRUSS JOIST MACMILLAN 1.9E PARALLAM OR EQUAL WITH THE FOLLOWING MINIMUM ALLOWABLE DESIGN STRESSES:
FLEXURAL STRESS $F_b = 2600$ psi MODULUS OF ELASTICITY $E = 1.9 \times 10^6$ psi SHEAR STRESS $F_v = 285$ psi

STRUCTURAL OBSERVATIONS

THE FOLLOWING WORK IS REQUIRED STRUCTURALLY OBSERVED.

- FOUNDATION REINFORCING
- SHEARWALL NAILING
- REINFORCED CONCRETE
- ANCHOR BOLT AND HOLDOWN INSTALLATION

SPECIAL INSPECTION PROGRAM

- INSTALLATION OF ANCHOR BOLTS
- NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS OF SHEARWALLS WITH EDGE NAIL SPACING LESS THAN OR EQUAL TO 4" O.C. (CBC 1707.3).

THE SPECIAL INSPECTION PROGRAM SHALL BE UNDERTAKEN BY OWNER'S TESTING AND INSPECTION AGENCY SUBJECT OR APPROVAL BY THE BUILDING OFFICIAL HAVING GOVERNING JURISDICTION.

EPOXY

USE SIMPSON "SET-3G" HIGH STRENGTH EPOXY (ICC-ES ESR-4057)

ABBREVIATIONS

&	AND	GR	GRADE	S.A.D.	SEE ARCHITECTURAL DRAWINGS SCHEDULE SIMILAR
⊕	ANCHOR BOLT	HORIZ.	HORIZONTAL	SCHED.	SCHEDULE
B.M.	BEAM	HT	HEIGHT	SIM.	SIMILAR
BLK	BLOCK	IN.	INCH	SPEC	SPECIFICATION
BOT.	BOTTOM	INFO	INFORMATION	SQ.	SQUARE
B.O.	BOTTOM OF	K	KIPS	SF	SQUARE FEET
CL.	CENTER LINE	KIP	1000 POUNDS	STAGG'D	STAGGERED
COL.	COLUMN	LL	LIVE LOAD	STD	STANDARD
CONT.	CONTINUOUS	M.B.	MACHINE BOLTS	STL	STEEL
CLR	CLEAR	MAX.	MAXIMUM	STIFF	STIFFENER
CONC	CONCRETE	MIN.	MINIMUM	STRUCT	STRUCTURAL
CONN	CONNECTION	Mech	MECHANICAL	S.W.	SHEAR WALL
DET.	DETAIL	N.T.S.	NOT TO SCALE	P.S.W.	PERFORATED SHEAR WALL
D.S.	DRAG STRUT	NO.	NUMBER	T&B	TOP AND BOTTOM TONGUE AND GROOVE
DWG.	DRAWING	O.C.	ON CENTER	T&G	TONGUE AND GROOVE
DIAG	DIAGONAL	O.H.	OPPOSITE HAND	T.O.C.	TOP OF CONCRETE
DIA	DIAMETER	PEN.	PENETRATION	Typ.	TYPICAL
EMB.	EMBEDMENT	PLYWD	PLYWOOD	THK	THICK OR THICKNESS
EA.	EACH	P.S.W.	PERFORATED SHEAR WALL	T & B	TOP AND BOTTOM
EXT.	EXTERIOR	P.T.	PRESERVATIVE TREATED	T.O.	TOP OF
E.N.	EDGE NAILING	REINF.	REINFORCEMENT	U.O.N.	UNLESS OTHERWISE NOTED
E.F.	EACH FACE			U.O.N.	UNLESS NOTED OTHERWISE
E.O.	EQUAL			VERT	VERTICAL
(E)	EXISTING			V.I.F.	VERIFY IN FILED
EXT	EXTERIOR			w/	WITH
E.O.R.	ENGINEER OF RECORD				

NAILING SCHEDULE: EXCERPT FROM TABLE 2304.10.2 FASTENING SCHEDULE

CONNECTION	FASTENING	Q.D
1. JOIST TO SILL OR GIRDER: TOENAIL	3-8d	
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d	
6. SOLE PLATE TO JOIST OR BLOCKING: TYPICAL FACE NAIL BRACED WALL PANEL	16d @16"o.c. C	
	3-16d @16"o.c. C	
7. TOP PLATE TO STUD, END NAIL	2-16d	
8. STUD TO SOLE PLATE: TOENAIL	4-8d	
	2-16d	
	2-20d	
9. DOUBLE STUDS: FACE NAIL	16d @24"o.c. C	
10. DOUBLE TOP PLATES: TYPICAL FACE NAIL LAP SPlice	16d @16"o.c. C	
	8-16d	
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d	
12. RIM JOIST TO TOP PLATE: TOENAIL	8d @6"o.c. C	
13. TOP PLATES LAPS AND INTERSECTIONS: FACE NAIL	2-16d	
14. CONTINUOUS HEADER, TWO PIECES, 16"o.c. ALONG EDGE:	16d	
15. CEILING JOISTS TO PLATE: TOENAIL	3-8d	
16. CONTINUOUS HEADER TO STUD: TOENAIL	4-8d	
17. CEILING JOISTS, LAPS OVER PARTITIONS: FACE NAIL (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d, MIN. TABLE 2308.10.4.1	
18. CEILING JOISTS TO PARALLEL RAFTERS: FACE NAIL (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d, MIN. TABLE 2308.10.4.1	
19. RAFTER TO PLATE: TOENAIL (SEE SECTION 2308.10.1, TABLE 2308.10.1)	3-8d	
23. BUILT-UP CORNER STUDS	16d @24"o.c.	
24. BUILT-UP GIRDERS AND BEAMS: FACE NAIL AT TOP & BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE	20d @32"o.c. 2-20d	
25. 2" PLANKS, AT EACH BEARING	16d	
26. COLLAR TIE TO RAFTER: FACE NAIL	3-10d	
27. JACK RAFTER TO HIP: TOENAIL FACE NAIL	3-10d 2-16d	
28. ROOF RAFTER TO 2x RIDGE BEAM: TOENAIL & FACE NAIL	2-16d	
29. JOIST TO BAND JOIST: FACE NAIL	3-16d	
30. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING NOT AT BRACED WALL PANELS AT BRACED WALL PANELS	16d @16"o.c. 16d @8"o.c.	

- COMMON NAILS TO BE USED EXCEPT WHERE OTHERWISE STATED.
- ANY FASTENING SPECIFIED ON PLANS, DETAILS OR GENERAL NOTES SHALL GOVERN OVER THIS SCHEDULE.
- BOX NAILS ARE PERMITTED TO BE USED.

4 NAILING SCHEDULE

SCALE: NONE

DESIGN CRITERIA

- VERTICAL LOADS:
 - DEAD LOAD:

TRELLIS LOAD	5.5 PSF
EXTERIOR DECK LOAD	8 PSF
 - LIVE LOAD:

EXTERIOR DECK LOAD	60 PSF
--------------------	--------
- FOUNDATION DESIGN PARAMETERS:

PER MINIMUM 2025 CBC VALUES (TABLE 1806.2)	1500 PSF
VERTICAL FOUNDATION PRESSURE	

GENERAL LEGEND

	WALL AT THE FLOOR or ROOF LINE
	WALL BELOW
	EXISTING WALL TO BE DEMOLISHED
	DETAIL REFERENCE SYMBOL
	LETTER or NUMBER OF SECTION, "-" DENOTE TOTAL SHEET
	SHEET ON WHICH ELEVATION OCCURS
	FRAMING MEMBER
	DIAGRAMMATIC EXTENT OF FRAMING
	INDICATE CHANGE IN ELEVATION, S.A.D. or REFERENCE DETAILS, WHERE OCCURS

POST LEGEND

	POST BELOW
	4x4 POST
	4x6 POST
	6x6 POST

POST NOTES:

- PROVIDE APPROPRIATE BLK'GS UNDER ALL THE POSTS. SEE SHEET S3.1 FOR MORE INFO. U.O.N.
- POSTS AS MINIMUM, U.O.N., WIDTH TO MATCH BEAM WIDE ABOVE AND DEPTH TO MATCH WALL THICKNESS
- USE APPROPRIATE SIMPSON "L" ANGLE EA. SIDE AT T&B. FOR POSTS, U.O.N. ("L30" FOR 4x SIDE, "L50" FOR 6x SIDE, ETC.)

FOUNDATION LEGEND

	(E) FOOTING, V.I.F., TYP.
	(E) STRIP FOOTING, V.I.F., TYP.
	INDICATE HAND-DUG CONC UNDERPIN PIER FOOTING, U.O.N., SEE DETAIL 1/S3.2 FOR MORE INFORMATION.
	INDICATE CONCRETE GRADE BEAM TYPE. ## DENOTES GRADE BEAM WIDE.

HANGERS LEGEND

	DENOTES SIMPSON HANGER, SEE DETAIL 2 ON SHEET S3.1, TYP., U.O.N.
	INVERTED HANGER

NOTES: SEE SHEET S3.1 FOR MORE INFO.

3 TYPICAL PLAN VIEWS OF CONC WALLS & GRADE BEAMS
SCALE: NONE

2 TYPICAL STIRRUP HOOKS & BENDS
SCALE: NONE

MAIN BAR SIZE	MIN. BEND DIA	TIE BAR SIZE	MIN. BEND DIA
#3 THRU #8	6 BAR DIA	#3 THRU #5	4 BAR DIA
#9 THRU #11	8 BAR DIA	OTHERS	SAME AS MAIN REINF.

1 TYPICAL BAR HOOKS
SCALE: NONE

NOTE: WHERE BOTH TYPE HOOKS ARE USED ON THE SAME TIE BAR, ALTERNATE HOOK TYPES AT ENDS OF ADJACENT TIES.

STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW CALIFORNIA 94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING

184 ALAMO SQ., ALAMO, CA 94507

DATE: ISSUE:
03/05/2026 PERMIT SET

REVISIONS:

SHEET TITLE:
GENERAL NOTES ABBREVIATIONS SYMBOLS TYPICAL DETAILS

JOB NO.: 2603
SCALE: AS NOTED
SHEET:

S1.0

NOTE: THIS SHEET SHOULD BE 24"x36"

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL
 ENGINEERING SERVICE
 ADD: PO BOX 390695
 MOUNTAIN VIEW
 CALIFORNIA
 94039-0695
 P: 408.329.8787
 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING
 184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026 ISSUE: PERMIT SET

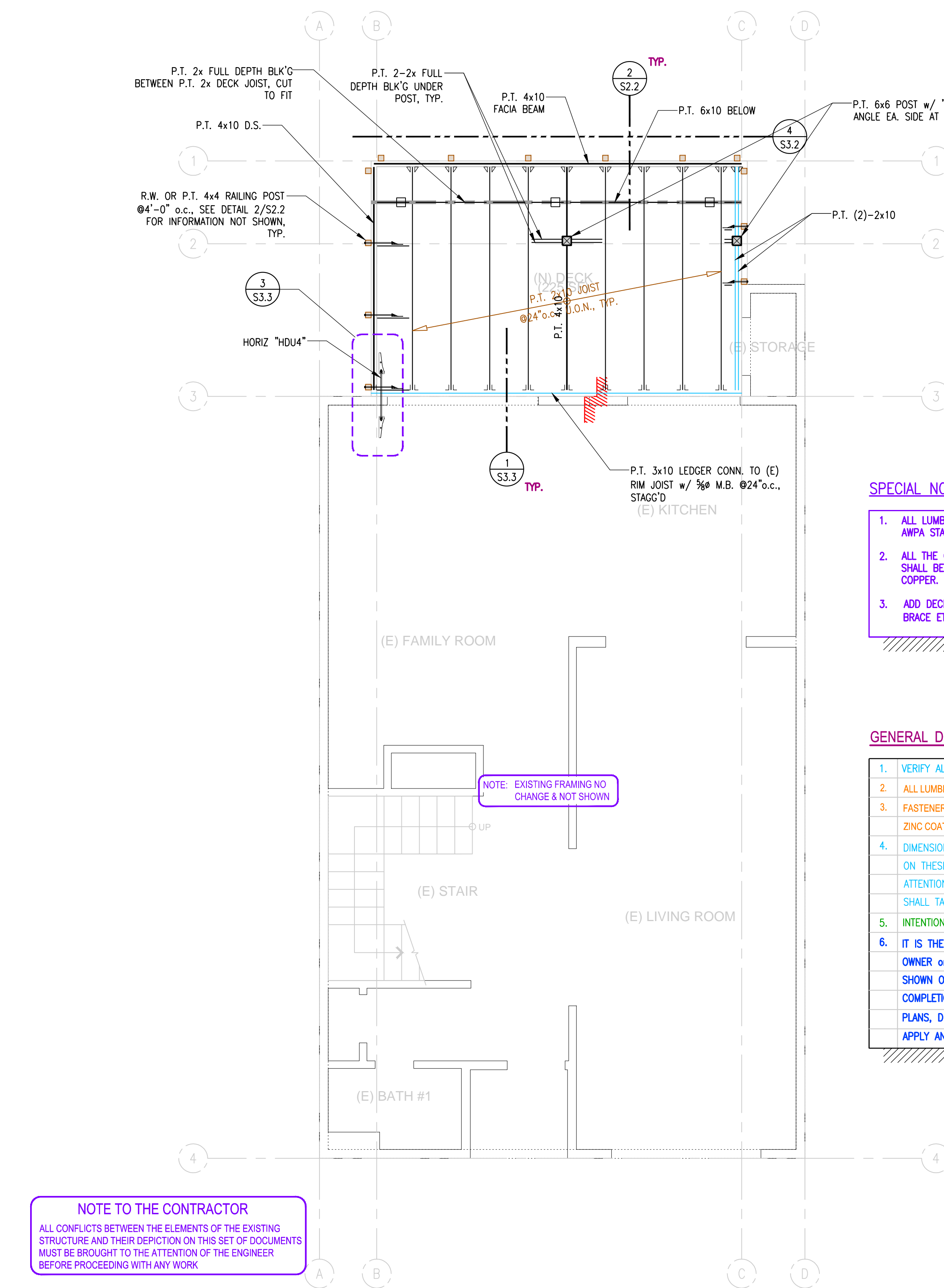
REVISIONS:

SHEET TITLE:
FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN

JOB No.: 2603
 SCALE: AS NOTED
 SHEET:

S2.1

NOTE: THIS SHEET SHOULD BE 24"x36"



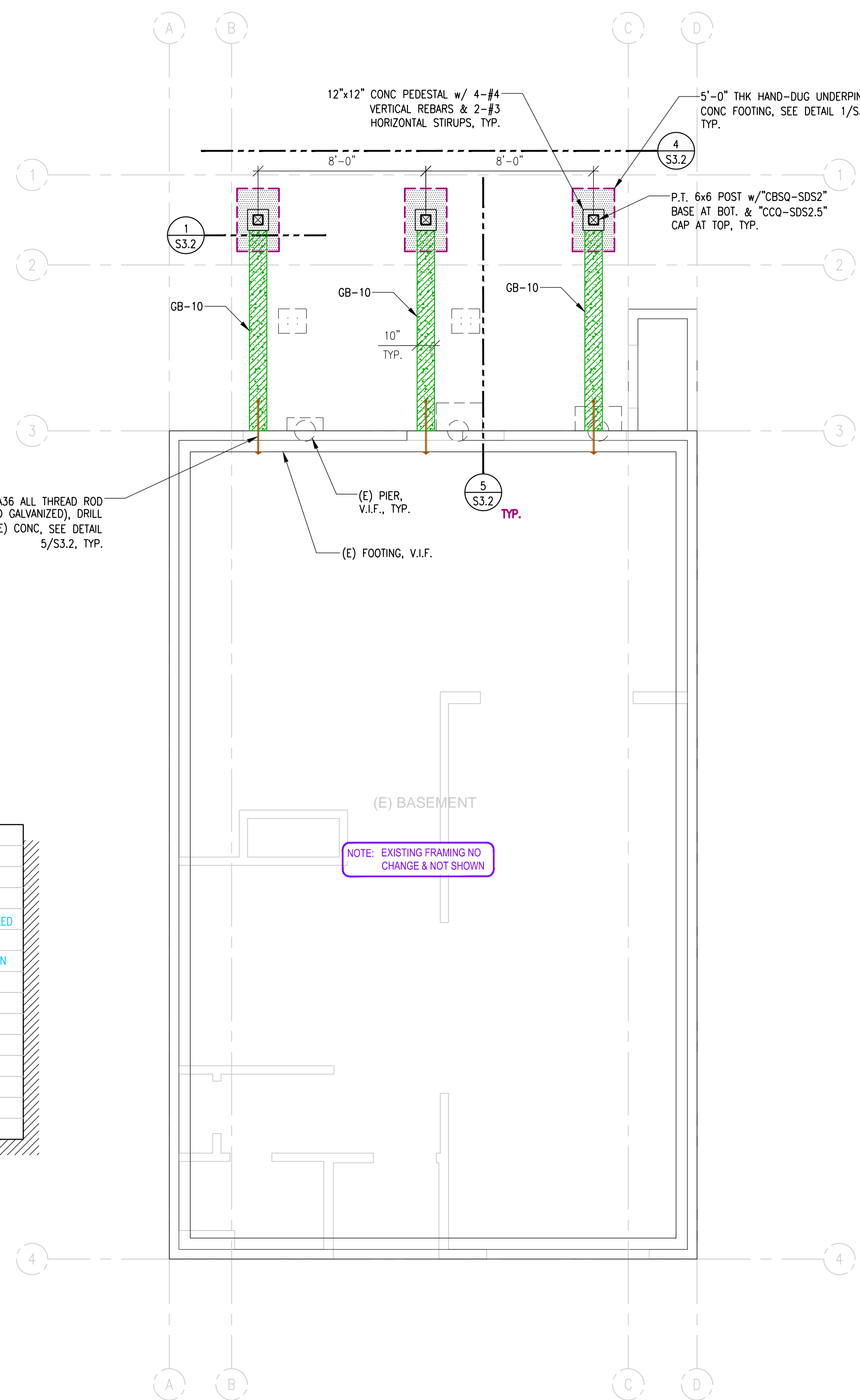
LEGEND

- POST BELOW
- POST AT CURRENT PLAN
- L DENOTES SIMPSON HANGER
- [] (E) FOOTING, V.I.F., TYP.
- [] (E) STRIP FOOTING, V.I.F., TYP.
- [] INDICATE HAND-DUG CONC UNDERPIN PIER FOOTING, U.O.N., SEE DETAIL 1/S3.2 FOR MORE INFORMATION

SPECIAL NOTES:
 SEE SHEET S1.0 FOR MORE LEGEND INFORMATION NOT SHOWN

- SPECIAL NOTE FOR EXTERIOR DECK:**
- ALL LUMBER FRAMING USED IN EXTERIOR DECK APPLICATIONS SHOULD BE PRESSURE TREATED TO AWPA STANDARDS OR RECOGNIZED IN ACOE EVALUATION REPORT.
 - ALL THE CONNECTER HARDWARE & FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5
 - ADD DECK FLASHING TAPE AT TOP FACE OF EA. (N) JOIST, GIRDER (LEDGER, STRINGER, BLK'G, BRACE ETC. ALL THE EXTERIOR STRUCTURAL MEMBERS), SEE DETAIL 4/S3.3.

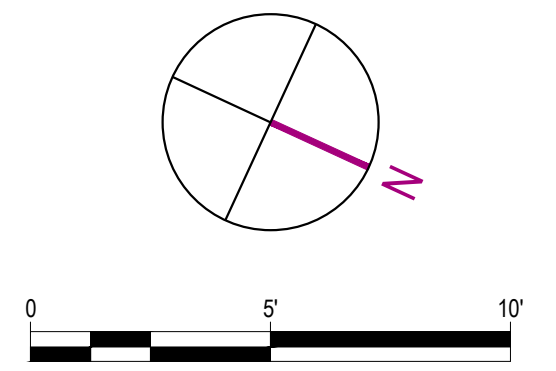
- GENERAL DRAWINGS NOTES:**
- VERIFY ALL EXISTING CONDITIONS IN FIELD AND REPORT ANY MAJOR DISCREPANCIES TO ENGINEER
 - ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESERVATIVE TREATED
 - FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5
 - DIMENSIONS SHOWN ON THE FOUNDATION PLAN ARE FOR REFERENCE ONLY, VERIFY ALL DIMENSIONS DETAILED ON THESE DRAWINGS WITH ARCHITECTURAL PLANS FOR ACCURACY. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER AND DESIGNER PRIOR TO BEGINNING CONSTRUCTION. ALL INDICATED DIMENSION SHALL TAKE PRECEDENCE OVER ANY SCALE MEASUREMENTS. DO NOT SCALE DRAWINGS.
 - INTENTIONALLY LEFT BLANK
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER or ARCHITECT OF ANY CONDITIONS TO BE FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, or OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT; IN THE CASE OF CONFLICT BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS, DETAILS, EXISTING CONDITION AND/or SPECIFICATIONS, THE MORE RESTRICTIVE CONDITION SHALL APPLY AND NOTIFY APPLICABLE PARTIES IMMEDIATELY

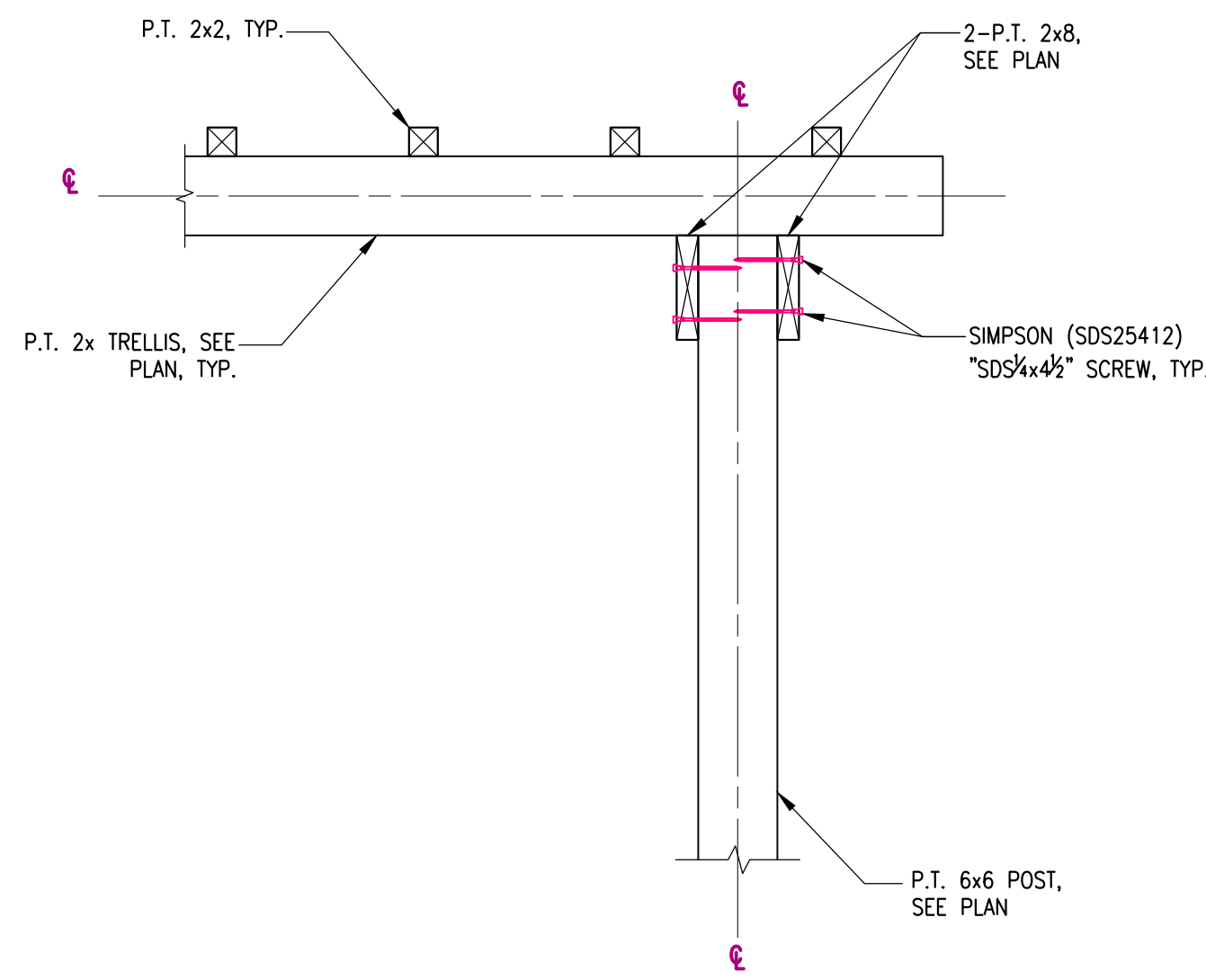


NOTE TO THE CONTRACTOR
 ALL CONFLICTS BETWEEN THE ELEMENTS OF THE EXISTING STRUCTURE AND THEIR DEPICTION ON THIS SET OF DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK

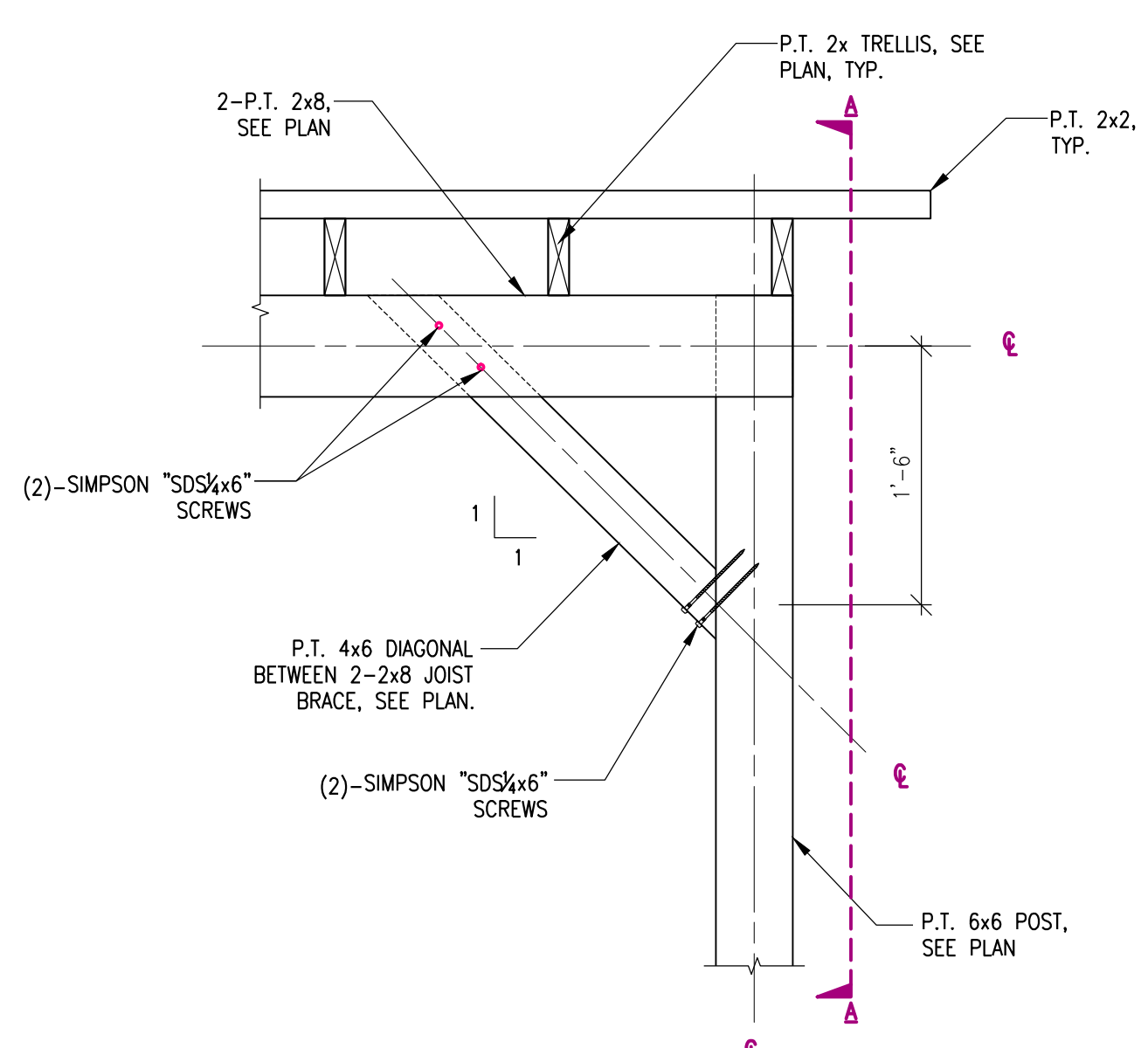
2 | 1ST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

1 | FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

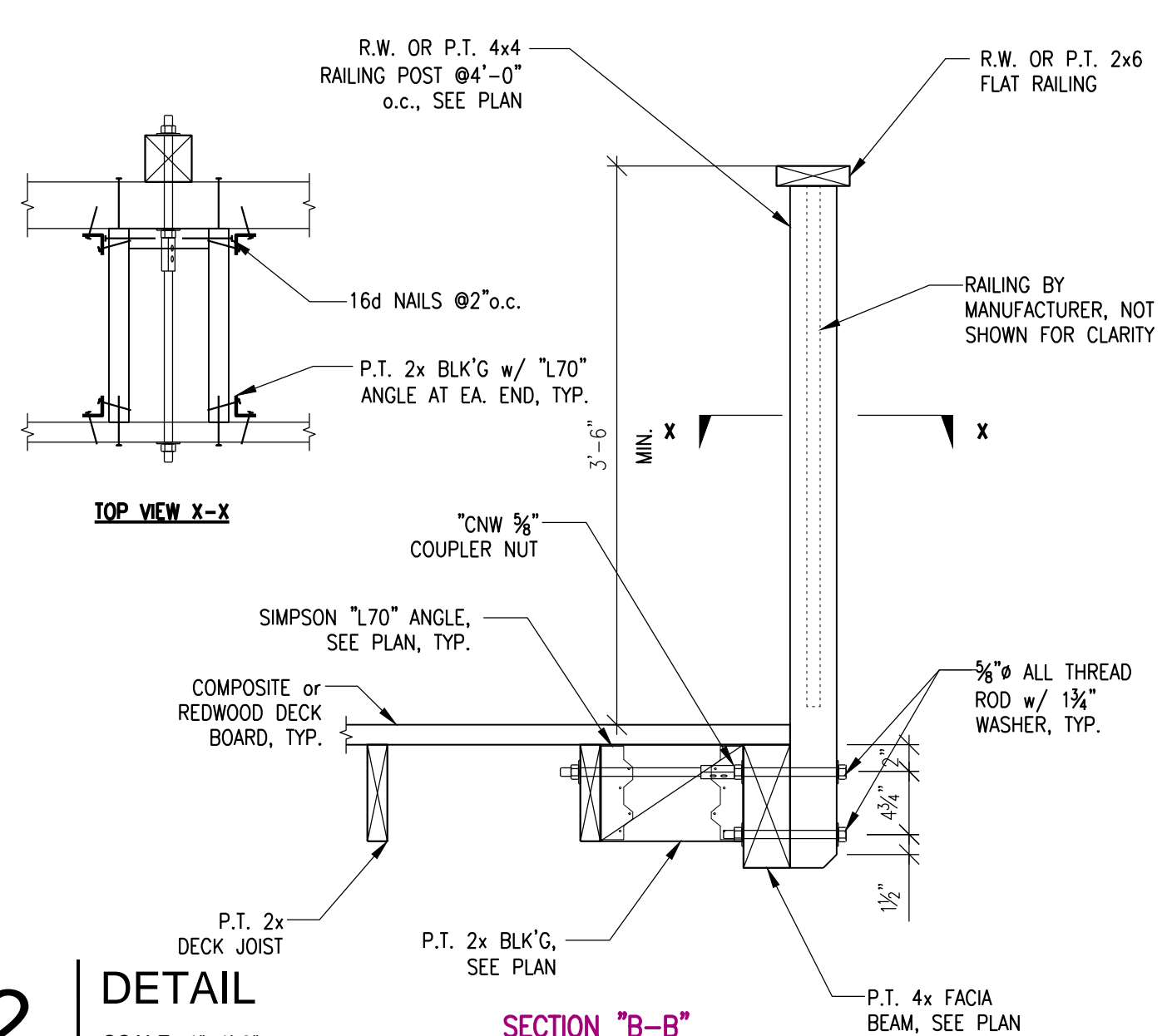




SECTION "A-A"

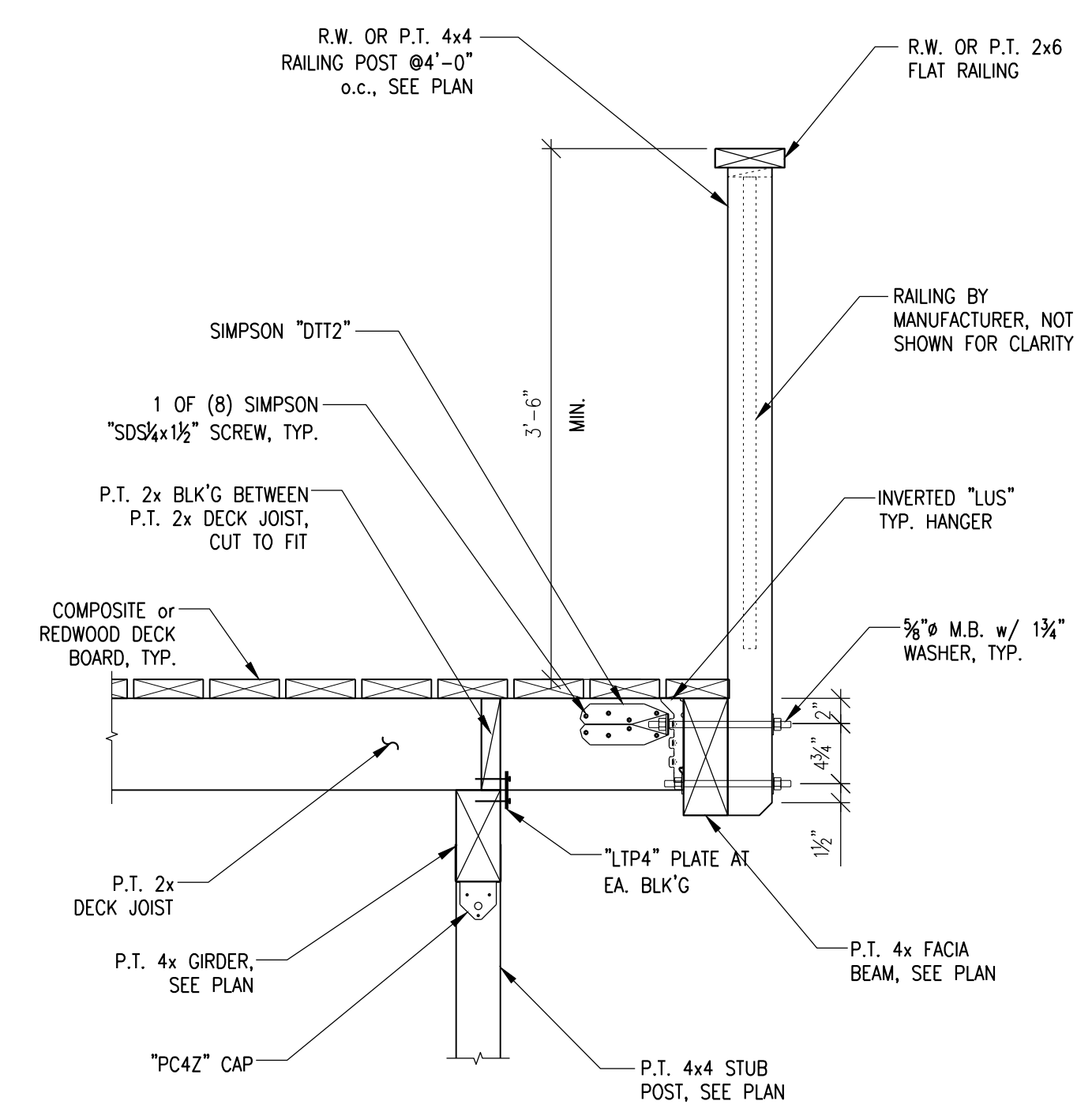


3 | DETAIL
SCALE: 1"=1'-0"



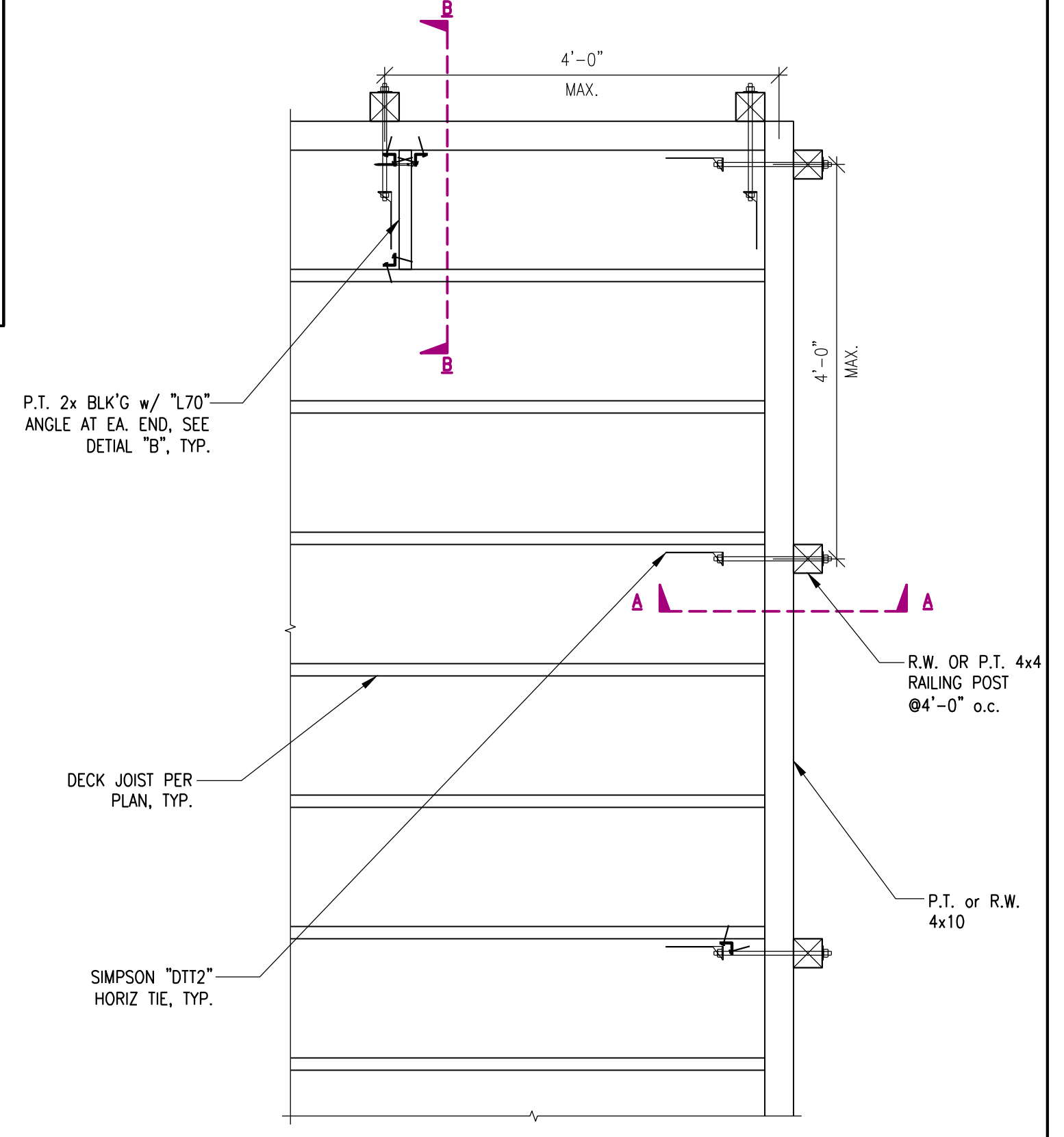
SECTION "B-B"

2 | DETAIL
SCALE: 1"=1'-0"



SECTION "A-A"

- NOTE:**
1. THE RAILING SYSTEM ONLY SHOWN THE STRUCTURAL ANCHOR OF RAILING POST, ALL OTHER INFORMATION BY MANUFACTURER, or SEE ARCHITECTURAL DRAWING AND NOT SHOWN FOR CLARITY
 2. ALL CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED WOOD THAT CONTAINS AMMONIA OR USES ACZA TREATMENT SHALL BE STAINLESS STEEL

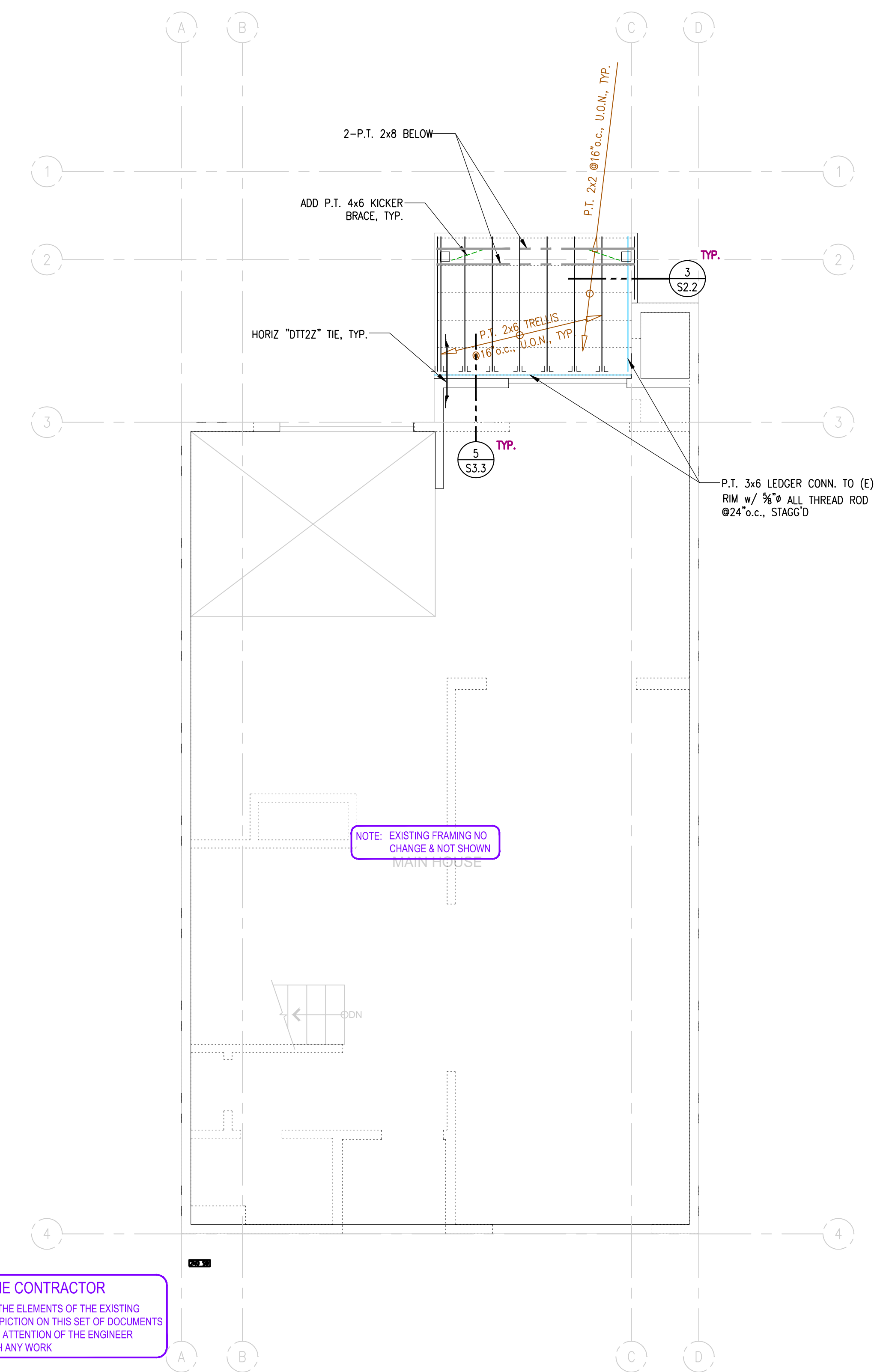


LEGEND

□ POST BELOW

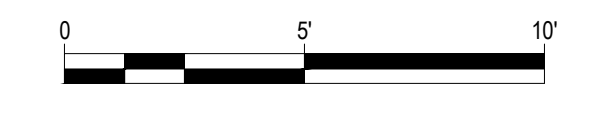
┌┐ DENOTES SIMPSON HANGER

SPECIAL NOTES:
SEE SHEET S1.0 FOR MORE LEGEND INFORMATION NOT SHOWN



NOTE TO THE CONTRACTOR
ALL CONFLICTS BETWEEN THE ELEMENTS OF THE EXISTING STRUCTURE AND THEIR DEPICTION ON THIS SET OF DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK

1 | 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695
MOUNTAIN VIEW CALIFORNIA
94039-0695
P: 408.329.8787
F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

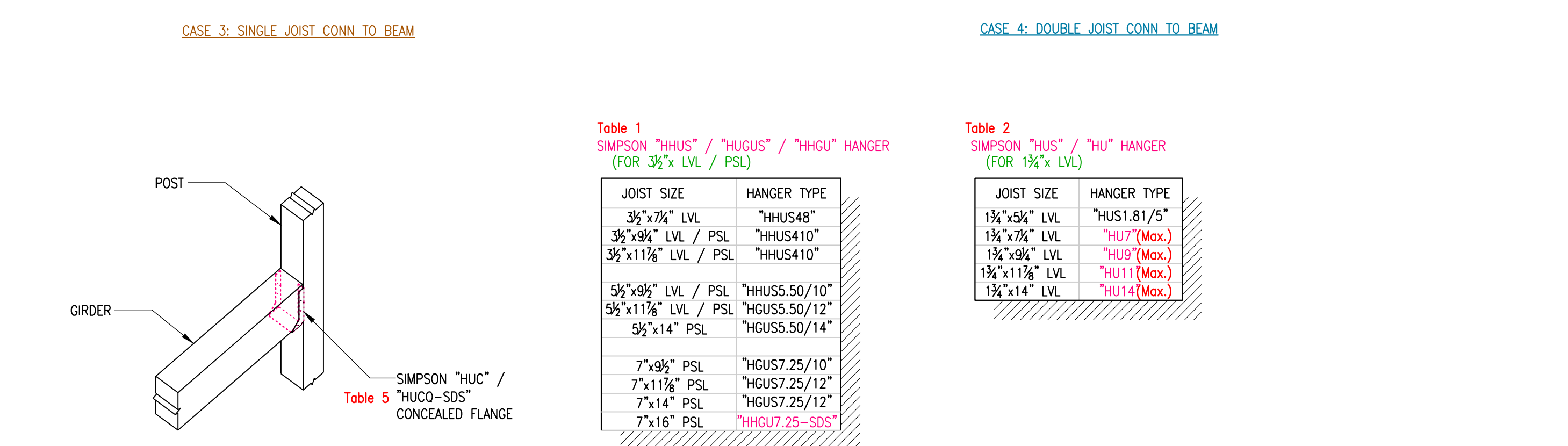
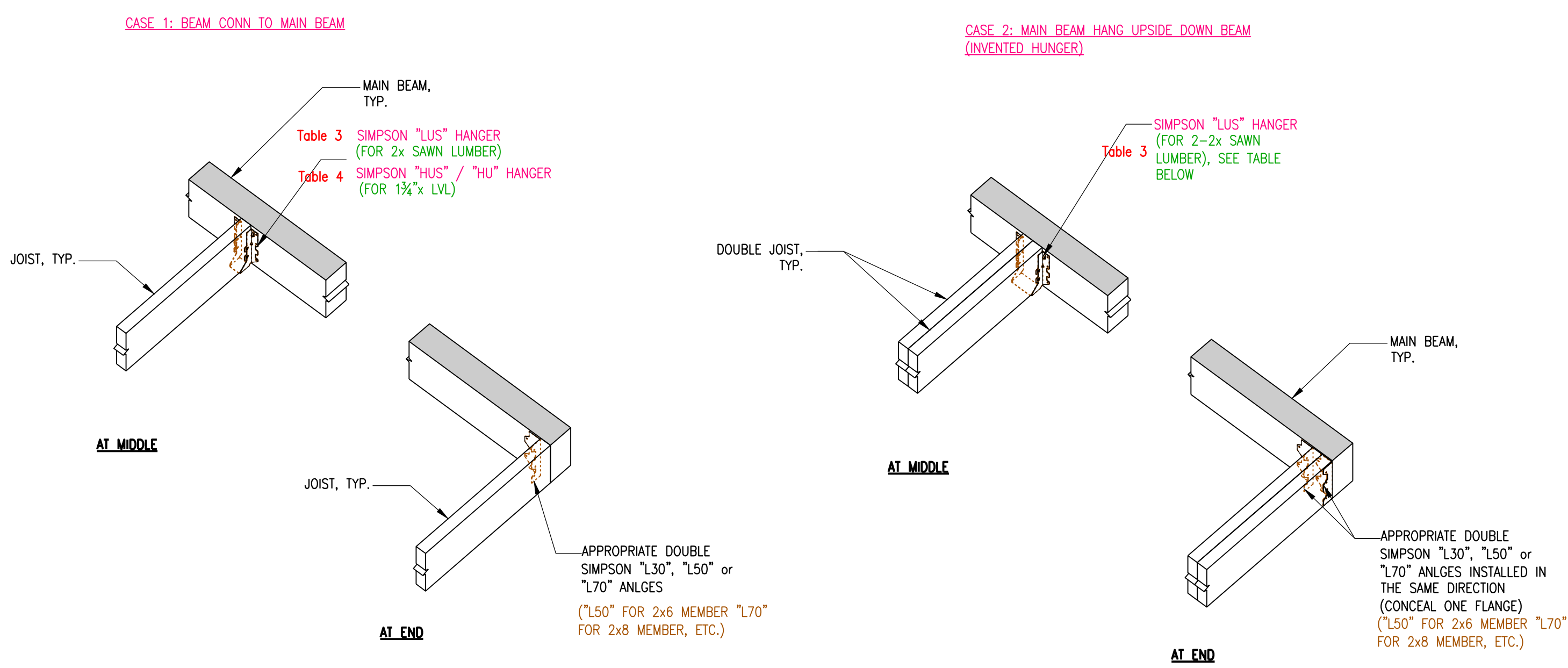
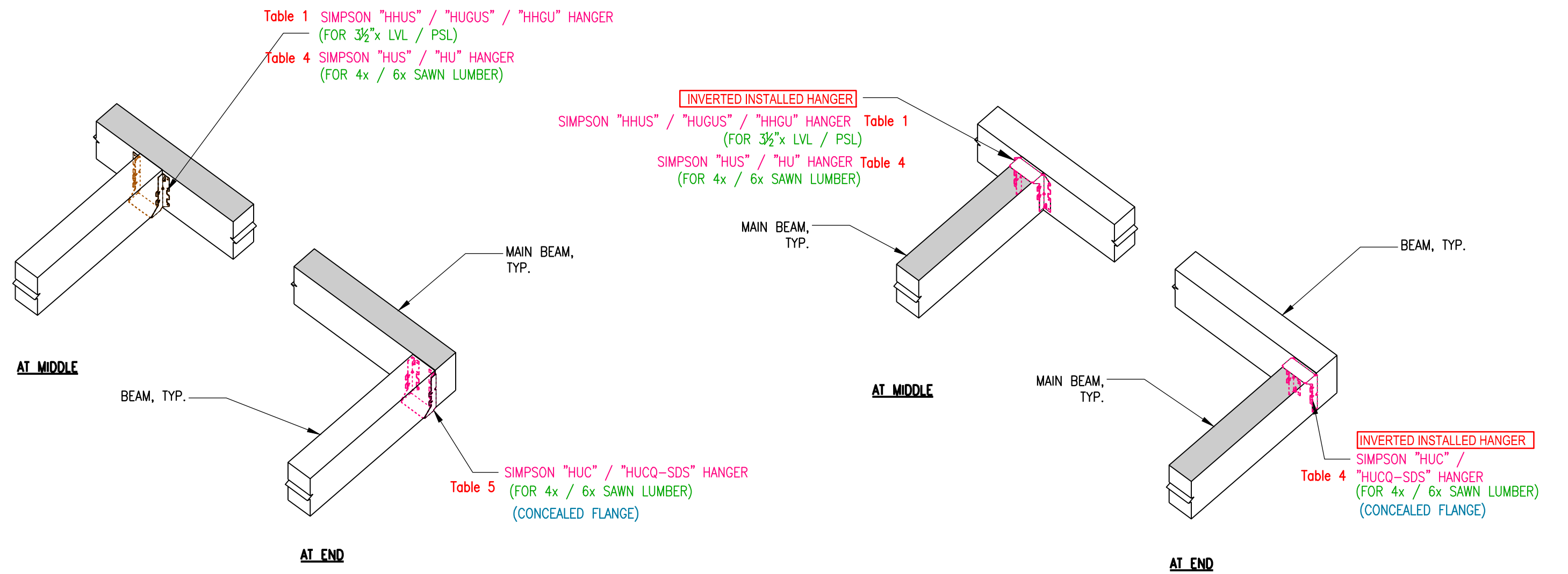
DATE: 03/05/2026
ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE:
2ND FLOOR FRAMING PLAN & DETAILS

JOB No.: 2603
SCALE: AS NOTED
SHEET: S2.2

NOTE: THIS SHEET SHOULD BE 24"x36"



SPECIAL NOTES
 1. CONTRACTOR TO CHOOSE & USE APPROPRIATE HANGERS U.O.N., IF SOME HANGERS SPECIFIED ON PLAN PLEASE OMIT THIS TABLES
 2. ALL THE CONNECTER HARDWARE & FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5

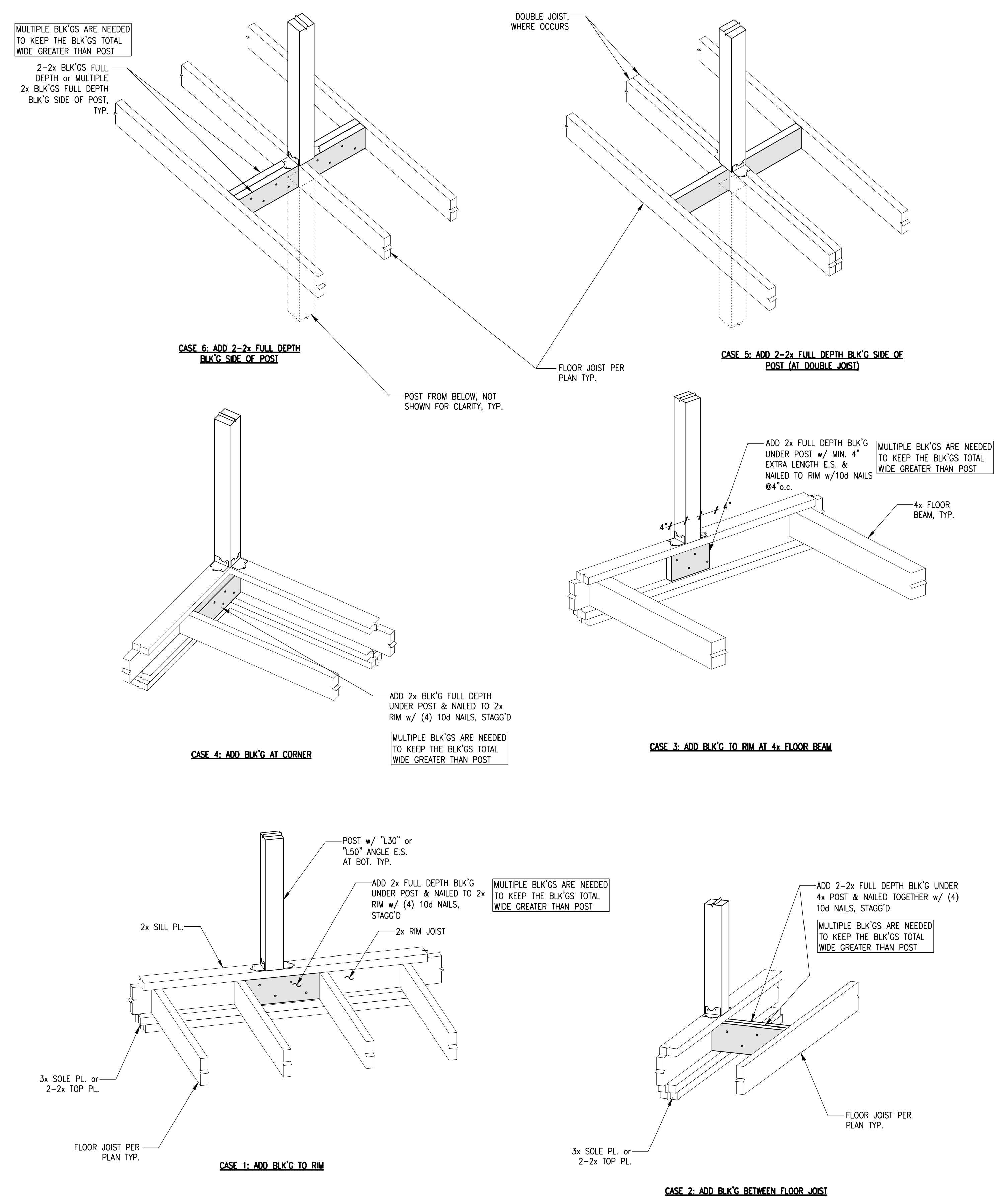
JOIST SIZE	HANGER TYPE
3½" x 7½" LVL	"HHUS48"
3½" x 9½" LVL / PSL	"HHUS410"
3½" x 11½" LVL / PSL	"HHUS410"
5½" x 9½" LVL / PSL	"HHUS5.50/10"
5½" x 11½" LVL / PSL	"HGUS5.50/12"
5½" x 14" PSL	"HGUS5.50/14"
7" x 9½" PSL	"HGUS7.25/10"
7" x 11½" PSL	"HGUS7.25/12"
7" x 14" PSL	"HGUS7.25/12"
7" x 16" PSL	"HHGU7.25-SDS"

JOIST SIZE	HANGER TYPE
1½" x 5½" LVL	"HUS1.81/5"
1½" x 7½" LVL	"HU7"(Max.)
1½" x 9½" LVL	"HU9"(Max.)
1½" x 11½" LVL	"HU11"(Max.)
1½" x 14" LVL	"HU14"(Max.)

JOIST SIZE	HANGER TYPE
2x4	"LUS24"
2-2x4	"LUS24-2"
2x6	"LUS26"
2-2x6	"LUS26-2"
2x8	"LUS28"
2-2x8	"LUS28-2"
2x10	"LUS210"
2-2x10	"LUS210-2"
2x12	"LUS210"
2-2x12	"LUS210-2"

JOIST SIZE	HANGER TYPE
4x6	"HUS46"
4x8	"HUS48"
4x10	"HUS410"
4x12	"HUS412"
6x6	"HUC66" (Max.)
6x8	"HUC68" (Max.)
6x10	"HUC610" (Max.)
6x12	"HUC612" (Max.)

JOIST SIZE	HANGER TYPE
4x6	"HUC46" (Max.)
4x8	"HUC48" (Max.)
4x10	"HUC410-SDS"
4x12	"HUC412-SDS"
6x6	"HUC66" (Max.)
6x8	"HUC68" (Max.)
6x10	"HUC610-SDS"
6x12	"HUC612-SDS"



1 TYP BLOCKS UNDER COL. DETAIL
 SCALE: NONE

2 BEAM TO BEAM / COL. CONN.
 SCALE: NONE

STRUCTURAL ENGINEER:
W. H. Yang
 STRUCTURAL ENGINEERING SERVICE
 ADD: PO BOX 390695 MOUNTAIN VIEW CALIFORNIA 94039-0695
 P: 408.329.8787 F: 408.228.5176
 Email: w.h.yang@hotmail.com



DECK REBUILDING
 184 ALAMO SQ., ALAMO, CA 94507

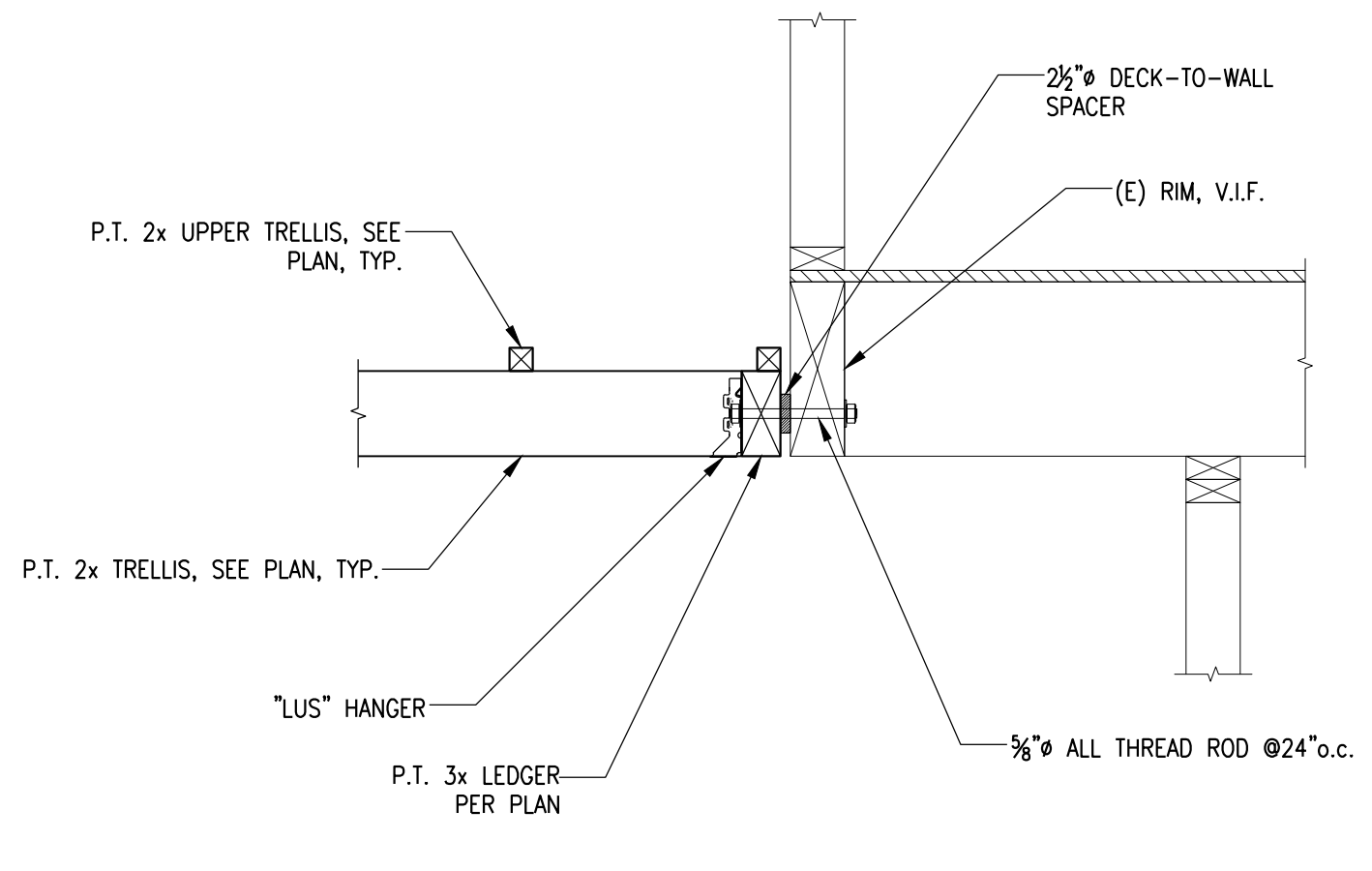
DATE: 03/05/2026 ISSUE: PERMIT SET

REVISIONS:

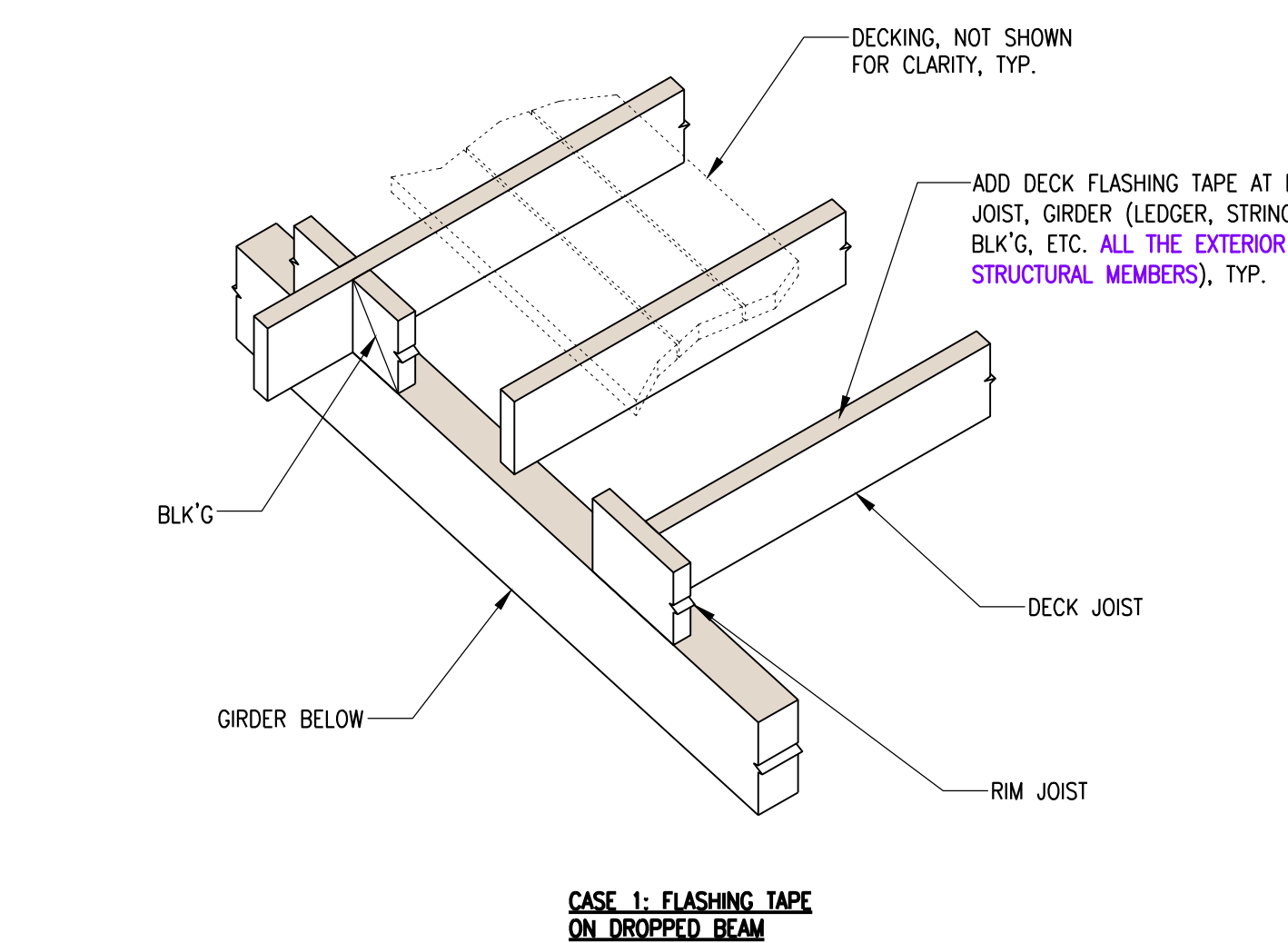
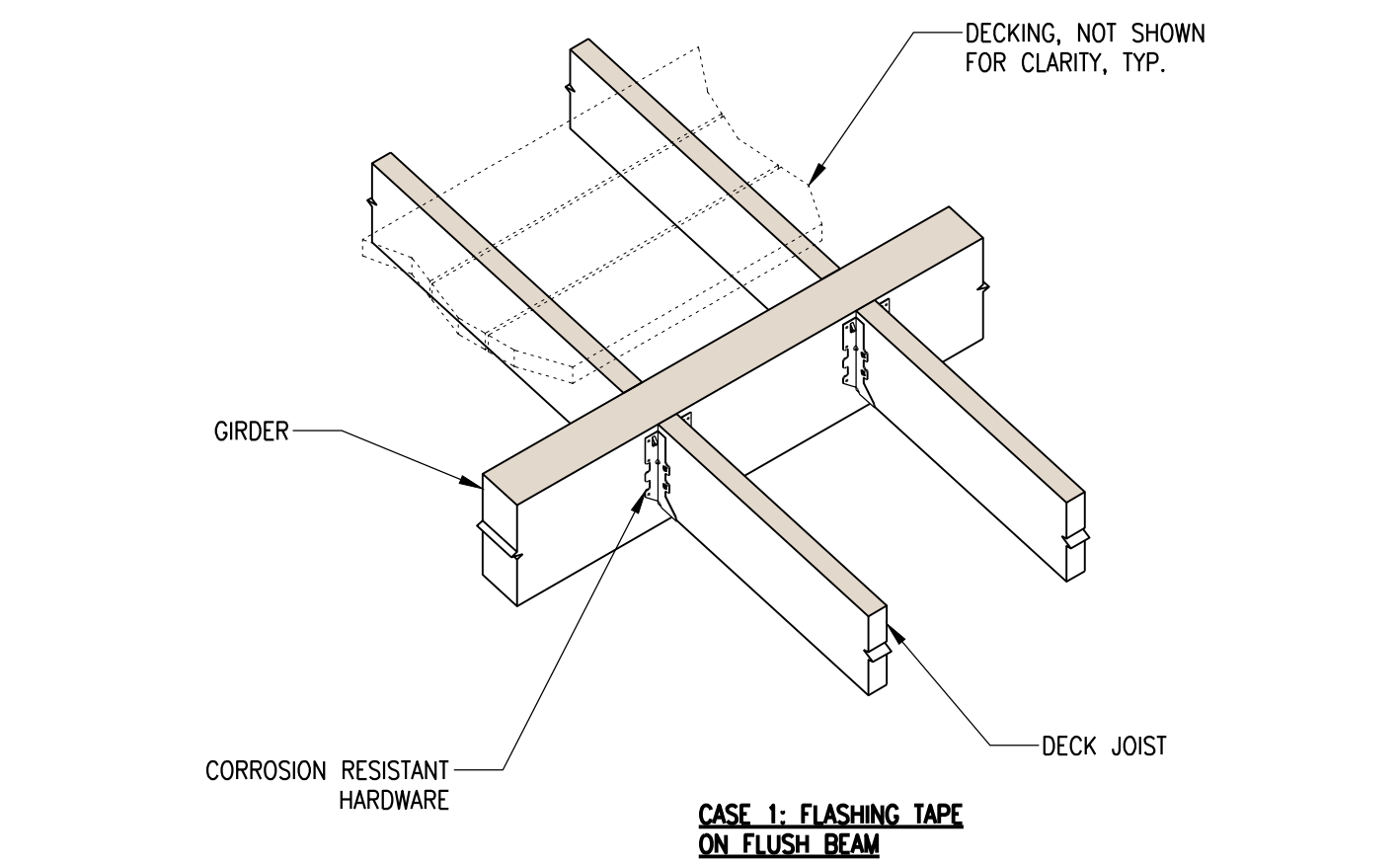
SHEET TITLE: **DETAILS I**
 JOB NO.: 2603
 SCALE: AS NOTED
 SHEET: S3.1

NOTE: THIS SHEET SHOULD BE 24"x36"

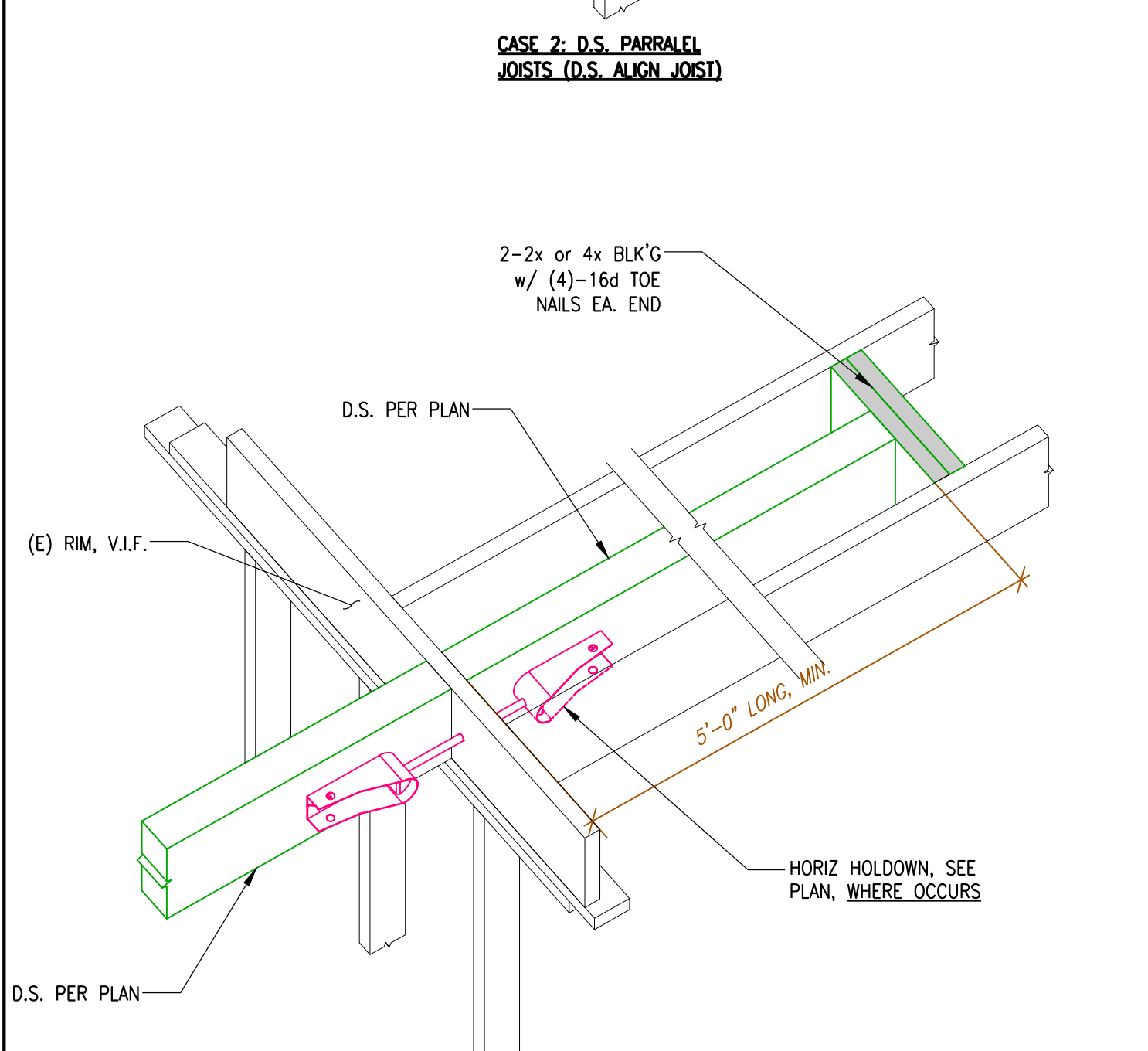
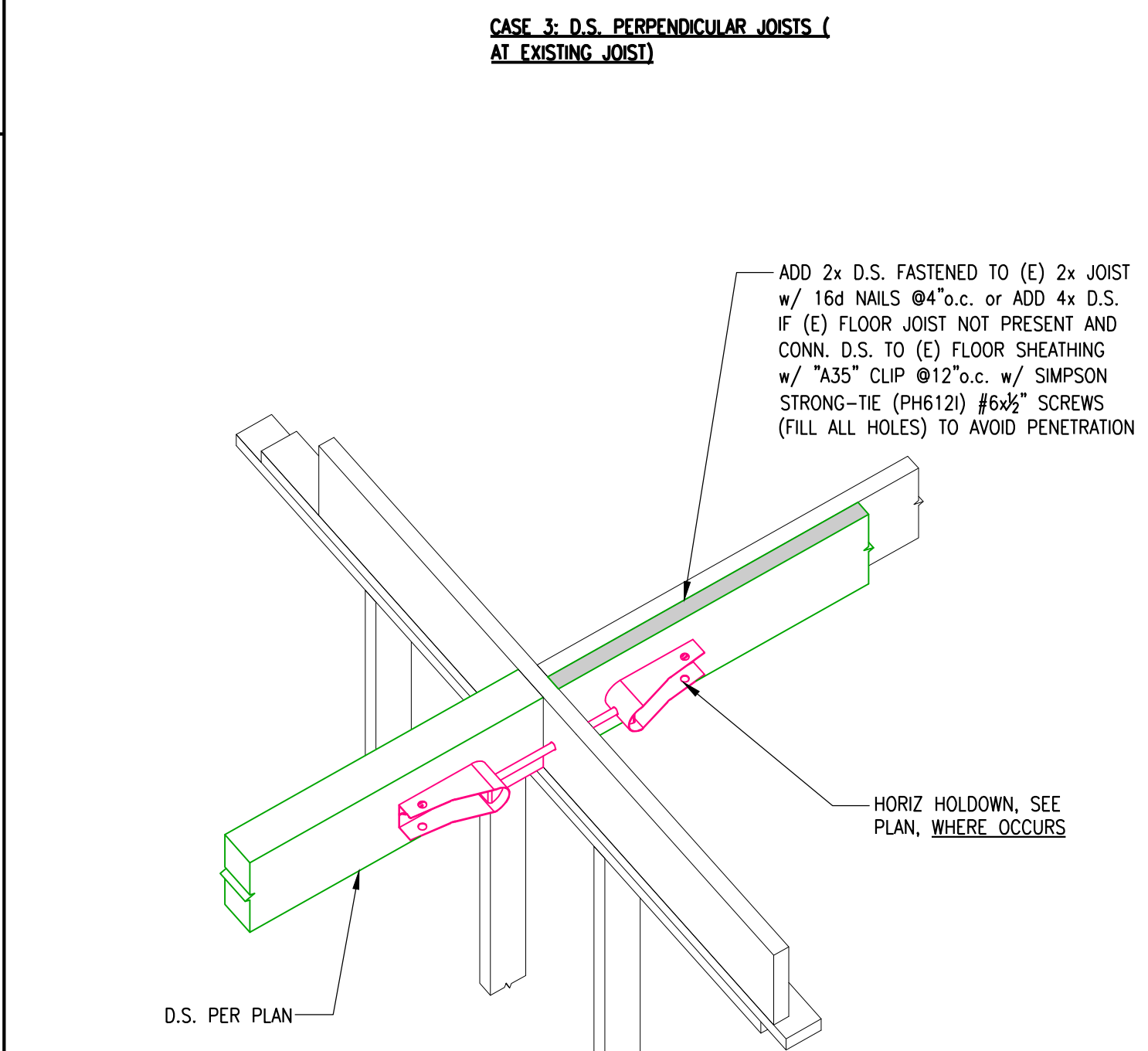
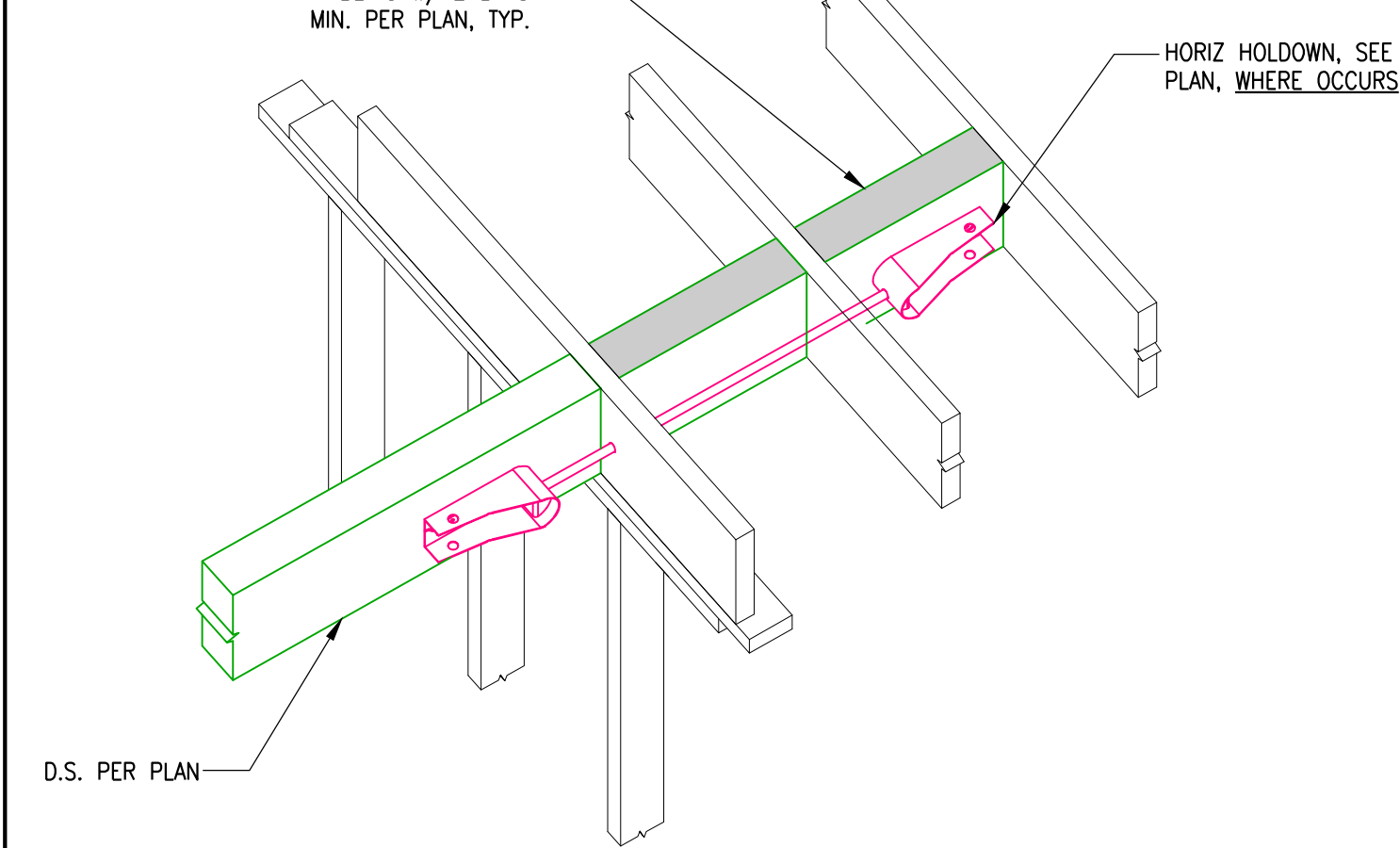
5 DETAIL
SCALE: 1"=1'-0"



NOTE: 1. ALL LUMBER FRAMING USED IN EXTERIOR DECK APPLICATIONS SHOULD BE PRESSURE TREATED TO AWPA STANDARDS OR RECOGNIZED IN A CODE EVALUATION REPORT.
2. ALL THE CONNECTER HARDWARE & FASTENERS FOR PRESSURE-PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER. CBC 2304.9.5



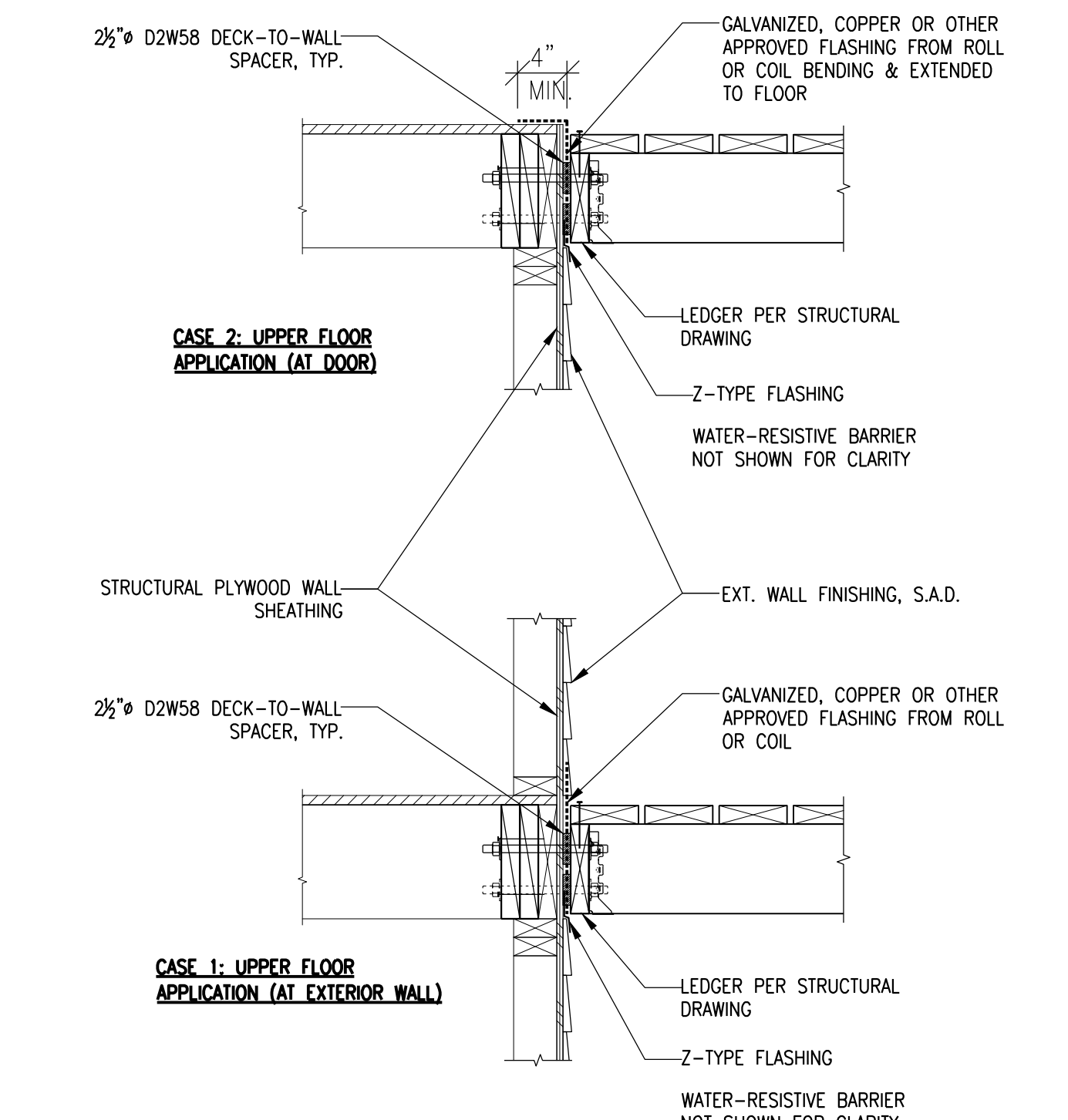
4 WATERPROOF AT EXTERIOR DECK
SCALE: NONE



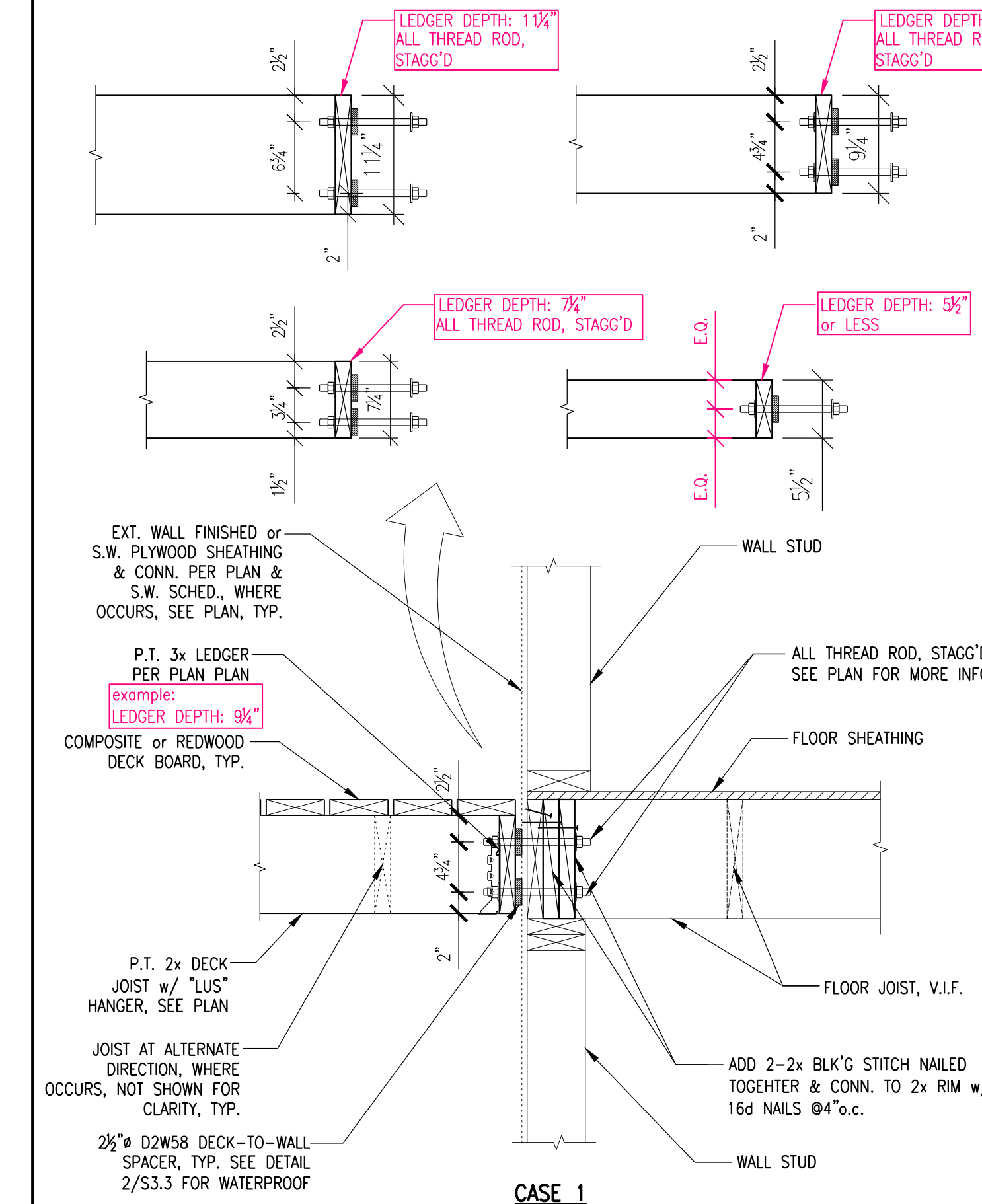
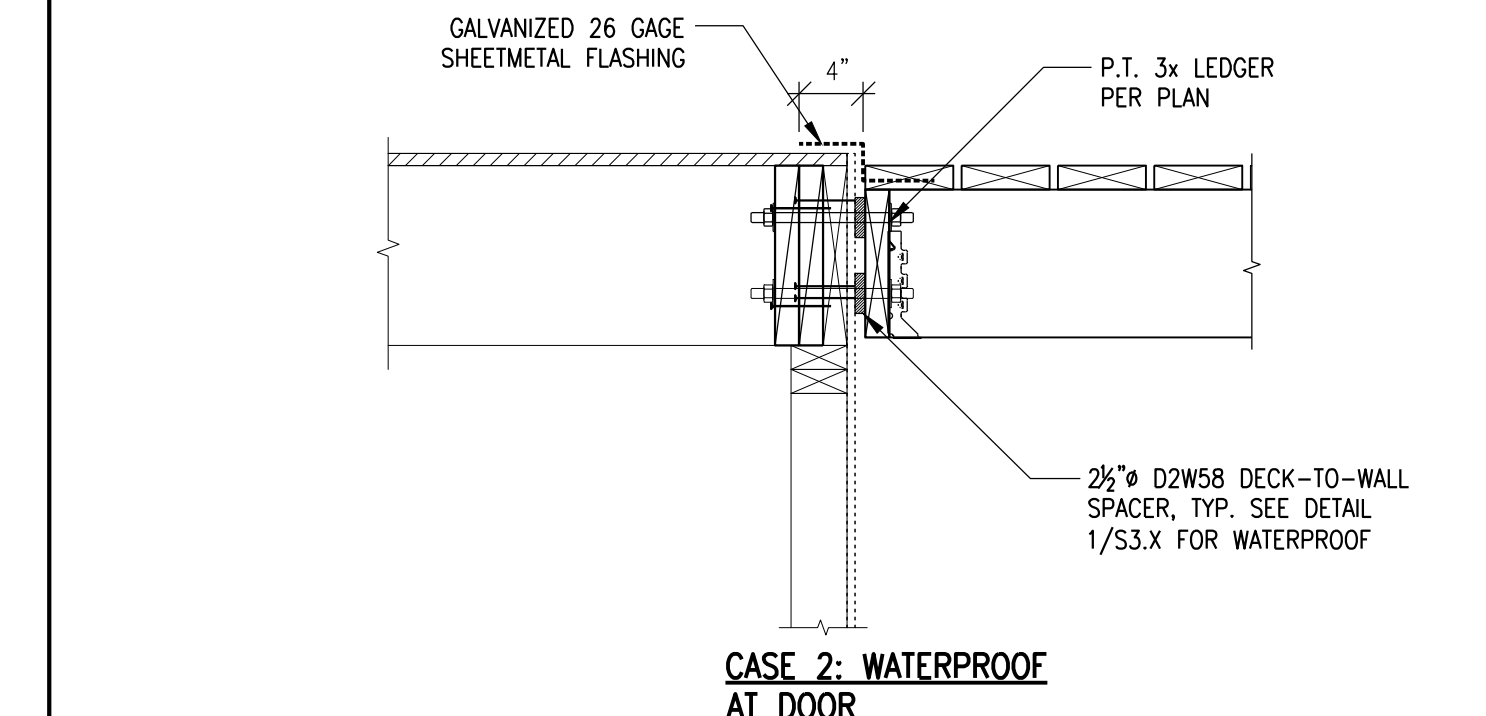
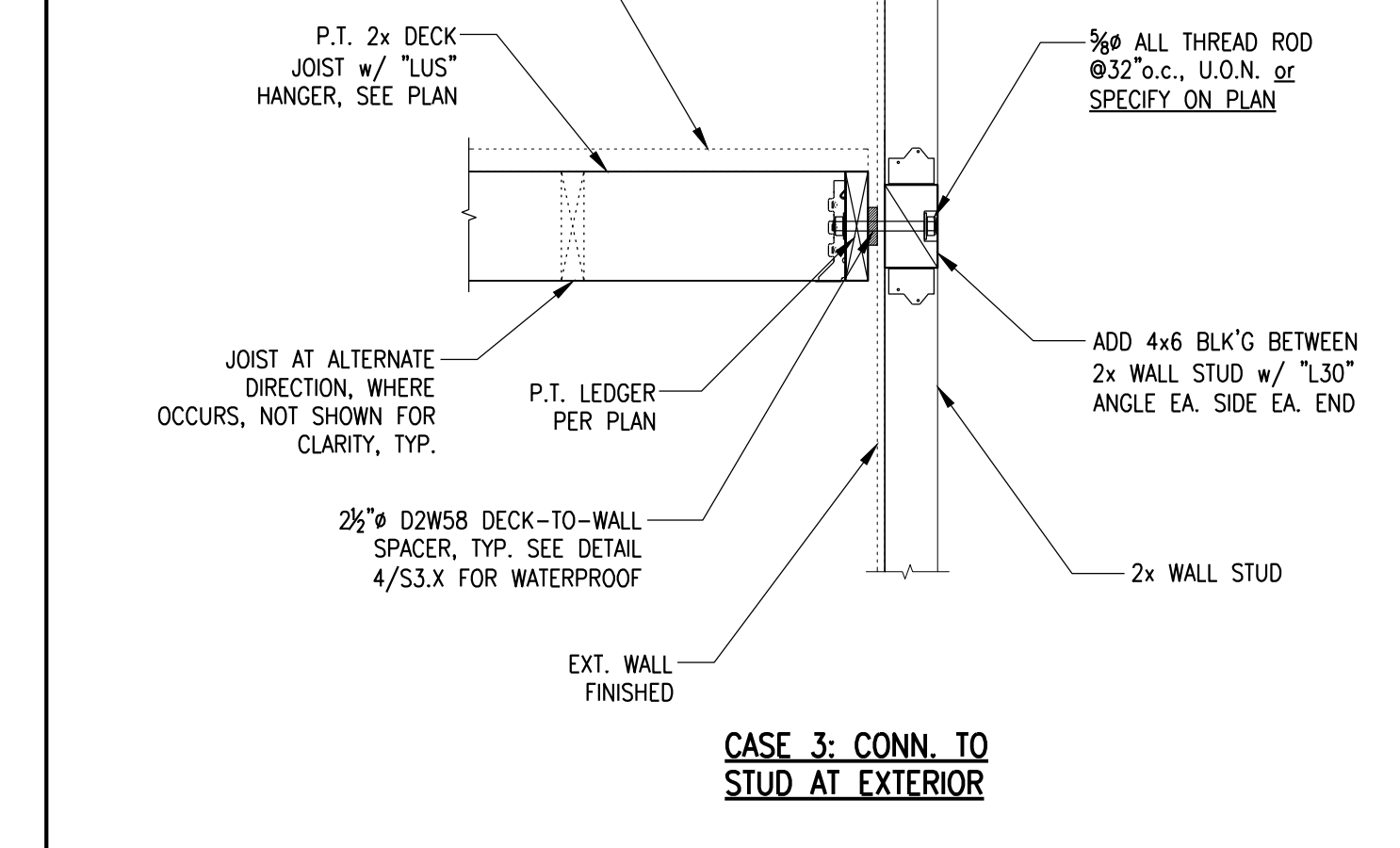
3 DETAIL
SCALE: NONE

(INTENTIONALLY LEFT BLANK)

NOTE: 1. ANY SIDING OR MATERIAL OVER THE STRUCTURAL WOOD SHEATHING MUST BE REMOVED AND SPACERS SHOULD CONTACT A GALVANIZED, COPPER, OR OTHER APPROVED FLASHING.
2. THE D2W58 DOES NOT APPLY TO OTHER APPLICATIONS
3. PRODUCT WEB SITE: <https://www.deck2wallspacer.com/>



2 DECK-TO-WALL SPACER
SCALE: NONE



1 LEDGER AT FLOOR (EXTERIOR)
SCALE: NONE

STRUCTURAL ENGINEER:
W. H. Yang
STRUCTURAL ENGINEERING SERVICE
ADD: PO BOX 390695 MOUNTAIN VIEW CALIFORNIA 94039-0695
P: 408.329.8787 F: 408.228.5176
Email: w.h.yang@hotmail.com



DECK REBUILDING
184 ALAMO SQ., ALAMO, CA 94507

DATE: 03/05/2026 ISSUE: PERMIT SET

REVISIONS:

SHEET TITLE: DETAILS III
JOB NO.: 2603
SCALE: AS NOTED
SHEET: S3.3

NOTE: THIS SHEET SHOULD BE 24"x36"



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2624

Agenda Date: 6/23/2026

Agenda #: 4.

Advisory Board: Alamo Municipal Advisory Council
Subject: CDMS23-00001 - 1260 Livorna Road, Alamo
Contact: Diana Lecca, Department of Conservation and Development

Information:

Applicant: Arnerich Newell
Property Owner: Steven P. Jr. Tre Nelson
Project Location: 1260 Livorna Road, Alamo, CA 94507
Assessor's Parcel Number (APN): 187-330-006
Zoning District: R-20 (Single Family Residential)
General Plan Designation: SL / Residential Low Density

Project Description

The applicant requests approval of a Tentative Parcel Map to subdivide an existing 2.48-acre parcel located at 1260 Livorna Road in Alamo into three residential parcels. The proposed subdivision would create Parcel A (41,650 square feet), Parcel B (31,539 square feet), and Parcel C (26,951 square feet). The site is currently developed with a single-family residence and is zoned R-20 (Single Family Residential).

The project also includes the removal of four Code-Protected Oak Trees and dripline encroachment into two additional protected trees. Tree work associated with Parcel A has previously been addressed under a separate entitlement. The proposed lots would continue to be used for single-family residential purposes and would be served by existing utility providers, including PG&E, East Bay Municipal Utility District, and Central Contra Costa Sanitary District.

Subdivision Details

- Parcel A: 41,650 square feet
- Parcel B: 31,539 square feet
- Parcel C: 26,951 square feet
- Total Site Area: 108,056 square feet (2.48 acres)
- Average Parcel Size: Approximately 36,019 square feet (0.82 acres)

Site Characteristics

The subject property is designated for residential use and is located within an established single-family neighborhood along Livorna Road. The site is outside identified flood hazard areas and is served by existing public infrastructure and utilities. Surrounding properties are primarily developed with single-family residences consistent with the General Plan and zoning designation.

Public Notification

As part of the County's review process, notice of the project and the applicable public hearing was distributed to surrounding property owners and interested parties in accordance with County requirements.



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDMS23-00001

File Date: 2/8/2023

Applicant:

ARNERICH NEWELL
822 HARTZ WAY STE 245
DANVILLE, CA 94526

Newell@ADarch.com
(510) 366-0716

Property Owner:

STEVEN P JR TRE NELSON
87 Jennifer Lane
ALAMO, CA 945071800

evets_64@yahoo.com
(510) 772-0151

Project Description:

Applicant requests approval of a tentative parcel map for the subdivision of a 2.48-acre parcel into a 41,650-square-foot Parcel "A", a 31,539-square-foot Parcel "B", and a 26,951-square-foot Parcel "C". This includes the removal of 4 Code Protected Oak Trees, and dripline encroachment of 2 additional trees. Tree work on Parcel "A" has already been addressed under a separate entitlement.

Project Location: (Address: 1260 LIVORNA RD, ALAMO, CA 945071241), (APN: 187330006)

General Plan Designation(s): SL

Zoning District(s): R-20

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site:


Fees:



Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
MSS0034	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			7662.00	7662.00

Orthophotography



Map Legend

 Assessment
Parcels

Planning
 Unincorporated
Board of
 Supervisors'
Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

General Plan Residential Low



Map Legend

- Assessment
Parcels
- Planning**
- General Plan**
- RVL (Residential
Very-Low
Density) (≤ 1 du/
na)
- RL (Residential
Low Density)
(1-3 du/na)
- RM (Residential
Medium
Density) (7-17
du/na)
- PS (Public and
Semi-Public)
- PR (Park and
Recreation)
- RC (Resource
Conservation)
- Unincorporated
Board of
Supervisors'
Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR NAVIGATION.
 CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984 **25**

Zoning R-20



Map Legend

- Assessment
Parcels
- Planning**
- Zoning**
- ZONE_OVER**
- R-20 (Single
Family
Residential)
- R-40 (Single
Family
Residential)
- P-1 (Planned
Unit)
- Unincorporated
- Board of
Supervisors'
Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

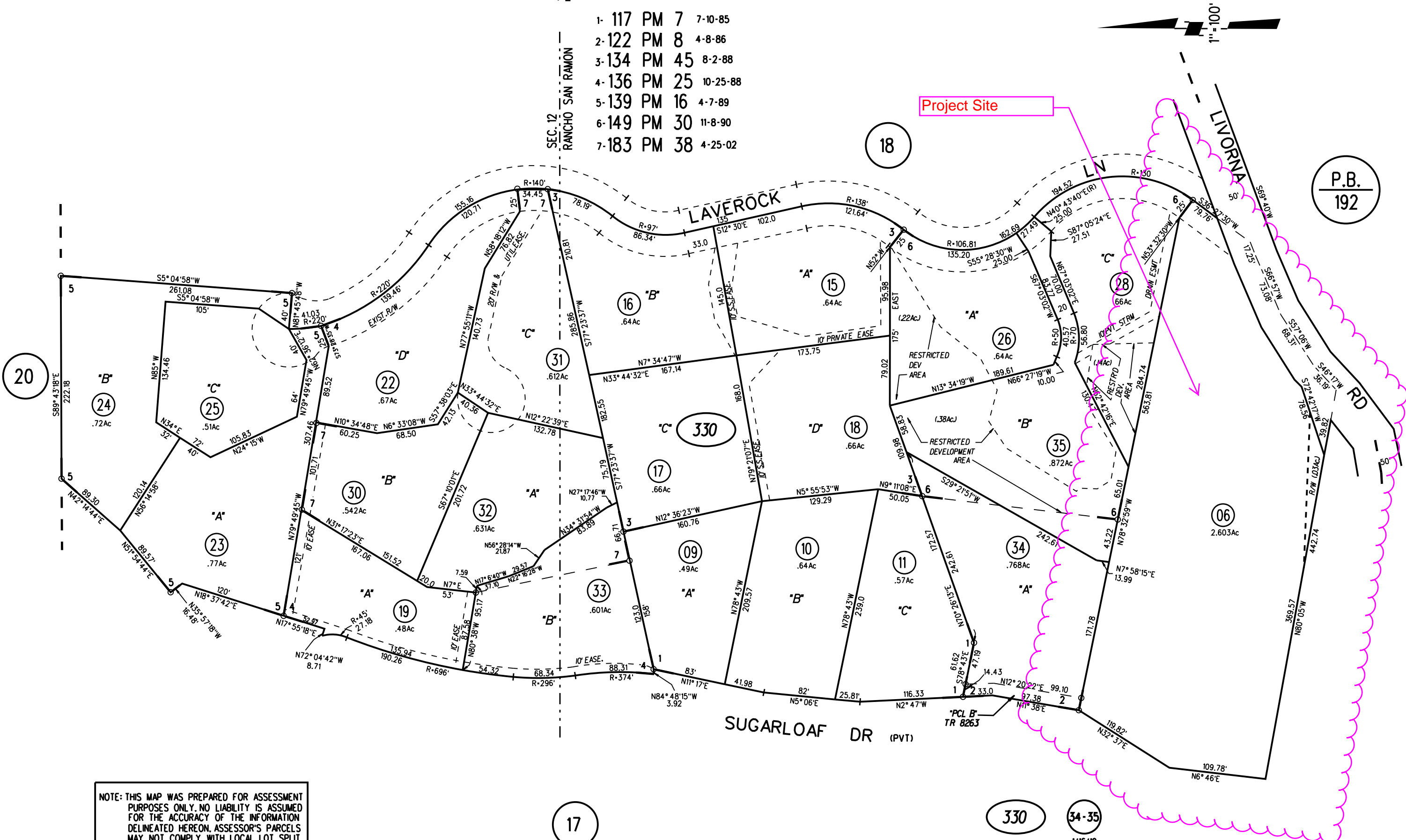
THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

RANCHO SAN RAMON
N 1/2 SEC 12 T1S R 2W MDB&M

- 1- 117 PM 7 7-10-85
- 2- 122 PM 8 4-8-86
- 3- 134 PM 45 8-2-88
- 4- 136 PM 25 10-25-88
- 5- 139 PM 16 4-7-89
- 6- 149 PM 30 11-8-90
- 7- 183 PM 38 4-25-02



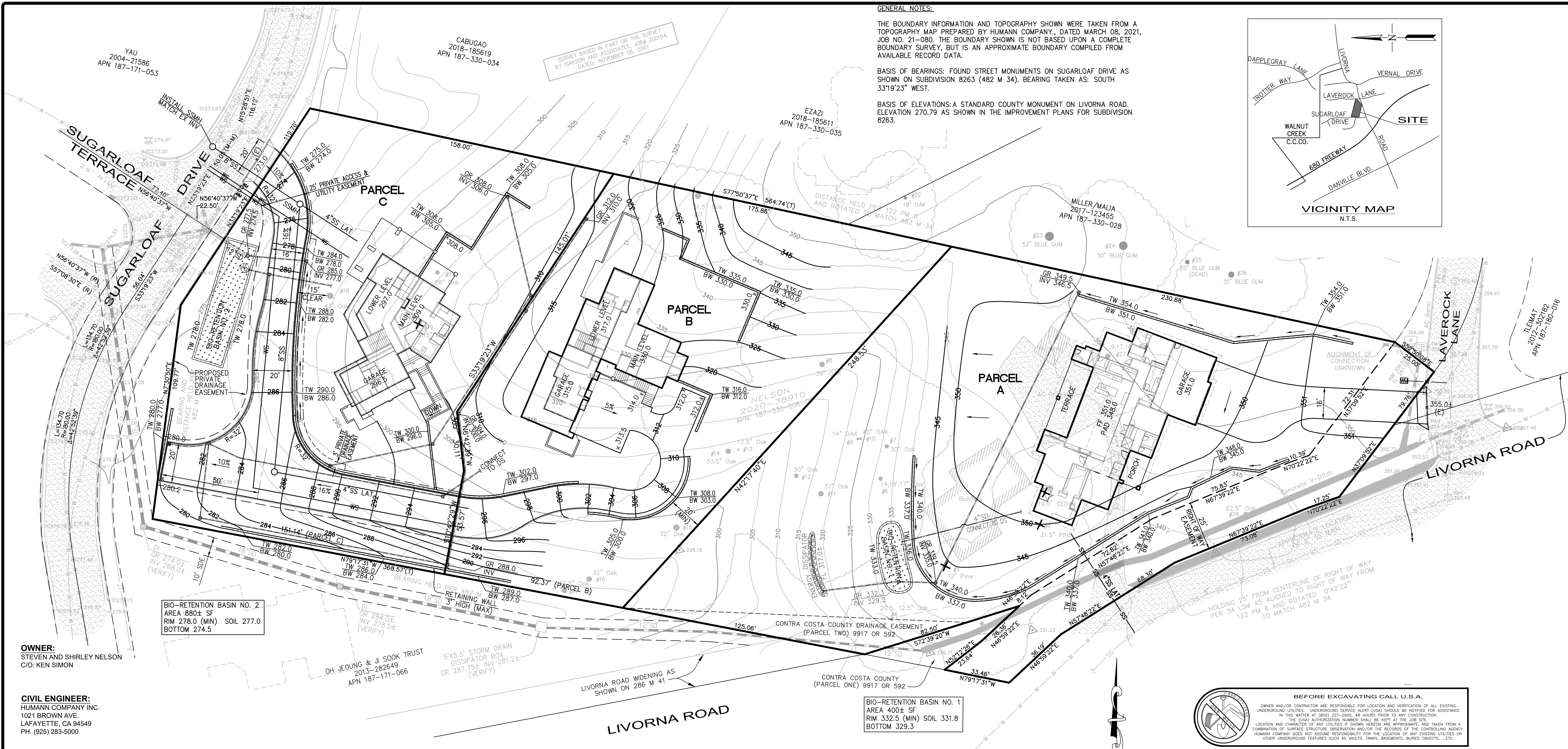
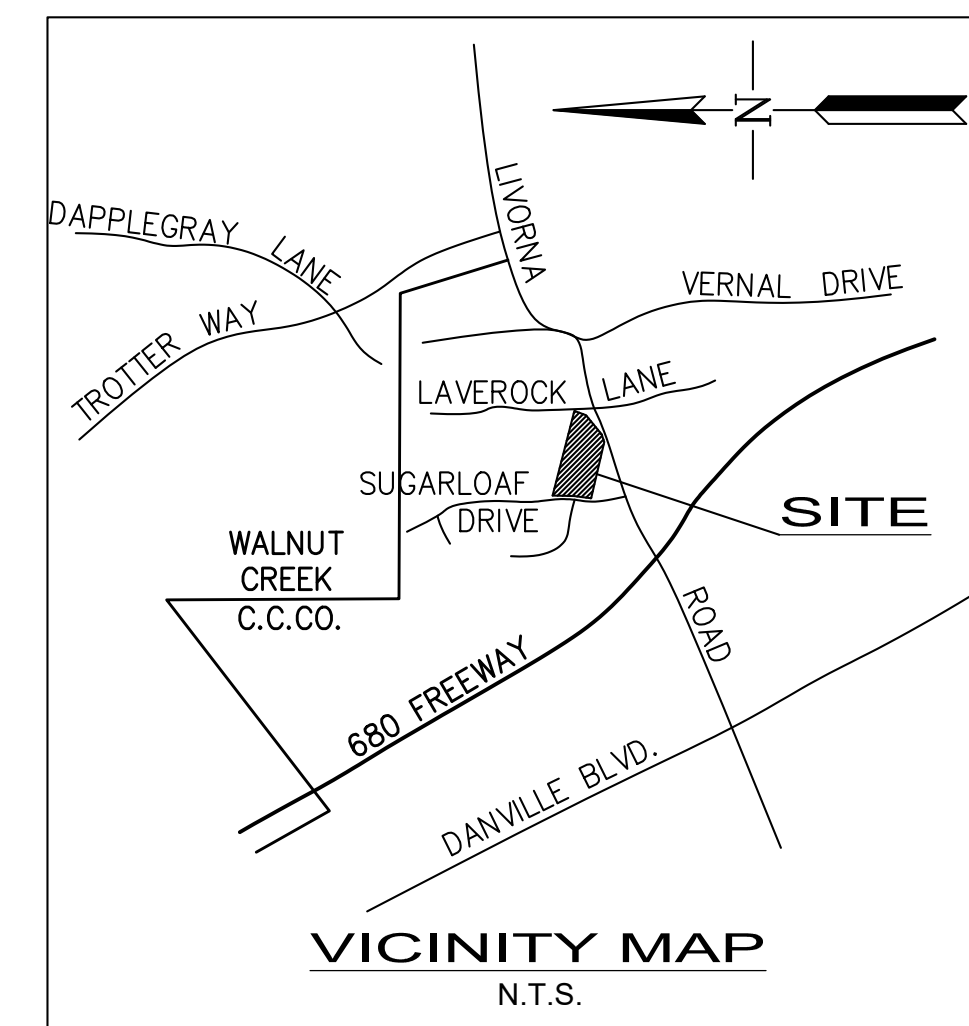
NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

GENERAL NOTES:

THE BOUNDARY INFORMATION AND TOPOGRAPHY SHOWN WERE TAKEN FROM A TOPOGRAPHY MAP PREPARED BY HUMANN COMPANY, DATED MARCH 08, 2021, JOB NO. 21-080. THE BOUNDARY SHOWN IS NOT BASED UPON A COMPLETE BOUNDARY SURVEY, BUT IS AN APPROXIMATE BOUNDARY COMPILED FROM AVAILABLE RECORD DATA.

BASIS OF BEARINGS: FOUND STREET MONUMENTS ON SUGARLOAF DRIVE AS SHOWN ON SUBDIVISION 8263 (482 M 34). BEARING TAKEN AS: SOUTH 33°19'23" WEST.

BASIS OF ELEVATIONS: A STANDARD COUNTY MONUMENT ON LIVORNA ROAD. ELEVATION 270.79 AS SHOWN IN THE IMPROVEMENT PLANS FOR SUBDIVISION 8263.



BIO-RETENTION BASIN NO. 2
AREA 880± SF
RIM 278.0 (MIN) SOIL 277.0
BOTTOM 274.5

BIO-RETENTION BASIN NO. 1
AREA 400± SF
RIM 332.5 (MIN) SOIL 331.8
BOTTOM 329.3

OWNER:
STEVEN AND SHIRLEY NELSON
C/O: KEN SIMON

CIVIL ENGINEER:
HUMANN COMPANY INC.
1021 BROWN AVE
LAFAYETTE, CA 94549
PH. (925) 283-5000

PROJECT INFORMATION
APN: 187-330-006
ADDRESS: 1260 LIVORNA ROAD
ALAMO, CA 94507
EXISTING ZONING: R-20
PROPOSED ZONING: R-20
EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
TOTAL AREA: 108,056 SF (2.48± AC)
NUMBER OF LOTS: 3 LOT SUBDIVISION
AVERAGE LOT AREA: 36,019 SF (0.82± AC)

FRONT SETBACK: 25' MIN
SIDE SETBACK: 15' MIN. (35' AGGREGATE)
REAR SETBACK: 15' MIN.

UTILITIES:
POWER: PG&E
WATER: E.B.M.U.D.
SEWER: C.C.C.S.D.
STORM DRAIN: PUBLIC

PARCEL DATA

#	GROSS AREA (SF)	NET AREA (SF)	WIDTH	DEPTH
A	49,590	41,650	215	231
B	31,539	31,539	149	212
C	34,006	26,951	155	220

NOTE: HOUSES AS SHOWN ARE SCHEMATIC AND NOT PART OF THIS TENTATIVE MAP APPROVAL

EARTH QUANTITIES

APPROXIMATE EARTH QUANTITIES TO BE VERIFIED BY CONTRACTOR

PARCEL A
CUT 750 ± CU. YDS.
FILL 750 ± CU. YDS.

PARCEL B
CUT 2,500 ± CU. YDS.
FILL 0 ± CU. YDS.

PARCEL C
CUT 1,000 ± CU. YDS.
FILL 500 ± CU. YDS.

NOTE: EARTH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COMPUTE QUANTITIES INDEPENDENTLY TO VERIFY. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES.

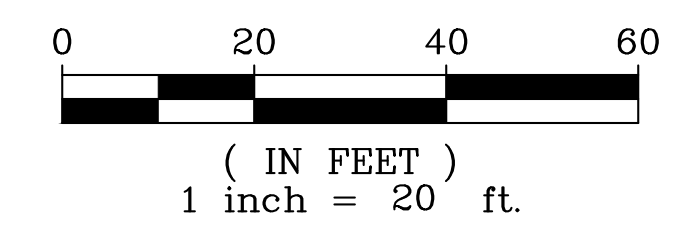
C.3 DATA

PARCEL A (IMP#1)
DMA = 9,000 SF (ALLOWANCE)
IMP/BASIN #1 AREA 400SF

PARCEL B&C (IMP#2)
DMA = 22,000 SF (ALLOWANCE)
IMP/BASIN #2 AREA 880 SF

LEGEND

- FOUND STANDARD CONTRA COSTA COUNTY MONUMENT PER 482 M 34
- CB CATCH BASIN
- U UTILITY BOX
- W WATER UTILITY BOX
- G GAS LINE (PER PLAN)
- E ELECTRIC LINE (PER PLAN)
- ⊕ SIGN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ STORM DRAIN
- ⊕ SANITARY SEWER MANHOLE
- SS SANITARY SEWER LINE (PER PLAN)
- SD STORM DRAIN LINE (PER PLAN)
- EX EX STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- ▭ CATCH BASIN
- ▭ RET WALL
- X TREE TO BE REMOVED



BEFORE EXCAVATING CALL U.S.A.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 221-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.

THE U.S.A. AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.

LOCATION AND CHARACTER OF ANY UTILITIES SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

EXISTING IMPERVIOUS SURFACES

SURFACE TYPE	AREA (SF)
DRIVEWAY/STRUCTURES/WALKS	4,300

PROPOSED IMPERVIOUS SURFACES

SURFACE TYPE	ALLOWANCE	AREA (SF)
PARCEL A	ALLOWANCE	9,000
PARCEL B	ALLOWANCE	9,000
PARCEL C	ALLOWANCE	9,000
ROADWAY		4,000
TOTAL		31,000

2:11pm/21-080/Map/21-080.dwg DATE: 8/10/2023 11:59:22 PM PLOT DATE: 8/10/2023 2:06:58 PM LAYOUT: TMAP_201042-1B8

NO.	DATE	BY	REVISIONS

SCALE 1" = 20'

DATE 08/10/23

DRAWN CS/KM/PE

CHECKED IN

JOB NO. 21-080

REGISTERED PROFESSIONAL ENGINEER
No. 29528
Mpt Nashashibi
CIVIL
STATE OF CALIFORNIA
IZZAT S. NASHASHIBI R.C.E. 29528

TENTATIVE PARCEL MAP MS 23-0001

PORTION OF RANCHO SAN RAMON
KEN SIMON - 1260 LIVORNA ROAD
CONTRA COSTA COUNTY CALIFORNIA

ALAMO

HUMANN COMPANY INC.
ENGINEERING - SURVEYING
1021 BROWN AVE. LAFAYETTE, CA 94549
PH (925)283-5000 FAX (925)283-3378

SHEET 1
OF 1 SHEET

JOB NO. 21-080