CONTRA COSTA COUNTY

AGENDA

East Richmond Heights Municipal Advisory Council

Tuesday, August 26, 2025	**6:30 PM**	**Contra Costa County Supervisor Gioia's Office (11780 San Pablo Ave, El Cerrito, CA 94530) or Zoom: https://cccounty-us.zoom.us/j/85032118032**

Land-Use Subcommittee

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call and Introductions

2. Discussion Items

County File Number: CDVR25-01029 - 1509 ELM AVE, RICHMOND, CA **25-3439**

Attachments: CDVR25-01029 Agency Comment Packet

The applicant requests approval of a variance and small lot design review to allow a 12'-4" primary front yard setback (where 20 feet is the minimum required) to add conditioned living space to an existing single-family residence on a lot of substandard average width.

County File Number: CDVR25-01031 - 6603 KENSINGTON AVE **25-3440**

Attachments: CDVR25-01031 Agency Comment Request Packet

The applicant requests approval of a variance and small lot design review to allow a 10-foot secondary front setback (where 15 feet is the minimum required) to construct a 160 square-foot raised deck on a lot of substandard area and average width.

3. Public comment on any item under the jurisdiction of the Committee and not on this agenda (speakers may be limited to two minutes).

Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at Contra Costa County Supervisor Gioia's Office (11780 San Pablo Ave, El Cerrito, CA 94530) during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time

For Additional Information Contact: For Additional Information Contact: Ronnie Mills | District Coordinator, Supervisor John Gioia | District 1, P (510) 942-2222, C (925) 839-3173

CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-3439 **Agenda Date:** 8/26/2025 **Agenda #:**

Advisory Board: East Richmond Heights Municipal Advisory Council (Land Use Subcommittee)
Subject: **County File Number: CDVR25-01029**
Information: **1509 ELM AVE, RICHMOND, CA**

CONTRA COSTA COUNTY
DEPARTMENT OF CONSERVATION AND DEVELOPMENT
COMMUNITY DEVELOPMENT DIVISION
30 Muir Road
Martinez, CA 94553-4601
Phone: 925-655-2700
Fax: 925-655-2758

CONTRA COSTA
CONSERVATION & DEVELOPMENT

AGENCY COMMENT REQUEST

Date 05/13/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

✔ Building Inspection
Grading Inspection
Advance Planning
Housing Programs
Trans. Planning
Telecom Planner
ALUC Staff
HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

✔ Environmental Health
Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services
Special Districts
Traffic
Flood Control (Full-size)

LOCAL

✔ Fire District _____

San Ramon Valley – (email) rwendel@srvfire.ca.gov
✔ Consolidated – (email) fire@cccfpd.org

✔ Sanitary District West County Wastewater
✔ Water District EBMUD
✔ City of El Cerrito
School District(s) _____
LAFCO
Reclamation District #_____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD
✔ MAC/TAC East Richmond Heights MAC
Improvement/Community Association
✔ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

_____
_____

Please submit your comments to:

Project Planner Nai Saephan
Phone # 925-655-2874
E-mail nai.saephan@dcd.cccounty.us
County File # CDVR25-01029

Prior to June 12, 2025

* * * * *

We have found the following special programs apply to this application:

Landslide
✔ Active Fault Zone (A-P)
Liquefaction
Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
✔ High or Very High FHSZ

* * * * *

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below ___ Attached

Print Name_____

_____
Signature DATE

Agency phone #_____

REVISED 09/25/2024. TO PRINT MORE COPIES: G:\Current Planning\APC\APC Forms\CURRENT FORMS\PLANNING\Agency Comment Request.doc

CONTRA COSTA
CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01029 **File Date: 5/13/2025**

Applicant:
POONAM SUBEDI Economical home design build
3235 SYDNEY WAY
CASTRO VALLEY, CA,94546, CA 94804
economicalhomedesign@outlook.com
(510) 827-2605

Property Owner:
FOUNDATION INC GYUTO
6401 BERNHARD AVE
RICHMOND, CA 948051655
donyo@gyuto.org
(510) 674-6000

Project Description:
The applicant requests approval of a variance and small lot design review to allow a 12'-4" primary front yard setback (where 20 feet is the minimum required) to add conditioned living space to an existing single-family residence on a lot of substandard average width.

Project Location: (Address: 1509 ELM AVE, RICHMOND, CA 948051611), (APN: 521071014)

Additional APNs:

General Plan Designation(s): RM

Flood Hazard Areas: X

60-dBA Noise Control: NO

Sphere of Influence: El Cerrito

Sanitary District: WEST CO WASTEWATER

Specific Plan: N/A

Zoning District(s): R-6

AP Fault Zone: YES

MAC/TAC: East Richmond Heights MAC

Fire District: CONSOLIDATED FIRE

Housing Inventory Site: NO

Fees:

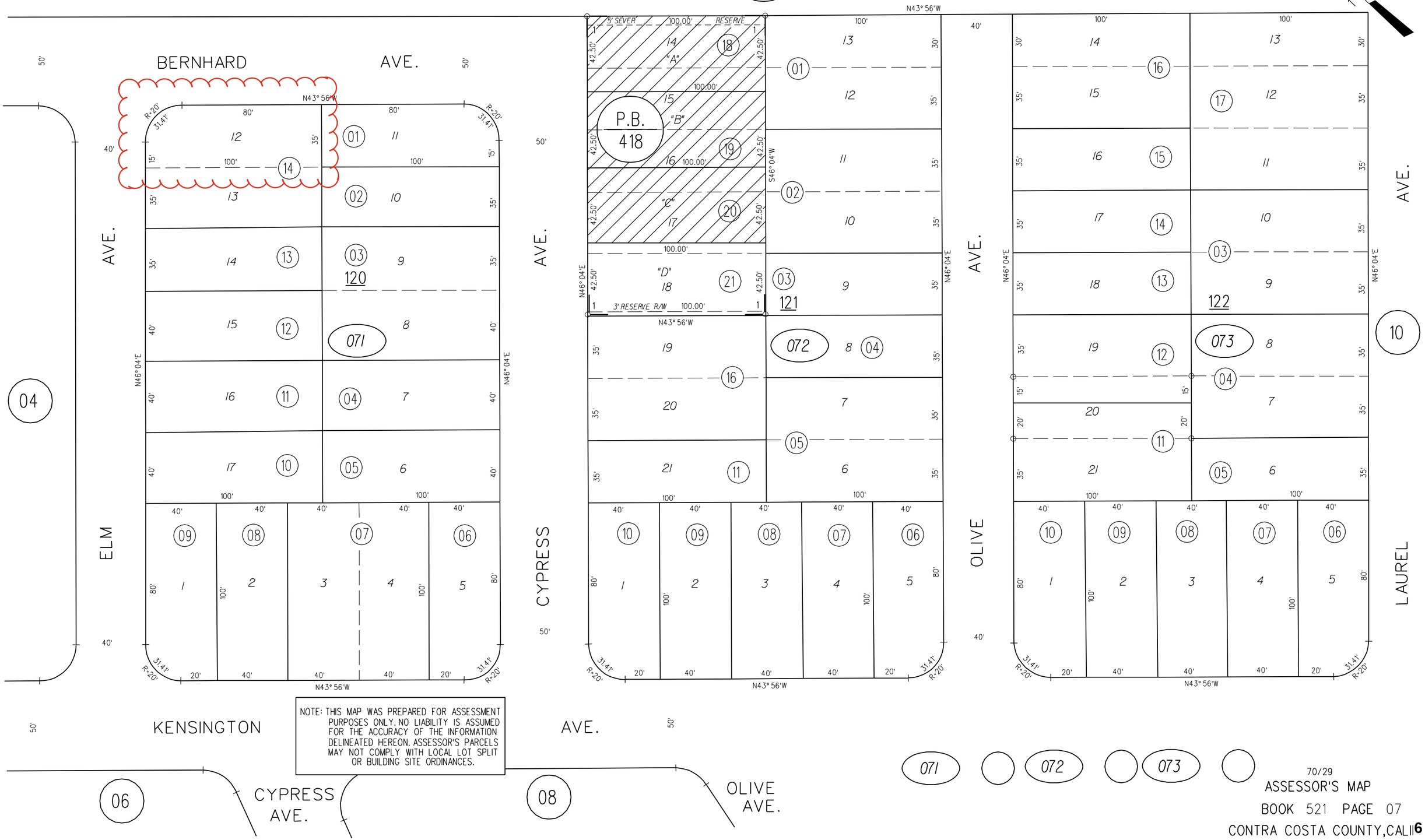
Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee ($30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee ($57)	002606-9660-REV-000-5BHSDR| $5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
		Total:	**3337.00**	**3337.00**

EAST RICHMOND HEIGHTS TRACT NO.4 M. B. 8-17.7

1- 26P.M.14 1-24-73

PB 418

1" = 50'



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

70/29

ASSESSOR'S MAP

BOOK 521 PAGE 07

CONTRA COSTA COUNTY, CALIF.

General Plan

Map Legend

- Assessment Parcels

General Plan

- RM (Residential Medium Density) (7-17 du/na)
- RC (Resource Conservation)
- Unincorporated
- City Limits
- Board of Supervisors' Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Credits: Contra Costa County Development of Conservation and Department, Maxar, Microsoft, Esri Community Maps Contributors, California State Parks, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS

Zoning

Map Legend

- Assessment Parcels
- Zoning
- ZONE_OVER
- R-6 (Single Family Residential)
- A-2 (General Agriculture)
- Unincorporated
- City Limits
- Board of Supervisors' Districts
- Address Points

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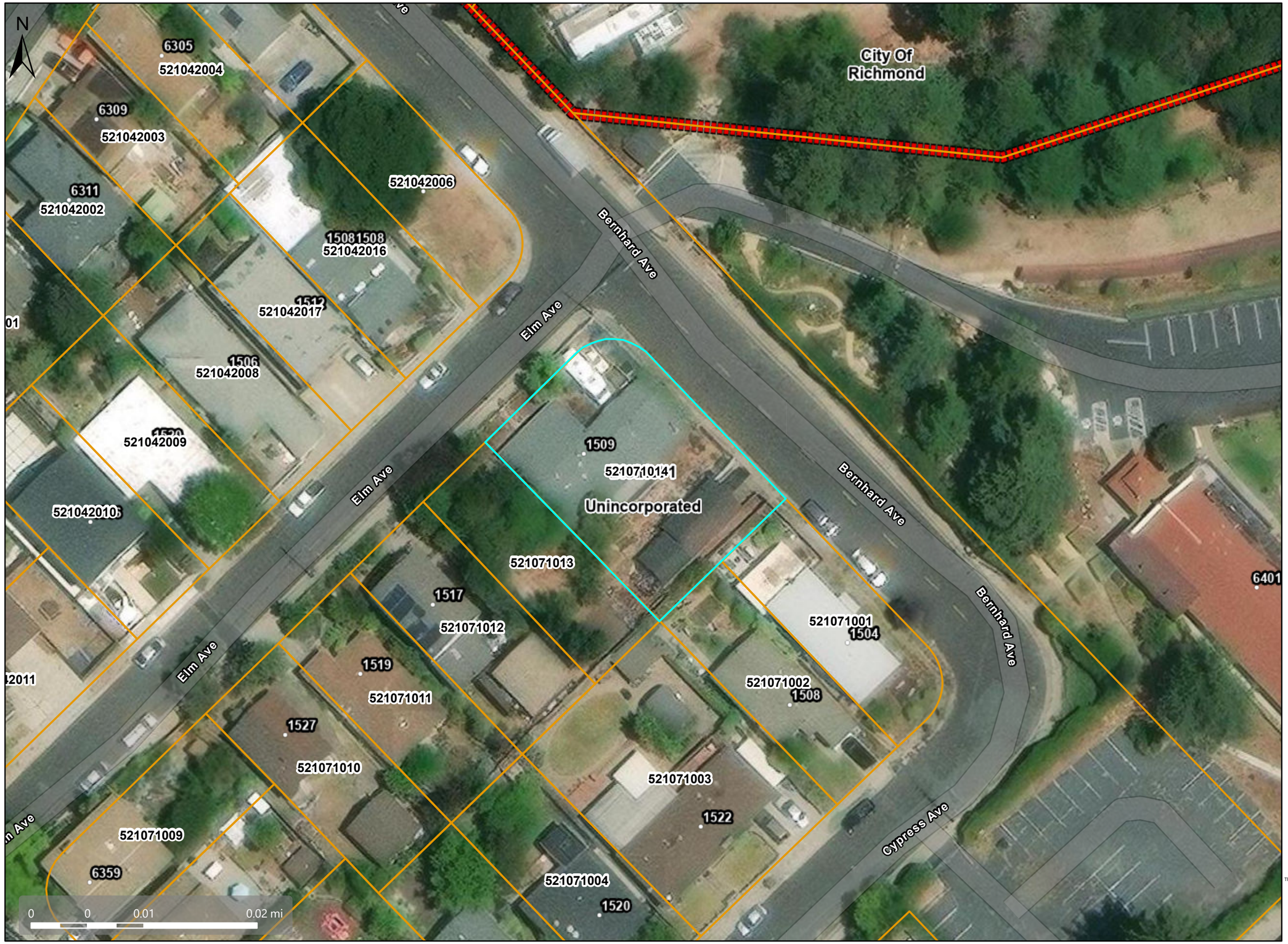
Orthophotography



Map Legend

- Assessment Parcels
- Unincorporated
- City Limits
- Board of Supervisors' Districts
- Address Points

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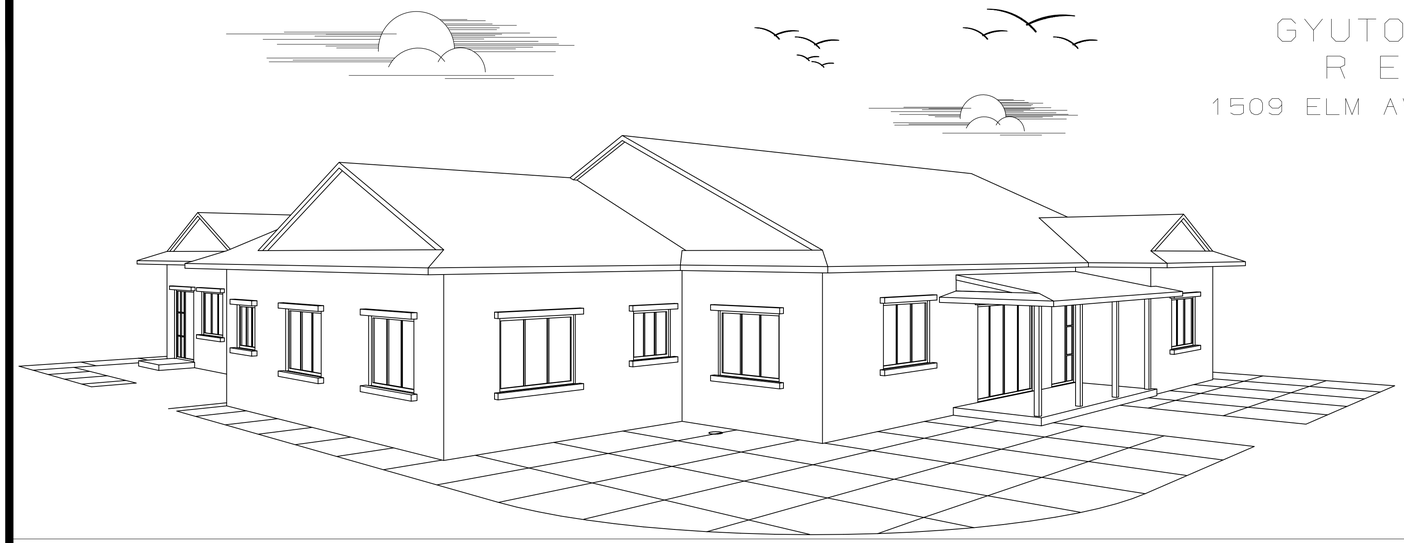
GYUTO FOUNDATION INC.
R E S I D E N C E
1509 ELM AVE, RICHMOND, CA 94805_1611



DESIGNER
ECONOMICAL HOME DESIGN BUILD
3235 SYDNEY WAY
CASTRO VALLEY, CA,94546
TEL: 510.827.2605
ATTN: POONAM SUBEDI
ECONOMICALHOMEDESIGN@.OUTLOOOK.COM

OWNER/ APPLICANT
GYUTO FOUNDATION INC.,
A CALIFORNIA NON-PROFIT RELIGIOUS CORPORATION
6401 BERNHARD AVENUE, RICHMOND, CA, 94805
PH. NO. 510-674-6000
EMAIL: DONYO@GYUTO.ORG

TITLE 24 CONSULTANT
SEVAG KURDAIN
CELL- (818)-512-9231
EMAIL- SEVAG@SKDESIGNLA.COM
2333 MIRA VISTA AVE #26
MONTROSE, CA, 91020

CITY STAMP :

RECEIVED on 05/12/2025 CDVR25-01029
By Contra Costa County
Department of Conservation and Development

PROJECT DATA

OWNER :	GYUTO FOUNDATION INC.
ADDRESS :	1509 ELM AVE, RICHMOND, CA 94805_1611
APN :	521-071-014-0
OCCUPANCY :	R-3 / U
CONSTRUCTION TYPE :	V-B
ZONING :	RL2
PRIMARY ZONING :	SINGLE FAMILY RESIDENTIAL
LOT SIZE :	0.160 ACRE (7000 SQ.FT.)

EXISTING HOUSE + DETACHED GARAGE : 1915.85 + 607.86 = 2523.71 SFT.
PROPOSED HOUSE + ATTACHED JADU + DETACHED ADU GARAGE CONVERTION : 1645.77 + 499.50 + 607.865 = 2753.135 SFT.
SPECIAL FLOOD HAZARD AREA : NO

LOT AREA : 0.160 ACRE (7000 SQ.FT.)
MAX. LOT COVERAGE : 1645.77 + 175.54 = 1821.31 SFT.
(EXCLUDING PROPOSED ADU AND JADU)

EXISTING HABITABLE SPACE (EXCLUDING STORE, PATIO AND GARAGE SPACE): 1448.23 SFT
PROPOSED NEW HABITABLE SPACE (EXCLUDING STORE AND PATIO SPACE): 2577.735 SFT

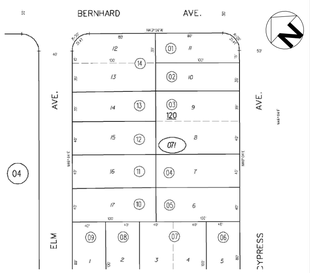
REQUIRED PARKING SPACE : PROVIDED SINGLE PARKING SPACE

NO FIRE SPRINKLER AT ADU NOT ON EXISTING HOUSE.

EXISTING UN-HABITABLE SPACE (GARAGE + STORAGE AREA)	PROPOSED NEW UN- HABITABLE SPACE (STORAGE AREA)
1075.48 SFT.	175.54 SFT.

HISTORIC DESIGNATION	NO
PROPOSED NEW BLDG/ LIV AREA: LOT AREA.: YEAR BUILD: EFFECTIVE YEAR :	2753.135 SFT. 0.160 ACRE (7000 SQ.FT.) 1941 SEE FULL DETAIL
EXISTING EXTERIOR DECK FLOOD ZONE	X
EXISTING BUILDING BUILT YEAR	1941
TOTAL LOT COVER AREA (EXCLUDE THE ADU +JADU)	1821.31 SFT.
PAVED YARD AREA :	1274.59 SFT. (CONCRETE PAVEMENT + BRICK PAVED AREA)
PERMEABILITY IN YARD AREA:	2430.75 SFT.

PARCEL MAP :



VICINITY MAP :

GENERAL NOTES :

1. ALL CONSTRUCTION SHALL EXCEED THE LATEST EDITION OF CODES ADOPTED BY LOCAL BUILDING OFFICIAL AND OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES IN THE EVENT OF A CONFLICT WITH CODE REQUIREMENTS AND ITEMS CALLED OUT ON THE DRAWINGS THAT CODE OR CALL OUT WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE THE DRAWINGS. CONTRACTOR TO NOTIFY THE ARCHITECT/ DESIGNER/ ENGINEER ANY VIOLATION OF CODE IMMEDIATELY.
2. CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK.
3. PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET.
4. DIRECT POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ONTO NEARBY ONSITE LANDSCAPING SO AS TO REDUCE THE AMOUNT OF NEARBY ONSITE LANDSCAPING SO AS TO REDUCE THE AMOUNT OF RUNOFF DIRECTED TOWARDS THE STREET. THE NATURAL TOPOGRAPHY OF THE PROPERTY SHALL E KEPT AS IS AS MUCH AS FEASIBLE.
5. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY, THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY , RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENTS.
6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORKS.
7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND ARE MEASURED FROM THE FINISHED SURFACE, FIELD VERIFY ALL CABINET SPACE AND FIXED GLASS SIZES, APPLIANCE, FIXTURES, EQUIPMENT ETC. CLEARANCES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT. THE ARCHITECT/ DESIGNER WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT.
8. DURING CONSTRUCTION STAGE, IF ANY ADDITIONAL EQUIPMENT TO BE INSTALLED OF CHANGE ORDERS REQUESTED BY OWNER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/DESIGNER IMMEDIATELY.
9. CONTRACTOR TO PROVIDE CONSTRUCTION STAKING TO VERIFY THE CITY APPROVED SETBACK TO THE BUILDING.
10. SUBCONTRACTORS SHALL CO-ORDINATE THEIR WORKS WITH EACH OTHER PROFESSIONALLY, NOTIFY GENERAL CONTRACTOR ANY DISCREPANCY & DIFFICULTY.
11. TRADE NAME & MANUFACTURERS REFEREED TO ARE FOR QUALITY STANDARDS ONLY SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY OWNER.

APPLICABLE CODE :

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
COUNTY: CONTRA COSTA

ABBREVIATIONS :

&	AND	G.I.	GALVANIZED IRON
<	ANGLE	GYP. BD.	GYPSUM BOARD
@	AT	H.B.	HOSE BIBB
C.L	CENTERLINE	INSUL	INSULATION
[	CHANNEL	INT	INTERIOR
IO	DIAMETER OF ROUND	INV	INVERT
II	PARALLEL	M.B.	MACHINE BOLT
I_	PERPENDICULAR	M.C.	MEDICINE CHEST
PL	PLATE	MIN.	MINIMUM
#	POUND OR BOLT	MTL.	METAL
A.D	ANCHOR BOLT	N.I.C.	NOT IN CONTRACT
A/C	ASPHALTIC CONCRETE	NOM	NOMINAL
ACC	ACCOUSTIC	NTS	NOT IN SCALE
A.F.F	ABOVE FLOOR FINISH	O/C	ON CENER
ALUM	ALUMINIUM	OPG.	OPENING
BLK	BLOCK	LAM	LAMINATED PLASTIC
C.J	COLD JOINT	PL.	PLATE
CONC.	CONCRTE	PL GL	PLATE GLASS
CONT	CONTINIOUS	PLY	PLYWOOD
C.I.	CAST IRON	RDWD	RED WOOD
DF	DOUGLAS FIR	RM.	ROOM
ELEV	ELEVATION	RWL	RAIN WATER LEADER
(E)	EXISTING	SIM	SIMILAR
EXIST	EXISTING	TEMP GL	TEMPERED GLASS
EXT	EXTERIOR	T&G	TONGUE & GROOVE
F.E.	FIRE EXTINGUISHER	T.O.C	TOP OF CURB
F.F	FLOOR FINISH	T.O.P	TOP OF PLATE
FIN.	FINISH FLOOR	TYP	TYPICAL
FL.	FLOOR	UON	UNLESS OTHERWISE NOTED
F.O.C	FACE OF CONC	VGDF	VERTICAL GRAIN DOUGLAS FIR
F.O.B	FACE OF BLOCK	W/	WITH
F.O.S	FACE OF STUD	WC	WATER CLOSET
FDN	FOUNDATION	WH	WATER HEATER
FUR	FURNACE	WWF	WELDED WIRE FABRIC
FTG	ROOTING	TH	THRESHOLD
GALZ	GALVANIZED		

DEFERRED SUBMITTALS : NONE

SCOPE OF WORK :

1. COMPLETE REMODEL OF MAIN HOUSE WITH 3 BEDROOM, LIVING, DINING KITCHEN, COMMON BATHROOM, PANTRY AND 2 ATTACHED BATHROOM AND ONE ATTACHED PANTRY WITH AN AREA 1645.77 SFT.
2. COMPLETE REMODEL OF ATTACHED STORAGE TO JADU WITH 2 BEDROOM, 1 BATHROOM, LIVING SPACE AND SERVING COUNTER WITH AN AREA OF 499.5 SFT.
3. COMPLETE REMODEL OF GARAGE CONVERSION TO ADU WITH 1 BEDROOM, BATHROOM, LIVING, KITCHEN, DINING, PANTRY AND TWO STORAGE WITH AN AREA OF 607.86 SFT.

SHEET INDEX :

A0.1	PARCEL MAP, VICINITY PLAN, SHEET INDEX, PROPERTY SUMMARY
A0.2	GENERAL NOTES
A0.3	GOOGLE MAP IMAGE SHOWING THE NEAREST BUS STATION FORM EXISTING SITE
A0.4	EXISTING SITE PLAN
A0.5	PROPOSED SITE PLAN
A0.6	EXISTING MAIN HOUSE AND GARAGE PLAN
A0.7	PROPOSED MAIN HOUSE PLAN
A0.8	PROPOSED ADU PLAN AND NOTES
A0.9	MAIN HOUSE EXISTING / PROPOSED ELEVATION
A0.10	MAIN HOUSE EXISTING / PROPOSED ELEVATION
A0.11	EXISTING GARAGE/ PROPOSED ADU ELEVATIONS
A0.12	TYPICAL SECTIONS AND DETAILS
A0.13	EXISTING/ DEMOLITION ROOF PLAN
A0.14	PROPOSED ROOF PLAN
A0.15	DETAILS

ISSUE LOG
OWNER. SUBMITTAL NOV. 25, 2024
OWNER REV1 MARCH. 15, 2025
OWNER REV2 APRIL. 15, 2025
REV3 APRIL 24, 2025
BUILDING SUBMITTAL MAY 2, 2025

ECONOMICAL
HOME DESIGN BUILD LLC
3235 SYDNEY WAY,CASTRO VALLEY,CA,94546
TEL: 510-827-2605,
EMAIL:ECONOMICALHOMEDESIGN@OUTLOOK.COM

Poonam

COMPLETE REMODEL FOR:
GYUTO FOUNDATION INC.
1509 ELM AVE, RICHMOND,
CA 94805_1611

APN - 521-071-014-0

CHECKED	DRAWN
SO	SM, SS

DATE
MAY 2, 2025

JOB
2024 RICHMOND, CA

A0.1

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ALL DESIGNS, DRAWINGS, AND WRITTEN MATERIALS APPEARING HEREIN, ARE PROTECTED AND CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REVISED, REUSED, COPIED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. EQUIPMENT MANUFACTURED BY OTHERS IS EXCLUDED. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF ARCHITECTURAL SERVICE, AND SHALL REMAIN THE THE PROPERTY OF THE DESIGNER. USE IS RESTRICTED TO THE SITE FOR WHICH THEY ARE PREPARED.

GENERAL NOTES

00. ARCHITECT/OWNER/CONTRACTOR AGREEMENT:

00.01 Contractor is responsible for thorough review of these documents including all plan, notes, details, elevations and information provided by owner prior to the commencement of any work.

00.02 The contractor is responsible for thorough review of compliance with the soils investigation report, the structural calculations report, Title-24 energy report, and any other consultant reports listed. All reports recommendations are to be considered part of these construction documents.

00.03 The contractor shall notify the designer immediately of any discrepancies or conflicts found in these drawings.

00.04 The contractor shall give the designer adequate notice (min. 3 business days) for any necessary site visits or drawing revisions.

00.05 Should the contractor or owner disagree with any of the requirements of this set he/she shall notify the designer in writing prior to signing of the contract for construction and the designer shall be contracted to provide additional or alternative information needed or requested.

00.06 By using these documents for the construction, the Contractor and Owner warrant that they have read, do understand, and agree to these conditions.

1.0 GENERAL NOTES:

1.01 All work depicted on these drawings is required to comply with the California Building Standards Commission (CBSC) Title 24 Code of Regulations, 2022 California Residential Code. Construction is to comply with all volumes, sections and subsections of that code. It is the Contractor's responsibility to be familiar with the standard requirements for construction, and to maintain a copy of the 2019 California Residence Code at all times. The code (s) is/ are to be considered a part of this set.

1.02 The contractor is to provide all work and materials in accordance with or as required by the 2022 California Building Code (CBC) Volume 1&2, 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), 2022 California Mechanical Code (CMC), 2022 California Plumbing Code (CPC), 2022 California Electrical Code (CEC), 2022 California Fire Code (CFC), 2022 California Energy Code, 2022 California Reference Standards Code, and all other applicable state, federal and local codes.

1.03 These drawings and specifications are the property and copyright of Designer and shall not be used on any other work or project except by written agreement with the Designer.

1.04 contractor is responsible for thorough review of, and familiarity with, these documents, including plans, elevations, notes, details, consultant reports, and supporting documents prior to the commencement of any work. Any discrepancy in this set of construction documents is to be brought to the immediate attention of the designer.

1.05 If specifications vary within this set, the most stringent is said to apply unless clarified in writing by the Designer.

1.06 If any details are noted to be missing or incomplete, written questions are to be directed to the Designer for clarification prior to the signing of any contract for construction.

1.07 The General Contractor is required to notify Designer in writing of any substitution, revision or proposed alternate at least two weeks prior to the expected date at order or installment of said alternate in order ot allow adequate time of coordination and approvals by Designer, any professional consultants as well as the local code enforcement agency. A two weeks response is not guaranteed, so the greater the notice period, the better.

1.08 The General Contractor shall be responsible for scheduling and being present for all required inspections.

1.09 Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. Where appropriate, alignments to existing walls and finishes should govern. Any discrepancy shall be immediately brought to the attention of the Designer prior to the commencement of any work. The General Contractor shall verify all dimensions and site/grade conditions prior to commencing any work. The general contractor shall keep a set of these plans and specifications on the job site as reference at all times. The general contractor and framing contractor are responsible for working to coordinate shear wall lengths and hold-down locations with plumbing and mechanical infrastructure. Furring and soffits should be frame as required with verification of owner or Designer.

1.10 The construction contractor and his subcontractors agree that in accordance with generally accepted construction practices, the construction practices, the construction contractor and his subcontractors will be required to assume sole and complete responsibility for the job site conditions during the course of the construction of the project, including safety and security of all persons and property. This requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor and his subcontractors further agree to defend, indemnify and hold the Designer harmless and from any and all liability, real or alleged in connection with the performance of work on the project, except liability arising from the sole negligence of the Designer.

1.11 The General Contractor is required to designate a contact person for the project to receive all the information related to job site information. The contact's name and phone number are to be given to the Owner and the Designer. Unless specified by the Owner, the General Contractor is to provide responsible, appropriate supervision on the job site for the duration of the project. General Contractor is to provide and maintain a job site phone number, e-mail or fax. Contractor is responsible for adequate supervision of all sub-trades.

1.12 The Contractor shall confine operations to the site areas permitted by law, ordinances, permits, and the contract documents and shall not unreasonably encumber the site with any materials or equipment.

1.13 No portion of the work requiring a shop drawing or sample submission (per the request of the owner, General Contractor, or Designer) shall be commenced until the submission has been reviewed and acted upon by the said party. All such portions of the work shall be in accordance with the approved shop drawings and samples.

1.14 General Contractor is responsible for visiting the job site prior to bidding and conducting reasonable inspection of existing conditions for the purpose of accurately assessing the scope of work, site conditions and overall project intent. questions arising from this site visit are to be directed to Economical Home Design Build for clarification prior to bid.

1.15 These drawings are intended to illustrate a complete job. Unless specified, work is to include all common and necessary accessories. (i.e. toilet roll holders, towel bars, mirrors, etc.) as well as all components required to meet current code requirements in the jurisdiction work is being performed. Contractor is responsible for including sub-structure furring including floor, wall or ceiling padding to assure surfaces are plumb, level and aligned with $\frac{1}{8}$" on a 8' measure. Concealment of Steel structural brackets, beams, tabs, bolts and protruding elements are to be considered at the time of rough frame bidding and are to be included in the construction. Furring, notching, alternative welding, and other means may be considered pending approval of structural engineer.

1.16 Certain items, materials, and features represented within this set may not be approved as part of the building permit. Questions regarding the specifics of approval shall be directed to local jurisdiction.

1.17 Notice: This set has been produced for the purpose of obtaining a building permit. These drawings are not intended to be accurate "as-builts", nor inclusive of designs, drawings, material specifications, etc. needed to address all possible construction issues.

1.18 These working drawings are not to be used in any construction for which building permits have not been obtained. Additionally, Economical Home Design Build is not responsible for the correctness of any work undertaken prematurely if it is based on plans have not been reviewed and approved by the building department. The stipulation applies to original submittal drawings, and revisions. All drawings are preliminary until a permit is issued.

1.19 As part of the contract requirements for this project, General Contractor and all Subcontractors are responsible for compliance with the 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE.

1.20 A BUILDING OPERATIONS MANUAL must be provided to the owner per the Green Building Code section 4.410.1

2.0 DEMOLITION NOTES:

2.01 General Contractor to verify any existing features and finishes to remain prior to demolition. Materials, fixtures, hardware, appliances, etc which are to be re-used shall be stored and protected from damage until they are re-installed.

2.02 Verify with owners whether removed or unused doors, windows, fixtures, hardware, and miscellaneous materials should be saved for possible future reuse or discarded. Owner shall mark or list such items prior to demolition.

2.03 General Contractor is responsible for replacement of items damaged by demolition or removed in error.

2.04 No asbestos removal is to be undertaken by any party except as allowed by law.

2.05 General Contractor to provide Visqueen or equivalent dust screening during demolition to protect existing residence, appliances and furnishings. As appropriate, positive ventilation is to be provided for dust control.

2.06 Per 2022 CRC R408.5, General Contractor is to be responsible for removal of all construction debris and other organic materials from the structure and the site. Framed areas to be free of debris prior to sheetrocking. Underfloor and attic areas must be left clean and free of debris, cut-offs, scrap, sawdust, associated garbage etc.

2.07 Design and installation of all temporary shoring is the role responsibility of the general contractor. All existing frame and load transfer is to be field verified prior to shoring of any portion of the structure.

2.08 All unused and demolished electrical is to be removed back to the nearest utilized junction. No dead-hots to remain after construction. Temporary power for the duration of construction is the responsibility of electrical contractor.

3.0 SITE DEVELOPMENT NOTES:

3.01 Verify locations of all underground utilities and services prior to excavation.

3.02 Contractor shall confirm the locations of all properly boundaries for the site and verify all setback and easement locations prior to construction. Owner is responsible for providing a licensed survey and title report for contractor use, or as required by local jurisdiction. Any discrepancies should be brought to the attention of designer before the commencement of the work.

3.03 Contractor is responsible for notifying and scheduling the project Geotechnical Engineer for site inspections and observations of excavations, drilling, drainage, backfill etc.

3.04 Soil compaction for grading or backfilling shall be placed in accordance with the soils engineers recommendations. If there is no soil engineer, use 6" lifts to 90% compaction.

3.05 Temporary earth shoring is the responsibility of the contractor.

4.0 FOUNDATION AND CONCRETE NOTES:

4.01 For general reference see 2022 CRC, Chapter 4.

4.02 Foundation Vents- Per 2022 CRC Section R408.1 Provide vent openings of not less than 1 s.f. for each 150 s.f. of crawl space area. Openings shall be covered with corrosion resistant wire mesh with the least dimension being 1/ 8 inch thick and not exceed 1/ 4 inch (or per R408.2). Where moisture due to climate and groundwater conditions is not considered excessive, and the round surface is covered by a Class 1 vapor retarder material, the required net area of vent openings may be reduced to 1 s.f. per 1,500 s.f. provided vent openings are located within 3' of each corner of the building, or as approved to provide cross ventilation of the space per 2022 CRC R408.1. Unvented Crawl Spaces are to comply with R408.3

4.03 Crawl Space Access- Per 2022 CRC Section R408.4 Access shall be provided to all under-floor spaces. Access openings through the floor shall be a minimum of 18" inches by 24 inches. Openings through a perimeter wall shall not be less than 16" inches by 24 inches. Through wall access openings shall not be located under a door to the residence. Pipes, ducts and other non-structural construction shall not interfere with accessible clearances to or within under-floor areas.

4.04 Decay Protection- Per 2022 CRC, Section R317.1 wood framings less than 8" from the exposed earth shall be of naturally durable or preservative treated wood. Provide 8" wood framing seperation from exposed earth, or if less than 8", use naturally durable or preservative treated wood. If earth is paved at least 18" wide with asphalt or concrete and draining away from building, bottom sills may be 6" above such slab.

4.05 All concrete rough opening sizes, elevations, etc. are to be verified prior to foundation pour. Locations of hold-downs, curbs, steps, curtains, plumbing and mechanical etc. are to be coordinated by the General Contractor. Should additional clarifications to these drawings be required, the contractor should contact the designer as early as possible. Owner is responsible for providing finish thickness information or allowances, general contractor to verify to pour.

4.06 All cold joints to be chipped for rough surface, sandblasted clean and free of soil or debris. Dampen surface immediately prior to concrete pour. Cold joints must be approved by the structural engineer.

4.07 Revisions and substitutions are to be submitted to the building department and must be approved prior to continuing work.

4.08 Special inspection will be required for water proofing below grade. Special inspections are required per the structural engineering drawings, and as per any jurisdictional approval checklist.

4.09 Should contractor elect to use shot-crete, special inspection will be required and structual engineer must be given to revise re-bar schedule.

5.0 FLOOR PLAN NOTES:

5.01 All work is to comply with 2022 CRC, with respect to 2022 CBC, Group R occupancies.

5.02 Flame spread- Flame spread and smoke index for wall and ceiling finishes shall be in accordance with Sections R302.9.1. Through R302.9.4. Flame spread and smoke index for insulation shall be in accordance with Sections R302.10.1 Through R302.10.5

5.03 Fireblocking- All pipe, wire, and duct penetrations in walls are to be caulked or blocked with approved materials to resist passage of flame per CRC R302.11

5.04 Draftstopping- Per 2022 CRC Section R302.12, Draft stops shall be installed in the following locations: horizontal floor/ ceiling assemblies- where there is a usable space above and below the concealed space of a floor/ ceiling assembly, including soffits and inter-floor plenum spaces. Draft stops shall be installed so that the area of the concealed space does not exceed 1,000 square feet and is divided into approximately equal areas. Draft stops are required in floor/ ceiling assemblies of buildings having more than one dwelling unit and shall be installed in line with walls seperating sleeping units and dwelling units.

5.05 Ventilation & Lighting- Per 2022 CRC, Section R303. All habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, doors, louvers or other openings to the outdoor air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The minimum openable area to the outdoors shall be 4 percent of the floor area being ventilated. See R303.1 Exceptions for allowed whole house mechanical ventilation systems and provided artificial light capability. Adjoining rooms and exception per Section R303.2. Rooms containing bathtubs, showers, spas and similar bathing fixtures shall be mechanically ventilated per CMC. Minimum exhaust rates shall be as specified by CMC Table 403.7. See, also door & window requirement notes, Section 8.

5.06 Egress door- Per 2022 CRC, Section R311.2. At least one egress door shall be provided for each dwelling unit. The egress door shall be sidehinged, And shall provide a minimum clear width of 32 inches (813 mm) when measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The minimum clear height of the door opening shall not be less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

5.07 Floors and Landings at Exterior Doors- Per 2022 CRC, Section R311.3, There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36 inches (914 mm) measured in the direction of travel. Exterior landing shall be permitted to have a slope not to exceed 1/ 4 unit vertical in 12 units horizontal (2-percent). Landings or finished floors at the required egress door shall not be more than 1 1/ 2 inches (38 mm) lower than the top of the threshold, R311.3.1 Exception: the landing or floor on the exterior side shall not be more than 7 3/ 4 inches (196 mm) below the top of the threshold provided the door does not swing over the landing or floor. Doors other than the required egress door shall be provided with landings or floors not more than 7 3/ 4 inches (196 mm) below the top of the threshold. R311.3.2 Exception: a top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided the door does not swing over the stairway.

5.08 Hallways- Per 2022 CRC, Section R311.6, The minimum width of a hallway shall not be less than 3 feet.

5.09 Fire Sprinklers- Per 2022 CRC, Section R313. Verify applicable fire sprinkler requirements for remodel and new construction projects with the local building and fire departments prior to construction. Fire sprinkler design drawings are to be deterred submittal by the fire sprinkler contractor to be approved by the fire department and design for local flow rates and monitoring as required.

5.10 Smoke Detectors- Install per 2022 CRC, Sections R314. Detectors shall be mounted on the ceiling or high on wall in each sleeping area and at a point located adjacent in the corridor or area givin access to each separate sleeping area, and at least one on each level of the building as required by the above noted 2022 CRC Section R314.3 and all other applicable codes. Detectors shall be installed in accordance with approved manufacturer's instructions, comply with UL 217 and NFPA 72. Smoke detectors shall receive their primary power from the building wiring (110 V hard-wired) with battery back-up power, Section R314.6. smoke and fire alarms shall be interconnected in such a manner of one alarm will activate all the alarms, Section R314.4.

5.11 Carbon Monoxide Alarms- Install per 2022 CRC, Sections R315. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarms shall be listed as complying with UL 2034 and be installed and maintained in accordance with NFPA 720 and the manufacturer's instructions.

5.12 Per 2022 CGSBC, Section 4.504 Pollutant Control. Al finishes are to comply with v.o.c and formaldehyde limits set forth in Tables in 4.504 (1,2,3 and 5). Verification shall be required as requested by the enforcement agency.

5.13 All joints and openings between conditioned and unconditioned space are to be closed or sealed.

6.0 ROOF PLAN NOTES:

6.01 Roof Ventilation- Per 2022 CRC, Section R806.2, The minimum net free ventilating area shall be 1/ 150 of the area of the vented space. However this may be reduced to 1/ 300 when provided in accordance with exception listed in R806.2. There shall be a minimum of 1 inch of clear space for venting between roof sheathing and insulation and at the location of the vent, R806.3. Unvented attic and unvented enclosed rafter assmeblies are permitted when all conditions of CRC Section R806.5 are met.

6.02 attic Access- Per 2022 CRC, Section R807.1, Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet (2.8 square meter) and have a vertical height of 30 inches (762 mm) or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other readily accessible location.

6.03 Conventional light wood framing per 2022CRC, Chapter 8.

6.04 Roof Assemblies- Per 2022 CRC, Chapter 9. Roofs shall be covered with materials as set forth in Sections R904 and R905, and shall be tested in accordance with UL790 or ASTM E108. Roof decks shall be covered with approved roof coverings secured to the building or structure in accordance with the provision.

7.0 GENERAL STRUCTURAL NOTES:

7.01 Shear Components- General Contractor is responsible for having a general understanding of shear resisting elements and components within this design. Shear transfer and hardware is to be installed as per manufacturer's requirements.

7.02 Note that structural detailing within the Structural sheets may indicate hardware, brackets, bolted connections and metal fasteners which protrude from the plane of rough framing. It is the framing contractors responsibility to include furring strips, till wedges and blocking as required to bring finish surfaces past the plane of rough structural components. Alternative detailing, such as welded rods in place of bolted connections may be substituted only as approved by the structural engineer.

7.03 Lumber Quality- Contractor is responsible for reviewing lumber quality at the time of each delivery. Excessively wet, visually cupped, warped, or knotty material is not to be accepted on the job site. Contractor is responsible for storing materials in a neat, dry, level environment where damage will not occur.

7.04 Structural drawings, and detailing by others are included as a part of this contract for construction.

7.05 All components shall be fastened or nailed per 2022 CRC Table R602.3(1) unless provided otherwise by Structural Drawings. It is the responsibility of the General Contractor to coordinate requirements for Notching and Boring per 2022 CRC, Section R602.6 Drilling Notching of Studs. Top Plate R602.6.1 Figure R602.6(2) and Figure R602.6.1 with any associated sub-trades. Verify furring and blocking, up-size framing where required.

8.0 DOOR, WINDOW AND SKYLIGHT NOTES:

8.01 Unless otherwise requested by the owner, the contractor shall be responsible for the verification of all door and window units, rough openings, operation, characteristics, egress conditions, etc. prior to final order of doors and windows. The owner, contractor, designer and window supplier should be given the opportunity to walk through the entire job, review shop drawings and verify each unit prior to order.

8.02 Exterior Windows and Doors- PER 2022 CRC, Section R609.

8.03 Safety Glazing- Per 2022 CRC, Except as indicated in Section R308.1.1 each pane of glazing installed in hazardously locations as defined as Sections R308.4 (R308.4.1 through R308.4.7) shall eb provided with safety glazing. Safety/tempered glass or plastic is required at all glazed doors, glazing within 24" of doors, within 18" of any floor, and within 60" of floors in bathtubs, whirlpools. saunas. steam rooms and stairs/ramps. Each unit of safety glazing shall be permanently identified by the manufacturer,or for other than tempered glass, the building inspector, at their discretion, may approve a certificate. Site built windows per Section R308.5.

8.04 Egress Windows- Per 2022 CRC, Section R310.2.1, all escape or rescue openings shall have a net clear opening of not less than 5.7 square fee. The minimum net clear height dimension shall be 24 inches and the net clear width shall not be less than 20 inches. When windows are provided as a means of egress, escape or rescue, they shall have a finished sill height of not more than 44 inches above the floor per CRC R310.2.2. See CRC R312.1.3 for opening limiting device and window fall protection requirements and egress operation of 4" sphere.

8.05 Skylights-shall comply with 2022 CRC , Section R308.6. Contractor shall provide ICC numbers for prefabricated skylights and assemblies to Building inspector for approval prior to purchase and installation, indicate glazing type Refer to Section R308.6.7 for screens.

11.0 MECHANICAL NOTES:

11.01 All work shall comply with the 2022 California Mechanical Code (CMC) and all applicable federal, state, and local codes. Mechanical work is to be bid design/build and provided completed per code.

11.02 Mechanical Layout- Layout shown is schematic and is shown for design intent only. Mechanical contractor to coordinate with the general contractor to design and install suitable mechanical distribution system per Title 24 and CGSBC. Verification of compliance with CGSBC may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.

11.03 Mechanical System Design- Mechanical Contractor to accept sole responsibility for proper design and installation of mechanical system. Mechanical contractor to coordinate with the general contractor to design and install suitable mechanical distribution system per Title 24. See sheet index for location of Title 24 conformance worksheets and energy compliance notes within this set.

11.04 Duct systems are sized, designed and equipment is selected using the following methods:
1. Establish heat loss and heat gain values according to ANSI/ACCA 2 manual J-2016 or equivalent.
2. Size duct systems according to ANSI/ACCA 1 manual D-2016 or equivalent.
3. Select heating and cooling equipment according to ANSI/ACCA 3 manual S-2014 or equivalent.

11.05 HVAC system installers are trained and certified in the proper installation of HVAC systems.

11.06 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.

11.07 Heating- Per 2022 CRC, Section R303.10 heating facilities shall be capable of maintaining a minimum room temperature of 68'F at a point three feet above the floor and two feet from exterior walls in all habitable at the design temperature.

11.08 Furnace Clearance- Provide a minimum 5 inch clear space in front of furnaces, or per manufacturer specifications. Furnace shall be installed as per manufacturer specifications sand shall meet requirements of 2022 CMC Section 904.0. Verify all clearance and installation requirements per CMC Section 304.0 Service and Access to Equipment and Appliances prior to ordering or installing equipment.

11.09 Attic Furnaces- For furnaces installed in attics, provided a minimum 22"x30" access opening, with a level platform, convenience duplex outlet and area light switched from attic opening. See CMC section 304.0

11.010 For stoves with indoor barbecue units, exhaust duct and fan having a minimum capacity of 100 CFM per square foot of hood intake shall be installed, as wide as the unit and centered over the unit. When the duct penetrates a ceiling or floor, it shall be enclosed in a fire-resistive shaft covered on one side as required for one hour fire resistive construction, with the duct seperated from the shaft with a minimum airspace and terminate minimum 18" above the roof surface.

11.11 Appliances designed to be fixed in position shall be securely fastened in place. Supports for appliances shall be designed and constructed to sustain vertical and horizontal loads as required by the CMC, Section 303.4 Anchorage of Appliances.

11.12 Garage Appliance Protection- Garage appliances with glow, spark, or flame ignition shall have igniter 18" above the floor and shall be protected from auto impact (CMC Section 305.1 Protection Against Damage).

12.0 ELECTRICAL NOTES:

12.01 All work shall comply with the 2022 California Electrical Code (CEC) and all applicable federal, state and local states and ordinances.

12.02 All unused and demolished electrical is to be removed back to the nearest utilized junction. No "dead hots" to remain after construction. Junction boxes must be acceptable.

12.03 All electrical load sheets and calculations required by the building department shall be the responsibility of the Electrical Subcontractor.

12.04 Low Voltage wiring and outlets to be coordinated by Owner. Contractor to verify location of all telephone, network, security, alarm. audio, video and other low voltage outlets with owner prior to installation of sheetrock.

12.05 Electrical openings (switches, receptacles, etc.) on opposite sides of fire rated walls shall be maintained at least 24 inches apart.

12.06 Per CEC, Article 680.43 (B) (1), and (C): lighting fixtures, lighting outlets and fans located over an indoor spa or hot tub less than 7'-6" above the maximum water level and shall be protected by a ground fault-circuit interrupter and installed as follows:
1. Recessed luminaries with a glass or plastic lens and non metallic or electricity isolated metal trim, suitable for use in damp locations.
2. Surface-mounted luminaries with a glass or plastic globe and a non-metallic body or a metallic body isolated from contact and suitable for use in damp locations.

Note: Lighting fixtures, lighting outlets and ceiling fans located 12 ft. or more above the maximum water level shall not require protection by a ground-fault circuit-interrupter.

12.07 Per CEC, Article 210.52, receptacle spacing shall not exceed 12 feet measured horizontally along the wall. No wall space may be than 6' from an outlet.

12.08 Per 2022 CEC, Article 210.52 (C), receptacle along the counter tops shall be spaced a maximum of 2 feet from the sink (s) and 4 feet on-center. Island and peninsular counter tops with a long dimension of 24 inches or greater shall have least one receptacle. No point of the all may be more than 24" from on outlet. Kitchen outlets shall be on at least two seperate circuits with ground-fault circuit interrupt protection.

12.09 Per CEC Article 210.70, at least one wall switch-controlled lighting outlet shall be installed in every habitable room, kitchen, and bathroom; in bathrooms, hallways, stairways, attached garages and detached garages with electrical power; and at least one shall be installed at outdoor entrances or exits.

12.10 Per CEC Article 410.16 (C), lighting luminaries located within clothes closets shall be mounted on the wall above the door or on the ceiling. Minimum Clearances from the fixture to the nearest point of a storage space shall be as follows:

(1) Surface mounted incandescent or LED luminaires with completely enclosed light source installed above the door or on the ceiling: 12 inches
(2) Surface mounted flurescent luminaires with completely enclosed light source Installed above the door or on the ceiling: 6 inches
(3) Recessed incandescent or LED luminaires with completely enclosed light source installed in the wall or the ceiling: 6 inches
(4) Recessed fluorescent luminaires Installed in the wall or ceiling: 6 Inches
(5) Surface mounted fluorescent and LED luminaries shall be permitted to be installed within the closet storage space where identified for this use.

12.11 Verify all fixture locations with owner prior to installation. All recessed fixtures to b approved by owner. Coordinate locations of recessed fixtures with framing, provide owner an opportunity to walk at "box-out" and include relocations as requested. Decorative fixtures are to be supplied by owner.

12.12 Electrical subcontractor is to determine service requirements for the new work prior to bid. Verify that existing service is insufficient to handle increased loads. Locate new sub-panels as directed by owner. All circuit panels are to be labeled.

12.13 In dwelling unit bedrooms, provide arc-fault circuit interrupts listed to provide protection for the entire installed circuit supplying 125-volt single phase 15 and 20-amp receptacle and/or lighting outlets.

12.14 Residential Lighting must comply with Form CF-6R-LTG-01. Installer is responsible for compliance and certification. Fixture type, location, and switching locations only are noted on these plans. Title-24 requirements must be met individually for each installation, specific to each device, control and location.

13.00 PLUMBING NOTES:

13.01 All work shall comply with the 2022 California Plumbing Code (CPC) and all applicable federal, state, a nd local cods. Plumbing work is to be bld and provided complete per code.

13.02 Mechanical and plumbing subcontractors are responsible for accessing existing services for compliance with proposed service requirements and requirements and recommending any measures required to handle additional loads prior to bid.

13.03 Plumbing subcontractor is required to coordinate with general contractor and framing contractor to ensure proper notching and boring of of framing members per CRC R602 and structural requirements within this contractors responsibility to notify plumbing and mechanical runs within framing spaces. It is the general contractors responsibility to notify designer of conflicts prior to the onset of rough framing. When possible, locate all plumbing vents, roof jacks, vents and flues to less visible side and rare roof slopes (rather than in primary view).

13.04 The contractor shall provide and install an approved non-removable back flow prevention device on all water outlets with hose attachments and hose bibs.

13.05 Water heaters installed be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be within the upper third and lower third ($\frac{1}{3}$) of the vertical dimensions, with the lower with a minimum of 4" clearance above the controls.

13.06 Water heaters installed in garages shall be located minimum 18" above floor level , and located out of the normal path of any vehicles using the garage or protected from any mechanical damage from vehicles by suitable enclosure or barrier.

13.07 Water heaters shall be provided with a pressure temperature relief valve with a drain terminating to the exterior.

13.08 All building water supply systems installed with quick acting valves shall be provided with devices to absorb water hammer pressure caused from quick valve closing located as close as possible to these vales.

ISSUE LOG
OWNER. SUBMITTAL NOV. 25, 2024
OWNER REV1 MARCH. 15, 2025
OWNER REV2 APRIL. 15, 2025
REV3 APRIL 24, 2025
BUILDING SUBMITTAL MAY 2, 2025

ECONOMICAL
HOME DESIGN BUILD LLC
3235 SYDNEY WAY,CASTRO VALLEY,CA,94546
TEL: 510-827-2605,
EMAIL:ECONOMICALHOMEDESIGN@OUTLOOK.COM

Poonam

COMPLETE REMODEL FOR:
GYUTO FOUNDATION INC.
1509 ELM AVE, RICHMOND,
CA 94805_1611

APN - 521-071-014-0

CHECKED	DRAWN
SO	SM, SS

DATE
MAY 2, 2025

JOB
2024 RICHMOND, CA

A0.2

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NOTES:

1. THE ARCHITECTURAL SITE PLAN IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES EASEMENTS, SETBACKS UTILITIES AND SUBSTRUCTURES. ALL DISCREPANCIES SHALL BE IMMEDIATELY DISCUSSED WITH ARCHITECT
2. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TOWARDS LANDSCAPED AREA.
3. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING. A MINIMUM OF 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. (R401.3).

EXCEPT:

1. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS PR SWALES TO ENSURE DRAINAGE AWAY FROM STRUCTURE.
2. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED AT MINIMUM OF 2% AWAY FROM THE BUILDING.
3. ONE SITE DRAINAGE NO CONCENTRATED FLOW ACROSS THE RIGHT-OF-WAY. NO DRAINAGE ONTO NEIGHBORING PROPERTY.
4. CONTRACTOR'S RESPONSIBILITY TO ALL UNDERGROUND UTILITIES AND RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
5. SEE GRADE AND DRAINAGE PLAN FOR SITE IN PROPOSED SITE PLANS.

NOTES TO OWNER:

THESE DRAWINGS ARE INTENDED FOR BUILDING PERMIT APPROVAL AND ARE NOT INTENDED TO BE A COMPREHENSIVE SET OF DRAWINGS INDICATING SPECIFIC CABINETRY: PAINT COLORS: SPECIFIC PLUMBING FIXTURES: LIGHTING FIXTURES : EXTERIOR DETAILS OR FINISH CARPENTRY (STAIR RAILS, ETC.) OWNER/DEVELOPERS IS RESPONSIBLE FOR THE SELECTION OF THESE ITEMS AND CLARIFICATION AND COORDINATION OF THESE WITH THE CONTRACTOR AS PART OF THE BUILDING CONTRACT AND CONSTRUCTION PROCESS. ADDITIONAL DETAILS, DRAWINGS AND COORDINATION MAY BE PROVIDED BY THE DESIGNER AS AN ADDITIONAL SERVICES AND BE CONSIDERED AN ADDENDUM TO THE BUILDING PERMIT SET OF DRAWING IF REQUESTED BY OWNER.

Underground Service Alert
Call: TOLL FREE
1-800
422-4133
TWO WORKING DAY'S BEFORE YOU DIG
NOTIFY DIG-ALERT OR PRIVATE LOCATING COMPANY PRIOR TO ANY EXCAVATING OR TRENCHING

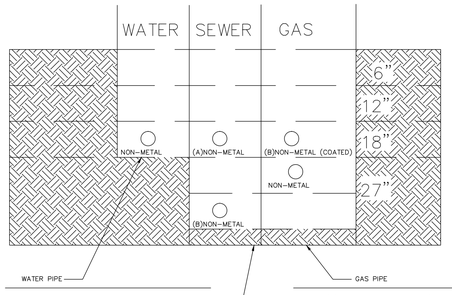
KEY NOTES:

1. SLOPE GRADIENT OF SOIL CONSTRUCTED AWAY FROM THE BUILDING/ STRUCTURE.

PIPE MATERIALS SCHEDULE	
SANITARY WASTE & STORM DRAIN LINES: (ABOVE & BELOW GRADE)	STANDARD WEIGHT CAST IRON SOIL PIPE AND FITTINGS (NO HUB). COUPLINGS SHALL BE STAINLESS STEEL SHIELDS AND CLAMPS WITH NEOPRENE GASKETS.
VENT PIPING:	SAME AS SANITARY WASTE.
DOMESTIC WATER PIPING:	PEX PIPE
NATURAL GAS PIPING	SCHEDULE 40 METALLIC PIPE
ELECTRIC LINE	PVC

NOTE: THESE BURIAL DEPTHS APPLY OUTSIDE OF BUILDINGS WITHIN A PRIVATE PROPERTY SUBJECT TO THE FOLLOWING PROVISIONS:

-PIPE MAY BE LAID IN THE SAME TRENCH WITHOUT HORIZONTAL SEPARATION EXCEPT AS NOTED FOR SEWER AND WATER LINES.
-NOT APPLICABLE TO MOBILE HOME PARKS.



METAL- NO BURIAL EQUIPMENT 12" TO PROTECT FROM MECHANICAL DAMAGE AND FREEZING). FOR COPPER PIPE JOINTS USE ONLY NON-LEAD BEARING SOLDERS (SOLDERS APPROVED FOR POTABLE WATER).

NONMETAL- 12" MINIMUM (PLASTIC). ALSO SEE SEWER PIPE DEPTHS, NONMETAL (B).

METAL- NO BURIAL REQUIREMENT (RECOMMEND 12" TO PROTECT FROM MECHANICAL DAMAGE AND FREEZING).

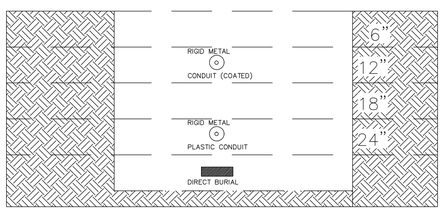
NONMETAL- (A) PIPE APPROVED INSIDE BUILDING, 12" MINIMUM.

METAL- (A) 6" ABOVE GROUND (BLACK OR GALVANIZED IRON), SECURELY SUPPORTED.
(B) 12" BELOW GROUND (FACTORY COATED OR MACHINE WRAPPED).

NONMETAL- (PE PLASTIC)-18" MINIMUM
NOTE: APPROVED PLASTIC TO METAL TRANSITION FITTING REQUIRED (ALL PLASTIC PIPE TO BE A MINIMUM OF 18" BELOW GROUND). ALSO 18 GA. COPPER YELLOW INSULATED TRACER WIRE REQUIRED.

TYP. TRENCH

SCALE: NTS



CALIFORNIA ELECTRONIC CODE TABLE 300-5 APPLIES. IMPORTANT EXCEPTIONS TO THE ABOVE ELECTRIC LINE BURIAL DEPTHS INCLUDE:

A REDUCTION BY 6" OF THE ABOVE DEPTHS WHEN A MINIMUM OF 2" OF CONCRETE COVER IS PLACED ABOVE THE WIRING METHOD IN THE LINE TRENCH.

A REDUCTION TO 12" DEPTH DEEP FOR ANY WIRING METHOD FOR A 120 VOLT 20 AMPERE OR LESS RATED RESIDENTIAL CIRCUIT THAT IS GFCI PROTECTED.

ANY TRENCHING NEAR OR THROUGH A SEPTIC SYSTEM MUST BE REVIEWED BY THE HEALTH DEPARTMENT

TYP. ELEC. TRENCH

SCALE: NTS

FIG: GOOGLE MAP IMAGE SHOWING THE NEAREST BUS STATION FORM EXISTING SITE
MAX. TRAVEL DISTANCE= 0.3 MILE (8 MIN WALK IN DISTANCE)

ISSUE LOG
OWNER. SUBMITTAL NOV. 25, 2024
OWNER REV1 MARCH. 15, 2025
OWNER REV2 APRIL. 15, 2025
REV3 APRIL 24, 2025
BUILDING SUBMITTAL MAY 2, 2025

ECONOMICAL
HOME DESIGN BUILD LLC
3235 SYDNEY WAY, CASTRO VALLEY, CA. 94546
TEL: 510-827-2605,
EMAIL: ECONOMICALHOMEDESIGN@OUTLOOK.COM

Poonam

COMPLETE REMODEL FOR:
GYUTO FOUNDATION INC.
1509 ELM AVE, RICHMOND, CA 94805-1611

APN - 521-071-014-0

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SO	SM, SS

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MAY 2, 2025

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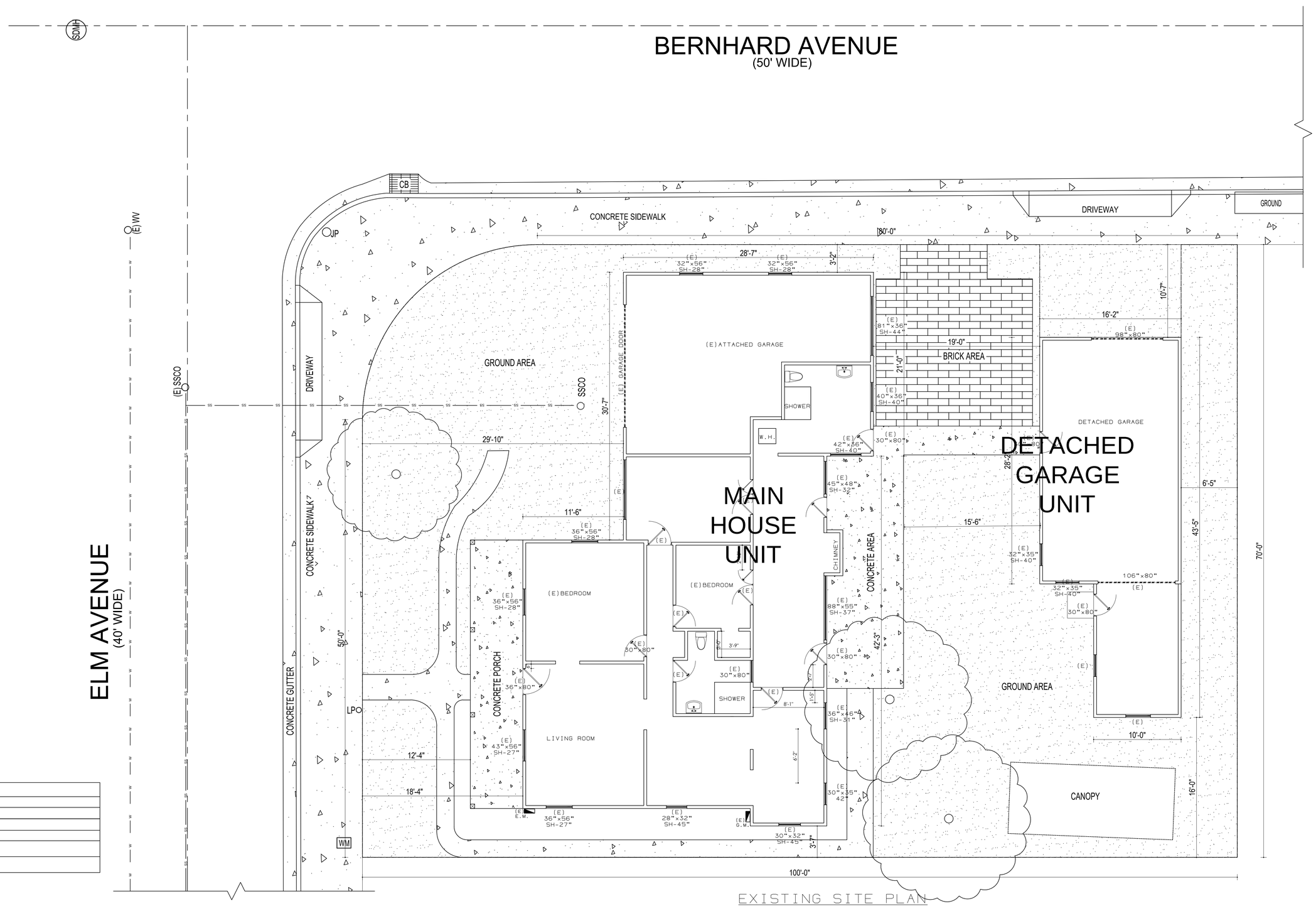

LEGEND

SYMBOL	NAME
—·—·—	SEWER LINE
SSCO	CLEAN OUT
————	FENCE LINE
—WL—	WATER LINE
7 4.0	CONCRETE PATHWAY
	BRICK PAVEMENT

EXISTING SITE PLAN
SCALE: 3/16" = 1'-0"

ISSUE LOG
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SITE PLAN NOTES:

1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. [R401.3]

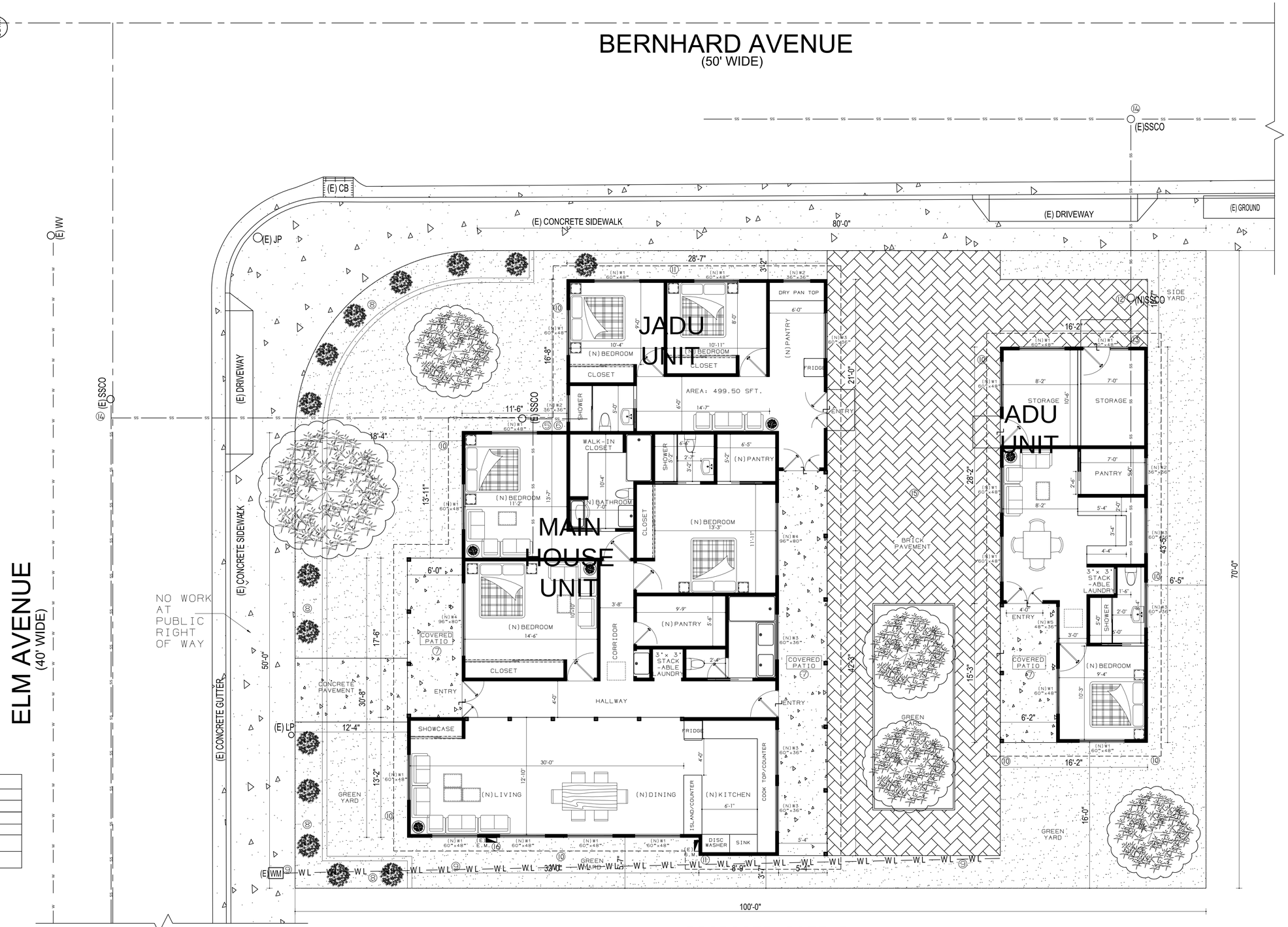
   THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES PLUS 2 PERCENT. [R403.1.7.3]

2. EXISTING SEWER LINE TO REMAIN.
3. PROVIDE CLEANOUTS FOR THE PRIVATE SEWER FOR EVERY CHANGE IN DIRECTION.

KEY NOTES FOR PROPOSED SITE PLAN:

1. UPGRADE EXISTING ELECTRIC METER TO 225 AMP, 125 AMP FOR MAIN BUILDING AND 100 AMP FOR ADU.
2. EXISTING ELECTRIC METER TO BE RELOCATED PER PG&E REQUIREMENT.
3. PROVIDE AUTOMATIC GAS SEISMIC SHUT OFF VALVE FOR EVERY NEW GAS METER.
4. RELOCATE EXISTING WATER HEATER SEE MEP PLAN FOR LOCATION.
5. (N) 4" SEWER LINE FROM MAIN HOUSE.
6. (N) 4" SEWER LINE FROM JADU
7. NEW CONCRETING OVER 1 STEP RAISED PATIO OF 7.75"MAX.
8. NEW PLANTER AND PLANT BED IN FRONT YARD
9. WATER PIPE REPLACE FROM METER TO MAIN HOUSE AND NEW WATER LINE TIED OFF TO REAR ADU SUPPLY WITH SUB-METER. PROVIDE VALVE FOR PRESSURE DISTRIBUTION.
10. SHOW NEW OVER-HANGE OF 1.5 FT ON ALL SIDE EXCEPT AT THIS SIDE WHERE SETBACK IS LESS THEN 5 FT.
11. OVERHANGE WITHIN 5 FT OF PROPERTY LINE TO BE 1 HOUR RATED AND NO SOFFIT VENT OR EAVE VENTS ALLOWED.
12. NEW CLEAN OUT WITH BACK-FLOW PREVENTER VALVE.
13. (N) 4" SEWER LINE CONNECTION TO CITY LATERAL. ENCROACHMENT PERMIT REQUIRED.
14. (E) CITY SEWER LINE
15. NEW BRICK PAVEMENT AREA
16. UPGRADE (E) V.I.F 200 AMP MAIN ELECTRICAL PANEL. INSTALL 3 METER FOR MAIN HOUSE AND ADU PER PG & E REQT'S

(N)ELECT.PANEL BREAKER'S
(O) AND SHUT OFF GROUNDED
(P) WITH 20'#4GAUGE
(Q) COPPER UFER GOUND



LEGEND

SYMBOL	NAME
—·—·—	SEWER LINE
SSCO	CLEAN OUT
————	FENCE LINE
—WL—	WATER LINE
	CONCRETE PATHWAY
	BRICK PAVEMENT

PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

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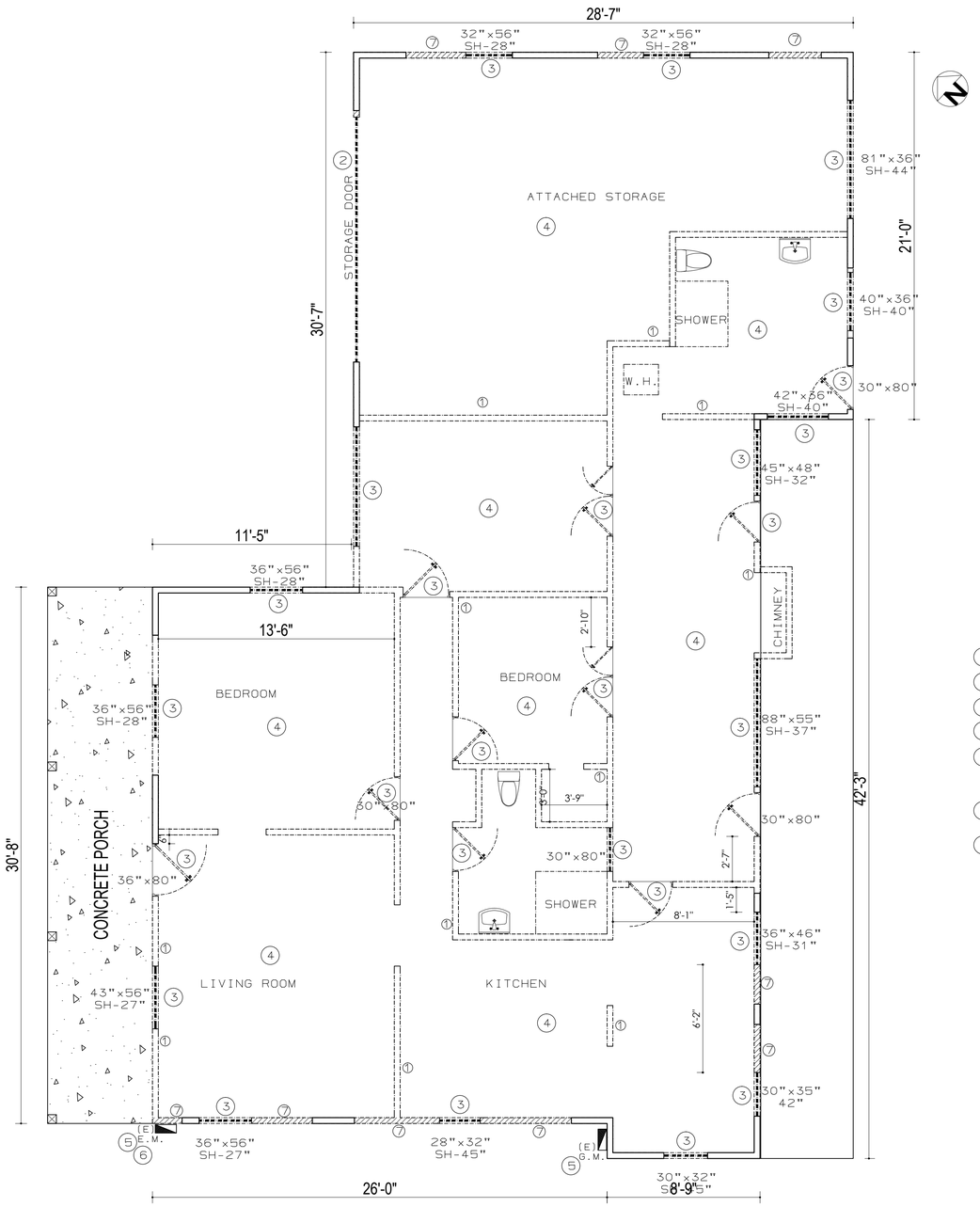


EXISTING/DEMOLISHING MAIN HOUSE PLAN

SCALE: ¼" = 1'-0"

DEMOLITION NOTES:

DOORS:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

WINDOWS AND SKYLIGHT:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

CABINETRY:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

FLOOR COVERINGS:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

APPLIANCES:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

LIGHT AND PLUMBING FIXTURES:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

LANDSCAPE MATERIALS:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

FLAT WORK:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

VENEER:
SALVAGE/RELOCATE/PROTECT/DISCARD AS PER PLANS AND OWNER SPECIFICATIONS

GENERAL NOTES

PLUMBING:
CAP OFF OR RELOCATE AFFECTED SUPPLY, DRAIN AND WASTE LINE AS REQUIRED

BRACING:
CONTRACTOR TO PROVIDE BRACING DURING CONSTRUCTION AS REQUIRED AS FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT REQUIRED.

DISPOSAL:
ALL DEBRIS TO BE DISPOSED AT AN APPROVED DUMPING LOCATION

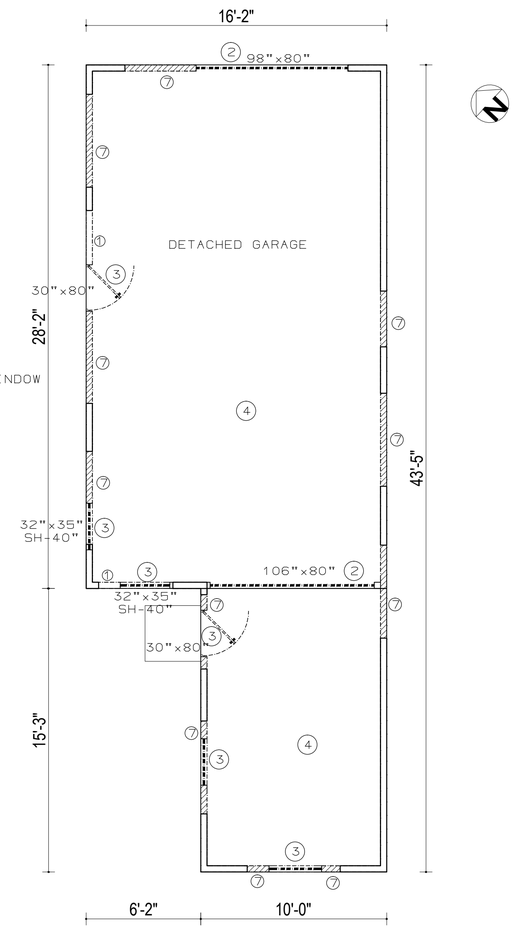
HAZARDOUS MATERIALS:
IF LEAD PAINT, ASBESTOS ETC, ARE FOUND, STOP WORK AND CONTACT OWNER OMMEDIATELY FOR INSTRUCTION.

KEY NOTES FOR EXISTING/ DEMOLITION PLANS:

1. FULL DEMOLITION OF WALL TO REMODEL SPACES AND INSTALL NEW DOOR
2. DEMO EXISTING GARAGE/ STORAGE DOOR AND REPLACE WITH NEW WALL AND WINDOW
3. DEMO ALL DOOR AND WINDOWS AT EXISTING BUILDING AND GARAGE
4. DEMO LIGHTS AT EXISTING GARAGE, SEE ELECTRICAL PLAN
5. EXISTING ELECTRICS AND GAS METER AND UPGRADED (E) 100 AMP ELECTRIC METER TO (N) 200 AMP ELECTRICAL S SERVICE METERS INSTALL PER PG& E REQUIREMENTS
6. (N) ELECTRIC PANEL BREAKERS AND SHUT OFF GROUNDED WITH 20' #4 GAUGE COPPER UFER GROUNDED
7. PARTIAL DEMOLITION OF WALL TO INSTALL NEW WINDOWS

LEGEND

S.N.	SYMBOL	
1		EXISTING WALL
2		FULL DEMO WALL
3		PARTIAL DEMO WALL
4	(E)	EXISTING TO REMAIN



EXISTING/DEMOLISHING DETACHED GARAGE PLAN

SCALE: ¼" = 1'-0"

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SHEET NOTES:

APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS [R703.4]:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR DOOR AND WINDOW OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH R703.4.1.

PLASTERING WITH CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. PLASTER SHALL NOT BE LESS THAN THREE COATS WHERE APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHERE APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE-TREATED WOOD OR DECAY RESISTANT WOOD OR GYPSUM BACKING. [R703.7.2]

A MINIMUM 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3½" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED. [R703.7.2.1]

ACCESS OPENINGS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18-INCHES BY 24-INCHES. [R408.4]

OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16-INCHES BY 24-INCHES. WHERE ANY PORTION OF THE THROUGH-WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16-INCHES BY 24-INCHES SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOW THE THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. [R408.4]

KEY NOTES FOR PROPOSED MAIN HOUSE WITH JADU PLAN:

1. PROVIDE 2% SLOPE AT LANDING
2. MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. [R702.4.2]
3. SHOWER ENCLOSURE SHALL BE TEMPERED
4. TYP. THRESHOLD BETWEEN NEW FLOOR AND EXTERIOR LANDING TO BE 7.75"
5. 24"X24" NEW ATTIC SPACE ACCESS #REF. ATTIC SPACE ACCESS #NOTES
6. NEW LAUNDRY
7. TYP. ALL NEW HABITABLE SPACE TO HAVE MIN. 7' CEILING HEIGHT.
8. NEW SINK WITH NEW BRAND
9. NEW DISHWASHER
10. NEW FRIDGE
11. NEW COOK TOP
12. NEW WALL INFILL IN DEMOLISHED DOORS AND WINDOWS
13. I HOUR FIRE RATED WALL
14. NEW EXTERIOR WALL
15. NEW ADDITION SPACE
16. NEW DECORATIVE POST IN COVERED PATIO
17. NEW OVERHANG ROOF

DOOR SCHEDULE

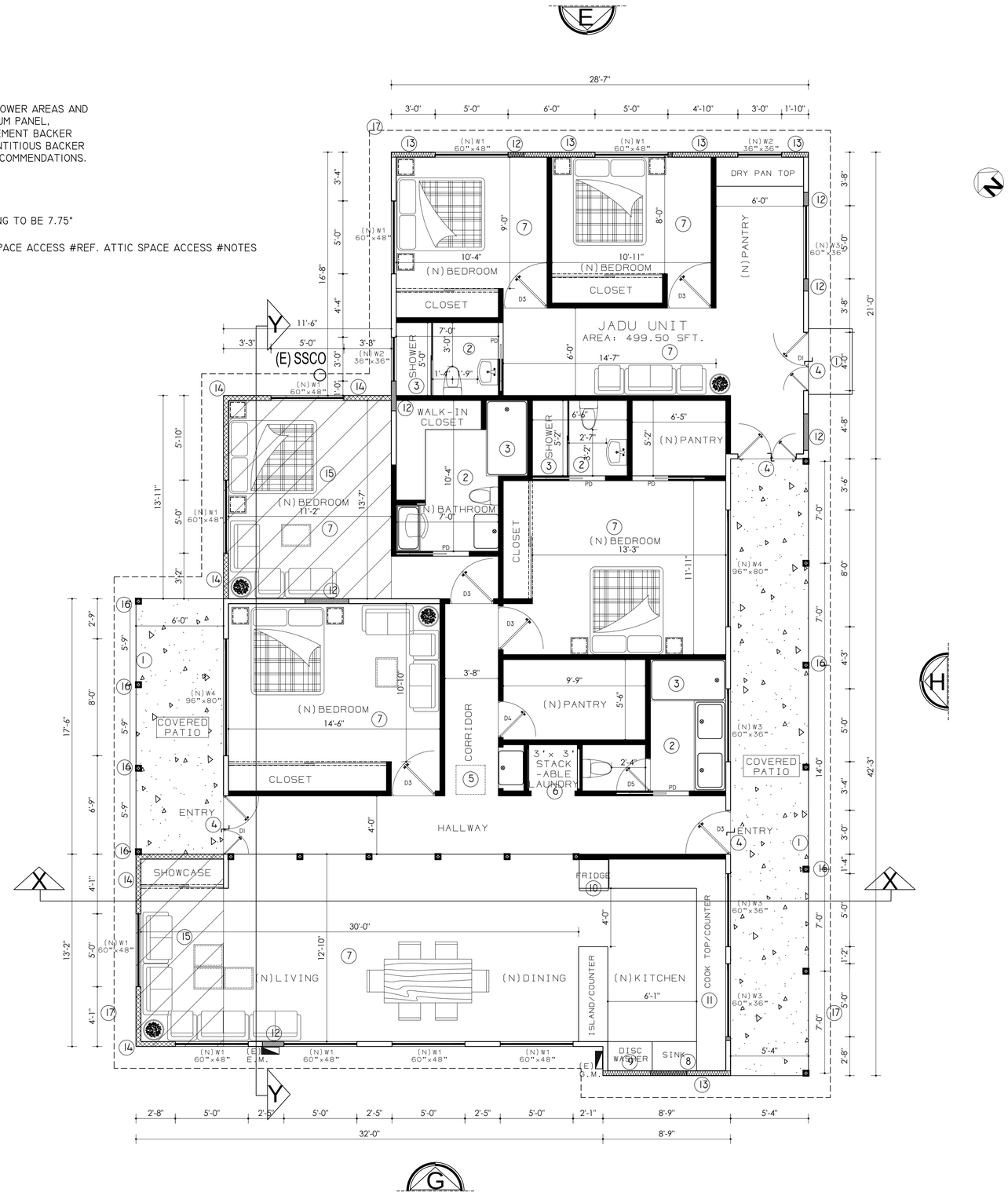
SYMBOL	TYPE	NUMBERS	SIZE		REMARKS
			WIDTH	HEIGHT	
D1	EXTERIOR ENTRY DOOR	4	4'-0"	6'-8"	PREHUNG FLUSH DOOR
D2	DOOR WITH SIDE LIGHT	1	5'-0"	6'-8"	PREHUNG FLUSH DOOR
D3	DOOR	8	3'-0"	6'-8"	PREHUNG FLUSH DOOR
D4	DOOR	1	2'-6"	6'-8"	PREHUNG FLUSH DOOR
D5	DOOR	1	2'-3"	6'-0"	PREHUNG FLUSH DOOR
PD	DOOR	7	2'-6"	6'-0"	TEMPERED DOOR, SLIDING

WINDOW SCHEDULE

SYMBOL	TYPE	NUMBERS	SIZE		SILL HEIGHT	REMARKS
			WIDTH	HEIGHT		
W1	SLIDING WINDOW	16	5'-0"	4'-0"	32"	TRANSPARENT WINDOW
W2	SLIDING WINDOW	3	3'-0"	3'-0"	44"	TRANSPARENT, EGRESS WINDOW
W3	SLIDING WINDOW	6	5'-0"	3'-0"	44"	TRANSPARENT, EGRESS WINDOW
W4	SLIDING WINDOW	2	8'-0"	6'-8"	0"	TRANSPARENT WINDOW
W5	SLIDING WINDOW	1	4'-0"	3'-0"	44"	TRANSPARENT WINDOW

LEGEND

S.N.	SYMBOL	
1		UNALTERED (E) EXTERIOR WALL
2		NEW WALL 2X4@16"C/C PT WOOD
3		NEW EXTENSION SPACE AREA= 239.04 SFT.
4	(E)	EXISTING TO REMAIN
5		NEW WALL INFILL IN DEMOLISHED WINDOW
6		1 HOUR RATED WALL
8		NEW EXTERIOR WALL
9		ROOF OVERHANG
10		DECORATED TIMBER POST



PROPOSED MAIN HOUSE PLAN

SCALE: ¼" = 1'-0"

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ESCAPE AND RESCUE OPENINGS

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20 INCHES. [R310.2.1] EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. [R310.2.2]

LAUNDRY GENERAL NOTE:
1. DRYER VENT TO OUTSIDE SHALL HAVE A MAXIMUM LENGTH OF 14 FEET EQUIPPED WITH BACKDRAFT DAMPER THE VENT DISCHARGE LOVATION SHALL BE A MINIMUM 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING PER CMC 502.2.1

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING OR SLEEPING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. [R314.4] CARBON MONOXIDE ALARMS MUST ALSO BE INTERCONNECTED. [R315.5]

GLAZING NOTES;

GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION. [R308.4.1]
GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS, GLAZING WITHIN 60 INCHES OF THE WATER'S EDGE, AND LESS THAN 60 INCHES ABOVE THE FLOOR MUST BE PROTECTED WITH SAFETY GLASS. [R308.4.5]
ALL UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN 3:12 SHALL BE MOUNTED ON A 4 INCH CURB. [R308.6.8]UNIT SKYLIGHTS AND TUBULAR DAYLIGHTING DEVICES SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY. [R306.6.9]

GENERAL NOTES:

A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. [R311.3]

B. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1½" LOWER THAN THE TOP OF THE THRESHOLD. THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7¾" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. [R311.3.1]

C. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7¾" BELOW THE TOP OF THE THRESHOLD. [R311.3.2]

D. THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET. [R311.6]

E. ATTIC ACCESS SHALL BE PROVIDED TO ALL ATTIC AREAS (IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION) THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER. [R807.1] THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22-INCHES BY 30- INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHEN LOCATED IN A WALL, THE OPENING SHALL BE A MINIMUM OF 22-INCHES WIDE BY 30-INCHES HIGH. [R807.1]

F. ATTIC ACCESS PANELS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE. NOTE ON PLANS. CEC SECTION 150.0(A)2.

G. HABITABLE SPACE, HALLWAYS, AND PORTIONS OF BASEMENTS CONTAINING THOSE SPACES SHALL HAVE A MINIMUM CEILING HEIGHT OF 7 FEET. [R305.1]
A SHOWER OR TUB SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES. [R305.1, EXCEPTION 2]

NOTES:

1. ½ -INCH GYPSUM BOARD ON THE GARAGE SIDE SEPARATING THE DWELLING FROM THE GARAGE PER CRC TABLE R302.6
2. THE MINIMUM 5/8-INCH TYPE X GYPSUM BOARD APPLIED ON THE GARAGE CEILING WITH THE HABITABLE ROOM LOCATED ABOVE (INCLUDING 5/8-INCH TYPE "X' UNDER STRUCTURAL FLOOR JOISTS & BEAMS, AND 1/2-INCH ON BEARING WALL SUPPORTS) PER CRC TABLE R302.6
3. AT CLOSET (ENCLOSED SPACE) UNDER STAIRS, THE WALLS AND CEILING OF CLOSET WITH ½-INCH GYPSUM BOARD (CRC R302.7

AGING IN PLACE

(22, NEW) RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS ON PLANS AS NO MORE THAN 48 A.F.F. AND NO LESS THAN 15 A.F.F. [R327.1.2]

(22, NEW) PROVIDE REINFORCING FOR FUTURE GRAB BARS IN AT LEAST ONE RESTROOM ON THE ENTRY LEVEL. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL INSTALL REINFORCEMENT. [R327.1.1]

(22, NEW) PROVIDE A DETAIL OF BLOCKING FOR FUTURE GRAB BARS. REINFORCEMENT SHALL BE NOT LESS THAN 2X8 BLOCKING LOCATED BETWEEN 32 AND 39¼ A.F.F, FLUSH WITH THE WALL FRAMING. [R327.1.1 #2]

(22, NEW) DOORBELL BUTTONS, WHEN INSTALLED, SHALL NOT EXCEED MORE THAN 48 ABOVE THE EXTERIOR FLOOR OR LANDING. [R327.1.4]

(22, NEW) SPECIFY THE LOCATIONS OF BLOCKING FOR FUTURE GRAB BARS.

1. WATER CLOSET REINFORCING SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND ONE REAR WALL.
2. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
3. BATHTUB AND TUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE LOWER EDGE NO MORE THAN 6 ABOVE THE BATHTUB RIM. [R327.1.1 #3 TO 5]

KEY NOTES FOR PROPOSED NEW ADU PLAN:

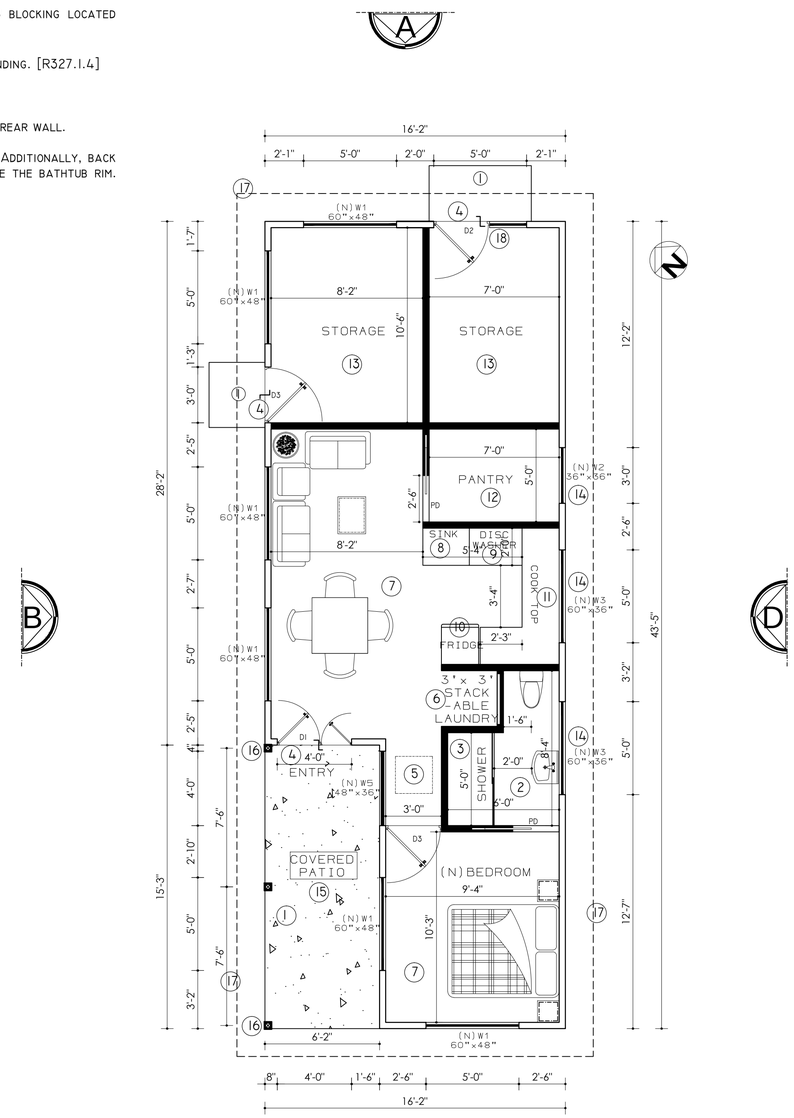
1. PROVIDE 2% SLOPE AT LANDING
2. MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. [R702.4.2]
3. SHOWER ENCLOSURE SHALL BE TEMPERED
4. TYP. THRESHOLD BETWEEN NEW FLOOR AND EXTERIOR LANDING TO BE 7.75"
5. 24"X24" NEW ATTIC SPACE ACCESS #REF. ATTIC SPACE ACCESS #NOTES
6. NEW LAUNDRY
7. TYP. ALL NEW HABITABLE SPACE TO HAVE MIN. 7' CEILING HEIGHT.
8. NEW SINK WITH NEW BRAND
9. NEW DISHWASHER
10. NEW FRIDGE
11. NEW COOK TOP
12. NEW PANTRY
13. NEW STORAGE
14. NEW WINDOWS ADDITION (SEE EXISTING/ DEMOLITION GARAGE PLAN)
15. NEW EXTENDED COVERED PORCH
16. NEW DECORATIVE POST IN COVERED PATIO
17. NEW OVERHANG ROOF
18. NEW DOOR D2 WITH SIDE LIGHT (SEE DOOR SCHEDULE)

DOOR NOTES

- GLAZING PER DOOR TYPES. TEMPERED.
- PROVIDE 100 SQ INCHES OF VENTING IN DOOR OR BY OTHER APPROVED MEANS.
- OPTIONAL DOOR.
- OPTIONAL GLAZING IN DOOR. TEMPERED (BOTH PANES

WINDOW NOTES

- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
- CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS
- REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS.
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
- EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX. SILL HEIGHT OF 44" AFF, MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". [2022 CRC SEC. R310.2]



PROPOSED ADU PLAN

SCALE: ¼" = 1'-0"

LEGEND

S.N.	SYMBOL	
1		UNALTERED (E) EXTERIOR WALL
2		NEW WALL 2X4@16"C/C PT WOOD
3	(E)	EXISTING TO REMAIN
3	- - - -	ROOF OVERHANG
4		DECORATED TIMBER POST

ISSUE LOG

OWNER. SUBMITTAL NOV. 25, 2024
OWNER REV1 MARCH. 15, 2025
OWNER REV2 APRIL. 15, 2025
REV3 APRIL 24, 2025
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CRAWL SPACE VENTILATION FOR PROPOSED MAIN HOUSE WITH JADU
PROVIDE VENTS OF AREA: 2145.27 SFT./ 150 = 14.3 SFT. REQUIRED
DO NOT INSTALL AT SHEAR WALL LOCATION

PROVIDE 17 VENTS OF 14"X16" GALVANIZED STEEL 2 WAY REVERSIBLE VENTS #REF 1/A0.11

ROOF VENTILATION AND ATTIC VENTILATION FOR PROPOSED MAIN HOUSE WITH JADU
PROVIDE EAVE VENTS OF AREA: 2145.27 SFT./ 150= 14.3 SFT. REQUIRED
DO NOT INSTALL AT SHEAR WALL LOCATION

PROVIDE 15 ATTIC GABLE VENTS OF SIZE 12"X12"

ADDITIONALLY ADD TWO MASTER FLOW 1500 CPM POWER ROOF MOUNT ATTIC VENT

KEY NOTES FOR ELEVATIONS

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2. DEMO PARTIAL WALL PORTION TO INSTALL NEW WINDOW
3. DEMO EXISTING DOOR AND WINDOW
4. NEW ATTIC GABLE VENT
5. NEW ROOF WITH SLOPE ANGLE >24° AND MATERIAL EXISTING TO MATCH
6. NEW WALL FINISHES IS WHITE FLAT LATEX STUCCO, EXISTING TO MATCH
7. NEW DOOR AND WINDOW WITH SILL AND LINTEL BAND, SEE PROPOSED PLAN AND DOOR WINDOW SCHEDULE
8. NEW 18" CRAWL SPACE WITH NEW CRAWL VENTS AS PER CALCULATIONS
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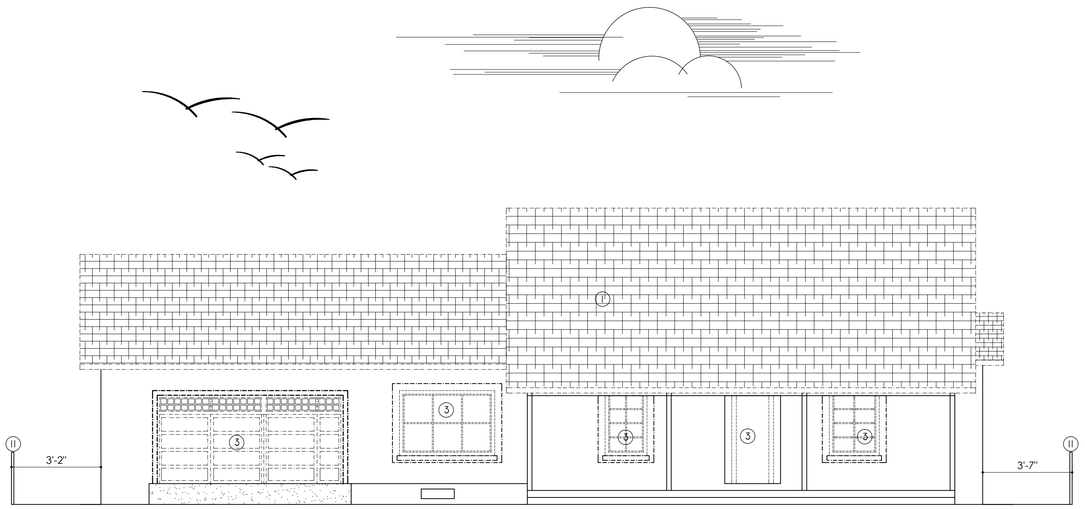
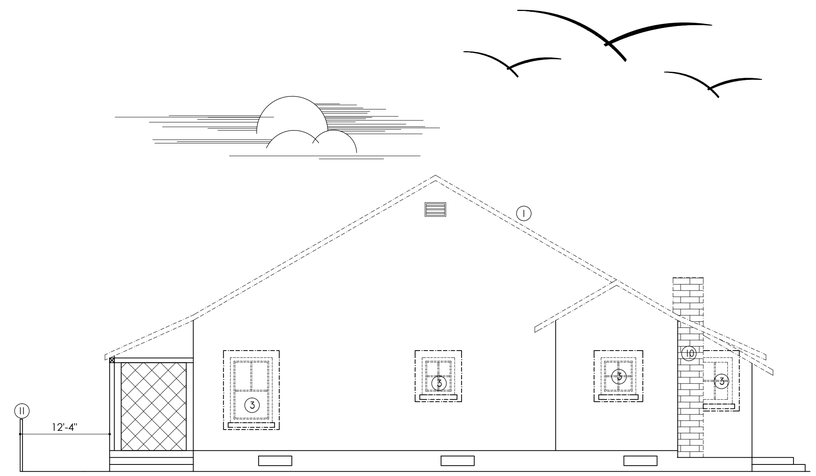
11. FENCE LINE
12. GUTTER CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4
13. DOWNSPOUT TO MATCH EXISTING. VERIFY DRAINAGE WITH SITE PLAN CONSTRAINTS AND CITY REQUIREMENTS
14. DOOR BELL SHALL NOT EXCEED MORE THAN 48" ABOVE THE EXTERIOR FLOOR OR LANDING



EXISTING ELEVATION AT F
SCALE: 3/16" = 1'-0"



EXISTING ELEVATION AT G
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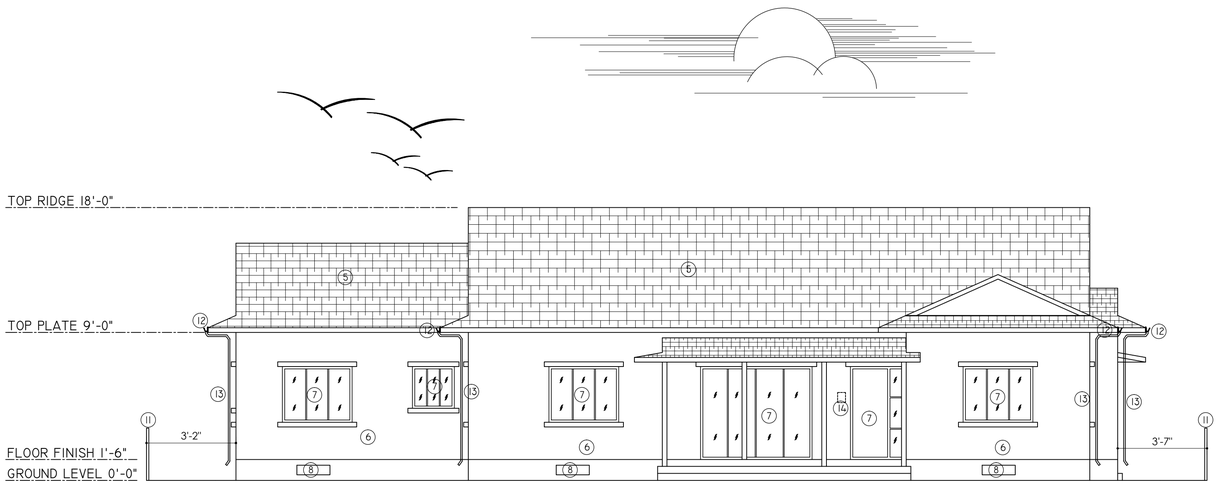
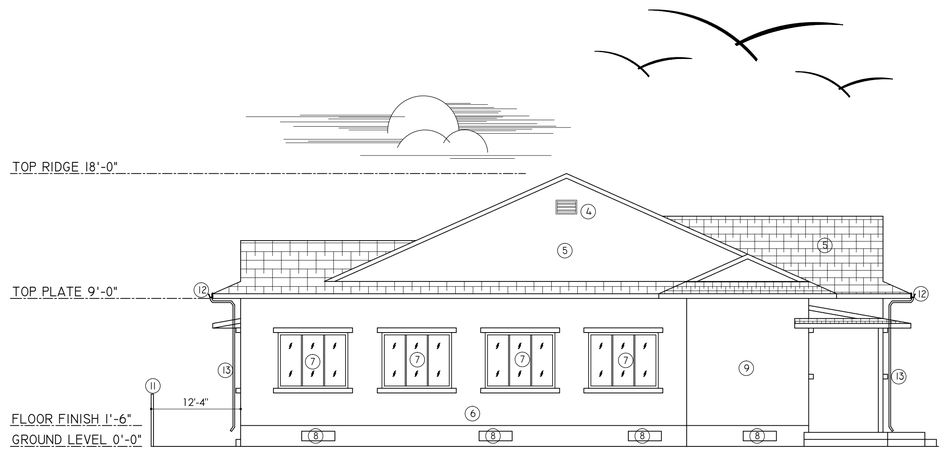


PROPOSED ELEVATION AT F
SCALE: 3/16" = 1'-0"



PROPOSED ELEVATION AT G
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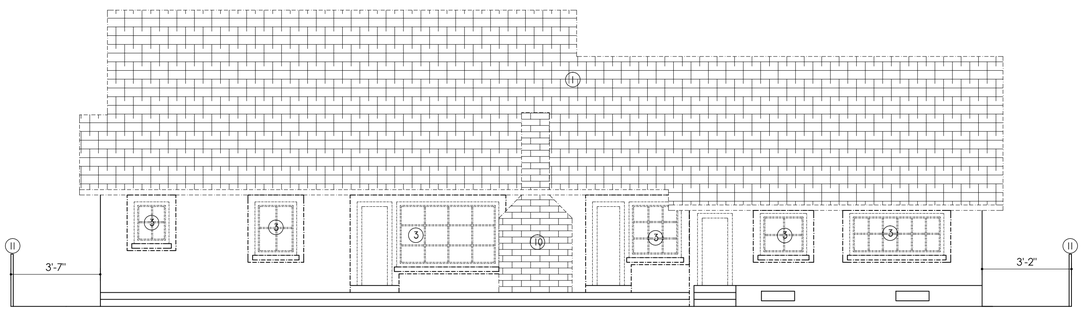

EXISTING ELEVATION AT H
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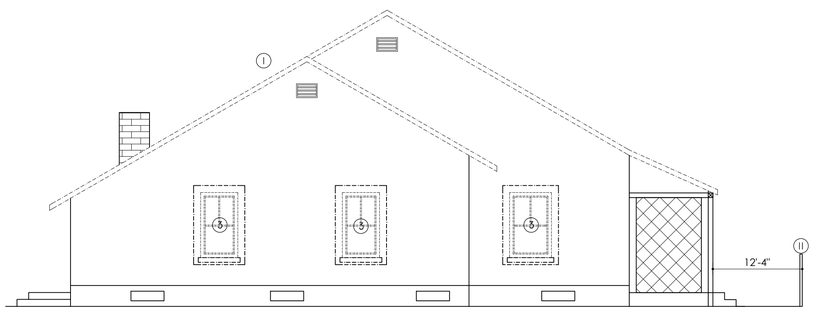

EXISTING ELEVATION AT E
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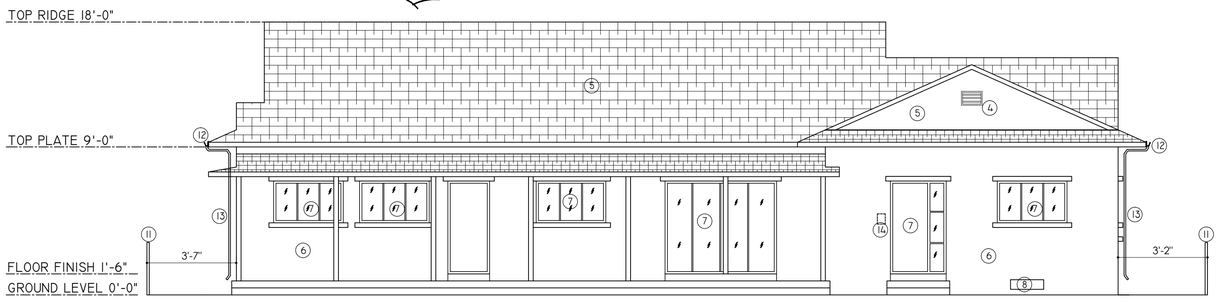
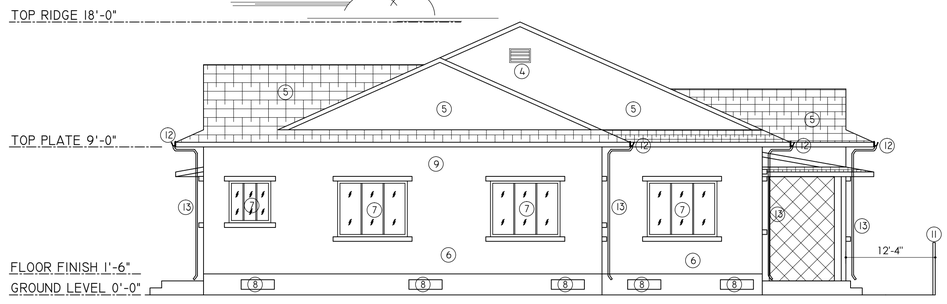


PROPOSED ELEVATION AT H
SCALE: 3/16" = 1'-0"



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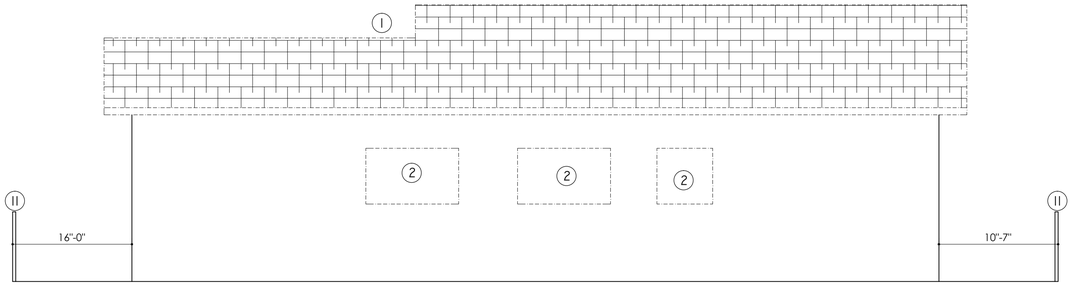
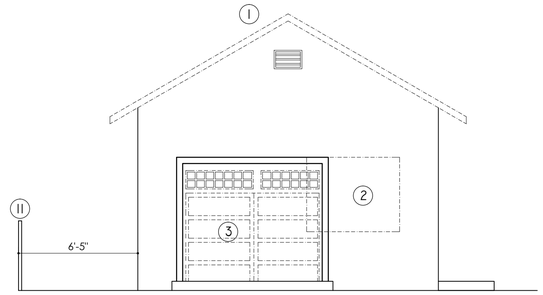
PROVIDE 4 ATTIC GABLE VENTS OF SIZE 12"X12"

ADDITIONALLY ADD TWO MASTER FLOW 1500 CPM POWER ROOF MOUNT ATTIC VENT



EXISTING ELEVATION AT D
SCALE: ¼" = 1'-0"



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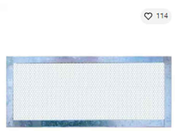
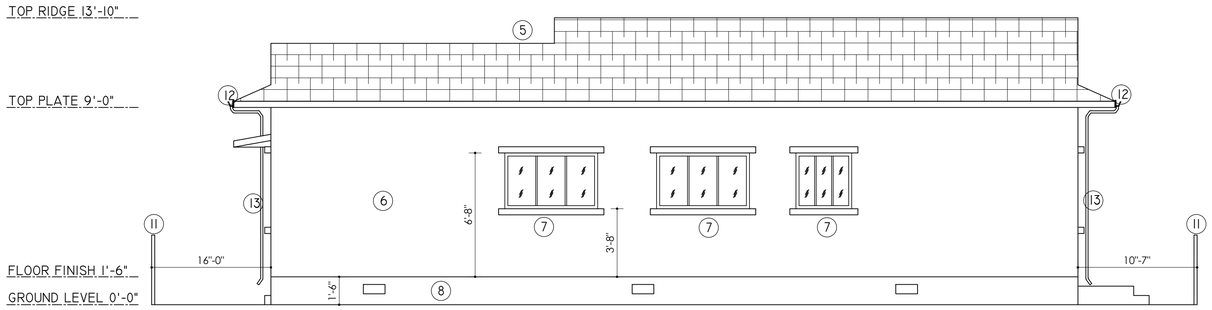


14 in. x 6 in. Galvanized Steel 2-Way Reversible Vent
by Gibraltar Building Products
(93)
- Corrosion-resistant galvanized steel frame ensures durability
- Reversible design for stucco or siding applications
- Includes nail and screw guide holes for convenient installation

1 / A0.11 2 WAY VENT



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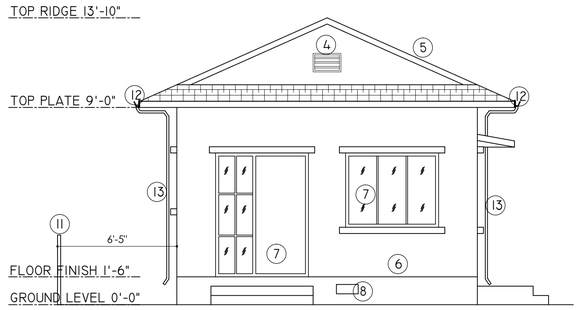

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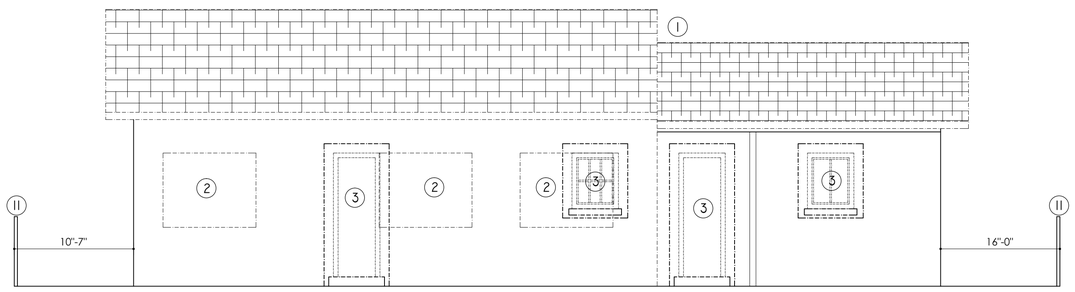

EXISTING ELEVATION AT B
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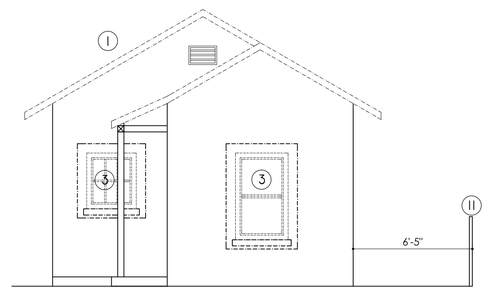

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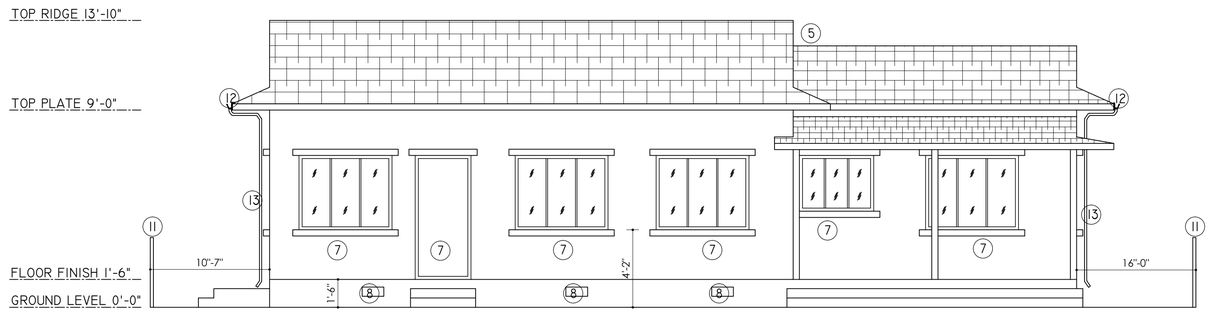
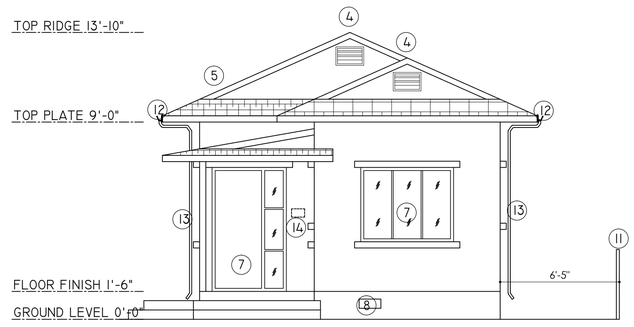


PROPOSED ELEVATION AT B
SCALE: ¼" = 1'-0"



PROPOSED ELEVATION AT C
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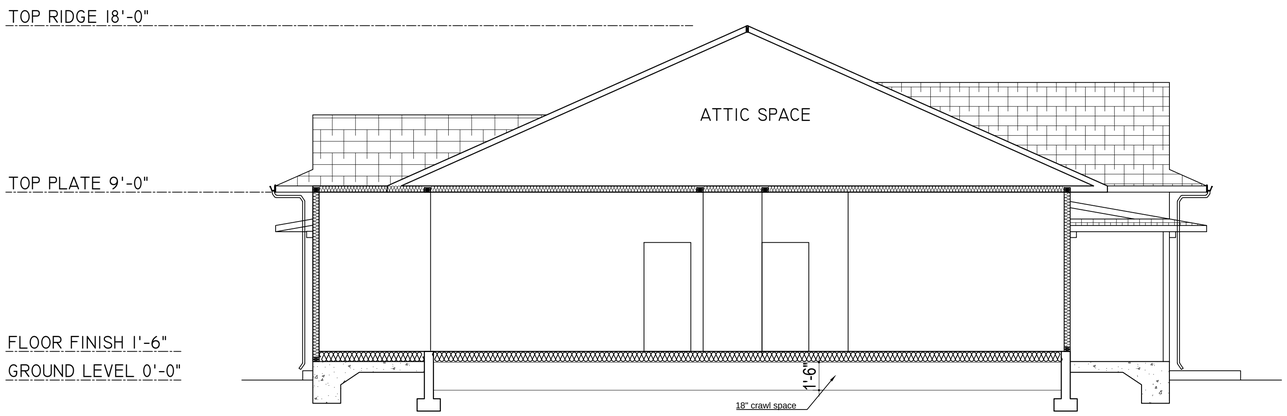


TYPICAL SECTION AT X-X
SCALE: ¼" = 1'-0"

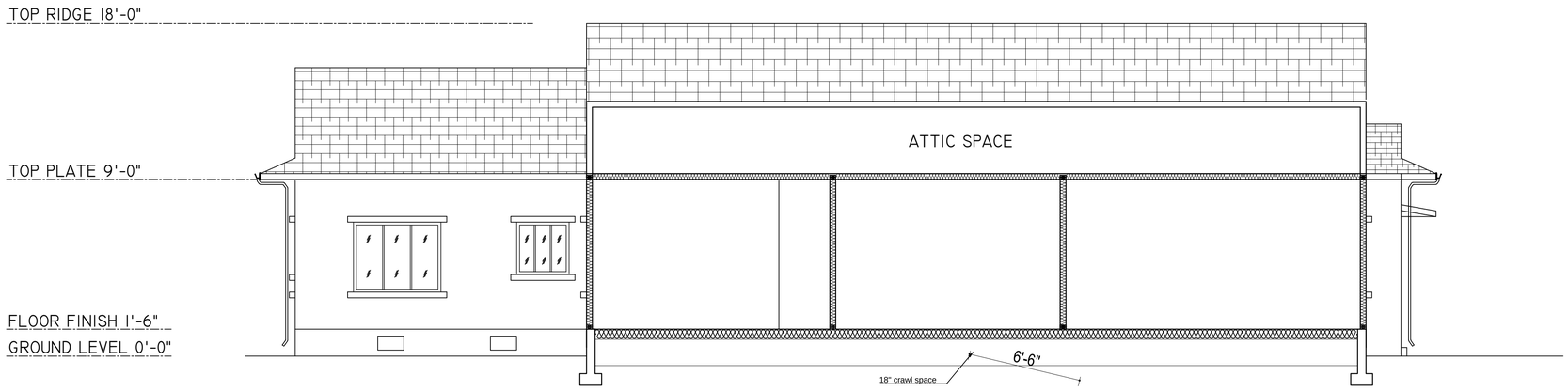
GENERAL NOTES:

WATER RESISTIVE BARRIER MATERIALS SHALL COMPLY WITH ONE OF THE FOLLOWING[R703.2]:

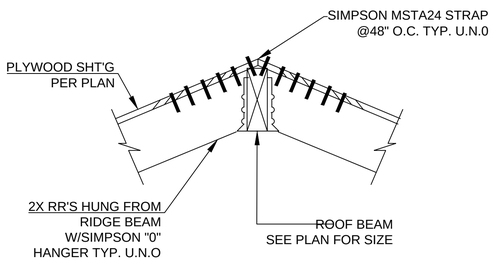
1. NO 15 FELT COMPLYING WITH ASTM D226,TYPE 1.
2. ASTM E2556,TYPE 1 OR 2.
3. ASTM E331 IN ACCORDANCE WITH R703.1.1.
4. OTHER APPROVED MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS[R703.4]:

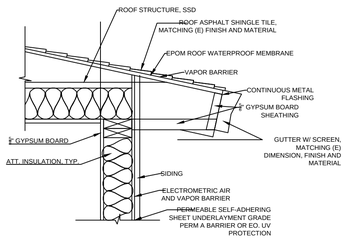
1. EXTERIOR WINDOW AND DOOR OPENINGS.FLASHING AT EXTERIOR DOOR AND WINDOW OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH R703.4.1.



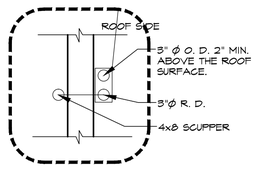
TYPICAL SECTION AT Y-Y
SCALE: ¼" = 1'-0"



1 / A0.12 TYP. ROOF DETAIL AT RIDGE

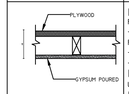


2 / A0.12 TYP. ROOF DETAIL



3 / A0.12 TYP. ROOF DRAIN

Wood Framed

1 Hour Fire Rated Construction	Load Bearing	Acoustical Performance				Reference
Construction Detail	Description	Test Number	STC	IIC	Test Number	Index
	▯ ⅝" Sheetrock Firecode C Core gypsum panels - 1" nominal wood sub and finished floor - 2 x 10 wood joist 16" o.c. - joints finished ▯ optional Levelrock floor underlayment ▯ optional SRM-25 or SRB sound mat ▯ optional veneer plaster	UL Des L 501	38	32	CK-6412-7 Based on ⅝" nominal wood floor	B-52
			39	56	CK-6412-8 Based on ⅝" nominal wood floor, 44 oz carpet and 40 oz pad atop flooring	

4 / A0.12 TYP. 1 HOUR FIRE RATED- CEILING

ISSUE LOG

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OWNER REV1 MARCH. 15, 2025
OWNER REV2 APRIL. 15, 2025
REV3 APRIL 24, 2025
BUILDING SUBMITTAL MAY 2, 2025

ECONOMICAL
HOME DESIGN BUILD LLC
3235 SYDNEY WAY,CASTRO VALLEY,CA.94546
TEL: 510-827-2605,
EMAIL:ECONOMICALHOMEDESIGN@OUTLOOK.COM

Poonam

COMPLETE REMODEL FOR:
GYUTO FOUNDATION INC.
1509 ELM AVE, RICHMOND,
CA 94805_1611

APN - 521-071-014-0

CHECKED	DRAWN
SO	SM, SS

DATE
MAY 2, 2025

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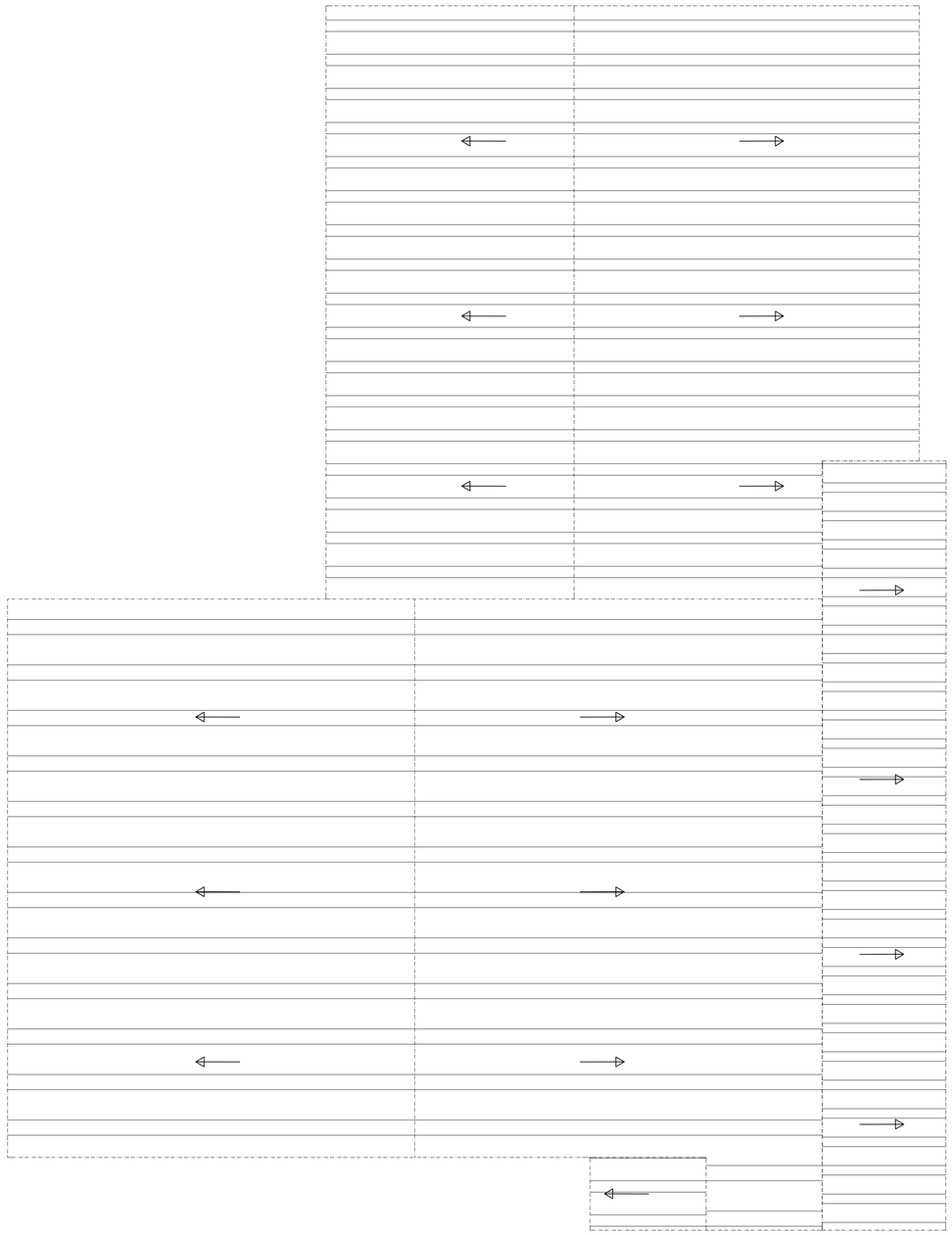
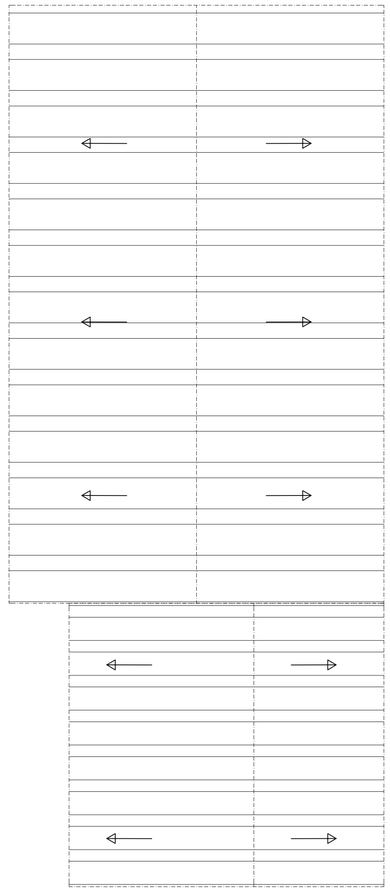


EXISTING/DEMOLISHING ROOF PLAN OF MAIN HOUSE PLAN

SCALE: ¼" = 1'-0"



LEGEND

	COMPLETE DEMO ROOF
	SLOPE ROOF DIRECTION

EXISTING/DEMOLISHING ROOF PLAN OF DETACHED GARAGE

SCALE: ¼" = 1'-0"

ISSUE LOG
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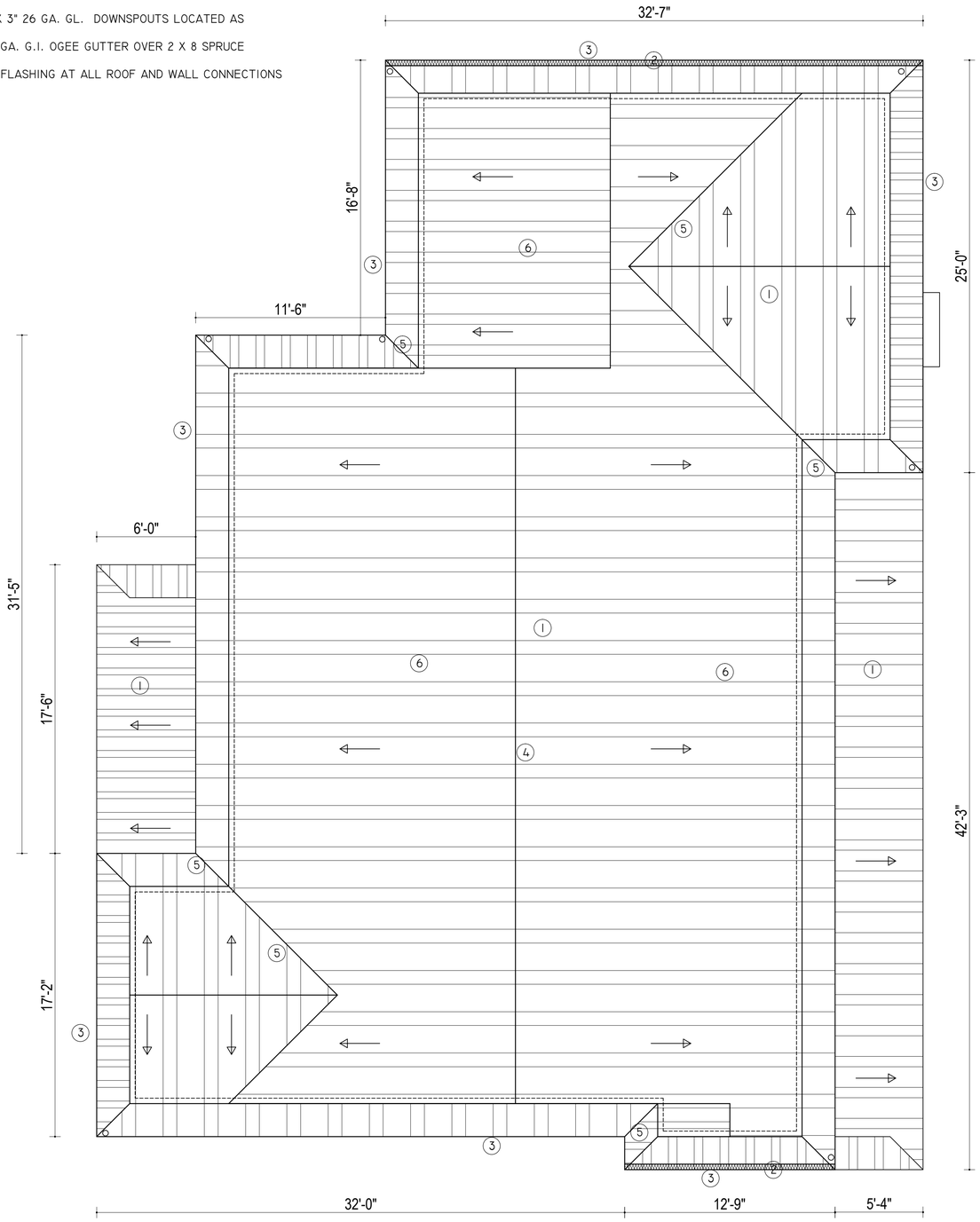
ROOF NOTES:

1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF
2. D.S INDICATES 2" X 3" 26 GA. GL. DOWNSPOUTS LOCATED AS SHOWN
3. PROVIDE SHAPED, 26 GA. G.I. OGEE GUTTER OVER 2 X 8 SPRUCE FASCIA BOARD. TYP.
4. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED



PROPOSED ROOF PLAN OF MAIN HOUSE PLAN

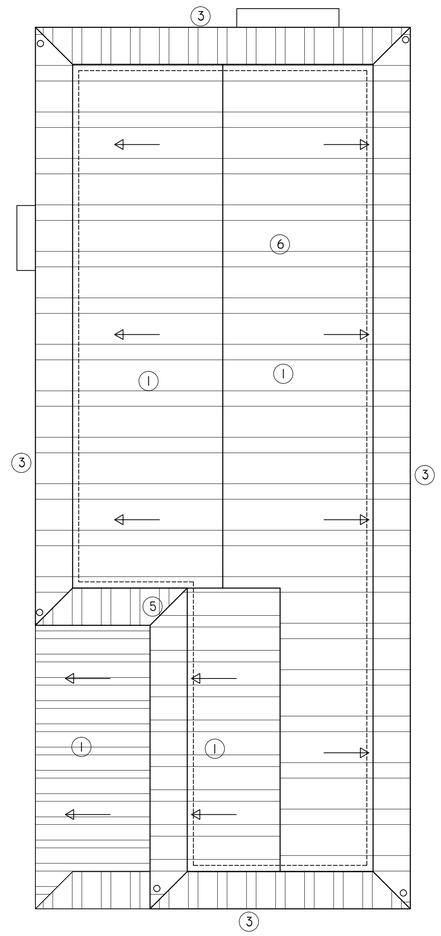
SCALE: ¼" = 1'-0"

KEY NOTES FOR ROOF PLAN

1. NEW ROOF WITH SLOPE ANGLE >24° AND MATERIAL EXISTING TO MATCH
2. 1 HR. FIRE RATED OVERHANG ROOF FOR PROJECTION WITHIN 5'-0" FROM PROPERTY LINE
3. TOP PLATE 9'-0"
4. TOP RIDGE 18'-0"
5. THE VALLEY FLASHING SHALL EXTEND AT LEAST 11 INCHES FROM THE CENTERLINE EACH WAY AND HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1 INCH HIGH IN HEIGHT AT THE FLOW LINE FORMED AS PART OF THE FLASHING.[R905.3.8]
6. FOR ROOF SLOPES FROM 2:12 TO 4:12,UNDERLAYMENT SHALL BE TWO LAYERS.[TABLE R905.1.1(2)]

LEGEND

	COMPLETE NEW ROOF LINE
	SLOPE ROOF DIRECTION
	DOWN-SPOUT
	1 HR. FIRE RATED ROOF OVERHANG
	WALL LINES



PROPOSED ROOF PLAN OF ADU

SCALE: ¼" = 1'-0"

ISSUE LOG

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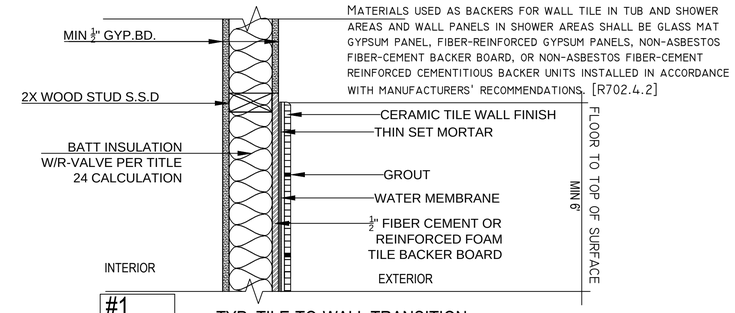
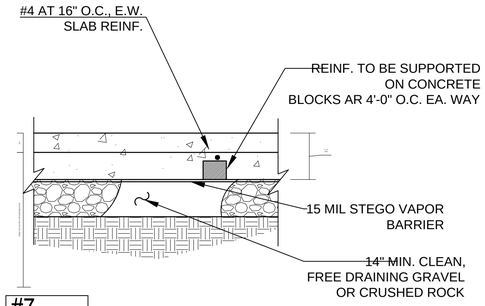
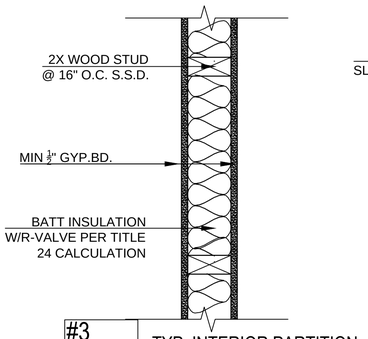


MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. [R702.4.2]

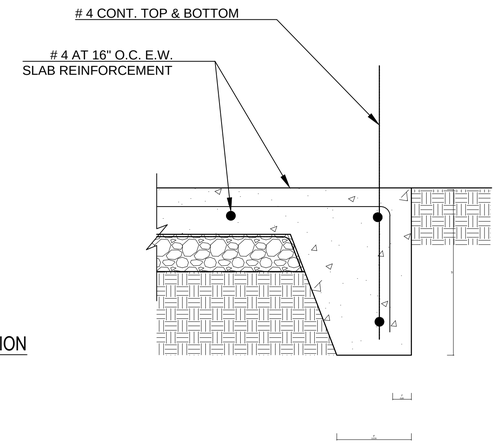
#1 A0.15 TYP. TILE-TO-WALL TRANSITION



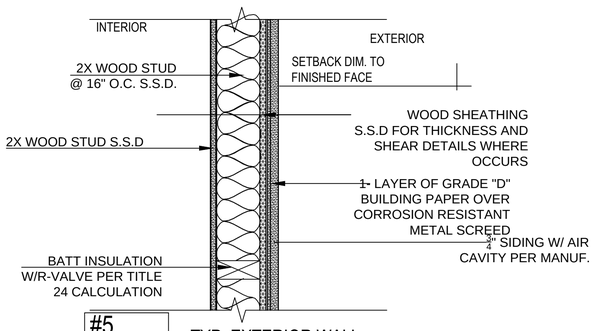
#7 A0.15 TYP. SLAB



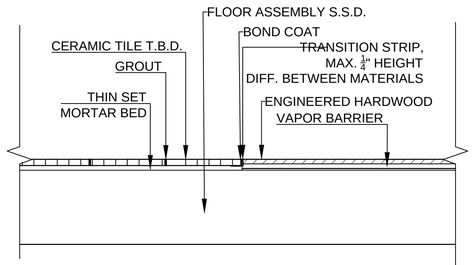
#3 A0.15 TYP. INTERIOR PARTITION



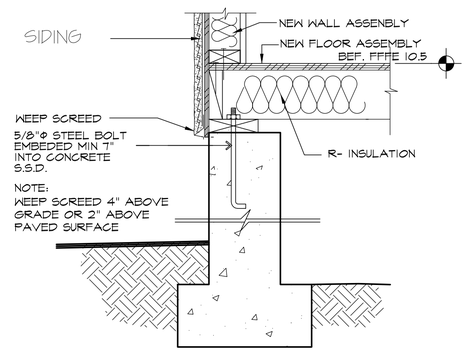
#4 A0.15 TYP. FOUNDATION AT EDGE



#5 A0.15 TYP. EXTERIOR WALL



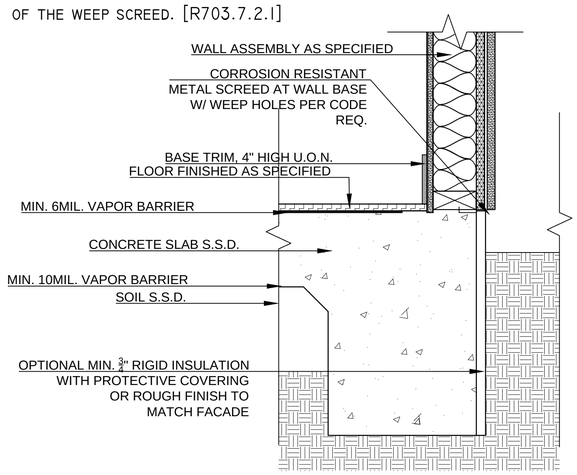
#6 A0.15 TYP. TILE-TO-HARDWOOD TRANITION



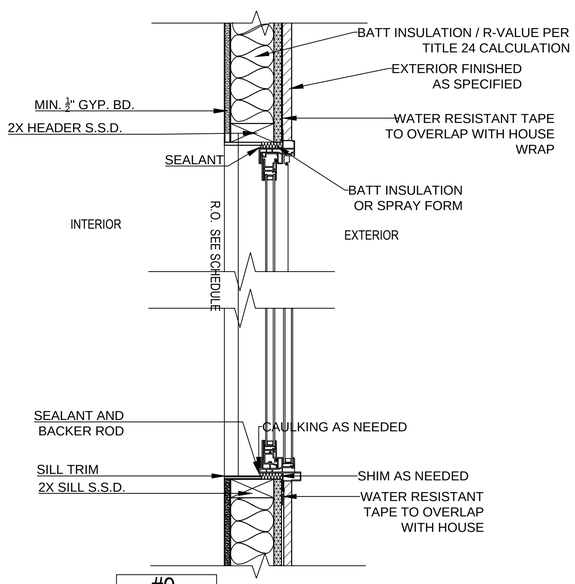
2 NEW FOOTING

SCALE: 1"=1'

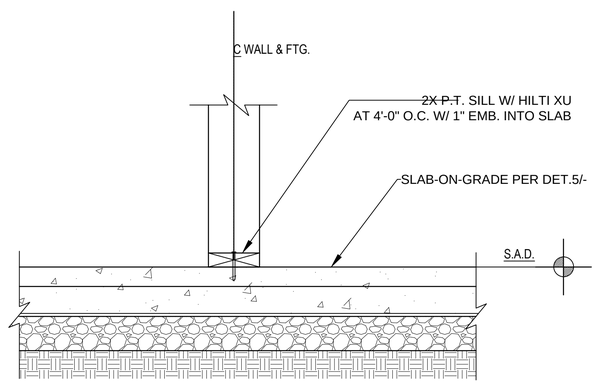
A MINIMUM 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3½" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED. [R703.7.2.1]



#8 A0.15 TYP. CONCRETE SLAB EDGE



#9 A0.15 TYP. WINDOW HEAD AND SILL



#10 A0.15 TYP. FOU INTERIOR NON-STRUCTURAL WALL

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CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-3440 **Agenda Date:** 8/26/2025 **Agenda #:**

Advisory Board: East Richmond Heights Municipal Advisory Council (Land Use Subcommittee)
Subject: **County File Number: CDVR25-01031**
Information: 6603 KENSINGTON AVE

CONTRA COSTA COUNTY
DEPARTMENT OF CONSERVATION AND DEVELOPMENT
COMMUNITY DEVELOPMENT DIVISION
30 Muir Road
Martinez, CA 94553-4601
Phone: 925-655-2700
Fax: 925-655-2758

CONTRA COSTA
CONSERVATION & DEVELOPMENT

AGENCY COMMENT REQUEST

Date 06/05/25

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

✔ Building Inspection
Grading Inspection
Advance Planning
Housing Programs
Trans. Planning
Telecom Planner
ALUC Staff
HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

✔ Environmental Health
Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services
Special Districts
Traffic
Flood Control (Full-size)

LOCAL

✔ Fire District _____

San Ramon Valley – (email) rwendel@srvfire.ca.gov
✔ Consolidated – (email) fire@cccfpd.org

✔ Sanitary District West County Wastewater
✔ Water District EBMUD
✔ City of El Cerrito
School District(s) _____
LAFCO
Reclamation District #_____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD
✔ MAC/TAC East Richmond Heights MAC
Improvement/Community Association
✔ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

_____

_____

Please submit your comments to:

Project Planner Diana Lecca
Phone # (925) 655-2869
E-mail Diana.Lecca@dcd.cccounty.us
County File # CDVR25-01031

Prior to July 1, 2025

* * * * *

We have found the following special programs apply to this application:

Landslide
✔ Active Fault Zone (A-P)
Liquefaction
Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
✔ High or Very High FHSZ

* * * * *

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below ___ Attached

Print Name_____

_____
Signature DATE

Agency phone #_____

REVISED 09/25/2024. TO PRINT MORE COPIES: G:\Current Planning\APC\APC Forms\CURRENT FORMS\PLANNING\Agency Comment Request.doc

CONTRA COSTA
CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01031 **File Date: 6/4/2025**

Applicant:
PAMELA R DEWITT DEWITT PAMELA R
6603 KENSINGTON AVE
RICHMOND, CA 948052054
Pam@jimdewitt.com
(510) 206-0720

Property Owner:
PAMELA R DEWITT
6603 KENSINGTON AVE
RICHMOND, CA 948052054
pam@jimdewitt.com
(510) 206-0720

Project Description:
The applicant requests approval of a variance and small lot design review to allow a 10-foot secondary front setback (where 15 feet is the minimum required) to construct a 160 square-foot raised deck on a lot of substandard area and average width.

Project Location: (Address: 6603 KENSINGTON AVE, RICHMOND, CA 948052054), (APN: 521103022)

Additional APNs: 1,2

General Plan Designation(s): RM

Flood Hazard Areas: X

60-dBA Noise Control: NO

Sphere of Influence: El Cerrito

Sanitary District: WEST CO WASTEWATER

Specific Plan: N/A

Zoning District(s): R-6

AP Fault Zone: Hayward Fault Seismic Zone

MAC/TAC: East Richmond Heights MAC

Fire District: CONSOLIDATED FIRE

Housing Inventory Site: NO

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee ($30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee ($57)	002606-9660-REV-000-5BHSDR| $5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
		Total:	**3337.00**	**3337.00**

RECEIVED on 06/04/2025 CDVR25-01031
By Contra Costa County
Department of Conservation and Development

Variance findings:
6603 Richmond Ave / Kensington Ave
Richmond, CA

Applicant :
Jonathan Livingston
Architect

Discussion:

The Owner would like to enjoy a private and secure open space similar to others on the street. Some of the lots in this area are very small. The lot size for this application is 3,500 sf. The south side set back is 5 feet and the rear is 5 feet. The only safe elevated and secure open space area would need to encroach on the 15 foot side yard setback for a corner lot.

We are seeking a 10 foot side yard set back (5 foot encroachment on the published 15 foot side yard setback) to allow us to build a secure and elevated deck similar to other similarly situated property owners on the same section of street with similar orientations. (see attached Exhibit)

Accessibility: The owners are also in need of an accessible private open space area that they currently do not have. Other similar situated homes appear to enjoy accessible private open space.

We are asking for a minor encroachment of 5 feet into the required side yard setback. We are seeking equal enjoyment of our property as enjoyed by other similarly situated neighbors.

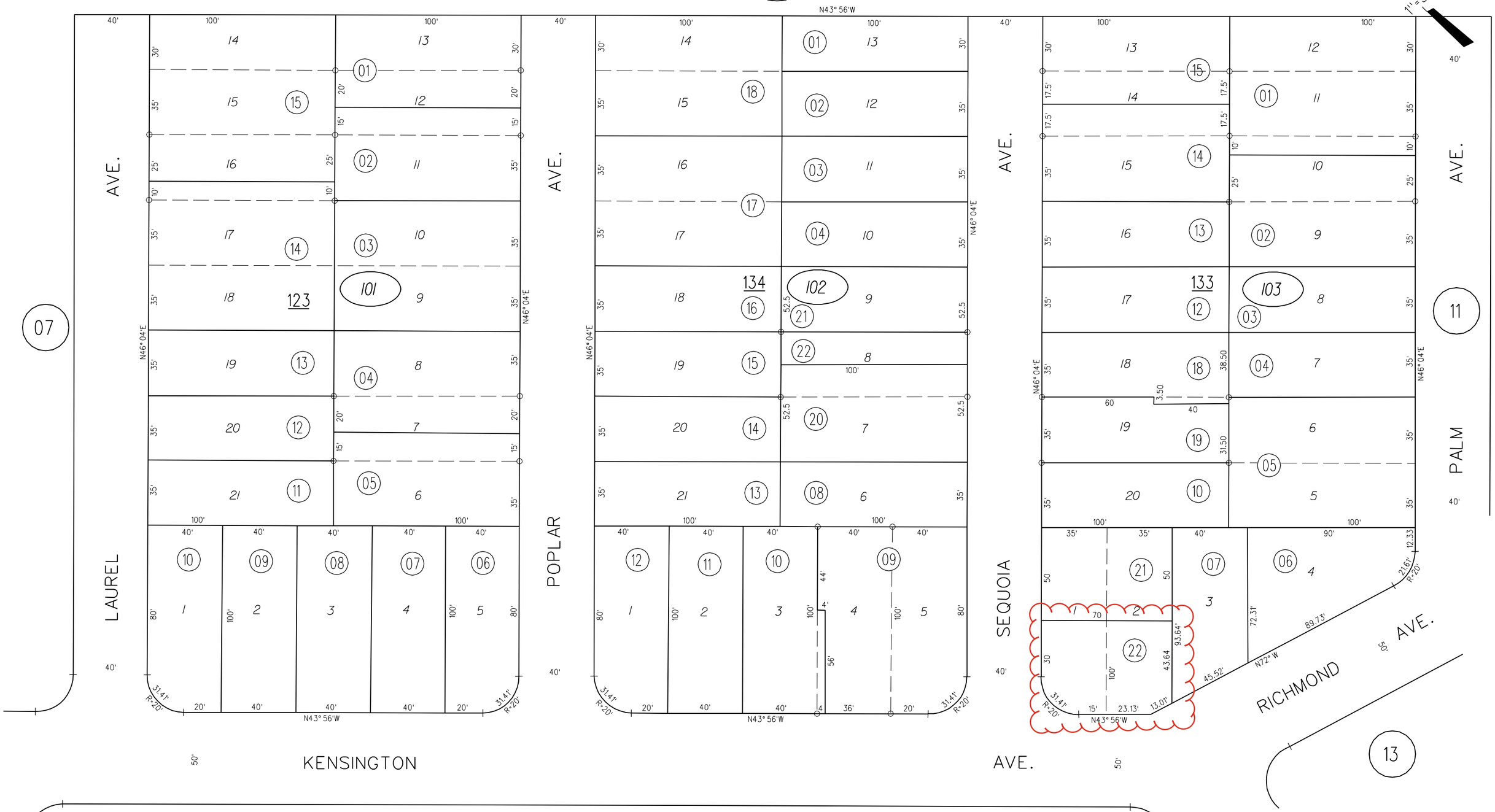
Thank you for your consideration

Jonathan Livingston , architect for Owner.

EAST RICHMOND HEIGHTS TRACT NO.4 M.B. 8-177

PB 418

1" = 50'



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

09 101 102 103

70/30
ASSESSOR'S MAP
BOOK 521 PAGE 10
CONTRA COSTA COUNTY, CA

General Plan

Map Legend

- Assessment Parcels

General Plan

- RM (Residential Medium Density) (7-17 du/na)
- Unincorporated
- Board of Supervisors' Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
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Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Credits: Contra Costa County Development of Conservation and Department, Maxar, Microsoft, Esri Community Maps Contributors, California State Parks, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS

Zoning

Map Legend

- Assessment Parcels
- Zoning
- ZONE_OVER
  - R-6 (Single Family Residential)
  - R-B (Retail Business)
  - Unincorporated
- Board of Supervisors' Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquires to the appropriate department.

Spatial Reference
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Orthophotography

Map Legend

- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

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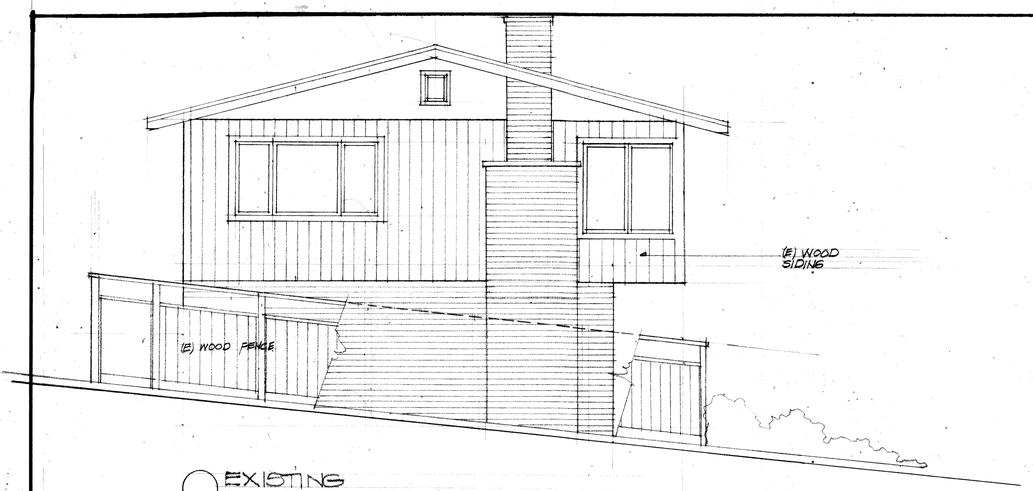
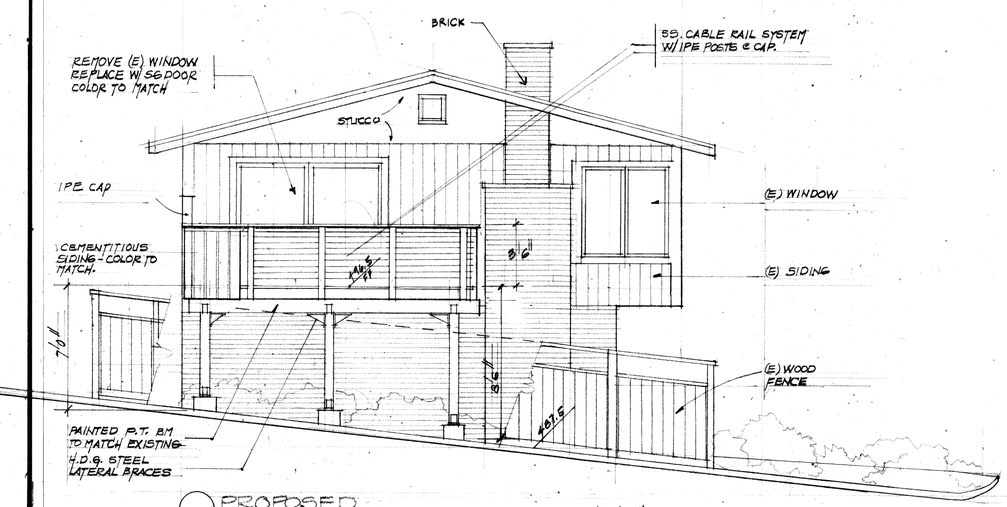
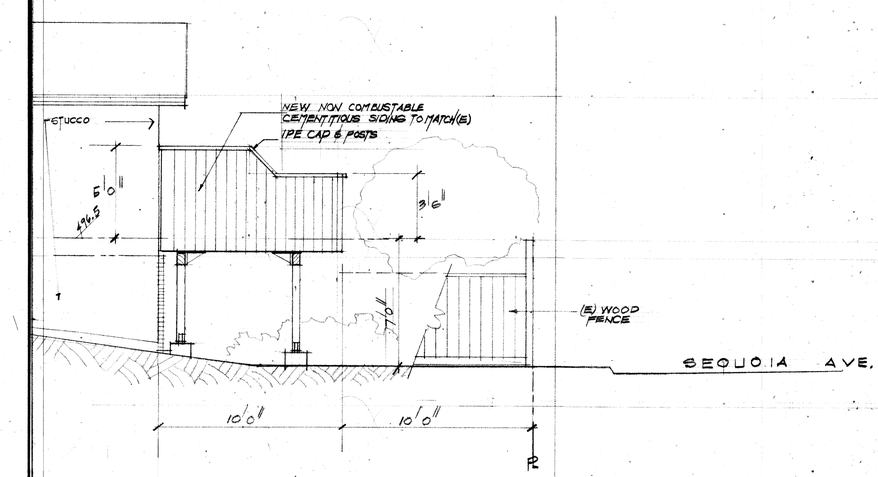


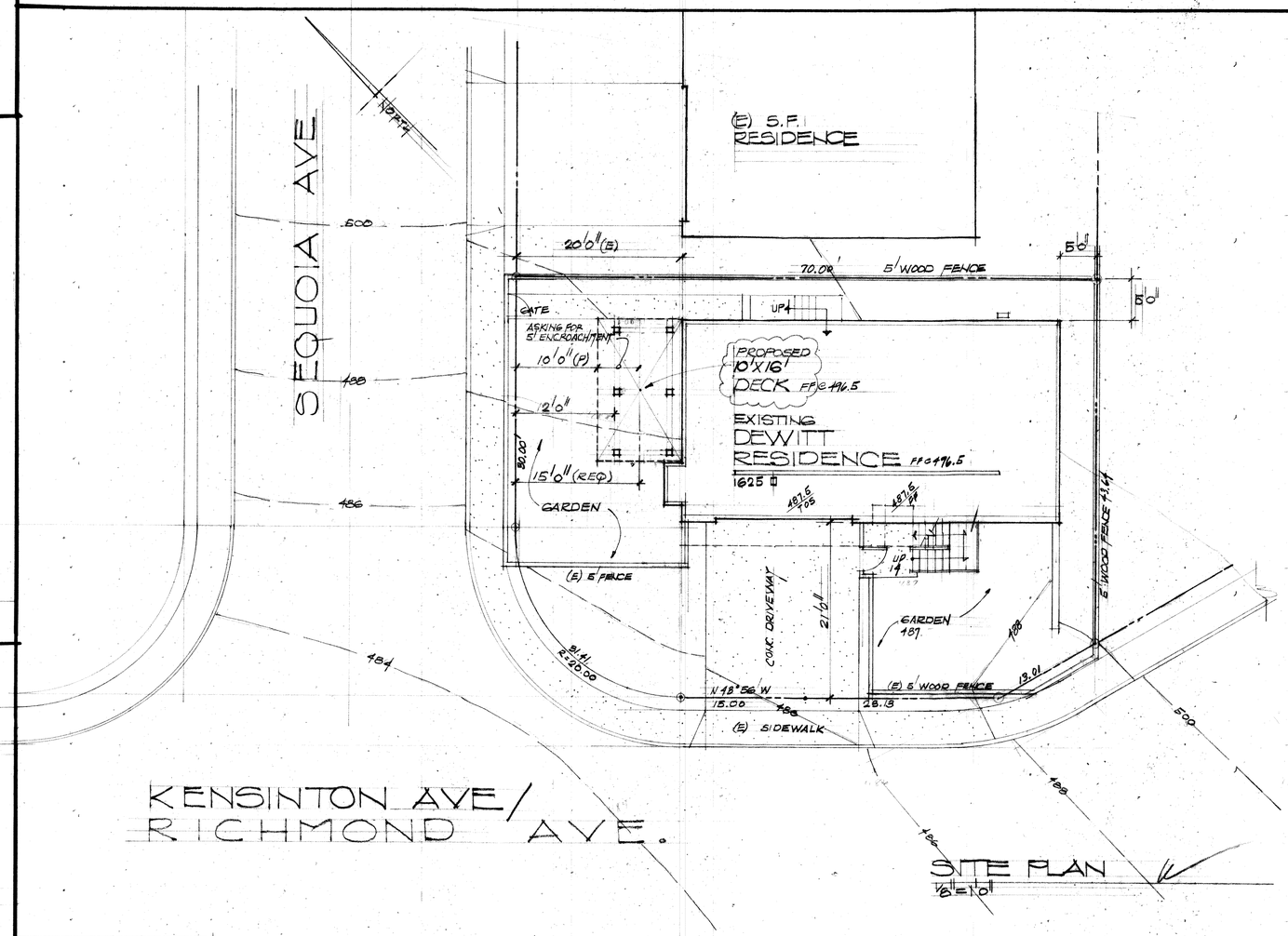
EXISTING NW ELEVATION



PROPOSED NW ELEVATION w/ DECK 1/4"=1'0"



PROPOSE NE SIDE ELEVATION



SITE PLAN 1/8"=1'0"

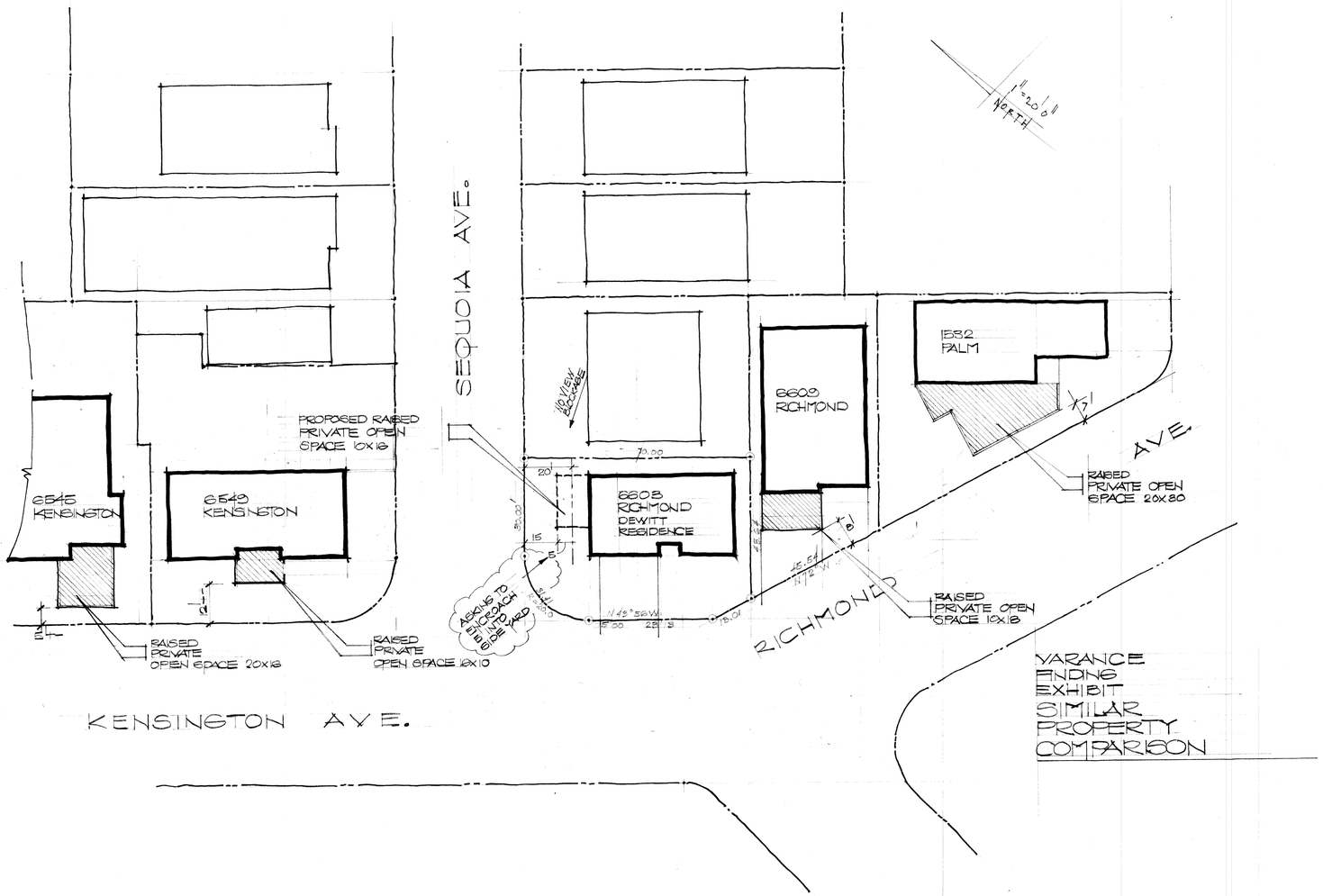
PROJECT DATA	
LOT AREA	3500 □'
AP # 521-103-022	
(E) COVERAGE	= 47%
(P) COVERAGE	= 49.5%
ZONING	= R-6

DEWITT RESIDENCE
6603 KENSINGTON AVE
RICHMOND CA.

DECK ADDITION
W/ VARIANCE APPLICATION

1788

RECEIVED on 06/04/2025 CDVR25-01031
By Contra Costa County
Department of Conservation and Development



DEWITT
RESIDENCE
6603 RICHMOND AVE.
RICHMOND CA.

DECK
ADDITION / RAISED PRIVATE OPEN SPACE
AND
VARIANCE
FINDINGS 6/2/2025