



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, June 1, 2026

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccounty-us.zoom.us/j/85491390617>

Webinar ID: 854 9139 0617 Call in: (855) 758-1310 or (408) 961-3928

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (855)758-1310 US Toll Free or (408) 961-3928. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccounty-us.zoom.us/j/85491390617> Webinar ID: 854 9139 0617.

Those participating via Zoom should indicate they wish to speak on an agenda item by using the “raise your hand” feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS

2. DEVELOPMENT PLAN: CONTINUED PUBLIC HEARING

- 2a.** SABINO URRUTIA, ELEVATION DESIGN + CONSULTING (Applicant) - [26-2242](#)
GILL MAJOR (Owner), County File# CDDP25-03021: The applicant is seeking approval of a Small Lot Design Review Development Plan for a proposed 32-foot-six-inch tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as +12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required. The project includes landscape screening around the entirety of the development intended to obstruct public views of the project. The project site is located at 5980 Camino Tassajara in the Danville area of unincorporated Contra Costa County. (Zoning: A-2 General Agricultural District) (Assessor's Parcel Number: 206-200-002) (Continued from 04.20.2026) AV

Attachments: [01 CDDP25-03021 Findings and COAs.pdf](#)
[02 Revised Plans.pdf](#)
[03 ZA SR 031626.pdf](#)

3. DEVELOPMENT PLAN: PUBLIC HEARING

- 3a. JONATHAN JAMES – WILLIAM WOOD ARCHITECTS (Applicant) - [26-2243](#)
STEPHANIE MILES, NORTOM CORPORATION (Owner), County File #CDDP24-03045: The applicant requests approval of a Development Plan, pursuant to COA #11(B) of CDDP01-03061, to construct a new 5,624-square-foot, two-story, single-family residence with an 891-square-foot garage and one retaining wall up to 5.5 feet on a vacant lot. The proposal requires a Tree Permit for work within the driplines of one 18-inch (diameter) Blue Oak (tree #54) and one 24-inch Blue Oak (tree #55) on the subject property, and to work within the driplines of one 17-inch Coast Live Oak (no tag, #1) and one 48-inch Blue Oak (tree #56) located on the adjacent property. Additionally, the applicant requests a minor modification to COA #12(G)(14) of County File #CDDP01-03061 to allow for grading, construction and trenching beneath the driplines of the oak trees located within the scenic easement, and a deviation to allow a 3-foot side yard (where 15 feet is required) for a retaining wall over 3 feet in height. Grading with approximately 37 cubic yards of fill and 505 cubic yards of cut is also proposed. The subject property is located at 430 Legacy Drive in the Alamo area of Contra Costa County. (Zoning: P-1 Planned Unit District) (APN: 193-010-029)

Attachments: [Attachment A - CDDP24-03045 Findings and COAs.pdf](#)
[Attachment B - CDDP01-03061 Conditions of Approval.pdf](#)
[Attachment C - Approved Building Envelope Area Lot 7.pdf](#)
[Attachment D - Maps.pdf](#)
[Attachment E - Agency Comments CDDP24-03045.pdf](#)
[Attachment F - Project Plans CDDP24-03045.pdf](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, JUNE 15, 2026.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2242

Agenda Date: 6/1/2026

Agenda #: 2a.

Project Title:	Small Lot Design Review Development Plan for a New Single-Family Residence
County File(s):	CDDP25-03021
Applicant Owner:	Sabino Urrutia, Elevation Design + Consulting Kulwant & Major Gill
Zoning/General Plan:	A-2 General Agricultural District, / Agricultural Lands (AL)
Site Address/Location :	5980 Camino Tassajara Road, Danville APN: 206-200-002
California Environmental Quality Act (CEQA) Status:	The proposed project is exempt under CEQA Guidelines Section 15303(a) New Construction - One Single Family Residence.
Project Planner:	Adrian Veliz, Senior Planner (925) 655-2879 adrian.veliz@dcd.cccounty.us
Staff Recommendation:	Approve (See Section II for Full Recommendation)

I. PROJECT SUMMARY

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as ± 12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required.

II. RECOMMENDATION

Department of Conservation and Development, Community Development Division (CDD) staff

recommends that the Zoning Administrator:

- A. OPEN the public hearing on the Development Plan for the proposed single-family residence, RECEIVE testimony, CLOSE the public hearing;
- B. FIND that the project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303(a);
- C. APPROVE Small Lot Design Review Development Plan #CDDP25-03021 to allow the development of a new single-family residence, based on the attached findings and subject to the attached conditions of approval;
- D. DIRECT staff to file a notice of exemption.

III. BACKGROUND

This Small Lot Design Review Development Plan application was considered by the Zoning Administrator during a noticed public hearing held on March 16, 2026. During the meeting, the Zoning Administrator opened the public hearing and heard testimony from the applicant in support of the project. Additionally, numerous neighboring property owners appeared, indicating concerns with the scale of the proposed home, its appearance, site drainage concerns, and concerns over the availability of ground water to serve the project. After discussion, the Zoning Administrator raised aesthetic concerns relating to the project compatibility with the rural character of the Tassajara Valley and determined that revisions to the proposed residential design were necessary to establish neighborhood compatibility. The Zoning Administrator continued the item as an open public hearing to the hearing scheduled for April 20, 2026, to allow additional time for the project proponent to consider potential project revisions. On April 8, 2026, a revised plan was submitted for CDD staff review. At the continued public hearing held on April 20, 2026, the Zoning Administrator advised that the item would be continued again to allow sufficient time for CDD staff review of the revised submittal and the preparation of this report.

IV. PROJECT DESCRIPTION

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed 32' 6" tall two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as ± 12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required. Lastly, the project includes landscape screening in the form of uniformly spaced trees planted around the entirety of the subject property.

V. STAFF ANALYSIS

A. General Plan Consistency: The subject property is located within an Agricultural Land (AL) General Plan Land Use designation. Single-family residential development is permissible within the AL designation up to a maximum density of one unit per ten acres. The AL designation is applied to agricultural areas primarily composed of soils rated Class 3 or lower per the National Resources Conservation Service (NCRS) Land Capability Classification. Most areas within this designation are non-irrigated, rural lands that may support grazing and dryland farming, though it also includes non-prime productive agricultural lands. Other types of agricultural, open space, and non-urban land uses may be consistent with the AL designation when conducted in accordance with County's policies pertaining to agricultural areas. These land uses include limited opportunities for recreation, lodging (farm stays, bed and breakfast, etc.), food services (farm-to-table dining, farm stands, etc.), special events, and similar activities that support the County's agricultural economy. The proposed project involves the development of one single-family residence on

a presently vacant AL-designated parcel. Thus, the project is consistent with the AL designation.

The Land Use Element of the Contra Costa County 2045 General Plan includes goals for specific land uses within the County, including Goal LU-10, which specifies the County's goal to maintain "rural, agricultural, and open space areas that provide scenic value, support Delta ecosystem health, and meet the needs of the agricultural industry." The General Plan further lists the following four policies, LU-P10.1 through LU-P10.4 enacted by the County in furtherance of Goal LU-10:

- LU-P10.1: Encourage consolidation of agricultural parcels not meeting the minimum acreage requirement for the applicable zoning district.

Project Consistency LU-P10.1: The subject property is substandard with respect to the five-acre minimum parcel size applicable to the A-2 zoning district, however, since all adjacent parcels are under separate ownership consolidation of parcels encouraged under policy LU-P10.1 does not appear possible. Thus, the applicant is seeking to establish a single-family residence on the subject property pursuant to the Small Lot Occupancy ordinance (Section 82-10.002(c)) of the County ordinance code.

- LU-P10.2: Ensure all former Williamson Act parcels are rezoned from Agricultural Preserve District to an agricultural zoning district appropriate for the area.

Project Consistency LU-P10.2: The project is not located upon a former Williamson Act parcel, nor is the subject property within an agricultural preserve district. Therefore, this policy does not apply.

- LU-P10.3(b): Preserve the rural character of the Tassajara Valley. Pay special attention to potential aesthetic impacts in these areas and ensure that such impacts are adequately mitigated.

- LU-P10.4: Maintain agricultural preserves in the Briones Hills and Tassajara Valley

areas through agreements with adjacent cities to retain these areas for agricultural, open space, and other non-urban uses.

Project Consistency LU-P10.3(b), LU-P10.4: The subject property is located within the Tassajara Valley Agricultural Preservation and Enhancement Area (TVAPEA), as depicted on Figure LU-6 (Rural and Agricultural Areas) within the Land Use Element of the Contra Costa County 2045 General Plan, an area directly referenced by policies LU-P10.3(b) and LU-P10.4. The TVAPEA includes well over 10,000 acres of unincorporated land area in southern Contra Costa County, predominantly consisting (in terms of acreage) of agricultural/open space grazing lands within an A-80 Exclusive Agricultural District having minimum parcel size of 80 acres. The project is in a northwesterly area of the TVAPEA along Camino Tassajara right-of-way. Existing rural residential development within the TVAPEA, including the project site, is predominantly concentrated in areas zoned A-2 General Agricultural District that are located along Camino Tassajara, south of Finley Road and north of Highland Road. The project is located outside of the urban limit line (ULL) and does not involve any urban land uses that conflict with permitted uses in rural areas. The project would not extend infrastructure to the site which could indirectly encourage urban development outside of the ULL. The project does not affect any existing preservation agreements on nearby properties, including ±609 acres of land immediately west of the site preserved as open space in perpetuity as part of the County's recent approval of the Tassajara Parks project.

The project does not demolish or obscure views of any existing agricultural buildings, or any other weathered rural structures, which are mentioned and depicted in the General Plan as examples of elements contributing to the rural character within the TVAPEA. Additionally, there are no scenic resources such as trees, rock outcroppings or ridgelines on the subject property which would be obstructed from view as a result of the project. Considering that the proposed development activities are limited to a portion of a small 2.5-acre agricultural parcel located along the western periphery of the TVAPEA, the project would seem to have relatively little potential for aesthetic

impacts affecting the established rural character within the greater TVAPEA.

At the public hearing held on March 16, 2026, the Zoning Administrator noted that the height and scale of the proposed project raise aesthetic concerns based on policy LU-P10.3(b) and advised that the project may be revised to address these concerns via modifications to the height and scale of the project, landscaping, or a combination thereof to establish neighborhood compatibility. The project proponent subsequently submitted revised project plans on April 8, 2026, featuring a redesigned home exterior and landscaping plan. The revised project maintains the same square-footage and proposed two-story design but has a redesigned pitched hip roof over most of the building with a large open gable over the front entryway. The revised roofline results in an approximate nine-foot increase in building height relative to the original proposal. However, the Zoning Administrator may find this to be an improvement as it incorporates more traditional architectural elements relative to the prior design in an effort to improve neighborhood compatibility. Additionally, the project now includes landscape screening proposed around the entirety of the perimeter of the subject property, consisting of trees intended to obscure views of the home from the Camino Tassajara right of way, as well as from neighboring parcels. As discussed in more detail in the below small lot design review analysis, the revised project is consistent and compatible, in terms of size, bulk, and height, with several large estates existing nearby within the TVAPEA.

The Conservation, Open Space, and Working Lands Element of the Contra Costa County 2045 General Plan includes additional policies applicable to development in agricultural-designated lands. Collectively, these policies support the preservation of open space, promote sustainable agricultural practices, and protect prime farmland within the County's agricultural core. Most of these policies are not applicable to the development of a single-family residence on agricultural lands within density ranges permissible in agricultural designations and therefore do not apply to this project.

According to County GIS data, the project site and surrounding lands along Camino

Tassajara are identified as areas exposed to a Day/Night Average Sound Level (DNL) in excess of 65 decibels (dB). Although such noise levels are typical for agricultural areas, they exceed levels considered normally acceptable for residential land uses. Policy HS-14, within the Health and Safety Element of the Contra Costa County 2045 General Plan, includes measures intended to provide an acceptable noise environment in all areas of the County. The project is conditioned to restrict construction activities to weekdays and non-holidays between the hours of 7:30am to 5:00pm, consistent with the requirements of Policy HS-14. The applicant’s compliance with all project conditions ensures that the project will be consistent with all applicable Health and Safety Element Policies.

B. Zoning Consistency: The subject property is located within a General Agricultural (A-2) Zoning District. Generally, the intent of the A-2 Zoning District is to promote all types of agriculture and compatible land uses, on lands suitable for the production of food and/or fiber. Pursuant to County Ordinance Article 84-38.4 (Uses) a detached single-family dwelling on each parcel and the accessory structures and uses normally auxiliary thereto are permitted by right within the A-2 zoning district. The proposed project involves the construction of a single-family dwelling, consistent with permitted uses in the district. As shown in the table below the project is compliant with all development standards for the A-2 district.

	A-2 Development Standard	Proposed Project
Front Setback (Min)	25 feet	+190 feet
Side Yard (Min)	20 feet	20 feet
Aggregate Side Yard (Min)	40 feet	+52 feet
Rear Yard (Min)	15 feet	+30 feet
Building Height (Max)	35 feet	23.5 feet
Building Height (Max)	2.5 stories	2 stories
Off Street Parking (Min)	1 Space (9' x 19')	6-car garage

The project is proposed on a legal lot ±1.945 acres in area where 5 acres is the minimum parcel size in the A-2 district. Although section 84-38.608 specifies that the land uses

permissible in the A-2 district pursuant to Article 84-38.4 of the County Ordinance are allowable only on lots equaling or exceeding 5 acres in area, County Ordinance Section 82-38.610 specifies that any legal lot having at least 40,000 square feet of area and established prior to November 29, 1973 may be used as provided in Article 84-38.4. The subject property consists of "Parcel B" as shown on the Record of Survey Map for Minor Subdivision #MS56-64, recorded on April 22, 1964. Thus, the ±1.945-acre subject property may be used as provided in Article 84-38.4. Thus, the proposed land use is consistent and compatible with permitted land uses within the A-2 district.

The project will not conflict with agricultural land uses permissible within the A-2 district and the development generally exceeds the minimum setback and yard requirements applicable to structural development within the district. Therefore, the project is considered consistent and compatible with all provisions of the A-2 district.

C. Small Lot Design Review: Pursuant to Section 82-10.002(c) of the County Ordinance Code, a legal lot of less area or width than required by Divisions 82 and 84 may be improved with a single-family dwelling meeting yard and setback requirements "unless the zoning administrator determines that the proposed dwelling appears not to be compatible with the surrounding neighborhood". In making this determination, the zoning administrator (ZA) may schedule a public hearing to review the proposed dwelling's impact on the surrounding neighborhood in terms of its location, size, height and design. Based on the substandard area of the 1.95-acre subject property (where 5-acres is the minimum required), the proposed residential development is subject to design review. In evaluating the proposed project, CDD staff finds the project to be compatible with the surrounding neighborhood, based on the following:

1. Location: The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to

be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the proposed building pad.

The immediate project vicinity consists of agricultural-zoned land in a rural-residential area within the Tassajara Valley Agricultural Preservation and Enhancement Area (TVAPEA), as identified by the Contra Costa County 2045 General Plan. Existing residences on adjoining parcels include single-story ranch homes on the northern and southern adjacent parcels. The southerly adjacent residence, addressed 5890 Camino Tassajara, is located at least 200 feet south of the project and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the proposed residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The building separation is consistent with A-2 minimum development standards and far exceeds the building separation that are typical within residential zoning districts. Additionally, the project includes landscape screening around the entirety of the project, which will preserve privacy between adjoining residences by substantially obstructing views of the project from neighboring properties. Furthermore, views of the project from the west, north, and south are substantially screened by topographical features, existing homes, and mature trees, such that distant views of the project site from Camino Tassajara would not exist even absent the perimeter landscape screening. Thus, the project location amongst the surrounding natural and built environment, combined

with the project landscaping will prevent the project from having a substantial adverse aesthetic effect on the rural character established within this area of the TVAPEA.

Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project will be surrounded by dense landscape screening consistent with nearby large estate development within the TVAPEA, the project is at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size: The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are prevalent in similarly zoned (A-2) lands within the TVAPEA located along Camino Tassajara between Finey Road and Highland Road. County Assessor's data indicates that within one mile of the project site, there are at least 10 properties improved with existing two-story custom homes within A-2/TVAPEA featuring between 6,021 to 8,690 square feet in living area. In many cases, the aforementioned 10 properties are also improved with large, attached garages and/or detached accessory buildings, which combine with the living area to result in building bulk that is comparable to this project.

For example, the property addressed 1046 Country Lane (APN 204-070-032), approximately 0.85 miles north of the project, is extremely comparable to the proposed project. County Assessor's data indicates that the existing residence on this 2.25-acre (substandard) parcel consists of 7,971 square feet of living area. At face value, the Assessor's data would suggest that this home is considerably smaller than the subject residence. However, when including approximately 2,381 square feet of

attached first-floor garage and storage areas, this home actually has a reported building footprint of 8,529 square feet, exceeding that of the current project. At 34' 9" in height, this existing residence exceeds the current project in terms of both height and building bulk despite having less conditioned living space. There are multiple examples of additional two-story homes on Bruce Drive having apparently similar bulk/height as the proposed residence. One additional example of a large-scale residence in the area is the residence addressed 8650 Camino Tassajara, which is outside of the immediate project vicinity but within the TVAPEA and consists of 29,291 square feet in living area. Thus, although the project results in a larger home than those on adjoining parcels and many others in the area, the project is of a bulk and scale consistent with existing development in the project vicinity, including lands within the identical zoning district and within the TVAPEA.

3. Height: Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are numerous examples of homes having both one-story and two-story designs in similarly zoned rural residential areas of the TVAPEA. As shown in the image below, amongst developed parcels within $\pm 1/4$ mile of the site, there is about an even ratio of single-story ranch style homes (yellow squares) to multi-story homes (blue squares). Staff has also noted on the image below the location of two additional single-story homes that differ architecturally from the nearby ranches by incorporating high ceilings, steeply pitched hip roofs, and/or cupolas, resulting in comparatively taller homes than the other nearby single-story ranch homes. These "taller" single story homes are identified with green squares and have building heights of 22 to 27 feet. Further north of the project site on Bruce Drive, large two-story residences are even more prevalent than the area depicted below, if not predominant, on similarly zoned parcels. Furthermore, there are several instances of multi-story homes on parcels adjacent to and visible from Camino Tassajara right-of-way in the project vicinity, including multiple such homes at the intersections of Camino Tassajara at Johnston Road and at Bruce Drive. Therefore, the introduction of a multi-story home at the

project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within similarly zoned areas of the TVAPEA. The provision of landscape buffering around the project will reduce aesthetic impacts by limiting distance views of the project site from other areas within the TVAPEA. This type of visual buffer via landscaping, such as that depicted on parcels north of Jonston Road below, is typical for this area.



Figure 1: An image highlighting the location of existing nearby single-story (yellow and green) and multi-story-homes (blue).

4. **Design:** The residence is a custom design featuring a grand entry foyer with high

ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the home and garage. The exterior of the home would incorporate a combination of stucco, wood paneling, and decorative stonework. The project includes an open-faced gable over the front entryway, meant to resemble the character of the surrounding rural area, with a pitched hip roof covering most of the two-story residence. The two-story design of the home is substantially compatible with other larger estate-style homes in the vicinity, including existing two-story and three-story homes exceeding 30 feet in height prominently visible along the Camino Tassajara right-of-way north of the project.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along Camino Tassajara adjacent to the site reflects an area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development,

the project would have minimal potential for the design to conflict with the surrounding rural character. Since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

VI. CONCLUSION

CDD staff recommend approval of Small Lot Design Review Development Plan #CDDDP25-03021, subject to the attached findings and conditions of approval.

Attachments:

1. Findings and Conditions of Approval
2. Revised Plans (received 04/08/26)
3. 03/16/26 ZA Staff Report

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE# CDDP25-03021;
SABINO URRUTIA, ELEVATION DESIGN + CONSULTING (APPLICANT), KULWANT &
MAJOR GILL (OWNERS)**

I. FINDINGS

A. Small Lot Design Review Findings:

The project is compatible with the surrounding neighborhood in terms of its (a) location, (b) size, (c) height, and (d) design.

1. Location. The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the building pad.

The immediate project vicinity consists of agricultural-zoned land within a rural-residential area within the Tassajara Valley Agricultural Preservation and Enhancement Area (TVAPEA), as identified by the Contra Costa County 2045 General Plan. Existing residences on adjoining parcels include single-story ranch homes on

the northern and southern adjacent parcels. The southerly adjacent residence, addressed 5890 Camino Tassajara, is located at least 200 feet south of the project and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The building separation is consistent with A-2 minimum development standards and far exceeds the building separation that are typical within residential zoning districts. Additionally, the project includes landscape screening around the entirety of the project, which will preserve privacy between adjoining residences by substantially obstructing views of the project from neighboring properties. Furthermore, views of the project from the west, north, and south are substantially screened by topographical features, existing homes, and mature trees, such that distant views of the project site from Camino Tassajara would not exist even absent the perimeter landscape screening. Thus, the surrounding natural and built environment, combined with the project landscaping will prevent the project from having a substantial adverse aesthetic effect on the rural character established within this area of the TVAPEA.

Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project is surrounded by dense landscape screening consistent with nearby large estate development within the TVAPEA, the project is at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size. The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are prevalent in the project vicinity, including A-2 zoned lands within the TVAPEA located along Camino Tassajara between Finey Road and Highland Road. County Assessor’s data indicates that within one mile of the project site, there are at least 10 properties improved with existing two-story custom homes within A-2/TVAPEA featuring between 6,021 to 8,690 square feet in living area. In many cases, the aforementioned 10 properties are also improved with large, attached garages and/or detached accessory buildings, which combine with the living area to result in building bulk that is comparable to this project.

For example, on a nearby property addressed 1046 Country Lane (APN 204-070-032), located approximately 0.85 miles north of the project, County Assessor’s data indicates that the existing residence on this 2.25-acre (substandard) parcel consists of 7,971 square feet of living area. At face value, the Assessor’s data would suggest that this home is considerably smaller than the subject residence. However, when including approximately 2,381 square feet of attached first-floor garage and storage areas, this home actually has a building footprint¹ of 8,529 square feet, exceeding that of the current project. At 34’9” in height, this existing residence appears to exceed the current project in terms of height and building bulk despite having less conditioned living area. There are multiple examples of additional two-story homes

¹ Building footprint per data from County Building Permit BI339889

on Bruce Drive having apparently similar bulk/height as the Major residence. One additional example of a large-scale residence in the area is the residence addressed 8650 Camino Tassajara, which is outside of the immediate project vicinity but within the TVAPEA and consists of 29,291 square feet in living area. Thus, although the project results in a home larger than those on adjoining parcels and many others in the area, the project is of a bulk and scale consistent with existing development in the project vicinity, including lands within the identical zoning district and within the TVAPEA.

3. *Height.* Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 32 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are numerous examples of homes having both one-story and two-story designs in rural residential areas of the TVAPEA. Within a quarter-mile of the project, there is about an even ratio of single-story ranch style homes to multi-story homes. There are also two additional nearby single-story homes that differ architecturally than the nearby ranches, incorporating high ceilings, steeply pitched hip roofs, and/or cupolas, resulting in comparatively taller homes than the other nearby single-story ranch homes. These “taller” single story homes are identified with green squares and have building heights of 22 to 27 feet. Further north of the project site on Bruce Drive, large two-story residences are even more prevalent, if not predominant on similarly zoned parcels. Furthermore, there are several instances of multi-story homes on parcels adjacent to and visible from Camino Tassajara right-of-way in the project vicinity, including multiple such homes at the intersections of Camino Tassajara and Johnston Road, and at Bruce Drive. Therefore, the introduction of a multi-story home at the project site would not be unusual in the context of the Camino Tassajara viewing corridor or within the adjacent rural residential areas located within identical

zoning district. The provision of landscape buffering around the project will reduce aesthetic impacts by limiting distance views of the project site from other areas within the TVAPEA. This type of visual buffer via landscaping is typical for the area.

4. Design. The residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the home and garage. The exterior of the home would incorporate a combination of stucco, wood paneling, and decorative stonework. The project includes an open-faced gable over the front entryway, meant to resemble the character of the surrounding rural area, with a pitched hip roof covering most of the two-story residence. The two-story design of the home is substantially compatible with other larger estate-style homes in the vicinity, including existing two-story and three-story homes exceeding 30 feet in height prominently visible along the Camino Tassajara right-of-way north of the project.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along Camino Tassajara adjacent to the site reflects an

area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, with the implementation of landscape screening surrounding the entirety of the development, the project would have minimal potential for the design to conflict with the surrounding rural character. Since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

Exception Findings:

The applicant has requested an exception to the collect and convey requirements specified in Division 914 of the County Ordinance Code in order to allow on site treatment of stormwaters originating on or traversing the project site, where collection and conveyance to an adequate natural watercourse within an adequate storm drain system is required. Pursuant to Chapter 92-6 of the County Code, the Advisory Agency (Zoning Administrator) may authorize exceptions to the requirements and regulations of

County Code Division 914. Accordingly, following are the findings for granting the requested exceptions.

1. That there are unusual circumstances or conditions affecting the property.

The subject parcel is nearly 2 acres in area and is surrounded by agricultural or open space land. The nearest watercourse, Tassajara creek, is located nearly a quarter mile east of the property. There are no known drainage issues at the property and after development will have ample surrounding open space area of onsite runoff to infiltrate prior to existing the property.

2. That the exception is necessary for the preservation and enjoyment of a substantial property right of the applicant.

Collecting and conveying stormwater runoff to an adequate public storm drain system would be impactful to the property and potentially add more roadside runoff within the Camino Tassajara public right of way - and more so to the offsite areas to reach the nearest adequate watercourse located over a quarter-mile distant from the project. Given the lack of existing storm drainage infrastructure, and the distance to the nearest adequate watercourse, full compliance with the Collect and Convey requirements of Division 914 of the County Ordinance would involve extensive off-site improvements which would be incongruous with a project of this nature and scale. The granting of the exception will allow the property owner to develop their land in a manner consistent with permitted land uses within the A-2 zoning district, and consistent with stormwater management practices in rural areas of Contra Costa County.

3. That the granting of the exception will not be materially detrimental to the public welfare or injurious to other property in the territory in which the property is situated.

Granting this exception would not be materially detrimental to the public welfare or injurious to other properties. The proposed development will convert approximately 11.3% of the total open space lot to impervious surface. The remaining open space area will infiltrate the new runoff from the home and patios. There is a low likelihood of additional impacts to the neighboring properties or the general public.

B. California Environmental Quality Act (CEQA) Findings:

1. Small Lot Design Review Development Plan #CDDP25-03021 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a), which pertains to the construction of a new single-family residence. The project involves the construction of a new single-family residence on a vacant legal lot within unincorporated Contra Costa County. There is no substantial evidence that the project involves unusual circumstances, including future activities, resulting in, or which might reasonably result in, significant impacts which threaten the environment. None of the exceptions in CEQA guidelines section 15300.2 apply.

CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP25-03021

Project Approval

Small Lot Design Review Approval

1. This application for a Small Lot Design Review Development Plan is APPROVED for the construction of a two-story, 13,832-square-foot single-family residence on a parcel of

substandard area and improvements associated with providing vehicular access and utilities thereto.

2. The Development Plan approval described above includes an exception to Division 914 (Collect and Convey) of the County Ordinance Code
3. The Design Review approval described above is granted based upon:
 - The application and project plans received by the Department of Conservation and Development, Community Development Division (CDD) on August 12, 2025;
 - Revised Plans, stamped received by CDD on April 8, 2026;
4. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan.

Landscaping

5. Prior to CDD stamp approval of plans for the issuance of building or grading permits, the applicant shall provide landscaping and irrigations plans for all landscaped areas of the project which demonstrate compliance with the County Water Efficient Landscapes Ordinance. The landscaping and irrigation plans shall be subject to review and approval by CDD staff.
6. **Prior to CDD stamp approval of plans for the issuance of building or grading permits**, the applicant shall demonstrate to CDD staff that the project landscaping adequately screens offsite views of the project. The landscaping plan shall include a visual buffer consistent with that depicted on Sheet A6.0 of the approved plan set, **except**, the visual buffer shall be concentrated around the area of residential development as opposed to the entire parcel perimeter. The visual buffer may consist of trees, vines, shrubs, or a combination thereof, provided that they are of a species having a mature height exceeding 20 feet and providing adequate lateral coverage between plantings. All trees depicted on the approved landscaping plan shall be considered code protected pursuant to Chapter 816-6 of the County Ordinance Code. The tree species and width between adjacent plantings shall be designed such that, when mature, the trees will substantially screen the approved development from offsite views.

Payment of Fees

7. This application is subject to an initial application deposit of \$3000.00, which was paid with the application submittal, plus time and material costs if the application review

expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit approval date or prior to use of the permit, whichever occurs first. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.

Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

8. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
9. The project sponsor shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
10. Transportation of heavy equipment and trucks shall be limited to weekdays between the hours of 9:00 A.M. and 4:00 P.M. and prohibited on Federal and State holidays.
11. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
12. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also be visible to ensure compliance with applicable regulations.
13. Unless specifically approved otherwise via prior written authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government, as listed below:

New Year's Day (State and Federal)

Birthday of Martin Luther King, Jr. (State and Federal)

Washington's Birthday (Federal)

Lincoln's Birthday (State)
President's Day (State)
Farmworkers Day (State)
Memorial Day (State and Federal)
Juneteenth National Independence Holiday (Federal)
Independence Day (State and Federal)
Labor Day (State and Federal)
Columbus Day (Federal)
Veterans Day (State and Federal)
Thanksgiving Day (State and Federal)
Day after Thanksgiving (State)
Christmas Day (State and Federal)

For details on the actual date the state and federal holidays occur, please visit the following websites:

Federal Holidays: www.federalreserve.gov/aboutthefed/k8.htm

California Holidays: [State Holidays :: California Secretary of State](#)

PUBLIC WORKS CONDITIONS OF APPROVAL FOR SUBDIVISION CDDP25-03021

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements

14. In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvement outlined below shall require the review and approval of the Public Works Department and are based on the site plan prepared by Elevated Design + Consulting Dated November 14, 2025.
15. The applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of

approval below are subject to the review and approval of the Public Works Department.

Frontage – Setback

16. The applicant shall not place or install driveway gates, water tanks and pumps, or any solar equipment within the 50-foot setback from the public works right of way for Camino Tassajara.
17. The applicant shall obtain encroachment permit from County Public Works Department for all work within the public right of way for Camino Tassajara, including the construction of driveway connections, utility lateral line connections, or other improvements.

Street Lights

18. The property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of a building permit.

Drainage Exception

19. The applicant shall be permitted an exception from the collect and convey requirements of the County Ordinance Code due to the large size of the existing parcel, provided that there are no known drainage problems on-site currently, the existing drainage pattern is maintained, and additional concentrated stormwater runoff is not discharged onto adjacent properties.

Stormwater Management and Discharge Control

20. Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with provision C.3 of the County's NPDES permit and the County's Stormwater Management and Discharge Control Ordinance.
21. The applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify that this total does not exceed 10,000 square feet.

22. The applicant shall construct the entire driveway with porous pavers or crushed porous aggregate (aggregate base (AB) is not acceptable) in accordance with Appendix C of Revised 9th Edition of Contra Costa Clean Water Program Stormwater C.3 Guidebook – June, 2025.

ADVISORY NOTES

ADVISORY NOTES ARE NOT CONDITIONS OF APPROVAL; THEY ARE PROVIDED TO ALERT THE APPLICANT TO ADDITIONAL ORDINANCES, STATUTES, AND LEGAL REQUIREMENTS OF THE COUNTY AND OTHER PUBLIC AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

Pursuant to California Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations or exactions required as part of this project approval. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and must be delivered to the Community Development Division within a 90-day period that begins on the date that this project is approved. If the 90th day falls on a day that the Community Development Division is closed, then the protest must be submitted by the end of the next business day.

- B. The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the South County Area of Benefit as adopted by the Board of Supervisor. Payment is required prior to issuance of a building permit.
- C. The applicant will be required to comply with the drainage fee requirements for Drainage Area 102 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.
- D. Prior to applying for a building permit, the applicant is strongly encouraged to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the project:
- Contra Costa County Building Inspection Division
 - Contra Costa County Environmental Health Division
 - East Bay Municipal Utility District
 - Central Contra Costa Sanitary District
 - San Ramon Valley Fire Protection District

MAJOR RESIDENCE

NEW SINGLE FAMILY RESIDENCE

**5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N. 206-200-002**

RECEIVED on 04/08/2026 CDDP25-03021
By Contra Costa County
Department of Conservation and Development

PROJECT DATA	
PROJECT SIZE & TYPE (S.F.R.)	
MAIN FLOOR LIVING SPACE	5,806 S.F.
SECOND LEVEL LIVING SPACE	5,548 S.F.
6- CAR GARAGE	1,079 S.F.
COVERED PATIO	932 S.F.
BACK PATIO	527 S.F.
FRONT PORCH	807 S.F.
TOTAL CONSTRUCTION PROJECT	13,832 S.F.
TOTAL BUILDING AREA	8,284 S.F.
LOT SIZE	1.945 ACRES
CONSTRUCTION STYLE	MODERN
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	NO
ZONING	RESIDENTIAL
LAND USE	SINGLE FAMILY DWELLING

SUMMARY OF WORK

- CONSTRUCTION OF A TWO STORY; 7 BEDROOM, 1 OFFICE, 1 PRAYER ROOM, 1 THEATER, 6 FULL BATHS, WITH 1 6-CAR GARAGE

BUILDING CODES	
BUILDING CODE	2022 CALIFORNIA BUILDING CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
ACCESSIBILITY CODE	2022 ANSI A117.1 ACCESSIBILITY CODE
HEALTH DEPARTMENT	2022 CALIFORNIA HEALTH CODE
RESIDENTIAL CODE	2022 CALIFORNIA RESIDENTIAL CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
GREEN CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

GENERAL NOTES

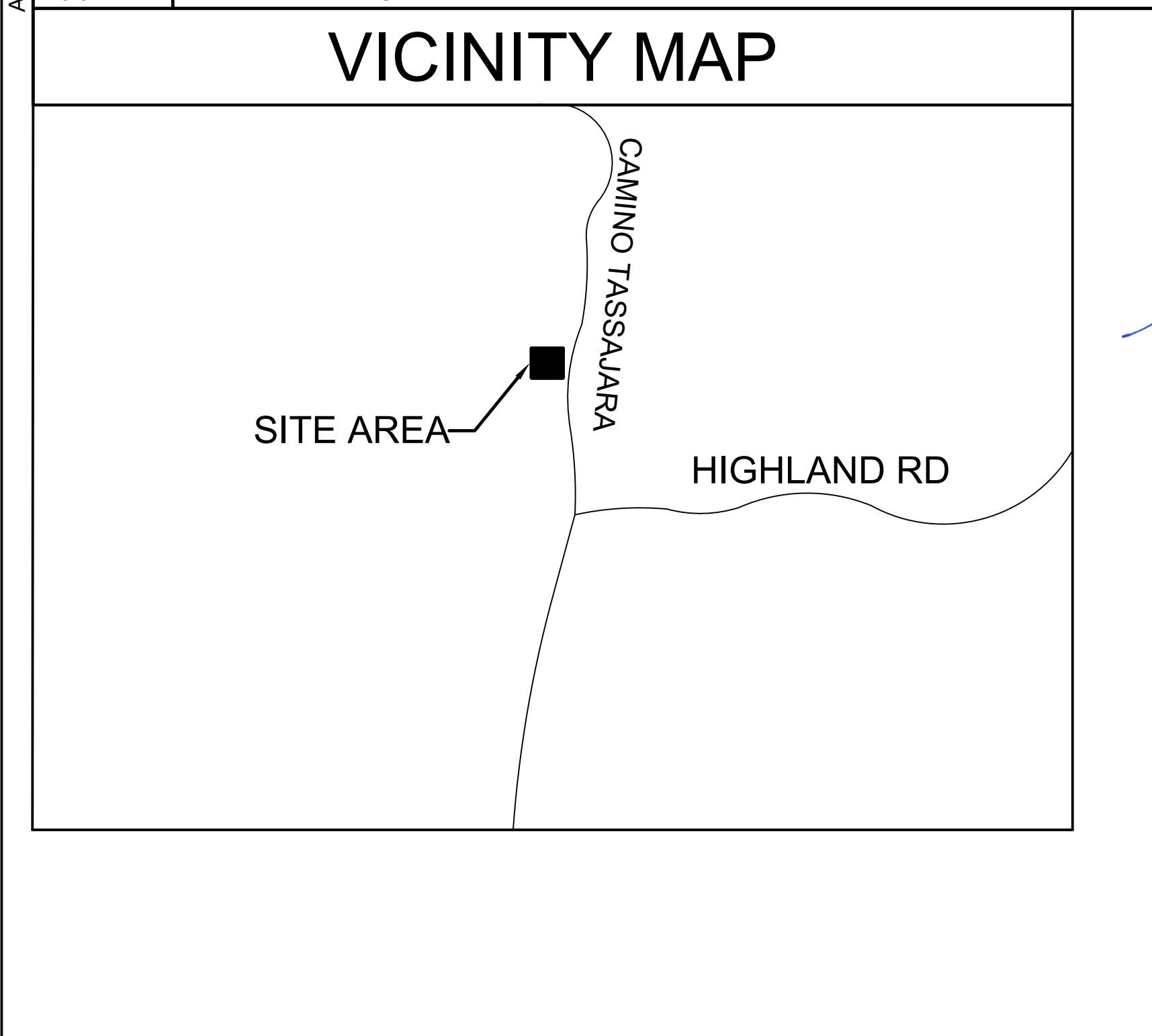
- CONSTRUCTION OF PLUMBING WALLS IN RESIDENTIAL CONSTRUCTION TO BE OF SUFFICIENT DEPTH TO ACCOMMODATE ANY REQUIRED DRILLING OR NOTCHING. CLEAN OUTS TO BE IN PLACE AT TIME OF UNDER FLOOR/PRESLAB INSPECTION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE ABOVE LISTED CODES AND ALL OTHER PUBLICATIONS NOTED HEREIN.
- DETAILS SHOWN ON THE STRUCTURAL DRAWINGS ARE TYPICAL AND SIMILAR DETAILS SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE ON THE PLANS. ANY DISCREPANCIES ON DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER
- THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ALL THE ERRORS IN DETAILING, FABRICATION, AND THE CORRECT FITTING OF THE STRUCTURAL MEMBERS.
- NAILING SHALL BE IN COMPLIANCE WITH THE TABLE R602.3.(1) CRC
- TRUSS CLIPS SHALL BE PROVIDED AT ALL INTERIOR PARTITIONS WITH 1/2" CLEARANCE FROM TOP PLATE OF PARTITION AND BOTTOM CHORD.
- PROVIDE A DOUBLE TOP PLATE WITH A MINIMUM 48 INCH LAP SPLICE AND NAILED AT EACH END WITH 16d NAILS.
- ALL HEADERS TO BE 4x12 D.F. NO.1 UNLESS OTHERWISE NOTED.
- PLYWOOD SHEATHING OVER EXPOSED EAVES, OR OTHER EXPOSED AREAS, ARE TO BE EXTERIOR, EXPOSURE 1 OR CC PLUGGED.
- PROVIDE SOLID BLOCKING AT EXTERIOR WALLS ON TRUSSED ROOFS.
- PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR AND STUD WALLS TO BE STUCCOED.
- AN A.I.T.C. CERTIFICATE FOR EACH GLUE LAMINATED TIMBER SHALL BE AVAILABLE AT THE JOB SITE.
- EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH, THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE A MINIMUM OF 24 INCHES.
- NEED TO STUBMIT COMPACTION TEST BEFORE FIRST INSPECTION REQUEST.
- *HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION".

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS & ANY OTHER DISCREPANCIES FOR ACCURACY PRIOR TO THE START OF CONSTRUCTION. ANY & ALL DISCREPANCIES FOUND TO BE BROUGHT TO DRAFTSMAN / ENGINEER'S ATTENTION. ANY STRUCTURAL CHANGES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO FIELD CHANGE. IT IS FURTHER NOTED THAT THE APPROVED RECORD SET OF DRAWINGS BY THE BUILDING DEPARTMENT IS THE CONTRACTOR'S FINAL WORKING PLANS.

2022 CRC TABLE R602.3.(1)

DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2.1(1) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2.1(2) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.

SHEET INDEX	
TRADE	DESCRIPTION
CS	COVER SHEET AND NOTES
TP-1	TOPOGRAPHIC SURVEY
OWTS	ONSITE WASTE TREATMENT SERVICE
A1.0	SITE PLAN AND STORMWATER CONTROL PLAN
A2.0	MAIN FLOOR PLAN
A3.0	ARCHITECTURAL DETAILS
A4.0	ELEVATION PLAN
A5.0	ELEVATION PLAN
A6.0	RENDER ELEVATIONS



PROJECT DIRECTORY

OWNER:
MAJOR GILL
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588

ARCHITECT DESIGNER
ELEVATION DESIGN + CONSULTING
915 13TH STREET
MODESTO, CA. 95354
209-872-2099 (SABINO URRUTIA)
elevation-dc@outlook.com

Description	Date	Rev. #

MAJOR RESIDENCE
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N.#

COVER SHEET AND NOTES

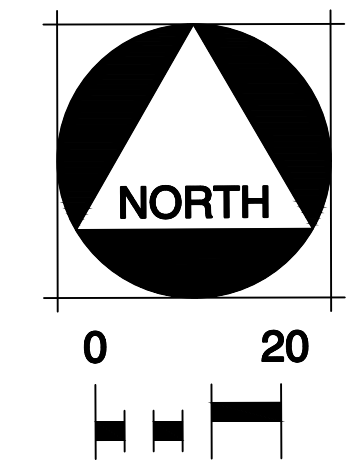
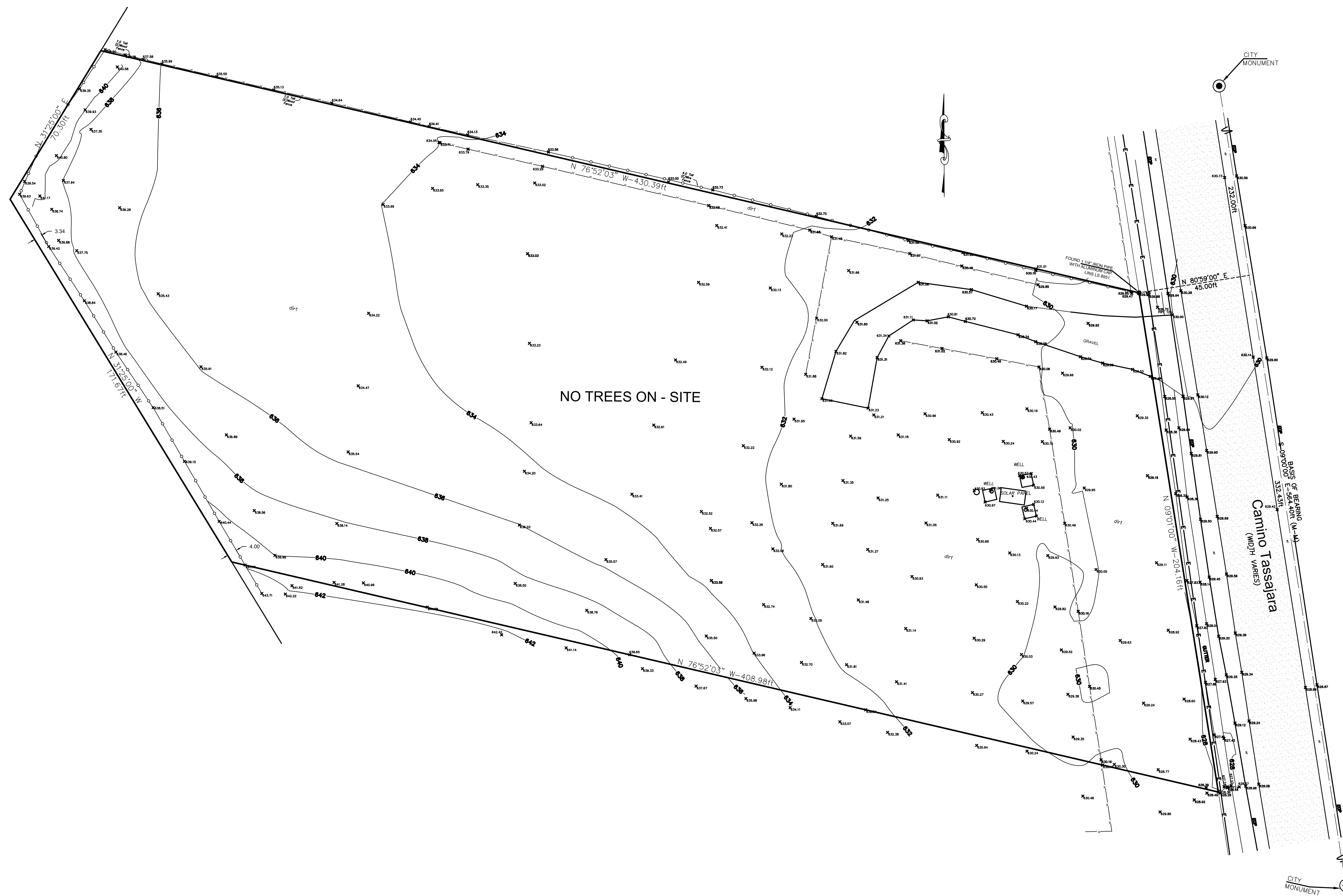
elevation
DESIGN + CONSULTING

SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#: 23-010
Scale: AS NOTED
Date: 4/8/26
Drawn By: SCU
Checked By: JM

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SHEET:
CS



TOPOGRPHIC SURVEY
DONE BY OTHERS

Rev. #	Date	Description

MAJOR RESIDENCE
5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N. #
TOPOGRAPHIC SURVEY



DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209. 872. 2099

Job#:	22-068
Scale:	AS NOTED
Date:	4/17/25
Drawn By:	SCU
Checked By:	JM

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SHEET:
TP-1



VICINITY MAP
SCALE: N.T.S.

SCOPE OF WORK: SOIL PROFILE AND PERCOLATION FOR FUTURE
ONSITE WASTEWATER DISPOSAL SYSTEM/SEPTIC SYSTEM.
NOTE: AREA TESTED SUITABLE FOR UP TO 8 BEDROOMS
WATER SOURCE: ONSITE WATER WELL

SHEET
OWTS-1

DATE: 01/27/25
SCALE: 1" = 30'
DRAWN: ADR
CHECKED BY: SMR

SITE LOCATION:
5980 CAMINO TASSAJARA
DANVILLE, CA 94588
APN: 206-200-002

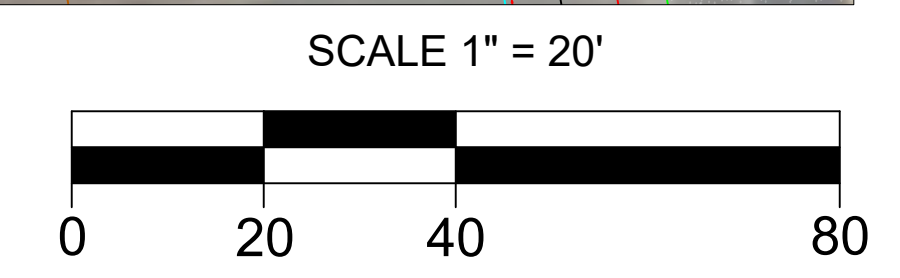
ONSITE WASTEWATER
SYSTEM PERCOLATION TEST
LOCATION FOR:
MAJOR GILL
5980 CAMINO TASSAJARA
DANVILLE CA 94588

SALVADOR M. RUIZ
REGISTERED ENVIRONMENTAL
HEALTH SPECIALIST
STATE OF CALIFORNIA
REGISTRATION NUMBER: 5940
EXPIRES: 12-31-26
DATE: 01/27/25

SALVADOR M. RUIZ, R.E.H.S.
3941 PARK DRIVE STE. 20744
EL DORADO HILLS, CA 95762
PHONE: (925) 212-9168
EMAIL: stuizehts@yahoo.com

- KEY NOTES**
- (E) EXISTING
 - PERCOLATION HOLE
 - SOIL PROFILE TEST PIT

PROPOSED OWS DISPOSAL FIELD LOCATION
SCALE: 1" = 20'



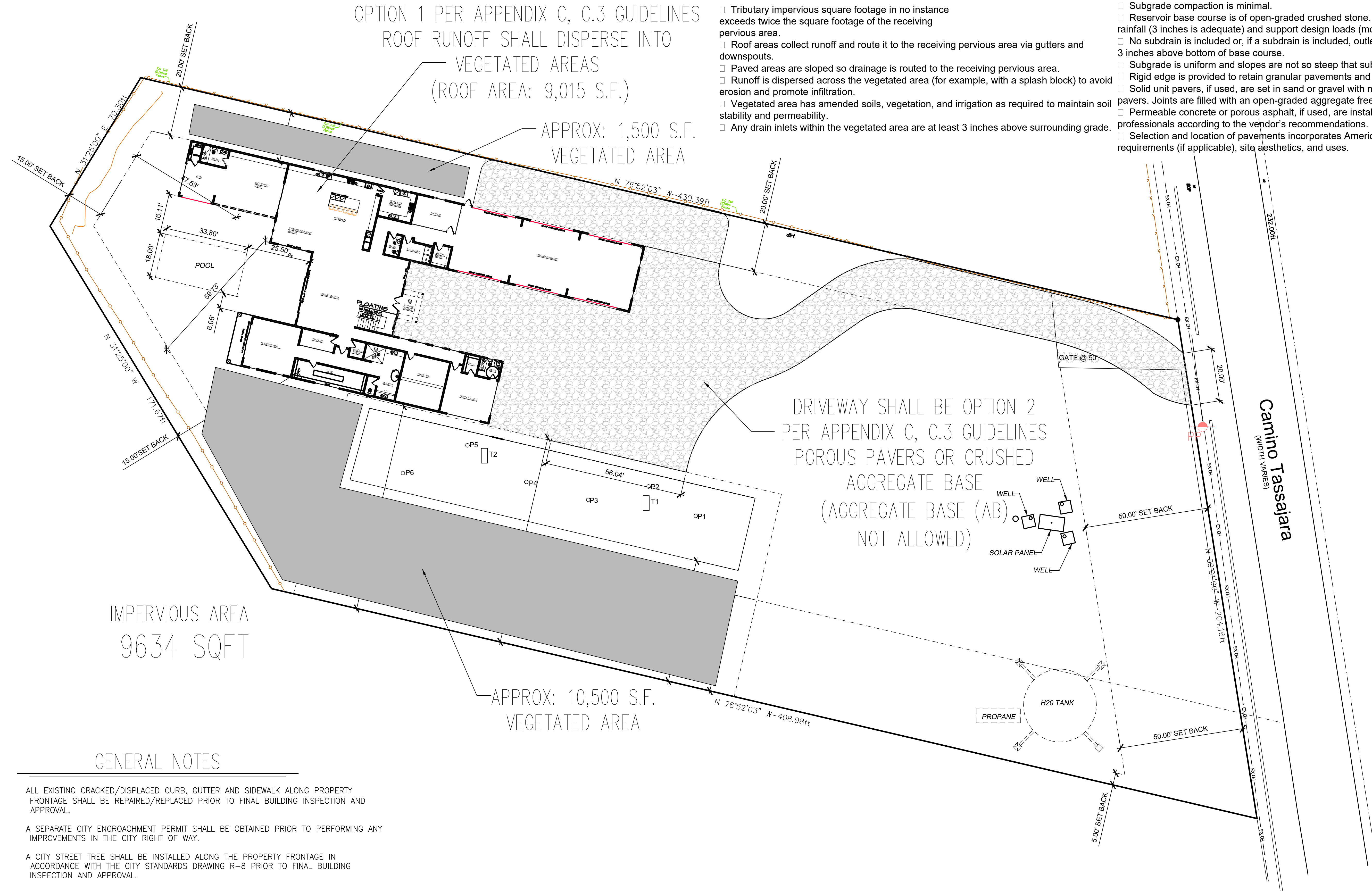
PERCOLATION TEST RESULTS SUMMARY			
PERCOLATION HOLE #	DEPTH HOLE	SOIL PERCOLATION RATE (MPI)	AVERAGE RATE (MPI)
P1	18"	22	8
P2		3	
P3		3	
P4		9	
P5		5	
P6		6	

WASTEWATER APPLICATION RATE: 0.914 GPD/FT²
(PER CONTRA COSTA COUNTY HEALTH OFFICER REGULATIONS FOR SEWAGE COLLECTION AND DISPOSAL APPENDIX 1 FOR PERCOLATION RATE OF 8 MPI)

BASE PLAN AND TOPOGRAPHY MAP PREPARED BY RENE SERRANO
DATE: 01/23/2025
CONTOUR INTERVALS = 2'

THIS SITE MAP WAS PREPARED SOLELY FOR THE PURPOSE OF THE SEPTIC SYSTEM DESIGN AND SHOULD NOT BE CONSTRUED AS A BOUNDARY SURVEY OR FOR OTHER PURPOSES. LOCATIONS ARE APPROXIMATE. ALL INFORMATION SHOWN ON THE DRAWING HAS BEEN PROVIDED BY THE PROPERTY OWNER OR AGENT AND MEASUREMENTS TAKEN IN THE FIELD.





OPTION 1 PER APPENDIX C, C.3 GUIDELINES
 ROOF RUNOFF SHALL DISPERSE INTO
 VEGETATED AREAS
 (ROOF AREA: 9,015 S.F.)

APPROX: 1,500 S.F.
 VEGETATED AREA

OPTION 1 NOTES:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

OPTION 2 NOTES:

- No erodible areas drain on to permeable pavement.
- Subgrade compaction is minimal.
- Reservoir base course is of open-graded crushed stone. Base depth is adequate to retain rainfall (3 inches is adequate) and support design loads (more depth may be required).
- No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- Subgrade is uniform and slopes are not so steep that subgrade is prone to erosion.
- Rigid edge is provided to retain granular pavements and unit pavers.
- Solid unit pavers, if used, are set in sand or gravel with minimum 3/8-inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.
- Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.
- Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

DRIVEWAY SHALL BE OPTION 2
 PER APPENDIX C, C.3 GUIDELINES
 POROUS PAVERS OR CRUSHED
 AGGREGATE BASE
 (AGGREGATE BASE (AB)
 NOT ALLOWED)

IMPERVIOUS AREA
 9634 SQFT

APPROX: 10,500 S.F.
 VEGETATED AREA

GENERAL NOTES

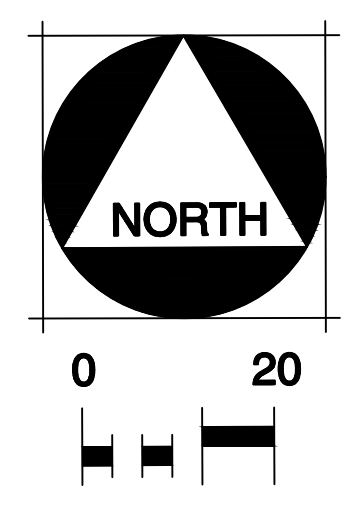
- ALL EXISTING CRACKED/DISPLACED CURB, GUTTER AND SIDEWALK ALONG PROPERTY FRONTAGE SHALL BE REPAIRED/REPLACED PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.
- A SEPARATE CITY ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO PERFORMING ANY IMPROVEMENTS IN THE CITY RIGHT OF WAY.
- A CITY STREET TREE SHALL BE INSTALLED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH THE CITY STANDARDS DRAWING R-8 PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.

GRADING NOTES

- NOTES:
1. ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE.
 2. ROOF DRAINS ARE TO BE DIRECTED TO A PERMEABLE AREA OR INFILTRATION TRENCH BEFORE ENTERING CITY OF STOCKTON STORM WATER SYSTEM. THE CAPTURE AND REUSE FOR SAME INITIAL FLOW VOLUME IS ALSO AN ACCEPTABLE BMP.
 3. ELECTRICAL, CABLE, AND/OR TELEPHONE BOXES MAY BE LOCATED ON THIS LOT.
 4. PERIMETER FENCING TO BE A 6' HIGH WOOD FENCE.
 5. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL-MOISTURE BASED CONTROLLERS.



Know what's below.
 Call before you dig.
 811 / 800-227-2600



Rev. #	Date	Description

MAJOR RESIDENCE
 5880 CAMINO TASSAJARA,
 PLEASANTON, CA. 94588
 A.P.N #

SITE PLAN AND WATER CONTROL PLAN

elevation
 DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
 PO BOX 1159 CERES, CA 95307
 PH) 209 . 872 . 2099

Job#:	23-004	Scale:	AS NOTED	Date:	11/14/25	Drawn By:	SCU	Checked By:	JM
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SHEET:
A1.0

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
3. REFRIGERATOR SPACE W/ COLD WATER STUB
4. DISHWASHER
5. LAVATORY
6. WATER CLOSET
7. ATTIC ACCESS
8. 2X6 PLUMBING WALL
9. TUB/ SHOWER WAINSCOT WALLS TO 6'-0" MIN. - PROVIDE SOLID WASTE CONNECTION
10. DOUBLE STACKED OVEN

FLOOR PLAN NOTES

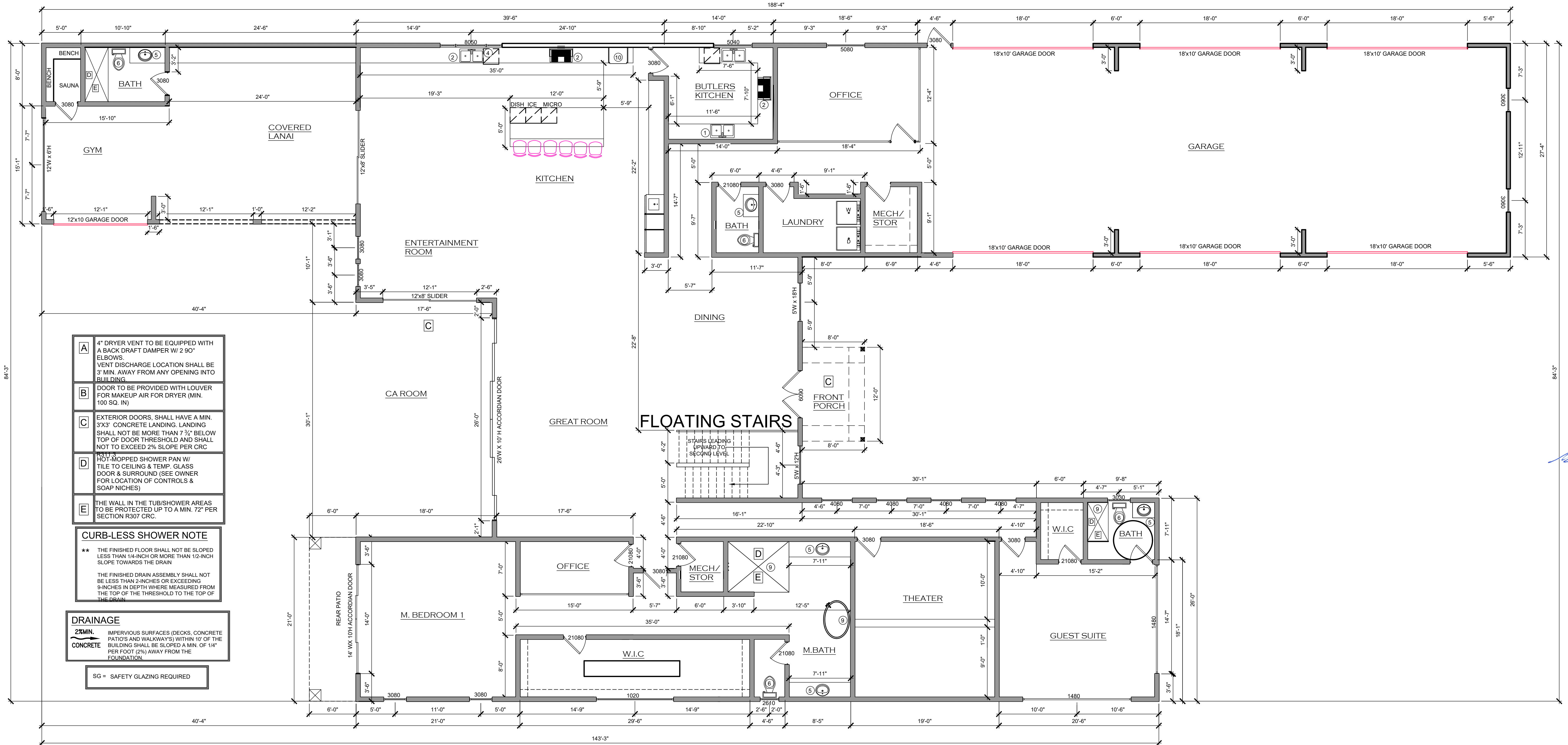
1. ALL EXTERIOR / INTERIOR WALLS SHALL BE 2X6 AT 16" O.C. D.F. #2 OR BETTER (U.O.N.) ALL WALLS @ 10'-0" SHALL BE 2X6 AT 16" O.C. D.F. #2
2. OR BETTER OR (2) 2X4 AT 16" O.C. D.F. #2 OR BETTER (UP TO 14'-0") (U.O.N.) FOR ADDITIONAL WOOD FRAMING NOTES AND DETAILS, REFER TO STRUCTURAL PLANS.
3. ALL LUMBER SHALL BEAR AN APPROVED RATING STAMP
4. ALL HEADERS SHALL BE 4X12 EXCEPT U.O.N.
5. STUBS, PLATES, BEAMS, AND BLOCKING SHALL HAVE 19% MAX. MOISTURE CONTENT
6. NAILING PER CRC TABLE R602.3(1) ALL NAILS TO BE COMMON
7. ALL MINIMUM DOOR HEIGHTS SHALL BE 80 INCHES FOR EXTERIOR DOORS AND 78 INCHES FOR INTERIOR. THE MAXIMUM THRESHOLD HEIGHT IS 3/4" FOR SLIDING DOORS AND 3/4" FOR HINGED DOORS. DOOR HANDLES, LATCHES, LOCKS ETC. SHALL BE MOUNTED 34 INCHES TO 48 INCHES ABOVE FLOOR.
8. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PTDF #2 OR BETTER
9. ATTIC SPACES. AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (509 MM BY 762 MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762 MM). A 30-INCH (762 MM) MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
10. MAXIMUM HEIGHT FROM FLOOR. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR.

VENTILATION NOTES

1. MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS IF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION ARE NOT PROVIDED.
2. WHEN A CONNECTOR USED FOR A GAS APPLIANCE HAVING A DRAFTHOOD MUST BE LOCATED IN OR PASS THROUGH A CRAWL SPACE OR OTHER COLD AREA THAT PORTION OF THE CONNECTOR SHALL BE LISTED TYPE B OR TYPE L VENT
3. MATERIAL OR BE PROVIDED WITH THE EQUIVALENT MEANS OF INSULATION. VENT CONNECTORS IN GARAGES OR OTHER NON-CONDITIONED AREAS ARE TO BE TYPE B
4. AT LEAST HALF OF COMMON WALL MUST BE OPEN HAVING NOT LESS THAN 1/10 OF FLOOR AREA OR 25 SQUARE FEET WHICHEVER IS GREATER IF LIGHT AND VENTILATION SUPPLIED FROM ADJACENT ROOM.
5. MINIMUM VENT AREA IS 1/150 OF THE ATTIC AREA OR 1/300 AREA IF AT LEAST 50% OF REQUIRED VENT IS THREE FEET ABOVE EAVE VENTS OR CORNICE VENTS.
6. TYPE B OR BW GAS VENTS WITH LISTED VENT CAPS 12" IN SIZE OR SMALLER SHALL BE PERMITTED TO BE TERMINATED IN ACCORDANCE WITH TABLE B.A. PROVIDED THEY ARE LOCATED AT LEAST 8 FEET FROM A VERTICAL WALL OR SIMILAR OBSTRUCTION. ALL OTHER TYPE B GAS VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN TEN FEET.

WINDOW & GLAZING NOTES

1. IN DWELLING UNITS EVERY SLEEPING ROOM AND BASEMENT SHALL HAVE AN OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" TO THE BOTTOM OF CLEAR OPENING.
2. WINDOW AREA MUST BE AT LEAST 8% OF THE FLOOR AREA SERVED, WITH A MINIMUM OF 10 SQUARE FEET IN ALL HABITABLE ROOMS.
3. OPENABLE WINDOW AREA AND HABITABLE ROOMS MUST BE 4% VENTILATION OF THE FLOOR AREA SERVED AND A MINIMUM OF 5 SQUARE FEET. IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS, 1/20 OF THE AREA IS REQUIRED WITH 1.5 SQUARE FOOT MINIMUM.
4. ALL GLAZING WITHIN 18" OF THE FLOOR AND IN EXCESS OF 9 SQUARE FEET AND WITHIN 12 INCHES OF ANY DOOR, AND THAT HAS A TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR AND WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF PLANE SHALL BE TEMPERED. ALL SHOWER AND BATHTUB DOORS GLAZING WITHIN 60 INCHES OF THE BATHING SURFACE SHALL BE TEMPERED.
5. SAFETY GLAZING MUST BE INSTALLED IN INGRESS/EGRESS DOORS AND IN ALL PANELS OF SLIDING DOORS INCLUDING FIXED PANELS.
6. GLAZING WITHIN A 24 INCH ARC OF EITHER THE VERTICAL EDGE OF A DOOR AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED.
7. ALL GLAZING SHALL BE DUAL PANE AS INDICATED ON THE TITLE 24 DOCUMENTS.



- A** 4" DRYER VENT TO BE EQUIPPED WITH A BACK DRAFT DAMPER W/ 2 90° ELBOWS. VENT DISCHARGE LOCATION SHALL BE 3' MIN. AWAY FROM ANY OPENING INTO BUILDING
 - B** DOOR TO BE PROVIDED WITH LOUVER FOR MAKEUP AIR FOR DRYER (MIN. 100 SQ. IN)
 - C** EXTERIOR DOORS, SHALL HAVE A MIN. 3'x3' CONCRETE LANDING. LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW TOP OF DOOR THRESHOLD AND SHALL NOT TO EXCEED 2% SLOPE PER CRC
 - D** HOT-MOPPED SHOWER PAN W/ TILE TO CEILING & TEMP. GLASS DOOR & SURROUND (SEE OWNER FOR LOCATION OF CONTROLS & SOAP NICHES)
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- CURB-LESS SHOWER NOTE**
 ** THE FINISHED FLOOR SHALL NOT BE SLOPED LESS THAN 1/4-INCH OR MORE THAN 1/2-INCH SLOPE TOWARDS THE DRAIN
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- SG = SAFETY GLAZING REQUIRED

MAJOR RESIDENCE
 5980 CAMINO TASSAJARA
 PLEASANTON, CA. 94588
 A.P.N.#

elevation
 DESIGN + CONSULTING
 DESIGNER: SABINO URRUTIA
 PO BOX 1159 CERES, CA 95307
 PH) 209. 872. 2099

Job#: 22-039
 Scale: AS NOTED
 Date: 5/13/25
 Drawn By: AC
 Checked By: SCU

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SHEET:
A2.0

- FLOOR PLAN LEGEND**
- DOUBLE SINK W/ DISPOSAL
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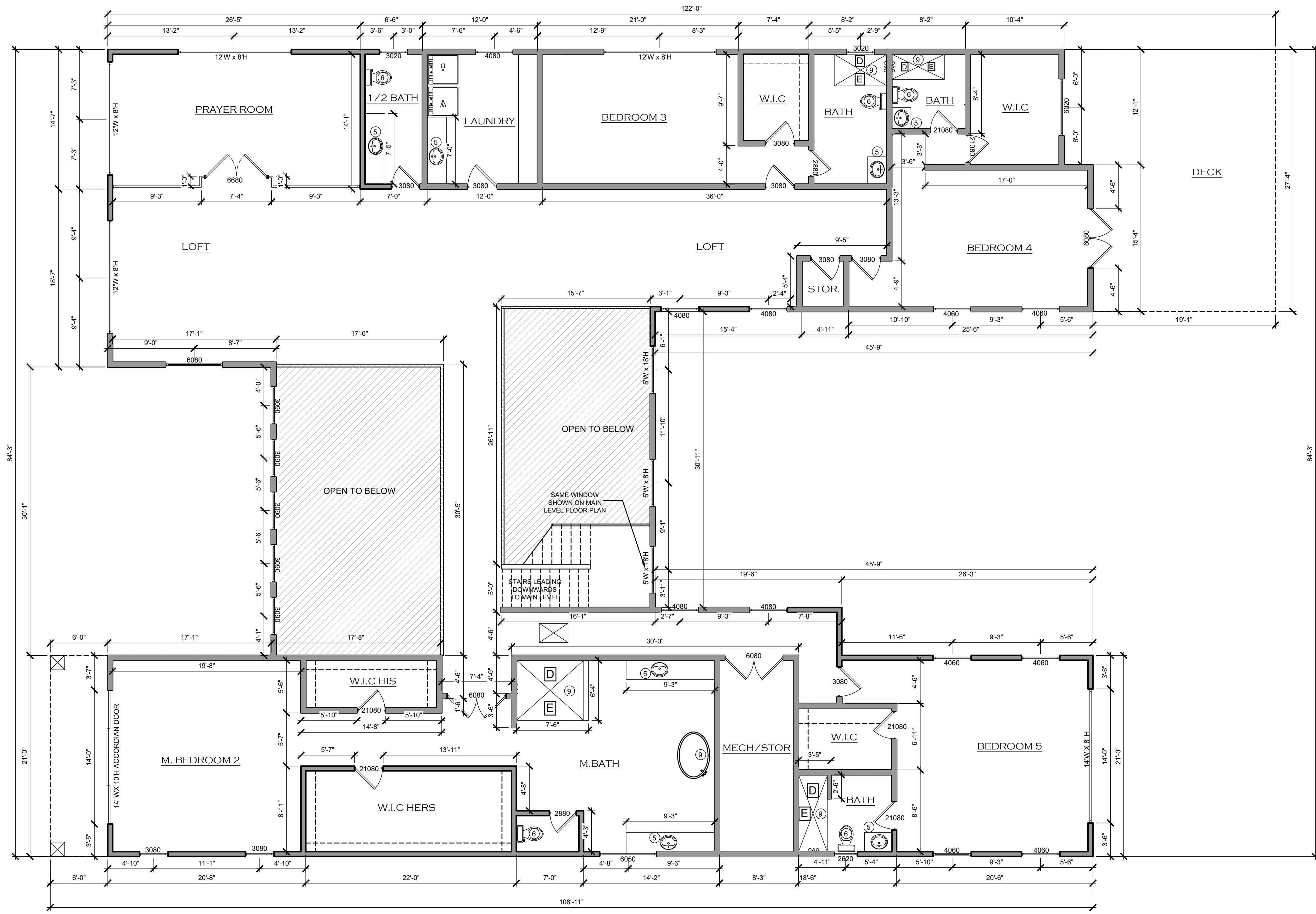
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DRAINAGE

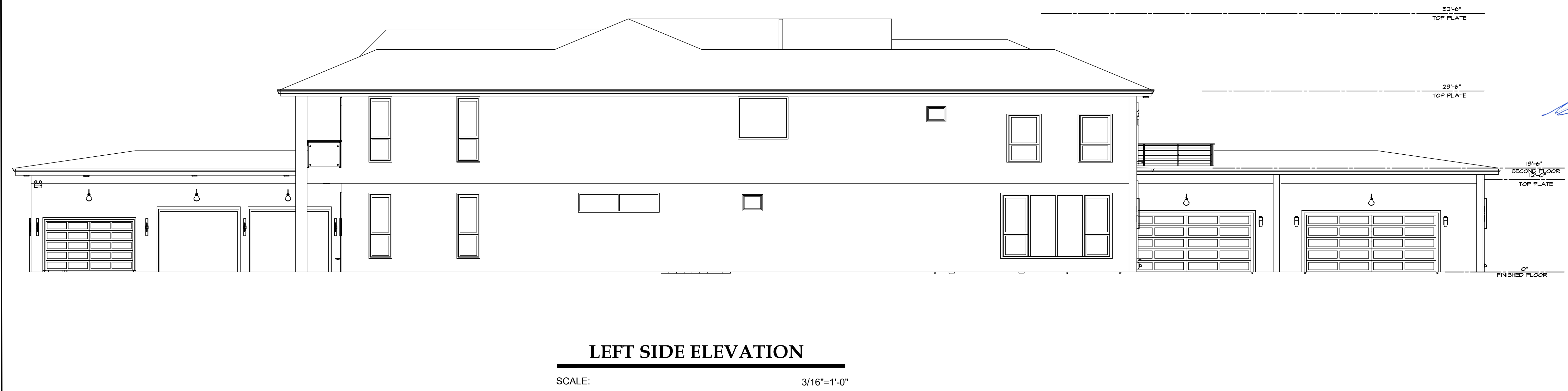
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SG = SAFETY GLAZING REQUIRED

SECOND LEVEL FLOORPLAN

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE		5980 CAMINO TASSAJARA PLEASANTON, CA. 94588 A.P.N.#	
SECOND FLOOR PLAN		<p>DESIGNER: SABINO URRUTIA PO BOX 1159 CERES, CA 95307 PH) 209. 872. 2099</p>	
Job#: 22-039	Scale: AS NOTED	Date: 5/13/25	Drawn By: AC
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SHEET:		A3.0	



MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

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SHEET:
A4.0



BACK SIDE ELEVATION

SCALE: 3/16"=1'-0"



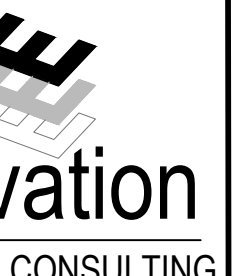
RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"

MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

SECOND FLOOR PLAN

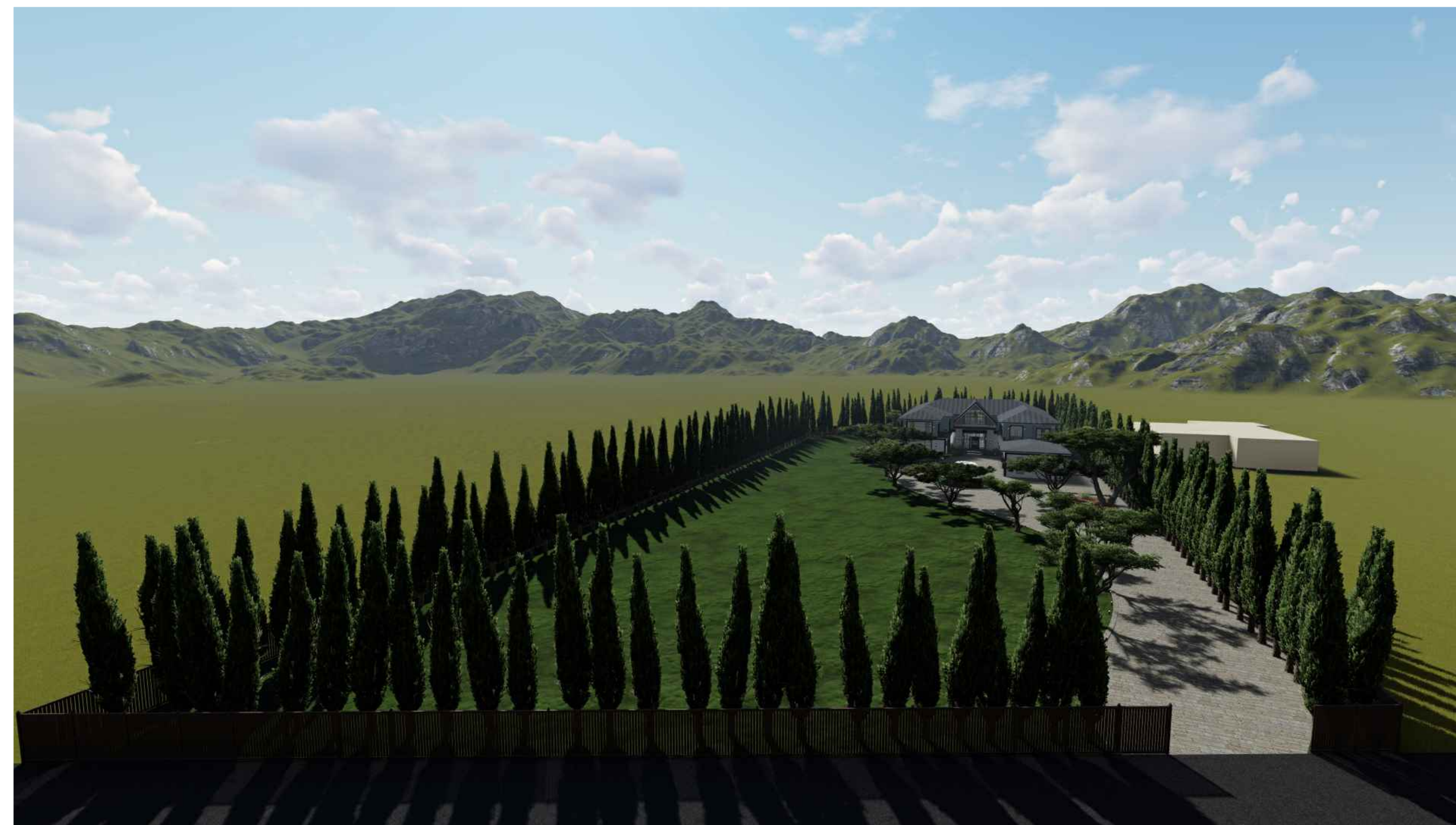


DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
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SHEET: **A5.0**



MAJOR RESIDENCE

5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N.#

RENDER ELEVATION

E
elevation
DESIGN + CONSULTING

Sabino Urrutia

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

Job#: 22-039

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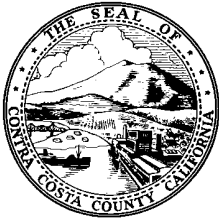
Drawn By: AC

Checked By: SCU

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SHEET:

A6.0



Department of Conservation and Development

County Zoning Administrator

Monday, March 16, 2026 – 1:30 P.M.

STAFF REPORT

Agenda Item # _____

Project Title:	Small Lot Design Review Development Plan for a New Single-Family Residence
County File(s):	#CDDP25-03021
Applicant:	Sabino Urrutia, Elevation Design + Consulting
Owners:	Kulwant & Major Gill
Site Address/Location:	5980 Camino Tassajara Road, Danville APN: 206-200-002
California Environmental Quality Act (CEQA) Status:	The proposed project is exempt under CEQA Guidelines Section 15303(a) New Construction – One Single Family Residence.
Project Planner:	Adrian Veliz, Senior Planner (925) 655-2879 Adrian.veliz@dcd.cccounty.us
Staff Recommendation:	Approve (See Section II for Full Recommendation)

I. PROJECT SUMMARY

The applicant is seeking approval of a Small Lot Design Review Development plan for a proposed two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The project includes driveway, and septic tank improvements, as well as \pm 12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site

stormwater treatment where collection and conveyance to an adequate storm drain system or adequate natural watercourse is required.

II. RECOMMENDATION

The Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Zoning Administrator:

- A. FIND that the project is categorically exempt from CEQA under Section 15303(a) of the CEQA Guidelines.
- B. APPROVE Development Plan, County File #CDDP23-03021 to allow the development of a new single-family residence, based on the attached findings and subject to the attached conditions of approval.
- C. DIRECT staff to file a Notice of Exemption.

III. BACKGROUND

On May 13, 2025, the applicant submitted an application for a Small Lot Design Review for the proposed residence. On June 18, 2025, the Community Development Division (CDD) staff mailed a Notice of Opportunity to Request a Public Hearing to property owners within 300-feet of the project site boundaries. CDD staff received comments from three respondents, two of which included a request for a public hearing on the matter. The public comments received by CDD staff express concerns that the proposed residence is incompatible with the surrounding neighborhood in terms of scale and aesthetics. The comments received by CDD staff are discussed in more detail within the Public Comments and Request for Public Hearing section of this report. Due to the public hearing requests, the project proponent subsequently submitted this Small Lot Design Review Development Plan application on August 12, 2025, to allow for the continued processing of the proposed project.

IV. GENERAL INFORMATION

- A. General Plan: The subject property is located within an Agricultural Lands (AL) General Plan Land Use Designation.
- B. Zoning: The subject property is located within an A-2 General Agricultural District (A-2).
- C. California Environmental Quality Act (CEQA) Compliance: The proposed project is exempt under CEQA Guidelines Section 15303(a). This CEQA section applies to

project involving the construction of one single-family residence.

D. Previous Applications:

- a. CDSL25-00044: Administrative Small lot design review application submitted May 13, 2025. The administrative application was superseded by this Development Plan application due to requests for public hearing on the matter in response to County noticing.

- E. Lot Creation: The subject property is a legal lot identified as Lot B of minor subdivision #MS56-64, for which a record of survey (27LSM20) was recorded on April 27, 1964.

V. SITE/AREA DESCRIPTION

The subject property consists of approximately 1.95 acres of agricultural-zoned land addressed 5980 Camino Tassajara in the Danville area of unincorporated Contra Costa County. The subject property has approximately 204.16-foot-wide frontage along the western side of Camino Tassajara, a public right-of-way providing vehicular access to the site. The subject property is relatively flat near the frontage (i.e. easterly portions of the site) as compared to the open space hillsides which begin to take rise near the rear (western) property boundaries and beyond. The site lacks buildings or structural improvements and predominantly consists of short-mown grasslands completely devoid of trees/shrubs.

The project vicinity consists of lands also located within agricultural zoning districts (e.g. A-2, A-20, A-40, A-80). The project site is abutted to the west by several hundred acres of open space hillside lands within an Agricultural Preserve (A-80) zoning district and to the east by the Camino Tassajara public right of way. Tassajara creek is located approximately ¼ mile east of the project site. The north/south stretch of Camino Tassajara in the project vicinity generally follows the course of Tassajara Creek, within a relatively flat valley between prominent open space hillsides. The vast majority of open space hillside lands in the surrounding area consists of larger (80+ acres) within A-80 zoning districts which has a minimum parcel size of 80-acres. There are also numerous smaller parcels between 1-to-15 acres in area within General Agricultural (A-2) district, in which the minimum parcel size is 5-acres. The smaller A-2 zoned are concentrated along Camino Tassajara Road between Bruce Drive and Highland Avenue, and many have been improved with single-family residences consistent with permitted land uses within A-2 districts.

Established land uses on adjoining agricultural lands include a variety of established agricultural, public, commercial, and residential land uses. The subject property is one of five contiguous “substandard lots” (i.e. A-2 zoned parcels less than 5 acres in area) located along the western side of Camino Tassajara between Highland Road and Johnston Road. Development on the nearby substandard lots includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

VI. PROJECT DESCRIPTION

The applicant is seeking approval of a Small Lot Design Review Development Plan for a proposed two-story single-family residence and attached garage having an approximate gross floor area of 13,832 square feet on an agricultural-zoned parcel of substandard area. The gross floor area includes 11,354 square feet of conditioned living space divided roughly equally amongst two floors, a 932 square-foot rear covered patio, and an attached 1,367 square-foot six-car garage. The proposed residence has a building height of 25'6". The project includes driveway, and septic tank improvements, as well as ±12,000 square-feet of vegetated dispersal areas for managing stormwater roof runoff from the project. The project would be accessible from Camino Tassajara, a public right-of-way abutting the eastern boundary of the project site, via a proposed 20-foot-wide driveway. The proposed 20-foot-wide driveway would be comprised entirely of pervious pavers and would extend approximately 200 linear feet west into the lots interior to provide vehicular access to the front of the proposed residence and garage. The project includes a request for an Exception to Division 914 (Collect and Convey) of the County Ordinance to allow on-site stormwater dispersal/treatment where collection and conveyance to an adequate storm drain system or watercourse is required.

VII. AGENCY COMMENTS

On August 12, 2025, CDD staff forwarded application materials to outside agencies - including County Department Conservation and Development Building Inspection Division, County Health Department Environmental Health Division, County Department of Public Works Engineering Services Division, San Ramon Valley Fire Protection District, and Contra Costa Mosquito & Vector Control District – with a request for comment on the proposed project. The agency comments received by CDD staff in response to this request are summarized below.

- A. County Department of Public Works – Engineering Services Division: In a memo dated December 31, 2025, Engineering Services Division provide recommended conditions of approval relating to site access and drainage for the proposed development. The recommendations have been incorporated as conditions of approval for the project. See attached comment letter for additional details.
- B. San Ramon Valley Fire Protection District (SRVFPD): In a letter dated August 26, 2025, SRVFPD advised of fire codes applicable to the project relating to access, rural water supply, and requirements for properties within a High Fire Hazard Severity Zone within the State Responsibility area. If the project is approved, construction plans will be subject to fire district review to ensure compliance with applicable fire code provisions. See attached comment letter for additional details on the specified code requirements.
- C. Contra Costa Mosquito & Vector Control District: In a letter dated August 13, 2025, Vector Control District staff advised that certain design features proposed with the project can become high-volume mosquito production sites absent appropriate design. The district recommends designing the project to ensure that such features do not retain areas of stagnant water more than 72 hours and the development of a operation and maintenance plan to preclude vector production.

VIII. PUBLIC COMMENTS AND REQUEST FOR PUBLIC HEARING

On June 18, 2025, CDD staff mailed a Notice of Opportunity to Request a Public Hearing to property owners within 300-feet of the project site boundaries. During the 10-day public comment period, staff received three written comments in response, two of which requested a public hearing on the matter. The concerns expressed in the written public comments, as summarized by CDD staff, are detailed below followed by a brief staff response.

- A. **Shane Garrehy 5990 Camino Tassajara**: In a letter dated June 26, 2025, the commenter expresses opposition to the project on the basis of the size of the home and inconsistency with surrounding properties. Additionally, the neighbor states that the project could result in privacy issues for nearby families due to the large size of the home. The commenter further opines that the project would disrupt the visual harmony and rural identity of the area and represents too sharp of a contrast with the surrounding neighborhood.

Staff Response: The commenter contends that the scale of the project does not

belong in the neighborhood and that the proposed home size is inconsistent with development in the vicinity, to the detriment of visual harmony and the surrounding rural character. Generally speaking, there are no policies or ordinances limiting the size of a single-family residence in unincorporated Contra Costa County. Additionally, CDD staff finds the proposed residence to be sized consistently (in terms of building footprint and gross floor area) with multiple agricultural buildings existing on adjoining parcels. For example, two equestrian centers (La Jolla Equestrian and Iron Horse Equestrian) exist along the eastern side of Camino Tassajara, opposite the project site. Each of these facilities includes at least one covered horse arena with a footprint exceeding that of the proposed residence. Both neighboring equestrian facilities include multiple additional examples of buildings having footprints exceeding that of typical residential development. Buildings of comparable or larger areas are routinely constructed on lands within A-2 General Agricultural district for residential or non-residential use. While acknowledging that the proposed residence is significantly larger than those existing on adjoining parcels, it is also important to recognize that the surrounding area is not a residential neighborhood, but rather, an agricultural area comprised of buildings having a wide variety of sizes, appearances, and uses. The surrounding agricultural area consists of parcels of sufficient area to be conducive for accommodating buildings of this size, for those residential or non-residential land uses permissible within the A-2 General Agricultural zoning district, as specified in Chapter 84-38 of the County Ordinance code. Therefore, CDD staff does not agree with the stated opinion that the proposed project is out of scale or otherwise incompatible with the surrounding agricultural area.

The comments also express concern that the project would result in privacy issues for neighboring families. However, since the commenter does not reside on land adjoining the project site and topography/neighboring structures obstruct sight lines from the project to their property, no such impacts are expected for the existing residence addressed 5990 Camino Tassajara. See below staff response to privacy concerns raised by adjoining property owners Brian and Jennifer Oas.

- B. **Brian and Jennifer Oas:** In an email dated June 30, 2025, Mr. and Mrs. Oas request a public hearing be held on the matter, citing unspecified concerns. In subsequent email correspondence dated November 25, 2025, Mr. Oas raises the following concerns:

1. The project scale/massing is substantially out of scale with the existing development pattern along Camino Tassajara.

Staff Response: As mentioned in response to the above Garrehy comments,

multiple existing agricultural buildings on adjoining properties exceed the proposed building square-footage, both in terms of gross floor area and footprint. It appears that the comments regarding the incompatible scale of the project are based solely on a comparison of the project to nearby residential dwellings. In the context of the agricultural surroundings, which include numerous instances of agricultural buildings having comparable square-footage, in addition to single-family residences, the project is clearly consistent with existent agricultural development in the area in terms of square footage, building footprint, and impervious surface.

2. The proposed home design differs from other homes in the area which are predominantly single-story ranch style.

Staff Response: Pursuant to section 88-38.802 of the County Zoning ordinance, development within the A-2 district is limited to a maximum of 2.5 stories and 35 feet in height. At ± 23.5 feet in height, the proposed two-story project is well below the maximum permissible building height. Although the closest homes to the project (i.e. those on northern/southern adjoining parcels) are of single-story configuration, this fact alone does not limit the rights of surrounding parcels to develop their parcels in a manner consistent with applicable zoning ordinance development standards. As discussed in the attached design review findings, CDD staff considers the proposed height and design to be consistent and compatible with the surrounding agricultural area.

3. The proposed design will adversely affect privacy by directing views into the neighboring yard and bedrooms.

Staff Response: The Oas residence, addressed at 5800 Camino Tassajara, is the existing home that is nearest to the proposed building site. Just four other homes¹ exist within 1,000 feet of the project, each of them located over 250 feet south of the proposed building pad. Topography in the area will significantly obstruct views of the project from three of the nearby southerly residences. Thus, the sparsely populated surroundings are such that the project has minimal potential to adversely affect the privacy enjoyed on surrounding parcels.

In general, adverse privacy impacts amongst homes on adjoining parcels are expected to increase as the distance separating them decreases. Consequently, the potential for adverse privacy impacts is considered highest when one or both of the neighboring homes is located in close proximity to a common property

¹ Other nearby existing residences include 5890, 5990, 6000, & 6100 Camino Tassajara

line. This circumstance does not apply to the proposed project as it provides adequate building separation between neighboring homes. The northern façade of the proposed residence would be parallel with and 20 feet distant from the property line adjoining the Oas property. The Oas residence exists approximately 40 feet beyond the common property line, resulting in about 60 feet of separation between the project and the existing Oas residence. Although the neighbor is seemingly accustomed to a greater degree of separation between nearby homes, the proposed project would nonetheless result in building separation exceeding that which is typical in residential zoning districts. Therefore, staff considers the potential for privacy impact to be relatively low.

Additionally, the project design would not direct views onto the neighboring yard or into the Oas residence. This is due to the fact that the project includes only three first story windows facing north towards the Oas residence. The proposed 60 feet building separation, combined with an existing 7-foot-tall wooden fence will serve to obscure line-of-site between habitable first floor living areas within the adjoining residences. The northern facing windows in the northwestern corner of the proposed second story do have higher potential to adversely affect privacy relative to those on the first floor. However, since the neighbor's home is of a single-story configuration, the views from northern facing second story windows would overlook the rooftop of the Oas residence but would not allow views into interior living areas. There are no northern facing windows directly overlooking the Oas rear yard, as the project proposes a single-story covered patio along portions of the property line directly adjacent to the neighbors back yard. Thus, since most second story windows are overlooking the roof of the neighbor's home the proposed project would expectedly maintain privacy between neighboring properties. In order to ensure that this is the case, CDD staff recommends that the Zoning Administrator condition the project to require that the northern facing second story "Prayer Room" window be revised to consist of with an opaque/transom privacy window having a sill height of at least 48" above the finished floor. As conditioned, the project would substantially inhibit views between the proposed second story and the neighboring Oas residence/rear yard. The northern facing windows within the second story "Laundry" and "Bedroom "#3" may remain as proposed since these windows are oriented towards the front yard and large off-street parking area serving the commercial swimming school operating on the neighbor's property more so than towards the existing residential improvements.

Based on the above discussion, CDD staff does not anticipate the proposed project would adversely affect privacy on the Oas residence to any significant degree. As conditioned, the project proponent may develop their property in a

manner consistent with all development standards for the A-2 district in which the property is located while maintaining adequate privacy between adjoining parcels.

4. County staff's scrutiny of the project is inconsistent with the intent of the small lot occupancy ordinance because it does not adequately assess potential adverse project-related effects, including those relating to privacy, light, noise, aesthetics, and neighborhood compatibility.

Staff Response: The intent of the "Small Lot Occupancy" provision of the County Ordinance code (Section 82-10.002[c]), is to allow for development of any legal lot of substandard area or average width with a single-family dwelling that meets all setback/yard requirements of the County Ordinance Code, or for which a variance has been granted for setback/yard requirements. The subject property is a legal lot of substandard area, consisting of a 1.95-acre parcel where 5 acres is the minimum parcel size in the A-2 General Agricultural zoning district. The proposed project meets applicable setback, side yard, and rear yard requirements for structural development within A-2. Thus, the project is consistent with the stated intent of said ordinance. Therefore, the subject site qualifies for small lot occupancy "unless the zoning administrator determines that the proposed dwelling appears not to be compatible with the surrounding neighborhood.

As discussed in detail within the attached small lot design review findings, CDD staff finds the project consistent and compatible with its agricultural surroundings in terms of location, size, height and design. The commenter states that Section 82-10.002(c) specifically requires heightened scrutiny of privacy impacts, light and noise intrusion, neighborhood context and compatibility, and visual impacts on adjacent properties. This comment does not accurately characterize the small lot occupancy ordinance which does not mention "privacy", "light intrusion", "noise", or "visual impact". Therefore, the attached small lot design review findings evaluating the project in terms of location, size, height, and design, are consistent with all criteria specified in Section 82-10.002(c) of the County Ordinance Code.

5. The design review findings must be published and made available sufficiently in advance of the public hearing to allow for meaningful review and participation.

Staff Response: The small lot development review findings are included as an attachment to this staff report and published in accordance with The Brown Act (i.e. Government Code 54950 et seq.).

6. The commenter states that project fails to address existing drainage issues relating to the subject property's location within an active floodplain and watershed drainage path that experiences heavy stormwater runoff from the hills abutting the property to the rear.

Staff Response: The project site, and the greater vicinity along the north-to-south stretch of Camino Tassajara fronting the project site, are surrounded by hundreds of acres of open space hillsides which are part of the Tassajara Creek watershed. This includes a ±250-acre parcel consisting of substantial hillside grazing lands which drain through the project site (5980 Camino Tassajara) and the Oas Residence (5800 Camino Tassajara) towards the Camino Tassajara right-of-way. The project drainage plan has been forwarded to Engineering Services Division Staff with the County Department of Public Works (PW) for review/comment. Having reviewed the proposed drainage, PW staff have determined the drainage plan to be adequate for the area, which has no known drainage issues. The project involves a small development project affecting a marginal percentage of the overall project site. It would not require any off-site alteration to open space lands upslope of the project which could significantly affect the drainage pattern for surrounding watershed lands. Additionally, the project would not result in an increased discharge of concentrated stormwater runoff onto adjacent lands. The site is within an "X" flood zone designation, as mapped by the Federal Emergency Management Agency (FEMA). Based on the FEMA flood hazard mapping designation, the project is not located within an active flood plain.

The area proposed for residential development is a relatively flat area of the property, with natural grades ranging from 632-to-634 feet above sea level beneath the building footprint. Since the project will be constructed over an area with little topographical variation, and doesn't include a basement or other subterranean elements, no mass grading or substantial topographic modification is necessary to complete proposed construction. Similarly, as discussed in more detail within the Drainage Analysis section of this report, the project is considered a small land development project since it entails less than 10,000 square feet of new impervious surface. The runoff management measures proposed as part of the proposed Stormwater Control Plan for a Small Land Development Project have been reviewed and deemed adequate by County staff with the Department of Public Works. Therefore, based on the lack of substantial mass grading and the project's compliance with applicable stormwater management requirements, there is no expectation that the project would result in the adverse flood hazards described by the commenter.

7. The project's is subject to review under the California Environmental Quality Act

(CEQA).

Staff Response: The proposed project is a discretionary action that is subject to the provisions of CEQA. Pursuant to CEQA Guidelines section 15303(a) – New Construction, projects involving the construction of one single-family residence are categorically exempt from CEQA review. Therefore, the proposed project to construct one single-family residence on the subject property qualifies for this exemption, and no further environmental review is necessary for the proposed project.

- C. **Chuck Bauman:** In an email dated June 30, 2025, Mr. Baumann requests a public hearing be held on the matter, citing unspecified concerns.

Staff Response: The development plan application was submitted for the purpose of presenting the project to the County Zoning Administrator for a decision at a noticed public hearing.

IX. STAFF ANALYSIS

- A. General Plan Consistency: The subject property is located within an Agricultural Land (AL) General Plan Land Use designation. Single-family residential development is permissible within the AL designation up to a maximum density of one unit per ten acres. The AL designation is applied to agricultural areas primarily composed of soils rated Class 3 or lower per the National Resources Conservation Service (NCRS) Land Capability Classification. Most areas within this designation are non-irrigated, rural lands that may support grazing and dryland farming, though it also includes non-prime productive agricultural lands. Other types of agricultural, open space, and non-urban land uses may be consistent with the AL designation when conducted in accordance with County's policies pertaining to agricultural areas. These land uses included limited opportunities for recreation, lodging (farm stays, bed and breakfast, etc.), food services (farm-to-table dining, farm stands, etc.), special events, and similar activities that support the County's agricultural economy. The proposed project involves the development of one single-family residence on a presently vacant AL-designated parcel. Thus, the project is consistent with the AL designation.

The Conservation, Open Space, and Working Lands Element of the Contra Costa County 2045 General Plan includes additional policies applicable to development in agricultural-designated lands. Collectively, these policies support the preservation of open space, promote sustainable agricultural practices, and protect prime farmland within the County's agricultural core. Most of these policies are not applicable to the

development of a single-family residence on agricultural lands within density ranges permissible in agricultural designations and therefore do not apply to this project.

According to County GIS data, the project site and surrounding lands along Camino Tassajara are identified as areas exposed to a Day/Night Average Sound Level (DNL) in excess of 65 decibels (dB). Although such noise levels are typical for agricultural areas, they exceed levels considered normally acceptable for residential land uses. Policy HS-14, within the Health and Safety Element of the Contra Costa County 2045 General Plan, includes measures intended to provide an acceptable noise environment in all areas of the County. The project is conditioned to restrict construction activities to weekdays and non-holidays between the hours of 7:30am to 5:00pm, consistent with the requirements of Policy HS-14. The applicant's compliance with all project conditions ensures that the project will be consistent with all applicable Health and Safety Element Policies.

- B. Zoning Consistency: The subject property is located within a General Agricultural (A-2) Zoning District. Generally, the intent of the A-2 Zoning District is to promote all types of agriculture and compatible land uses, on lands suitable for the production of food and/or fiber. Pursuant to County Ordinance Article 84-38.4 (Uses) a detached single-family dwelling on each parcel and the accessory structures and uses normally auxiliary thereto are permitted by right within the A-2 zoning district. The proposed project involves the construction of a single-family dwelling, consistent with permitted uses in the district. As shown in the table below the project compliant with all development standards for the A-2 district.

	<u>A-2 Development Standard</u>	<u>Proposed Project</u>
Front Setback (Min)	25 feet	<u>±190 feet</u>
Side Yard (Min)	20 feet	20 feet
Aggregate Side Yard (Min)	40 feet	<u>±52 feet</u>
Rear Yard (Min)	15 feet	<u>±30 feet</u>
Building Height (Max)	35 feet	23.5 feet
Building Height (Max)	2.5 stories	2 stories
Off Street Parking (Min)	1 Space (9' x 19')	6-car garage

The project is proposed on a legal lot ±1.945 acres in area where 5 acres is the minimum parcel size in the A-2 district. Although section 84-38.608 specifies that the land uses permissible in the A-2 district pursuant to Article 84-38.4 of the County Ordinance are allowable only on lots equaling or exceeding 5 acres in area, County Ordinance Section 82-38.610 specifies that any legal lot having at least 40,000 square

feet of area and established prior to November 29, 1973 may be used as provided in Article 84-38.4. The subject property consists of "Parcel B" as shown on the Record of Survey Map for Minor Subdivision #MS56-64, recorded on April 22, 1964. Thus, the ±1.945-acre subject property may be used as provided in Article 84-38.4. Thus, the proposed land use is consistent and compatible with permitted land uses within the A-2 district.

The project will not conflict with agricultural land uses permissible within the A-2 district and the development generally exceeds the minimum setback and yard requirements applicable to structural development within the district. Therefore, the project is considered consistent and compatible with all provisions of the A-2 district.

- C. Small Lot Design Review: Pursuant to Section 82-10.002(c) of the County Ordinance Code, a legal lot of less area or width than required by Divisions 82 and 84 may be improved with a single-family dwelling meeting yard and setback requirements "unless the zoning administrator determines that the proposed dwelling appears not to be compatible with the surrounding neighborhood". In making this determination, the zoning administrator (ZA) may schedule a public hearing to review the proposed dwelling's impact on the surrounding neighborhood in terms of its location, size, height and design. Based on the substandard area of the 1.95-acre subject property (where 5-acres is the minimum required), the proposed residential development is subject to design review. In evaluating the proposed project, CDD staff finds the project to be compatible with the surrounding neighborhood, based on the following:

1. Location: The proposed project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The proposed building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the proposed building pad.

The immediate project vicinity is sparsely populated agricultural-zoned land. Existing residences within 300 feet of a property boundary are limited to those on the northern and southern adjacent parcels. The southerly adjacent residence,

addressed 5890 Camino Tassajara, is located at least 200 feet south of the proposed residence and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the proposed building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the proposed residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The proposed building separation is consistent with A-2 minimum development standards and far exceeds the building separation that is typical within residential zoning districts. Therefore, staff does not anticipate the proposed home location to substantially affect privacy or otherwise adversely affect the northerly adjacent residence.

Considering that the project complies with all development standards applicable to residential development within the A-2 district, and the fact that the project proposes to orient building construction at the rear of the lot consistent with agricultural and residential development observed on adjoining parcels, the project is proposed at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size: The project includes a proposed two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a proposed gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are much more common within agricultural areas of unincorporated Contra Costa County where a detached single-family residence (SFR) is also considered a compatible land use. Existing residences along Camino Tassajara range from 840 to 29,291 square feet in area. Although the project results in a residence that is larger than existing homes on adjoining parcels, the project size is within the range of home sizes observed in the area.
3. Height: Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The proposed residence consists of a two-story home with a building height of 23 feet - 6

inches, in conformance with the maximum permissible building height for the A-2 district. There are several buildings in the vicinity of comparable height to the proposed project, including a two-story home and clubhouse building existing across the street from the subject property at 5959 Camino Tassajara. There are multiple additional examples of two-story residences – and at least one three story residence – in the project vicinity including homes along Johnston Road approximately ¼ mile northeast of the project. Therefore, the proposed two-story project results in a building height substantially similar to that of those existing in the project vicinity.

4. Design: The proposed residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by perpendicular two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the proposed home and garage. The exterior of the home would consist of stucco finish, with decorative stonework throughout the home’s front facade. The project also includes several oversized windows, especially at the rear of the home that give the residence a distinctively modern look.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on nearby properties includes the San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along this stretch of Camino Tassajara reflects an area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The proposed residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, since the surrounding area is not a

residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, staff finds the proposed design to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

- D. Collect and Convey Ordinance (Division 914): Division 914 of the County Ordinance code requires that all stormwater entering and/or originating on this property be collected and conveyed, without diversion and within an adequate storm drainage system which conveys the stormwater to an adequate natural watercourse. The project proponent is seeking an exception from the collect and convey requirements of the County ordinance. County staff within the Engineering Services Division of the Department of Public Works are not adverse to the granting of this exception based on the low ratio of improved/unimproved land and the large parcel size providing adequate surface area for stormwater infiltration.
- E. Contra Costa Clean Water Program Compliance: Based on Contra Costa Clean Water Program guidelines (Stormwater C.3 Guidebook, updated June, 2025), a single-family residence that is not part of a larger plan of development resulting in less than 10,000 square-feet of new impervious surface is considered a "small project". Pursuant to C.3 guidelines, small projects may utilize runoff reduction measures (e.g. dispersal to vegetated areas, pervious pavement, cisterns/rain barrels, bioretention facilities) to manage on site runoff and are not required to prepare the more comprehensive SWCP that would be required for larger "regulated projects". The project would result in a new 9,634 square feet of new impervious surface and is therefore considered a "small project". The Stormwater Control Plan (SWCP) for a Small Land Development Project prepared for this project utilizes vegetated dispersal areas and pervious driveway pavement to manage onsite runoff, consistent with C.3 guidelines for small projects. Considering that the project would only affect 9,634 square feet of a parcel roughly 85,000 square feet in area (or roughly 11.3% of total parcel area), the vast majority of the parcel area would remain open space to allow originating on or traversing the subject property to infiltrate the ground before exiting the property.

X. CONCLUSION

Staff recommend approval of Small Lot Design Review Development Plan #CDDP25-03021, subject to the attached findings and conditions of approval.

Attachments:

- Findings and Conditions of Approval
- Maps and Project Plan
- Public Comments
- Agency Comments

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE# CDDP25-03021;
SABINO URRUTIA, ELEVATION DESIGN + CONSULTING (APPLICANT), KULWANT &
MAJOR GILL (OWNERS)**

I. FINDINGS

A. Small Lot Design Review Findings:

The project is compatible with the surrounding neighborhood in terms of its (a) location, (b) size, (c) height, and (d) design.

1. Location. The project involves the construction of a new two-story single-family residence meeting all development standards for the A-2 district in which the project is located. The building pad is oriented toward a rear (northwestern) corner of the subject property. Similarly, existing homes on parcels in the immediate vicinity tend to be oriented towards the rear of their respective lots, typically providing much more than the minimum 25-foot front setback required in A-2. The project site is abutted to the rear by a large parcel consisting of roughly 250 acres of unimproved rolling hillsides within an exclusive agricultural (A-80) zoning district. The project site and adjoining parcels west of Camino Tassajara are essentially surrounded to the north, west, and south by the open space hillsides consisting of nearby hilltops having elevations ranging between one to two hundred feet higher than that of the proposed building pad.

The immediate project vicinity is sparsely populated agricultural-zoned land. Existing residences within 300 feet of a property boundary of the project site are limited to those on the northern and southern adjacent parcels. The southerly adjacent residence, addressed 5890 Camino Tassajara, is located at least 200 feet south of the residence and overlooks the project site from land situated approximately 15 to 20 feet higher in elevation than that of the building pad. Thus, given the degree of separation, the project location would not affect the privacy or enjoyment of the southerly neighboring residence. The northern façade of the proposed residence would be 20 feet away from the northern side property line, consistent with the 20-foot minimum side yard requirement for the A-2 district. The existing residence on the northern adjacent parcel is located approximately 40 feet beyond the common property boundary, providing a typical separation of at least 60 feet between residences on adjoining parcels. The building separation is consistent with A-2 minimum development standards and far exceeds the building separation that are typical within residential zoning districts.

Considering that the project complies with all development standards applicable to

residential development within the A-2 district, and the fact that the project proposes to orient building construction at the rear of the lot consistent with agricultural and residential development observed on adjoining parcels, the project is at an appropriate location upon the subject property that is consistent with the surrounding development pattern.

2. Size. The project includes a two-story, seven-bedroom residence consisting of 11,354 square feet of conditioned living area split about evenly between two-stories. Additionally, the residence includes an attached six-car garage and a 932-square-foot rear covered patio, resulting in a gross floor area of 13,832 square feet within an 8,264-square-foot building footprint. The Contra Costa County Ordinance does not place an upper limit on lot coverage, floor area ratio, or area for single-family residences in A-2 (or within residential zoning districts), and large custom-built estates are much more common within agricultural areas of unincorporated Contra Costa County where a detached single-family residence (SFR) is also considered a compatible land use. Existing residences along Camino Tassajara range from 840 to 29,291 square feet in area. Although the project results in a residence that is larger than existing homes on adjoining parcels, the project size is within the range of home sizes observed in the area.
3. Height. Pursuant to County Ordinance section 84-38.802, building height within the A-2 district is limited to a maximum of 2.5 stories and 35 feet. The residence consists of a two-story home with a building height of 23 feet - 6 inches, in conformance with the maximum permissible building height for the A-2 district. There are several buildings in the vicinity of comparable height to the project, including a two-story home and clubhouse building existing across the street from the subject property at 5959 Camino Tassajara. There are additional two-story residences – and at least one three story residence – in the project vicinity including homes along Johnston Road approximately $\frac{1}{4}$ mile northeast of the project. Therefore, the two-story project results in a building height substantially similar to that of those existing in the project vicinity and within the A-2 district in general.
4. Design. The residence is a custom design featuring a grand entry foyer with high ceilings, flanked on either side by two-story northern and southern wings extending towards the property frontage. The northern and southern wings converge with the entry to form a large “U” shaped interior courtyard at the front of the home and garage. The exterior of the home would consist of stucco finish, with decorative stonework throughout the homes front facade. The project also includes several oversized windows, especially at the rear of the home that give the residence a

distinctively modern look.

The project vicinity consists of agricultural lands which are host to a variety of established agricultural, public, commercial, and residential land uses. Development on the nearby properties includes a San Ramon Valley Fire District training facility, a residence/dog training facility addressed 5990 Camino Tassajara, a detached single-family residence addressed 5890 Camino Tassajara, and a residence/swimming school addressed 5800 Camino Tassajara. Nearby development along the eastern side of Camino Tassajara is essentially limited to two equestrian facilities (addressed 5901 and 5959 Camino Tassajara), each of which includes an existing residence on the premises.

Aesthetically, development along this stretch of Camino Tassajara reflects an area where land uses are visibly transitioning from primarily agricultural to rural residential in nature. Existing buildings in the area include single-story ranch-style residences, multi-story residences, warehouse-type buildings with roll-up doors, barns, horse arenas, clubhouse, paddocks, stables, etc. The residence would differ in appearance from those existing on adjoining parcels, however, that is generally already the case in viewing existing improvements on nearby properties. Additionally, since surrounding topography essentially isolates views of the project site to those available from adjacent properties, the homes design will not significantly detract from the existing visual character for the greater Tassajara Valley area. Further, since the surrounding area is not a residential neighborhood, but rather an agricultural area utilized for varying nonresidential and residential land uses, the effect of varying architecture is considered minimal in this circumstance, especially considering the large parcel sizes involved and the high degree of separation between buildings on adjoining lands. In cumulative consideration of the above, the design of the residence is determined to be appropriate for the subject property, and substantially compatible with the surrounding agricultural area.

Exception Findings:

The applicant has requested an exception to the collect and convey requirements specified in Division 914 of the County Ordinance Code in order to allow on site treatment of stormwaters originating on or traversing the project site, where collection and conveyance to an adequate natural watercourse within an adequate storm drain system is required. Pursuant to Chapter 92-6 of the County Code, the Advisory Agency (Zoning Administrator) may authorize exceptions to the requirements and regulations of County Code Division 914. Accordingly, following are the findings for granting the requested exceptions.

1. That there are unusual circumstances or conditions affecting the property.

The subject parcel is nearly 2 acres in area and is surrounded by agricultural or open space land. The nearest watercourse, Tassajara creek, is located nearly a quarter mile east of the property. There are no known drainage issues at the property and after development will have ample surrounding open space area of onsite runoff to infiltrate prior to existing the property.

2. That the exception is necessary for the preservation and enjoyment of a substantial property right of the applicant.

Collecting and conveying stormwater runoff to an adequate public storm drain system would be impactful to the property and potentially add more roadside runoff within the Camino Tassajara public right of way - and more so to the offsite areas to reach the nearest adequate watercourse located over a quarter-mile distant from the project. Given the lack of existing storm drainage infrastructure, and the distance to the nearest adequate watercourse, full compliance with the Collect and Convey requirements of Division 914 of the County Ordinance would involve extensive off-site improvements which would be incongruous with a project of this nature and scale. The granting of the exception will allow the property owner to develop their land in a manner consistent with permitted land uses within the A-2 zoning district, and consistent with stormwater management practices in rural areas of Contra Costa County.

3. That the granting of the exception will not be materially detrimental to the public welfare or injurious to other property in the territory in which the property is situated.

Granting this exception would not be materially detrimental to the public welfare or injurious to other properties. The proposed development will convert approximately 11.3% of the total open space lot to impervious surface. The remaining open space area will infiltrate the new runoff from the home and patios. There is a low likelihood of additional impacts to the neighboring properties or the general public.

B. California Environmental Quality Act (CEQA) Findings:

1. Small Lot Design Review Development Plan #CDDP25-03021 is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a), which pertains to the construction of a new single-

family residence. The project involves the construction of a new single-family residence on a vacant legal lot within unincorporated Contra Costa County. There is no substantial evidence that the project involves unusual circumstances, including future activities, resulting in, or which might reasonably result in, significant impacts which threaten the environment. None of the exceptions in CEQA guidelines section 15300.2 apply.

CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP25-03021

Project Approval

Small Lot Design Review Approval

1. This application for a Small Lot Design Review Development Plan is APPROVED for the construction of a two-story, 13,832-square-foot single-family residence on a parcel of substandard area and improvements associated with providing vehicular access and utilities thereto,.
2. The Development Plan approval described above includes an exception to Division 914 (Collect and Convey) of the County Ordinance Code
3. The Design Review approval described above is granted based upon:
 - The application and project plans received by the Department of Conservation and Development, Community Development Division (CDD) on August 12, 2025;
 - Revised Plans, stamped received by CDD on November 17, 2025;
4. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan..

Privacy Windows

5. Any northern facing second story "Prayer Room" window shall consist of opaque glass (e.g. frosted, patterned, bubbled, or ribbed), and shall have a sill height elevation of at least 48 inches above the finished floor elevation to limit visibility towards the nearby residence addressed 5800 Camino Tassajara. **Prior to CDD stamp approval of construction plans for a residential building permit**, the applicant shall provide CDD staff with elevation drawings and window-schedules demonstrating compliance with this condition.

Landscaping

6. Prior to CDD stamp approval of plans for the issuance of building or grading permits, the applicant shall provide landscaping and irrigations plans for all landscaped areas of the project which demonstrate compliance with the County Landscape Ordinance and the California Model Efficient Landscape Ordinances. The landscaping and irrigation plans shall be subject to review and approval by CDD staff.

Payment of Fees

7. This application is subject to an initial application deposit of \$3000.00, which was paid with the application submittal, plus time and material costs if the application review expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit approval date or prior to use of the permit, whichever occurs first. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.

Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

8. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
9. The project sponsor shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
10. Transportation of heavy equipment and trucks shall be limited to weekdays between the hours of 9:00 A.M. and 4:00 P.M. and prohibited on Federal and State holidays.
11. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
12. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also

be visible to ensure compliance with applicable regulations.

13. Unless specifically approved otherwise via prior written authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government, as listed below:

New Year's Day (State and Federal)

Birthday of Martin Luther King, Jr. (State and Federal)

Washington's Birthday (Federal)

Lincoln's Birthday (State)

President's Day (State)

Cesar Chavez Day (State)

Memorial Day (State and Federal)

Juneteenth National Independence Holiday (Federal)

Independence Day (State and Federal)

Labor Day (State and Federal)

Columbus Day (Federal)

Veterans Day (State and Federal)

Thanksgiving Day (State and Federal)

Day after Thanksgiving (State)

Christmas Day (State and Federal)

For details on the actual date the state and federal holidays occur, please visit the following websites:

Federal Holidays: www.federalreserve.gov/aboutthefed/k8.htm

California Holidays: [State Holidays :: California Secretary of State](#)

PUBLIC WORKS CONDITIONS OF APPROVAL FOR SUBDIVISION CDDP25-03021

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements

14. In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvement outlined below shall require the review and approval of the Public Works Department and are based on the site plan prepared by Elevated Design + Consulting Dated November 14, 2025.

15. The applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

Frontage – Setback

16. The applicant shall not place or install driveway gates, water tanks and pumps, or any solar equipment within the 50-foot setback from the public works right of way for Camino Tassajara.

17. The applicant shall obtain encroachment permit from County Public Works Department for all work within the public right of way for Camino Tassajara, including the construction of driveway connections, utility lateral line connections, or other improvements.

Street Lights

18. The property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of a building permit.

Drainage Exception

19. The applicant shall be permitted an exception from the collect and convey requirements of the County Ordinance Code due to the large size of the existing parcel, provided that there are no known drainage problems on-site currently, the existing drainage pattern is maintained, and additional concentrated stormwater runoff is not discharged onto adjacent properties.

Stormwater Management and Discharge Control

20. Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with provision C.3 of the County's NPDES permit and the County's Stormwater Management and Discharge Control Ordinance.
21. The applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify that this total does not exceed 10,000 square feet.
22. The applicant shall construct the entire driveway with porous pavers or crushed porous aggregate (aggregate base (AB) is not acceptable) in accordance with Appendix C of Revised 9th Edition of Contra Costa Clean Water Program Stormwater C.3 Guidebook – June, 2025.

ADVISORY NOTES

ADVISORY NOTES ARE NOT CONDITIONS OF APPROVAL; THEY ARE PROVIDED TO ALERT THE APPLICANT TO ADDITIONAL ORDINANCES, STATUTES, AND LEGAL REQUIREMENTS OF THE COUNTY AND OTHER PUBLIC AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

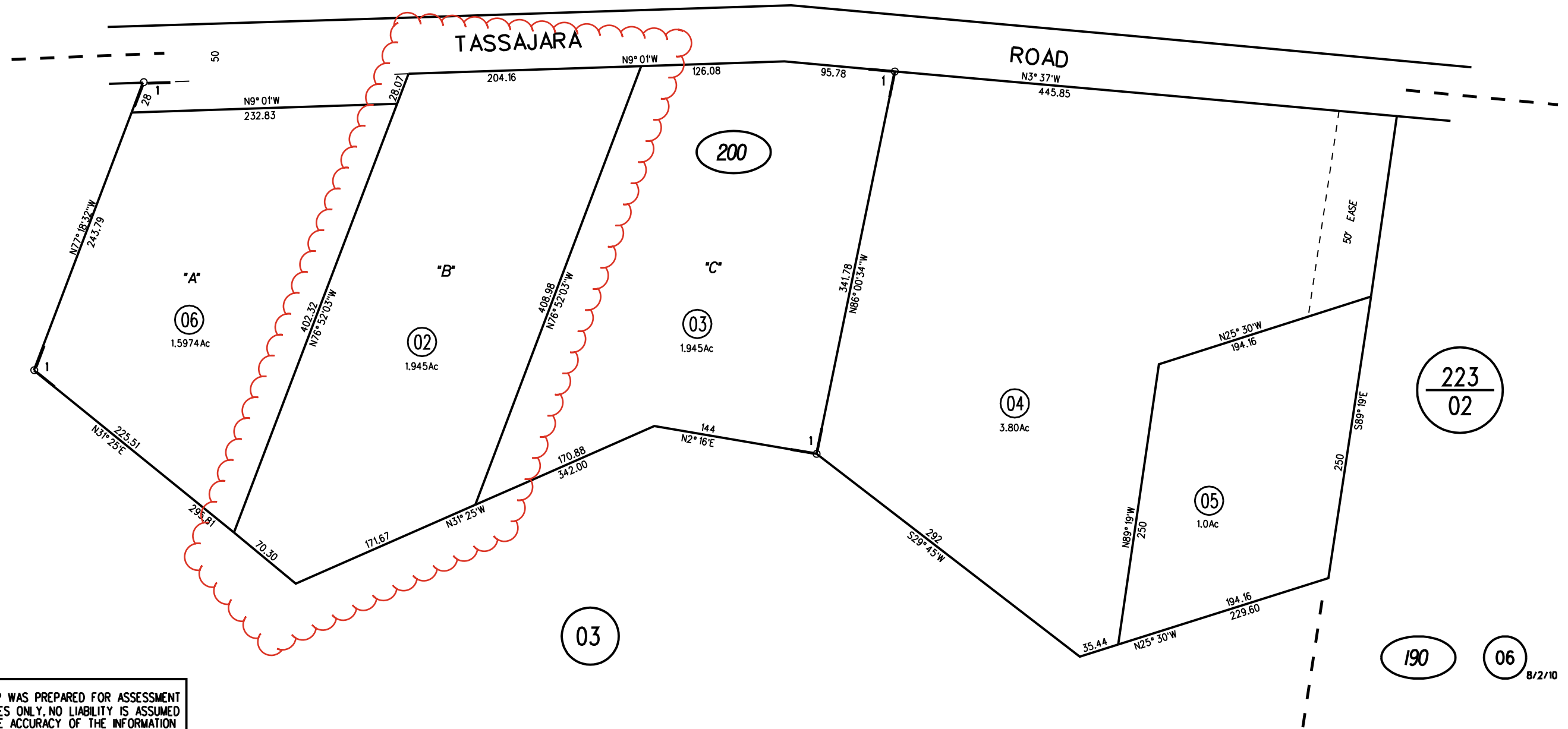
Pursuant to California Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations or exactions required as part of this project approval. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and must be delivered to the Community Development Division within a 90-day period that begins on the date that this project is approved. If the 90th day falls on a day that the Community Development Division is closed, then the protest must be submitted by the end of the next business day.

- B. The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the South County Area of Benefit as adopted by the Board of Supervisor. Payment is required prior to issuance of a building permit.
- C. The applicant will be required to comply with the drainage fee requirements for Drainage Area 102 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.
- D. Prior to applying for a building permit, the applicant is strongly encouraged to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the project:
- Contra Costa County Building Inspection Division
 - Contra Costa County Environmental Health Division
 - East Bay Municipal Utility District
 - Central Contra Costa Sanitary District
 - San Ramon Valley Fire Protection District

POR SEC 4 T2S R1E MDBM
1- 27LSM20 4/22/64 1975 ROLL

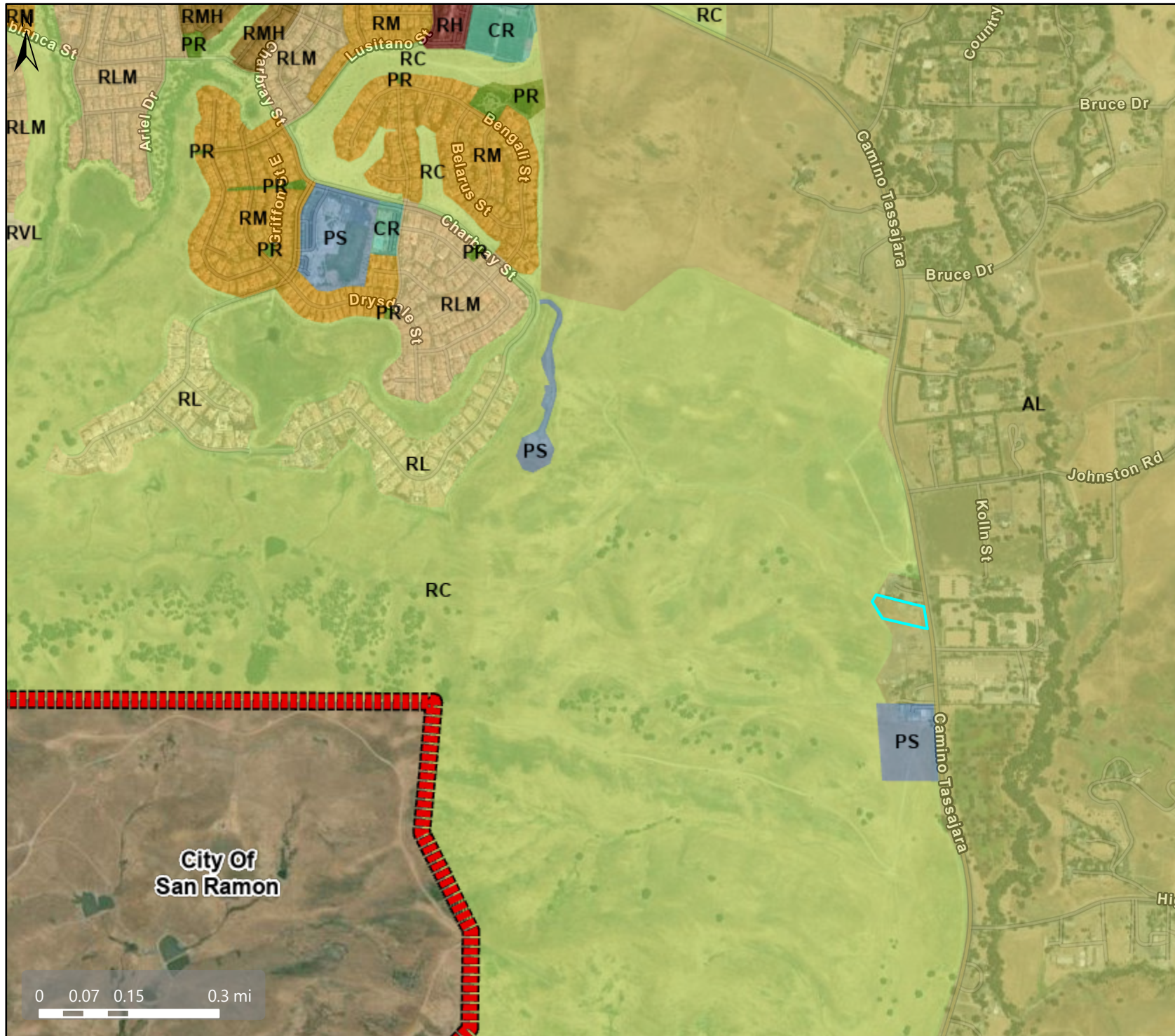


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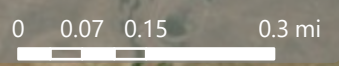
NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

General Plan: Agricultural Lands (AL)



Map Legend

- County Border
- Planning Layers (DCD)**
- General Plan**
- RVL (Residential Very-Low Density) (≤1 du/na)
- RL (Residential Low Density) (1-3 du/na)
- RLM (Residential Low-Medium Density) (3-7 du/na)
- RM (Residential Medium Density) (7-17 du/na)
- RMH (Residential Medium-High Density) (17-30 du/na)
- RH (Residential High Density) (30-60 du/na)
- PS (Public and Semi-Public)
- CR (Commercial Recreation)
- PR (Park and Recreation)
- RC (Resource Conservation)
- AL (Agricultural Lands) (1 du/20 ac in DPZ)
- City Limits



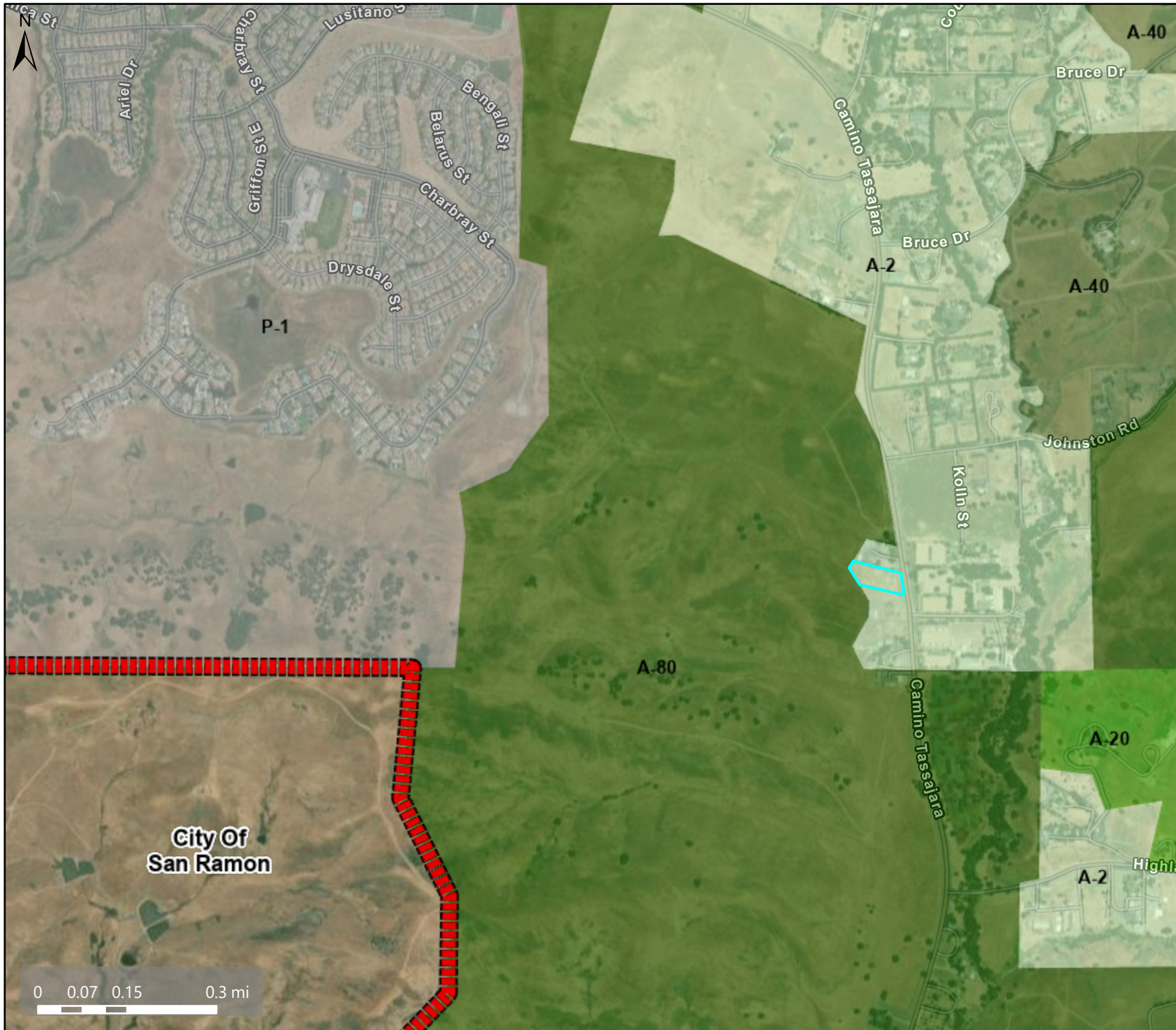
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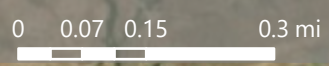
Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

Zoning: General Agricultural District (A-2)



Map Legend

- County Border
- Planning Layers (DCD)
- Zoning
- ZONE_OVER
- A-2 (General Agriculture)
- A-20 (Exclusive Agriculture)
- A-40 (Exclusive Agriculture)
- A-80 (Exclusive Agriculture)
- P-1 (Planned Unit)
- City Limits



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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

Aerial



Map Legend

-  County Border
-  Assessment Parcels

206200006

206200002

206200003

Camino Tassajara



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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

MAJOR RESIDENCE

NEW SINGLE FAMILY RESIDENCE

**5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N. 206-200-002**

RECEIVED on 11/17/2025 CDDP25-03021
By Contra Costa County
Department of Conservation and Development

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS & ANY OTHER DISCREPANCIES FOR ACCURACY PRIOR TO THE START OF CONSTRUCTION. ANY & ALL DISCREPANCIES FOUND TO BE BROUGHT TO DRAFTSMAN / ENGINEER'S ATTENTION. ANY STRUCTURAL CHANGES MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO FIELD CHANGE. IT IS FURTHER NOTED THAT THE APPROVED RECORD SET OF DRAWINGS BY THE BUILDING DEPARTMENT IS THE CONTRACTOR'S FINAL WORKING PLANS.

2022 CRC TABLE R602.3.(1)

DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2.1(1) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2.1(2) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.



PRELIMINARY EXTERIOR COLOR RENDERING

PROJECT DATA

PROJECT SIZE & TYPE (S.F.R.)	
MAIN FLOOR LIVING SPACE	5,806 S.F.
SECOND LEVEL LIVING SPACE	5,548 S.F.
TOTAL LIVING SPACE	11,354 S.F.
6- CAR GARAGE	1,079 S.F.
COVERED PATIO	932 S.F.
BACK PATIO	527 S.F.
FRONT PORCH	807 S.F.
TOTAL CONSTRUCTION PROJECT	13,832 S.F.
TOTAL GROUND FLOOR BUILDING AREA	8,284 S.F.
LOT SIZE	1.945 ACRES
CONSTRUCTION STYLE	MODERN
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	NO
ZONING	RESIDENTIAL
LAND USE	SINGLE FAMILY DWELLING

SUMMARY OF WORK

- CONSTRUCTION OF A TWO STORY; 7 BEDROOM, 1 OFFICE, 1 PRAYER ROOM, 1 THEATER, 6 FULL BATHS, WITH 1 6-CAR GARAGE

BUILDING CODES

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
ACCESSIBILITY CODE	2022 ANSI A117.1 ACCESSIBILITY CODE
HEALTH DEPARTMENT	2022 CALIFORNIA HEALTH CODE
RESIDENTIAL CODE	2022 CALIFORNIA RESIDENTIAL CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
GREEN CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

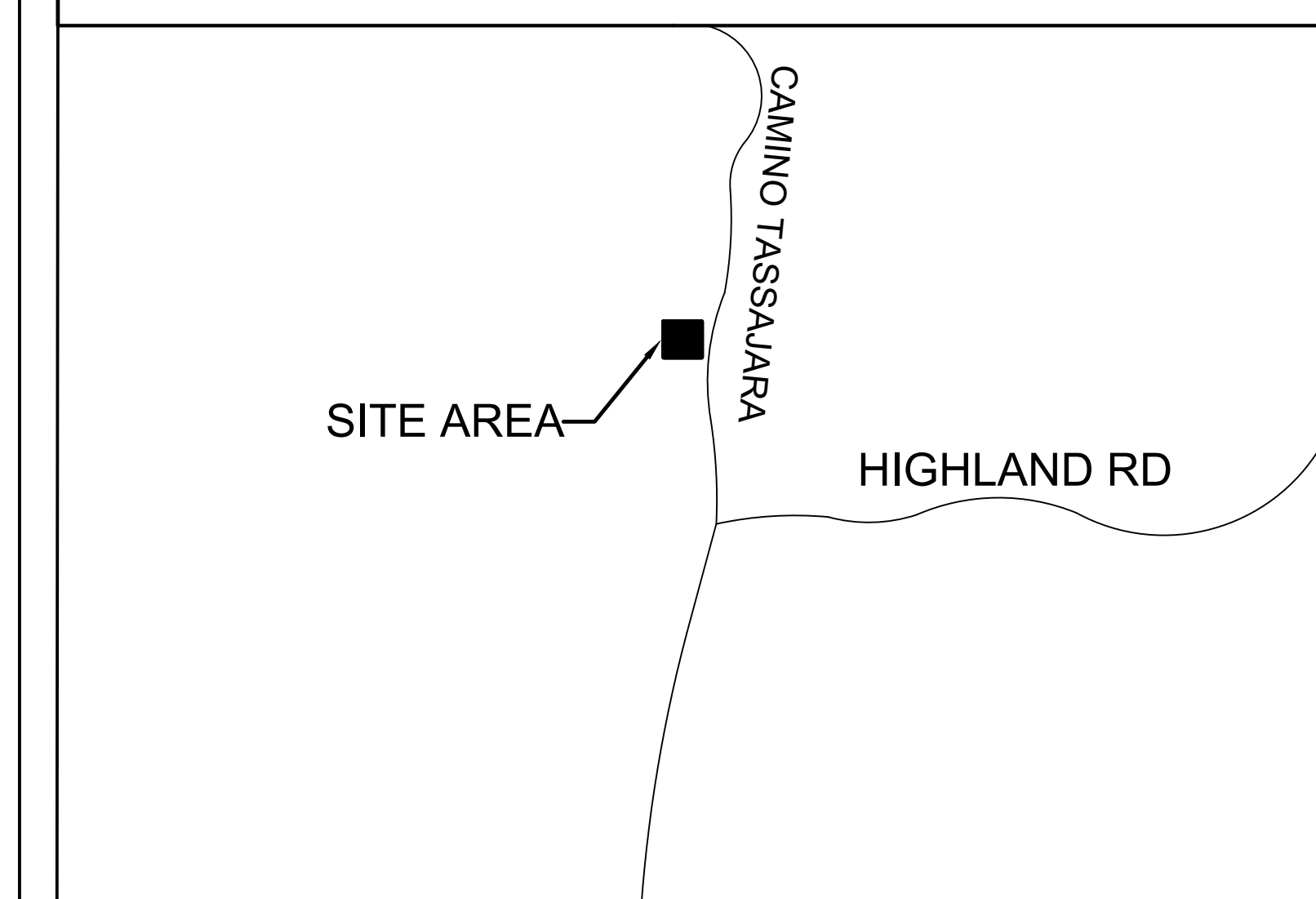
GENERAL NOTES

- CONSTRUCTION OF PLUMBING WALLS IN RESIDENTIAL CONSTRUCTION TO BE OF SUFFICIENT DEPTH TO ACCOMMODATE ANY REQUIRED DRILLING OR NOTCHING. CLEAN OUTS TO BE IN PLACE AT TIME OF UNDER FLOOR/PRESLAB INSPECTION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE ABOVE LISTED CODES AND ALL OTHER PUBLICATIONS NOTED HEREIN.
- DETAILS SHOWN ON THE STRUCTURAL DRAWINGS ARE TYPICAL AND SIMILAR DETAILS SPECIFIC NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE ON THE PLANS. ANY DISCREPANCIES ON DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER
- THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ALL THE ERRORS IN DETAILING, FABRICATION, AND THE CORRECT FITTING OF THE STRUCTURAL MEMBERS.
- NAILING SHALL BE IN COMPLIANCE WITH THE TABLE R602.3.(1) CRC
- TRUSS CLIPS SHALL BE PROVIDED AT ALL INTERIOR PARTITIONS WITH 1/2" CLEARANCE FROM TOP PLATE OF PARTITION AND BOTTOM CHORD.
- PROVIDE A DOUBLE TOP PLATE WITH A MINIMUM 48 INCH LAP SPLICE AND NAILED AT EACH END WITH 16d NAILS.
- ALL HEADERS TO BE 4x12 D.F. NO.1 UNLESS OTHERWISE NOTED.
- PLYWOOD SHEATHING OVER EXPOSED EAVES, OR OTHER EXPOSED AREAS, ARE TO BE EXTERIOR, EXPOSURE 1 OR CC PLUGGED.
- PROVIDE SOLID BLOCKING AT EXTERIOR WALLS ON TRUSSED ROOFS.
- PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR AND STUD WALLS TO BE STUCCOED.
- AN A.I.T.C. CERTIFICATE FOR EACH GLUE LAMINATED TIMBER SHALL BE AVAILABLE AT THE JOB SITE.
- EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH, THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE A MINIMUM OF 24 INCHES.
- NEED TO STUBMIT COMPACTION TEST BEFORE FIRST INSPECTION REQUEST.
- "HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION".

SHEET INDEX

TRADE	SHEET	DESCRIPTION	
ARCHITECTURAL	A1.0	COVER SHEET AND NOTES	
	TP-1	TOPOGRAPHIC SURVEY	
	OWTS	ONSITE WASTE TREATMENT SERVICE	
	A2.0	SITE PLAN	
	A3.0	MAIN FLOOR PLAN	
	A4.0	ARCHITECTURAL DETAILS	
	A5.0	ELEVATION PLAN	
	A6.0	ELEVATION PLAN	

VICINITY MAP



PROJECT DIRECTORY

OWNER:
MAJOR GILL
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588

ARCHITECT DESIGNER
ELEVATION DESIGN + CONSULTING
915 13TH STREET
MODESTO, CA. 95354
209-872-2099 (SABINO URRUTIA)
elevation-dc@outlook.com

Description	Date	Rev. #

MAJOR RESIDENCE
5980 CAMINO TASSAJARA.
PLEASANTON, CA. 94588
A.P.N.#

COVER SHEET AND NOTES

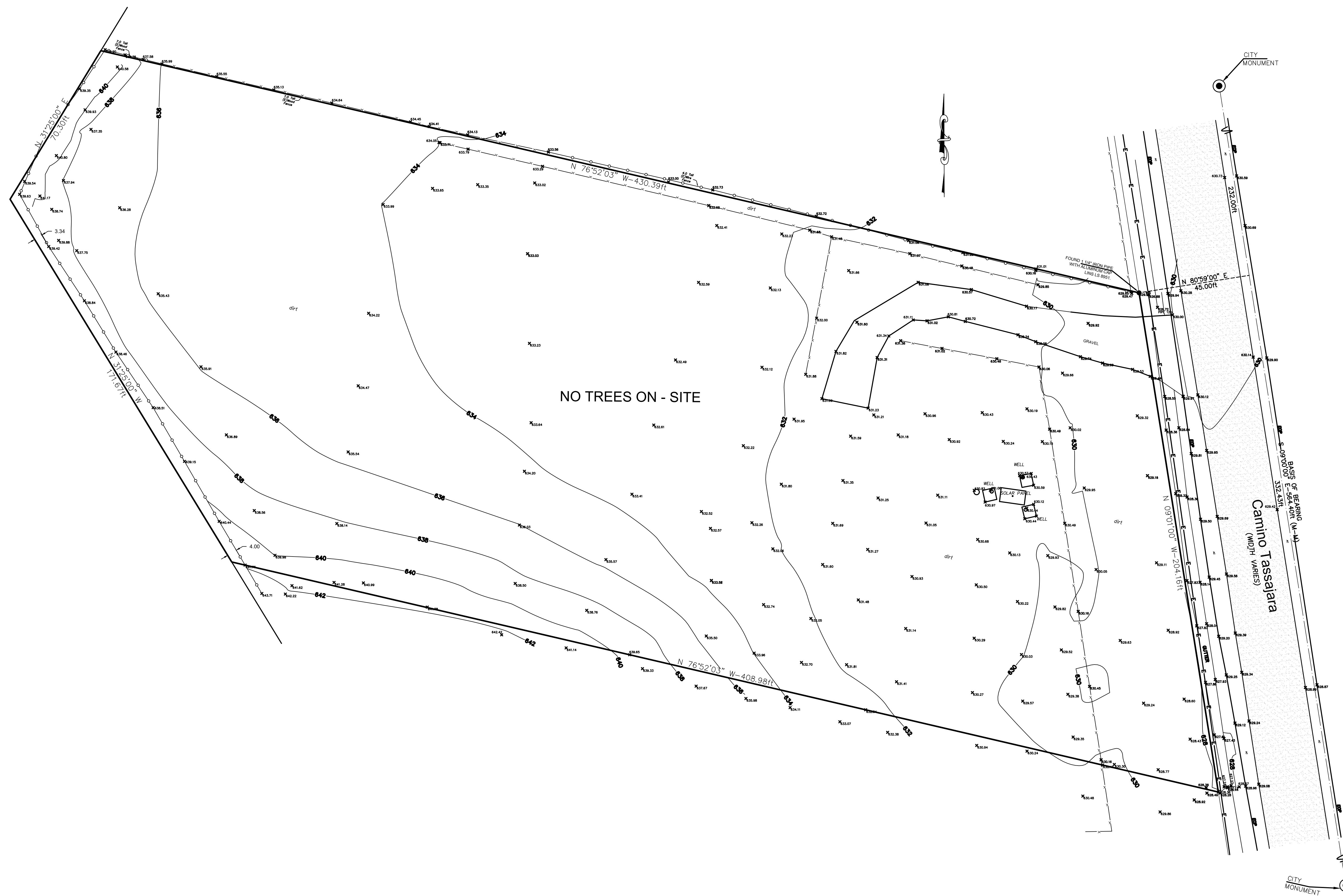
elevation
DESIGN + CONSULTING

SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209 . 872 . 2099

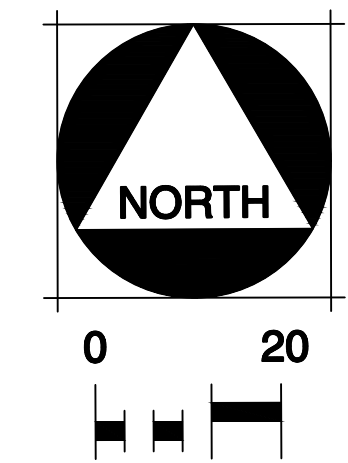
Job#: 23-010
Scale: AS NOTED
Date: 4/17/25
Drawn By: SCU
Checked By: JM

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SHEET:
A1.0



NO TREES ON - SITE



TOPOGRPHIC SURVEY
DONE BY OTHERS

Rev. #	Date	Description

MAJOR RESIDENCE
5980 CAMINO TASSAJARA
PLEASANTON, CA. 94588
A.P.N. #

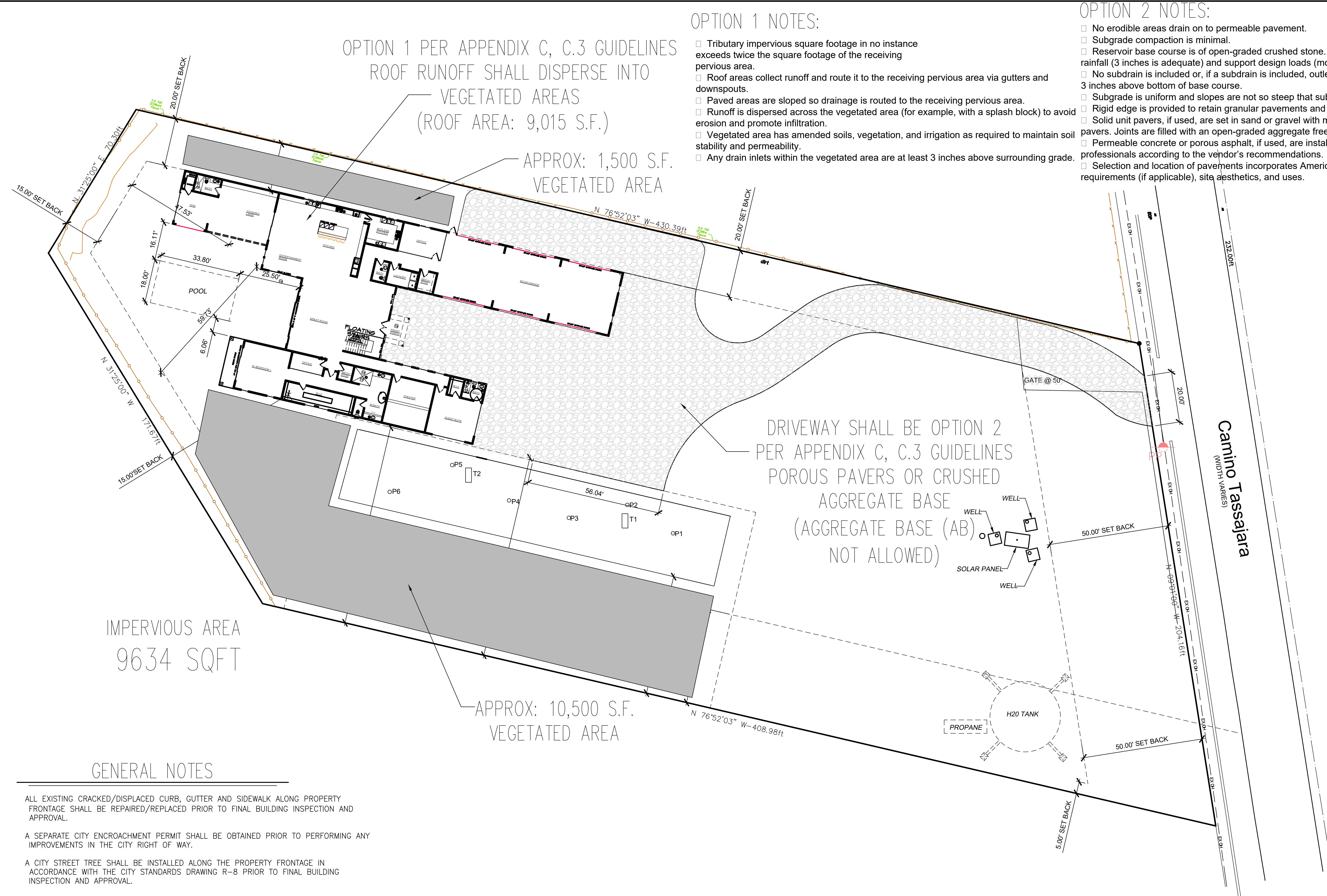
TOPOGRAPHIC SURVEY

DESIGNER: SABINO URRUTIA
PO BOX 1159 CERES, CA 95307
PH) 209. 872. 2099

Job#:	22-068
Scale:	AS NOTED
Date:	4/17/25
Drawn By:	SCU
Checked By:	JM

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SHEET:
TP-1



OPTION 1 NOTES:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

OPTION 2 NOTES:

- No erodible areas drain on to permeable pavement.
- Subgrade compaction is minimal.
- Reservoir base course is of open-graded crushed stone. Base depth is adequate to retain rainfall (3 inches is adequate) and support design loads (more depth may be required).
- No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- Subgrade is uniform and slopes are not so steep that subgrade is prone to erosion.
- Rigid edge is provided to retain granular pavements and unit pavers.
- Solid unit pavers, if used, are set in sand or gravel with minimum 3/8-inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.
- Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.
- Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

OPTION 1 PER APPENDIX C, C.3 GUIDELINES
 ROOF RUNOFF SHALL DISPERSE INTO
 VEGETATED AREAS
 (ROOF AREA: 9,015 S.F.)

APPROX: 1,500 S.F.
 VEGETATED AREA

DRIVEWAY SHALL BE OPTION 2
 PER APPENDIX C, C.3 GUIDELINES
 POROUS PAVERS OR CRUSHED
 AGGREGATE BASE
 (AGGREGATE BASE (AB)
 NOT ALLOWED)

IMPERVIOUS AREA
 9634 SQFT

APPROX: 10,500 S.F.
 VEGETATED AREA

GENERAL NOTES

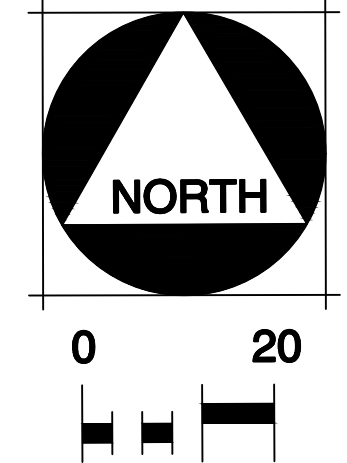
1. ALL EXISTING CRACKED/DISPLACED CURB, GUTTER AND SIDEWALK ALONG PROPERTY FRONTAGE SHALL BE REPAIRED/REPLACED PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.
2. A SEPARATE CITY ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO PERFORMING ANY IMPROVEMENTS IN THE CITY RIGHT OF WAY.
3. A CITY STREET TREE SHALL BE INSTALLED ALONG THE PROPERTY FRONTAGE IN ACCORDANCE WITH THE CITY STANDARDS DRAWING R-8 PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL.

GRADING NOTES

- NOTES:
1. ALL GROUND SHALL SLOPE AWAY FROM BUILDING WITH A DRAINAGE SWALE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE.
 2. ROOF DRAINS ARE TO BE DIRECTED TO A PERMEABLE AREA OR INFILTRATION TRENCH BEFORE ENTERING CITY OF STOCKTON STORM WATER SYSTEM. THE CAPTURE AND REUSE FOR SAME INITIAL FLOW VOLUME IS ALSO AN ACCEPTABLE BMP.
 3. ELECTRICAL, CABLE, AND/OR TELEPHONE BOXES MAY BE LOCATED ON THIS LOT.
 4. PERIMETER FENCING TO BE A 6' HIGH WOOD FENCE.
 5. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL-MOISTURE BASED CONTROLLERS.



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Rev. #	Date	Description

MAJOR RESIDENCE 5880 CAMINO TASSAJARA, PLEASANTON, CA. 94588 A.P.N #	SITE PLAN
--	------------------

 elevation DESIGN + CONSULTING	
DESIGNER: SABINO URRUTIA PO BOX 1159 CERES, CA 95307 PH) 209 . 872 . 2099	
Job#: 23-004 Scale: AS NOTED Date: 11/14/25 Drawn By: SCU Checked By: JM	<small>Documents prepared by Elevation Design + Consulting are to be used only for the specific project and are not to be used for any other projects, by owner or any other party, without the expressed, written consent of Elevation Design + Consulting. If used in a way other than that specifically intended, user will hold harmless from all claims and losses.</small>
SHEET: A2.0	

FLOOR PLAN LEGEND

- DOUBLE SINK W/ DISPOSAL
- RANGE/OVEN W/ VENT/ HOOD ABOVE
- REFRIGERATOR SPACE W/ COLD WATER STUB
- DISHWASHER
- LAVATORY
- WATER CLOSET
- ATTIC ACCESS
- 2X6 PLUMBING WALL
- TUB/ SHOWER WAINSCOT WALLS TO 6'-0" MIN. - PROVIDE SOLID WASTE CONNECTION
- DOUBLE STACKED OVEN

FLOOR PLAN NOTES

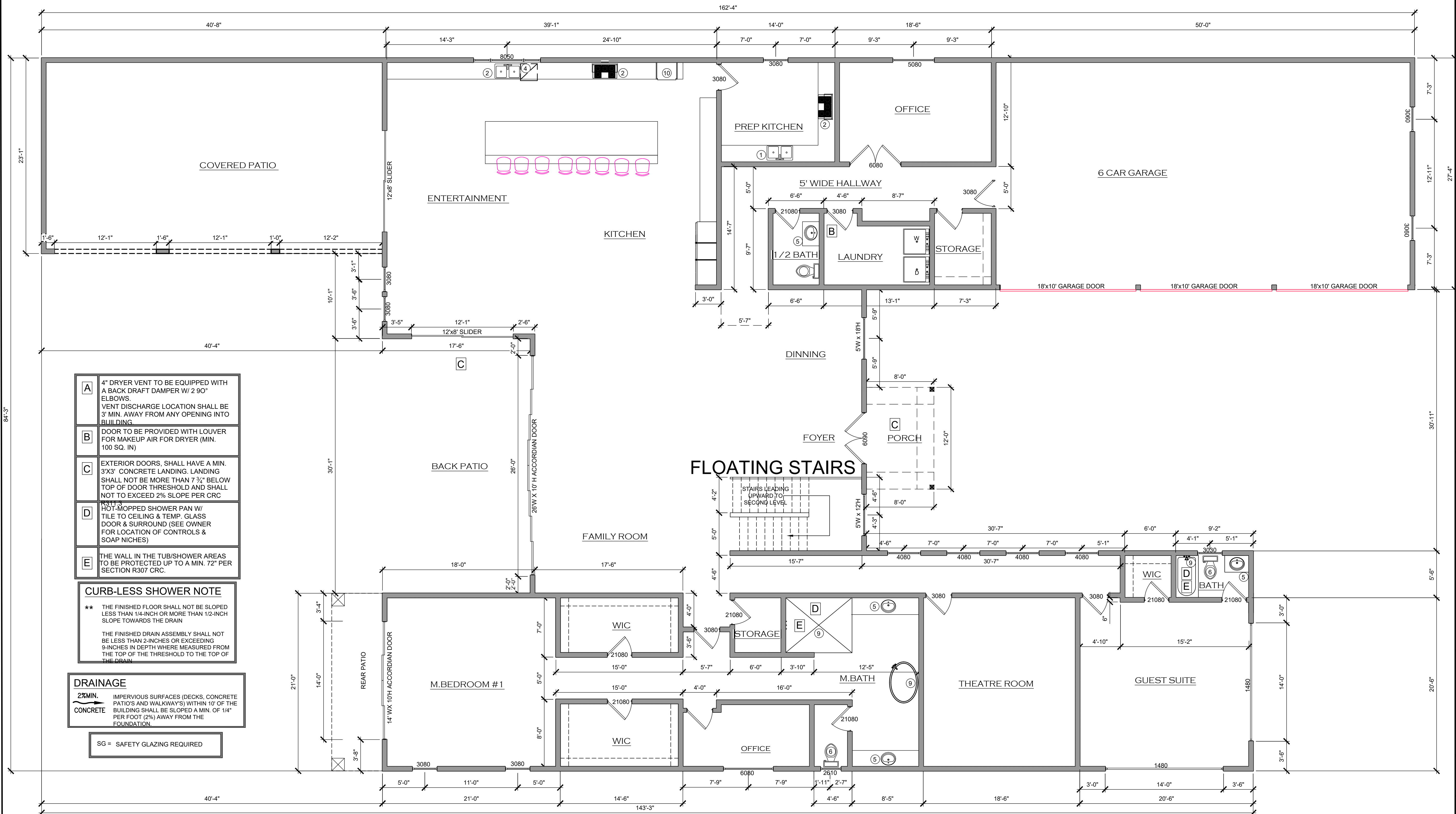
- ALL EXTERIOR / INTERIOR WALLS SHALL BE 2X6 AT 16" O.C. D.F. #2 OR BETTER (U.O.N.) ALL WALLS 10'-0" SHALL BE 2X6 AT 16" O.C. D.F. #2
- OR BETTER OR (2) 2X4 AT 16" O.C. D.F. #2 OR BETTER (UP TO 14'-0") (U.O.N.) FOR ADDITIONAL WOOD FRAMING NOTES AND DETAILS, REFER TO STRUCTURAL PLANS.
- ALL LUMBER SHALL BEAR AN APPROVED RATING STAMP
- ALL HEADERS SHALL BE 4X12 EXCEPT U.O.N.
- STUBS, PLATES, BEAMS, AND BLOCKING SHALL HAVE 19% MAX. MOISTURE CONTENT
- NAILING PER CRC TABLE R602.3(1) ALL NAILS TO BE COMMON
- ALL MINIMUM DOOR HEIGHTS SHALL BE 80 INCHES FOR EXTERIOR DOORS AND 78 INCHES FOR INTERIOR. THE MAXIMUM THRESHOLD HEIGHT IS 3/4" FOR SLIDING DOORS AND 3/8" FOR HINGED DOORS. DOOR HANDLES, LATCHES, LOCKS ETC. SHALL BE MOUNTED 34 INCHES TO 48 INCHES ABOVE FLOOR.
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PTDF #2 OR BETTER
- ATTIC SPACES. AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (509 MM BY 762 MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762 MM). A 30-INCH (762 MM) MINIMUM CLEAR HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING.
- MAXIMUM HEIGHT FROM FLOOR. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR.

VENTILATION NOTES

- MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS IF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION ARE NOT PROVIDED.
- WHEN A CONNECTOR USED FOR A GAS APPLIANCE HAVING A DRAFTHOOD MUST BE LOCATED IN OR PASS THROUGH A CRAWL SPACE OR OTHER COLD AREA THAT PORTION OF THE CONNECTOR SHALL BE LISTED TYPE B OR TYPE L VENT
- MATERIAL OR BE PROVIDED WITH THE EQUIVALENT MEANS OF INSULATION. VENT CONNECTORS IN GARAGES OR OTHER NON-CONDITIONED AREAS ARE TO BE TYPE B
- AT LEAST HALF OF COMMON WALL MUST BE OPEN HAVING NOT LESS THAN 1/10 OF FLOOR AREA OR 25 SQUARE FEET WHICHEVER IS GREATER IF LIGHT AND VENTILATION SUPPLIED FROM ADJACENT ROOM.
- MINIMUM VENT AREA IS 1/150 OF THE ATTIC AREA OR 1/300 AREA IF AT LEAST 50% OF REQUIRED VENT IS THREE FEET ABOVE EAVE VENTS OR CORNICE VENTS.
- TYPE B OR BW GAS VENTS WITH LISTED VENT CAPS 12" IN SIZE OR SMALLER SHALL BE PERMITTED TO BE TERMINATED IN ACCORDANCE WITH TABLE 8-A, PROVIDED THEY ARE LOCATED AT LEAST 8 FEET FROM A VERTICAL WALL OR SIMILAR OBSTRUCTION. ALL OTHER TYPE B GAS VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN TEN FEET.

WINDOW & GLAZING NOTES

- IN DWELLING UNITS EVERY SLEEPING ROOM AND BASEMENT SHALL HAVE A OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" TO THE BOTTOM OF CLEAR OPENING.
- WINDOW AREA MUST BE AT LEAST 8% OF THE FLOOR AREA SERVED, WITH A MINIMUM OF 10 SQUARE FEET IN ALL HABITABLE ROOMS.
- OPENABLE WINDOW AREA AND HABITABLE ROOMS MUST BE 4% VENTILATION OF THE FLOOR AREA SERVED AND A MINIMUM OF 5 SQUARE FEET. IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS, 1/20 OF THE AREA IS REQUIRED WITH 1.5 SQUARE FOOT MINIMUM.
- ALL GLAZING WITHIN 18" OF THE FLOOR AND IN EXCESS OF 9 SQUARE FEET AND WITHIN 12 INCHES OF ANY DOOR, AND THAT HAS A TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR AND WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF PLANE SHALL BE TEMPERED. ALL SHOWER AND BATHTUB DOORS GLAZING WITHIN 60 INCHES OF THE BATHING SURFACE SHALL BE TEMPERED.
- SAFETY GLAZING MUST BE INSTALLED IN INGRESS/EGRESS DOORS AND IN ALL PANELS OF SLIDING DOORS INCLUDING FIXED PANELS.
- GLAZING WITHIN A 24 INCH ARC OF EITHER THE VERTICAL EDGE OF A DOOR AND LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED.
- ALL GLAZING SHALL BE DUAL PANE AS INDICATED ON THE TITLE 24 DOCUMENTS.



- A** 4" DRYER VENT TO BE EQUIPPED WITH A BACK DRAFT DAMPER W/ 2 90° ELBOWS. VENT DISCHARGE LOCATION SHALL BE 3' MIN. AWAY FROM ANY OPENING INTO BUILDING.
- B** DOOR TO BE PROVIDED WITH LOUVER FOR MAKEUP AIR FOR DRYER (MIN. 100 SQ. IN)
- C** EXTERIOR DOORS, SHALL HAVE A MIN. 3'X3' CONCRETE LANDING. LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW TOP OF DOOR THRESHOLD AND SHALL NOT TO EXCEED 2% SLOPE PER CRC
- D** HOT-MOPPED SHOWER PAN W/ TILE TO CEILING & TEMP. GLASS DOOR & SURROUND (SEE OWNER FOR LOCATION OF CONTROLS & SOAP NICHES)
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DRAINAGE

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SG = SAFETY GLAZING REQUIRED

MAJOR RESIDENCE
 5880 CAMINO TASSAJARA
 PLEASANTON, CA. 94568
 A.P.N #

elevation
 DESIGN + CONSULTING

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Job#: 22-039
 Scale: AS NOTED
 Date: 5/13/25
 Drawn By: AC
 Checked By: SCU

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SHEET: **A3.0**

FLOOR PLAN LEGEND

1. DOUBLE SINK W/ DISPOSAL
2. RANGE/OVEN W/ VENT/ HOOD ABOVE
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6. WATER CLOSET
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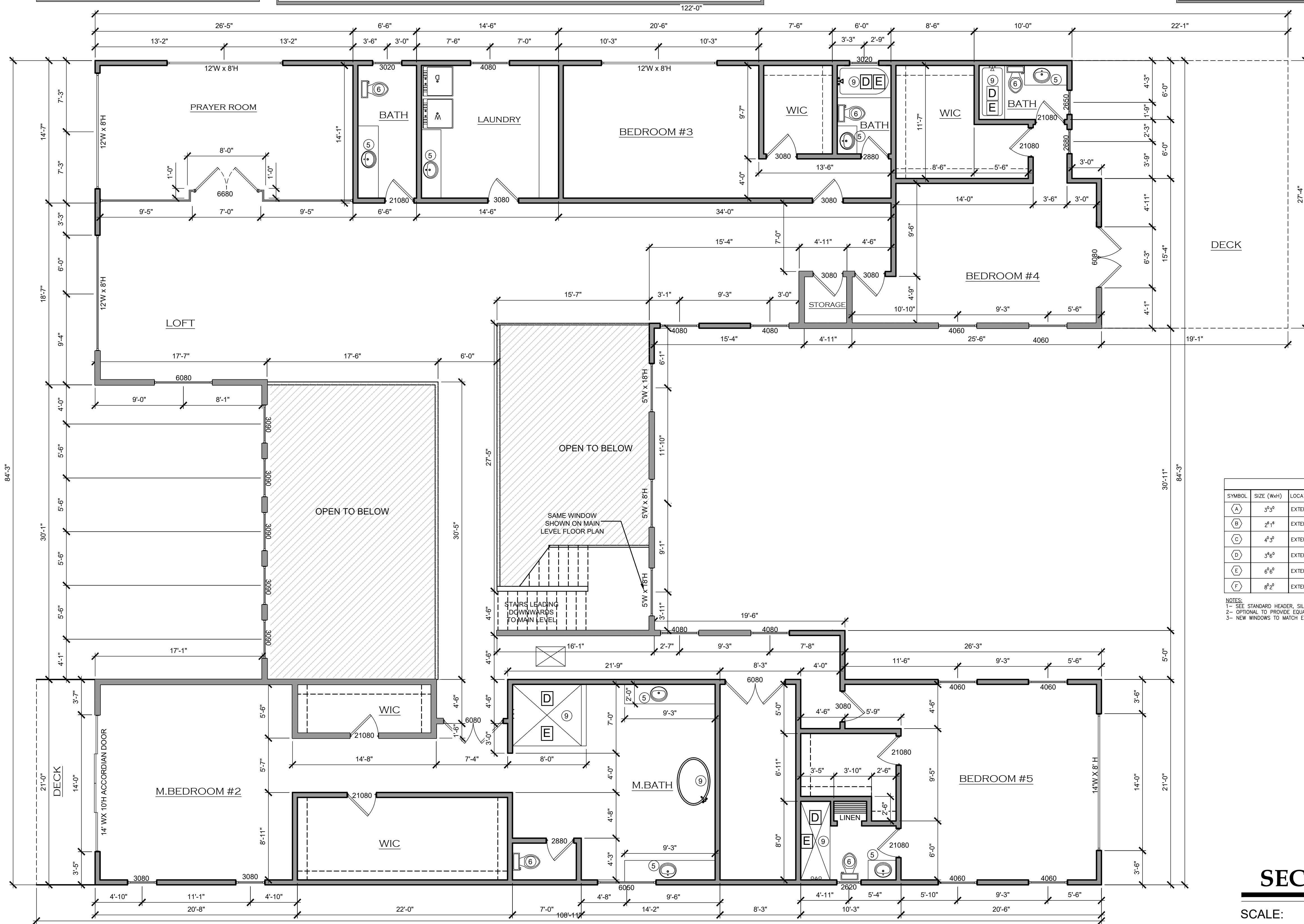
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SG = SAFETY GLAZING REQUIRED

WINDOW SCHEDULE			
SYMBOL	SIZE (WxH)	LOCATION	DESCRIPTION
A	3'-0"	EXTERIOR	VINYL FRAME W/ VERT. SLIDE PANELS W/ DBL. GLAZING GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
B	2'-0"	EXTERIOR	VINYL FRAME W/ HORIZ. SLIDE PANELS W/ DBL. GLAZING GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
C	4'-0"	EXTERIOR	VINYL FRAME W/ HORIZ. SLIDE PANELS W/ DBL. GLAZING GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
D	3'-0"	EXTERIOR	VINYL FRAME W/ HORIZ. SLIDE PANELS W/ DBL. GLAZING GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
E	6'-0"	EXTERIOR	VINYL FRAME W/ HORIZ. SLIDE PANELS W/ DBL. GLAZING GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
F	8'-0"	EXTERIOR	VINYL FRAME W/ FIXED PANELS W/ DBL. GLAZING TEMPERED GLASS. LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25

NOTES:
 1- SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A-5.
 2- OPTIONAL TO PROVIDE EQUAL TYPE WINDOW.
 3- NEW WINDOWS TO MATCH EXISTING WINDOWS.

SECOND LEVEL FLOORPLAN

SCALE: 3/16"=1'-0"

Rev. #	Date	Description

MAJOR RESIDENCE
 5980 CAMINO TASSAJARA,
 PLEASANTON, CA. 94588
 A.P.N. #

MAIN FLOOR PLAN



DESIGNER: SABINO URRUTIA
 PO BOX 1159 CERES, CA 95307
 PH) 209. 872. 2099

Job#: 22-039
 Scale: AS NOTED
 Date: 6/3/25
 Drawn By: AC
 Checked By: SCU

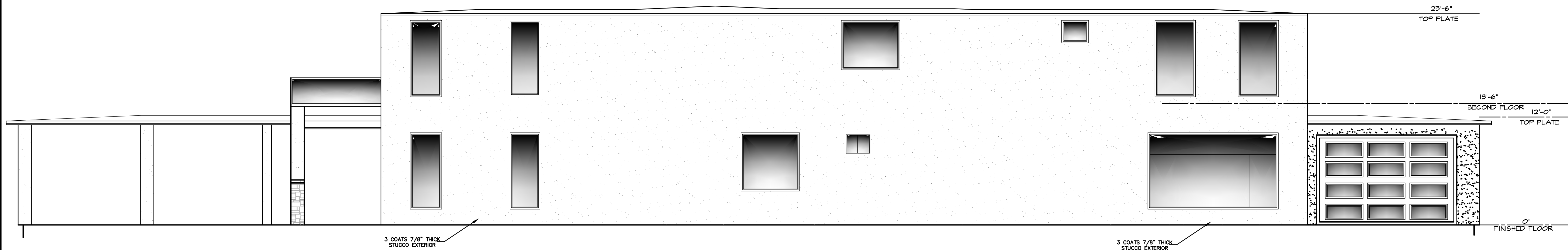
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SHEET: **A4.0**



FRONT SIDE ELEVATION

SCALE: 3/16"=1'-0"



LEFT SIDE ELEVATION

SCALE: 3/16"=1'-0"

Rev. #	Date	Description

MAJOR RESIDENCE
 5980 CAMINO TASSAJARA,
 PLEASANTON, CA. 94588
 A.P.N. #
ELEVATION PLAN

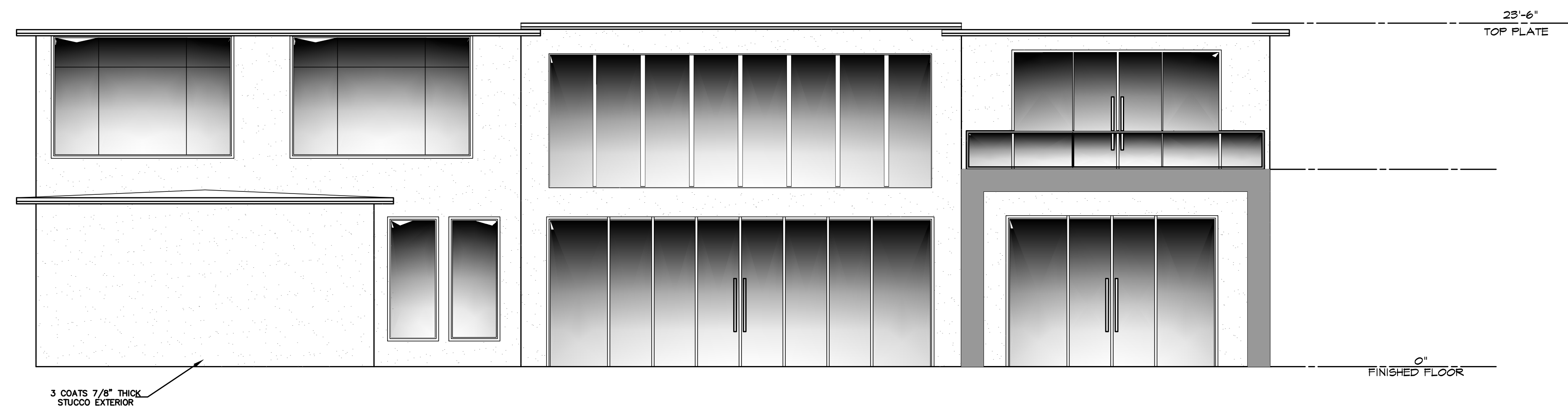
elevation
 DESIGN + CONSULTING

DESIGNER: SABINO URRUTIA
 PO BOX 1159 CERES, CA 95307
 PH) 209. 872. 2099

Job#:	22-039
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Drawn By:	AC
Checked By:	SCU

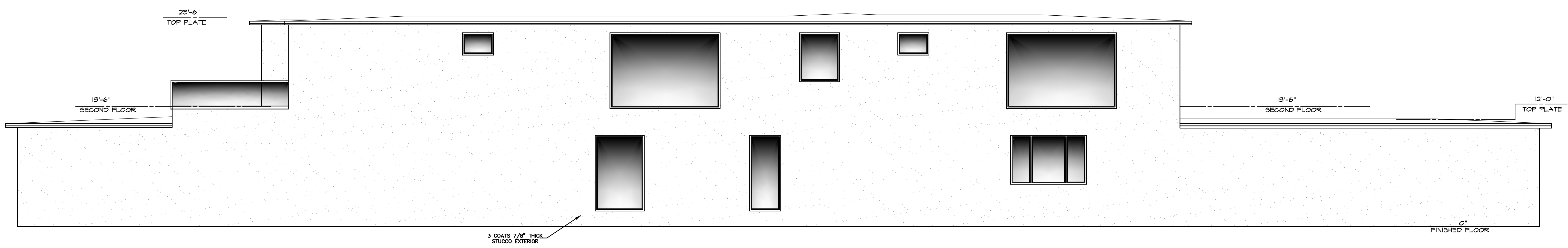
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SHEET:
A5.0



BACK SIDE ELEVATION

SCALE: $3/16"=1'-0"$



RIGHT SIDE ELEVATION

SCALE: $3/16"=1'-0"$

Rev. #	Date	Description

MAJOR RESIDENCE
 5980 CAMINO TASSAJARA,
 PLEASANTON, CA. 94588
 A.P.N.#
ELEVATION PLAN

elevation
 DESIGN + CONSULTING

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 PO BOX 1159 CERES, CA 95307
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SHEET:
A6.0



Memo

December 31, 2025

TO: Adrian Veliz, Planner, Department of Conservation and Development
FROM:  Larry Theis, Engineering Services Division – Consultant Engineer 
SUBJECT: **DEVELOPMENT PLAN CDDP25-03021**
STAFF REPORT & RECOMMENDED CONDITIONS OF APPROVAL
(Major & Kulwant Gill New Single Family Residence at 5980 Camino Tassajara – Danville area APN 206-200-002)
FILE: **CDDP25-03021**

We have reviewed the resubmittal of plans for application for **Development Plan CDDP25-03021** received by your office. **The updated application is deemed complete.** They include revisions to the proposed impervious surface area for the site to be below the 10,000 SF C.3 threshold for a single-family residence not part of a larger subdivision development.

Background

The subject property is located at 5980 Camino Tassajara in the Danville area (APN 206-200-002). The property is currently a flat vacant lot (approximately 2 acres) with some privacy fencing along the frontage with Camino Tassajara. The proposed development plan is to construct a new two-story 11,354 SF (livable space) single family residence with driveway access to the west side of Camino Tassajara.

Frontage - Setback

The plans indicate a 50-foot setback is being maintained for the west side frontage along Camino Tassajara. The proposed water tank and pump/solar equipment are being placed outside of this 50 foot setback. In addition, the proposed driveway gate to the residence is shown to be placed beyond the 50-foot setback from the public right of way for Camino Tassajara.

Drainage

Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse.

The applicant has submitted the following exception request in accordance with the findings outlined Chapter 92-6 of the County Ordinance.

(1) That there are unusual circumstances or conditions affecting the property:

The subject parcel is quite large at nearly 2 acres and surrounded by agricultural or open space land. The nearest watercourse, Tassajara Creek, is located nearly a quarter mile to the east of the property. There are no known existing drainage issues at the property and after development will have ample surrounding open space area for onsite runoff to infiltrate prior to exiting the property.

(2) That the exception is necessary for the preservation and enjoyment of a substantial property right of the applicant:

Collecting and conveying stormwater runoff to an adequate public storm drain system would be impactful to the property and potentially add more roadside runoff within public right of way of Camino Tassajara; and more so to the offsite areas to reach an adequate watercourse which is more than a 0.25 mile away.

(3) That the granting of the exception will not be materially detrimental to the public welfare or injurious to other property in the territory in which the property is situated:

Granting this exception would not be materially detrimental to the public welfare or injurious to other properties. The proposed development will convert approximately 10% of the total open space lot to impervious surface. The remaining open space area will infiltrate the new runoff from the home and patios. There is a low likelihood of additional impacts to the neighboring properties or the general public.

Based on the provided findings, Public Works is not adverse to granting the applicant an exception for the collect and convey stormwater requirements.

Stormwater Management and Discharge Control

A Stormwater Control Plan (SWCP) for a Small Land Development Project was submitted and reviewed. The applicant is proposing 9,634 SF of new impervious surface which below the 10,000 SF threshold for one single family home that is not part of a larger plan of development. The development plan plans to use runoff reduction measures that include dispersing runoff into vegetated area (lawns/landscape space) and using pervious pavement for the entirety of the proposed driveway.

Area of Benefit Fee

The applicant will need to comply with the requirements of the South County Area of Benefit, as adopted by the Board of Supervisors. The fee shall be paid prior to issuance of building permits.

Streetlights (General Benefit)

The applicant shall annex into the Community Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. Annexation into a streetlight service area does not require streetlights to be constructed specifically with your project and will not transfer ownership and maintenance of street lighting on nearby private roads. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Drainage Area Fee

The applicant will be required to comply with the drainage fee requirements for Drainage Area 102 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.

Should you have any questions, please contact Larry Theis at (925) 890-9732 or Larry@theis-engineering.com.

LT:

G:\engsvc\Land Dev\DP\CDDP25-03021\Staff Report & COAs CDDP25-03021 (2025-12-31)

cc: J. LaRocque Engineering Services

Elevation Design + Consulting – Sabino Urrutia - Applicant
615 153rd Street, Suite B5
Modesto, CA 95354

PUBLIC WORKS RECOMMENDED
CONDITIONS OF APPROVAL FOR DEVELOPMENT PLAN CDDP25-03021

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements:

- In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvements outlined below shall require the review and approval of the Public Works Department and are based on the site plan prepared by Elevation Design + Consulting dated November 14, 2025.
- Applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

Frontage - Setback:

- Applicant shall not place or install driveway gates, water tanks and pumps, or any solar equipment within the 50-foot setback from the public right of way for Camino Tassajara.
- Applicant shall obtain an encroachment permit from the County Public Works Department for all work within the public right of way for Camino Tassajara including the construction of driveway connections, utility lateral line connections, or other improvements.

Street Lights:

- Property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Drainage Exception (Subject to Advisory Agency findings and approval):

- Applicant shall be permitted an exception from the collect and convey requirements of the County Ordinance Code due to the large size of the existing parcel, provided that there are no known drainage problems on-site currently, the existing drainage pattern is maintained and additional concentrated stormwater runoff is not discharged onto adjacent properties.

Stormwater Management and Discharge Control:

- Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with Provision C.3 of the County's NPDES Permit and the County's Stormwater Management and Discharge Control Ordinance (§1014).
- Applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify this total does not exceed 10,000 SF.

- Applicant shall construct the entire driveway with porous pavers or crushed porous aggregate (aggregate base (AB) is not acceptable) in accordance with Appendix C of Revised 9th Edition of Contra Costa Clean Water Program Stormwater C.3 Guidebook – June 2025.

ADVISORY NOTES

- Applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the South County Area of Benefit as adopted by the Board of Supervisors. Payment is required prior to issuance of a building permit.
- Applicant will be required to comply with the drainage fee requirements for Drainage Area 102 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.



August 13, 2025

Adrian Veliz
Contra Costa County
Department of Conservation and Development
Community Development Division
30 Muir Road
Martinez, CA 94553

Re: CDDP25-03021 Address: 5980 CAMINO TASSAJARA RD, DANVILLE, CA 94526, APN:
206200002

Dear Adrian,

Thank you for the opportunity to express the position of the Contra Costa Mosquito and Vector Control District (the District) regarding the proposed design review for the project location at 5980 Camino Tassajara Road, Danville, APN: 206200002.

As a bit of background, the District is tasked with reducing the risk of diseases spread by vectors in Contra Costa County by controlling them in a responsible, environmentally-conscious manner. A “vector” means any animal capable of transmitting the causative agent of human disease or capable of producing human discomfort or injury, including, but not limited to, mosquitoes, flies, mites, ticks, other arthropods, and rodents, and other vertebrates. Under the California Health and Safety Code, property owners retain the responsibility to ensure that the structure(s), device(s), other project elements, and all additional facets of their property do not produce or harbor vectors, or otherwise create a nuisance. Owners are required to take measures to abate any nuisance caused by activities undertaken and/or by the structure(s), device(s), or other feature(s) on their property. Failure by the owner(s) to adequately address a nuisance may lead to abatement by the Contra Costa Mosquito and Vector Control District and civil penalties up to \$1,000 per day pursuant to California Health and Safety Code §2060 et seq.

All mosquitoes require water to complete their life cycle. Projects that construct impervious surfaces, alter water flow or drainage, introduce irrigation, contain water conveyance or treatment elements, etc., have the potential to produce standing water and vector breeding habitat, creating a potential health hazard for area citizens, pets, and wildlife. Vector species that may breed in such locales have the ability to not only affect nearby individuals, but potentially spread disease viruses to persons and other animals several miles away.

This project has design features— bioretention area, infiltration pit, etc.— that can become high-volume mosquito production sites. These sites can not only require significant District resources, but also put the health of local residents at risk. Careful considerations for design and construction should be employed for all facets of the project in order to prevent creating suitable vector habitats. No feature of the project should create areas of stagnant water that remain in excess of 72 hours. A thorough operation and maintenance plan should include steps to preclude vector production and contingencies to remedy such issues if they arise.

Addressing these concerns in the project planning phases can not only better protect public health and reduce the need for vector control efforts, but also avoid costly retrofits and fines for property owners in the future. Please don't hesitate to contact the District should you have any questions or need anything further.

Sincerely,

Heidi Budge

Heidi Budge
Vector Control Planner
925-771-6126
hbudge@contracostamosquito.com



San Ramon Valley Fire Protection District
Community Risk Reduction Division
2401 Crow Canyon Road, Suite A
San Ramon, CA 94583

phone: 925.838.6600 **web:** www.firedepartment.org

Tuesday, August 26, 2025

Hello Adrian Veliz,

The Fire District has reviewed the Planning Application for the below noted address. Based upon the information provided, comments and requirements have been made as conditions of approval.

If during the course of the entitlement process the project changes, additional requirements may apply. Thank you for the opportunity to comment on the project. Please feel free to contact me directly with any questions or concerns.

PROJECT: CDDP25-03021
ADDRESS: 5980 CAMINO TASSAJARA RD (206200002)
APPLICATION TITLE: Planning and Site Development Review
PROJECT NUMBER: 1833598

Roy Wendel
Fire Marshal
rwendel@srvfire.ca.gov
925.838.6687

PLANNING

General Issues

1. Access

Roy Wendel 8/26/25 5:09 AM	Current requirements for water supply and Fire Department access will be applied at time of submittal for construction permits. Visit www.firedepartment.org/submitplans for the current Ordinance, Standards and Submittal Requirements.
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2. Access

Roy Wendel 8/26/25 5:09 AM	Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Fire Department Ordinance.
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3. SRA

Roy Wendel 8/26/25 5:09 AM	Project is located in a High Fire Severity Zone within the State Responsibility Area. The provisions of CBC Chapter 7A and CFC Chapter 49 will apply.
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4. Rural Water Supply

Roy Wendel 8/26/25 5:11 AM	A rural water supply will be required per District Standards. Water supply permit to be completed prior to combustible construction.
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5. Submit Plans

Roy Wendel 8/26/25 5:11 AM	Plan submittal required to the Fire District. Visit www.firedepartment.org/submitplans for information on submittal requirements.
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FIRE PREVENTION STANDARD

RURAL WATER SUPPLY

SCOPE

This Standard applies to residential and commercial occupancies (Light Hazard and Ordinary Hazard Group 1) in rural and suburban areas where public or private water mains are not available for the provision of required fire flows, or the parcel is not within the service boundaries of a water district, or when approved by the Fire Marshal. The purpose of this standard is to provide the minimum requirements for the design, construction, and installation of private tanks and associated piping that supply water for fire protection in accordance with NFPA 1142, NFPA 22, and the 2022 California Fire Code.

INSTALLATION STANDARDS

Reserve water supply tanks and pumper connections (hydrant) shall be installed, in service, and inspected by the Fire District prior to combustible construction or combustible storage on site.

Tank Requirements

1. Minimum water supply tank capacities are determined by the Fire District in accordance with Chapter 4 of the 2017 Edition of NFPA 1142.
2. For one- and two-family residences, a reserve water supply tank may serve a fire sprinkler system. Where a well, pump, tank, or combination thereof is the source of supply for a fire sprinkler system, the water supply tank shall serve both domestic and fire sprinkler demands. The tank outlet for a domestic and fire sprinkler supply line must be located at a level equal to or greater than 70% of the tank capacity for the purpose of maintaining reserve water for fire suppression operations. A test connection shall be provided downstream of the pump that creates a flow of water equal to the smallest sprinkler on the system and the test connection shall return the water to the tank.
3. An auto-fill system shall be provided to automatically supply water to the tank when the water level falls below 85% of the tank capacity.
4. Water supply tanks shall be equipped with a water level gauge board to provide visual confirmation that water levels are being maintained.
5. Tank foundations or footings shall be adequately designed to support the weight of the operational tank.
6. Water supply tanks shall be provided with a pumper connection outlet for drawing water. See Pumper Connection Requirements for details.
7. Water supply tanks may be remotely located and plumbed to an approved location for the pumper connection, provided that the supply piping to the pumper connections is a minimum of 6 inches. Otherwise, the tank shall be located within 8 feet of an approved fire department access roadway with the pumper connection directly attached and may be supplied by a minimum 4-inch pipe.

8. The tank shall be provided with a vent pipe having a minimum diameter of 5 inches when the pumper connection is directly attached to the tank, and 8 inches when the pumper connection is plumbed to a remote location with a 6-inch pipe. The exterior vent pipe opening shall be provided with a corrosion resistant screen to prevent potential obstructions.
9. Tanks that have the pumper connection directly attached shall be located such that the tank is no further than 250 feet and no closer than 40 feet from the structure to be protected.

Pumper Connection Requirements

1. The pumper connections shall have a 4 ½ inch diameter coupling with national standard male threads and a 4 ½ to 2 ½ removable reducer and provided with a UL/FM listed shut-off valve. The male hose threads of the fire connection shall be protected with a threaded cap.
2. The pumper connection shall be placed within 8 feet of an approved fire department access roadway and located no further than 250 feet and no closer than 40 feet from the structure to be protected.
3. The centerline of the pumper connection shall be between 14 and 36 inches above finished grade of fire apparatus access.
4. A turnout may be required at the pumper connection to maintain a passable roadway when a fire apparatus is connected to the outlet.
5. The pumper connection shall be painted red and shall have a sign posted with the words "DRAFTING HYDRANT ONLY" clearly marked. The sign shall also include the tank capacity in gallons.
6. Posts, fences, vehicles, growth, trash, storage, and other materials or objects shall not be placed in a manner that would physically or visually obstruct the pumper connection.

Piping Requirements

1. Tank plumbing to remote pumper connections shall have a minimum internal diameter of 6 inches, beginning with the discharge outlet pipe reaching to within 6 inches of the bottom of the tank. An anti-vortex plate, with a minimum diameter of 12 inches, shall be provided on the discharge outlet within the tank.
2. Tank plumbing to pumper connections attached directly to the tank shall have a minimum internal diameter of 4 inches, beginning with the discharge outlet pipe reaching to within 4 inches of the bottom of the tank. An anti-vortex plate, with a minimum diameter of 8 inches, shall be provided on the discharge outlet within the tank.
3. Multiple tanks connected in series shall only require an anti-vortex plate within the main discharge tank. Multiple tanks connected by a common manifold shall require an anti-vortex plate in each tank.
4. Multiple tanks connected in series shall be plumbed between tanks with pipe having a minimum internal diameter of 6 inches. Multiple tanks connected by a common manifold shall be plumbed with pipe having a minimum internal diameter of 4 inches to a minimum 6-inch manifold.
5. All exposed pipes and fittings shall be galvanized steel. All piping below grade shall be a minimum of schedule 40 PVC or equivalent. Exposed plastic pipe is not permitted unless UL listed for UV exposure or protected by an approved UV protective coating.
6. Underground piping shall have a minimum depth of bury of 30 inches from top of pipe to finished grade (36 inches below roadways.)
7. On steep grades, underground piping shall be restrained to prevent lateral slipping.
8. Tanks located at an elevation 100 feet or more above the pumper connection outlet will require thrust blocks or an approved joint restraint system to secure piping. All metallic parts below grade, such as rods, nuts, bolts, washers, clamps, and other mechanical restraining devices, shall be cleaned and coated with an acceptable corrosion resistant material.

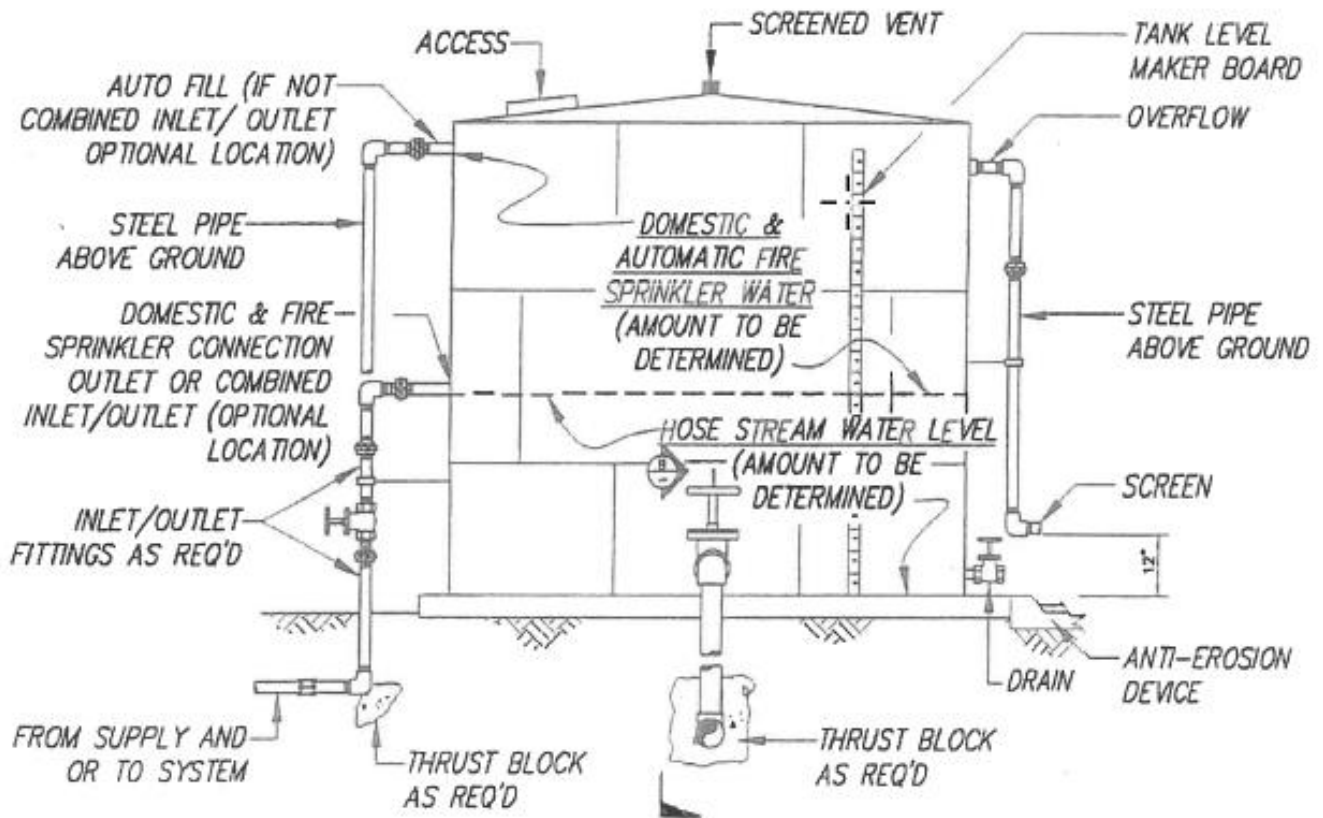
Plan Submittal Requirements

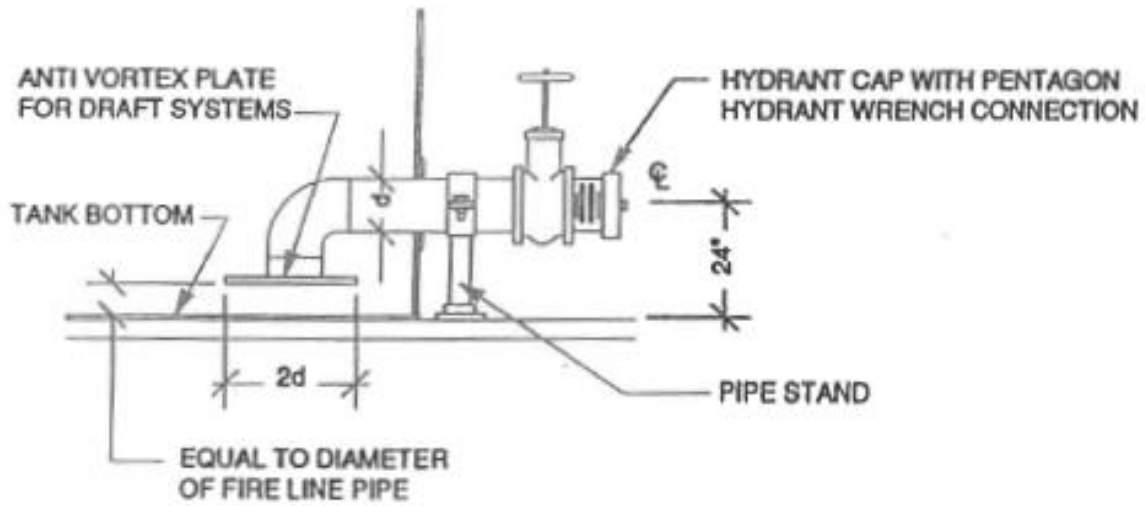
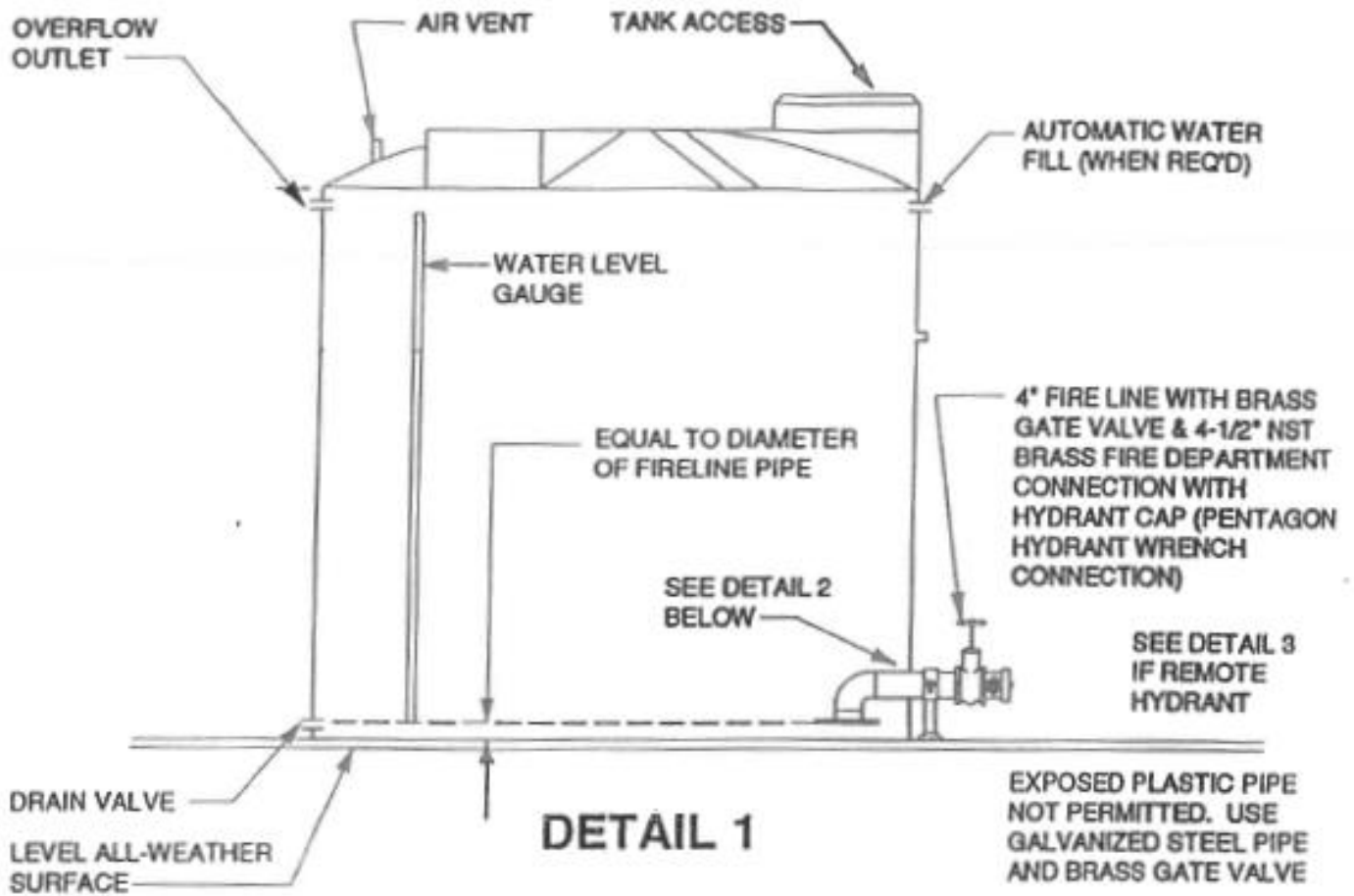
1. The owner contractor shall submit tank specification and piping plans to the Fire District for review and approval prior to installation. Complete information regarding the piping from the tank to the pumper connection shall be provided. The plans must be scaled and shall include the following information:
 - a. All existing and proposed structures
 - b. Access roads with width and grade percentage indicated
 - c. Proposed tank size and location
 - d. Tank manufacturers listed specifications
 - e. Elevation view indicating points of connection to the tank, vent and overflow outlets, water level gauge, and auto-fill connections
 - f. Type, size, and location of all piping
 - g. Auto-fill system specifications
 - h. Proposed pumper connection location
 - i. If the tank is remotely located, show the elevations and number of feet from the pumper connection
 - j. Location of thrust blocks or mechanical joint restraints if applicable

Inspection Requirements

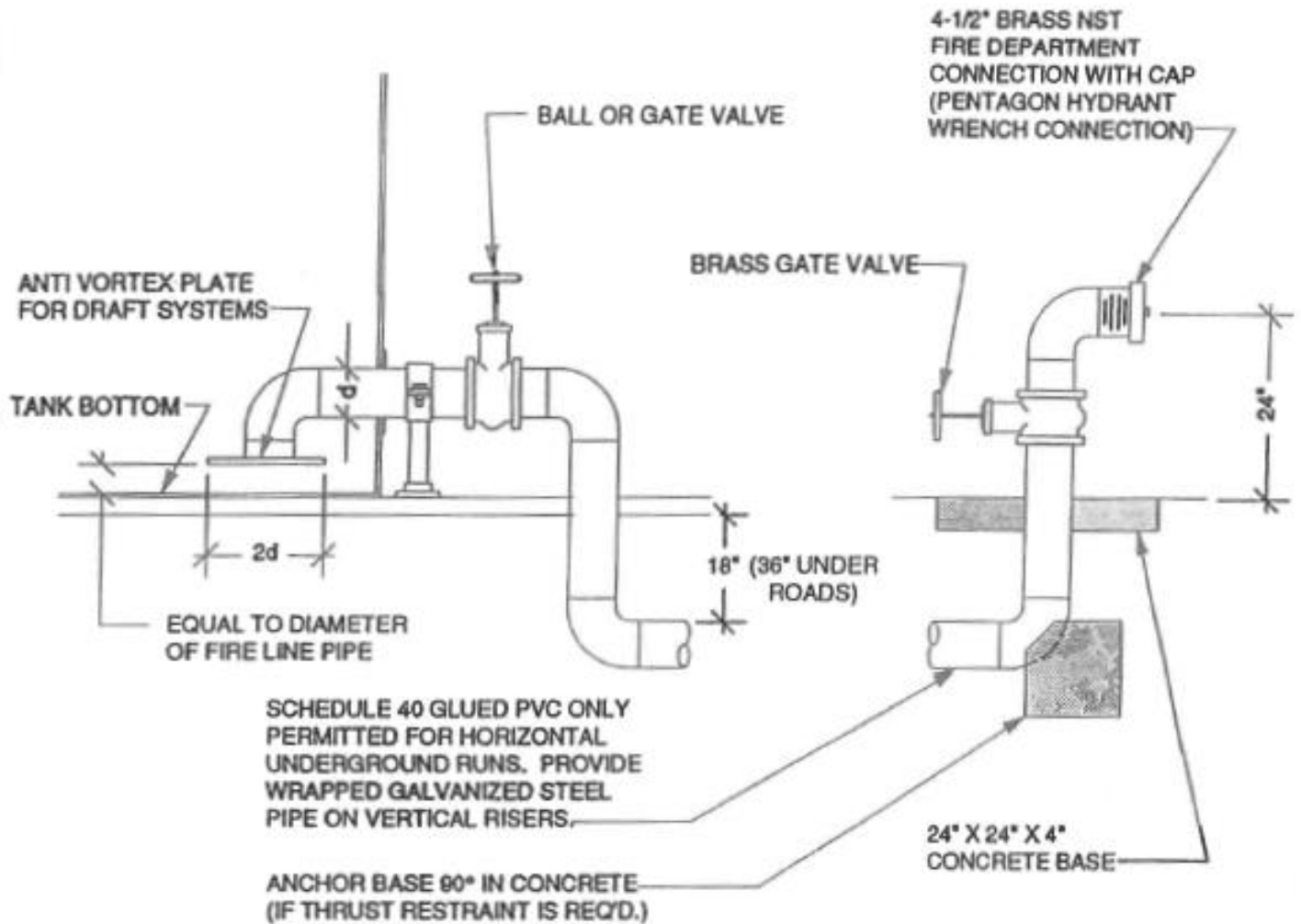
1. Visual: All below ground piping shall have a visual inspection prior to being covered. All tanks shall have a visual inspection prior to being filled.
2. Hydro: Underground piping shall be pressurized to 200psi for 2 hours
3. Flush: Supply piping from the tank to the pumper connection shall be flushed.
4. Final: Final inspection will check all components of the system including the auto-fill system.

Residential Water Supply Tank





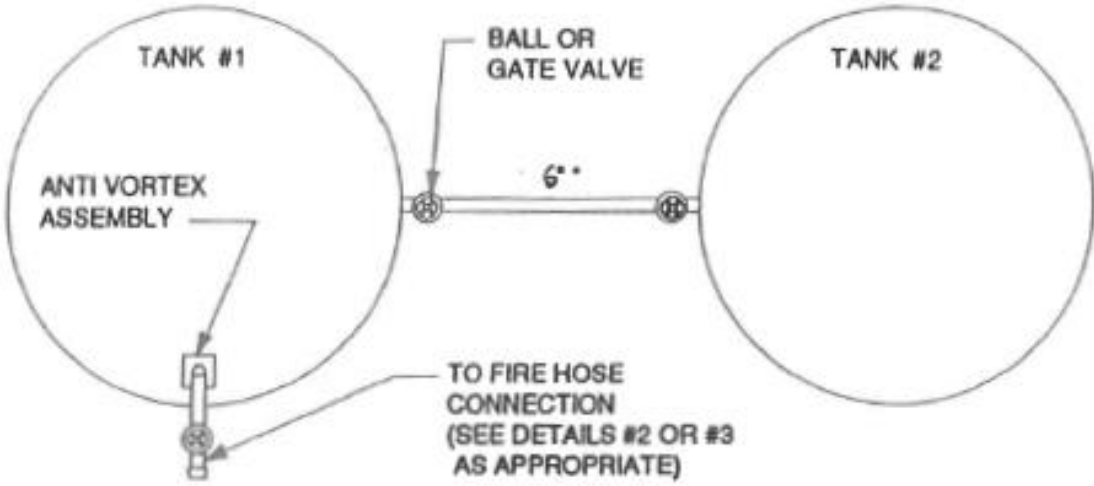
DETAIL 2



NOTE: PIPE SIZE AND THE MAXIMUM HYDRANT DISTANCE FROM THE WATER TANK IS BASED ON HYDRAULIC CALCULATIONS.

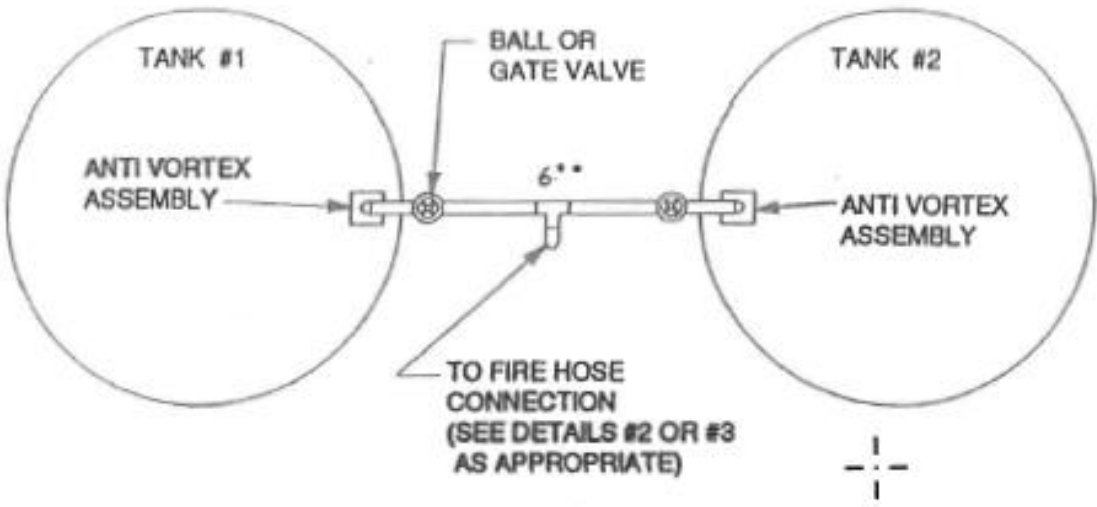
DETAIL 3

LOCATE BOTH TANKS AT THE SAME LEVEL



DETAIL 4

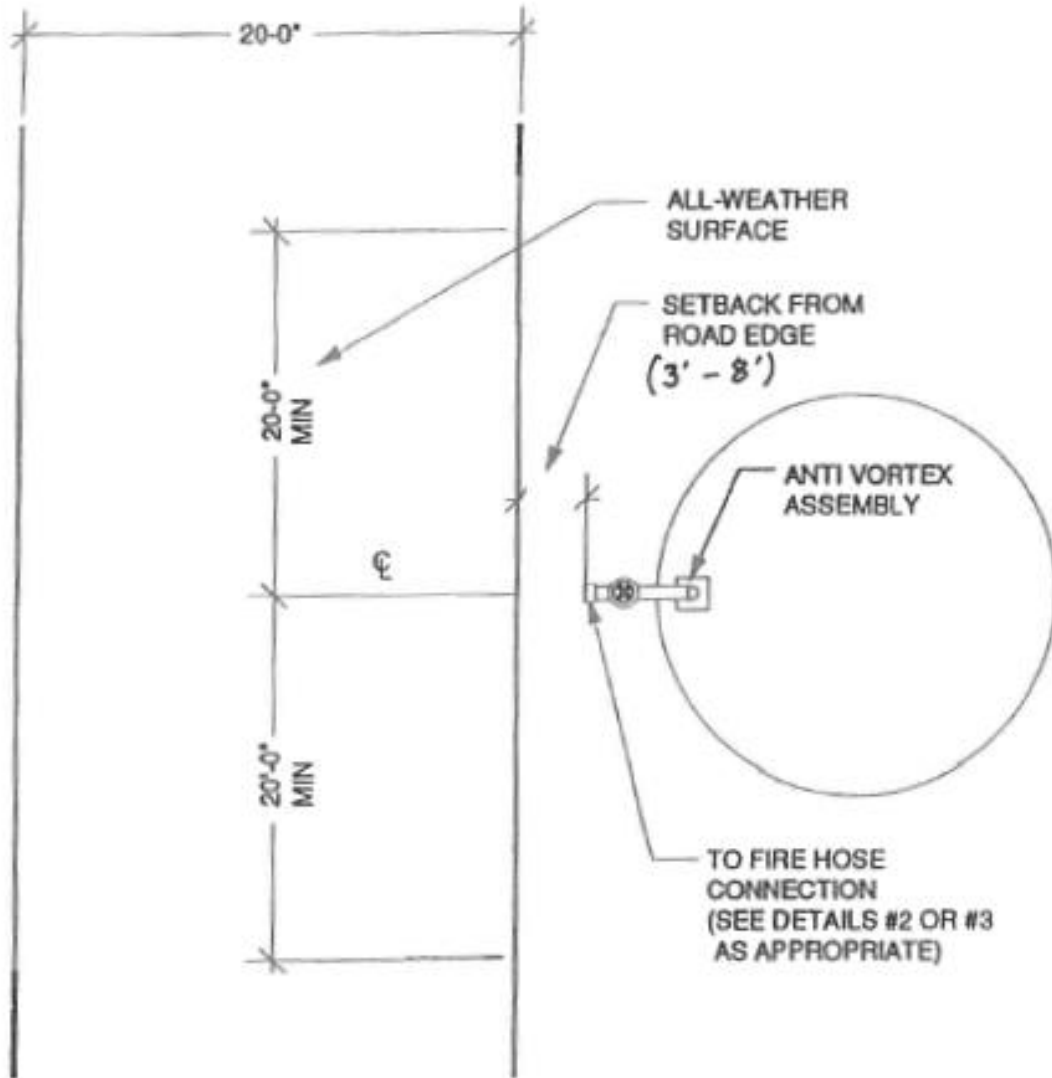
LOCATE BOTH TANKS AT THE SAME LEVEL



* NOTE: PIPE SIZE AND THE MAXIMUM HYDRANT DISTANCE FROM THE WATER TANK IS BASED ON HYDRAULIC CALCULATIONS. EXPOSED PIPE MUST BE STEEL - UNDERGROUND MAY BE PVC.

DETAIL 5

FIRE ACCESS TO DRAFT HOSE CONNECTION



FIRE HOSE CONNECTION ACCESS ROAD AND
FIRE OPERATION AREA

DETAIL 7

From: [Chuck Baumann](#)
To: [DCD APCplanning](#)
Cc: brian@allstarswimschool.com
Subject: Request for a public hearing on the development of 5880 Camino Tassajara Rd, Danville, Ca 94526
Date: Thursday, June 26, 2025 8:53:54 PM
Attachments: [pastedGraphic.png](#)

Department of Conservation and Development
30 Muir Road
Martinez, Ca 94553

Attention: Planning Technician Mariela Zarco

My name is Chuck Baumann, owner of 5959 Camino Tassajara Rd and 5390 Johnson Rd. I am requesting a public hearing on the proposed development at 5880 Camino Tassajara, Rd, Danville, 94526. This notice is sent to you prior to the 5:00 PM Monday June 30, 2025 request deadline so we, as the neighboring community of Tassajara Valley can have the opportunity to help review how the development of this property can comply to the “Small Lot Review” of development in our A-2 agricultural community.

Please put me on your email list for all further notification so I am our community members can address our concerns of this development in the Tassajara Valley.

My email is: chuck.baumann@gmail.com

My cell phone is: 510-406-3704

Chuck Baumann
www.creativeenvironments.com
510-406-3704



From: [Brian Oas](#)
To: [DCD APCplanning](#)
Cc: [Chuck Baumann](#); [shane@diablok9.com](#); [wevey1978@gmai.com](#); [amy94588@aol.com](#); [avenuesoakland@aol.com](#)
Subject: Request for public hearing
Date: Monday, June 30, 2025 2:13:17 PM

Department of Conservation and Development
30 Muir Road
Martinez, CA 94553

Attention: Planning Technician Mariela Zarco

Our names are Brian and Jennifer Oas, owners of 5800 Camino Tassajara Pleasanton, CA 94588.

We are requesting a public hearing on the proposed development at 5980 Camino Tassajara, Pleasanton, CA 94588. We would like it to be recorded that this notice was sent to you prior to the requested deadline at 5:00 pm Monday June 30, 2025.

We would also like to request that we and the surrounding neighbors be put on all further notifications via mail and email so that we are aware of what is happening and that we can properly address our concerns about this development.

Our contact information is:

Brian@allstarswimschool.com

Cell phone: 925-324-2321

Jen@allstarswimschool.com

Cell Phone 925-783-8813

Sincerely,

Brian and Jennifer Oas
5800 Camino Tassajara
Pleasanton, CA 94588

Brian Oas
Owner
All-Star Swim School, LLC
allstarswimschool.com

From: [Brian Oas](#)
To: [Adrian Veliz](#)
Cc: [Chuck Baumann](#); wevey1978@gmail.com; shane@diablok9.com; shermaninvestmentgrouppllc@gmail.com; andrew_koski; amy94588@aol.com; avenuesofoakland@aol.com
Subject: RE: Update and Questions on proposed build at 5980 Camino Tassajara
Date: Tuesday, November 25, 2025 8:18:36 AM
Attachments: [image001.png](#)

This Message Is From an External Sender

This email originated from outside of Contra Costa County. Please do not click links or open attachments unless you are expecting this email.

[Report Suspicious](#)

Request for Required Environmental and Compatibility Analyses – Proposed Development at 5980 Camino Tassajara

Dear Mr. Veliz,

Thank you for your recent update regarding the proposed development at 5980 Camino Tassajara. After reviewing your response, several significant planning and environmental issues remain unresolved. Given the scale of the proposed project and its potential impacts on multiple properties, I respectfully request clarification on the matters below prior to the scheduling of any public hearing.

1. Scale, Massing, and Neighborhood Compatibility (Small Lot Review Requirements)

The proposed residence exceeds 8,000 sq. ft. and is substantially out of scale with the existing development pattern along Camino Tassajara, where homes are predominantly single-story, ranch-style structures averaging roughly 2,000 sq. ft. The considerable height and massing of the proposed design will allow direct views into my neighboring yard and bedrooms.

Your conclusion that the project will not result in “adverse effects” is inconsistent with the stated intent of the Small Lot Design Review process under CCC Ord. §82-10.002(c), which specifically requires heightened scrutiny of:

- Privacy impacts
- Light and noise intrusion
- Neighborhood context and compatibility
- Visual impacts on adjacent properties

Please provide the analytical basis or methodology used to determine that no adverse effects are anticipated, and confirm whether a written compatibility analysis will be released for public review prior to hearing.

2. Required Disclosures and Transparency in the Review Process

Given that this project was elevated to public hearing at the request of affected neighbors, it is essential that the County provide transparent, substantive review documents—not merely a procedural summary. Please confirm that all findings regarding small lot review factors will be included in the staff report and made available sufficiently in advance of the public hearing to

allow for meaningful review and participation.

3. Floodplain, Drainage, and CEQA Compliance (Including Impacts to 5800, 5959, and 5990 Camino Tassajara)

A critical issue remains unaddressed: the property at 5980 Camino Tassajara lies within an active floodplain and watershed drainage path. During heavy rainfall events, stormwater runoff from the hills behind the parcel flows across several properties, including:

- 5800 Camino Tassajara (my property)
- 5959 Camino Tassajara
- 5990 Camino Tassajara

This runoff also routinely crosses Camino Tassajara Road, flooding the County roadway itself. This pattern of drainage is longstanding, documented, and readily observable.

Any substantial grading, impervious surface expansion, or elevation modification associated with an 8,000+ sq. ft. residence, driveway, and retaining structures risks redirecting or accelerating stormwater flows, increasing flood hazards to both private property and County infrastructure.

Under the California Environmental Quality Act (CEQA), the County must evaluate whether a project may:

- “Induce substantial changes in drainage patterns resulting in flooding” (CEQA Guidelines §15064.2(a))
- “Expose people or structures to significant flood hazards” (CEQA Guidelines Appendix G, Section X – Hydrology/Water Quality)
- Cause “a substantial adverse change in the physical environment” (PRC §21068)
- Create new or more severe impacts that have not previously been analyzed (CEQA Guidelines §15162)

To date, the County has not provided:

- Any hydrology or drainage impact study
- Any CEQA Initial Study
- Any categorical exemption justification
- Any documentation analyzing off-site flooding and roadway impacts

Failure to evaluate known flooding hazards is inconsistent with CEQA’s mandate to identify and mitigate reasonably foreseeable impacts. Given the documented downstream consequences—including impacts to 5800, 5959, and 5990 Camino Tassajara—this omission creates a substantive legal deficiency in the review process and exposes the County to risk of challenge.

Accordingly, please clarify:

1. Has the County required any hydrology, drainage, or CEQA analysis for this project?
2. If completed, when will these documents be made publicly available?
3. If no environmental review has been conducted, please provide the specific basis for concluding that CEQA does not apply, including citation to the exemption category asserted, if any.
4. How did the County evaluate off-site and downstream flooding risks to private properties and public infrastructure?

Given the documented, recurring roadway flooding and downstream impact on multiple residences, reliance on a categorical exemption or minimal review appears factually unsupported and legally inadequate.

4. Request for Full Documentation Prior to Hearing

To ensure fair public participation consistent with Gov. Code §65033 and CEQA's public disclosure requirements, please provide the following in advance of the hearing date:

- Full staff report and findings
- Small Lot Design Review compatibility analysis
- Any hydrology, grading, or drainage studies (if prepared)
- Any environmental review documents, including CEQA exemption determinations
- Full site plan, grading plan, building elevations, and view-impact diagrams

Thank you for your attention to these issues. Please confirm when the requested materials will be available and whether any environmental or hydrologic studies have been performed. Given the scale of the proposed development and the well-documented flooding history affecting 5800, 5959, and 5990 Camino Tassajara—and the public roadway itself—these issues must be fully addressed prior to any hearing or recommendation for approval.

I look forward to your timely response.

Sincerely,

Brian Oas
Owner, All-Star Swim School, LLC
5800 Camino Tassajara
allstarswimschool.com

From: Adrian Veliz <Adrian.Veliz@dcd.cccounty.us>
Sent: Thursday, November 13, 2025 12:12 PM
To: Brian Oas <brian@allstarswimschool.com>
Subject: RE: Update and Questions on proposed build at 5980 Camino Tassajara

Good morning:

My apologies for the lack of response, I too have been feeling the crunch of the upcoming holidays and have numerous impending deadlines on projects assigned to me. With respect to your inquiries on your neighbors project, the primary consideration in my review of the proposed project will be the projects consistency with the General Plan, as well as consistency with development standards (e.g. setbacks and building height limitation) for the A-2 zoning district in which the project is located.

The home that is proposed is the same as that described in the notice to which you responded requesting a public hearing. The project has not changed, the request for a public hearing has simply necessitated the submittal of a separate application for consideration at the requested public hearing.

The reason why this project was subject to a public hearing is because the subject property is considered a “small lot”. The small lot design review process does not necessarily restrict development on parcels in any way, it just requires additional analysis of projects and properties on a case by case basis to identify potential issues (e.g. privacy, noise, light intrusion, neighborhood compatibility etc.) between neighboring properties. These types of issues are not typically present on larger agricultural parcels, and thus, the small lot design review tends to have more substantive impacts in densely developed residential zones than it does in agricultural areas.

Since a public hearing was requested for this project, the staff report that I prepare will include analysis of the project in terms of building height, size, location on the lot, neighborhood compatibility, and privacy. That being said, there are no provisions in the zoning ordinance which limit the size of a home or lot coverage (on small lots or otherwise). Similarly, there are no provisions in the ordinance which require a certain architectural style. I do not anticipate the design of the home resulting in adverse effects on neighboring properties, therefore, I anticipate recommending approval of the project as proposed, to the zoning administrator.

I expect to have a hearing date identified for this item at some point in the near future – I’m targeting early January. Once a hearing is scheduled, I will mail out notices to owners of properties within 300 feet of the project site to notify them of the upcoming hearing date. You will be among the recipients of that notice when the hearing is scheduled.

Best regards,

Adrian Veliz, Senior Planner
Department of Conservation and Development
Community Development Division
30 Muir Road Martinez, CA 94553
(925) 655-2879



From: Brian Oas <brian@allstarswimschool.com>
Sent: Thursday, November 13, 2025 10:30 AM
To: Adrian Veliz <Adrian.Veliz@dcd.cccounty.us>
Subject: Update and Questions on proposed build at 5980 Camino Tassajara

Adrian

Hope you are well.

Some families will be going on Holiday over the next 7 weeks.

Could you please provide an update and answers to the questions I sent below on October 29, 2025?

Thank you

Brian Oas

Owner

All-Star Swim School, LLC

allstarswimschool.com

From: Brian Oas

Sent: Thursday, November 6, 2025 2:03 PM

To: Adrian Veliz <adrian.veliz@dcd.cccounty.us>

Cc: chuck.baumann@gmail.com; shermaninvestmentgroupllc@gmail.com; shane@diablo9.com; wevey1978@gmail.com; avenuesofoakland@aol.com; amy94588@aol.com; andrew koski <koskia101@yahoo.com>

Subject: Update and Questions on proposed build at 5980 Camino Tassajara

Hello Adrian

Hope you are well.

Could I get an update on the proposed build at 5980 Camino Tassajara?

Also last week and this week I email you some question. Can you please answer these question of all of us in the community.

Thank you

Brian Oas

Owner

All-Star Swim School, LLC

allstarswimschool.com

From: Brian Oas

Sent: Tuesday, November 4, 2025 3:51 PM

To: Adrian Veliz <adrian.veliz@dcd.cccounty.us>

Subject: FW: Questions on proposed build at 5980 Camino Tassajara

From: Brian Oas

Sent: Wednesday, October 29, 2025 2:11 PM

To: 'Adrian Veliz' <Adrian.Veliz@dcd.cccounty.us>

Subject: RE: Questions on proposed build at 5980 Camino Tassajara

Good morning, Adrian,

Thank you for providing the links to the information I requested. I'd like to better understand what Mr. Gill will be allowed to build.

Currently, the homes on small lots along Camino Tassajara Road are single-story ranch-style houses averaging around 2,000 square feet. Will Mr. Gill's project be similar in scale and style? Or is he planning to build something designed to blend into the existing community character?

The home that was initially proposed appears quite different from what has previously been built in the neighborhood, so I'd appreciate some clarification on what we can expect to see.

Thank you for your time and assistance as I continue to educate myself on this matter.

Kind regards,

Brian

Brian Oas

Owner

All-Star Swim School, LLC

allstarswimschool.com

From: Adrian Veliz <Adrian.Veliz@dcd.cccounty.us>

Sent: Thursday, September 25, 2025 11:01 AM

To: Brian Oas <brian@allstarswimschool.com>

Subject: RE: Questions on proposed build at 5980 Camino Tassajara

Good morning Mr. Oas:

I have provided a brief response in red below to your numbered questions.

1. Where do I find the planning requirements for this area? **The following link is the relevant zoning ordinance affecting the project site (A-2 zoning):**

2. What are the requirements to build with a well? Development projects utilizing well water are subject to County Health Department (Environmental Health District – or “CCEH”) review and approval. Generally these permits require demonstrating water quality and flow rate meeting County standards. In the event this small lot design review/development plan is approved, the owner would then seek CCEH approval as part of the building permit review process.
3. Are there parameters for building in this area? See link provided in response to #1 for parameters relevant to the review of the small lot design review/development plan application
4. Where do I find information on the zoning for this particular project? See link provided in response to #1 for information on the zoning for this project.
5. Where do I find info about ordinances? The link provided in response to #1 will take you directly to the section of the ordinance governing the A-2 district in which the project is located. In addition, the entirety of the zoning ordinance (Title 8 – Zoning) is accessible from the linked website.
6. Info about a small lot review? The relevant zoning ordinance is section 82-10.002(c) – **Small Lot Occupancy**
https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT8ZO_DIV82GERE_CH82-10LO_82-10.002DICO

I'd be happy to provide additional clarification if necessary.

Best,

Adrian Veliz, Senior Planner
Department of Conservation and Development
Community Development Division
30 Muir Road Martinez, CA 94553
(925) 655-2879



From: Brian Oas <brian@allstarswimschool.com>
Sent: Wednesday, September 24, 2025 10:26 AM
To: Adrian Veliz <Adrian.Veliz@dcd.cccounty.us>
Subject: Questions on proposed build at 5980 Camino Tassajara

Good Morning Adrian

Had some question.

1. Where do I find the planning requirements for this area?
2. What are the requirement to build with a well?
3. Are there parameters for building in this area?
4. Where do I find information on the zoning for this particular project?
5. Where do I find info about ordinances?
6. Info about a small lot review?

Thank you

Brian Oas

Owner

All-Star Swim School, LLC

allstarswimschool.com

Arcplanning@dcd.cccounty.us

County file # CDSL25-00044

Tassajara Valley

6/26/2025

To Whom It May Concern,

We, the undersigned residents of Tassajara Valley are writing to formally express our collective opposition to the proposed development of an 8,000+ square foot home within our rural neighborhood.

Our community is known and valued for its open spaces, modestly sized homes, and peaceful character. The scale of this proposed home is inconsistent with the surrounding properties and fundamentally disrupts the visual harmony and rural identity we have worked hard to maintain. A project of this size does not belong in a community like ours, where homes are designed to blend into the natural environment—not overshadow it.

In addition to being out of character, this oversized structure raises concerns about privacy for nearby families, and the potential strain on local infrastructure. Most importantly, it sets a precedent that threatens the unique charm and balance of our neighborhood.

The design and footprint of this proposed home do not align with the character, values, or scale of our community. Our neighborhood was built around the principles of modest development, rural aesthetics, and environmental harmony. This structure would sharply contrast those principles and compromise the cohesive appearance and feel of the area.

We strongly believe that community input should be a critical part of the development review process—especially when a proposed project so clearly departs from the established character of the area. As a united community, we do not support the construction of this oversized home and respectfully request that the project be reconsidered with proper public input.

We stand together in protecting the integrity, safety, and character of our rural neighborhood.

Sincerely,

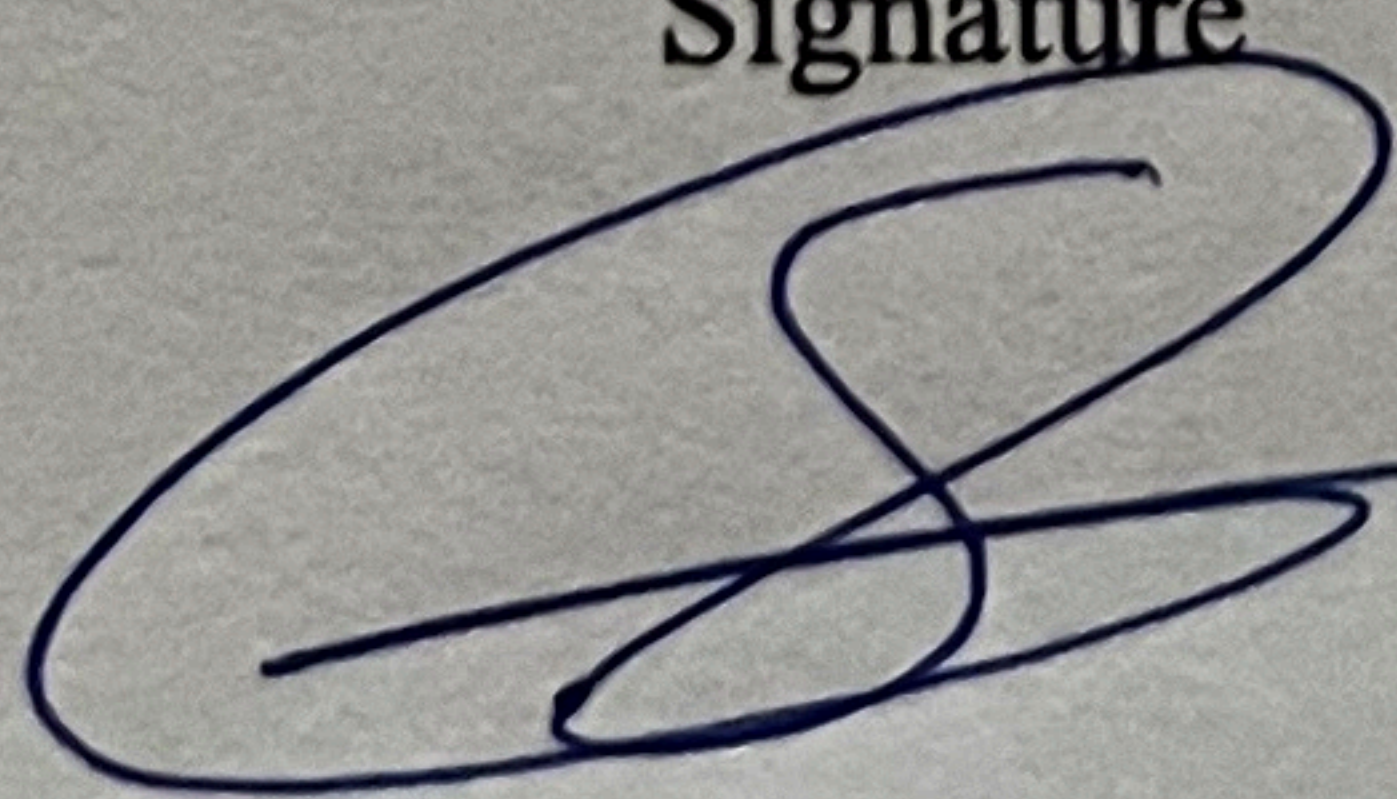
Concerned Residents of Tassajara Valley

Printed Name

Signature

Address

Shane Garrely



5990 Camino Tassajara Rd
Pleasanton, CA 94588



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-2243

Agenda Date: 6/1/2026

Agenda #: 3a.

Project Title:	Development Plan for a New Single-Family Residence on Lot 7 of the Alamo Ridges Subdivision
County File(s):	CDDP24-03045
Applicants: Owner:	Jonathan James, William Wood Architects Stephane Miles, Nortom Corporation
Zoning:	Planned Unit District (P-1)
General Plan:	Residential Very-Low Density (RVL) and Resource Conservation (RC)
Site Address/Location	430 Legacy Drive, Alamo, CA 94507 (APN: 193-010-029)
California Environmental Quality Act (CEQA) Status:	Categorically Exempt: CEQA Guidelines, Section 15303(a), regarding construction of one Single-Family Residence.
Project Planner:	Syd Sotoodeh, Senior Planner; (925) 655-2877; syd.sotoodeh@dcd.cccounty.us
Staff Recommendation:	Approve (See section II for full recommendation)

I. PROJECT SUMMARY

The applicant requests approval of a Development Plan, pursuant to condition of approval (COA) #11.B of CDDP01-03061, to construct a new 5,624-square-foot, two-story, single-family residence with an 891-square-foot garage and one retaining wall up to 5.4 feet on a vacant lot. The proposal requires a Tree Permit for work within the driplines of one 18-inch (diameter) Blue Oak (tree #54) and one 24-inch Blue Oak (tree #55) on the subject property, and to work within the driplines of one 17-inch Coast Live Oak (no tag, #1) and one 48-inch Blue Oak (tree #56) located on the adjacent property. Additionally, the applicant requests a minor modification to COA #12.G.14 of County File CDDP01-03061 to allow for grading, construction and trenching beneath the driplines of the blue oak trees located within the scenic easement, and a deviation to allow a 3-foot side yard (where 15 feet is required) for a retaining wall over 3 feet in height. Grading with approximately 37 cubic yards of fill and 505 cubic yards of cut is also proposed.

II. RECOMMENDATION

The Department of Conservation and Development, Community Development Division (CDD) staff recommends that the Zoning Administrator:

1. OPEN the public hearing on the proposed project, RECEIVE testimony, and CLOSE the public hearing.
2. DETERMINE that the proposed project is exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines 15303(a).
3. APPROVE the Development Plan (County File #CDDP24-03045), based on the attached Findings and Conditions of Approval; and
4. DIRECT staff to file a Notice of Exemption with the County Clerk.

III. GENERAL INFORMATION

- A. General Plan: The subject property has two general plan designations. The project site will be located within the Residential Very-Low Density General Plan Designation (RVL), and the rest of the parcel is designated as Resource Conservation General Plan Designation (RC).
- B. Zoning District: The subject property is located within the Planned Unit District (P-1) and is subject to the approved Alamo Ridges final development plans.
- C. California Environmental Quality Act (CEQA): The proposed project is categorically exempt under CEQA Guidelines, Section 15303(a), regarding "New Construction or Conversion of Small Structures" which exempts the construction of one single-family residence in a residential zone. The proposed project would construct one new single-family residence located on a lot within an established residential P-1 zoning district and designated by the County General Plan for residential uses.
- D. Lot Creation: The subject property was created as Lot 7 of Tract 7744. The subdivision map was recorded on August 5, 2002.
- E. Prior County Zoning Files related to the Property:
 1. CDDP01-03061: Amendment to a Final Development Plan (County File #CDDP93-03015) and Vesting Tentative Map 7744 ("The Ridges") pertaining to lot configuration and design guidelines and restrictions, approved December 17, 2001, and approval of a correction to amended Final Development Plan June 10, 2002.
 2. CDRZ93-03012, CDSD93-7744 and CDDP93-03015: Rezone of the subdivision acreage from A-2 General Agriculture to P-1 Planned Unit District, creation of a 14-lot single family residential subdivision and Development Plan for the 14-lot single family residential subdivision, approved May 2, 1995, by the Board of Supervisors.

IV. SITE/AREA DESCRIPTION

The subject property is a vacant, 4.161-acre parcel (approximately 181,253-square-foot) lot

identified as Lot 7 within Tract 7744, a 14-lot subdivision called *Alamo Ridges* in the Alamo area. The subdivision is located on a U-shaped ridge with steep hillsides and a small valley in the southern portion near Las Quebradas Lane. The subdivision includes scenic easement areas for each of the approved lots. Approximately 84 percent of the subdivision's lots have a scenic easement designated on their property through which development rights have been deeded to the County. The scenic easement protects the steep hillsides and retains much of the existing Oak woodland and grassland habitats in the subdivision. Thus, the majority of the property (approximately 3.85 acres) is within the scenic easement area, leaving approximately 0.32 acres (13,709 square feet) as developable area. In addition, the subdivision includes designated building envelopes for each of the approved lots, which for Lot 7 is an approved approximately 8,900 square-foot envelope (Attachment D). The sizes and shapes of the lots in the project vicinity and the Alamo Ridges Subdivision (CDS93-7744) are generally similar with each being fairly large and averaging 3.25 acres. All of the lots in this subdivision are downslope of Legacy Drive.

The subject property is located within a neighborhood surrounded by Planned Unit (P-1) zoning, with properties having mixed General Plan designations of Resource Conservation (RC) for the scenic easements and Residential Very-low Density (RVL) for the building envelopes. Properties zoned General Agriculture (A-2) are located to the west, and Single-Family Residential (R-20 and R-40) Zoning district are south of the site. Residential development in the area is typically large, custom-built estate homes mixed with the large open space of the area.

The subject property fronts Legacy Drive to the west which is a two-lane road that spans the top of the U-shaped ridge and connects to Las Quebradas Lane. Lot 7 is near the top of the ridge on the east-facing downslope of Legacy Drive. The property contains a number of blue oaks, coast live oaks, and other trees, all within the scenic easement, ranging in size between 6 inches and 30 inches in diameter. There are no trees located within the building envelope or outside of the scenic easement on the subject property. There is also one 17" diameter Blue Oak located outside of the building envelope and outside of the scenic easement, adjacent to Legacy Drive and west of the subject property. The property slopes away from Legacy Drive, beginning at approximately 760 feet above mean sea level and sloping downward to the north/northeast to approximately 530 feet above mean sea level at the rear property line. The buildable area located outside of the scenic easement is relatively flat, with a gentle slope rising east to west by approximately 8 feet.

V. PROJECT DESCRIPTION

The applicant requests approval of a Development Plan and an architectural design review which is required pursuant to Condition of Approval #11B of CDDP01-03061. The Final Development Plan for the Alamo Ridges has conditions of approval for the lots within the subdivision with residential design requirements for all lots and specific requirements for certain lots such as Lot 7. Condition of Approval #11B requires a noticed public hearing at the Zoning Administrator level.

The project proposes the following elements:

- A two-story single-family residence with approximately 5,624 square feet of living space and approximately 1,359 square feet of covered porch area.
- An approximate height of 28 feet, 4 inches.
- One attached, approximately 891-square-foot three car garage.
- One retaining wall ranging in height from 4.2 feet up to 5.4 feet located between the residence and the eastern property boundary.
- Approximately 37 cubic yards of fill and 505 cubic yards of cut grading.
- Approximately 2,201 square feet of new, irrigated landscaping.
- Approximately 2,554 square feet of new hardscape for the driveway.

The project also requires a deviation to allow a 3-foot side yard (where 15 feet is required) for a retaining wall over 3 feet in height.

The project includes a Tree Permit to allow for grading, trenching, and installation of drainage, driveway, and fence improvements within the driplines of one 18-inch (diameter) Blue Oak (tree #54) and one 24-inch Blue Oak (tree #55) on the subject property, and within the driplines of one 17-inch Coast Live Oak (no tag, #1) and one 48-inch Blue Oak (tree #56) located on the adjacent property. The project also requires a minor modification to COA #12.G.14 of County File #CDDP01-03061 to allow for grading, construction and trenching beneath the driplines of the blue oak trees located within the scenic easement.

VI. AGENCY COMMENTS

- A. San Ramon Valley Fire Protection District: In correspondence dated November 14, 2024, Fire District staff indicated that the applicant would be required to submit plans for review by the Fire District and to comply with current Fire Code requirements. Please refer to the attached correspondence for the details of their comments.
- B. Central Contra Costa Sanitary District (Central San): In correspondence dated November 21, 2024, Central San staff indicated that the project site is located within Central San's service area and advised that the applicant would be responsible for submitting improvement plans to Central San prior to receiving a final building permit. Please refer to the attached correspondence for the details of their comments.
- C. East Bay Municipal Utility District (EBMUD): In correspondence dated November 22, 2024, EBMUD staff advised that the applicant should contact the water district's new business office to request a water service estimate. Please refer to the attached correspondence for the details

of their comments.

- D. Contra Costa County Public Works Department: The County Public Works Department, Engineering Services Division provided multiple sets of project comments as they worked with the applicant to achieve a project design that met applicable standards. In their most recent correspondence and staff report dated February 9, 2026, Public Works staff provided comments and recommended conditions of approval for the project relating to street lights, drainage and stormwater management, and underground utilities. Public Works' recommendations have been included in the conditions of approval as part of staff's recommendations (Attachment A). Please refer to the attached correspondence for the details of their comments.
- E. Alamo Municipal Advisory Council (MAC): On February 25, 2025, the Alamo MAC held a meeting to discuss the project. In correspondence received from the County's Alamo MAC liaison, staff was advised that during the meeting, the MAC decided not to review the application and determined that the MAC does not make design comments or recommendations on tree permits. Please refer to the attached correspondence for the details of their comments.
- F. County Geologist: COA #14 of CDDP01-03061 requires the County to review a geotechnical report for the site. A peer-review of the applicant's geotechnical report was conducted by Darwin Myers Associates (DMA). DMA submitted a letter dated March 31, 2025, reviewing the site-specific geotechnical report for the proposed project and determined that the design-level geotechnical report satisfied COA #14 of CDDP01-03061. Please refer to the attached correspondence for the details of their comments.
- G. Alamo Improvement Association (AIA): In correspondence received from the AIA on March 24, 2025, the AIA indicated that they had reviewed the project at a meeting on March 20, 2025, and recommended approval of the application. Please refer to the attached correspondence for the details of their comments.

VII. STAFF ANALYSIS AND DISCUSSION

A. General Plan:

Land Use Designation: The subject property has two General Plan land use designations, Residential Very-Low Density (RVL), and Resource Conservation (RC). The project will be located entirely within the RVL designation as the RC area of the parcel is restricted from development due to a Grant Deed of Development Rights deeded to Contra Costa County for a scenic easement. The RVL land use designation allows for detached single-family units on lots that are 1 acre or larger. The subject property is approximately 4.161 acres and exceeds the 1-acre requirement for RVL. Therefore, a single-family residence on the parcel is consistent with the RVL General Plan land use designation. No development is proposed within the RC

designated area of the property. The proposed single-family residence will not alter the land use on the property, nor will it conflict with the density range for the lot or the vicinity with the same General Plan designation.

Specific Area Policies: The Stronger Communities Element of the County General Plan contains Guiding Principles and Policies for specific geographic areas of the unincorporated County, including specific policies that relate to projects within the Alamo area. Guiding Principles 2 and 5, and Policies 3, 4, and 9 are applicable to development of the subject property. The project is consistent with the intent and goals of these policies as discussed below:

- *Guiding Principle 2 and Policy 3: This Guiding Principle and its related Policy is intended to prioritize the preservation of irreplaceable natural features and settings (e.g., mature stands of oak trees and riparian corridors) and wildlife habitat.*

The project is designed to avoid the removal of any trees on site, including oak trees. Approximately 3.85 acres of the subject property is designated as a scenic easement that is restricted from development due to a grant deed of development rights to Contra Costa County. The intent of the scenic easement is to protect the visual and natural features of the site as well as much of the area's wildlife habitat. Each lot of the subdivision has a final approved building envelope as well as an area between the building envelope and the scenic easement where development is allowed but limited to paving or accessory uses such as decking that is no more than 3 feet above grade. As designed, the proposed residential improvements are placed outside of the restricted development scenic easement and structures are located within the approved building envelope. Also, proposed improvements that are located outside of the approved building envelope and outside of the scenic easement consist of driveway and a small corner of a patio that is 18 inches above grade. Therefore, by adhering to the development guidelines and limitations of County File CDDP01-03061, the project preserves the natural features of the area.

- *Guiding Principle 5: New development should enrich the community's architectural character and scenic quality*

The proposed project is to construct a new, custom, single-family residence on a vacant lot of a subdivision that was approved in 1995. The Final and Corrected Development Plan for the subdivision, file CDDP01-03061, contains multiple conditions of approval and design requirements that are intended to maintain the scenic quality of the surrounding Alamo area. The proposed residence is designed according to the design requirements including those for setbacks and height, as well, as to avoid development within the scenic easement on the subject property. Thus, the proposed residence would maintain and enrich the architectural character of the vicinity.

- *Policy 4. The intent of this Policy is to maintain public views of Mount Diablo, scenic*

ridges, and other defining natural elements of the local landscape to the greatest extent feasible.

As mentioned above, the project will not encroach into the scenic easement and will not remove any trees. The proposed height of the two-story residence is approximately 29'-6", which does not exceed the maximum 35-foot height allowed pursuant to COA #12 (G7) of CDDP01-03061. In addition, the proposed height is consistent with other homes constructed in the same subdivision on the same ridgeline.

- *Policy 9. This policy discourages approval of roof heights exceeding 40 feet, or architectural features (such as parapets) exceeding 45 feet.*

The height of the home is limited to 35 feet pursuant to COA #12(G7) of CDDP01-03061 and has been designed not to exceed this limit. Therefore, the project is consistent with Alamo Policy 9.

B. Zoning Compliance: The subject property is located within a Planned Unit (P-1) zoning district that was established with the approval of County File #CDRZ93-03012. Accordingly, the proposed project is subject to the conditions of approval for County Files CDRZ93-03012 and CDDP93-03015 which was amended under CDDP01-03061, which include residential design guidelines for all lots within the development. Pursuant to COA #11.B, any proposed residential designs are subject to a design review and approval by the Zoning Administrator at a noticed public hearing prior to the issuance of a building permit. The design guidelines and conditions of approval direct the design of each residence and accessory structures and restrict construction in the subdivision to specific building envelopes and developable areas outside of the scenic easement. Construction on individual lots shall conform to the R-20, Single-Family Residential zoning district except as otherwise required pursuant to COAs #11 through #17 of County File #CDDP01-03061.

Consistency With Relevant Conditions of Approval of CDDP01-03061 (Attachment B):

- COA #11.B requires the proposed residential design to be submitted to the Zoning Administrator for review and approval, certification from a licensed civil engineer verifying that the structure(s) are located within the approved building envelope, and a noticed public hearing in front of the Zoning Administrator before issuance of a grading or building permit. Pursuant to COA #11(B), the applicant submitted this development plan application which was deemed complete on April 30, 2026. To verify that the proposed project is located within the approved building envelope, the applicant submitted a civil plan set prepared by Easton McAllister, licensed civil engineer, that verifies the proposed building footprint is placed within the building envelope.
- COA #11.E requires all structures to be located within the final approved building envelopes, including accessory structures (pool cabanas, arbors), decking higher than 3

feet above grade, retaining walls higher than 3 feet, and all combinations of retaining walls/deck edges that are within 30 feet of each other and cumulatively over 3 feet in height. The proposed single-family residence and retaining wall that is up to 5.4 feet in height are located within the approved building envelope described in "Exhibit A Legal Description Building Envelope Area Lot 7 Tract 7744" (Attachment D). The applicant has submitted civil plans created by Easton McAllister, licensed civil engineer, that verifies the proposed building footprint and accessory structures are placed within the building envelope. Approximately 6 square feet of uncovered porch area that is approximately 18 inches above grade extends outside of the building envelope. The porch area is allowed to be outside of the building envelope pursuant to COA #11.C and #11.E.2 as it does not exceed 3 feet in height.

- COA #11.G requires all buildings to be located outside of the tree driplines unless otherwise noted, and COA #12.G.14 restricts placement of structures or accessory structures on lots 7 and 8 under the oak tree dripline and the driplines of tree #54 and tree #44. Tree #44 is not in the vicinity of the subject property. Tree #54 is located within the scenic easement on the subject property. The proposed site plan and arborist report prepared for the project shows that the proposed single-family residence is located outside of all oak tree driplines. However, the grading and drainage plans indicate that the installation of the proposed driveway and drainage improvements will be under the driplines of trees #54 and #55 (both blue oaks) on the subject property, and tree #56 (blue oak) on the adjacent property to the west. The potential impacts to the oak trees was evaluated by an arborist and was determined to be minimal. Staff has recommended as condition of approval that the arborist's recommended tree protection measures be installed prior to issuance of a grading or building permit (COA #19). Staff's analysis of the minor modification to allow work within the dripline of the oak trees has been included in the Minor Modification section of this report.
- COA #11.I requires exterior wall and roof colors and materials to utilize medium to dark earth-tone colors, defined as those having less than 50% light reflectance, and a licensed architect to certify submitted elevations with this requirement. The applicant submitted a proposed color board which shows the roof will be a medium dark gray slate and the exterior walls will be a barnwood gray stucco with any trim to also utilize earth tone or dark colors. Staff has recommended as a condition of approval that the applicant shall submit verification to CDD prior to obtaining a permit that all exterior colors comply with the 50% light reflectance requirement.
- COA #11.J requires construction on individual lots to conform to the R-20 zoning district standards except as modified by the approved Architectural Design Guidelines and by the conditions herein. The proposed development adheres to the R-20 Zoning District development setback standards, except as modified by the Architectural Design Guidelines as specific in condition of approval COA #11.J. The project proposes a 15-

foot front setback (where 15 feet is required), a 20-foot minimum side yard setback on the east side (where 20 feet is required), more than the 40-foot aggregate side yard setback requirement and more than the 15-foot rear setback requirement. In addition, the location of the proposed residence maintains a 40-foot separation between houses on adjacent lots. However, the grading plans indicate that a retaining wall over 3 feet in height has a 3-foot side yard setback (where 15 feet is required for accessory structures that are not setback 65 feet or more). Approximately 15 linear feet of the wall reaching up to 4.2 feet in height is located within the 65-foot front setback area required for a reduced accessory structure side yard area. The proposed project is consistent with retaining wall improvements in the same P-1 zoning district and subdivision for which deviations to the conditions of approval of File #CDDP01-03061 were granted for similar retaining walls. Therefore, as conditioned, the project is consistent with the requirements of the P-1 zoning district pursuant to the attached findings.

- COA #12 requires residential building plans to incorporate storage areas for the storage of recyclable materials, water conservation measures to be used for landscaping consistent with County Ordinance Code Chapter 82-6, water conservation devices to be incorporated in residential designs, all residences to be equipped with residential sprinklers and have fire retardant roofs unless specifically recommended otherwise by the San Ramon Valley Fire Protection District, and each residence to have an electrical outlet installed in the garage and designed to dedicate for future use in recharging electrical vehicles. The proposed project includes an 891-square-foot garage and indicate room where the garbage and recycling bins can be placed. The preliminary landscape plans show compliance with Part I of the County's Water Efficient Landscapes Ordinance (Chapter 82-6) and will be required to comply with Part II of the Ordinance prior to requesting a final inspection of a building permit for the residence. The project will be required to comply with all applicable California Building and Fire Codes including those related to fire sprinklers or fire safety prior to occupancy. Lastly, the floor plan shows a proposed electric vehicle charging outlet in the garage.
- COA #12.G.5 require the design of residential structures for Lots 6 through 8 and Lots 11 through 14 to use architectural features (e. g., second story setbacks, reduced height, staggered frontage) to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15-foot front setback. The project is designed with step-backs on the east and west side of the 2nd floor with the roofs of the 1st floor sloping back towards the 2nd floor walls. In addition, the two-story element near the entry at the front of the residence has been designed with balconies on the 2nd floor to reduce the appearance of the overall mass.
- COA #12.G.7 allows the primary residence on Lots 7, 8, and 9 to conform to the R-20 zoning district standard of a maximum 35 feet. Based on the project plans, the

proposed residence will have a maximum height of 28 feet, 4 inches.

- COA #12.G.14 restricts the placement of accessory structures on Lots 7 or 8 such that accessory structures on these lots shall not extend beyond the 747-foot contour nor extend under the oak tree drip line and prohibits the placement of structures within the driplines of trees. In addition, no structure on Lot 7 or 8 shall encroach under the drip line of trees #54 and #44 on Lot 7 or 8. Based on the project plans, there are no structures beyond the 747-foot contour line. Tree #44 is not located in the vicinity of the project on Lot 7, and no structures are located within the dripline of tree #54. Grading, installation of drainage improvements, installation of the driveway, and construction of fencing would occur within the dripline of three Blue Oak trees, tagged as #54, #55, and #56. Therefore, the applicant is requesting a modification to COA #12.G.14 to allow for grading, and construction of site improvements underneath an existing oak tree. Staff can support the modification because the encroachment is minimal, does not require the removal of the tree and the arborist report prepared by Jarred Juarez WE-13341A concluded that the "planned construction will have minimal impact, if any, on these trees." Moreover, a tree permit is required for any work within the dripline of an Oak Tree and will require a tree bond to be submitted in the event that the tree to be preserved is damaged.
- COA #12.G.19 requires each house and accessory structure to be subject to design review prior to the issuance of a building permit. Design review shall address the massing, height, setbacks, architectural features, color palette and exterior building materials to minimize visual impact. Photo simulations for each house will be required with the design review submittal. The applicant submitted architectural plans including a color palette and detailed elevation drawings showing what the design would look like. The architectural plans address massing, height, setbacks, architectural features, color palette and exterior building materials. Given the site's topography and its location within an established residential subdivision, the architectural plans offer a precise representation of the building's volume and relationship to the topography that effectively addresses the design review's intent to minimize visual impact and shows consistency with the design of other custom homes constructed in the vicinity. Staff has recommended as a condition of approval that the applicant be required to submit photo simulations prior to issuance of a building or grading permit to verify that the construction documents provide evidence that the residence will comply with the design review criteria listed in COA #12.G.19.
- COA #12.G.21 requires all structures on Lots 1 through 6, and Lots 9 through 14, to be placed within the final approved building envelopes including accessory and ancillary structures on Lots, however, Lots 7 and 8 shall not be subject to that ancillary structures limitation, though such structures on Lots 7 and 8 will be subject to Design Review requirements and the review process. The condition of approval does not restrict lot 7

from placing structures outside of the building envelope; therefore, because the project is on lot 7, the project complies with the condition.

- COA #13.E. requires that prior to issuance of a building permit for residential structures that may be visible from off the subdivision site, a landscaping plan and evidence be submitted for review and approval showing that the structure will not be visible when viewed from off the subdivision site at equal or lower elevations when the landscaping reaches maturity. From most offsite locations at lower elevations to the north and northeast, the visibility of the proposed residence and retaining wall would be obscured by the existing Oak woodland vegetation surrounding the northern side of the proposed project. In addition, views from Mystic Place and Serafix Road, which are the closest offsite streets located at a lower elevation north of the project site, are not visually impacted by the project due to the existing grade differential, the positioning of the project building pad towards the frontage along the Legacy Drive ridgeway. Thus, the proposed house will not be visible from anywhere along these streets. Homes along Las Quebradas to the south will also not be visually impacted due to an existing hill blocking views to the north. The elevation and topographical shielding ensures the project is not visible when viewed from lower elevations off site.
- COA #14 requires a site-specific geotechnical report which evaluates the building plans to be submitted to the CDD for review prior to the issuance of building permits for the construction of individual residences. The Geotechnical report prepared by ENGEEO, Inc., dated January 24, 2025, was peer-reviewed by the County Geologist. In a letter dated March 31, 2025, the County Geologist stated that the design-level report satisfied the conditions of approval COA #14.
- COA #15 and #16 require submittal of a tree preservation plan and tree bond prior to issuance of a grading or building permits. The applicant submitted an arborist report including a tree preservation plan to minimize construction impacts on an 18" diameter Blue Oak tree and a 24" diameter Blue Oak tree (tree #54 and 55) on the subject property, and a 17" Coast Live Oak tree (no tag, tree #1) and a 48" Blue Oak tree (tree #56) on the adjacent property during grading, construction, and trenching for site improvements. Recommended measures include installing Tree Protection Zone fencing to avoid soil disturbance or compaction within the driplines of the trees. The tree preservation plan includes the arborist's recommendations to trim two oak trees adjacent to the project area prior to construction for clearance only. Lastly, in accordance with the County's Tree Protection and Preservation Ordinance, the applicant will be required to submit a tree bond or security prior to the issuance of a grading or building permit.

As designed, the proposed residence would be visually compatible with the surrounding scenic easement and residential development and would not be obtrusive or otherwise alter its

surroundings. Houses in the subdivision are large, custom homes which this project will also follow. The proposed house mixes contemporary designs with mediterranean style materials which is consistent with other homes in this subdivision. The building will comply with the maximum allowed building height and required natural earth toned colors. The design of the home uses architectural features such as balconies to prevent a large massing appearance on the front of the residence. The applicant provided a preliminary landscaping plan that was reviewed under the County's Water Efficient Landscapes Ordinance and that would provide visual screening or softening at the front of the new residence. The project does not propose any development within the scenic easement area and no changes to the boundaries of the scenic easement are proposed. The project complies with the building envelope requirement that the single-family home will be placed within the approved envelope. The requested modification to allow grading and construction of site improvements within the driplines of oak trees and the deviation to allow a 3-foot side yard (where 15 feet is required) for construction of a retaining wall over 3 feet in height is consistent with the development and limitations of other properties in the same P-1 zoning district. Therefore, the proposed project is consistent with the development standards and design guidelines of the residential P-1 zoning district in which the subject property is located.

- C. Tree Protection and Preservation Ordinance: The project will include grading and construction of site improvements within the driplines an 18" diameter Blue Oak tree and a 24" diameter Blue Oak tree (tree #54 and 55) on the subject property, and a 17" Coast Live Oak tree (no tag, tree #1) and a 48" Blue Oak tree (tree #56) on the adjacent property. The County's Tree Preservation and Protection Ordinance (County Code Chapter 816-6) is intended to provide for the protection of trees on private property through contingencies for tree alteration while allowing for reasonable enjoyment of private property rights and development. Reasonable development of the property requires work within the dripline of the site that is restricted based on a very small developable area outside of the scenic easement. Furthermore, an arborist report was prepared by Jarred Juarez We-13341A which determined that the "planned construction will have minimal impact, if any, on these trees." Staff has recommended as a condition of approval the requirement of a tree security or bond to be submitted to the County for the replanting of up to five (5) indigenous species trees if the trees to be preserved are damaged during construction. Therefore, the proposed project is consistent with the County's Tree Protection and Preservation Ordinance.
- D. Minor Modification: The applicant requests a minor modification from COA #12.G.14 which prohibits any structure from being placed underneath an oak tree dripline beyond contour 747 or tree #54 located within the scenic easement on the subject property. As mentioned in the project description, grading, trenching, and construction of site improvements will occur beneath the driplines of three blue oak trees located within the scenic easement. This impact was evaluated by an arborist and was determined to be minimal. When the subdivision was approved in 1995, these trees were substantially smaller. Now that the trees have matured, the tree dripline has extended further out, encroaching into the relatively limited developable area

of the lot located outside of the scenic easement. A modification to this condition of approval is required to allow for the site to be developed in accordance with the development pattern of the area.

- E. Drainage: Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse. The proposed drainage plan and project was reviewed by the Public Works Department and was determined to be compliant with Division 914.
- F. Stormwater Management and Discharge Control Ordinance: A Stormwater Control Plan (SWCP) is required for applications that will create and/or redevelop impervious surface area exceeding 10,000 square feet in compliance with the County's Stormwater Management and Discharge Control Ordinance and the County's Municipal Separate Storm Sewer System National Pollutant Discharge Elimination System Permit. A Stormwater Control Plan (SWCP) for a Small Land Development Project was submitted and reviewed by the Public Works Department. The applicant is proposing 9,286 SF of new impervious surface which is below the 10,000 SF threshold for one single family home that is not part of a larger plan of development. The development plan plans to use runoff reduction measures that include dispersing runoff into vegetated area (lawns/landscape space).
- G. Appropriateness of Use: The project site is within an established residential neighborhood within a rural setting of Alamo. The proposed project is generally consistent with the conditions of approval of CDDP01-03061 and the design guidelines of the residential subdivision. The project will enhance a currently vacant lot with a new residence that is designed similarly to surrounding development. The residence will conform to the building envelope identified for Lot 7 and conforms to all setback and height requirements. Therefore, the use of Lot 7 for a custom-built home is consistent with the surrounding uses.

VIII. CONCLUSION

The proposed development is consistent with the Residential Very-Low Density (RVL) General Plan land use designation and complies with the intent and purpose of both the P-1 Planned Unit zoning district and the County Tree Protection and Preservation ordinance as discussed in the attached findings. Additionally, since the project is a residential use on a parcel designated for residential development, it is an appropriate use for the property. Therefore, staff recommends that the Zoning Administrator approve County File #CDDP24-03044 based on the attached conditions of approval.

Attachments:

- A. Findings and Conditions of Approval
- B. CDDP01-03061 Conditions of Approval
- C. Approved Building Envelope
- D. Maps - Parcel Maps, Aerial Map, Zoning Map, General Plan Map
- E. Agency Comments
- F. Project Plans

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03045:
JONATHAN JAMES, WILLIAM WOOD ARCHITECTS (APPLICANT), STEPHANE MILES,
NORTOM CORPORATION (OWNER)**

FINDINGS

A. Development Plan Findings:

In approving a Development Plan in the P-1 Planned Unit District, findings are required pursuant to County Code Section 84-66.1804(b) that the proposed project is consistent with the intent and purpose of the P-1 District and that it is compatible with other uses in the vicinity, both inside and outside the district.

1. *Required Finding: The proposed project shall be consistent with the intent and purpose of the P-1 district.*

Project Finding: The subject property is within a Planned Unit (P-1) zoning district which, pursuant to Final Development Plan CDDP01-03061, allows for residential land uses typically permitted in a single-family residential district, but with limitations on certain improvements located outside of the approved building envelope and outside of the scenic easement on individual properties within the same P-1 district. Generally, the intent of the P-1 zoning district is to ensure that the unique ridgeline area can be developed with residences while also taking into consideration and preserving the aesthetic qualities of the area and hillsides.

The project consists of the construction of a new approximately 5,624-square-foot, two-story, single-family residence with an 891-square-foot garage and one retaining wall up to 5.4 feet in height on a vacant lot. All development is outside of the scenic easement area. In addition, development of residential buildings and accessory structures is contained within the building envelope except for an approximately 6-square-foot area of an uncovered porch that is no more than 18 inches above grade. Pursuant to COA #11.C and #11.E.2 of CDDP01-03061, the uncovered porch area is allowed to be constructed outside of the building envelope as it does not exceed 3 feet in height.

The project includes a request for approval of a minor modification from the residential design standards for the subdivision contained in COA #12.G.14 of CDDP01-03061 to allow for grading, construction, and trenching of site improvements beneath the driplines of oak trees located within the scenic easement. Although the project will marginally encroach within the driplines of oak trees within the scenic easement to grade and install a new driveway, install utilities, and construct fencing, the project preserves all significant oak trees located within the scenic easement. Thus, this area's unique hillside aesthetic qualities will be maintained, and the existing trees will screen the new residence from views from the north and downhill of the project site. An arborist report was provided by Jarred Juarez, WE-13341A who evaluated the potential construction impacts

on the oak tree and concluded that the planned construction “will have minimal impact, if any, on the code-protected trees.” The project is consistent with other lots in the same P-1 district that have been granted tree permits to remove or to work within the driplines of code-protected oak trees inside or outside of the scenic easement.

The project also includes a request for a deviation to allow a 3-foot side yard (where 15 feet is required) for a retaining wall over three feet in height. The topography of the project site is hilly with the natural grade of the lot sloping steeply down from south to north/northeast. The residence is designed to maximize the residential floor area within the approximately 8,200 square-foot building envelope. An approximately 15-foot length of retaining wall up to 4.2 feet in height is located within the required 15-foot side yard setback and placed along the slope to maintain the yard area for use by residents. Due to the steep hillside, it would be difficult to develop the subject property to provide for yard area without the need for retaining walls or deviations from the conditions of approval. The project is consistent with other lots in the same P-1 zoning district and subdivision for which deviations from the same design guidelines were granted for similar retaining walls due to the steep topography of the subdivision.

The P-1 zoning district allows for the uses permitted in single-family residential zoning districts such as new single-family residences and structures that are accessory to the single-family residence. Other parcels within the same subdivision have been granted tree permits to remove or to work within the driplines of protected oak trees to construct residential improvements. Because of the steep topography of the site, other parcels within this subdivision have been developed using retaining walls to structurally keep building pads stable or to provide for flatter yard areas. The minor modification to the conditions of approval of County File CDDP01-03061 to allow work within the driplines of oak trees and the deviation to allow a substandard side yard for a retaining wall over 3 feet in height are consistent and compatible with the residences within the surrounding area and subdivision. Therefore, the project is consistent with the intent and purpose of the P-1 district in which it is located.

2. *Required Finding: The proposed project shall be compatible with other uses in the vicinity, both inside and outside the district.*

Project Finding: The project site is located within an area of Alamo that is dominated by single-family residential developments, and agricultural or open space uses located on steep hillsides. Homes along Legacy Drive are large-scale homes, typically custom-built estate residences which the project will match. The Final Development Plan is conditioned with the intent to preserve the character of the nearby community and includes architectural design guidelines and conditions to ensure the aesthetic protection and conservation of the hillside areas. No portion of the residence goes beyond the building envelope and pursuant to COA #11.C and #11.E, the 18-inch-tall

porch area and site improvements such as the driveway are allowed to be outside of the building envelope. The two-story, 5,624-square-foot residence with an 891-square-foot garage includes materials, colors and architectural details that conform to the Mandatory Design Guidelines and Conditions of Approval of CDDP01-03061. The house is designed with a stepped-back second story on the east and west side of the residence, and utilizes varied roof heights and architectural elements including balconies to ensure the home is scaled appropriately in terms of overall mass. Moreover, the project provides material continuity with an exterior palette that includes black window frames, a medium-toned gray slate roof, and earth toned barnwood gray color stucco. All required setbacks and height requirements for the residence are met.

The topography of the project site and surrounding area is hilly with the natural grade of the lot sloping steeply down from south to north/northeast. It would be difficult to develop the subject property to provide for relatively flat yard area without the need for retaining walls or deviations from the conditions of approval. The project including a deviation to allow a 3-foot side yard setback (where 15 feet is required) for a retaining wall over 3 feet in height is consistent with other lots in the same P-1 zoning district and subdivision for which similar deviations were granted for retaining walls.

The reasonable development of the subject property requires work within the dripline of four code-protected oak trees for the construction of the retaining wall. None of the oak trees on the property or in the vicinity will be removed, but encroachment within the dripline is required to implement the building pad within the approved building envelope. An arborist report was provided which showed that the construction of the retaining wall would have minimal impacts on the trees. As many properties in central Contra Costa County contain trees that are protected under the County's Tree Protection and Preservation Ordinance, requests for approval to work within the dripline of trees is a common occurrence. The potential impact to trees at the site has been analyzed and protective measures have been recommended to ensure the vitality of those trees, as is typically done for residential projects throughout the County. Therefore, the project for a large-scale custom home is consistent and compatible with other uses in the vicinity, both inside and outside of the district.

B. Tree Permit Findings:

1. Required Factors for Granting Tree Permit. The Zoning Administrator is satisfied that the following factors as provided by County Code Section 816-6.8010 for granting a tree permit have been satisfied:
 - *Reasonable development of the property would require the alteration or removal of trees and this development could not be reasonably accommodated on another area of the lot.*

- *Where the arborist or forester report has been required, the Deputy Director is satisfied that the issuance of a permit will not negatively affect the sustainability of the resource.*

Project Finding: Two Blue Oak trees on the subject property located within the scenic easement, and a Blue Oak tree and a Coast Live Oak tree located on the property to the west but adjacent to the shared property boundary have driplines that extend over site improvements such as driveway area, utility extensions, and fencing. Due to the existing scenic easement with development rights granted to the County, the developable area of the subject 4.161-acre property is approximately 13,709 square feet, of which approximately 8,900 square feet is an approved building envelope for the single-family residence and accessory buildings or structures. Due to the limited amount of area available for residential development, reasonable development of the property requires improvements to be constructed within the driplines of the mature oak trees. An arborist report was provided by Jarred Juarez, WE-13341A who evaluated the potential construction impacts on the three Blue Oak trees and the Coast Live Oak tree. In the report, the arborist identified preservation measures to be taken during grading and construction and concluded that the planned construction “will have minimal impact, if any, on the code-protected trees.” The arborist report determined that the issuance of the tree permit will not negatively affect the sustainability of the trees.

2. Required Factors for Denying a Tree Permit. The Zoning Administrator is satisfied that none of the factors for denying a tree permit as provided by County Code Section 816-6.8010 apply.

C. California Environmental Quality Act (CEQA) Review Finding:

The project is categorically exempt under CEQA Guidelines, Section 15303(a), regarding “New Construction or Conversion of Small Structures” which exempts the construction of one single-family residence in a residential zone. The proposed project will construct one new single-family residence and associated improvements located on a lot within an established residential P-1 zoning district and designated by the County General Plan for residential uses.

CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03045

Project Approval

1. **Development Plan** to construct a new approximately 5,624-square-foot, two-story single-family residence with an 891-square-foot garage and a retaining wall up to 4.2 feet in height on Lot 7 of the Alamo Ridges Subdivision, is APPROVED.
2. **Modification** from COA #12.G.14 of Final Development Plan County File #CDDP01-03061 to allow for grading and the construction of site improvements beneath the driplines of three Blue Oak trees in the scenic easement (Trees #54, 55, and 56), is APPROVED.
3. **Deviation** from the residential design standards provided in Final Development Plan County File #CDDP01-03061 to allow a 3-foot side yard (where 15 feet is required) for a retaining wall over 3 feet in height and up to approximately 4.2 feet in height, is APPROVED.
4. **Tree Permit** to allow for work within the dripline of an 18" diameter Blue Oak tree and a 24" diameter Blue Oak tree (tree #54 and 55) on the subject property, and a 17" Coast Live Oak tree (no tag, tree #1) and a 48" Blue Oak tree (tree #56) on the adjacent property for grading, construction, and trenching for site improvements, is APPROVED.
5. The approval described above is generally based on the following documents:
 - Application materials and project plans accepted by the Department of Conservation and Development, Community Development Division (CDD) on October 29, 2024.
 - Revised Civil and Architecture plans accepted by the CDD on April 30, 2026.
 - Revised Landscape plan accepted by the CDD on February 14, 2025.
 - Revised Arborist Report (Jarred Juarez WE-13341A) received on February 14, 2025.
 - Geotechnical Report (ENGEO) received on February 14, 2025.
 - Geotechnical Peer Review by Darwin Myers Associates, dated March 31, 2025.
6. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan.

Application Costs

7. The development plan application was subject to an initial deposit of \$2,000.00. Applications are subject to time and material costs if the application review expenses exceed the initial deposit. **Any additional fee due must be paid prior to an application for a grading or building permit, or 60 days of the effective date of this permit, whichever occurs first.** The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due, the Department of Conservation and Development may seek a court judgement against the applicant and will charge interest at a rate of ten percent (10%) from the date of judgement. The applicant may obtain current costs by contacting the project planner. A bill will be mailed to the applicant shortly after permit issuance in the event that additional fees are due.

Building Permits

8. No construction is approved with this permit. Any construction at the subject parcel will require issuance of building permits from the Department of Conservation and Development, Building Inspection Division, prior to commencement of work.

Park Impact and Park Dedication Fees

9. **Prior to the issuance of a building permit** for construction of the single-family residence, the applicant shall pay for the applicable park impact fee as adopted by the Board of Supervisors.
10. **Prior to the issuance of a building permit** for construction of the single-family residence, the applicant shall pay the applicable park dedication fee as adopted by the Board of Supervisors.

Child Care Fee

11. **Prior to the issuance of a building permit** for construction of the single-family residence, the applicant shall comply with the requirements of the Child Care Ordinance and pay the applicable fee as adopted by the Board of Supervisors.

Compliance with Conditions of Approval of County File CDDP01-03061

12. Unless expressly stated otherwise herein, the approved conditions of approval of County File CDDP01-03061 shall apply to this application and Mandatory Architectural Design Guidelines for Tract 7744, except for the modification and deviation to the Conditions of Approval as detailed in Conditions #2 and #3 above.

Restricted Development Area

13. No grading or development is allowed within the Grant Deed of Development Rights, Restricted Development Area (Scenic Easement).
14. **Prior to CDD stamp-approval of plans for issuance of a grading or building permit, whichever is first**, survey stakes shall be placed at the site to delineate the location of the scenic easement boundary to avoid grading or construction within the scenic easement area.
15. **Prior to scheduling a form inspection** for the residence or accessory structures proposed at the site, a site survey shall be conducted to confirm the exact location of these structures to are not within the scenic easement area.

Exterior Colors/Design

16. **Prior to CDD-stamp approval of plans for the issuance of a building permit**, the applicant shall submit verification, certified by a licensed architect, that all exterior colors will have less than 50% light reflectance.
17. **Prior to CDD-stamp approval of plans for the issuance of a building permit**, the applicant shall submit photo simulations of the single-family residence to CDD to verify that the single-family residence is in compliance with the design review criteria of COA #12.G.19 of CDDP01-03061.

Landscape Plan

18. **Prior to requesting a final inspection**, the approved landscaping shall be installed, and evidence of the installation (e.g., photos) shall be provided for the review and approval of CDD. The applicant/owner shall submit a completed WELO part II-Certificate of Completion for review and approval by CDD.

Compliance with Arborist Recommendations

19. **Prior to any ground disturbance at the site or issuance of a grading or building permit, whichever is first**, the applicant shall implement the tree protection measures recommended in the consulting arborist’s report prepared by Jarred Juarez WE-13341A received on February 14, 2025.
20. The applicant shall be responsible for all arborist expenses related to the work authorized by this permit.

21. Any tree alteration, removal, or encroachment within a dripline of a code-protected tree or trees not identified in this permit may require submittal of a separate Tree Permit application.

Contingency Restitution Should Altered Trees Be Damaged or Removed

22. Security for Possible Damage to Trees Intended for Preservation: **Prior to CDD stamp approval of plans for the issuance of building or grading permits, whichever occurs first**, to address the possibility that grading or construction activities damage trees that are to be preserved, the applicant shall provide the County with a security (e.g., cash deposit or bond) to allow for replacement of trees to be preserved that are significantly damaged or destroyed by construction activity, pursuant to the requirements of Section 816-6.1204 of the Tree Protection and Preservation Ordinance.

The security shall be based on:

- A. Extent of Possible Restitution Improvements – The planting of up to five (5) indigenous trees (COA #13.E of CDDP01-03061), minimum 15-gallons in size, in the vicinity of the affected tree, or an equivalent planting contribution, subject to prior review and approval of the CDD.
- B. Determination of Security Amount – An estimate for the security shall be submitted for CDD review which accounts for all of the following costs:
- i. Preparation of a tree planting and irrigation plan by a licensed landscape architect, arborist, or landscape contractor for up to five (5) trees as described in Section A above. The plan shall comply with the County's Water Efficient Landscape Ordinance and include indigenous trees (COA #13.E of CDDP01-03061).
 - ii. The labor and materials for planting the potential number of trees and related irrigation improvements (accounting for supply, delivery, and installation of tree and irrigation) shown on the approved planting and irrigation plan.
 - iii. An additional 20% above the costs described in Sections B.i. and B.ii. above to account for potential inflation.
- C. Initial Deposit for Processing of Security – The County ordinance requires that the applicant pay fees to cover all staff time and material costs for processing the required security. At the time the security is submitted, the applicant shall pay an initial deposit of \$200.00.

- D. Duration of Security – The security shall be retained by the County for a minimum of 12 months and up to 24 months beyond the completion of the tree altering improvements (i.e., date of final inspection). **After the final inspection has been completed**, the applicant shall submit a letter to the CDD, composed by a consulting arborist, describing any construction impacts to trees intended for preservation.

As a prerequisite of releasing the security between 12 and 24 months after final inspection, the applicant shall arrange for the consulting arborist to inspect the trees and to prepare and submit to the CDD for review a report on the trees' health. The report shall include any additional measures necessary for preserving the health of the trees which shall be implemented by the applicant. In the event that the CDD determines that any trees intended for preservation have been damaged by development activity, and that the applicant has not been diligent in providing reasonable restitution, then the CDD may require that all or part of the security be used to provide for mitigation of the damaged tree(s), including replacement of any trees that have died.

Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which **shall be included in the construction drawings**:

23. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
24. The applicant shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
25. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
26. Unless specifically approved otherwise via prior authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government as listed below:

New Year's Day (State and Federal)

Birthday of Martin Luther King, Jr. (State and Federal)

Washington’s Birthday (Federal)
Lincoln’s Birthday (State)
President’s Day (State)
Farmworkers Day (State)
Memorial Day (State and Federal)
Juneteenth National Independence Holiday (Federal)
Independence Day (State and Federal)
Labor Day (State and Federal)
Columbus Day (Federal)
Veterans Day (State and Federal)
Thanksgiving Day (State and Federal)
Day after Thanksgiving (State)
Christmas Day (State and Federal)

For specific details on the actual date the State and Federal holidays occur, please visit the following websites:

Federal: <http://www.federalreserve.gov/aboutthefed/k8.htm>
State: <http://www.sos.ca.gov/state-holidays/>

27. Large trucks and heavy equipment are subject to the same restrictions that are imposed on construction activities, except that the hours are limited to 9:00 AM to 4:00 PM.
28. The applicant shall immediately notify the CDD of any damage that occurs to any trees during the construction process. Any tree not approved for destruction or removal that dies or is significantly damaged as a result of construction or grading shall be replaced with a tree or trees of equivalent size and of a species as approved by the CDD to be reasonably appropriate for the particular situation.
29. No parking or storage of vehicles, equipment, machinery, or construction materials and no dumping of paints, oils, contaminated water, or any chemicals shall be permitted within the drip line of any tree to be preserved.
30. No grading, compaction, stockpiling, trenching, paving, or change in ground elevation shall be permitted within the drip line of any tree intended for preservation unless such activities are indicated on the improvement plans approved by the CDD. If any of the activities listed above occur within the drip line of a tree to be preserved, an arborist may be required to be present. The arborist shall have the authority to require implementation of measures to protect the tree.

PUBLIC WORKS
CONDITIONS OF APPROVAL FOR DEVELOPMENT PLAN CDDP24-03045

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements

31. In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvements outlined below require the review and approval of the Public Works Department and are based on the site plan prepared by Debolt Civil Engineering dated January 5, 2026.
32. The applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

Streetlights

33. The property owner/applicant shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The property owner/applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Stormwater Management and Discharge Control

34. Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with Provision C.3 of the County's NPDES Permit and the County's Stormwater Management and Discharge Control Ordinance (§1014).
35. The applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify this total does not exceed 10,000 SF.

Utilities/Undergrounding

36. The applicant shall underground all new utility distribution facilities to the new home. Applicant shall provide joint trench composite plans for the underground electrical, gas, telephone, cable television and communication conduits and cables including the size,

location and details of all trenches, locations of building utility service stubs and meters and placements or arrangements of junction structures as a part of the Improvement Plan submittals for the project. The composite drawings and/or utility improvement plans shall be signed by a licensed civil engineer.

ADVISORY NOTES

PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. Seq, the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.

- B. Additional requirements may be imposed by the following agencies:

- Contra Costa County Public Works Department
- Contra Costa County Building Inspection Division
- Contra Costa Environmental Health Division
- San Ramon Valley Fire Protection District
- Central Contra Costa Sanitary District (Central San)
- East Bay Municipal Utility District (EBMUD)

- D. The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors. Payment is required prior to issuance of a building permit.

- E. The applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of a building permit.

**CONTRA COSTA COUNTY
COMMUNITY DEVELOPMENT DEPARTMENT
APPROVED PERMIT**

APPLICANT:	West Coast Builders 4021 Port Chicago Highway Concord, Ca 94524	APPLICATION NO.	DP013061
		ASSESSOR'S PARCEL NO.	193-010-020
		ZONING DISTRICT:	P-1
OWNER:	Same	ORIGINAL PROJECT APPROVAL DATE:	May 2, 1995
		EFFECTIVE DATE OF ORIGINAL APPROVAL:	May 2, 1995
		VESTING DATE:	February 6, 1995
		AMENDED FDP APPROVAL DATE:	December 17, 2001
		EFFECTIVE DATE OF AMENDED FDP APPROVAL:	December 27, 2001
		EFFECTIVE DATE OF AMENDED FDP APPROVAL:	December 27, 2001
		DATE OF CORRECTION TO AMENDED FDP APPROVAL:	June 10, 2002

This matter not having been appealed within the time prescribed by law, a permit for an amendment to a Final Development Plan, County File # DP 3015-93, and Vesting Tentative Map 7744 ("*The Ridges*") to amend development permit pertaining to lot configuration and design restrictions in the Alamo area is hereby GRANTED, subject to the attached conditions.

DENNIS M. BARRY, AICP
Community Development Director

By: _____


ROBERT DRAKE
Deputy Zoning Administrator

Unless otherwise provided, THIS PERMIT WILL EXPIRE ONE (1) YEAR from the effective date if the use allowed by this permit is not established within that time.

PLEASE NOTE THE EFFECTIVE DATE, as no further notification will be sent by this office.

FINDINGS AND CONDITIONS OF APPROVAL FOR FINAL DEVELOPMENT PLAN 3015-93, REZONING 3012-RZ AND VESTING TENTATIVE SUBDIVISION MAP 7744 AS APPROVED BY THE BOARD OF SUPERVISORS ON MAY 2 1995, AND AS PER AMENDED FINAL DEVELOPMENT PLAN/SUBDIVISION APPLICATION, FILE #DP013061 APPROVED BY THE ZONING ADMINISTRATOR ON DECEMBER 21, 2001 ("The Ridges") Corrected June 10, 2002

Original P-1 District Findings

- A. The applicant has indicated that they intend to commence construction within two and one-half years of the effective date of final project approval.
- B. The 14-unit project, as conditioned, is consistent with the County General Plan. The project site plan and architectural guidelines as amended by the proposed conditions assure aesthetic protection of the hillside areas.
- C. The project will constitute a residential environment of sustained desirability and stability, and will be in harmony with the character of the nearby community. The project which proposes lot sizes ranging from 1.14 to 6.42 acres and which would designate approximately 84% of the site within a scenic easement will link the site with both the adjacent higher density residential areas, the nearby horse ranches, and the nearby park lands.
- D. In accordance with the required findings of the planned unit district, the County finds that the development of a harmonious integrated plan, like this project, justifies exceptions from the normal application of the ordinance code, including variations in parcel configurations and design to provide better conformity with the environmental features of the site.

Findings for Amended Final Development Plan/Subdivision File #DP013061 ("The Ridges")

[Ref. Section 84-66.1804(b), C.C.C. Ord. Code]

- A. *Required Finding – The Zoning Administrator shall find it consistent with the intent and purpose of the P-1 District.*

Project Finding –

- 1. The amendments to the Final Development Plan and to the Conditions of Approval continue to allow diversification in the subdivision with regards to structures, lot sizes and open spaces. The changes in the building envelopes are reasonable and do not compromise the integrity of the subdivision as originally approved in 1995. The proposed changes provide a net benefit in the amount of land dedicated to a scenic easement by allocating an additional 25,400 square feet. The size of the building envelopes varies, depending upon the topography and extent of oak tree coverage around the edge of each building envelope.

2. With the implementation of conditions of approval, the project will be in harmony with the character of the surrounding neighborhood and community.
3. The amendments to the Final Development Plan comply with the General Plan.
4. The amendments to the Final Development Plan and the Conditions of Approval satisfy the requirements of the County code regarding public health, safety and general welfare. Conditions of Approval both modified and added to this approval will help to reduce visual impacts from offsite.

B. Required Finding – *The Zoning Administrator shall find the proposed modification is compatible with other uses in the vicinity, both inside and outside the P-1 district.*

Project Finding –

1. The amendments to the Final Development Plan and Conditions of approval do not alter the land use. Plans reflect a single-family residential development that is compatible with surrounding properties.
2. The amendments to the Final Development Plan and conditions of approval are compatible with other uses in the vicinity of the project site. The minimum size parcel is 20,000 square feet, which is compatible with adjoining properties. The size of the building envelopes is also consistent with other properties in the area.
3. Architectural details will be evaluated through design review to insure individual house designs fit with the lot and do not create visual impacts when viewed off site.

GENERAL CONDITIONS

- I. Development shall be based upon the following documents received by the Community Development Department except as modified by conditions herein:
 - A. Revised vesting tentative map dated February 6, 1995;
 - B. “Preliminary Geotechnical Reconnaissance”. Engeo, Inc, November 4, 1991.
 - C. “Preliminary Geotechnical Reconnaissance Update” Engeo, Inc., July 22, 1993.
 - D. Proposed design guidelines for SUB 7744, dated received by the Community Development Department in November, 1994.
 - E. Alamo Improvement Association/Applicant Agreed Building Envelope Modifications for the following lots: Lot 2 (Att. A), Lot 3 (Att. B), Lot 4 (Att. C), Lot 5 (Att. D), Lot 6 (Att. E), Lots 7 & 8 (Att. F), Lot 11 (Att. G), Lot 12 (Att. H), and Lot 14 (Att. I) from 12/14/01 AIA Letter, and the large scale drawings from the applicant that they are based upon.
 - F. Building Elevations, Subdivision 7744, Received 9/13/01 by CDD

2. A maximum of 14 single family residential lots shall be permitted as shown on the revised vesting tentative map dated February 6, 1995 as modified by the conditions herein.
3. The approval of the Rezoning, Preliminary Development Plan 3012-RZ, and Final Development Plan 3015-93 shall run concurrently with the time limits of SUB #7744.
4. At least 45 days prior to the filing of the Final Map, the issuance of grading permits, the approval of improvement plans, or any construction on the site, the applicant shall submit to the Zoning Administrator for review and approval a revised site plan, a grading plan and two copies of the related documents listed below. The revised site plan and grading plan shall incorporate any applicable recommendations of the documents.

All documents shall detail the mechanism/procedures necessary to ensure implementation. The documents shall clearly identify changes to the site plan and grading plan necessitated by their recommendations.

A. **Revised Site Plan.** The revised site plan shall incorporate the following changes:

- 1) Eliminate that portion of the building envelope for Lot 3 located within 8 feet of the western edge of the envelope.
- 2) The building envelope for Lot 5 shall be limited to a maximum of 8,000 square feet, be located outside of the creek structure setback area, and be located below the 460-foot contour line.
- ~~3) The building envelope may be expanded to the west along the 760 contour line to within 25 feet of the west property line.~~
- 3 4) Eliminate that portion of the building envelope for Lot 8, which is located within the drip line of the 40" diameter oak tree.
- 4 5) A 15-foot front setback shall be maintained on Lot 11. If the front setback requirement cannot be met, the size of the structure shall be reduced. The 15-foot setback shall not cause encroachment into the dripline of the two oak trees on the west side of the building envelope.
- 5 6) The building site for Lot 5 and Lot 14 shall be adjusted such that a home site may be developed that is off the centerline of the drainage swale.

B. **Arborist's Report:** The report shall evaluate the impacts of development plans, including improvement plans for drainage and utilities, on trees with circumference of 30-inches or more, 4 1/2 feet above the ground. In addition, the report shall consider the future impact of building envelopes on the trees. The report shall recommend the reduction of the size of building envelopes if necessary to preserve trees. The recommendations shall not include the reorientation of the building envelopes.

C. **Tree Preservation/Protection Plan** The plan, which shall be prepared with the assistance of a certified arborist or licensed landscape architect, shall list all trees designated for removal and their respective and aggregate trunk circumferences.

For tree
restitution COA

The plan shall provide for replacement of trees approved for removal at a ratio of three 15-gallon trees for every 20-inches of aggregate circumference of trees proposed for removal. Replacement tree shall consist of species that are naturally indigenous to the Bay Area and the project site. The approved replacement trees shall be planted prior to the completion of subdivision improvements.

The tree preservation plan shall provide delineation of the perimeter of areas of trees to be preserved by the use of taping and stakes, or other appropriate barriers. These barriers shall be installed prior to the commencement of any development activity. The plan shall also incorporate additional tree protection measures for the construction stage.

- D. Street Light Plan The street light plan shall address all streets within the project site. Ornamental light standards are encouraged. Lights shall be limited to low profile standards.
- E. Design Level Geotechnical Study. Two copies of the geotechnical study which addresses all of the related conditions herein must be submitted. The study must include recommendations to ensure adequate maintenance of site improvements.
- F. Revised Architectural Design Guidelines. The revised document shall include text and graphics based on the revisions to the site plan and the conditions herein.
- G. Retaining Wall Designs: The submittal shall identify the location and dimensions for all retaining walls, and shall include proposed colors and materials.
- H. Building Envelope Description/Scenic Easement: This submittal shall consist of a metes and bounds description for each building envelope and a certification from a licensed civil engineer that the description accurately reflects the location of the building envelopes based on the February 6, 1995 revised tentative map as amended by the conditions herein.

The building envelopes and the scenic easement shall be shown on the Final Map.

- 5. At least 45 days prior to the filing of the Final Map or the issuance of grading permits or the submittal of improvement plans for drainage or utility, the applicant shall submit to the Zoning Administrator for review and approval a design level geotechnical report prepared by a geotechnical engineer and engineering geologist. The report shall address the following:
 - A. Design specifications for the debris flow barrier and designs for site grading for Lot 5.
 - B. Recommendations for a revised location for the home site for Lot 14 such that the residence would be moved off the centerline of the drainage swale.

- C. A slope designs for Lot 13 at a 3:1 gradient unless a 2 ½:1 gradient is found acceptable based on the geotechnical investigation approved by the Zoning Administrator.
 - D. Design specifications for the debris flow barrier and designs for site drainage for Lot 14.
6. At least 30 days prior to the issuance of building or grading permits or any on-site construction, the applicant shall post a cash bond (or other acceptable surety) to assure the protection of the existing trees located in the vicinity of the areas of the site where construction will occur. Prior to posting the bond, a licensed arborist shall assess the value of the trees in reasonable compensatory terms in the event that a tree to be preserved is destroyed or otherwise damaged by subdivision related activities. The term of the bond shall extend at least 36 months beyond the completion of the subdivision improvements. The tree-bonding program shall be subject to the review and approval of the Zoning Administrator.

Construction Requirements

7. To avoid unnecessary scaring of hillsides, haul routes for grading activities shall generally be limited to those areas of the site, which are proposed to be graded. The grading/tree preservation plan shall provide a delineation of the perimeter of areas and trees to be preserved by the use of taping and stakes, or other appropriate barriers. These barriers shall be installed prior to the commencement of grading activities.
8. The applicant shall retain the geotechnical engineer and engineering geologist (who prepared the design level geotechnical report) during the construction phase to ensure that the conditions are as anticipated and to recommend appropriate changes based on site conditions. The geotechnical engineer and engineering geologist shall submit to the Zoning Administrator a letter summarizing the results of the observation.

Add to COAs

9. A. Should archaeological materials be uncovered during grading, trenching or other on-site excavation(s), earthwork within 30 yards of these materials shall be stopped until a professional archaeologist who is certified by the Society of Professional Archaeology (SOFA) has had an opportunity to evaluate the significance of the find and suggest appropriate mitigation(s), if deemed necessary.
- B. If any significant cultural materials such as artifacts, human burials, or the like are encountered during construction operations, such operations shall cease within 10 feet of the find, the Community Development Department shall be notified within 24-hours and a qualified archaeologist contacted and retained for further recommendations. Significant cultural materials include, but not limited to aboriginal human remains, chipped stone, ground stone, shell and bone artifacts, concentrations of fire cracked rock, ash, charcoal, shell, bone, and historic features such as privies or building foundations.

- C. In the event of discovery or recognition of any human remains on the site, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of Contra Costa County has been contacted, per Section 7050.5 of the California Health and Safety Code.
- D. Appropriate mitigation of the cultural resources may include monitoring of further construction and/or systematic excavation of the resources. Any artifacts or samples collected as part of the initial discovery, monitoring or mitigation phases shall be properly conserved, catalogued, analyzed, evaluated and crated along with association documentation in a professional manner consistent with current archaeological standards.

10. Comply with the following construction, noise, dust and litter control requirements:

- A. Noise generating construction activities, including such things as power generators, shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and shall be prohibited on State and Federal holidays. The restrictions on allowed working days may be modified on prior written approval by the Zoning Administrator.
- B. The project sponsor shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors and concrete pumps as far away from existing residences as possible.
- C. At least one week prior to commencement of grading, the applicant shall post the site and mail to the owners of property within 300-feet of the exterior boundary of the project site notice that construction work will commence. The notice shall include a list of contact persons with name, title, phone number and area of responsibility. The person responsible for maintaining the list shall be included. The list shall be kept current at all times and shall consist of persons with authority to indicate and implement corrective action in their area of responsibility. The names of the individual responsible for noise and litter control shall be expressly identified in the notice. The notice shall be reissued with each phase of major grading activity.

A copy of the notice shall be concurrently transmitted to the community Development Department. The notice shall be accompanied by a list of the names and addresses of the property owners noticed, and a map identifying the area noticed.
- D. A dust and litter control program shall be submitted for the review and approval of the Zoning Administrator. Any violation of the approved program or applicable ordinances shall require an immediate work stoppage. Construction work shall not be allowed to resume until, if necessary, an appropriate construction bond has been posted.
- E. The applicant shall make a good-faith effort to avoid interference with existing neighborhood traffic flows. Prior to issuance of building permits, the proposed roads serving this development shall be constructed to provide access to each lot. This shall include provision for an on-site area in which to park earthmoving equipment.

Add to COAs

Residential Design and Construction

11. Development of all lots shall conform to the following requirements:

A. Development shall conform to the approved Architectural Design Guidelines.

B. At least 30 days prior to the issuance of building or grading permits, proposed residential designs shall be submitted to the Zoning Administrator for review and approval and to the Alamo Improvement Association for review and comment. The submittal shall include the site plan, a grading plan, tree preservation plan, an arborist report, structural elevations, floor plans and a sample palette of exterior colors and materials. Certification from a licensed civil engineer verifying that the structure(s) are located within the approved building envelope must also be submitted. The Zoning Administrator may require the submittal of a visual analysis in order to confirm compliance with the conditions herein.

Architectural review of design development level drawings is to be conducted for each lot by the Zoning Administrator in a noticed public hearing. The applicants will provide for each such review including drawings to the Alamo Improvement Association via the Association's monthly meeting prior to the Zoning Administrator hearing.

C. Tennis courts, pool and associated equipment, patios and decks not higher than 18 inches above natural grade are allowed in the area that is outside of the building envelopes and outside of the scenic easement areas.

D. The structural height limits on all lots within the subdivision shall be 29 feet, except as provided for Lots 7, 8, and 9 in Condition #12.G.7. below.

E. All structures shall be within the final approved building envelopes including:

- 1) Accessory and ancillary structures (including pool cabanas, arbors, etc.). However, an exception to this restriction is allowed on Lots 7 and 8 as provided in Condition #12.G.22. below.
- 2) Decking higher than 3 feet above grade.
- 3) Retaining walls higher than 3 feet.
- 4) All combinations or series of retaining walls/deck edges which are within 30 feet of each other and which are cumulatively over 3-feet in height.

F. No decking shall be allowed at top of a slope or extending downhill on a slope when outside of the building envelope.

G. All buildings shall be located outside of the tree driplines unless otherwise noted (Reference special provision for Lots 2 and 3).

H. Restrictions on Exterior Lighting – All exterior lighting shall conform to County requirements for Land Use Permits under Ordinance Code Section 84-4.404, Item #13, as follows:

12.G.21: ancillary structures on lots 7 & 8 can be outside building envelope but subject to design review.

Per RH this includes decks and retaining walls

“The installation of exterior lighting at a height of seven (7) feet or more above the finished grade of the parcel, except exterior light placed upon the single family residence”

shall be required to have the review and approval of a Land Use Permit pursuant to the County Code.

See also 11.B
materials & color
board

I. Exterior wall and roof colors and materials shall utilize medium to dark earth-tone colors, defined as those having less than 50% light reflectance. A licensed architect shall certify submitted elevations with this requirement.

J. Construction on individual lots shall conform to the R-20 zoning district standards except as modified by the approved Architectural Design Guidelines and by the conditions herein.

Residential Design and Construction

12. At least 45 days prior to the filing of the Final Map, the issuance of grading permits, the submittal of improvement plans, or any construction on the site, the applicant shall submit to the Zoning Administrator for review and approval the revised Architectural Design Guidelines. The Guidelines shall include text and graphics which includes changes/additions based on the revisions to the site plan and the other conditions herein and shall:
- A. Require residential building plans to incorporate storage areas for the storage of recyclable materials;
 - B. Require water conservation measures to be used for landscaping consistent with County Ordinance Code Chapter 82-6;
 - C. Require water conservation devices to be incorporated in residential designs.
 - D. Require all residences to be equipped with residential sprinklers and have fire retardant roofs unless specifically recommended otherwise by the San Ramon Valley Fire Protection District;
 - E. Require each residence to have an electrical outlet installed in the garage, which is designed to dedicate for future use in recharging electrical vehicles;
 - F. Inform residence/builders that the building requirements contained in the guidelines are standards, which shall be used by the County in the issuance of any necessary permits;
 - G. Include the following changes to the Guidelines:
 - 1) Lot 1 Residential Design Standards - Limit the northern 15-foot portion of the structure to a height of 25 feet with the remainder of the house to not exceed 29 feet. Architectural features (such as second story setbacks, reduced height, and staggered facades on both the front and rear elevations) shall be incorporated into the design of the structure to reduce a large massing appearance.

- 2) A step-up design towards the north shall be used for Lot 2 as shown on the architectural renderings submitted for Lot 1 as part of the application.
- 3) The building height on Lot 4 shall not exceed 29 feet and the building envelope shall be as shown on the plans modified December 13, 2001.
- 4) The front yard setback for Lot 5 shall be 25-feet from the edge of the road pavement. The residence shall be a step-up design to conform with the site topography.

Elevations/Floor Plans

- 5) The design of the residential structures for Lots 6 through 8 and Lots 11 through 14 shall use architectural features (e.g., second story setbacks, reduced height, staggered frontage) to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15 foot front setback.

- 6) The building height for the residence on Lot 6 shall be limited to 29-feet above the existing grade.

35-feet okay, measure from natural/engineered grade

- 7) The development of Lots 7, 8, and 9 in terms of its height shall conform to the R-20 zoning district standards of 35-feet.

- 8) The maximum building height for Lots 11 and 12 shall be 29-feet.

- 9) The building pad for Lot 10 shall be recessed slightly to lower the roofline of the residence. The designs of the residence for this lot shall ensure that the visibility from properties to the east is minimized.

- 10) The height of residential structure on Lot 14 shall not exceed 29 feet.

11) Lot 1 Development Requirements

- a. Grading Limitations – Grading on Lot 1 shall be limited to the building envelope approved by the VTM. Any grading outside the building area will require approval by the Zoning Administrator.
- b. Residential Design – Limit the northern 15-foot portion of the structure to a height of 25 feet with the remainder of the house to not exceed 29 feet. Architectural features (such as second story setbacks, reduced height, and staggered facades on both the front and rear elevations) shall be incorporated into the design of the structure to reduce a large massing appearance. The design of the residential structure for Lot 1 shall use architectural features (e.g., second story setbacks, reduced height, staggered facades on both the front and rear elevations), to prevent a large massing appearance.

12) Lot 3 Development Requirements

- a. Maximum Structure Height and Residential Design - The maximum building height for Lot 3 shall not exceed 29 feet. The design shall

incorporate architectural features, e.g., second story setbacks, reduced height and staggered facades on both the front and rear elevations, to prevent a large massing appearance.

b) Report by Arborist on Impact of Development on Existing Tree - An arborist report shall be required prior to the issuance of a building permit for a structure on Lot 3. The arborist report will evaluate the health of the oak tree on the northwest corner of the building envelope and the oak tree located down slope of the eastern edge. If the report shows that the health of this latter tree is compromised, the structure shall be redesigned or placed outside of the drip line.

c. Development plans shall be accompanied by a proposed landscape plan for the review and approval of the Zoning Administrator. The plans shall provide for substantial planting improvements intended to screen and minimize the visual bulk of the structure on this lot.

13) Maximum Building Envelope Area – Lot 5 – The building envelope for Lot 5 shall be no greater than 8,000 square feet. The building envelope shall also be placed so as to observe a minimum 25-foot setback from the edge of road right-of-way. The area of the building envelope shall be verified by the applicant prior to filing a final map.

14) Lots 7 & 8 Development Requirements

~~e. Relocation of Lot 7 – The westerly edge of the building envelope on Lot 7 shall be set back an additional 10 feet to comply with Condition 4.A.5 of the original approval.~~

~~d a) Restriction on Placement of Accessory Structures on Lots 7 or 8 – Future accessory structures on Lot 7-8 shall not extend beyond the 747-foot contour nor extend under the oak tree drip line.~~

~~e- b) Prohibition on Placement of Structure within Drip line of Existing Trees – No structure on Lot 7-8 shall encroach under the drip line of trees #54 and #44 on Lot 7-8.~~

Deviation for tree #54 and oak tree drip lines?

15) Maximum Building Height for Lot 10 – The maximum building height for Lot 10 shall not exceed 29 feet.

16) Lot 12 Setback – The minimum front setback on Lot 12 shall be 15 feet.

17) Maximum Building Height on Lot 13 – The building height on Lot 13 shall not exceed 29 feet.

18) Soil Stability Study for Lot 14 – Technical studies shall be conducted for Lot 14 to demonstrate that the potential for differential settlement is controlled within acceptable limits. Surface drainage shall be directed away from the building site.

19) Design Review Requirement – Each house and accessory structure shall be subject to design review prior to the issuance of a building permit. Design review shall address the massing, height, setbacks, architectural features, color palette and exterior building materials to minimize visual impact. Photo simulations for each house will be required with the design review submittal.

20) Design of Elevations – Unless otherwise specified in these conditions, elevations shown on Exhibit A (Building Envelopes, Subdivision 7744, Submitted September 13, 2001) shall remain as shown on the plans.

21) Placement of Structures – All structures must be within the final approved building envelopes including accessory and ancillary structures including pool cabanas, arbors, etc., on Lots 1 through 6, and Lots 9 through 14. However, Lots 7 and 8 shall not be subject to that ancillary structures limitation, though such structures will be subject to Design Review requirements and the review process.

13. Development of lots shall conform to the following requirements:

A. Prior to the issuance of building permits for the construction of a residence or an accessory structure on Lots 4, 5, 6, and 7, a copy of the building designs including exterior colors shall be submitted to the Stonegate Homeowners Association and the Fair Oaks Homeowners Association so that they will have an opportunity to comment on the designs prior to the Zoning Administrator's decision. The building designs for Lot 7 do not require the review of the Fair Oaks Homeowners Association.

B. The development of Lot 2 must be designed and constructed such that the 40" diameter the 36" diameter, and the 24" diameter oak trees are protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the trees will be protected.

C. The development of Lot 12 must be designed and constructed such that the 32" diameter oak tree is protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the tree will be protected.

D. The 4-foot high retaining wall on Lot 5 is allowed as shown on the map dated "Received Contra Costa County Community Development Department May 2, 1995."

E. At least 30 days prior to the issuance of building permits for residential structures which may be visible from off the subdivision site, the applicant shall submit to the Zoning Administrator for review and approval a landscaping plan and evidence that the structure will not be visible when viewed from off the subdivision site at equal or lower elevations when the landscaping reaches maturity. The information submitted must also show that the visibility of the structure(s) from higher elevations have been minimized to the extent feasible. The Landscaping Plan shall include 15-gallon size Indigenous trees. Prior to the Zoning Administrator's decision, the applicant shall ensure that the Alamo Improvement Association has been given the opportunity to review and comment on the landscaping plans. Any comments from the Alamo Improvement Association shall be submitted to the Zoning Administrator along with the Landscaping Plan.

14. At least 30 days prior to the issuance of building permits for the construction of individual residences, a site specific geotechnical report which evaluates the building plans must be submitted for the review and approval of the Zoning Administrator.

15. Prior to the issuance of grading permits or building permits for the construction of individual residences, the applicant shall submit a grading/tree preservation plan applicable to the construction on the individual site. The preservation plan shall provide a delineation of the perimeter of the areas of trees to be preserved by the use of taping and stakes or other appropriate barriers. These barriers shall be installed prior to the commencement of grading activity.

construction
material
storage

Storage of construction materials during individual house construction is subject to prior review and approval of the Zoning Administrator following an opportunity for the Alamo Improvement Association to review and comment on any such placement of materials.

Development is subject to the requirements of the Tree Protection and Preservation Ordinance, including any pertinent ordinance or related tree permit requirements associated with the performance of construction work within the drip line of a protected tree.

16. At least 30 days prior to the issuance of building or grading permits for the construction of individual residences, the applicant shall post a cash bond (or other acceptable surety) to ensure the protection of existing trees located in the area of the site where construction will occur. Prior to the posting of bond, a licensed arborist shall assess the value of the trees in reasonable compensatory terms in the event that a tree to be preserved is destroyed or otherwise damaged by residential development activities. The term of the bond shall extend for 24 months beyond the completion of the residence.

The tree bond program shall be subject to the review and approval of the Zoning Administrator. The Zoning Administrator had the authority to waive this requirement should he/she determine that residential construction on the site would not adversely impact trees.

Fencing

17. A. Prior to the filing of the final map, open wire (3-inch maximum diameter) and post fencing shall be installed along the east borders of the site to separate livestock and domestic animals.

B. No fencing is allowed within the scenic easement area. Fencing to the rear of the building sites for Lots 4 through 13, and to the west of the building sites for Lots 1 through 3 shall generally be limited to open wire construction with 6-foot or greater centers. Alternate fencing may be allowed upon the approval of the Zoning Administrator.

Fencing at rear
of bldg sites

Scenic Easement Area

18. Prior to the filing of the final map, the applicant shall submit to the Zoning Administrator for review and approval, the final text of the conservation easement, which shall include the following requirements:

- A. The easement shall provide that no tree shall be altered or removed without the prior written consent of the Zoning Administrator. The Zoning Administrator may allow the removal of trees upon the finding that the tree may be hazardous or may jeopardize the health of surrounding trees.
- B. The easement shall specify that no grading or development activity may occur within the easement area except as provided in Condition #18.C. herein. In addition, the erection of structures including, but not limited to buildings (regardless of whether a building permit is required), pools and tennis courts will be prohibited. Grazing will also be prohibited within the easement area.
- C. Minor grading is allowed within the easement area necessary to install utilities and drainage. The disturbed area shall be immediately returned to its previous appearance.
- D. All original scenic easements (as depicted on the approved 1995 vesting tentative map) shall be maintained.
- E. Provision for scenic easement areas on the final map shall be consistent with the original site plans as modified by the revised plans, including the exhibits attached to the AIA 12/14/01 letter, and as modified by this permit.
- F. Scenic easements are to be defined and development rights granted to the County such that no permanent or temporary alteration is permitted within the easement area unless approved in writing by the County after a hearing before the Board of Supervisors.

Other Requirements

- 19. Concurrent with or prior to recording the final map, the applicant shall record a statement to run with the deeds, which identifies that the site is subject to Architectural Design Guidelines, and must be consistent with the Guidelines and the Conditions herein. In addition, the metes and bounds description of the building envelopes for each lot and the requirement herein regarding development restrictions shall be included. Prior to recording the deed notification, the applicant shall submit to the Zoning Administrator for review and approved the text of the deed notification.
- 20. A phasing program may be submitted for the review and approval of the Zoning Administrator. Request for phasing must be accompanied by the appropriate review fee.
- 21. The owner of the property shall participate in the provision of funding to maintain and augment police services by voting to approve a special tax for the parcels created by this subdivision action. The tax shall be the per parcel annual amount (with appropriate future CPI adjustment) then established at the time of voting by the Board of Supervisors. The election to provide for the tax shall be completed prior to the filing of the Parcel Map. The property owner shall be responsible for paying the cost of holding the election, payable at the time that the election is requested by the owner.
- 22. Pursuant to Government Code Section 66474.9, the applicant (including the subdivider or any

agent thereof) shall defend, indemnify, and hold harmless the Contra Costa County Planning Agency and its agents, officers, and employees from any claim, action, or proceeding against the Agency (the County) or its agents, officers, or employees to attack, set aside, void, or annul, the Agency's approval concerning this subdivision map application, which action is brought within the time period provided for in Section 6649-9.37. The County will promptly notify the subdivider of any such claim, action, or proceeding and cooperate fully in the defense.

23. The applicant shall show proof that water and sewage service is available and that any necessary boundary changes have been approved prior to recording the Final Map.
24. At least 30 days prior to filing the Final Map, plans shall be submitted for review by the Community Development Department, Graphics Section, to obtain addresses and for street name approval (public and private). Alternate street names should be submitted in the event of duplication and to avoid similarity with existing street names. The Final Map cannot be certified by the Community Development Department without the approved street names and the assignment of street addresses.
25. Record a statement to run with the deeds to the property acknowledging the approved Geotechnical Report by title, author (firm), and date, calling attention to approved recommendations, and noting that the reports are available from the Community Development Department.
26. Prior to the submittal of the final map, the applicant shall submit to the Zoning Administrator for review and approval verification that the undocumented fill of Lot 5 has been removed and replaced consistent with the recommendations of an approved geotechnical investigation.
27. The applicant shall provide to prospective buyers written notice regarding the restrictions on the use of the property including the requirements for building within the approved envelopes. A copy of these conditions and the approved Design Guidelines shall also be provided.

Road and Drainage

28. A. General Requirements:
 - 1) This development shall conform to the requirements of Division 914 (Drainage) of the Subdivision Ordinance. The following requirements must conform with Division 914:
 - a. Drainage, road and utility improvements shall require the review and approval of the Public Works Department. This development shall comply with the requirements of (Title 9) and (Title 10) of the County Ordinance Code. Any exceptions there from must be specifically listed in this conditional approval statement.
 - b. The drainage, road and utility improvements outlined below shall require the review and approval of the Public Works Department and are based on the revised plan dated October, 1994.

- 2) Improvement plans prepared by a registered civil engineer shall be submitted to the Public Works Department, Engineering Services Division, along with review and inspection fees, and security for all improvements required by the Ordinance Code for the conditions of approval of this subdivision. These plans shall include any necessary traffic signage and striping plans for review by the Transportation Engineering Division.

B. Public Roadway Improvements (Frontage):

Applicant shall construct a turnaround at the terminus of Las Quebradas Lane to County public road standards, and shall convey to the County, by Offer of Dedication, the corresponding right of way.

C. Access to Adjoining Property:

- 1) Applicant shall furnish proof to the Public Works Department, Engineering Services Division, of the acquisition of all necessary rights of way, rights of entry, permits and/or easements for the construction of off-site, temporary or permanent, road and drainage improvements.
- 2) If, after good faith negotiations, the applicant is unable to acquire necessary rights of way or easements, he/she shall enter into an agreement with the County to complete the necessary improvements at such time as the County acquires the necessary interests in accordance with Section 66462 and Section 66462.5 of the Subdivision Map Act at the sole cost of the applicant.

D. Public Roadway Improvements (Off-site):

Construct Las Queradas Lane from the project site to Oakraider Drive as a 32-foot public road (curb to curb) within a 52-foot right of way width, and convey to the County, by Offer of Dedication, the corresponding right of way.

E. Private Roads:

- 1) Applicant shall construct to County private road standards a 20-foot paved private roadway with 2-foot compacted shoulders within at least a 30-foot easement, to serve all parcels in this proposed subdivision. No portion of the private road shall be allowed to exceed 10 percent in grade.

An exception to the maximum grade, because of topographical constraints in hillside areas, environmentally sensitive areas, significantly sized trees or groups of trees, or other physical constraints, shall be considered on the basis of relevant evidence submitted by the developer. The maximum grade of a road may be increased to 20%. The sections of roadway over 16% shall be limited to a length of 300 feet within each 1,000 foot length of roadway. Special pavement surfacing, such as grooved concrete or open graded asphalt, may be required on road grades steeper than 16%.

The private road serving Lots 1 and 2 may be reduced to a 16-foot pavement width subject to the review of the fire district and the Public Works Department,

and the review and approval of the Zoning Administrator. The applicant shall construct a two foot Class II base rock shoulder along the side of the road which does not have curb and gutter.

- 2) Applicant shall construct a turnaround at the end of the proposed private road.
- 3) Applicant shall develop and enter into a maintenance agreement that will insure that the proposed private road will be maintained and that each property that uses the proposed private road will share in its maintenance.
- 4) **The residential units shall have at least six off-street parking spaces per unit.**

F. Road Dedications:

Applicant shall convey to the County, by Offer of Dedication, the right of way necessary for the planned future width of 52 feet along Las Queradas Lane.

G. Street Lights :

There is no requirement for street lighting on the private roads. To the extent that lighting is installed on the private roads, they shall be of a low level. To the extent that street lights are installed on Las Quebradas Lane and to the extent that the property is annexed to County Service Area L-100 for maintenance of the lighting, the lighting which shall be placed on that road shall be consistent with any lighting on the private roads, if any. To the extent that there are no lights on the private road, then the level of lighting required by the Public Works Department shall be of as low a level as is humanly possible to minimize the visual impacts of that lighting.

H. Utilities / Undergrounding

All utility distribution facilities shall be installed underground.

I Drainage Improvements

- 1) Division 914 of the Ordinance Code requires that all storm waters entering or originating within the subject property shall be conveyed, without diversion and within an adequate storm drainage facility, to a natural watercourse having definable bed and banks, or to an existing adequate public storm drainage facility which conveys the storm waters to a natural watercourse.
- 2) Applicant shall verify that the existing storm drain system on Las Queradas Lane is adequate to convey the required design storm (based on the size of the watershed) and, if necessary, shall construct improvements to guarantee adequacy.
- 3) The applicant shall install within a dedicated drainage easement any portion of the drainage system which conveys run-off from public streets.
- 4) Storm drainage originating on the property and conveyed in a concentrated

manner shall be prevented from draining across the driveways.

- 5) To reduce the impact of additional storm water run-off from this development on Miranda Creek, one cubic yard of channel excavation material will be removed from the inadequate portion of Miranda Creek for each 50 square feet of new impervious surface area created by the development. All excavated material shall be disposed of off-site by the developer at his cost. The site selection, land rights, and construction staking will be by the Flood Control District.

Upon written request, the applicant may make a cash payment in lieu of actual excavation and removal of material from the creek. The cash payment will be calculated at the rate of \$0.10 per square foot of new impervious surface area created by the development. The added impervious surface area created by the development will be based on the Flood Control District's standard impervious surface area ordinance. The Flood Control District will use these funds to work on the creek annually.

- 6) To reduce the impact of additional storm water run-off from this development on San Ramon Creek, one cubic yard of channel excavation material will be removed from the inadequate portion of San Ramon Creek for each 50 square feet of new impervious surface area created by the development. All excavated material shall be disposed of off-site by the developer at his cost. The site selection, land rights, and construction staking will be by the Flood Control District.

Upon written request, the applicant may make a cash payment in lieu of actual excavation and removal of material from the creek. The cash payment will be calculated at the rate of \$0.10 per square foot of new impervious surface area created by the development. The added impervious surface area created by the development will be based on the Flood Control District's standard impervious surface area ordinance. The Flood Control District will use these funds to work on the creek annually.

- 7) Although drainage facilities have been shown on the Vesting Tentative Map, they have not been reviewed for adequacy. The applicant will be required to design the drainage improvements in compliance with Title 9 of the Ordinance Code.

J. Creek Structure Setbacks:

The applicant shall relinquish "development rights" over that portion of the site that is within the structure setback area of Miranda Creek based on the criteria outlined in Chapter 914-14, "Rights of Way and Setbacks", of the Subdivision Ordinance. The structure setback area may be reduced subject to the review of the Public Works Department, Engineering Services Division, and the review and approval of the Zoning Administrator, based on a hydrology and hydraulic study and geotechnical analysis of the soil which shows that the creek banks will be stable and non-erosive with the anticipated creek flows. The hydrology and hydraulic study shall be based upon the ultimate development of the watershed.

ADVISORY NOTES

PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL, ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.

- A. The applicant/owner should be aware of the renewing requirements prior to recording the Final Map or requesting building or grading permits.
- B. Applicant shall comply with the Park Dedication Fee Ordinance.
- C. Comply with the requirements of the Central Contra Costa Sanitary District (please refer to the District's August 19, 1994 letter).
- D. Comply with the requirements of the San Ramon Valley Fire Protection District (please refer to the District's August 18, 1994).
- E. Comply with the requirements of the Health Services Department, Environmental Health Division.
- F. Comply with the requirements of the Building Inspection Department. Building permits are required prior to the construction of most structures.
- G. This project may be subject to the requirements of the Department of Fish & Game. The applicant should notify the Department of Fish & Game, P.O. Box 47, Yountville, California 94599, of any proposed construction within the development that may affect and fish and wildlife, resources, per the Fish and Game Code.
- H. The applicant will be required to pay an environmental review fee of \$1,250.00 for the Department of Fish and Game at the end of the appeal period. Failure to do so will result in fines. In addition, the approval is not final or vested until the fee is paid. A check for this fee shall be submitted to Contra Costa County for submittal with the final environmental documents.

The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors.

- J. The applicant shall be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors.
- K. The applicant will be required to comply with all rules, regulations and procedures of the National Pollutant Discharge Elimination System (NPDES) permit for municipal, construction and industrial activities as promulgated by the California State Water Resources Control Board or any of its Regional Water Quality Control Boards (San Francisco Bay-Regional II or Central Valley-Region V).

- L. Vesting Tentative Map Rights - This project is subject to the development fees and regulations in effect under County Ordinance as of February 6, 1995, the date the vesting tentative map application was accepted as complete by the Community Development Department. These fees are in addition to any other development fees which may be specified in the conditions of approval.

An estimate of the fee charges for each approved lot may be obtained by contacting the Building Inspection Department at 335-1360.

- M. The applicant is advised that the tax for the police services district is currently set by the Board of Supervisors at \$200 per parcel annually (with appropriate future Consumer Price Index [CPI] adjustments). The annual fee is subject to modification by the Board of Supervisors in the future. The current fee for holding the election is \$800 and is also subject to modification in the future. The applicable tax and fee amounts will be those established by the Board at the time of voting. The applicant is advised that the election process takes from 3 to 4 months and must be completed prior to recording the Final or Parcel Map.

- N. Expiration of Vested Rights: Pursuant to Section 66452.6(g) of the Subdivision Map act, the rights conferred by the vesting tentative map as provided by Chapter 4.5 of the Subdivision Map act shall last for an initial period of two (2) years following the recording date of the Final Map. These rights pertain to development fees and regulations. Where several final maps are recorded on various phases of a project covered by a single vesting tentative map, the initial time period shall begin for each phase when the final map for that phase is recorded.

At any time prior to the expiration of the initial time period, the subdivider may apply for a one-year extension. The application shall be accompanied by the applicable filing fee. If the extension is denied by an advisory agency, the subdivider may appeal that denial to the Board of Supervisors by filing a letter of appeal with the appropriate filing fee with the Clerk of the Board within 15 calendar days.

The initial time period may also be subject to automatic extension pursuant to other provisions of Section 66452.6(g) relating to processing of related development applications by the County.

At the expiration of the vesting time period, remaining development (i.e., new building permits) within the subdivision shall be subject to development fees and regulations in effect at that time.

- O. **NOTICE OF 90-DAY OPPORTUNITY TO PROTEST FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.**

This notice is intended to advise the applicant the pursuant to Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a 90-day period after the project is approved.

The ninety- (90) day period, in which you may protest the amount of any fee or the imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code

Section 66020 and delivered to the Community Development Department within 90 days of the approval date of this permit.

- P. Supplemental Fees for Processing of FDP Amendment Application – This application is subject to an initial application processing fee of \$3000 which was paid with the application submittal, plus time and material costs if the application review expenses exceed 100% of the initial fee. Any additional fee due must be paid prior to exercise of this amended permit. The fees include costs through permit issuance plus five working days for file preparation. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.
- Q. Fee Processing of Permit Compliance Check – In accordance with the adopted Fee Ordinance Schedule, the applicant is responsible for all staff costs in the processing of the final map and related approvals. An initial fee deposit to the Community Development Department in accordance with the fee schedule is payable with the filing of the final map.

EZ/CK/aa
DPXV/301 5-93C.EZ
1/11/95
2/8/95
3/15/95 .SR (a)
5/2/95 .B/S (a)
RHD/kp
Rev. 3/6/2002
G:\curr-planning\curr-plan\staff reports\OLDCON 2-2

Rev. 3/8/02 – rd
Converted 6/10/2002 cm/rd
DP013061-staff report

JUNE 5, 2002
ALAMO 14

9993DESC LOT#07
JOB # 9993

EXHIBIT A

**LEGAL DESCRIPTION
BUILDING ENVELOPE AREA
LOT 7 TRACT 7744**

REAL PROPERTY SITUATE IN THE UNINCORPORATED AREA OF CONTRA COSTA COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A PORTION OF LOT 7 IS SHOWN ON AND SO DESIGNATED ON THE MAP OF SUBDIVISION 7744 FILED ON _____ IN BOOK ___ OF MAPS AT PAGE ___ IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 7;

THENCE NORTH 53°57'17" EAST, 34.00 FEET TO THE TRUE POINT OF BEGINNING FOR THIS DESCRIPTION;

THENCE NORTH 36°02'43" WEST, 2.73 FEET;

THENCE NORTHWESTERLY ALONG A CURVE TO THE LEFT OF RADIUS OF 148.18 FEET WITH A DELTA ANGLE OF 40°15'18", AND AN ARC DISTANCE OF 104.11 FEET;

THENCE NORTH 7°15'35" EAST, 35.09 FEET;

THENCE NORTH 79°38'59" EAST, 106.58 FEET;

THENCE NORTH 88°22'37" WEST, 36.70 FEET;

THENCE SOUTH 20°21'32" EAST, 28.77 FEET;

THENCE SOUTH 00°21'45" EAST, 18.50 FEET;

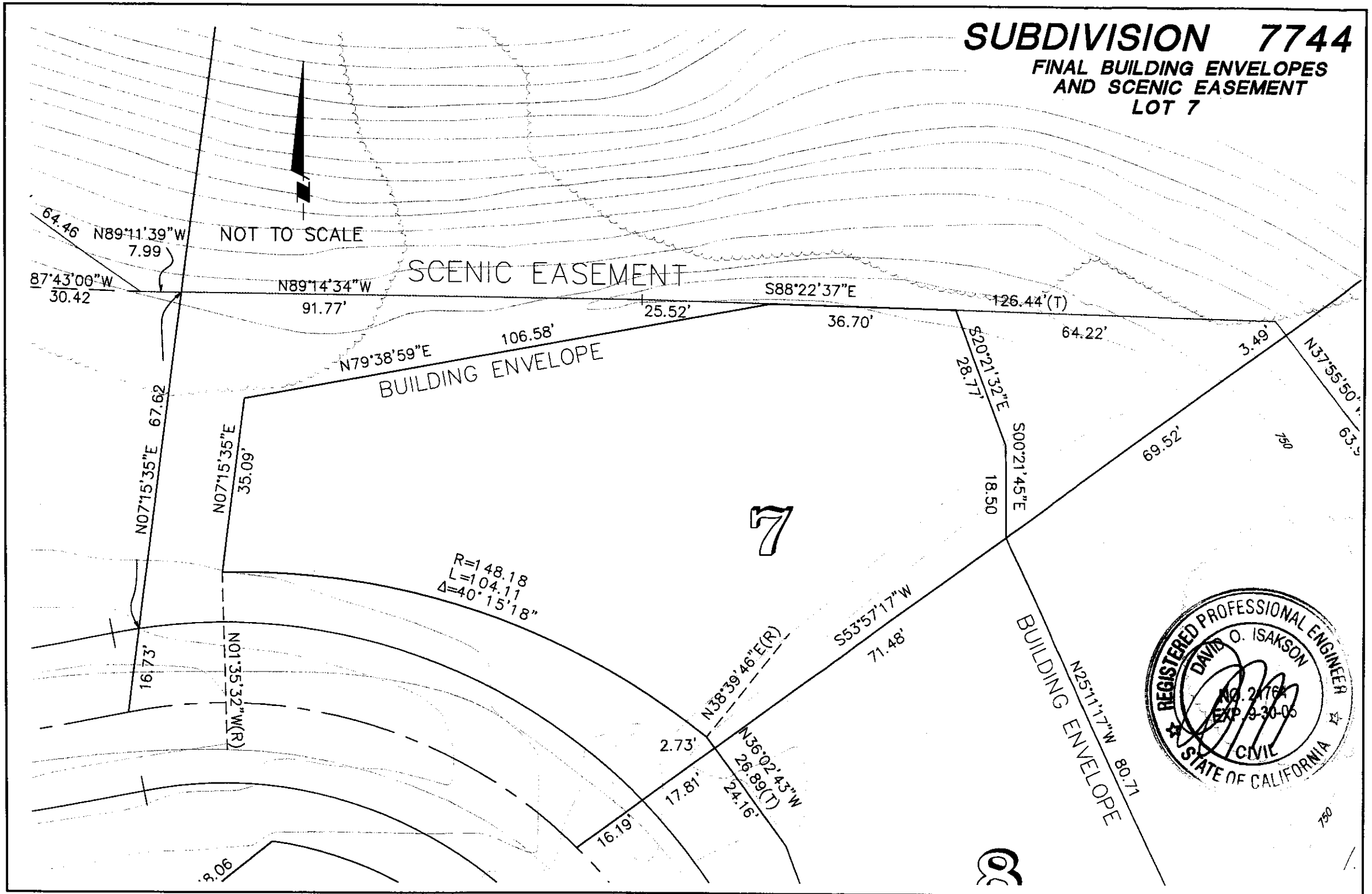
THENCE SOUTH 53°57'17" WEST, 71.48 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING FOR THIS DESCRIPTION, AND CONTAINING 8,875 SQUARE FEET OF LAND.

END OF DESCRIPTION



SUBDIVISION 7744

FINAL BUILDING ENVELOPES
AND SCENIC EASEMENT
LOT 7

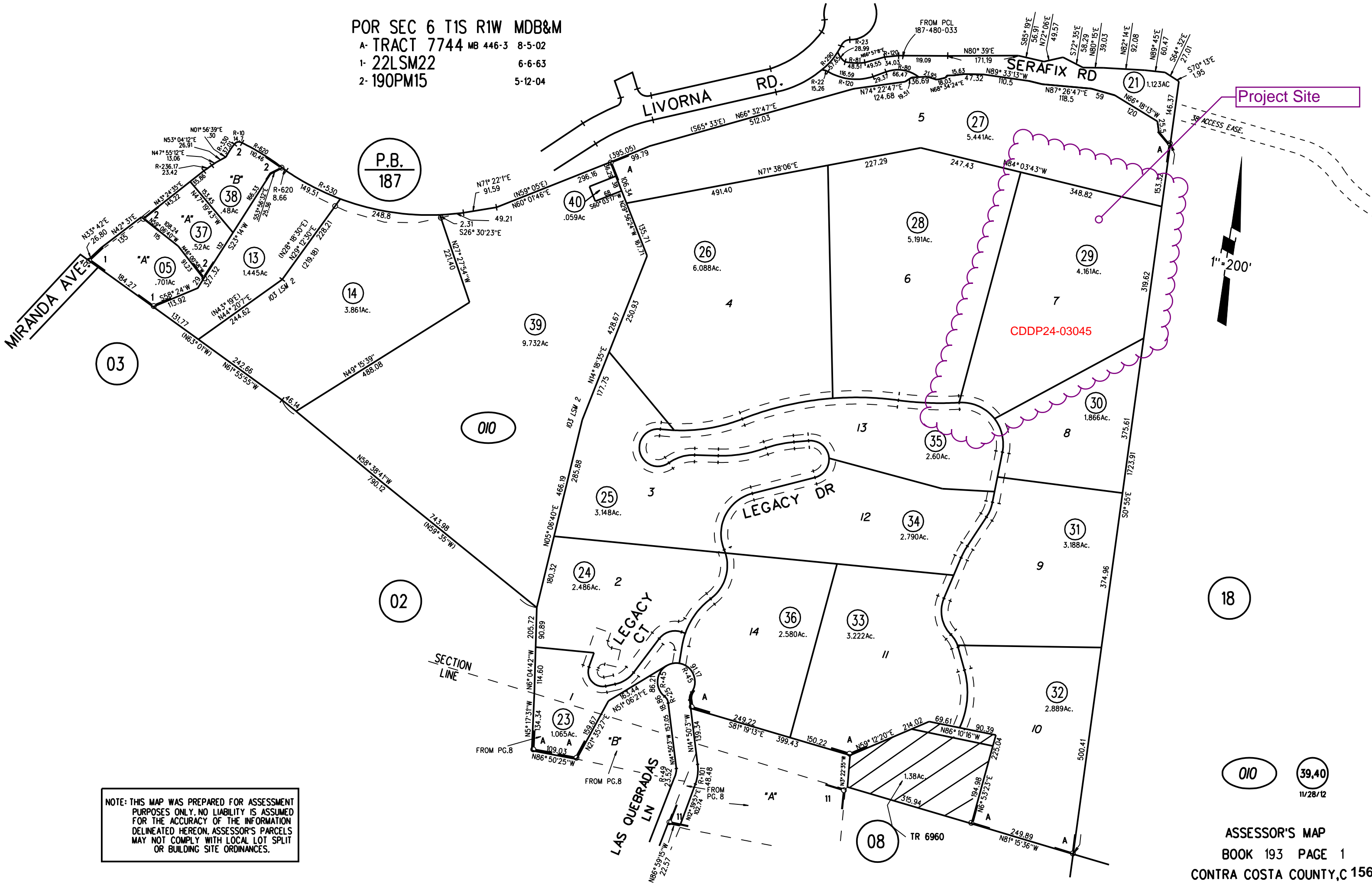


POR SEC 6 T1S R1W MDB&M

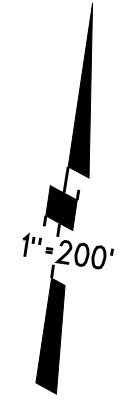
A- TRACT 7744 MB 446-3 8-5-02

1- 22LSM22 6-6-63

2- 190PM15 5-12-04



Project Site



CDDP24-03045

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON, ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

010 39.40
11/28/12

General Plan (11/05/2024): RVL, Residential Very Low; RC, Resource Conservation



Map Legend

- Assessment Parcels
- RVL (Residential Very-Low Density) (≤ 1 du/na)
- RC (Resource Conservation)
- Unincorporated
- Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only.
 Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR NAVIGATION.
 CCMMap is maintained by Contra Costa County Department of Information Technology, County GIS.
 Data layers contained within the CCMMap application are provided by various Contra Costa County Departments.
 Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984

Zoning: P-1



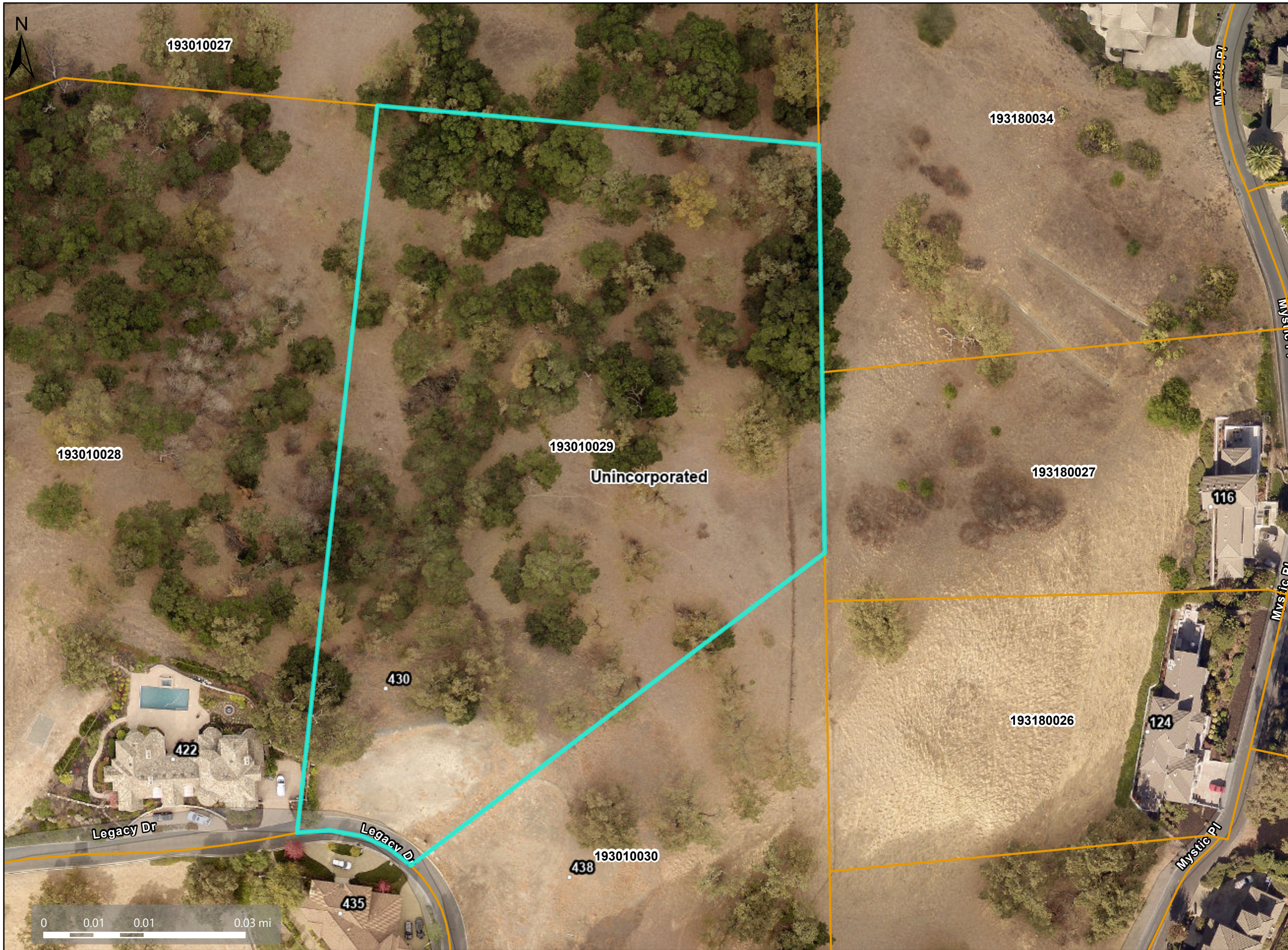
Map Legend

- Assessment Parcels
- Zoning
- ZONE_OVER
 - P-1 (Planned Unit)
 - Unincorporated
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
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Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Aerial View



Map Legend

- Assessment Parcels
- Unincorporated
- Address Points

Aerials 2019
RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984



San Ramon Valley Fire Protection District
Community Risk Reduction Division
2401 Crow Canyon Road, Suite A
San Ramon, CA 94583

phone: 925.838.6600 web: www.firedepartment.org

Thursday, November 14, 2024

Hello Syd Sotoodeh,

The Fire District has reviewed the Planning Application for the below noted address. Based upon the information provided, comments and requirements have been made as conditions of approval.

If during the course of the entitlement process the project changes, additional requirements may apply. Thank you for the opportunity to comment on the project. Please feel free to contact me directly with any questions or concerns.

PROJECT: CDDP24-03045
ADDRESS: 430 LEGACY DR (193010029)
APPLICATION TITLE: Planning and Site Development Review
PROJECT NUMBER: 1525879

Roy Wendel
Fire Marshal
rwendel@srvfire.ca.gov
925.838.6687

PLANNING

General Issues

1. Access

Roy Wendel
11/14/24 7:22 AM

Current requirements for water supply and Fire Department access will be applied at time of submittal for construction permits. Visit www.firedepartment.org/submitplans for the current Ordinance, Standards and Submittal Requirements.

2. Submit Plans

Roy Wendel
11/14/24 7:22 AM

Plan submittal required to the Fire District. Visit www.firedepartment.org/submitplans for information on submittal requirements.

3. Fire Flow

Roy Wendel
11/14/24 7:23 AM

This project is required to meet fire flow as defined in the CFC. Check with local water purveyor to ensure existing hydrants will meet required fire flow.

Minimum fire flow 1,125 GPM for 60 minutes.

November 21, 2024

Syd Sotoodeh
Project Planner
(925) 655-2877
syd.sotoodeh@dcd.cccounty.us

SUBJECT: 430 Legacy Dr., Alamo
APN: 193-010-029, Central San Response
Brief description of proposed project

Dear Syd Sotoodeh,

According to Central Contra Costa Sanitary District (Central San) records, the project site is within Central San's service area.

Development Information: *(Based on the information provided)*

- **Existing Use:** Vacant
- **Planned Project Description:** The applicant requests approval of a Development Plan Design Review to determine if a new 5,624-square-foot single-family residence with an attached 891-square-foot garage is consistent with the design guidelines of CDDP93-03015/CDSD93-07744. A tree permit to remove two (2) Blue Oak Trees (18" and 24" in DBH) is requested as part of this review.

Site-Specific Development Conditions:

- The applicant should promptly submit full-size improvement plans for Central San Permit staff to review and pay all applicable fees prior to receiving a building permit. For more information, the applicant should contact the Central San Permit Section at (925) 229-7371.

Sincerely,



Michelle Peon Del Valle
Engineering Assistant

PHONE: (925) 228-9500

FAX: (925) 228-4624

www.centrialsan.org

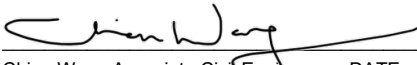
ROGER S. BAILEY
General Manager

J. LEAH CASTELLA
Counsel for the District

KATIE YOUNG
Secretary of the District



REVIEW OF AGENCY PLANNING APPLICATION

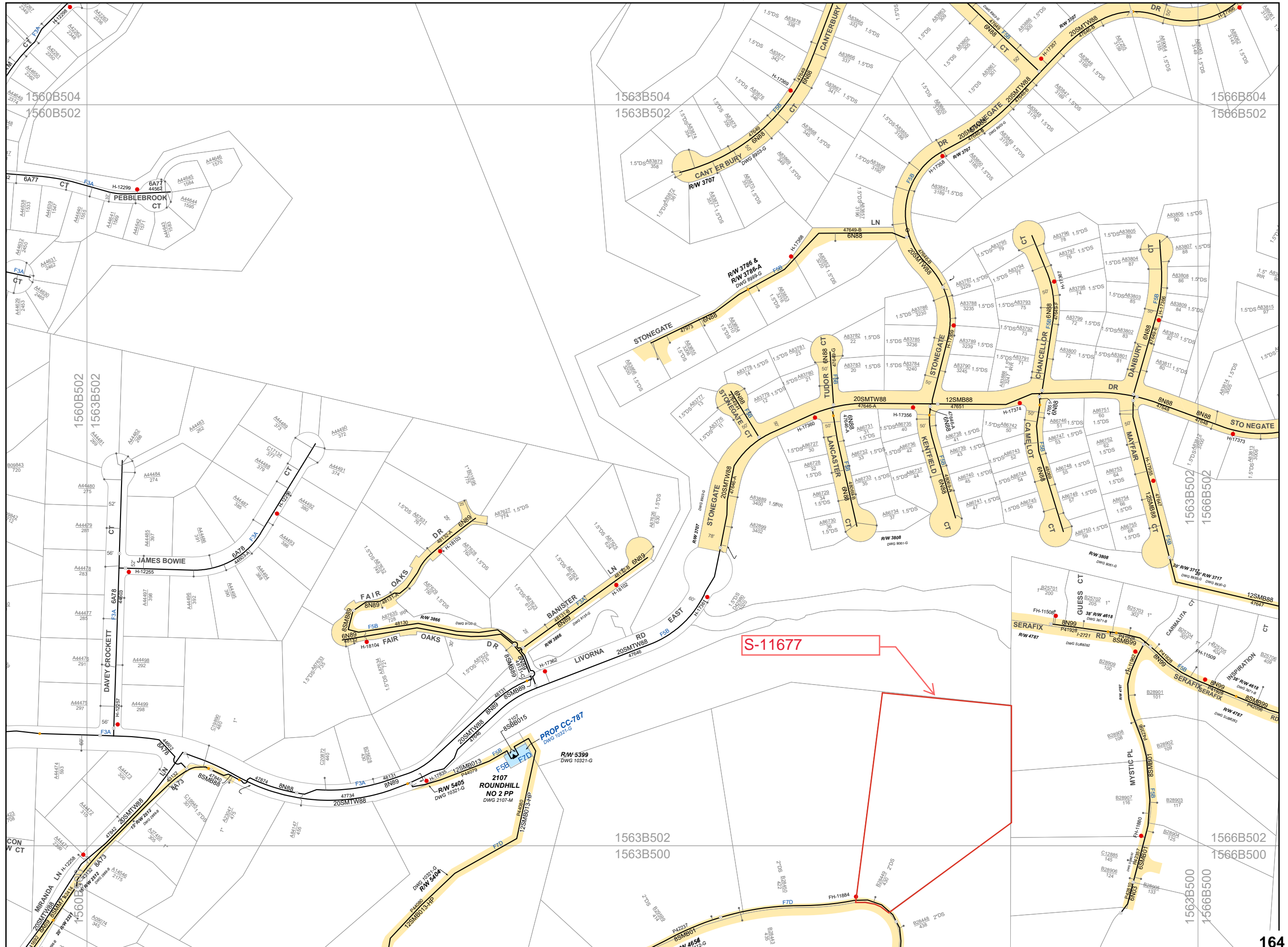
THIS IS NOT A PROPOSAL TO PROVIDE WATER SERVICES									
The technical data supplied herein is based on preliminary information, is subject to revision and is to be used for planning purpose ONLY									
DATE: 11/25/2024	EBMUD MAP(S): 1563B502	EBMUD FILE:S-11677							
AGENCY: Department of Conservation and Development Attn: Syd Sotoodeh 30 Muir Road MARTINEZ, CA 94553	AGENCY FILE: CDDP24-03045	FILE TYPE: Development Plan							
APPLICANT: Jonathan James William Wood Architects 301 Hartz Avenue Suite 203 Danville , CA 94526-3328		OWNER: Stephane Miles 1110 Burnett Avenue Suite C Concord, CA 94520							
DEVELOPMENT DATA									
ADDRESS/LOCATION: 430 Legacy Drive City:ALAMO Zip Code: 94507-1722									
ZONING:P-1 PREVIOUS LAND USE: Vacant lot									
DESCRIPTION: Proposal for a new 5624 square foot single family home with an attached 891 square foot garage.		TOTAL ACREAGE:4.16 ac.							
TYPE OF DEVELOPMENT: Single Family Residential:1 Units									
WATER SERVICES DATA									
PROPERTY: in EBMUD	ELEVATION RANGES OF STREETS: 748-786	ELEVATION RANGE OF PROPERTY TO BE DEVELOPED: 522-748							
All of development may be served from existing main(s) Location of Main(s):Legacy Drive		None from main extension(s) Location of Existing Main(s):							
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:30%;">PRESSURE ZONE</th> <th>SERVICE ELEVATION RANGE</th> </tr> </thead> <tbody> <tr> <td>F7D</td> <td>720-920</td> </tr> </tbody> </table>	PRESSURE ZONE	SERVICE ELEVATION RANGE	F7D	720-920	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:30%;">PRESSURE ZONE</th> <th>SERVICE ELEVATION RANGE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	PRESSURE ZONE	SERVICE ELEVATION RANGE		
PRESSURE ZONE	SERVICE ELEVATION RANGE								
F7D	720-920								
PRESSURE ZONE	SERVICE ELEVATION RANGE								
COMMENTS									
<p>When the development plans are finalized, the project sponsor should contact EBMUD's New Business Office and request a water service estimate to determine the costs and conditions of providing water service to the development. Engineering and installation of water mains and meters requires substantial lead time, which should be provided for in the project sponsor's development schedule. No water meters are allowed to be located in driveways. The project sponsor should be aware that Section 31 of EBMUD's Water Service Regulations requires that water service shall not be furnished for new or expanded service unless all the applicable water-efficiency measures described in the regulation are installed at the project sponsor's expense. Due to EBMUD's limited water supply, all customers should plan for shortages in time of drought.</p> <p>EBMUD owns and operates an 8-inch water distribution pipeline in an EBMUD right of way (R/W 4656) located within the boundary of this property. This pipeline provides water service to the existing (type commercial, residential, etc.) property. The integrity of this pipeline needs to be maintained at all times. Any proposed construction activity within the right of way would need to be coordinated with EBMUD and may require relocation of the pipeline and/or right of way, at the project sponsor's expense. No buildings or structures shall be constructed in EBMUD's right of way unless specific approval is given by EBMUD.</p> <p>Depending on the final elevations of the proposed development, a High Pressure Service Agreement may be required to provide water service to portions of the development. A High Pressure Service Agreement recommends the installation and maintenance of a pressure regulator at the project sponsor's expense, to maintain adequate pressure to the premises at all times.</p>									
cc: Matt Elawady									
CHARGES & OTHER REQUIREMENTS FOR SERVICE: Contact the EBMUD New Business Office at (510)287-1008.									
 Chien Wang, Associate Civil Engineer; DATE WATER SERVICE PLANNING SECTION		11/22/2024							

Potable Distribution System

- Potable Pipeline
- Service Lateral
- ⊙ System Valve (OL = Opens Left)
- ⊙ Check Valve
- ⊙ Zone Valve
- Change of Pipe ID
- ⊙ Rate Control Station
- ⊙ Regulator
- ⊙ Pressure Reducing Station
- ⊙ Flow Meter
- Manhole
- Service Connection
- Hydrant
- Facility
- ▶ Pumping Plant

Landbase

- EBMUD Right of Way
- EBMUD Property



This information is furnished as a public service by East Bay Municipal Utility District (District). The District makes every reasonable effort to produce and publish the most current and accurate information possible. However, the District makes no warranty express or implied, concerning this information's accuracy, completeness, reliability, or suitability for the recipient's intended use. Furthermore, the District assumes no liability associated with the use or misuse of this information. If you do not accept these terms, you must refrain from using the information and immediately return it. Please notify the District if discrepancies in the provided information are found.

By receiving the requested information, you agree that you, and any of your representatives authorized by the District to possess the information, will use the information only for the authorized purpose for which you requested it. If you obtained the information to prepare construction documents, you may make the information publicly available only to the extent necessary for safe construction. In all other circumstances, you may not provide any of the information, or any copy of it, to any other person or entity without the District's prior written approval. When you no longer require the information for your use, you must return or destroy all copies of the information. If you do not accept these terms, you must refrain from using the information and immediately return it.


1563B502



Memo

November 26, 2024

TO: Syd Sotoodeh, Senior Planner, Department of Conservation and Development
FROM: Larry Gossett, Senior Civil Engineer, Engineering Services Division
SUBJECT: **PERMIT DP24-3045**
30-DAY COMMENTS – INCOMPLETE
(James/Legacy Drive/Alamo/APN 193-010-029)
FILE: **DP24-3045**



Background

The subject property is Lot 8 of Subdivision 7744 filed in July 2002. The property lies along a ridge crest and a large portion of it is encumbered by a scenic easement that restricts development. The site plan includes several retaining walls within the restricted development area which will need to be addressed within the context of this development permit application.

Traffic and Circulation

The property is located along the east side of Regency Drive, a private street constructed to serve the subdivision of which this lot is part of. No additional road widening or improvements are required.

Drainage

Per County Ordinance Code Section 82-2.014 - Drainage requirements, 'Drainage facilities shall be installed under a permit issued pursuant to this title, adequate to meet and comply with the drainage design standards and requirements set forth in Division 914'. In turn, Division 914 of the Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural water course having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse.

This project proposes collecting the drainage from the developed portion of the property and conveying it downslope to discharge through dissipaters above existing residences. This system does not comply with the Code and would require an exception request, which must be accompanied by positions supporting the three findings that have to be made by the Zoning Administrator (or Planning Commission) to grant the exception. The procedure regarding exception requests is noted in Chapter 92-6 of the Code. Of specific concern is the additional runoff resulting from the increased amount of impervious surface, as well as geotechnical stability of the slope considering potential saturation downhill from the dissipator pipes.

Stormwater Management and Discharge Control

For single family residences, a Stormwater Control Plan (SWCP) is required for applications that will create and/or redevelop impervious surface area exceeding 10,000 square feet in compliance with the County's Stormwater Management and Discharge Control Ordinance (§1014) and the County's Municipal Separate Storm Sewer System (MS4) National Pollutant Discharge Elimination System (NPDES) Permit. This project's anticipated surface coverage is below that threshold but may still be required to submit a SWCP for a Small Land Development Project with building permit application.

Lighting District Annexation

The subject property is not annexed into the lighting district. The property owner will be required, as a condition of approval, to annex into the County Facilities District (CFD) 2010-1 formed for the Countywide Street Light Financing.

Area of Benefit Fee

The applicant will need to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Tri-Valley and Alamo Areas of Benefit, as adopted by the Board of Supervisors. The fees shall be paid prior to issuance of building permits.

Drainage Area Fee and Creek Mitigation

The applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. This fee shall be paid prior to the issuance of a building permit.

The submitted application should be considered incomplete. Before accepting the application as complete, the following concerns should be addressed:

- The applicant should revise the drainage plan for the project to comply with the drainage requirements of the County Ordinance Code. Alternatively, the applicant should submit an exception request from this code requirement. Exceptions requested from County Ordinance Code Standards must be requested in writing by the applicant in conjunction with the application submittal in accordance with Chapter 92-6 of the County Ordinance Code. Supplemental supporting documentation, such as a geotechnical analysis of slope stability considering the surface discharge of storm warts should accompany the exception request.

Should you have any questions, please me at extension 3-2016.


LG:ss
G:\engsvc\Land Dev\DP\DP 24-3045\DP24-3045 30-day comments.docx

cc: J. LaRocque Engineering Services
K. O'Conner, Engineering Services
Jonathan James, William Wood Architects, *(applicant)*
301 Hartz Avenue, Suite 203
Danville, CA 94526
Stephane Miles, *(Owner)*
1110 Burnett Avenue, Suite C
Concord, CA 94520



Memo

February 9, 2026

TO: Syd Sotoodeh, Planner, Department of Conservation and Development
FROM: Larry Theis, Engineering Services Division – Consultant Engineer 
SUBJECT: **DEVELOPMENT PLAN CDDP24-03045**
STAFF REPORT & RECOMMENDED CONDITIONS OF APPROVAL
(Jonathan James (Applicant) - New Single Family Residence at 430 Legacy Drive – Alamo area APN 193-010-029)
FILE: **CDDP24-03045**

We have reviewed the resubmittal of plans for application for **Development Plan CDDP24-03045** received by your office. **The updated application is deemed complete.** The plans include revisions to the proposed drainage through a vegetated area.

Background

The subject property is located at 430 Legacy Drive in the Alamo area (APN 193-010-029). The property is Lot 7 of Subdivision 7744 (446M3) and it is approximately 4.16 acres of which approximately 90% is restricted from development via a Grant Deed of Development Rights. It is mostly a sloped area with the home built on the flat portion, with surrounding area down sloping to the east and north. The proposed development plan is to construct a new two-story single-family residence with driveway access to the east side of Legacy Drive.

Drainage

Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse.

Stormwater Management and Discharge Control

A Stormwater Control Plan (SWCP) for a Small Land Development Project was submitted and reviewed. The applicant is proposing 9,286 SF of new impervious surface which is below the 10,000 SF threshold for one single family home that is not part of a larger plan of development. The development plan plans to use runoff reduction measures that include dispersing runoff into vegetated area (lawns/landscape space).

Underground Utilities

Division 96-10 of the County Ordinance Code requires that all utility distribution facilities, including but not limited to electric, communication and cable television lines, within any residential or commercial subdivision shall be placed under ground.

Area of Benefit Fee

The applicant will need to comply with the requirements of the Alamo Area of Benefit, as adopted by the Board of Supervisors. The fee shall be paid prior to issuance of building permits.

Streetlights (General Benefit)

The applicant shall annex into the Community Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. Annexation into a streetlight service area does not require streetlights to be constructed specifically with your project and will not transfer ownership and maintenance of street lighting on nearby private roads. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Drainage Area Fee

The applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.

Should you have any questions, please contact Larry Theis at (925) 890-9732 or Larry@theis-engineering.com.

LT:
G:\engsvc\Land Dev\DP\CDDP24-03045\Staff Report & COAs CDDP24-03045 (2026-02-09)

cc: J. LaRocque Engineering Services

Applicant: Jonathan James, William Wood Architects
301 Hartz Avenue, Suite 203
Danville, CA 94526
Owner : Stephane Miles
1110 Burnett Ave Suite C
Concord, CA 94520

**PUBLIC WORKS RECOMMENDED
CONDITIONS OF APPROVAL FOR DEVELOPMENT PLAN CDDP24-03045**

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.

General Requirements:

- In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvements outlined below require the review and approval of the Public Works Department and are based on the site plan prepared by Debolt Civil Engineering dated January 5, 2026.
- Applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

Street Lights:

- Property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Stormwater Management and Discharge Control:

- Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with Provision C.3 of the County's NPDES Permit and the County's Stormwater Management and Discharge Control Ordinance (§1014).
- Applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify this total does not exceed 10,000 SF.

Utilities/Undergrounding:

- Applicant shall underground all new utility distribution facilities to the new home. Applicant shall provide joint trench composite plans for the underground electrical, gas, telephone, cable television and communication conduits and cables including the size, location and details of all trenches, locations of building utility service stubs and meters and placements or arrangements of junction structures as a part of the Improvement Plan submittals for the project. The composite drawings and/or utility improvement plans shall be signed by a licensed civil engineer.

ADVISORY NOTES

- Applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors. Payment is required prior to issuance of a building permit.
- Applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.

From: [Cameron Collins](#)
To: [Syd Sotoodeh](#); [Everett Louie](#)
Subject: 430 and 438 Legacy Drive Projects
Date: Wednesday, February 26, 2025 11:14:06 AM
Attachments: [image001.png](#)

Hi Syd and Everett,

Both the 430 and 438 Legacy Drive applications were on the Alamo MAC Land Use Subcommittee agenda last night. The three members decided not to review the applications as the MAC does not make design comments or recommendations on tree permits. I've let Candace know and she is fine with that.

What are the next steps for these projects? Will they be heard by the ZA? If so, do you know when? I need to send a letter out to the neighbors.

Cameron Collins

Field Representative
Alamo, Diablo and Walnut Creek
Office of Supervisor Candace Andersen
Contra Costa County, District 2



CONTRA COSTA
BOARD OF SUPERVISORS

309 Diablo Road
Danville, CA 94526
925.655.2300 voice
925.820.3785 fax
cameron.collins@bos.cccounty.us

This message is being sent on a public e-mail system and may be subject to disclosure under the California Public Records Act.



March 31, 2025

Syd Sotoodeh, Project Planner
Contra Costa County
Department of Conservation & Development
Community Development Division
30 Muir Road
Martinez, CA 94553

Subject: Geologic Peer Review/ COA Compliance Review
CDDP24-03045 / Lot #7 of SD-7744 (Legacy Drive)
COA #14 of CDDP01-03061 / APN 193-019-029
Clyde Miles Construction (owner & applicant)
Alamo Area, Contra Costa County
DMA Project 3010.25

Dear Syd,

The project is Lot #7 of SD-7744. Since recordation of the Final Subdivision Map, Lot #7 has remained a vacant, residentially zoned parcel. The development of the parcel required filing of a Development Plan. That application was filed in 2001(i.e. CDDP01-03061). The County granted approval to the development plan application, subject to compliance with conditions of approval. COA #14 of CDDP01-03061 requires a site-specific geotechnical report evaluating the building plans and providing updated geotechnical recommendations. In response to the provisions of COA #14, the project proponent has submitted the following items for our review:

- a) Architectural drawings were prepared by William Wood Architects.¹ Those plans provide details of the proposed project, including a site plan, floor plans, exterior elevations, landscape plans and associated drawings. The plans indicate a two-story residence to be constructed within a previously graded building pad.
- b) Civil engineering plans prepared by D/B (DeBolt Engineering), which include a cover sheet, grading and drainage plan, erosion control plan, and stormwater control plan.²
- c) Geotechnical report prepared by Engeo Inc., which provides background information on previous services that were provided by Engeo on the project site.³ The primary purpose of the investigation was to provide Updated geotechnical recommendations that addressed the project that is currently proposed on the project site. However, Engeo's scope of work included limited subsurface exploration and laboratory testing. The test pits allowed Engeo to view foundation conditions / depth to bedrock, measure the strike and dip of bedding and dominant jointing. Engeo also identifies the monitoring and testing services recommended during the construction period.

¹ William Wood Architects, 2024, *Clyde-Miles Const – Lot 7, 430 Legacy Dr., Alamo, CA 94507*, 21 Sheets, WWA Job. #24.2046R (dated October 18, 2024).

² D/B Engineering, 2025, *430 Legacy Drive, Alamo, Contra Costa County, California*, 4 Sheets, D/B Job #24204 (dated January 31, 2025).

³ Engeo, Inc., 2025, *Updated Geotechnical Report, Legacy Ridge (Lot 7 – Subdivision 7744), 430 Legacy Drive, Alamo*, Engeo Job #3193.000.003 (dated January 24, 2025).

Purpose

Our responsibility is to provide the professional opinion of an engineering geologist on the adequacy of the Engeo report for compliance with the provisions of Condition of Approval #14. It should be recognized that we have no authority to modify the requirements of the condition of approval (i.e., we cannot grant relief from any provision of a COA or add additional requirements). We routinely look for evidence of compliance with each specific requirement of a COA. If, in our opinion, there are items that are not adequately addressed, we identify the documentation and/or additional analysis that is required.

Understanding of Project

The architectural plans indicate a two-story single-family residence of 5,624 sq. ft. plus a 3-car garage for an additional 891 sq. ft. The Grading & Drainage plan, prepared by D/B, estimates 490 cu. yds of cut and 40 cu yds of fill (i.e., approximately 450 cu. yds. of export from the project site). The area of land disturbance is estimated to be 12,100 sq. ft. This estimate includes the footprint of the residence, the driveway including one on-site parking space, maneuvering outside of the garage, as well as on-site drainage improvements. This estimate also includes outdoor landscape areas and outdoor use areas, including a patio to be located on the east perimeter of the residence and wrapping around a portion of the rear yard wall and front yard. A low retaining wall is proposed near the southeast property line (i.e., the wall ranges up to 4½ ft. in height and is to be setback approximately 5 ft. from the southeastern property line).

Engeo notes that a) the existing graded pad is bounded on the north and east a 2:1 (horizontal to vertical) slope, which slope away from the building pad; b) the topographic survey map prepared by the project civil engineer (D/B) indicates that the current pad grade is up to 3 ft. below the finish floor grades shown on sheets prepared by Willian Wood Architects, c) other planned site improvements include a pool (to be located east of the proposed residence), depressed wine cellar room, paved driveway, patios, paths, landscape features and underground utilities.

2025 Engeo report

1. Previous Engeo Reports

Background information was provided by Engeo on their previous site investigations on Lot #7. That included serving as the project geotechnical engineers during mass grading and previous subsurface exploration performed within Subdivision 7744. Specifically, during the period 2001 – 2002 Engeo served as the project geotechnical engineers during mass grading of Subdivision 7744.^{4 5} Consequently, they are familiar with the details of the previous grading of Lot #7, as well as the engineering properties of native soils, engineered fill and the bedrock formation that occurs on Lot #7. In 2005 Engeo provided supplemental subsurface exploration of the twelve (2) custom lots that were being considered for construction of improvements which included Lot #7. Figure 2 of Engeo's 2025 report presents a geologic map of Lot #7. Features shown include mapping the approximate location of a Quaternary colluvial deposit in the north-facing hillside approximately 200 ft. north of the currently proposed Lot #7 building. Figure 2 also shows the location of a test pit logged by Engeo in 2005 (labeled PT2-7), along with three test pits logged by Subsurface data collected by Engeo for their January 2025 report included the logging of three test pits

⁴ Engeo, Inc., 2001, *Interim Report on Testing & Observation Services During Mass Grading, Subdivision 7744 and Minor Subdivision, Alamo, California*, Engeo Job #3193.1.3193.2.050.02 (dated July 19, 2001).

⁵ Engeo, Inc., 2002, *Final Report of Testing and Observation Services During Site Utility Trench, Subdivision 7744 and Minor Subdivision, Alamo, California*, Engeo Job #3193.2.050.02 (dated November 4, 2002)

within the footprint of the proposed residence (labeled TP-1 through TP-3). In the immediate vicinity of the proposed building site Engeo plots the orientation of bedding in the outcrop belt of the Tassajara- Green Valley Group (Tgvt). As shown, bedding strikes N87E, with a steep, north-northwesterly dip, estimated to be 64 degrees. Figure 2 also shows the location of two nearby residences (one is located immediately west of the proposed Lot #7 building site and another existing residence is located on the south side of Legacy Dr., approximately 70 ft. south of the proposed footprint of the future Lot # 7 residence (i.e., Engeo has four (4) test pits which is adequate to characterize foundation conditions on Lot #7.)

2. 2025 Subsurface Investigation

The purpose of the subsurface investigation was to provide data on foundation conditions. The data gathered indicates ½ to 2 ft. of non-expansive sandy soil overlying bedrock that consists of interbedded sandstone and mudstone. Within the footprint of the residence, test pits terminated in bedrock approximately 4½ ft. below existing grade. Laboratory testing indicates a PI of 47 for the mudstone sample that was tested (i.e., highly expansive when subject to fluctuations in moisture content. Test Pit TP-1 is located in the area where a swimming pool is proposed. This test pit was extended to a depth of 8 ft. It encountered sandstone bedrock from the ground surface to a depth of 8 ft. The sandstone exposed in the walls and floor of the test pit are described as follows

Sandstone, pale yellow, weak to moderately weak, moderately to slightly weathered, fine- to medium-grained, massive, minor carbonate staining on fracture surfaces, contact with conglomerate exposed near top of test pit. The bedrock deemed to be Tgvt (i.e. Green Valley-Tassajara Group) and the orientation of bedding reported to be 340/34 (i.e. dipping to the north-northwest at approximately 34 degrees).

3. Laboratory Testing of Samples

Engeo performed testing of samples retrieved using hand sampling techniques. The tests performed included plasticity index (PI), fines content and corrosion potential. Among the tests performed, was evaluation of the sulfate ion concentration at full saturation. This is a key parameter used by geotechnical engineers to evaluate the effect of corrosive soils on concrete. For evaluation of sulfate content, Engeo utilized ASTM Test Method D4327. In this case the sulfate concentration fell below the detection limit of the test. On page 3 of the Engeo report there is reference to standards of the American Concrete Institute Manuel, which provides standards for concrete in contact with soils based on its exposure class.⁶ In this instance the test results fell below standards for mitigation of the adverse effects of corrosive soils on concrete. Nevertheless, Engeo recommends use of Type II concrete for foundations and slabs-on-grade. Engeo also notes that they are not corrosion engineers. If further evaluation of this potential hazard is a concern, Engeo recommends that a corrosion engineer be retained by the project proponent. Additionally, Engeo indicates that the project structural engineer may recommend more stringent concrete specifications.

4. Updated Geotechnical Recommendations

Based on the results of their 2025 investigation, Engeo indicates that from a geotechnical perspective the project site is suitable for the proposed development, provided the recommendations presented in their report are incorporated into the project design and fully implemented during the construction phase of the project. Engeo then goes on to provide detailed geotechnical recommendations for the project. Those recommendations are comprehensive and address the following geotechnical-related issues:

⁶ 2019 American Concrete Institute Manuel, ACI 318-19, Section 19.3.1

- Acceptable Fill (including a process to remove organic concentrations; a recommendation for use of soil material derived from mudstone to be restricted to landscape areas, monitoring removal of stripping by Engeo to evaluate the properties of the soil that overlies bedrock, and standards for the PI of any proposed import; and all import is to be tested and approved by Engeo for use as engineered fill prior to import being transported to the site.)
- Foundation Recommendations (due in part to terrain considerations and the presence of highly expansive mudstone within the pad area, If the footprint of the residence encroaches within 15 ft. of a downslope area with a gradient of 4:1 or steeper, Engeo recommends pier-and-grade beam foundation for the residence. Similarly, if the planned retaining walls and/or pool structure encroaches into an area that is less than 15 ft. from a slope having a gradient of 25% or steeper, pier and grade beam foundations are recommended.)
- Pier-and-Grade Beams Combined with Raised Floor System (Engeo indicates that if the primary residence encroached within 15 ft. of a downslope area steeper than 4:1, a pier-and-grade beams foundation system is recommended i.e., the residence can be supported on drilled piers combined with grade beams with raised floors are recommended. Engeo provides design parameters for the proposed foundation system, including pier diameter, pier depth, max. allowable skin friction, min. spacing of piers, nearby downslope condition, and lateral passive resistance (allowable).
- Post-Tensioned Mat Foundation (provided the residence can be setback a min. of 15 ft. from downslopes, use of post-tensioned mats may be considered. The PT mat foundations system must bear on competent engineered fill. Engeo goes on to provide detailed recommendations if PT mats can attain a 15 ft. setback from slopes having a gradient of 25% or greater.
- Continuous Spread Footings (This type of foundation is allowable provided the footprint of the dwelling is setback a minimum of 15 ft. from a slope having a gradient of 25% or greater. Detailed parameters are provided for this foundation system options
- Other Updated Design recommendations. Commencing on page 7, Engeo provides detailed design recommendations for a) interior floor slabs-on-grade, raised floors, b) raised floors (e.g. crawl space moisture reduction), c) 2022 California Building Code seismic design criteria, d) Foundation concrete sulfate exposure considerations, e) exterior slabs-of-grade, f) Slab moisture vapor reduction,
- Slab-on-grade subgrade treatment
- Site retaining walls
- Concrete driveway and drivable pavers
- Pool recommendations, including pool foundations, pool walls pool hydrostatic relief valve and underdrainage, and pool deck slab-on-grade and adjacent landscape areas.

Engeo's detailed design-level recommendations are followed by a *Limitations Statement*. There are several significant components to this statement, which include the following:

- If there are changes in the planned improvements, as project geotechnical engineers, Engeo needs to be provided with the opportunity to comment on the changes and modify its design-level recommendations.
- The developer has a duty to transmit geotechnical data/ recommendation to his consulting team.
- The recommendations are solely professional opinions and are valid for a period of 2 years (i.e., until January 24, 2027. Beyond that date, Engeo must be given the opportunity to review project plans and update its recommendations, if warranted.
- During development, actual field conditions or other considerations can be expected to necessitate clarifications, adjustments, modifications or other changes to recommendations that respond to

exposed conditions. It is for this reason that geotechnical observation and testing services are critical to the success of the project.

DMA Evaluation

1. Seismic Hazard Mapping Act

The provisions of the Seismic Hazard Mapping Act can be found in the California Public Resources Code, Chapter 7.8, Sections 2690-2699.6. This law is similar in many respects to the Alquist-Priolo Earthquake Fault Zone Mapping Act, which has been implemented by the County for the past 50 years. However, the official Seismic Hazard Zone (SHZ) maps issued by the California Geological Survey (CGS) identify areas that are at-risk of earthquake triggered landslides and earthquake triggered liquefaction. The procedure for issuance of official SHZ maps is to distribute preliminary review copies of the SHZ maps and invite local jurisdictions, public agencies, and property owners to submit comments/ technical data. The professional staff of the CGS reviews the comments/ technical data provided. Based on input provided on the preliminary map(s), the CGS may modify the Preliminary Map. Ultimately, a public hearing is held before the State Mining and Geology Board with a recommendation from the CGS that the map(s) be approved. When SHZ maps are accepted as adequate by the Mining and Geology Board, they are distributed to local jurisdictions and public agencies. Nearly all land development projects that are located within areas at-risk of earthquake-triggered landslide displacement or liquefaction (or both) and which will eventually lead to construction of structures for human occupancy (including all major and minor subdivisions), require comprehensive geological/ geotechnical investigation.

On November 21, 2024 the official SHZ map of the La Trampas Ridge Quadrangle was released by the CGS following its adoption by the State Board of Mining and Geology. Accompanying issuance of the Las Trampas Ridge Quad, the CGS issued Seismic Hazard Zone Report 139, which explain the approach used by the CGS staff in their analysis, and it presents technical data on a) geology, b) groundwater, c) probabilistic seismic hazard analysis model and its application to liquefaction and landslide hazard assessment d) results of materials testing, d) ground motion assessment, e) lists key references and f) explains the associated zoning techniques. According to the SHZ map the sloping hillside areas are deemed to be at-risk of earthquake trigger landslide displacement, but the ridge crest area (such as Lot #7 building site) is not deemed to be within a hazard zone. It should also be recognized that residential parcels created prior to issuance of the Seismic Hazard Zone map are exempted from the provisions of the state law requiring a rigorous landslide hazard assessment, providing the proposed residence is not more than 2 ½ stories.

2. Future Geotechnical Services

The future geotechnical services recommended by Engeo observation and testing services, which are critical to the success of the project, The monitoring services are intended to ensure that contractors properly interpret and implement recommendations in the geotechnical report. The recommended geotechnical monitoring services also provide an opportunity for the geotechnical engineer to view exposed conditions. If field conditions vary substantially from those anticipated, the geotechnical engineer will provide supplemental recommendations. Any proposed changes to recommendations during construction will need to be reviewed/ approved by the County Building Inspection Division prior to their implementation.

DMA Findings

We shall not comment of Engeo's recommendation other than indicating that a) they are well-reasoned, b) generally consistent with the standard of practice, c) are comprehensive and d) with full implementation by

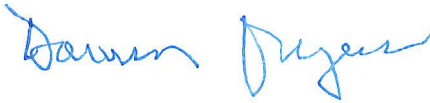
contractors are expected to result in long-term satisfactory performance. On that basis, we consider the 2025 Engeo report to have satisfied the provisions of COA #14.

Limitations and Purpose

The purpose of our review was to provide a professional opinion on the adequacy of the documents provided for COA Compliance. Specifically, we provide advice to assist the Community Development Division with discretionary permit decisions. Our scope of work was limited to the documents that are references herein, and our conclusions and recommendations are made in accordance with generally accepted principles and practices of the Engineering Geology Profession.

We trust this letter provides the evaluation and comments that you requested. Please call if you have any questions.

Sincerely,
DARWIN MYERS ASSOCIATES



Darwin Myers, CEG 946
Principal

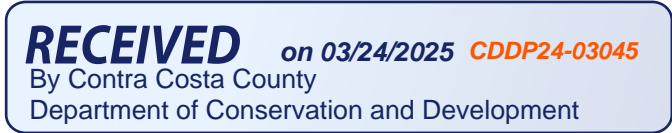


P.O. BOX 156 • ALAMO, CALIFORNIA 94507

March 22, 2025

By E-mail to “syd.sotoodeh@dcd.cccounty.us”

Department of Conservation & Development
Community Development Division
30 Muir Road
Martinez, CA. 94553



Attn: Syd Sotoodeh
Re: CDDP24-03045
Site: 430 Legacy Drive

Dear Syd:

This application is a request for approval of a Development Plan Design Review to determine if a new 5,624- square-foot single-family residence with an attached 891-square-foot garage is consistent with the design guidelines of CDDP01-03061. A tree permit to work within the driplines of three (3) code-protected Blue Oak trees (18", 24" and 48" DBH) and two (2) Coast Live Oak trees (24" and 30" DBH) is requested as part of this review. The application was reviewed at the AIA Planning Committee’s March 20, 2025 meeting. The applicant and neighboring property owners were notified of the meeting and the applicant was present. Based upon the meeting discussions, the AIA recommends **APPROVAL** of the application, subject to the following conditions:

CONDITIONS

- This recommendation is based upon the revised plans received by the County on February 14, 2025 and upon a further revised Grading and Drainage Plan received by AIA from the applicant on March 20, 2025. A copy of the revised Grading & Drainage plan is enclosed.
- We understand from the applicant that the arborist’s report is being revised. The revised report should include specific measures to prevent damaging or cutting the roots of nearby trees when trenching for the underground storm drain lines. A certified arborist should be present at all times that storm drain work is occurring within the dripline of any code-protected tree.

REASONS FOR OUR RECOMMENDATIONS

- While the recently provided revised Grading and Drainage Plan is a substantial improvement on prior versions of the plan, trenching for underground storm drainage lines still comes within 4 to 5 feet of the trunks of 24" Coast Live Oak

Tree #3 and 10 to 12 feet of 30" Coast Live Oak Tree #4, as does the proposed dissipator trench.

- The design of the home itself appears to us to fully comply with the design requirements set forth in CDDP01-03061.

As always, thank you for the opportunity to review and comment upon this application. Please feel free to contact Michael Gibson at (925) 683-5905 or me at (510) 759-9617 if you have questions.





Sincerely,



Steve Meyers
Chair,
Planning Committee

cc: Applicant (by email: jonathan@williamwood.com)
Supervisor Andersen (by email)
Alamo MAC Members (by bcc email)
Cameron Collins (by email)
AIA Board & Planning Committee (")
AIA File (")

LEGEND

-  IMPERVIOUS ASPHALT PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  PATIO / DECK
-  BUILDING OUTLINE

GRADING NOTES:

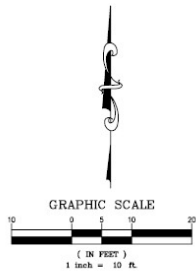
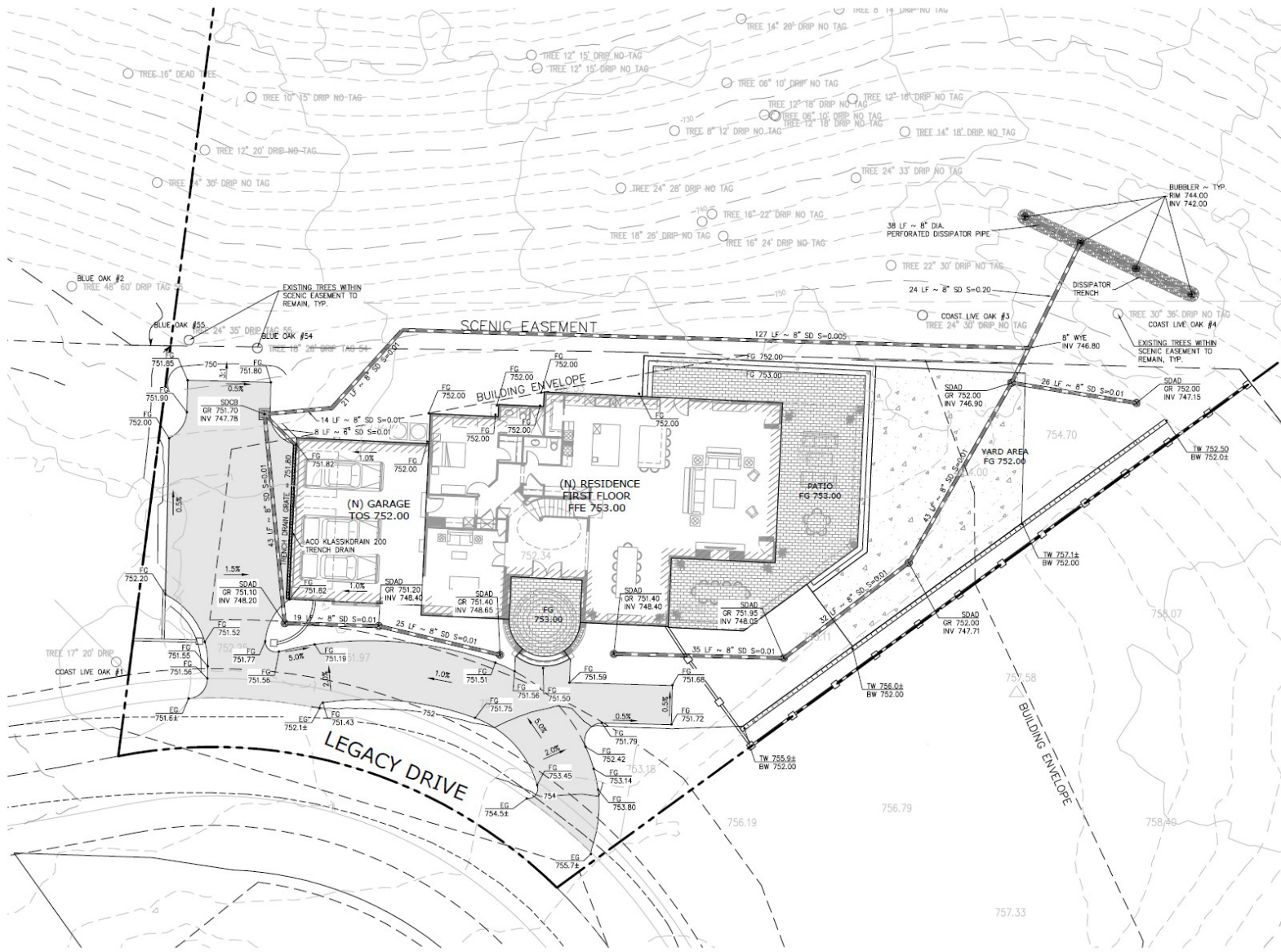
- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) ROOF DOWNSPOUTS SHALL BE DIRECTED TO ADJACENT LANDSCAPING WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 3) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 4) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8' BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.

EARTHWORK QUANTITIES		
ITEMS	CUT (CYS.)	FILL (CYS.)
HOUSE PADS	78	23
DRIVEWAY / SIDEWALK	99	3
YARDS & HILLSIDE	322	3
TOTAL	499	29

PROJECT NET BALANCE: EXPORT 470± CY

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

AREA OF LAND DISTURBANCE IS 11,812± SF



GRADING AND DRAINAGE PLAN

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

#	REVISIONS	DATE

EASTON C MALLISTER - PE 61148 / PLS 9988
RENEWAL DATE: 12/31/24 (PE) 09/31/25 (PLS)

DEBOLT
50+ YEARS
CIVIL ENGINEERING
(925) 837-3780 | OFFICE@DEBOLT.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94508

Date: 03/20/25
Scale: 1" = 10'
By: EM
Job No.: 24204

CLYDE-MILES CONST - LOT 7

REVISED

RECEIVED on 04/30/2026 CDDP24-03045
By Contra Costa County
Department of Conservation and Development

FIRE FLOW INFORMATION



INSPECTION SUMMARY

TODAY'S DATE: April 24, 2025

ADDRESS OF INTEREST: 430 Legacy Drive, Alamo, CA
SUMMARY TO BE SENT TO: Robert Harris (rharris@thorpedesign.com)
INSPECTION #: 209955
DATE OF INSPECTION: April 24, 2025
INSPECTOR: Distribution Planning Section
REQUEST: Pressure and Flow Data

SUMMARY OF FINDINGS:
Based on a hydraulic analysis of the water distribution system, the available pressure and flow at Tap 528449 is as follows:
Connection point is off the 8-inch main (BSMB01) in RW 4656, on the north side of RW 4656, approximately 1100 feet north of RW 4152-A.

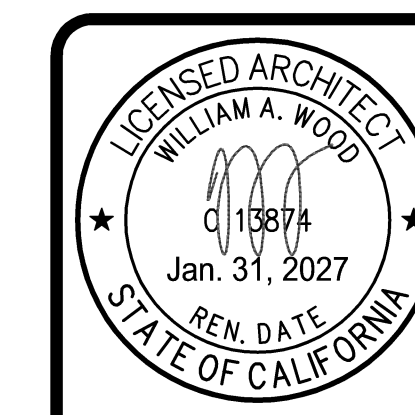
Elevation at Connection Point = 750 feet
Static Pressure = 106 psi
Residual Pressure at 100 gpm = 104 psi

The pressure and flow information stated is available at the street main connection in RW 4656. The pressure exceeds 80 psi, therefore a pressure regulator is required for the subject property.

Note: This information is provided as a courtesy and is modeled based on a specific set of distribution system conditions. These conditions are subject to continuous change and may not be conservative enough for your system design. Please use this information as a guideline of the approximate availability of flow, and make allowance for possible reductions in pressure and flow.

Distribution Planning Section
East Bay Municipal Utility District
1-866-403-2683

REVISIONS	DATE



CLYDE-MILES CONST - LOT 7

430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

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DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	CS1
OF SHEETS	

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
CONTRA COSTA COUNTY MUNICIPAL CODE

SCOPE OF WORK

- NEW 5,624 SQUARE FOOT RESIDENCE WITH AN ATTACHED 891 SQUARE FOOT GARAGE TOTALING 6515 SQUARE FEET.

DEFERRED SUBMITTAL

- FIRE SPRINKLER DRAWINGS/CALCULATIONS SHALL BE SUBMITTED TO SAN RAMON VALLEY FIRE PROTECTION DISTRICT.
- PRE-MANUFACTURED ROOF TRUSSES.

FIRE DEPARTMENT NOTES

1. Fire apparatus access roadways shall be installed and required water supplies shall be in service prior to the delivery of combustible construction items and prior to the commencement of framing. Failure to comply will result in a stop work order on all permits.
2. All fuel modification shall be completed to District standards prior to the delivery of combustible construction materials.
3. All approved plans shall be printed and available on-site for the duration of the project.
4. Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lands and hydrants may result in cancellation or suspension of inspections.
5. Temporary fuel tanks of 60 or more gallons requires a permit from SRVFPD.
6. The project address shall be clearly posted and visible from the public road during construction.

PROJECT DIR.

OWNER
NORTON CORPORATION
1850 MT. DIABLO BLVD. #440
WALNUT CREEK, CA 94565
(925) 932-4655
CONTACT: STEPHANIE SEENO-MILES

ARCHITECT
WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, STE. 203
DANVILLE, CA 94526
(925) 820-8233
CONTACT: BILL WOOD

CIVIL
DK & ASSOCIATES
1932 SAN MIGUEL DRIVE
WALNUT CREEK, CA 94596
(925) 932-6868

STRUCTURAL ENGINEER
ADVANCED ENGINEERING
3381 WALNUT BLVD. SUITE 220
BRENTWOOD, CA. 94513
(925) 516-3502
CONTACT: JUSTEN PEEK

TITLE 24 CALCULATIONS
ADVANCED ENGINEERING
3381 WALNUT BLVD. SUITE 220
BRENTWOOD, CA. 94513
(925) 516-3502
CONTACT: JASON BENNETT

ARBORIST
ATLAS TREE SERVICES, INC.
P.O. BOX 23343
PLEASANT HILL, CA 94523
(925) 687-3631
CONTACT: JARRED JUAREZ

LANDSCAPE ARCHITECT
CAMP AND CAMP AND ASSOCIATES
2520 CAMINO DIABLO,
WALNUT CREEK, CA 94597
(925) 941-6490
CONTACT: TERRY CAMP

BUILDING DATA

LEGAL OWNER:
CLYDE MILES CONSTRUCTION
1110 BURNETT AVE. SUITE C
CONCORD, CA. 94520

FLOOR AREA:

FIRST FLOOR	2,805 S.F.
SECOND FLOOR	2,819 S.F.
TOTAL AREA	5,624 S.F.

PROJECT ADDRESS:
LOT 7
430 LEGACY DR.
ALAMO, CA 94507

3 - CAR GARAGE 891 S.F.

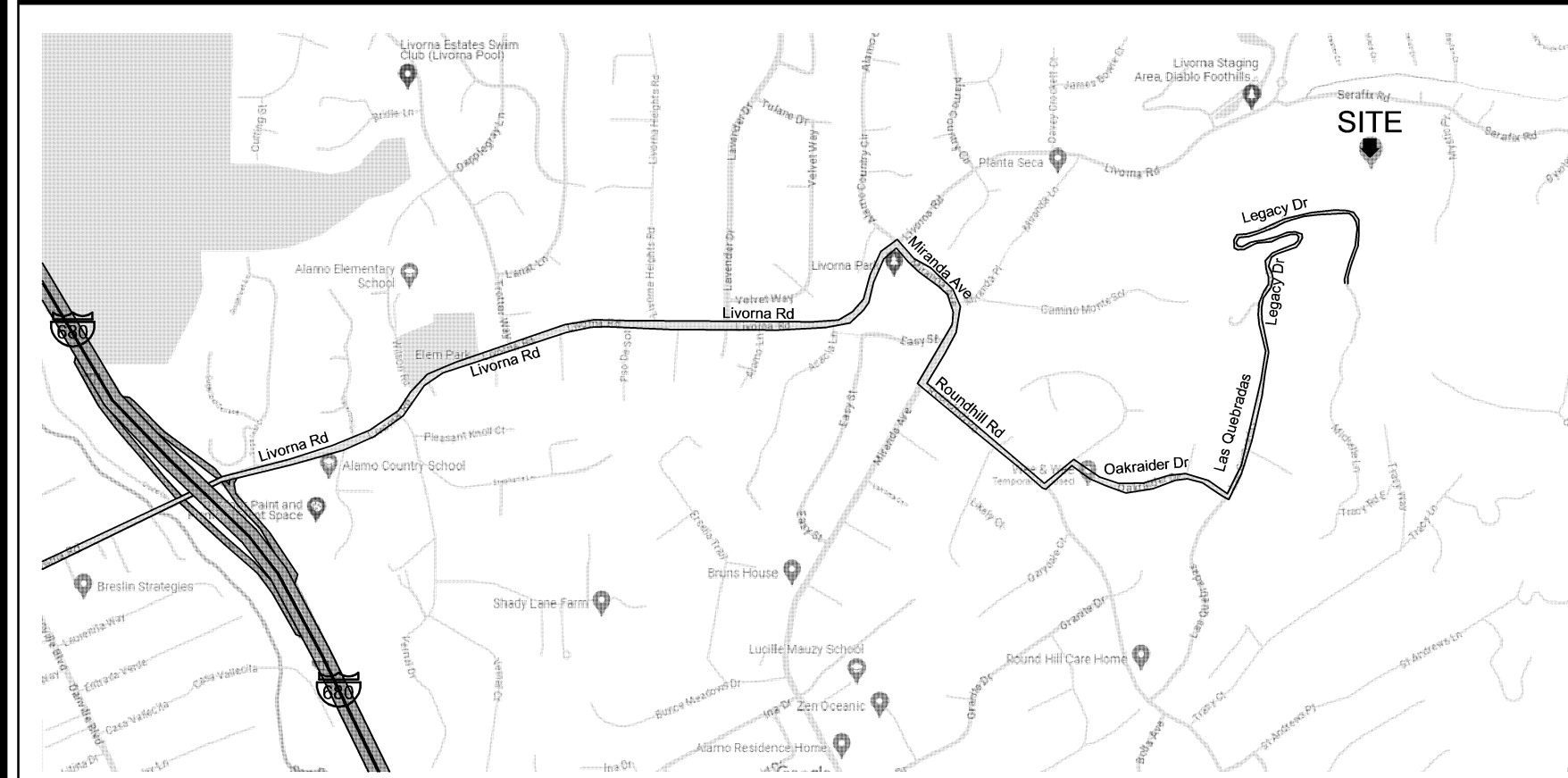
APN:
APN: 193-010-029

FIRE SPRINKLERS:
REQUIRED

OCCUPANCY
R-3 & u

CONSTRUCTION TYPE:
V-B

VICINITY MAP



INDEX TO DRAWINGS

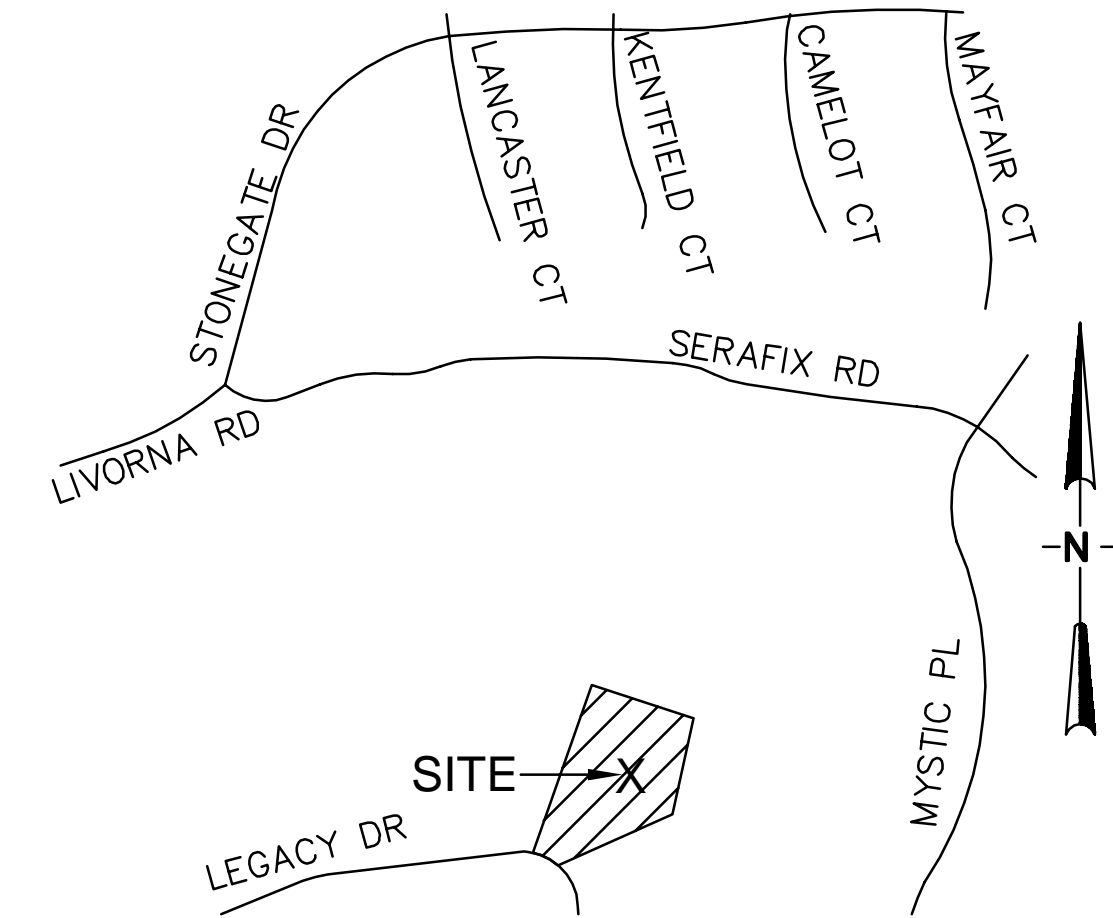
CS1	COVER SHEET		
A1	OVERALL SITE PLAN	SD6	FLOOR FRAMING DETAILS
A1.5	SITE PLAN	SD6.1	FLOOR FRAMING DETAILS
GN1	GENERAL NOTES	SD7	ROOF FRAMING DETAILS
GN2	CAL. GREEN BUILDING CODE RESIDENTIAL NOTES	SD7.1	ROOF FRAMING DETAILS
GN3	CAL. GREEN BUILDING CODE RESIDENTIAL NOTES	SD8	SIMPSON WOOD STRONG WALL DETAILS
EC1	ENERGY CALCULATIONS	A2	FIRST FLOOR PLAN
EC2	ENERGY CALCULATIONS	A3	SECOND FLOOR PLAN
ECM	ENERGY CALCULATIONS	A4	ROOF PLAN
CE-1	CIVIL COVER SHEET	A5	FIRST FLOOR REFLECTED CEILING PLAN
CE-2	GRADING AND DRAINAGE PLAN	A6	SECOND FLOOR REFLECTED CEILING PLAN
CE-3	EROSION CONTROL PLAN	A7	BUILDING SECTIONS
CE-4	STORMWATER CONTROL PLAN	A8	INTERIOR ELEVATIONS
SN1	GENERAL NOTES AND DESIGN CRITERIA	A9	EXTERIOR ELEVATIONS
SN2	GENERAL STRUCTURAL SPECIFICATIONS AND NOTES	A10	EXTERIOR ELEVATIONS
S1	FOUNDATION AND HOLDOWN PLAN	A11	FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN
S2	FLOOR FRAMING AND SHEARWALL PLAN	A12	SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN
S3	ROOF FRAMING AND SHEARWALL PLAN	CE -2	GRADING AND DRAINAGE PLAN
SD1	SHEARWALL SCHEDULE AND TYPICAL DETAILS	L-1.0	PLANTING PLAN
SD2	HOLDOWN SCHEDULE AND TYPICAL DETAILS	L-1.1	PLANT IMAGES
SD3	TYPICAL CONCRETE DETAILS	L-2.0	PRELIMINARY HYDROZONE PLAN
SD4	TYPICAL CARPENTRY DETAILS	L-2.1	LANDSCAPE DOCUMENTATION PACKAGE
SD5	FOUNDATION DETAILS PIER AND GRADE BEAM	L-3.0	PLANTING DETAILS & NOTES
SD5.1	FOUNDATION DETAILS PIER AND GRADE BEAM		

PLOT DATE: May 19, 2026 - 11:40am CSI Cover Sheet dr.dwg

GENERAL NOTES

- TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER.
- CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS AND SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOTIFY DEBOLT CIVIL ENGINEERING TWO WORKING DAYS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION FOR CONSTRUCTION STAKES.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DEBOLT CIVIL ENGINEERING AT 925/837-3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT 800/227-2600 72 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- ALL REVISIONS TO THIS PLAN MUST BE APPROVED BY THE TOWN OF DANVILLE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM SOILS REPORT.
- ALL TREES SHALL REMAIN EXCEPT FOR THOSE SHOWN ON THE IMPROVEMENT PLAN TO BE REMOVED. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. AN ARBORIST SHALL BE PRESENT FOR ANY CONSTRUCTION WORK NEAR OR UNDER THE TREES' DRIPLINE. TREE REMOVAL SHALL BE ALLOWED ONLY UPON PRIOR WRITTEN APPROVAL FROM THE PLANNING DIVISION.
- CONTRACTOR TO USE CARE IN THE VICINITY OF EXISTING TREES TO REMAIN. A TEMPORARY FENCE SHOULD BE INSTALLED AROUND TREE FOR PROTECTION. CONTRACTOR TO FOLLOW ARBORIST'S RECOMMENDATION.
- IN THE EVENT THAT SUBSURFACE ARCHAEOLOGICAL REMAINS ARE DISCOVERED DURING ANY CONSTRUCTION OR PRE-CONSTRUCTION ACTIVITIES ON THE SITE, ALL LAND ALTERATION WORK WITHIN 30.5 METERS (100 FEET) OF THE FIND SHALL BE HALTED, THE TOWN PLANNING DIVISION NOTIFIED, AND A PROFESSIONAL ARCHAEOLOGIST, CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY, SHALL BE NOTIFIED. SITE WORK IN THIS AREA SHALL NOT OCCUR UNTIL THE ARCHAEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND OUTLINE APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY. IF PREHISTORIC ARCHAEOLOGICAL DEPOSITS ARE DISCOVERED DURING DEVELOPMENT OF THE SITE, LOCAL NATIVE AMERICAN ORGANIZATIONS SHALL BE CONSULTED AND INVOLVED IN MAKING RESOURCE MANAGEMENT DECISIONS.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE PERIOD BETWEEN THE WEEKDAY HOURS OF 7:30 A.M. TO 5:30 P.M. (MONDAYS THROUGH FRIDAYS), UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER FOR GENERAL CONSTRUCTION ACTIVITY AND THE CHIEF BUILDING OFFICIAL FOR BUILDING CONSTRUCTION ACTIVITY. PRIOR TO ANY CONSTRUCTION WORK ON THE SITE, INCLUDING GRADING, THE CONTRACTOR SHALL INSTALL A MINIMUM 3'X3' SIGN AT THE PROJECT ENTRY WHICH SPECIFIES THE ALLOWABLE CONSTRUCTION WORK DAYS AND HOURS, AND LISTS THE NAME AND CONTACT PERSON FOR THE OVERALL PROJECT MANAGER AND ALL CONTRACTORS AND SUB-CONTRACTORS WORKING ON THE JOB.
- THE CONTRACTOR SHALL PROVIDE SECURITY FENCING, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR THE CHIEF BUILDING OFFICIAL, AROUND THE SITE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE-GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE. WARMING OF CONSTRUCTION EQUIPMENT AND/OR SERVICING SUCH EQUIPMENT SHALL OCCUR ONLY WITHIN THE AUTHORIZED WORK PERIODS.
- A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF-SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
- ANY GRADING ON ADJACENT PROPERTIES WILL REQUIRE PRIOR WRITTEN APPROVAL OF THOSE PROPERTY OWNERS AFFECTED.
- AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF GRADING, THE CONTRACTOR SHALL POST THE SITE AND MAIL TO THE OWNERS OF THE PROPERTY WITHIN 300 FEET OF THE EXTERIOR BOUNDARY OF THE PROJECT SITE, TO THE HOMEOWNER ASSOCIATIONS OF NEARBY RESIDENTIAL PROJECTS AND TO THE TOWN OF DANVILLE DEVELOPMENT SERVICES DEPARTMENT, A NOTICE THAT CONSTRUCTION WORK WILL COMMENCE. THE NOTICE SHALL INCLUDE A LIST OF CONTRACT PERSONS WITH NAME, TITLE, PHONE NUMBER AND AREA OF RESPONSIBILITY. THE PERSON RESPONSIBLE FOR MAINTAINING THE LIST SHALL BE INCLUDED. THE LIST SHALL BE KEPT CURRENT AT ALL TIMES AND SHALL CONSIST OF PERSONS WITH AUTHORITY TO INITIATE CORRECTIVE ACTION IN THEIR AREA OF RESPONSIBILITY. THE NAMES OF INDIVIDUALS RESPONSIBLE FOR DUST, NOISE AND LITTER CONTROL SHALL BE EXPRESSLY IDENTIFIED IN THE NOTICE.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER 1.5 METERS (FIVE FEET) IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ALL EARTH SWALES SHALL BE 1% MINIMUM SLOPES, AND 4% MAXIMUM SLOPES.
- WHERE SOILS OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THAT ANTICIPATED IN THE SOILS REPORT, A REVISED SOILS REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEER. IT SHALL BE ACCOMPANIED BY AN ENGINEERING AND GEOLOGICAL OPINION AS TO THE SAFETY OF THE SITE FROM SETTLEMENT AND SEISMIC ACTIVITY.
- ALL DEVELOPMENT SHALL TAKE PLACE IN COMPLIANCE WITH THE TOWN EROSION CONTROL ORDINANCE (ORD. 91-25). RESTRICTIONS INCLUDE LIMITING CONSTRUCTION PRIMARILY TO THE DRY MONTHS OF THE YEAR (MAY THROUGH OCTOBER) AND, IF CONSTRUCTION DOES OCCUR DURING THE RAINY SEASON, THE DEVELOPER SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN SHALL INCORPORATE EROSION CONTROL DEVICES SUCH AS THE USE OF SEDIMENT TRAPS, SILT FENCING, PAD BERMING AND OTHER TECHNIQUES TO MINIMIZE EROSION.
- ALL NEW DEVELOPMENT SHALL BE CONSISTENT WITH MODERN DESIGN FOR RESISTANCE TO SEISMIC FORCES. ALL NEW DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND TOWN OF DANVILLE ORDINANCES.
- ALL CUT AND FILL AREAS SHALL BE APPROPRIATELY DESIGNED TO MINIMIZE THE EFFECTS OF GROUND SHAKING AND SETTLEMENT.
- STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
- IF TOXIC OR CONTAMINATED SOIL IS ENCOUNTERED DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY IN THAT AREA SHALL CEASE UNTIL THE APPROPRIATE ACTION IS DETERMINED AND IMPLEMENTED. THE CONCENTRATIONS, EXTENT OF THE CONTAMINATION AND MITIGATION SHALL BE DETERMINED BY THE CONTRA COSTA COUNTY HEALTH DEPARTMENT. SUITABLE DISPOSAL AND/OR TREATMENT OF ANY CONTAMINATED SOIL SHALL MEET ALL FEDERAL STATE AND LOCAL REGULATIONS. IF DEEMED APPROPRIATE BY THE HEALTH DEPARTMENT, THE APPLICANT SHALL MAKE PROVISIONS FOR IMMEDIATE CONTAINMENT OF THE MATERIALS. RUNOFF FROM ANY CONTAMINATED SOIL SHALL NOT BE ALLOWED TO ENTER ANY DRAINAGE FACILITY, INLET OR CREEK.
- ALL GRADING ACTIVITY SHALL ADDRESS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONCERNS. SPECIFIC MEASURES TO CONTROL SEDIMENT RUNOFF, CONSTRUCTION POLLUTION AND OTHER POTENTIAL CONSTRUCTION CONTAMINATION SHALL BE ADDRESSED THROUGH THE EROSION CONTROL PLAN (ECP) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A NPDES CONSTRUCTION PERMIT MAY BE REQUIRED, AS DETERMINED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN ANY PUBLIC RIGHT-OF-WAY OR EASEMENT.
- ALL MUD OR DIRT CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE SWEEPED EACH DAY. WATER FLUSHING OF SITE DEBRIS OR SEDIMENT OR CONCRETE WASHING IS EXPRESSLY PROHIBITED.
- ANY DAMAGE TO STREET IMPROVEMENTS NOW EXISTING OR DONE DURING CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER, AT FULL EXPENSE TO THE CONTRACTOR. THIS SHALL INCLUDE SLURRY SEAL, OVERLAY OR STREET RECONSTRUCTION IF DEEMED WARRANTED BY THE CITY ENGINEER.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING CURB, GUTTER, SIDEWALKS, DRIVEWAYS, PAVING AND UTILITIES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS AND/OR PLANS AND SHALL COMPLY WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE DEVELOPMENT SERVICES DEPARTMENT AND CHAPTERS XII AND XXXI OF THE TOWN CODE.
- ALL NEW UTILITIES REQUIRED TO SERVE THE DEVELOPMENT SHALL BE INSTALLED UNDERGROUND.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR TO EXPOSE AND VERIFY.
- ANY ON-SITE WELLS SHALL BE RESET TO FINISH GRADE IN ACCORDANCE WITH CONTRA COSTA COUNTY HEALTH SERVICES DEPARTMENT -- ENVIRONMENTAL HEALTH DIVISION REGULATIONS.

RECEIVED on 04/30/2026 CDDP25-03045
By Contra Costa County
Department of Conservation and Development



VICINITY MAP
N.T.S.

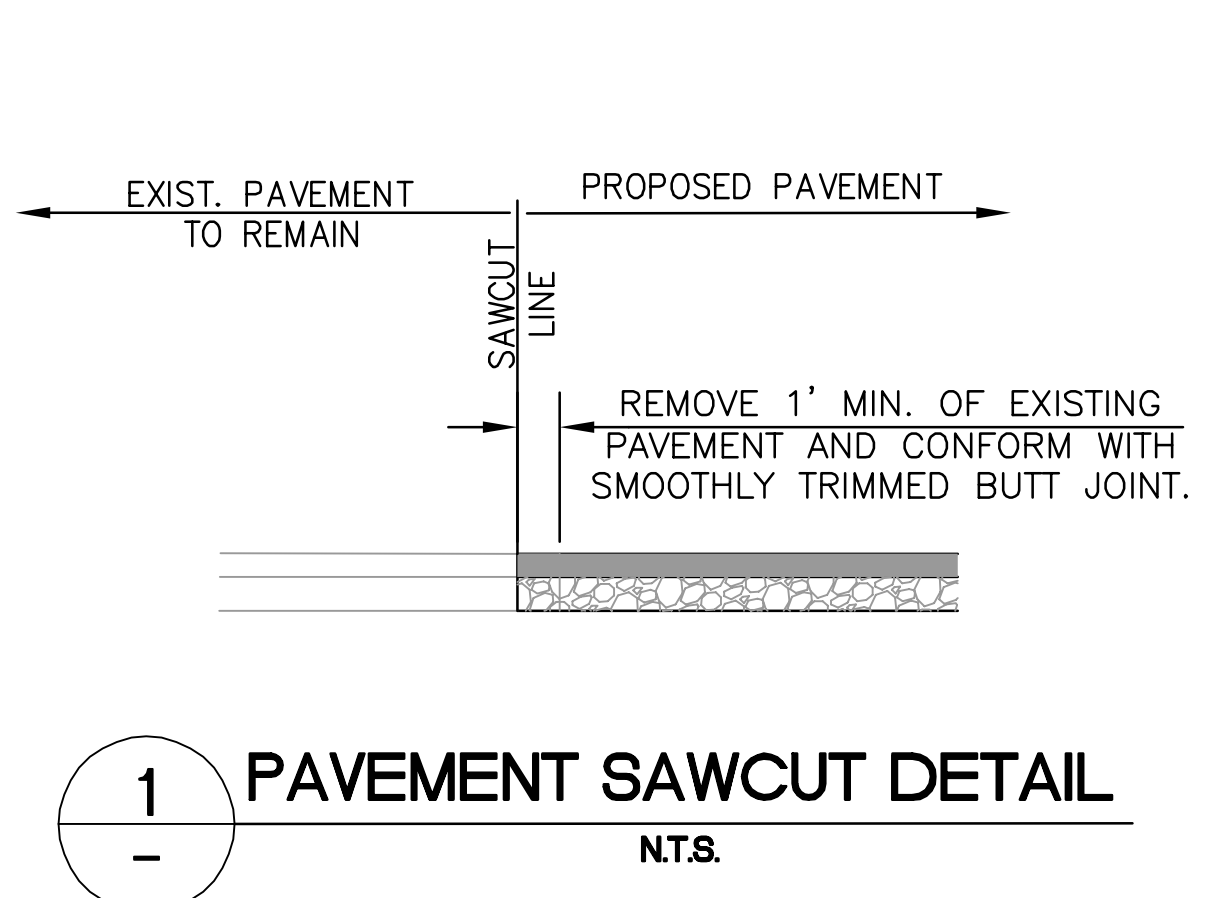
ABBREVIATIONS:

BLDG	BUILDING
CONC	CONCRETE
(E)EX	EXISTING
ESMT	EASEMENT
FNC	FENCE
INV.	INVERT
P.U.E	PRIVATE UTILITY EASEMENT
REBAR.	REBAR
()	RECORD DATA
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDDI	STORM DRAIN DRAIN INLET
(T)	TOTAL
WM	WATER METER
WV	WATER VALVE

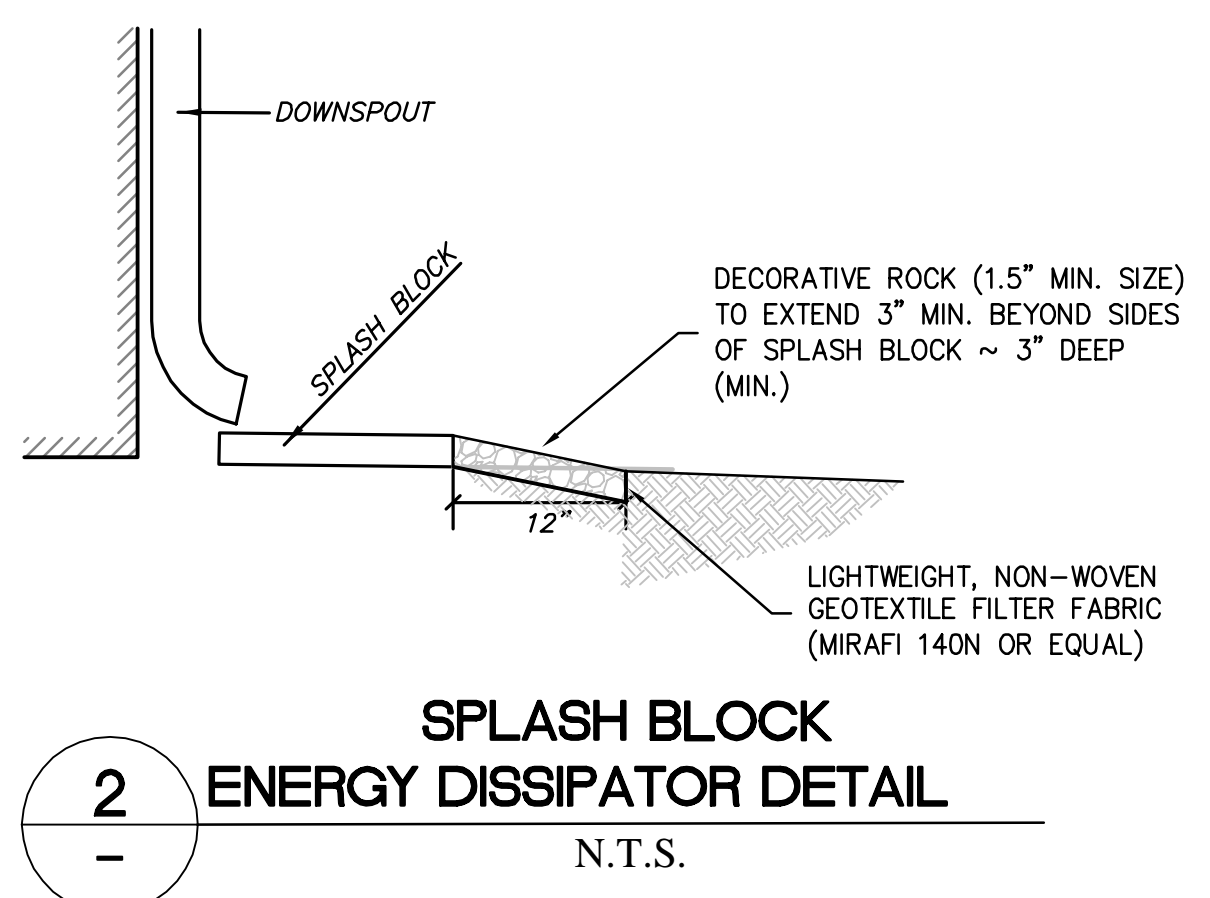
LEGEND:

	SANITARY SEWER MANHOLE
	WATER VALVE
	FOUND MONUMENT AS NOTED
	STANDARD STREET MONUMENT
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	BOUNDARY LINE
	TIE LINE
	CENTERLINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING ELECTRIC CABLE
	EXISTING SANITARY SEWER LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING TREE

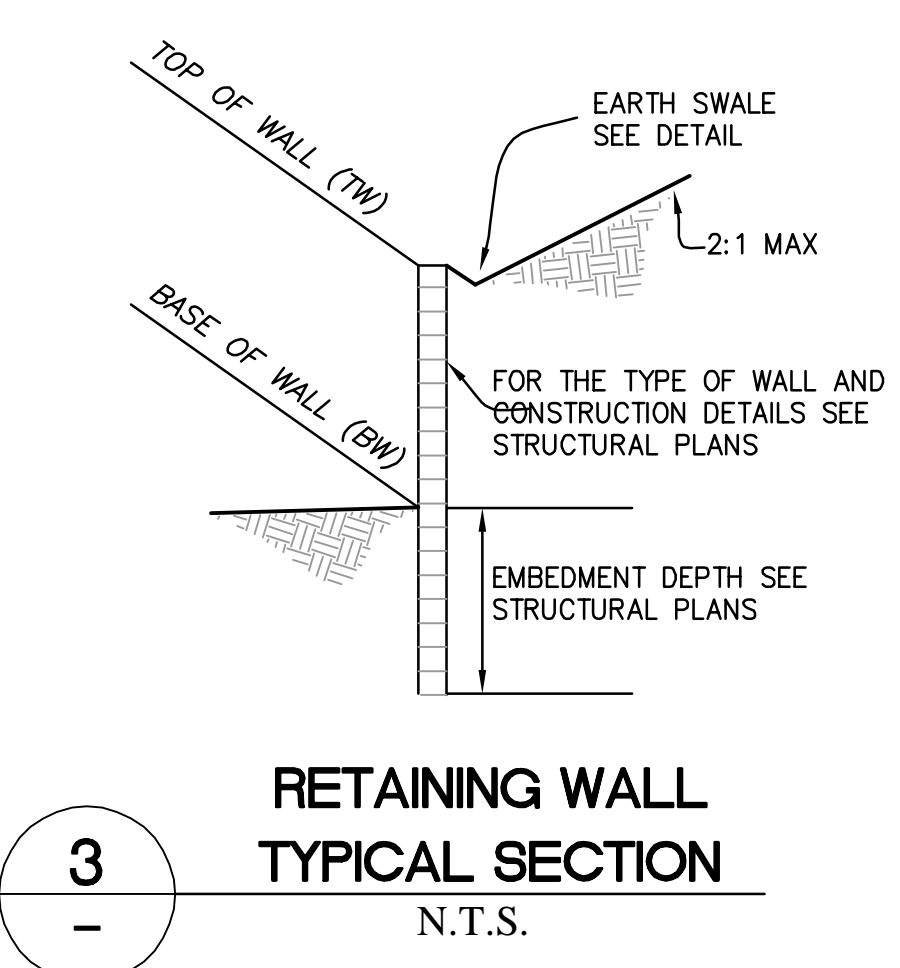
SHEET INDEX	
SHEET NO.	DESCRIPTION
CE-1	COVER SHEET
CE-2	GRADING AND DRAINAGE PLAN
CE-3	EROSION CONTROL PLAN
CE-4	STORMWATER CONTROL PLAN



1 PAVEMENT SAWCUT DETAIL
N.T.S.



2 SPLASH BLOCK ENERGY DISSIPATOR DETAIL
N.T.S.



3 RETAINING WALL TYPICAL SECTION
N.T.S.

COVER SHEET

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

John McAllister
EASTON McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)


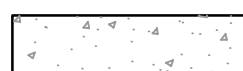
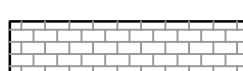
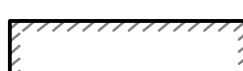

#	REVISIONS	DATE

DEBOLT CIVIL ENGINEERING
50+ YEARS
(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: N.T.S.
By: EM
Job No.: 24204

ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

LEGEND

-  IMPERVIOUS ASPHALT PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  PATIO / DECK
-  BUILDING OUTLINE
-  DOWNSPOUT

GRADING NOTES:

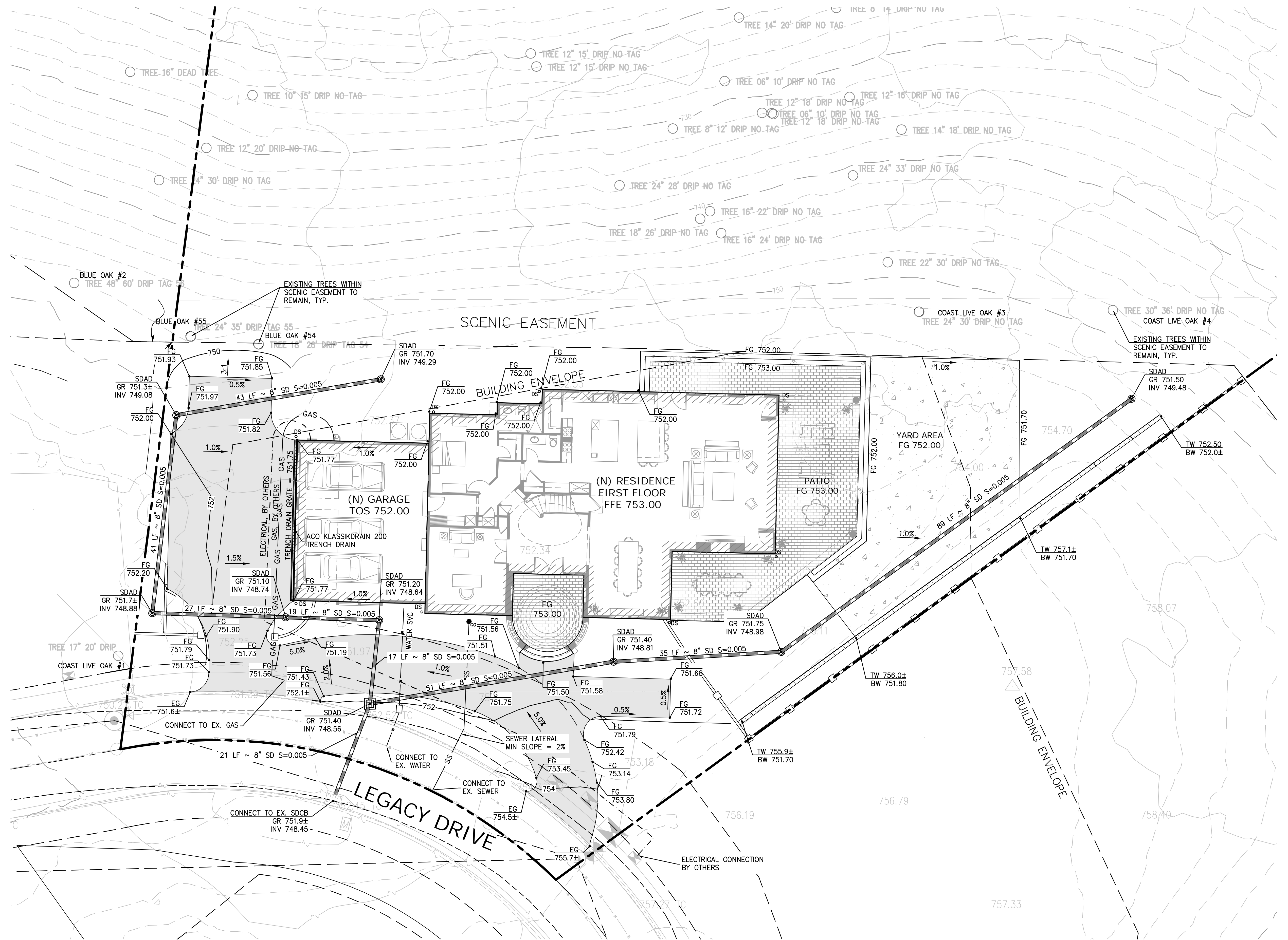
- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) ROOF DOWNSPOUTS SHALL BE DIRECTED TO ADJACENT LANDSCAPING WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 3) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 4) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8" BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.
- 6) A REVIEW OF THE BUILDING ENVELOPE CONFIRMS THAT THE PROPOSED RESIDENCE FOOTPRINT IS SITED WITHIN THE PERMITTED BOUNDARIES.

EARTHWORK QUANTITIES		
ITEMS	CUT (CYS.)	FILL (CYS.)
HOUSE PADS	78	23
DRIVEWAY / SIDEWALK	102	6
YARDS & HILLSIDE	325	8
TOTAL	505	37

PROJECT NET BALANCE: EXPORT 468± CY

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

AREA OF LAND DISTURBANCE IS 11,870± SF



GRADING AND DRAINAGE PLAN

430 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

John McAllister

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

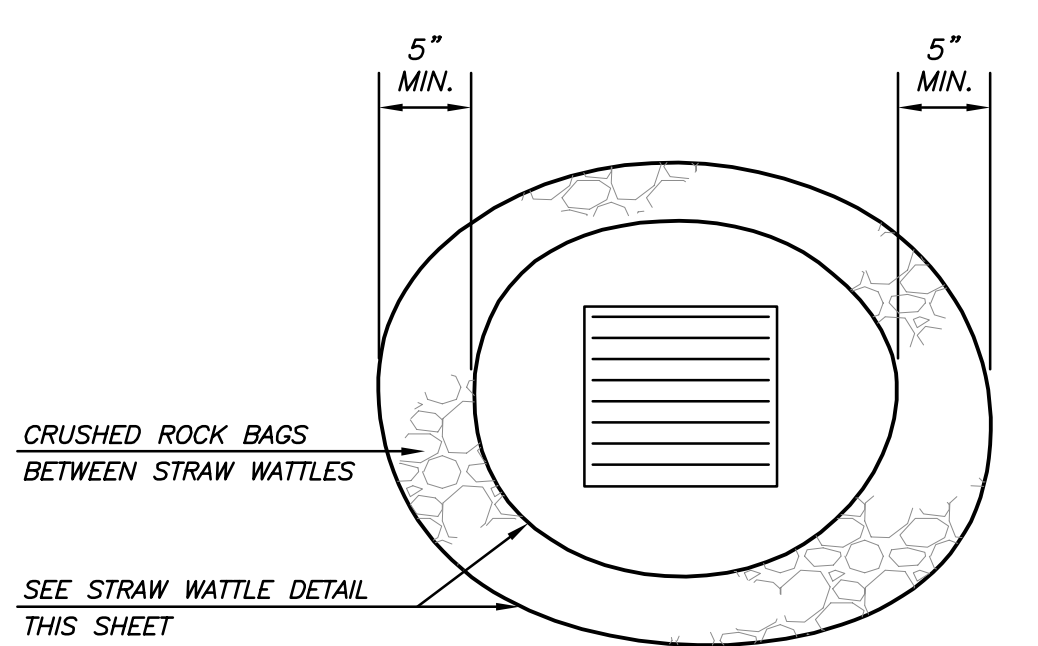
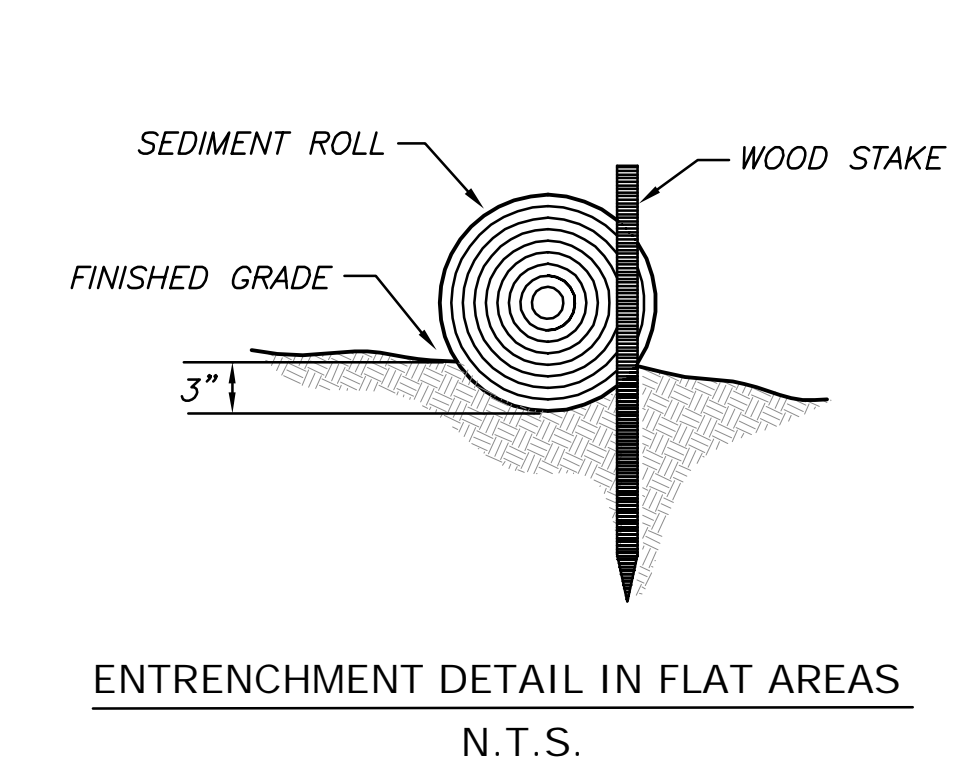
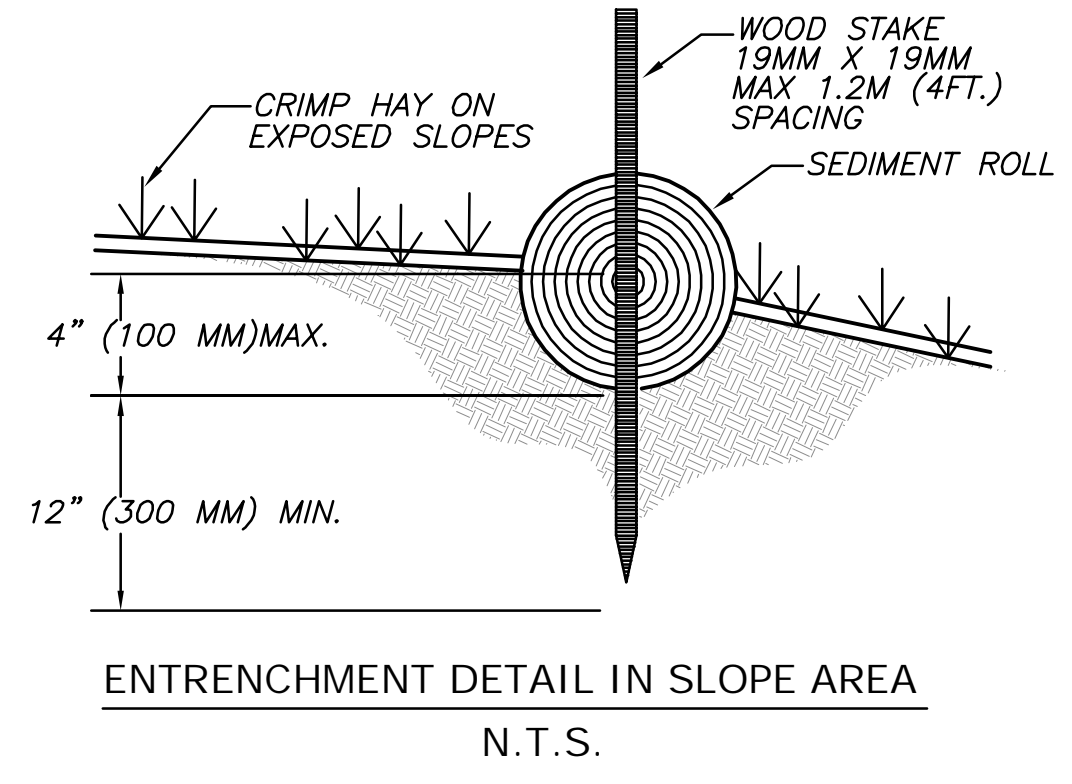
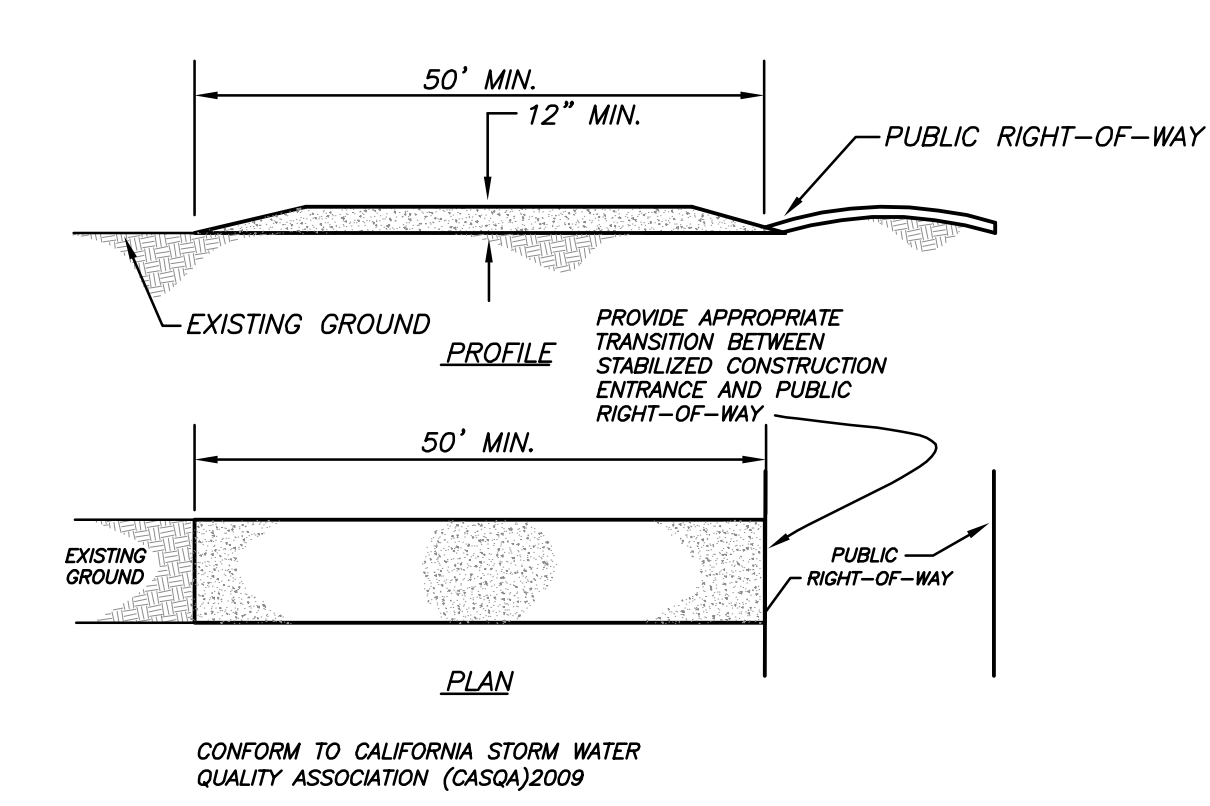
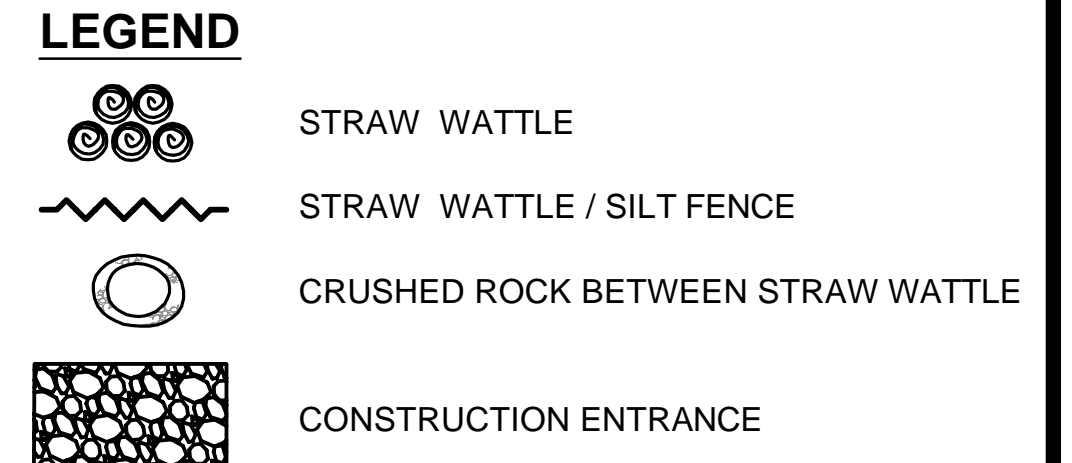
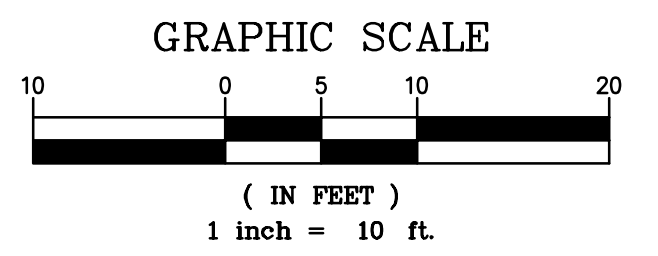
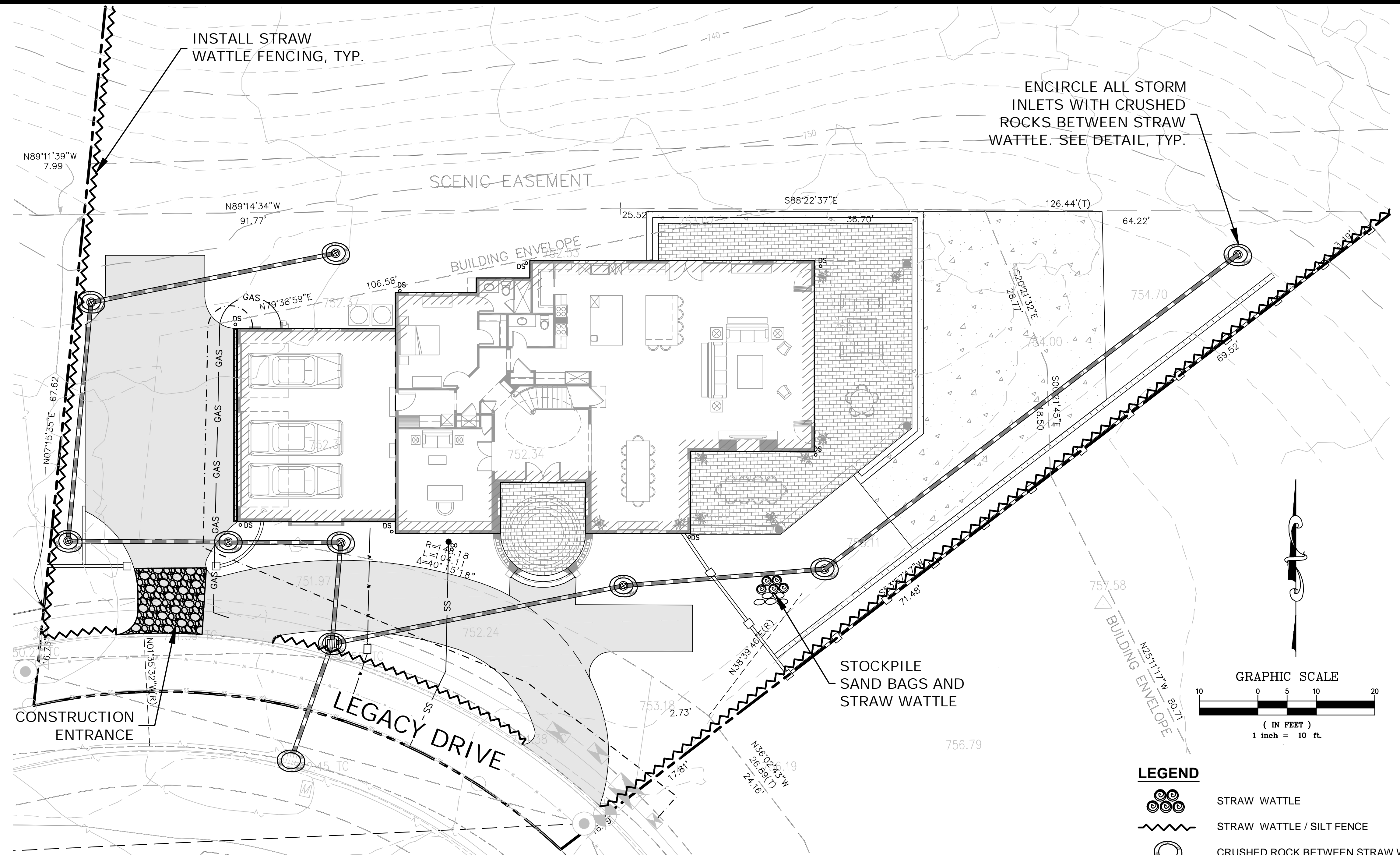


(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: 1" = 10'
By: EM
Job No.: 24204

EROSION CONTROL NOTES

1. THIS EROSION CONTROL PLAN REPRESENTS THE MINIMUM REQUIRED EFFORT TO PREVENT TRANSPORT OF SEDIMENTATION DURING CONSTRUCTION ACTIVITIES AND DOES NOT REPRESENT A COMPREHENSIVE SOLUTION TO ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE PROTECTION TO PREVENT EROSION AND ANY POTENTIAL DAMAGE CAUSED BY EROSION TO THE SITE, NEIGHBORING PROPERTIES OR THE REGIONAL STORM DRAINAGE SYSTEM.
2. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
6. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG FOR THE FULL WIDTH AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
7. TEMPORARY EROSION CONTROL DEVICES WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED ONLY WHEN THE GRADING INSPECTOR SO DIRECTS.
8. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND REMOVED DAILY AND AS DIRECTED BY THE INSPECTOR.
9. AFTER SEWER LATERAL AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHALL BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
10. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL ALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40 % AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
11. STRAW WATTLES AND SANDBAGS SHALL BE STOCKPILED AS SHOWN ON THE EROSION CONTROL PLAN READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 40% OR WHEN DIRECTED BY THE INSPECTOR.
12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE, AND/OR GRAVEL OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
13. THE DOWNSTREAM STORM SYSTEM SHOULD BE INSPECTED TO VERIFY THAT THE SYSTEM IS CLEAR OF OBSTRUCTIONS AND FUNCTIONING PROPERLY.
14. AS PART OF THE EROSION CONTROL MEASURES, THE UNDERGROUND STORM DRAIN FACILITIES SHOULD BE INSTALLED COMPLETE AS SHOWN ON THESE PLANS.
15. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
16. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL." MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER.
17. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (SEEDED) TO THE SATISFACTION OF THE INSPECTOR.



EROSION CONTROL PLAN

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

Elu M...
EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

DEBOLT
50+ YEARS
CIVIL ENGINEERING

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: 1" = 10'
By: EM
Job No.: 24204

STEP 1: PROJECT DATA FORM AND RUNOFF REDUCTION MEASURE SELECTION

Complete all fields.

Project Name/Number	430 Legacy Drive
Application Submittal Date [to be verified by municipal staff]	12/18/2024
Project Location [Street Address if available, or intersection and/or APN]	430 Legacy Drive
Name of Owner or Developer	Seeno Properties
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence
Total Project Site Area (acres)	4.16 acres
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces]	9,286 square feet
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces.]	0 square feet
Total Pre-Project Impervious Surface Area	0 square feet
Total Post-Project Impervious Surface Area	9,286 square feet
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

STEP 2: DELINEATE IMPERVIOUS AREAS AND LOCATIONS OF RUNOFF REDUCTION MEASURES

Delineate the impervious area. On a site plan or sketch, show the impervious area—for example, a roof, or portion of a roof, or a paved area—that will drain to your runoff reduction measure. Typically these delineations follow roof ridge lines or grade breaks. Alternatively, show the type and extent of pervious paving. An example sketch is attached.

Indicate the location and kind of runoff reduction measure you have selected. At least one option, designed to manage runoff from some amount of impervious area—or to avoid creating runoff—is required.

APPENDIX C 9th Edition — APRIL 12, 2024 C-2

For each option selected, there is a brief checklist to confirm your design and your submittal meet minimum requirements.

STEP 3: COMPLETE AND SUBMIT YOUR PLAN

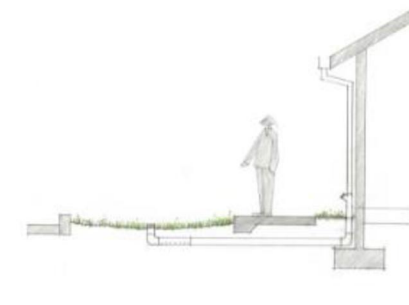
Consult with municipal staff about when and how to submit your Stormwater Control Plan for Small Projects.

Option 1: Disperse runoff from roofs or pavement to vegetated areas.

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

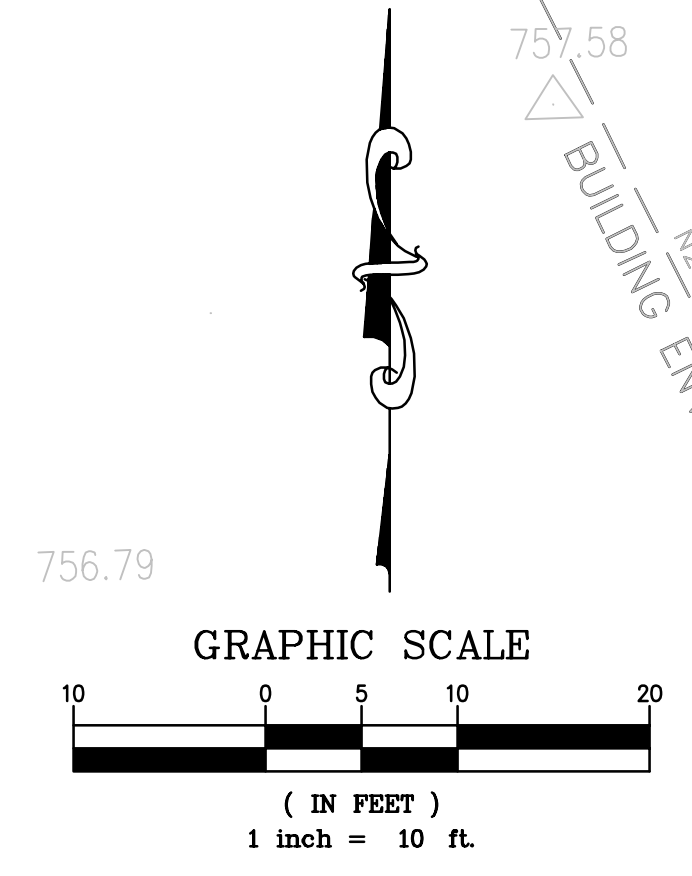
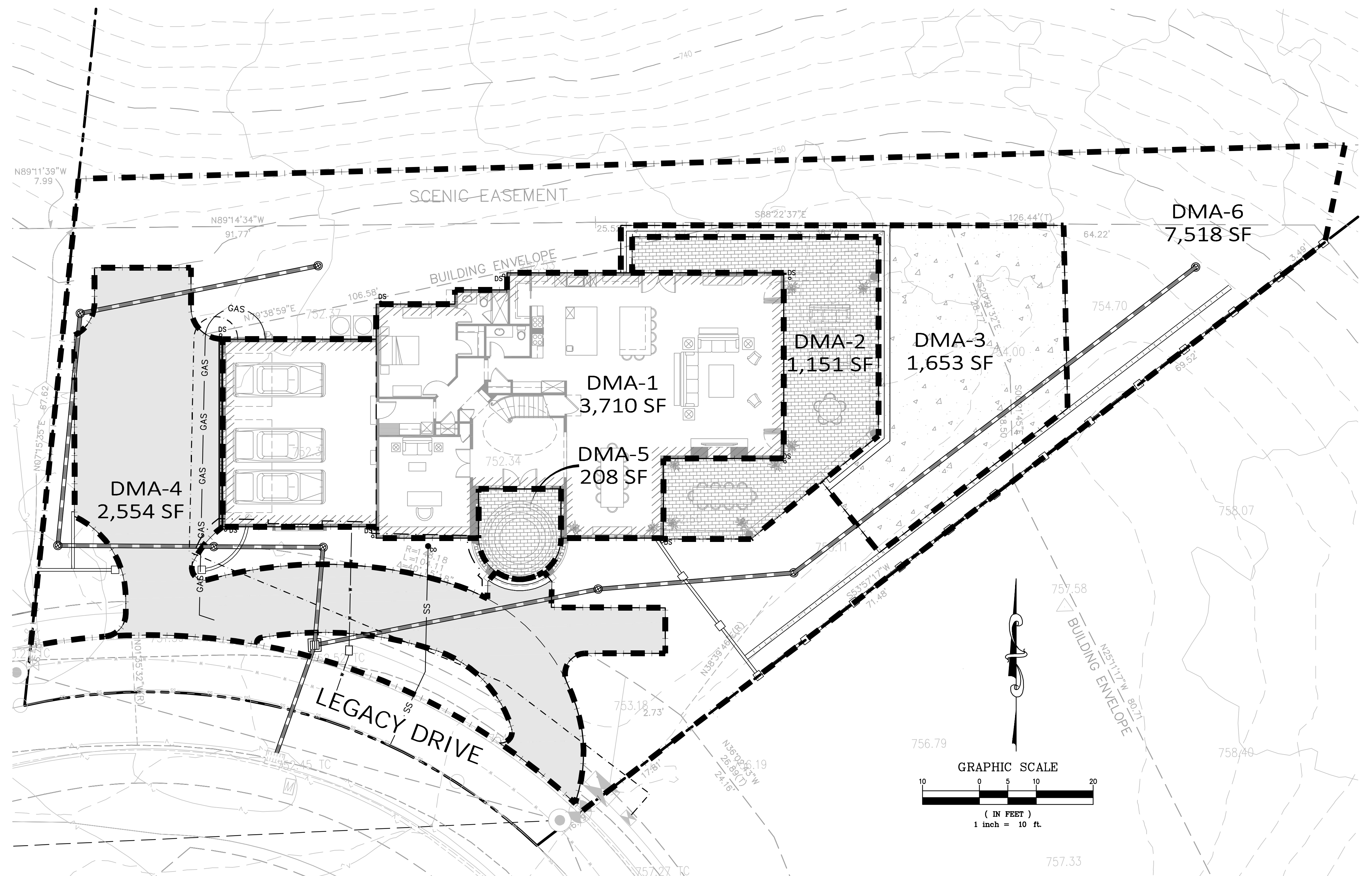
- Each impervious area from which runoff will be directed, and its square footage.
- The vegetated areas that will receive runoff, and the approximate square footage of each.
- If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.



Confirm the following standard specifications are met:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

APPENDIX C 9th Edition — APRIL 12, 2024 C-3



IMPERVIOUS AREA TOTAL: 9,286± SF

LANDSCAPE AREA TOTAL: 7,518± SF

STORMWATER CONTROL PLAN

430 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

Easton C McAllister

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE



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480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: 1" = 10'
By: EM
Job No.: 24204



Camp & Camp Associates
 Planning & Landscape Architecture

2520 CAMINO DIABLO
 WALNUT CREEK, CA 94597

P. (925) 941-6490
 EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 7
 430 Legacy Dr
 Alamo, CA 94507
 (APN: 193-010-029)

PLANTING PLAN



REVISIONS:
 • 12.18.2024
 •
 •
 •
 •
 •
 DATE: 09/24/24
 SCALE: 1/8" = 1' - 0"
 JOB: 24-028

SHEET

L-1.0



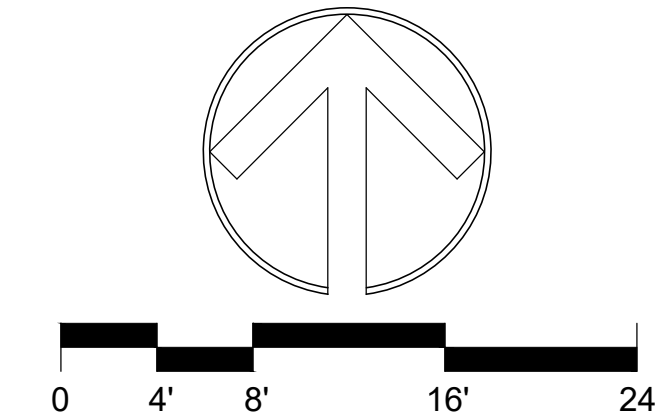
PLANT LIST - LOT 7

NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH
TREES								
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	1	24" Box	L	*	15'-20'	15'-20'
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'
LAG MUS	Lagerstroemia indica x fauriei 'Muskogee'- Multi	Muskogee Crape Myrtle	2	24" Box	L		20'-25'	12'-15'
OLE SWA	Olea europaea 'Swan Hill' - Standard	Swan Hill Olives Tree	2	24" Box	L		20'-30'	20'-30'
POD MAC	Podocarpus macrophyllus 'Maki'- Columnar	Shrubby Yew Pine	2	15 Gal	L		8'-15'	3'-4'
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	3	24" Box	L	*	20'-25'	15'-20'
SHRUBS & PERENNIALS								
LAV INT	Lavandula x intermedia 'Provence'	Provence Lavandin	29	5 Gal	L		1'-2'	2'-3'
OLE EUR	Olea europaea 'Montra'	Little Ollie Dwarf Olive	31	15 Gal	L		4'-6'	4'-6'
PIT TEN	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	5	15 Gal	M		15'-20'	6'-8'
TEC CHA	Teucrium chamaedrys	Wall Germander	56	1 Gal	L		1'-2"	1'-2"
GRASSES								
PEN ORI	Pennisetum orientale 'Karley Rose'	Oriental Fountain Grass	27	1 Gal	L		2'-3'	2'-3'
GROUND COVER								
SAL SON	Salvia sonomensis	Sonoma Sage	10	1 Gal	L	*	1'	3'-6"

DRAWING STATUS

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	



TREES



Acer macrophyllum
Bigleaf Maple



Aesculus californica
California Buckeye



Lagerstroemia indica x 'Muskogee'
Muskogee Crape Myrtle



Olea europaea 'Swan Hill'
Swan Hill Olives Tree



Podocarpus macrophyllus 'Maki'
Shrubby Yew Pine



Quercus agrifolia
Coast Live Oak

SHRUBS



Lavandula x intermedia 'Provence'
Provence Lavandin



Olea europaea 'Montra'
Little Ollie Dwarf Olive



Pittosporum tenuifolium 'Silver Sheen'
Silver Sheen Kohuhu



Teucrium chamaedrys
Wall Germander

GRASS



Pennisetum orientale 'Karley Rose'
Oriental Fountain Grass

GROUND COVER



Salvia sonomensis
Sonoma Sage

PLANT LIST - LOT 7

NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH	UNDER OAK	UNDER REDWOOD
TREES										
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	1	24" Box	L	*	15'-20'	15'-20'		
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'		
LAG MUS	Lagerstroemia indica x fauriei 'Muskogee' - Multi	Muskogee Crape Myrtle	2	24" Box	L		20'-25'	12'-15'		
OLE SWA	Olea europaea 'Swan Hill' - Standard	Swan Hill Olives Tree	2	24" Box	L		20'-30'	20'-30'		
POD MAC	Podocarpus macrophyllus 'Maki' - Columnar	Shrubby Yew Pine	2	15 Gal	L		8'-15'	3'-4'		
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	3	24" Box	L	*	20'-25'	15'-20'		
SHRUBS & PERENNIALS										
LAV INT	Lavandula x intermedia 'Provence'	Provence Lavandin	29	5 Gal	L		1'-2'	2'-3'		
OLE EUR	Olea europaea 'Montra'	Little Ollie Dwarf Olive	31	15 Gal	L		4'-6'	4'-6'		
PIT TEN	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	5	15 Gal	M		15'-20'	6'-8'		
TEC CHA	Teucrium chamaedrys	Wall Germander	56	1 Gal	L		1'-2"	1'-2'		
GRASSES										
PEN ORI	Pennisetum orientale 'Karley Rose'	Oriental Fountain Grass	27	1 Gal	L		2'-3'	2'-3'		
GROUND COVER										
SAL SON	Salvia sonomensis	Sonoma Sage	10	1 Gal	L	*	1'	3'-6'	*	

DRAWING STATUS

- INFORMATION DWGS. (NOT FOR CONSTRUCTION)
- SCHEMATIC DWGS. (NOT FOR CONSTRUCTION)
- DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS.
- BID SET DWGS.
- CONSTRUCTION DOCUMENTS
- OTHER



REVISIONS:

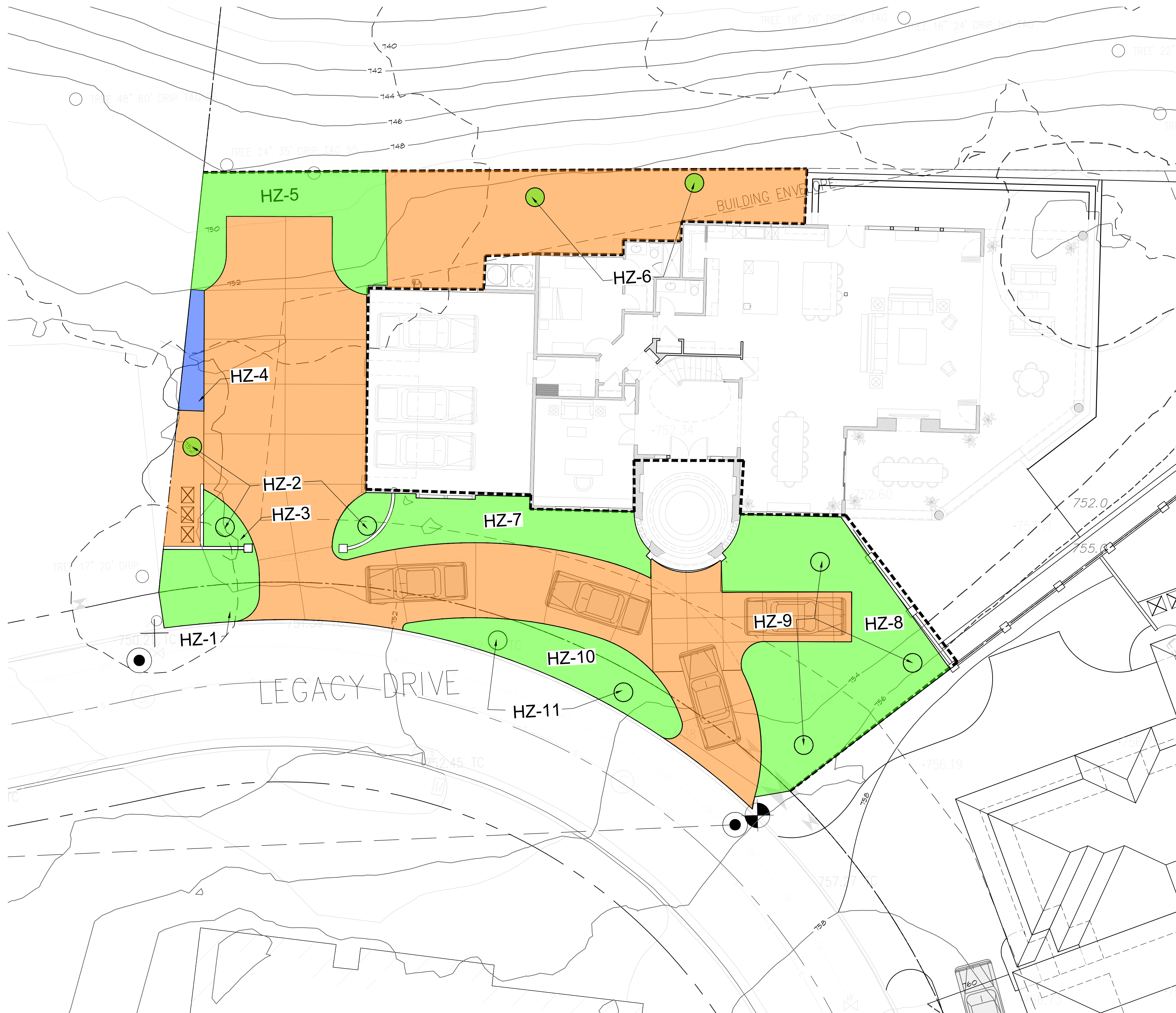
- 12.18.2024
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-
-

DATE: 09/24/24

SCALE: NO SCALE

JOB: 24-028

SHEET



HYDROZONE LEGEND

HYDROZONE # Hydrozone Boundary / Callout

LANDSCAPE AREA SUBJECT TO MWELO

0 SF	SPECIAL LANDSCAPE AREA HYDROZONE (AREA OF THE LANDSCAPE DEDICATED SOLELY TO EDIBLE PLANTS)
0 SF	VERY LOW HYDROZONE (LOW WATER USE LANDSCAPE)
2,141 SF	LOW HYDROZONE (LOW WATER USE LANDSCAPE)
60 SF	MEDIUM HYDROZONE (MEDIUM WATER USE LANDSCAPE)
0 SF	HIGH HYDROZONE (HIGH WATER USE LANDSCAPE, POOLS, AND FOUNTAINS)

2,201 SF TOTAL LANDSCAPE AREA SUBJECT TO MWELO

LANDSCAPE AREA NOT SUBJECT TO MWELO

3,540 SF	NON-IRRIGATED LANDSCAPE (DRIVEWAY, DECKS, ARTIFICIAL TURF, GRAVEL, DECOMPOSED GRANITE)
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3,540 SF TOTAL NON-IRRIGATED LANDSCAPE AREA

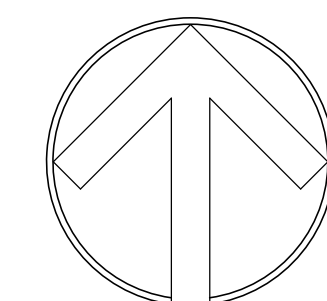
5,741 SF TOTAL LANDSCAPE AREA

MWELO DOCUMENTATION
SEE SHEET L-2.1

IRRIGATION/MWELO NOTE:

THIS IS A PRELIMINARY HYDROZONE PLAN SHOWING WATER USE DISTRIBUTION. A FULLY AUTOMATIC, IRRIGATION SYSTEM DESIGN COMPLIANT WITH CONTRA COSTA COUNTY'S MWELO REQUIREMENTS WILL BE PROVIDED DURING BUILDING PERMIT APPLICATION

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the Irrigation Design Plan."
Signature: 
R. Terrence Camp
Landscape Architect No. 4494



DRAWING STATUS	
<input type="checkbox"/>	INFORMATION DWGS. (NOT FOR CONSTRUCTION)
<input type="checkbox"/>	SCHEMATIC DWGS. (NOT FOR CONSTRUCTION)
<input type="checkbox"/>	DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
<input type="checkbox"/>	CHECK SET (NOT FOR CONSTRUCTION)
<input type="checkbox"/>	PLAN CHECK DWGS.
<input type="checkbox"/>	BID SET DWGS.
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	OTHER



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597
P. (925) 941-6490
EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 7
430 Legacy Dr
Alamo, CA 94507
(APN: 193-010-029)

PRELIMINARY HYDROZONE PLAN



REVISIONS:
• 12.18.2024
•
•
•
•
•
DATE: 09/24/24
SCALE: 1" = 10' - 0"
JOB: 24-028


SHEET

L-2.0

LANDSCAPE DOCUMENTATION PACKAGE CHECK LIST

- 1. Water Efficient Landscape Worksheet
-Hydrozone Information Table
-ETWU & MAWA
- 2. Landscape Design Plan
- 3. Irrigation Design Plan
- 4. Grading Plan- See Civil Plans
- 5. Soil Management Report
- 6. Certificate of Compliance
- ____ 7. Certificate of Completion
(Upon approval of Landscape Documentation Package by the local agency, the project applicant shall:
(1) Receive a permit or approval of the plan check or design review and record the date of the permit in the Certificate of Completion.
(2) Submit a copy of the approved Landscape Documentation Package along with the record drawings and any other information to the property owner or his/her designee.
(3) Submit a copy of the Water Efficient Landscape Worksheet to the local water purveyor.

"I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package."

Signature: 

R. Terrence Camp
Landscape Architect No. 4494

WATER EFFICIENT LANDSCAPE WORKSHEET								
Project Name: 430 Legacy Dr, Lot 7 - Alamo, CA								
Reference Evapotranspiration (Eto) 49.4								
Hydrozone#	Plant	Irrigation	Irrigation	ETAF	Landscape	ETAF x Area	Estimated	
/Planting	Factor (PF)	Method	Efficiency	(PF/IE)	Area (sf)		Total Water	
Description			(IE)				Use (ETWU)	
Regular Landscape Areas								
#1	0.30	Drip	0.81	0.37	181.00	67.04	2,053.21	
#2	0.30	Bubbler	0.81	0.37	21.00	7.78	238.22	
#3	0.30	Drip	0.81	0.37	40.00	14.81	453.75	
#4	0.50	Drip	0.81	0.62	60.00	37.04	1,134.37	
#5	0.30	Drip	0.81	0.37	363.00	134.44	4,117.76	
#6	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81	
#7	0.30	Drip	0.81	0.37	373.00	138.15	4,231.20	
#8	0.30	Drip	0.81	0.37	824.00	305.19	9,347.21	
#9	0.30	Bubbler	0.81	0.37	21.00	7.78	238.22	
#10	0.30	Drip	0.81	0.37	290.00	107.41	3,289.67	
#11	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81	
					Totals	2,201.00	830.00	25,421.24
Special Landscape Areas								
					Totals	0.00	0.00	0.00
							ETWU TOTAL	25,421.24
							Maximum Allowed Water Allowance (MAWA)	37,076.73
ETAF Calculations								
				MAWA (Annual Gallons Allowed) =				
Regular Landscape Areas				(Eto x 0.62) ((ETAF x LA) + ((1-ETAF) x SLA))				
Total ETAF x Area	830.00			ETAF for residential = 0.55				
Total Area	2,201.00			ETAF for non-residential = 0.45				
Average ETAF	0.38	PASS						
				Average ETAF for Regular Landscape Areas				
All Landscape Areas				must be 0.55 or below for residential areas				
				and 0.45 or below for non-residential areas				
Total ETAF x Area	830.00							
Total Area	2,201.00							
Sitewide ETAF	0.38	PASS						

PROJECT INFORMATION	
DATE:	12.18.2024
PROJECT APPLICANT:	Clyde-Miles Const
PROJECT ADDRESS:	430 Legacy Dr - Lot 7 Alamo, CA
TOTAL LANDSCAPE AREA:	5,741 sf
TOTAL IRRIGATED AREA:	2,201 sf
PROJECT TYPE:	PRIVATE
WATER SUPPLY:	Potable, EBMUD

"A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

IRRIGATION NOTES

- Irrigation equipment may be shown within hardscape for graphic clarity only. Install all irrigation equipment within planted areas. Irrigation pipe and wire crossing beneath hardscape surfaces shall be contained within sleeving or schedule 40 pvc conduit. Sleeving size shall be a minimum of two times the aggregate diameter of all pipes contained within sleeves. Provide vertical sweep for all electrical conduit on each side of hardscape and terminate ends at 12" minimum depth and 12" from hardscape surface.
- Unsize lateral line piping located down stream of 1" piping shall be 1" in size (Typical).
- Planting is not to start until the irrigation system is fully operational and the hydrostatic pressure test, coverage review, and grading review is completed and approved by the City Engineer.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in area dimensions exist that might not have been considered in the engineering. such obstructions or differences shall be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revision necessary.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, etc. he shall coordinate his work with the general contractor and other sub-consultants for the location of pipe sleeves through walls and under roadways, paving, structures, etc.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and/or buildings as much as possible. this shall include selecting the best degree of arc to fit the existing site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure for each system.
- Notify Architect of any aspect of the layout that will provide incomplete or insufficient water coverage of plant material and do not proceed until instructions are obtained.
- Install valve boxes 12' from and perpendicular to walk, curb, lawn, building or landscape feature. at multiple valve groups, each box shall be an equal distance from the walk, curb, lawn, etc. and each box shall be 12' apart. short side of valve box shall be parallel to walk, curb, lawn, etc.
- Provide installation by persons familiar with irrigation work and under the supervision of a qualified supervisor.
- Obtain the permits required and provide labor and materials necessary to fully complete the work in accordance with the drawings and the specifications.
- Locate and protect new and existing utilities prior to excavation.
- Do not damage existing utilities, paving or structures. provide the necessary repairs at no additional cost to the city.
- Remove debris and accumulation of debris as a result of irrigation construction from the site and leave area in a clean condition acceptable to the city engineer.
- Maintain site for calendar days as specified, following acceptance of work by the city and make corrections or repairs to the irrigation as directed by the City Engineer at the completion of the maintenance period.
- The drawings are diagrammatic. equipment shown in paving is for clarity only - install in planting areas where possible. Due to the scale of the drawings, all offsets, fittings, sleeves, etc. which may be required are not indicated. Investigate the structural and finished conditions affecting the contract work including obstructions, grade differences or area differences which may have not been considered in the engineering. Where field changes exist, coordinate the installation work accordingly by notification and approval of the city engineer as per the contract specifications. Coordinate irrigation contract work with all applicable contractors for the location and installation of pipe, conduit, or sleeves of pipe, conduit or sleeves through or under walls, roadways, paving, structure, etc. before construction. assume full responsibility for required revisions if these notifications are not performed.
- Plastic valve boxes are to be green in color with bolt down, non-hinged cover marked "Irrigation". box body shall have knock outs. manufacturer: carson or approved equal. Valve numbers are to be branded on valve box lid or each valve shall have a valve tag.
- Flush and adjust sprinkler heads for efficient performance, prevent over spray on the walks, roadways, signs, lights, and/or buildings. select the best degree of arc to fit the existing site conditions and throttle the flow control or pressure regulation device at each valve to obtain the best operating pressure for each system.
- Compost incorporated at a rate of 4 cubic yards per 1000 SF into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped mulch.
- Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- Irrigation system is designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas.
- A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, the designer of the irrigation plans, or the licensed landscape contractor for the project.
- An irrigation audit report shall be completed at the time of final inspection. A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit.
- A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

DRAWING STATUS	
<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597

P. (925) 941-6490
EMAIL: tc@campandcamp.com

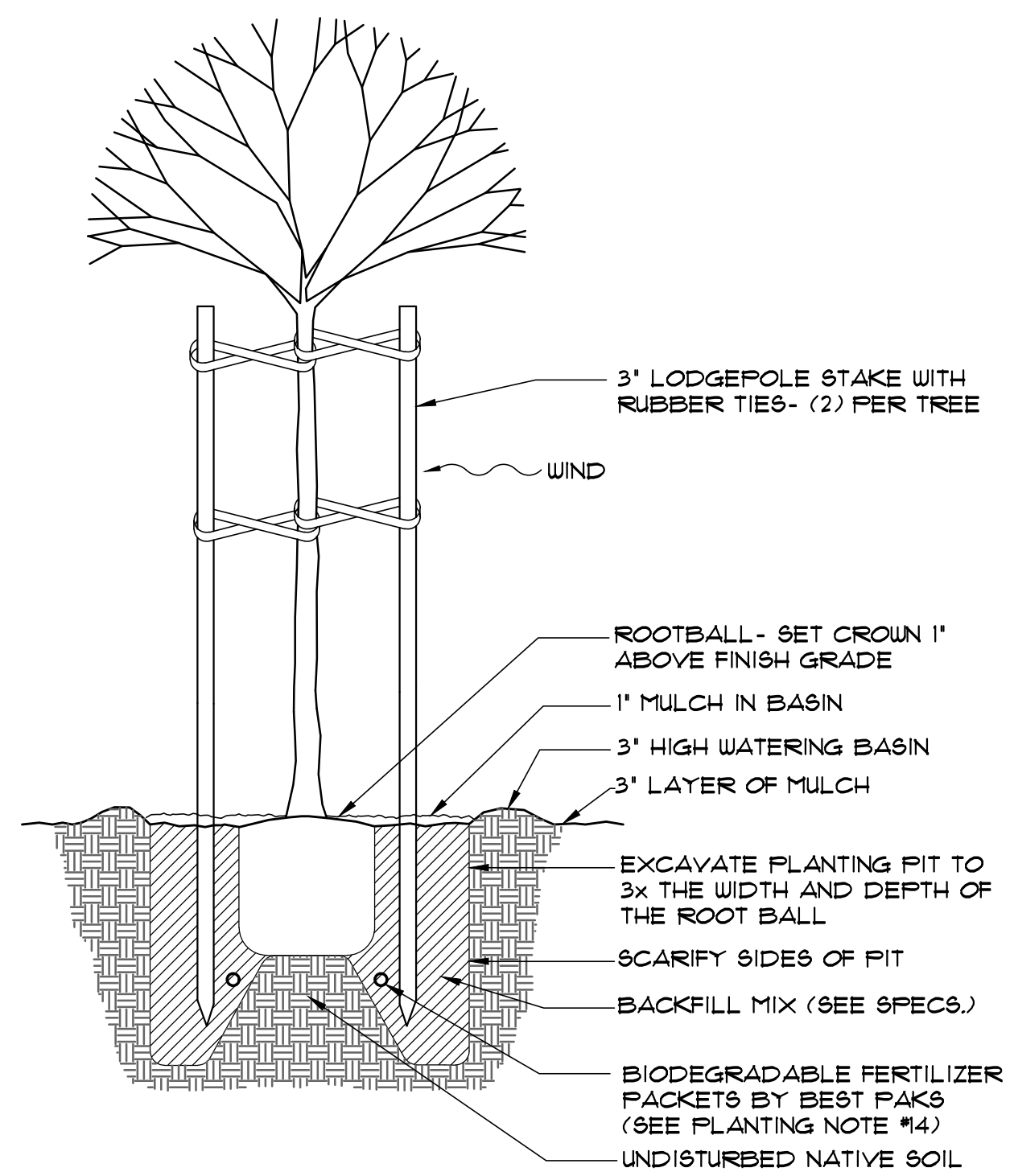
Clyde-Miles Const - Lot 7
430 Legacy Dr
Alamo, CA 94507
(APN: 193-010-029)

LANDSCAPE DOCUMENTATION PACKAGE

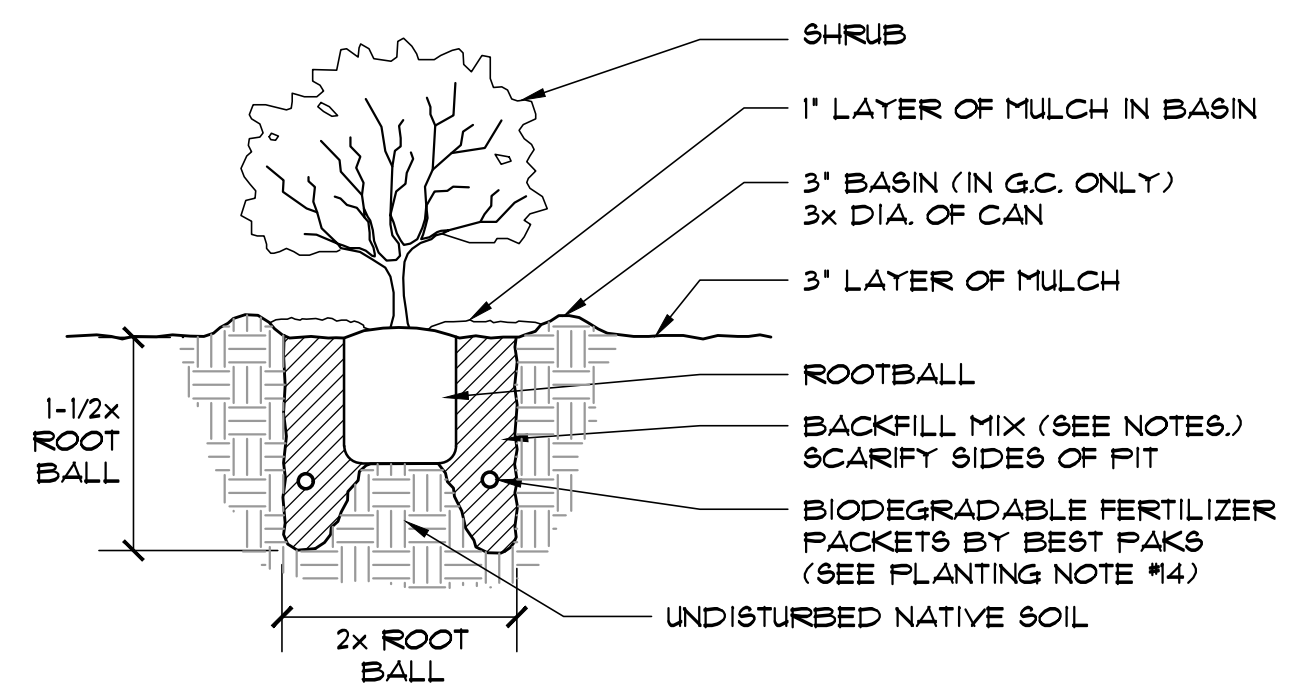


REVISIONS:
 • 12.18.2024
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 DATE: 09/24/24
 SCALE:
 JOB: 24-028

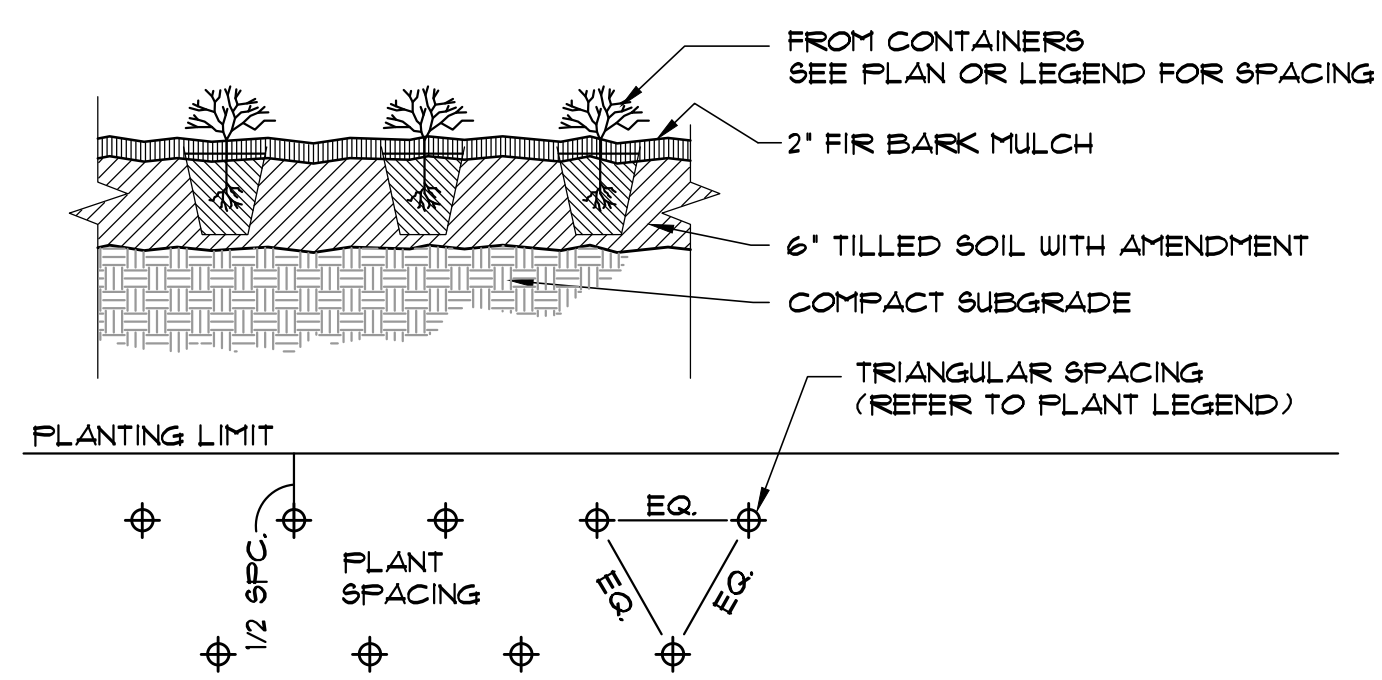
SHEET
L-2.1



1 TREE STAKING
SCALE: 3/4"=1'



2 SHRUB PLANTING
SCALE 3/4"=1'



3 GROUNDCOVER PLANTING
SCALE 3/4"=1'

PLANTING NOTES

- Plant material locations are diagrammatic and may be subject to change by the landscape architect before the maintenance period begins.
- All trees to be staked as shown in the tree planting detail.
- Contractor shall ensure trees do not conflict with existing utilities.
- If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with work.
- All plants will be inspected for acceptable form and condition by Landscape Architect. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.
- All planting work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.
- Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.
- The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.
- Prior to commencement of planting procedures, soil must be inspected for the following:
 - Rough Grading: such that all stones over 1" diameter and pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
 - Amendment: amendments have been incorporated into the soil per the soils test.
 - Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal.
- All asphalt, base course and other debris are to be removed completely below planting areas. Contractor is responsible for supplying top soil as necessary for all planting areas.
- It shall be the Landscape Contractor's responsibility to provide adequate drainage of all plantings, sufficient to insure healthy growth.
- After planting has been approved by Landscape Architect, all plant tags are to be removed.
- Dig planting pits 3 times the width of tree rootball and 2 times the width of shrub root ball. Backfill pits with 10% native on-site soil and 30% nitrized shavings or equivalent.

Backfill:
10% native soil by volume
30% nitrized shavings or equivalent
16 lbs. gro-power plus per cubic yard mix
other amendments per soil analysis
grow-power planting tablets
- An automatic irrigation system is to be provided to water all planting areas which shall comply with MWELC. Landscape Contractor is to provide adequate coverage for all indicated planting areas prior to plant installation.
- Compost incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped wood mulch.

DRAWING STATUS

<input type="checkbox"/>	INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/>	SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
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<input type="checkbox"/>	PLAN CHECK DWGS.	
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<input type="checkbox"/>	CONSTRUCTION DOCUMENTS	
<input type="checkbox"/>	OTHER	



REVISIONS:

- 12.18.2024
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DATE: 09/24/24

SCALE: AS SHOWN

JOB: 24-028

SHEET

THE RIDGES - LOT 7
430 LEGACY DRIVE
ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA
(925) 820-8233 FAX (925) 820-8793

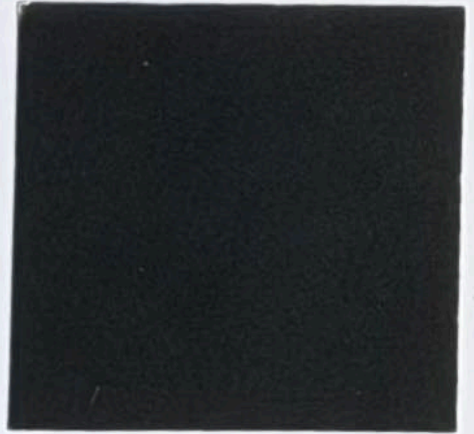
BODY STUCCO
Dunn Edwards
DET620 Barnwood Gray



TRIM
Dunn Edwards
DET625 Reclaimed Wood



WINDOWS
Black



ROOF
Tru Slate
Autumn Dusk

