



## AGENCY COMMENT REQUEST

Date 1/30/25

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><b>INTERNAL</b></p> <p><input checked="" type="checkbox"/> Building Inspection      Grading Inspection Advance Planning      Housing Programs Trans. Planning      Telecom Planner ALUC Staff      HCP/NCCP Staff County Geologist</p> <p><b>HEALTH SERVICES DEPARTMENT</b> Environmental Health      Hazardous Materials</p> <p><b>PUBLIC WORKS DEPARTMENT</b> Engineering Services      Special Districts Traffic Flood Control (Full-size)</p> <p><b>LOCAL</b></p> <p><input checked="" type="checkbox"/> Fire District _____ San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a> <input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfdpd.org">fire@cccfdpd.org</a></p> <p><input checked="" type="checkbox"/> Sanitary District <u>West County Wastewater</u> <input checked="" type="checkbox"/> Water District <u>EBMUD</u> City of _____ School District(s) _____ LAFCO Reclamation District # _____ East Bay Regional Park District Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>East Richmond Heights</u> Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)</p> <p><b>OTHERS/NON-LOCAL</b> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>) CA Fish and Wildlife, Region 3 – Bay Delta Native American Tribes</p> <p><b>ADDITIONAL RECIPIENTS</b> _____ _____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Diana Lecca</u> Phone # <u>925-655-2869</u> E-mail <u>diana.lecca@dcd.cccounty.us</u> County File # <u>CDVR25-01007</u></p> <p>Prior to <u>Feb. 25, 2025</u></p> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <p>Landslide      Active Fault Zone (A-P) Liquefaction      Flood Hazard Area 60-dBA Noise Control CA EPA Hazardous Waste Site High or Very High FHSZ</p> <p style="text-align: center;">*****</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments:      None      Below ____ Attached</p>   <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR25-01007**

**File Date: 1/30/2025**

**Applicant:**

Tristan Inghelbrecht  
6808 Del Monte Ave  
Richmond, CA 94805

tristan.rice@outlook.com  
(415) 967-9257

**Property Owner:**

Tristan Inghelbrecht  
6808 Del Monte Ave  
Richmond, CA 94805

tristan.rice@outlook.com  
(415) 967-9257

**Project Description:**

The applicant requests a variance to allow a retaining wall/fence combo up to 9 feet in height located at a 0 foot side yard setback (where 3 feet is the required minimum "sliding scale") and a 0 foot rear yard setback (where 3 feet is the required minimum)

**Project Location: (Address: 6808 DEL MONTE AVE, RICHMOND, CA 948052047), (APN: 521122005)**

**Additional APNs:**

**General Plan Designation(s):** RM

**Zoning District(s):** R-6

**Flood Hazard Areas:** X

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:** East Richmond Heights MAC

**Sphere of Influence:** El Cerrito

**Fire District:** CONSOLIDATED FIRE

**Sanitary District:** WEST CO WASTEWATER

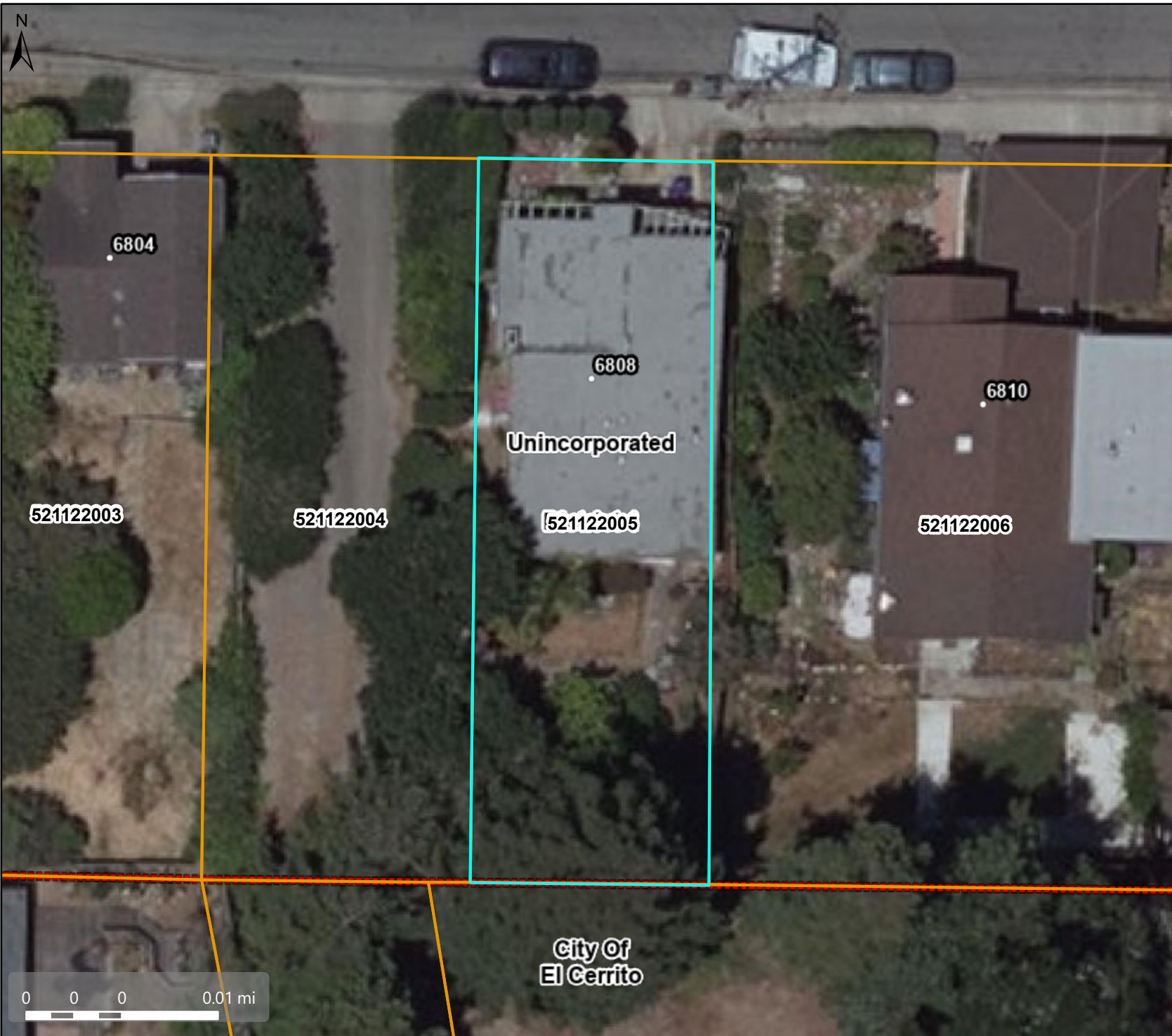
**Housing Inventory Site:** NO

**Specific Plan:**





**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3280.00</b>	<b>3280.00</b>

# Aerial



## Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
  -  Unincorporated City Limits
  -  Board of Supervisors' Districts
- Base Data**
  -  Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION.**






CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

**Spatial Reference**  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984





### Map Legend

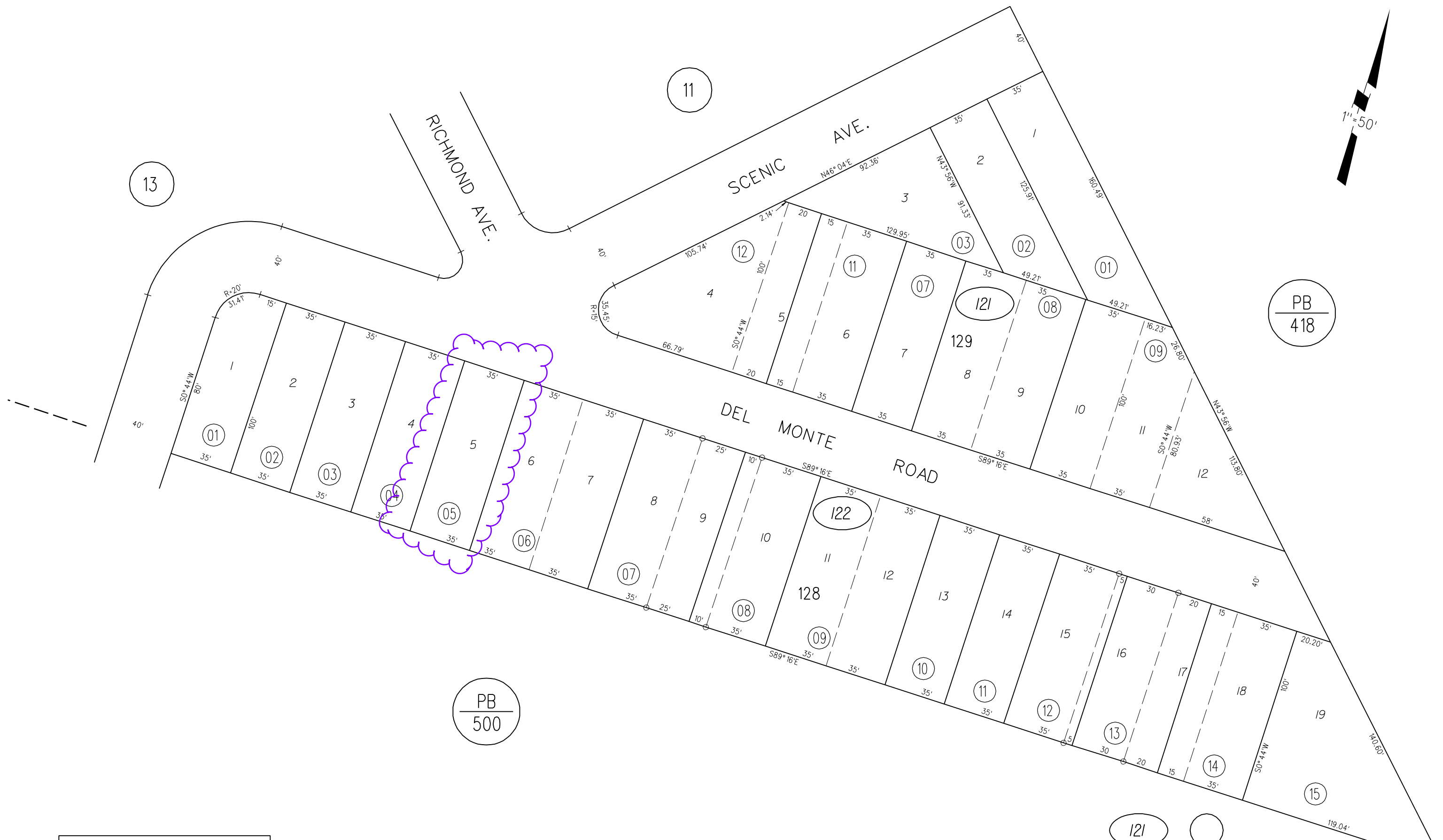
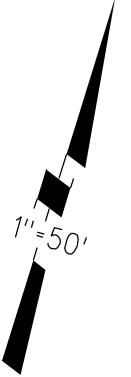
-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  RM (Residential Medium Density) (7-17 du/na)
-  Unincorporated City Limits
-  Board of Supervisors' Districts
- Base Data**
-  Address Points

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NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

121 ○  
122 ○

# Zoning - R-6



## Map Legend

- Assessment Parcels
- Planning Layers (DCD)
- Zoning
- ZONE\_OVER
  - R-6 (Single Family Residential)
  - Unincorporated
- City Limits
- Board of Supervisors' Districts
- Base Data
  - Address Points

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PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984





# ALTERATIONS TO THE DEL MONTE RESIDENCE

## 6808 DEL MONTE AVE., RICHMOND, CA 94805

### GENERAL NOTES

- ALL DIMENSIONS ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. DISCREPANCIES IN DIMENSION OR LAYOUT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING.
- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEBRIS AND FOR KEEPING SPACE CLEAN ON A DAILY BASIS.
- CONTRACTOR SHALL PROVIDE DUST BARRIERS SEPARATING AREAS OF WORK FROM THE REST OF THE HOUSE. EXISTING FLOORS TO BE PROTECTED SHALL RECEIVE A PVC BARRIER, PAD UNDERLAYMENT OF EXISTING CARPET AND MASONITE OR PLYWOOD COVER. WALL SURFACES AND MOULDINGS IN PATHS OF TRAVEL SHALL RECEIVE MASONITE OR PLYWOOD PROTECTION TO MINIMUM HEIGHT OF 6'-0". REFER TO NOTES ON FLOOR PLAN FOR SPECIFIC PROTECTION REQUIREMENTS.
- CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING TO REVIEW: PATHS OF MATERIALS, ACCESS, SCHEDULING, PROVISIONS FOR PROTECTION OF EXISTING SURFACES, SECURITY ARRANGEMENTS, JOB PHONE AND TOILET FACILITIES, AND COORDINATION WITH OWNER. DAMAGE TO EXISTING RESIDENCE, PROPERTY OR FURNISHINGS CAUSED BY CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- AFTER PRELIMINARY DEMOLITION IS COMPLETED, CONTRACTOR SHALL REVIEW LOCATION OF CONCEALED PIPING, UTILITIES, AND STRUCTURE WITH ARCHITECT PRIOR TO PROCEEDING IF CONFLICTING WITH PROPOSED WORK.
- GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER'S SECURITY COMPANY AS NECESSARY DURING CONSTRUCTION AND SHALL GIVE SUFFICIENT NOTICE FOR SCHEDULING AND COORDINATION OF SECURITY WORK. REMOVAL AND PROTECTION OF ALARM DEVICES MUST BE COORDINATED WITH ALARM COMPANY PRIOR TO DEMOLITION.
- CONTRACTOR SHALL INSTALL FOAM INSULATION (TYPE T.B.D.) TO FULL DEPTH OF STUD CAVITY AT EXISTING EXTERIOR WALLS EXPOSED DURING CONSTRUCTION. ALL INSULATING MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF TITLE 24 CALIFORNIA ENERGY CODE AND C.E.C. LISTINGS.
- GENERAL CONTRACTOR SHALL COORDINATE SCHEDULING OF WORK WITH OWNER DURING CONSTRUCTION.
- GENERAL CONTRACTOR AND PLUMBING SUBCONTRACTOR SHALL REVIEW WATER SUPPLY SYSTEM WITH OWNER AND ARCHITECT AFTER DEMOLITION TO ASCERTAIN EXTENT OF PIPING AND ANY REQUIRED UPGRADE WORK.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL REVIEW EXISTING ELECTRICAL SYSTEM INCLUDING CAPACITY AND AMPERAGE OF MAIN PANEL, AND CAPACITY OF MAIN UNDERGROUND SUPPLY CONDUIT AND CABLE. ALL UPGRADE WORK SHALL BE IDENTIFIED AND INCLUDED IN THE SCOPE OF WORK AND IN THE CONSTRUCTION COST.
- EXISTING FINISHES ARE TO REMAIN UNLESS NOTED FOR REMOVAL. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SCHEDULE WALK-THROUGH WITH OWNER AND ARCHITECT TO REVIEW EXTENT OF DEMOLITION.
- AFTER PRELIMINARY DEMOLITION IS COMPLETE, SURFACE FINISHES REMOVED AND EXISTING WALL FRAMING UNCOVERED, CONTRACTOR SHALL SCHEDULE A MEETING WITH OWNER, ARCHITECT AND STRUCTURAL ENGINEER TO REVIEW LOCATION OF STRUCTURE, PIPING AND UTILITIES PRIOR TO PROCEEDING WITH FURTHER WORK.
- ALL EXISTING PIPING AND CONDUIT WHICH IS NOT PART OF THE CURRENT WORKING SYSTEM SHALL BE IDENTIFIED AND REMOVED.
- LAYOUT PLAN IN FIELD AND SET DOWN PLATES WITHOUT FASTENING OR LIGHTLY TACKED DOWN. SCHEDULE MEETING WITH OWNER AND ARCHITECT TO REVIEW DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL ELECTRICAL WORK TO CONFORM TO TITLE 24 CALIFORNIA ENERGY CODE REQUIREMENTS.
- THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL LIST DEFERRED SUBMITTALS ON THE SITE PLAN FOR REVIEW BY THE BUILDING OFFICIAL. ANY DEFERRED SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL.

### PROJECT DESCRIPTION

AMENDMENT TO ORIGINAL PERMIT:  
REPLACEMENT OF EXISTING FENCE @ REAR PROPERTY LINES AT SOUTH AND EAST

### PROJECT DATA

LOT SIZE: 3,554 SQ. FT  
CONSTRUCTION TYPE: V-B

### OFFICIAL USE ONLY

### APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA ENERGY CODE  
2022 GREEN BUILDING STANDARD, CHAPTER 4

### DRAWING SHEET INDEX

ARCHITECTURAL		STRUCTURAL	
A000	COVER SHEET	S0	GENERAL NOTES
A101	SITE PLANS	S1.0	STRUCTURAL DETAILS
A304	ELEVATIONS	S2.0	RETAINING WALL PLAN

### PROJECT DIRECTORY

<b>OWNER:</b>	ALEXANDRA HENLEY AND TRISTAN INGHELBRECHT 6808 DEL MONTE AVE. RICHMOND, CA 94805
<b>ARCHITECT:</b>	THAYER HOPKINS ARCHITECTS CONTACT: THAYER HOPKINS, BILQUIS AYAR 1000 BRANNAN STREET, SUITE 304 SAN FRANCISCO, CA 94103 TEL: (415) 660-9870 EMAIL: THAYER@THAYER-HOPKINS.COM BILQUIS.AYAR@GMAIL.COM
<b>CONTRACTOR</b>	ANIXON BUILDER CONTACT: AARON NIXON EMAIL: ANIXONBUILDER@GMAIL.COM
<b>STRUCTURAL ENGINEER:</b>	SIMPLENGI ENGINEERING CONTACT: SWADHIN PRUSTY, RAY HOOFT TEL: (415) 754-3644 EXT. 703 EMAIL: SWADHIN@SIMPLENGI.COM RAY@SIMPLENGI.COM

### DRAWING ISSUES

RETAINING WALL PERMIT SET

JULY 23, 2024

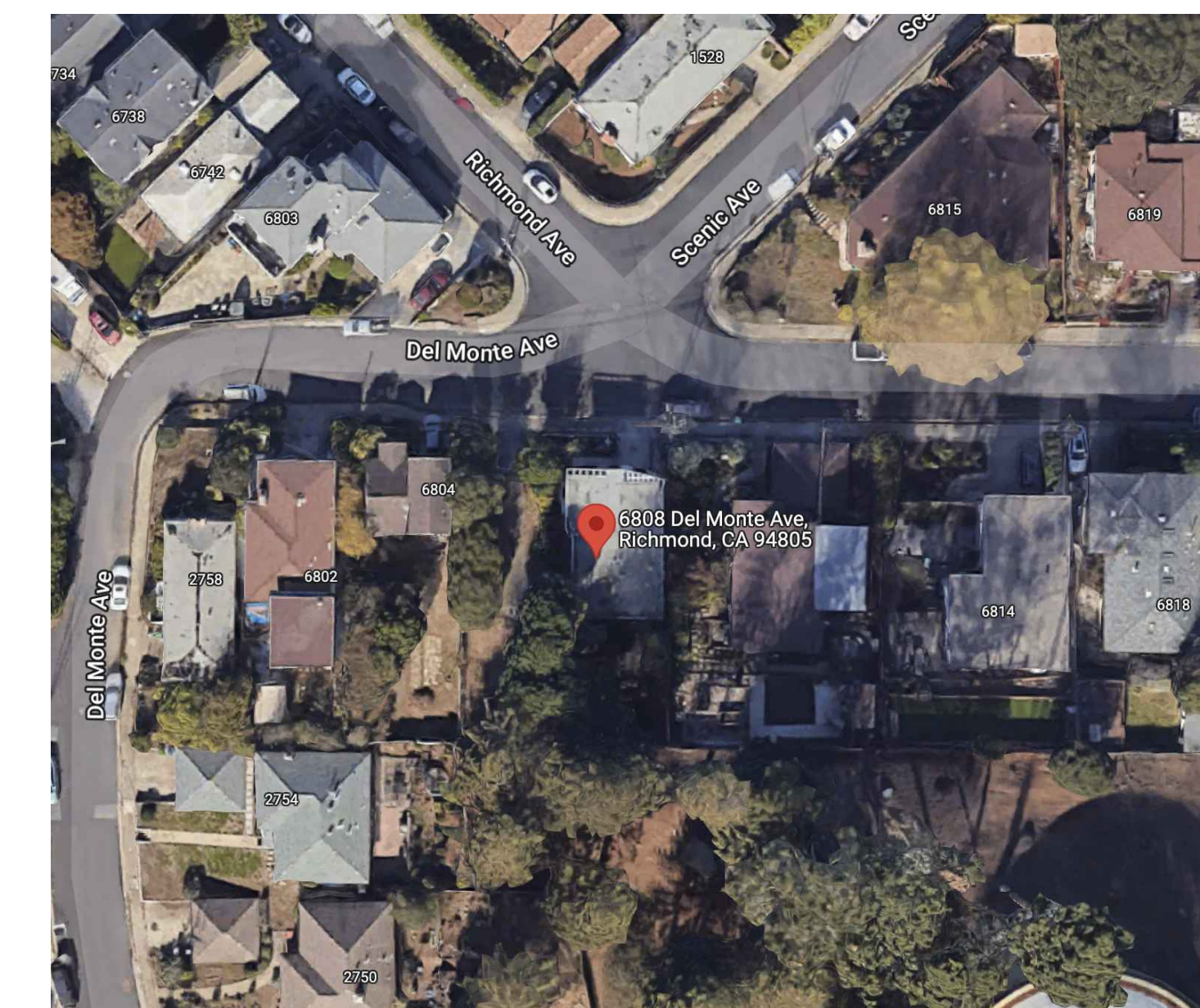
### ARCHITECTURAL MATERIALS AND SYMBOLS LEGEND

	COLUMN GRID		KEYED SHEET NOTES		INSULATION, BATT
	NORTH ARROW		REVISION		INSULATION, RIGID
	DATUM LINE		PLUMBING FIXTURE/ACCESSORY		METAL
	BUILDING SECTION / BUILDING ELEVATION		WALL/FLR/CLG FINISH NOTES		METAL LATH
	WALL SECTION / WALL ELEVATION		PROPERTY LINE		MORTAR / PLASTER
	DETAIL OR ENLARGED PLAN W/ TAG MARK		DIRECTION/DOWN-SLOPE		PLYWOOD
	ENLARGED DRAWING		ELEVATION		ROCK FILL
	ELEVATION TAGS		CENTER LINE		SAND
	WINDOW NUMBER		ACOUSTIC TILE OR BOARD		STONE
	DOOR NUMBER		BRICK		STUCCO
			CONCRETE		WOOD, FINISH
			CONCRETE BLOCK		WOOD, FRAMING THROUGH MEMBER
			EARTH		WOOD, FRAMING INTERRUPTED MEMBER
			GLASS		
			GYPSUM BOARD		

### ARCHITECTURAL ABBREVIATIONS

A/C	AIR CONDITIONING	DBL	DOUBLE	GWB	GYPSUM WALL BOARD
AB	ANCHOR BOLT	DEPT	DEPARTMENT	GYP	GYPSUM
AD	AREA DRAIN	DIA	DIAMETER	GYP.BD.	GYPSUM BOARD
AFF	ABOVE FINISHED FLR	DIAG	DIAGONAL	HC	HANDICAPPED
AL	ALUMINUM	DIM	DIMENSION	HORIZ	HORIZONTAL
ALT	ALTER OR ALTERNATE	DN	DOWN	INT	INTERIOR
ANOD	ANODIZED	DR	DOOR	JC	JANITOR'S CLOSET
APROX	ARCHITECTURAL	DS	DOWNSPOUT	MISC	MISCELLANEOUS
ARCH	ASPHALT	DTL	DETAIL	NTS	NOT TO SCALE
ASPH	BOARD	DWG	DRAWING	OFD	OVERFLOW DRAIN
BD	BETWEEN	EA	EACH	OFS	OVERFLOW SCUPPER
BTWN	BLOCK	EJ	EXPANSION JOINT	OPNG	OPENING
BLK	BUILDING	EL	ELEVATION	PT	POINT
BLDGS	BLOCKING	EMER	EMERGENCY	R	RADIUS
BLKG	BEAM	EOS	EDGE OF SLAB	REINF	REINFORCED OR REINFORCING
BM	BASEMENT	EP	ELECTRIC PANEL BD	RO	ROUGH OPENING
BSMT	CATCH BASIN	EXP	EXPANSION	SCHED	SCHEDULE
CB	CEMENTIOUS	EXT	EXTERIOR	SLNT	SEALANT
CBB	BACKER BOARD	FIN	FINISH	SSD	SEE STRUCTURAL DRAWING
CEM	CERAMIC	FXT	FIXTURE	STRUC	STRUCTURE OR STRUCTURAL
CER	CERAMIC TILE	FD	FLOOR DRAIN	TD	TRENCH DRAIN
CJ	CONTROL JOINT	FLR	FLOOR	TO	TOP OF ...
CL	CENTER LINE	FND	FOUNDATION	TOC	TOP OF CURB
CL	CEILING	FO	FACE OF ...	TOS	TOP OF SLAB
CLG	CONCRETE MASONRY UNIT	FOC	FACE OF CONCRETE	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	FOF	FACE OF FINISH	UN	UNLESS OTHERWISE NOTED
COL	COLUMN	FOM	FACE OF MASONRY	VIF	VERIFY IN FIELD
CONC	CONCRETE	FOS	FACE OF STUDS	WDW	WINDOW
CONT	CONTINUOUS	FT	FOOT OR FEET		
CORD	COORDINATE	FURR	FURRING OR FURRED		
CORR	CORRIDOR	GA	GAUGE		
CTR	CENTER	GALV	GALVANIZED		
		GSM	GALVANIZED SHEET METAL		

### LOCATION MAP



PERMIT SET JULY 23, 2024

PROJECT INFORMATION:

DEL MONTE RESIDENCE  
6808 DEL MONTE AVE  
RICHMOND, CA 94805

APN: 521-122-005-7

SCALE: AS NOTED

DRAWN BY: BA

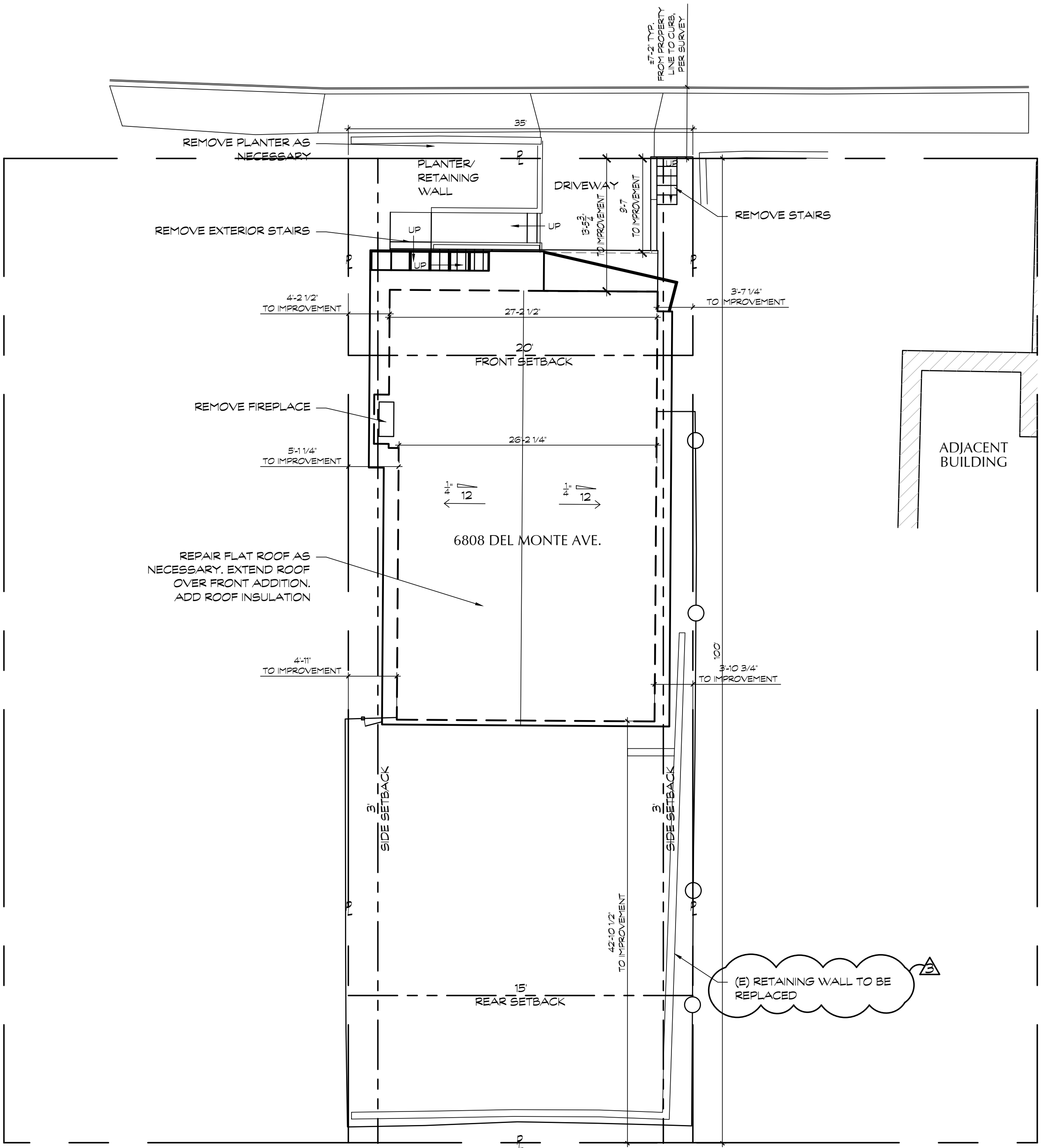
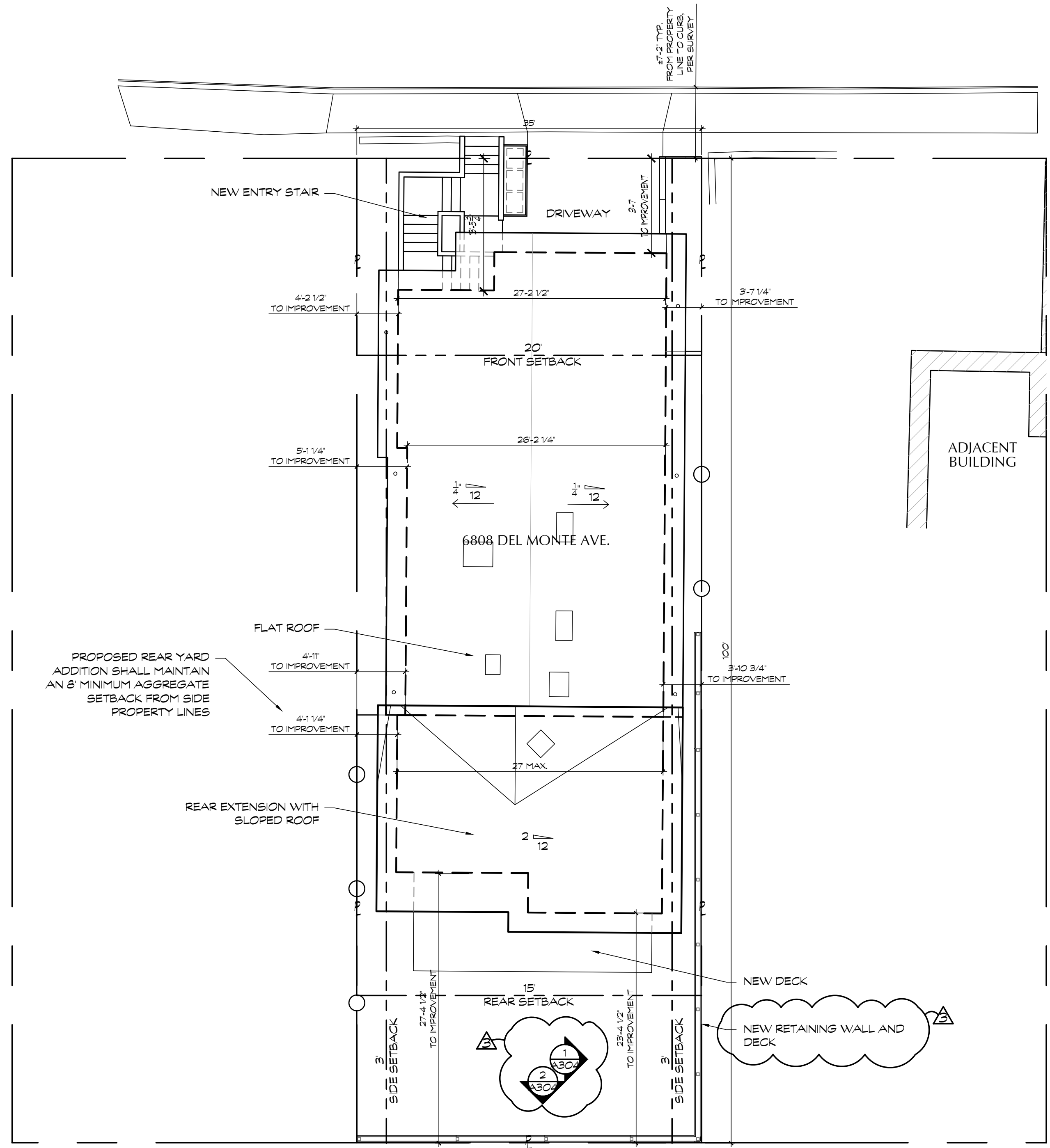
JOB: 6808 DEL MONTE AVE

SHEET:

COVER SHEET

**A000**





2 Proposed Site Plan  
Scale: 1/8"=1'-0"

1 Existing Site Plan  
Scale: 1/8"=1'-0"



PERMIT SET JULY 23, 2024

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DEL MONTE RESIDENCE  
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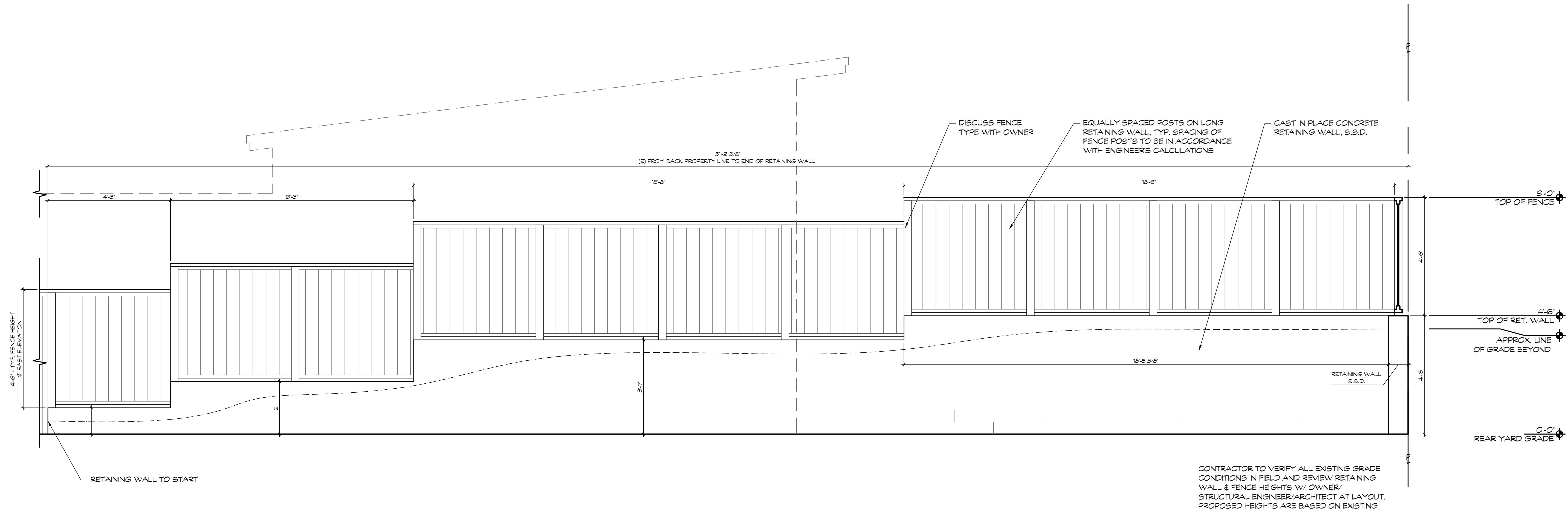
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SHEET:

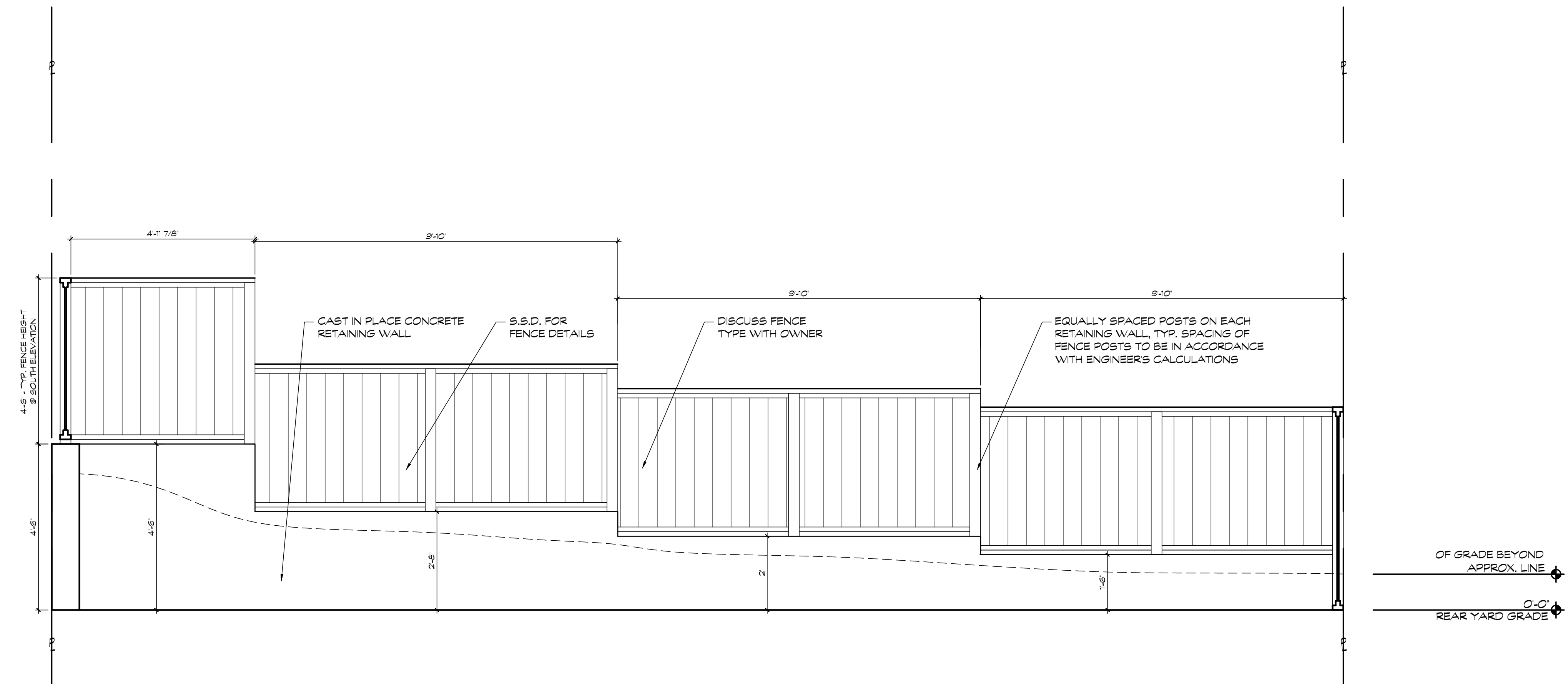
SITE PLANS

A101





1 PROPOSED RETAINING WALL EAST ELEVATION  
Scale: 1/2"=1'-0"



2 PROPOSED RETAINING WALL SOUTH ELEVATION  
Scale: 1/2"=1'-0"

PERMIT SET JULY 23, 2024

PROJECT INFORMATION:

DEL MONTE RESIDENCE  
6808 DEL MONTE AVE  
RICHMOND, CA 94805

APN: 521-122-005-7

SCALE: AS NOTED

DRAWN BY: BA

JOB: 6808 DEL MONTE AVE

SHEET:

ELEVATIONS

A304



# DRAWING INDEX

<b>S0</b>	<b>DRAWING INDEX, STRUCTURAL NOTES, SYMBOLS LEGEND, AND ABBREVIATIONS</b>
<b>S1.0</b>	<b>TYPICAL &amp; CUSTOM DETAILS</b>
<b>S2.0</b>	<b>SITE RETAINING WALL PLAN</b>

## STRUCTURAL NOTES

### 1. GENERAL

- CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE.
- THESE NOTES APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- VERIFY ALL EXISTING CONDITIONS AND PROPOSED DIMENSIONS AT JOB SITE. COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED. DO NOT SCALE DRAWINGS.
- UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF THE PERSONS AND PROPERTY, PROVIDING NECESSARY SHORING AND BRACING, AND FOR ALL NECESSARY INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ALL DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BRING OMISSIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS TO THE STRUCTURAL ENGINEER'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK.

### 2. TESTS & INSPECTIONS

- PROVIDE TESTS AND SPECIAL INSPECTIONS FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE 2022 EDITION CHAPTER 17.
- THE FOLLOWING SPECIFIC ITEMS SHALL BE INSPECTED BY THE ENGINEER OF RECORD OR QUALIFIED INSPECTOR
  - PLACEMENT OF REINFORCING STEEL
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AND ENSURING THAT ALL REQUIRED TESTING & INSPECTION IS PERFORMED TO THE SATISFACTION OF THE INSPECTOR.
- \*\*THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO TIME OF INSPECTION.

### 3. DESIGN BASIS - BUILDING STRUCTURES

- CONSTRUCT IN CONFORMANCE WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- GENERAL DESIGN DATA:
 

ROOF:	DL (PSF)	LL (PSF)
FLOOR:	12	20
	15	40
- WIND DESIGN DATA:
 

BASIC WIND SPEED:	93 MPH
WIND IMPORTANCE FACTOR:	$I_w = 1.0$
WIND EXPOSURE:	C
- SEISMIC DESIGN DATA:
 

SEISMIC IMPORTANCE FACTOR:	$I_p = 1.0$
RISK CATEGORY:	II
MAPPED SPECTRAL RESPONSE ACCELERATION:	$S_s = 2.291$ $S_1 = 0.883$
SITE CLASS:	D (DEFAULT)
SPECTRAL RESPONSE COEFFICIENTS:	$S_{D5} = 1.833$ $S_{D1} = 1.001$
SEISMIC DESIGN CATEGORY:	D
BASIC SEISMIC FORCE RESISTING SYSTEM(S):	WOOD STRUCTURAL PANEL SHEARWALLS
RESPONSE MODIFICATION FACTOR(S):	$R = 6.5$
SEISMIC RESPONSE COEFFICIENT(S):	$C_p = 0.282$ (STRENGTH)
DESIGN BASE SHEAR:	0.15W (ASD)
ANALYSIS PROCEDURE USED:	EQUIVALENT LATERAL FORCE PROCEDURE

### 4. SELECT FILL AND SITE PREPARATION

- SITE WORK SHALL BE CARRIED OUT AS RECOMMENDED IN THE SOILS REPORT.
- STRIP THE AREA TO BE BUILT OVER OF ALL ORGANIC MATERIAL AND TOP SOIL.
- SCARIFY THE TOP 6" OF THE STRIPPED SURFACE. BRING TO THE CORRECT MOISTURE CONTENT, THEN RECOMPACTED TO AT LEAST 95% UNDER FOOTINGS AND 90% ELSEWHERE.
- FILL MATERIAL TO BE PLACED IN 6" LAYERS AND COMPACTED.
- FILL MATERIAL SHALL BE FREE OF PLASTIC CLAYS, VEGETATION, AND OTHER DELETERIOUS MATERIAL; IT SHALL BE OF SUCH QUALITY THAT IT WILL COMPACT THOROUGHLY WHEN WATERED AND ROLLED. THE FILL SHALL NOT CONTAIN ROCKS OR LUMPS OVER 2" IN GREATEST DIMENSION.
- STEP CONTINUOUS FOOTINGS PER TYPICAL DETAILS. DO NOT SLOPE FOOTINGS.

### 5. FOUNDATIONS

- THE FOUNDATION DESIGN IS BASED UPON CHAPTER 18 OF THE CALIFORNIA BUILDING CODE.
  - VERTICAL BEARING: 1500 PSF
- EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEXT LINES REQUIRED BY THE SIZE AND SHAPE OF THE STRUCTURE. ALL FOUNDATIONS SHALL BE POURED WITHOUT THE USE OF SIDE FORMS WHEREVER POSSIBLE. IF THE TRENCHES CANNOT STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.
- DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOME SOFTENED DUE TO RAIN OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE AT NO COST TO OWNER.

### 6. CONCRETE

- REINFORCE ALL CONCRETE. INSTALL ALL INSERTS, BOLTS, ANCHORS, AND REINFORCING AND SECURELY TIE PRIOR TO PLACING CONCRETE.
- NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT.
- CONCRETE SHALL BE HARDROCK CONCRETE, USING PORTLAND CEMENT TYPE I OR II LOW ALKALINE AND SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. MINIMUM CEMENT CONTENT = 4.5 SACKS/CU.YD. FLYASH MAY BE SUBSTITUTED FOR UP TO 25% WEIGHT OF THE CEMENT CONTENT. MAXIMUM SLUMP = 4" AGGREGATE SIZE = MAXIMUM SIZE APPROPRIATE FOR FORM & REBAR CLEARANCE.
- CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. NOTE: FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.
- CONDUITS OR PIPES (O.D.) WITHIN SLAB SHALL NOT EXCEED 30% OF SLAB THICKNESS AND SHALL BE SPACED AT LEAST FOUR-DIAMETER APART, UNLESS SPECIFICALLY DETAILED OTHERWISE.
- VERIFY ALL CONCRETE WORK DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE POURING CONCRETE.

### 7. REINFORCING STEEL

- ALL REINFORCING STEEL BARS SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR DEFORMED BILLET-STEEL FOR CONCRETE REINFORCEMENT, ASTM DESIGNATION A615 OR A706 FOR SHEAR WALLS AND REINFORCING TO BE WELDED. BARS #5 AND LARGER SHALL BE GRADE 60. ALL OTHER BARS SHALL BE GRADE 40, UNLESS OTHERWISE NOTED.
- WIRE MESH SHALL CONFORM WITH ASTM A185-64.
- SUITABLE DEVICES OF SOME STANDARD MANUFACTURE SHALL BE USED TO HOLD REINFORCEMENT IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCEMENT DURING PLACING OF CONCRETE.
- LAP SPLICE ALL BARS TO CLASS B SPLICE AND 2'-0" MINIMUM UNLESS OTHERWISE NOTED. PROVIDE 1/2" CLEARANCE BETWEEN PARALLEL BARS.
- UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS:
  - 3" WHERE CONCRETE IS DEPOSITED AGAINST EARTH EXCEPT SLAB-ON-GRADE
  - 2" WHERE CONCRETE IS EXPOSED TO EARTH BUT FORMED
  - 1 1/2" FOR BEAMS, COLUMNS AND EXTERIOR SURFACES
  - 3/4" FOR INTERIOR SLABS, JOISTS AND WALLS
- ALL SLABS ON GRADE SHALL HAVE CONTROL JOINTS TO CREATE APPROXIMATELY 20-FOOT SQUARES, UNLESS OTHERWISE NOTED ON THE PLANS.
- UNLESS DETAILED OTHERWISE, REINFORCING STEEL IN THE CONTINUOUS BEAMS, GRADE BEAMS, AND SPANDRELS SHALL HAVE TOP STEEL SPLICED AT THE MIDSPAN, AND THE BOTTOM STEEL SPLICED OVER SUPPORTS (48 BAR DIAMETER SPLICE MINIMUM). AT DISCONTINUOUS ENDS, THE TOP STEEL SHALL BE BENT DOWN 12-DIAMETER OR 12" MINIMUM, WHICHEVER IS GREATER.

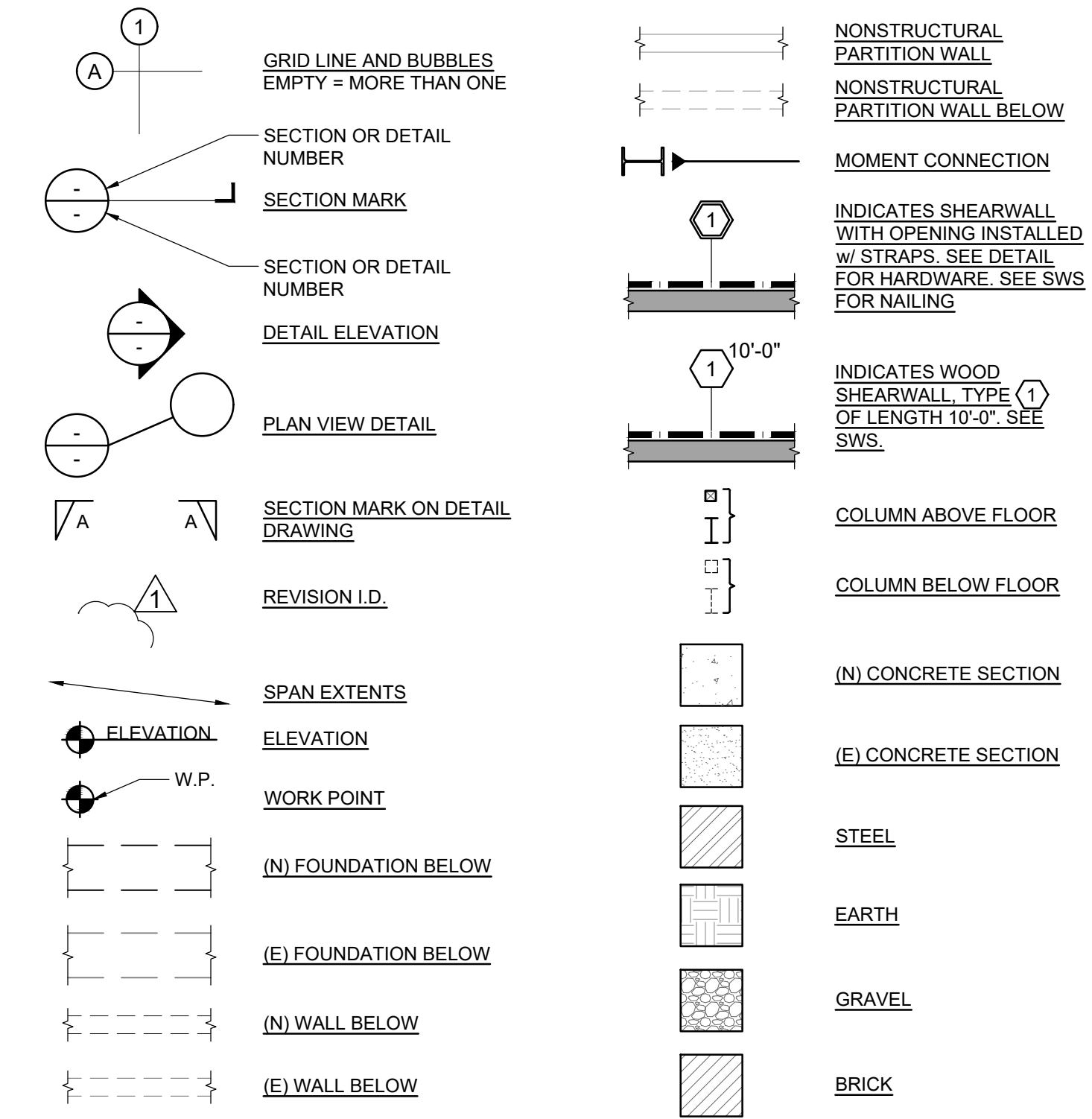
### 8. FRAMING LUMBER (UNLESS OTHERWISE NOTED)

- ALL FRAMING LUMBER SHALL BE GRADED PER WCLIB GRADING RULES NO. 16 WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION.
- ALL POSTS AND BEAMS SHALL BE DOUGLAS FIR, #2 OR BETTER.
- ALL FLOORS, ROOFS, AND CEILING JOISTS OR RAFTERS SHALL BE DOUGLAS FIR, #2 OR BETTER.
- ALL STUDS, PLATES, ETC. SHALL BE DOUGLAS FIR, #2 OR BETTER.
- ALL FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE-TREATED DOUGLAS FIR UNLESS OTHERWISE NOTED ON PLANS OR DETAILS.
- ALL TIMBER PLACED AGAINST BRICK, MASONRY, OR CONCRETE CONSTRUCTION SHALL BE PRESSURE-TREATED.
- ALL EXTERIOR DECKING SHALL BE REDWOOD SELECT, PRESSURE-TREATED, OR MANUFACTURED DECKING; REFER TO THE ARCHITECTURAL DRAWINGS.

### 9. ROUGH CARPENTRY

- ALL CONSTRUCTION SHALL COMPLY WITH STANDARDS OF QUALITY REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, SECTION 2303.
- CONVENTIONAL CONSTRUCTION PROVISIONS NOT SPECIFICALLY DETAILED ON THE PLANS SHALL BE IN COMPLIANCE WITH THE CALIFORNIA BUILDING CODE, SECTION 2308.
- FOR SCHEDULE OF MINIMUM NAILING SEE TABLE 2304.9.1, CALIFORNIA BUILDING CODE. 16 PENNY VINYL COATED SINKERS MAY BE SUBSTITUTED FOR 16 PENNY BOX OR COMMON NAILS FOR ROUGH FRAMING. SINKERS SHALL NOT BE USED WITH METAL CONNECTORS.
- SILLS ON CONCRETE SHALL BE 3X PRESSURE-TREATED DOUGLAS FIR. SILLS SHALL BE FASTENED TO THE CONCRETE WITH A MINIMUM OF TWO FASTENERS PER PIECE. FASTENERS SHALL NOT BE LESS THAN 4 1/2" INCHES NOR FURTHER THAN 9 INCHES FROM END OF PIECE.
- PLACE SAWN LUMBER MEMBERS WITH THE CROWN UP.
- RETIGHTEN ALL BOLTS PRIOR TO CLOSING IN WALLS.
- ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED AND FIRE RETARDANT TREATED LUMBER, OR PERMANENTLY EXPOSED TO WEATHER SHALL BE OF HOT-DIPPED, ZINC-COATED, GALVANIZED OR STAINLESS STEEL IN ACCORDANCE WITH THE CBC SECTION 2304.9.5
- DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE.
- BLOCK ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS WITH MINIMUM 2X SOLID BLOCKING. BLOCK AND BRIDGE ROOF JOISTS AT 10 FEET AND FLOOR JOISTS AT 8 FEET UNLESS OTHERWISE NOTED. FOR MANUFACTURED JOISTS, PROVIDE BLOCKING AT AND BETWEEN SUPPORTS PER THE MANUFACTURERS SPECIFICATIONS
- ALL TIMBER FASTENERS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMPSON STRONG TIE, INC. STANDARD FASTENERS OR APPROVED EQUAL.
- PROVIDE 3"x3"x0.229" PLATE WASHERS FOR ALL BOLTS IN BEARING CONTACT WITH SILL PLATES.
- BOLT HOLES SHALL BE BORED NO MORE THAN 1/32 OF AN INCH LARGER THAN THE DIAMETER OF THE BOLT.
- DOUBLE TOP PLATES ON ALL EXTERIOR, INTERIOR BEARING, AND INTERIOR SHEAR WALLS SHALL LAP 4'-0" MINIMUM, WITH 12-16D NAILS AT SPLICE U.O.N.

## SYMBOLS LEGEND



## ABBREVIATIONS

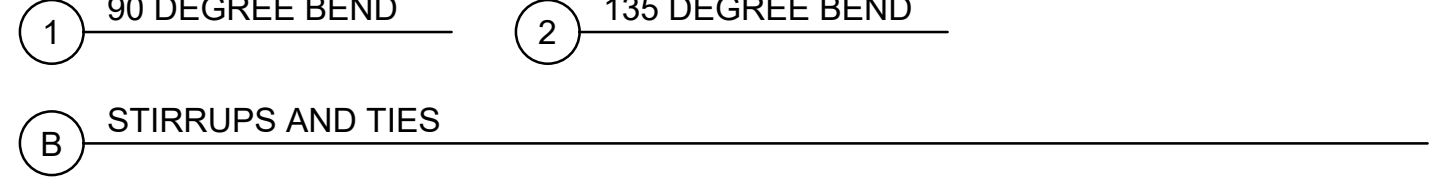
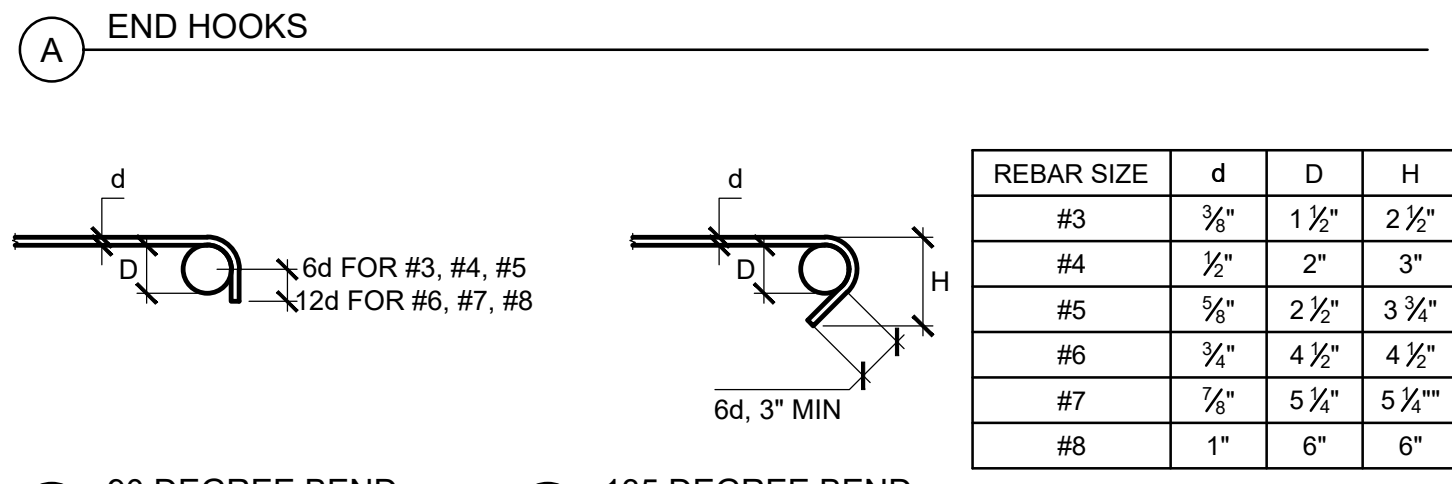
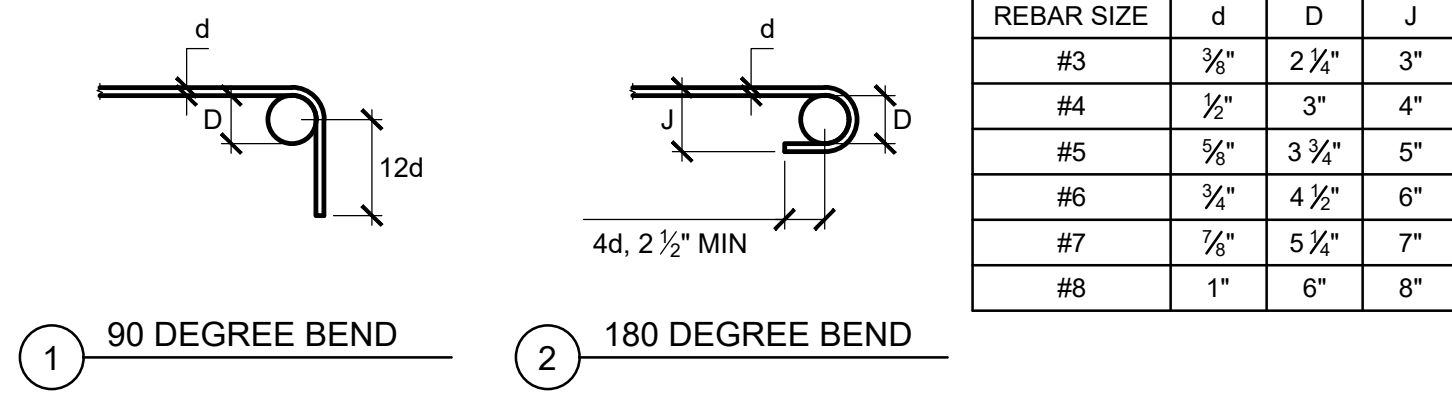
& L	AND ANGLE	INV	INVERT JOINT
@	AT	JT	JOINT
AB	ANCHOR BOLT	KIP	1,000 POUNDS
ACI	AMERICAN CONCRETE INSTITUTE	KSI	KIPS PER SQUARE INCH
ADD'L	ADDITIONAL	LBS	POUNDS
ADJ	ADJACENT	LG	LONG
AISI	AMERICAN IRON AND STEEL INSTITUTE	LL	LIVE LOAD
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LLH	LONG LEG HORIZONTAL LINE
ALT	ALTERNATE	LLV	LONG LEG VERTICAL LINE
APPROX	APPROXIMATE	LN	LUMBER
ARCH	ARCHITECT, ARCHITECTURAL	LSL	TIMBERSTRAND LUMBER
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	LT	LIGHT
AWS	AMERICAN WELDING SOCIETY	LVL	MICROLAM LUMBER
BETW	BETWEEN	LWC	LIGHT WEIGHT CONCRETE
BLDG	BUILDING	MATL	MATERIAL
BM	BEAM	MAX	MAXIMUM
BOF	BOTTOM OF FOOTING	MB	MACHINE BOLT
BOTT	BOTTOM	MECH	MECHANICAL
BS	BOTH SIDES	MFT	MANUFACTURER
BYD	BEYOND	MIN	MINIMUM
C	CHANNEL PREFIX	MISC	MISCELLANEOUS
CANT	CANTILEVER	MTL	METAL
CBC	CALIFORNIA BUILDING CODE	#	NUMBER
CJ	CONSTRUCTION JOINT	(N)	NEW
CL	CENTERLINE	NIC	NOT IN CONTRACT
CLR	CLEAR	NO	NUMBER
COL	COLUMN	NOM	NOMINAL
CONC	CONCRETE	NS	NEAR SIDE
CONN	CONNECTION	NSG	NON-SHRINK GROUT
CONST	CONSTRUCTION	NTS	NOT TO SCALE
CONT	CONTINUOUS, CONTINUITY	OC	ON CENTER
CONT'D	CONTINUED	OD	OUTSIDE DIAMETER
CTR	CENTER	OH	OPPOSITE HAND
CTSK	COUNTERSINK	OPNG	OPENING
CU	CUBIC	OPP	OPPOSITE
DBL	DOUBLE	PDF	POWER DRIVEN FASTENERS
DBLR	DOUBLER	-P	PLATE
DET	DETAIL	PL	PROPERTY LINE
DIA	DIAMETER	PW	PLYWOOD
DL	DEAD LOAD	PSF	POUNDS PER SQUARE FOOT
DIAG	DIAGONAL	PSL	PARALLAM LUMBER
DIST	DISTANCE	PSI	POUNDS PER SQUARE INCH
DN	DOWN	PT	POINT
DO	DITTO	QTY	QUANTITY
DOE	DEEP	RAD	RADIUS
DWG	DRAWING	REBAR	CONCRETE REINFORCEMENT
(E)	EXISTING	REINF	REINFORCING
EA	EACH	REQD	REQUIRED
EF	EACH FACE	RJ	ROOF JOIST
EN	EDGE NAILING	SCH	SCHEDULE
EJ	EXPANSION JOINT	SAD	SEE ARCHITECTURAL DRAWINGS
ELEV	ELEVATION	SCD	SEE CIVIL DRAWING
ENGR	ENGINEER	SECT	SECTION
EQ	EQUAL	SED	SEE ELECTRICAL DRAWINGS
ES	EACH SIDE	SHT	SHEET
EW	EACH WAY	SJ	SAW CUT JOINT
EWB	EACH WAY BOTTOM	SIM	SIMILAR
EWAM	EACH WAY MIDDLE	SMD	SEE MECHANICAL DRAWINGS
EWT	EACH WAY TOP	SMS	SHEET METAL SCREWS
EXP	EXPANSION	SPA	SPACING
EXT	EXTERIOR	SQ	SQUARE
FF	FINISH FLOOR	STAGG	STAGGER
FIN	FINISH	STD	STANDARD
FJ	FLOOR JOIST	STIFF	STIFFENER
FN	FIELD NAILING	STIRR	STIRRUP
FLR	FLOOR	STL	STEEL
FOC	FACE OF CONCRETE	STRUCT	STRUCTURAL
FOW	FACE OF WALL	SWS	SHEARWALL SCHEDULE
FRAMG	FRAMING	T&B	TOP AND BOTTOM
FS	FAR SIDE	THK	THICK, THICKNESS
FT	FEET	THRD	THREAD, THREADED
FTG	FOOTING	TOC	TOP OF CONCRETE
GA	GA, GAUGE	TOP	TOP OF FOOTING
GALV	GALVANIZED	TOS	TOP OF STEEL
GL	GRID LINE	TOW	TOP OF WALL
GB	GRADE BEAM	TS	STRUCTURAL TUBE (HSS SIM)
GRD	GROUND	TYP	TYPICAL
GRD	GROUND	UON	UNLESS OTHERWISE NOTED
HD	HOLDOWN	VP	VAPOR BARRIER
HK	HOOK	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	W	WITH
HP	HIGH POINT	WA	WEDGE ANCHORS
HSS	HOLLOW STEEL SECTION	WD	WOOD
ID	INSIDE DIAMETER	WF	WIDE FLANGE
INT	INTERIOR	W/O	WITHOUT
		WP	WORK POINT
		WT	WEIGHT, OR WT SECTION PREFIX
		WWF	WELDED WIRE FABRIC
		W	WIDE, SIDE FLANGE PREFIX

Rev.	Issue	Date
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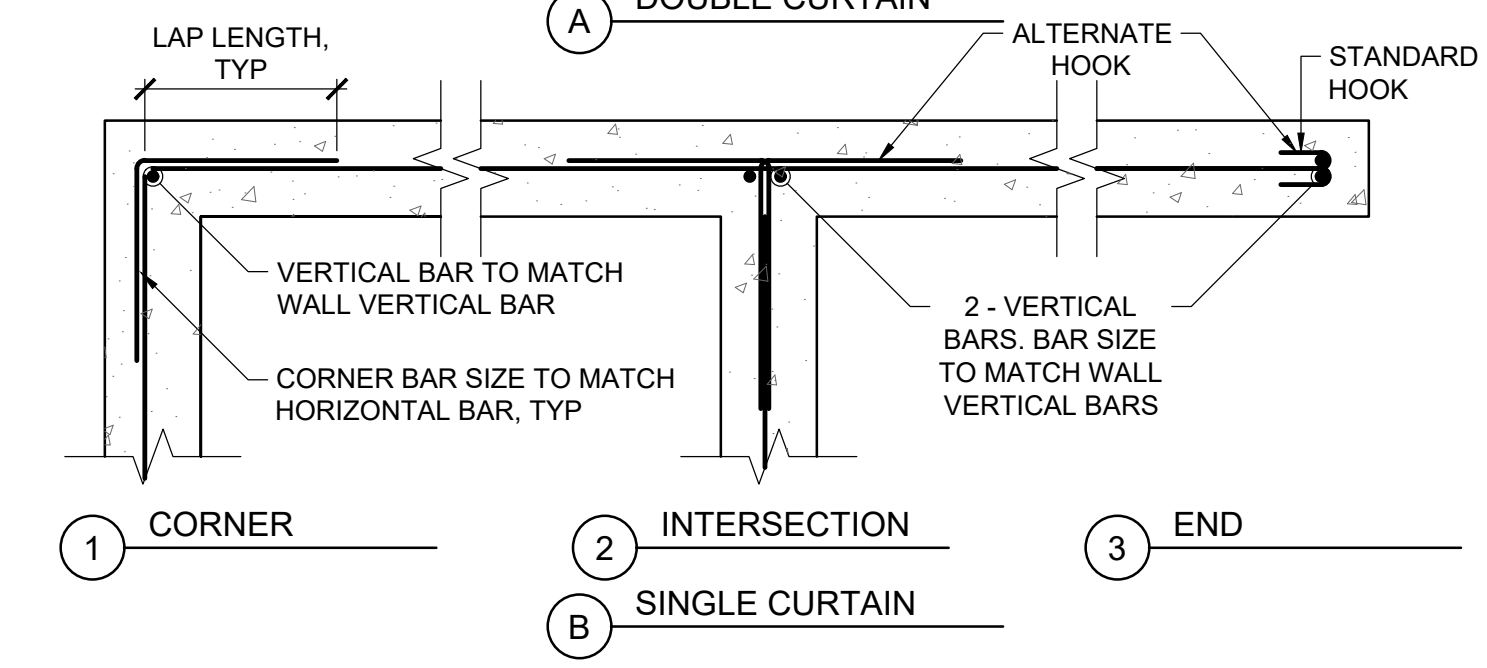
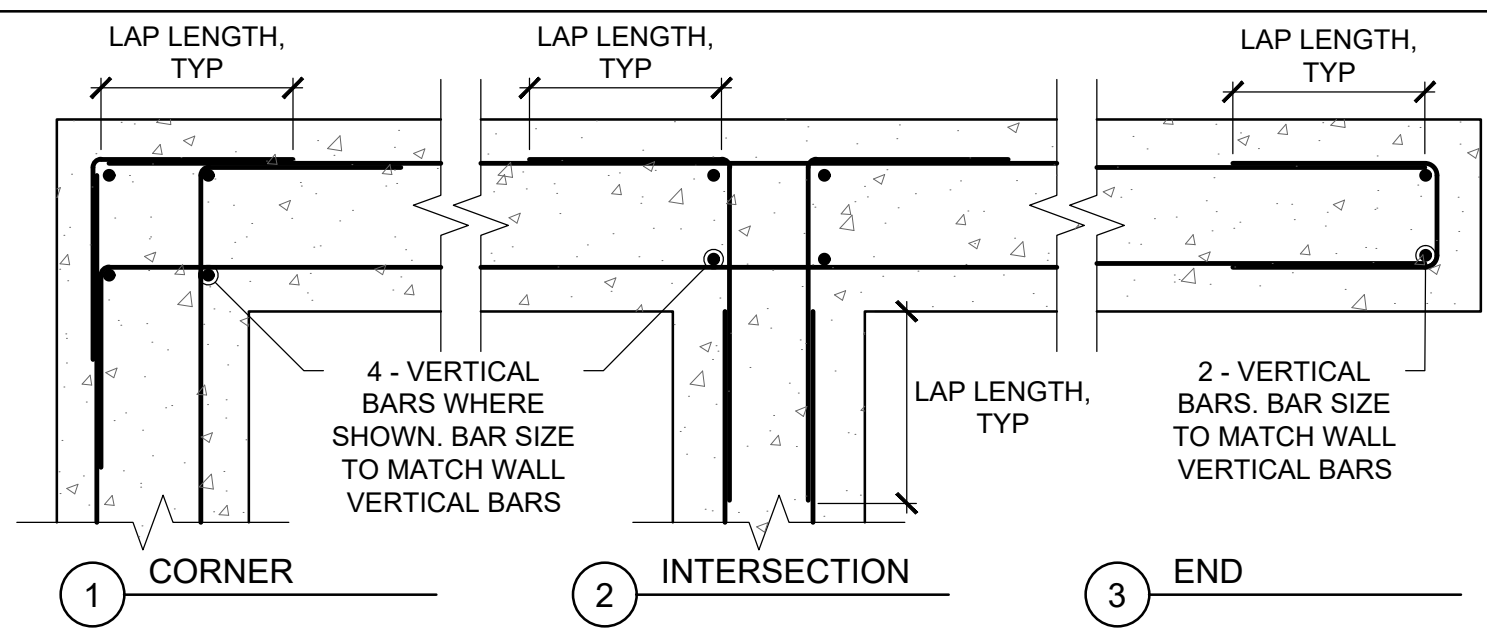


Project #:	22264
Project Lead:	Ray Hooft, P.E.
Project Designer:	Swadhin Prusty
Issue Date:	07/23/2024
Drawing Scale:	None





1 STANDARD REINFORCEMENT BENDS  
NTS



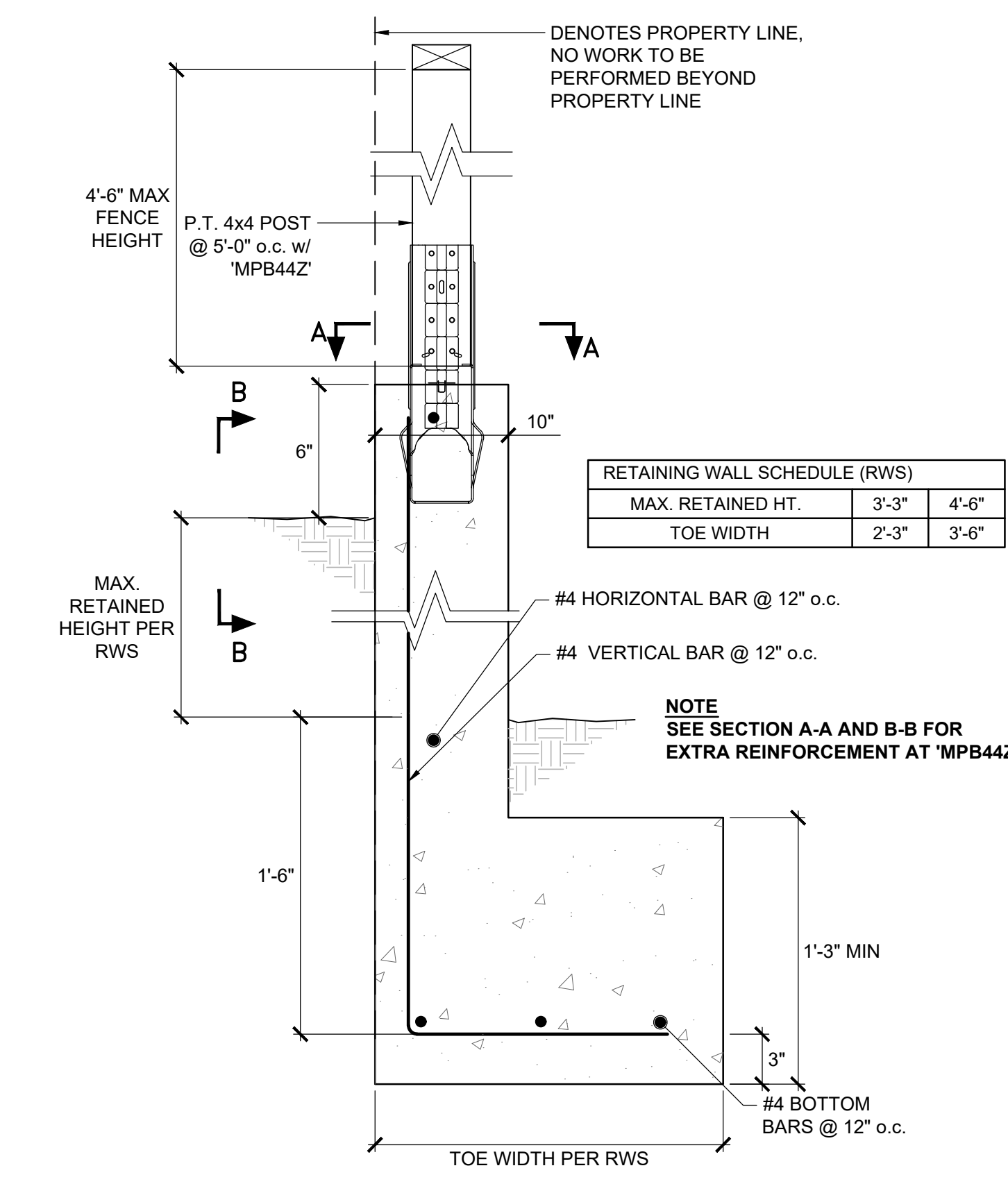
2 REBAR AT INTERSECTION AND END  
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REINFORCEMENT BAR SPLICE SCHEDULE (IN)

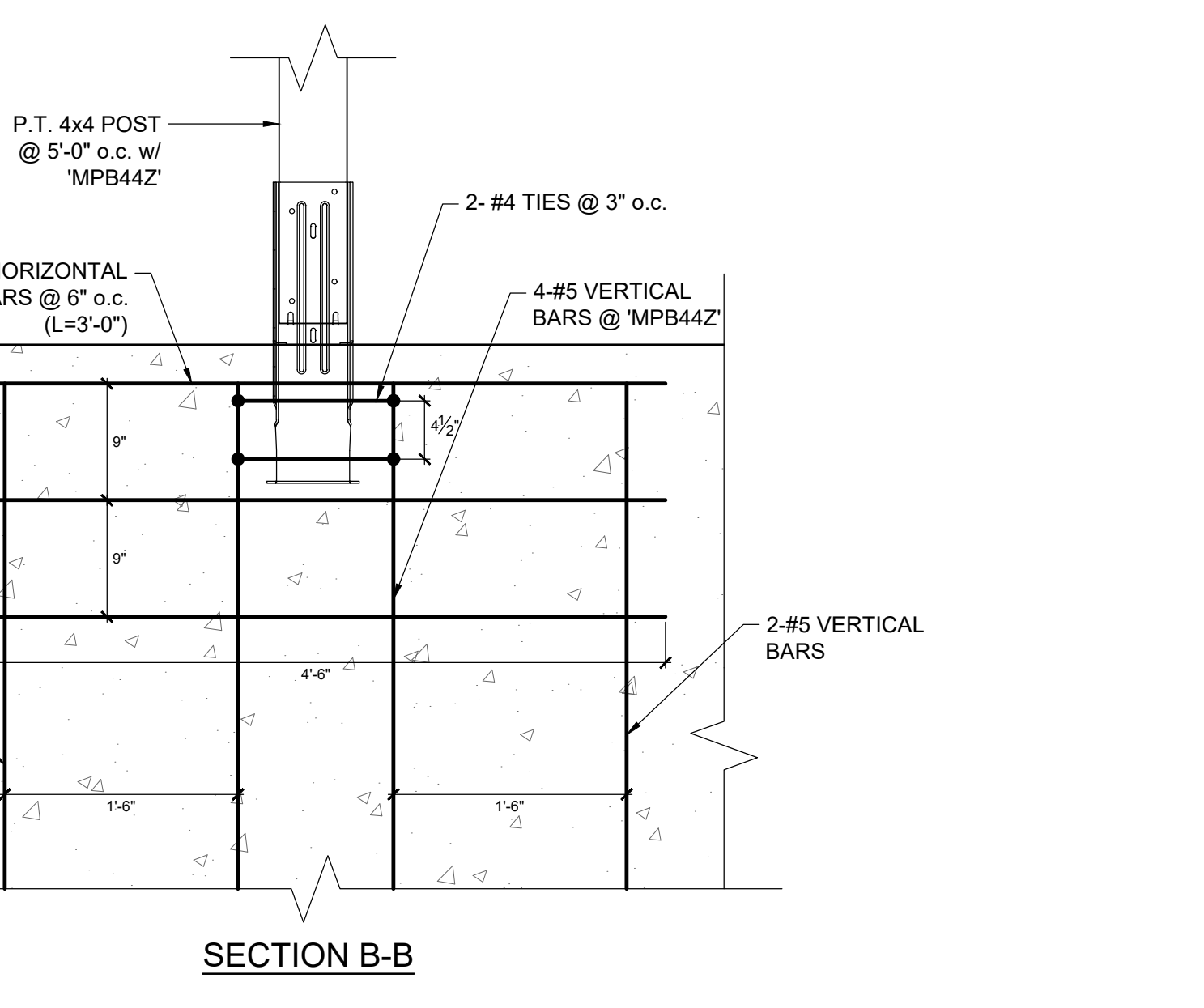
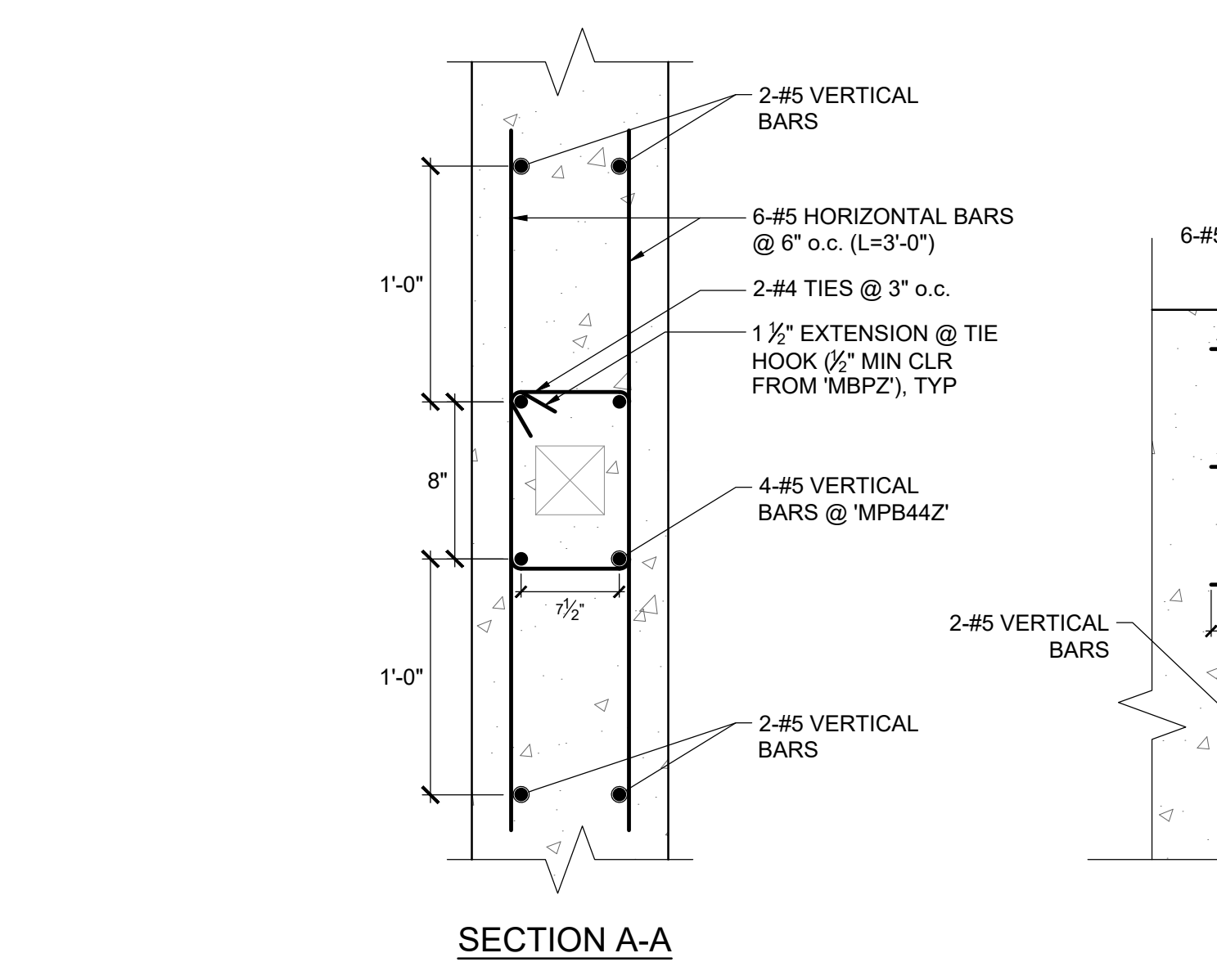
BAR SIZE	BAR YIELD STRENGTH	2500 PSI		3000 PSI		4000 PSI	
		HORIZONTAL TOP BARS	ALL OTHER BARS	HORIZONTAL TOP BARS	ALL OTHER BARS	HORIZONTAL TOP BARS	ALL OTHER BARS
#3	40 KSI	21	18	19	18	18	18
#4	40 KSI	28	24	25	24	24	24
#5	60 KSI	51	39	47	36	41	31
#6	60 KSI	61	47	56	43	49	37
#7	60 KSI	89	69	81	63	71	54
#8	60 KSI	102	78	93	72	81	62

- NOTES:
- LAP SPLICE LENGTH BASED ON NORMAL WEIGHT CONCRETE. FOR LIGHT WEIGHT CONCRETE, INCREASE LAP SPLICE LENGTH BY 30%.
  - TOP BARS ARE HORIZONTAL BARS (OTHER THAN IN WALLS) PLACED WITH MORE THAN 12" OF FRESH CONCRETE BELOW BAR.
  - WHERE CLEAR COVER IS LESS THAN ONE BAR DIAMETER AND/OR CLEAR SPACING IS LESS THAN TWO DIAMETERS, INCREASE LAP SPLICE LENGTH BY 50%.

3 REINFORCEMENT LAP SPLICE  
NTS



4 SECTION  
1-1/2" = 1'-0"



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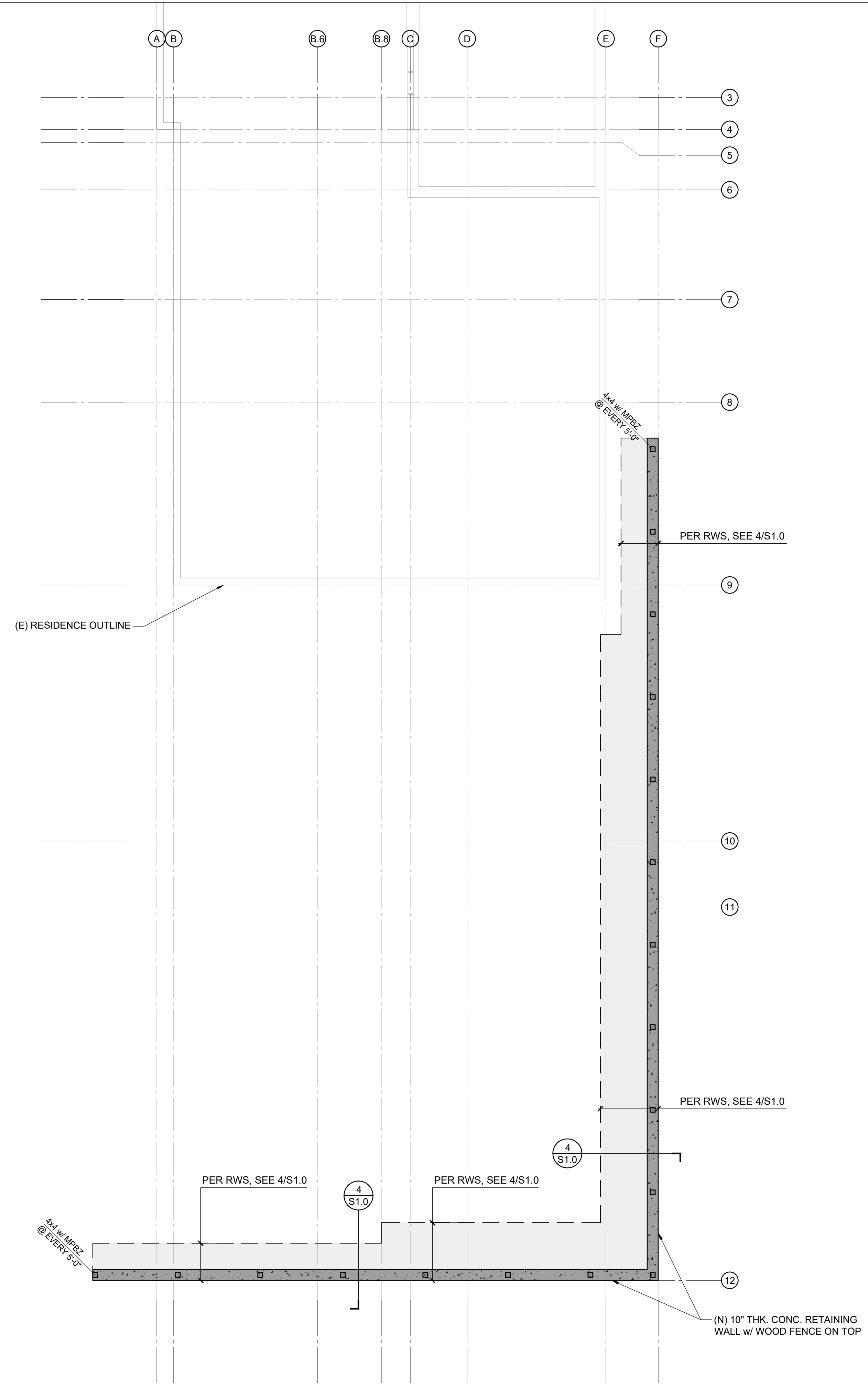


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Drawing Scale:	N.T.S.

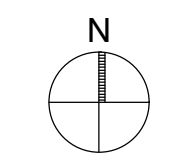
SITE RETAINING WALL w/ WOOD FENCE

- FOUNDATION NOTES**
- FOR GENERAL NOTES SEE SHEET S0.
  - FOR TYPICAL & CUSTOM DETAILS SEE SHEETS S1.0.
  - IF (E) CONDITIONS DO NOT MATCH THOSE SHOWN ON PLANS OR DETAILS, CONTACT ENGINEER OF RECORD BEFORE PROCEEDING.
  - WATERPROOFING, DRAINAGE, AND VENTILATION BY OTHERS.

SPECIAL INSPECTIONS	
1	ENGINEER OF RECORD TO INSPECT REINFORCING STEEL
2	
3	
4	



**1** RETAINING WALL PLAN  
1/4" = 1'-0"



Rev.	Issue	Date
1	PERMIT SET	07/23/2024



Project #: 22264  
Project Lead: Ray Hooft, P.E.  
Project Designer: Swadhin Prusty  
Issue Date: 07/23/2024  
Drawing Scale: 1/4"=1'-0"

SITE RETAINING WALL w/ WOOD FENCE PLAN

**S2.0**