





## Planning Application Summary

**County File Number: CDDP25-03003**

**File Date: 1/31/2025**

**Applicant:**

Amir Saffarian  
18181 BUTTERFIELD BLVD STE 185  
MORGAN HILL, CA 95037

asaffarian@yahoo.com  
(415) 827-8177

**Property Owner:**

Amir Saffarian  
18181 BUTTERFIELD BLVD STE 185  
MORGAN HILL, CA 95037

asaffarian@yahoo.com  
(415) 827-8177

**Project Description:**

Request approval of Development Plan modification of Final Development Plan #LP73-0442 for Tract 4594 to allow 0-foot side yards (where 3-feet is minimum) to legalize a replacement retaining wall with a maximum height of 9-feet that spans the entire width of the rear yard.

**Project Location: (Address: 85 PARTRIDGE CT, ALAMO, CA 945072829), (APN: 194140007)**

**Additional APNs:**

**General Plan Designation(s):** RL

**Zoning District(s):** P-1

**Flood Hazard Areas:** X

**AP Fault Zone:** N/A

**60-dBA Noise Control:** N/A

**MAC/TAC:** Alamo MAC/AIA

**Sphere of Influence:** N/A

**Fire District:** SAN RAMON VLY FIRE

**Sanitary District:** CENTRAL SANITARY

**Housing Inventory Site:** NO

**Specific Plan:** N/A

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DPS039B	Dev. Plan Non-Subst. Modif. P-1 DCD	002606-9660-REV-000-5B039B  0.931	2000.00	2000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
<b>Total:</b>			<b>2087.00</b>	<b>2087.00</b>

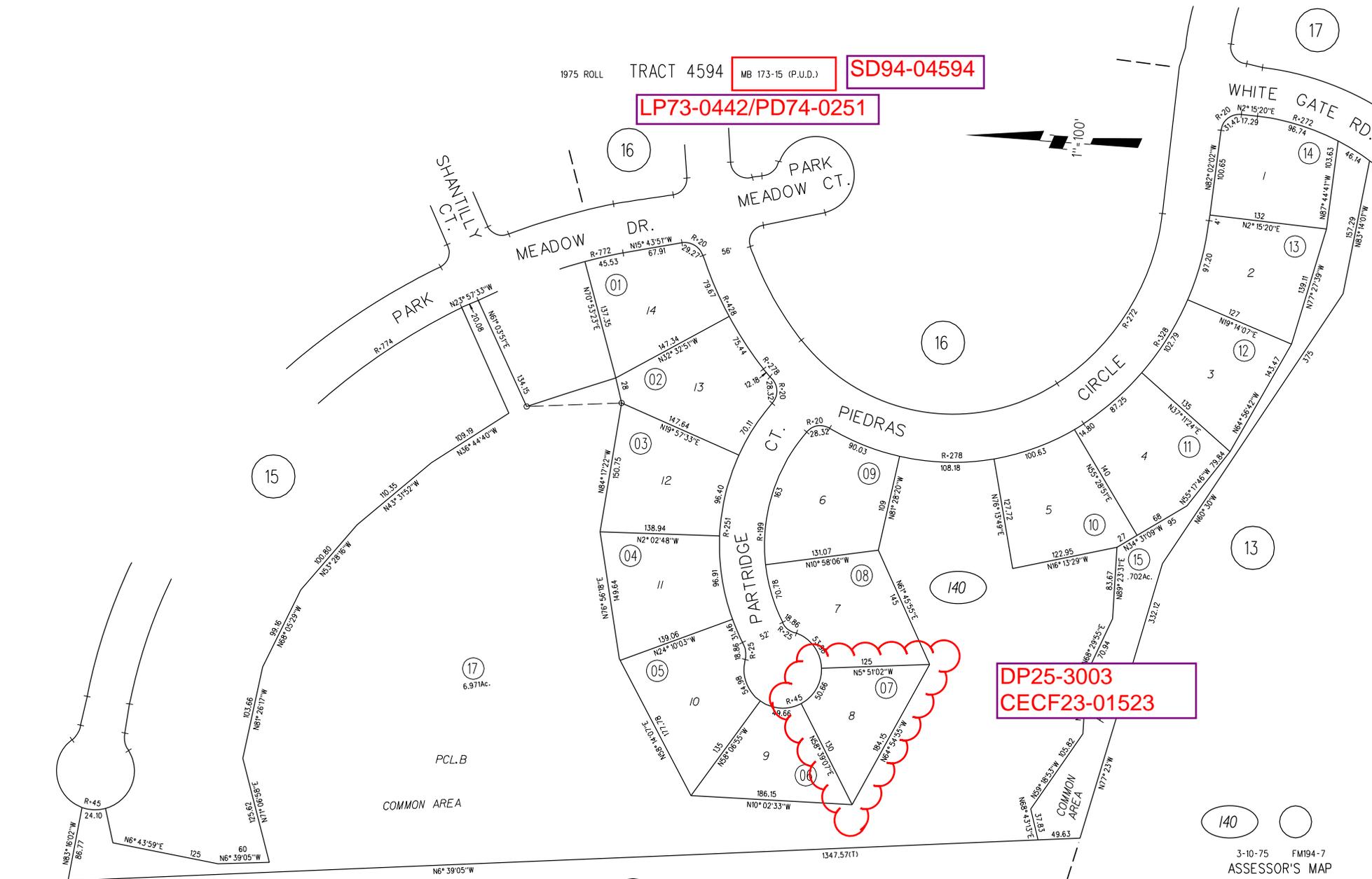
1975 ROLL

TRACT 4594

MB 173-15 (P.U.D.)

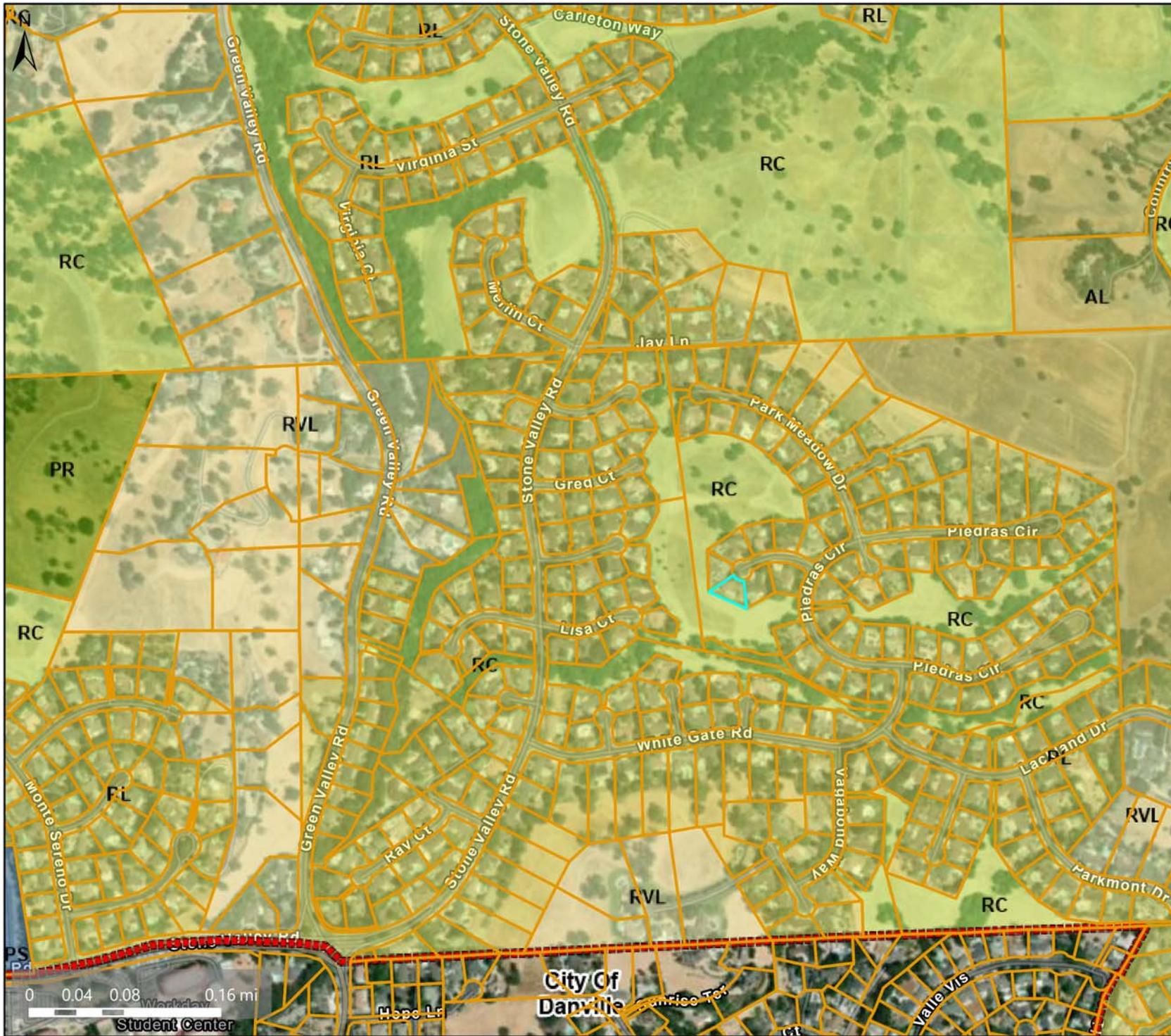
SD94-04594

LP73-0442/PD74-0251



DP25-3003  
CECF23-01523

# General Plan: Residential Low Density (RL)



## Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  RVL (Residential Very-Low Density) ( $\leq 1$  du/na)
-  RL (Residential Low Density) (1-3 du/na)
-  PS (Public and Semi-Public)
-  PR (Park and Recreation)
-  RC (Resource Conservation)
-  AL (Agricultural Lands) (1 du/10 ac) (1 du/20 ac in DPZ)
-  City Limits

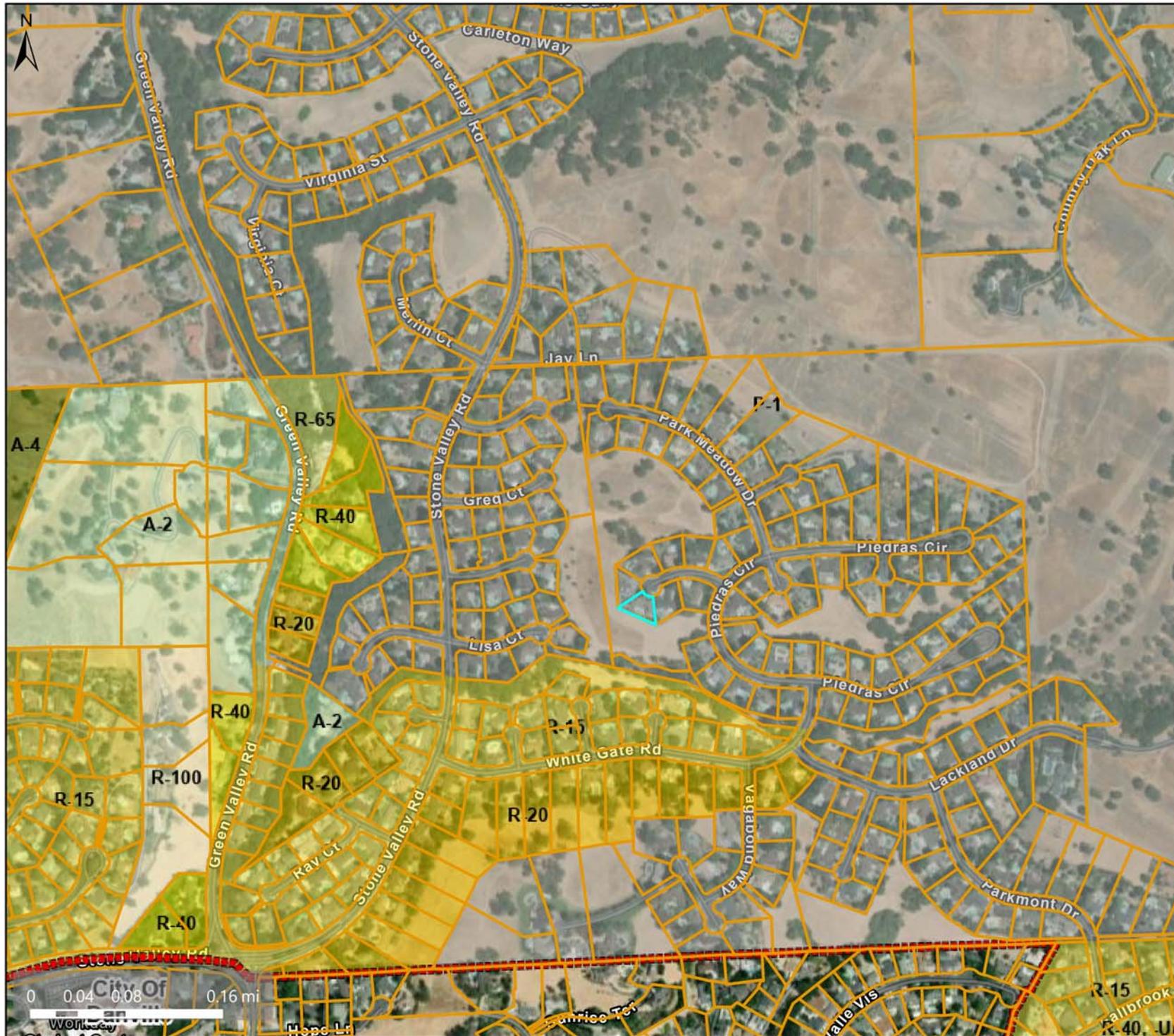
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**Spatial Reference**  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984

# Zoning: Planned-Unit District (P-1)



## Map Legend

Assessment  
Parcels

Planning Layers  
(DCD)

Zoning

ZONE\_OVER

R-15 (Single  
Family  
Residential)

R-20 (Single  
Family  
Residential)

R-40 (Single  
Family  
Residential)

R-40, -UE  
(Urban Farm  
Animal  
Exclusion)

R-65 (Single  
Family  
Residential)

R-100 (Single  
Family  
Residential)

A-2 (General  
Agriculture)

A-4  
(Agricultural  
Preserve)

P-1 (Planned  
Unit)

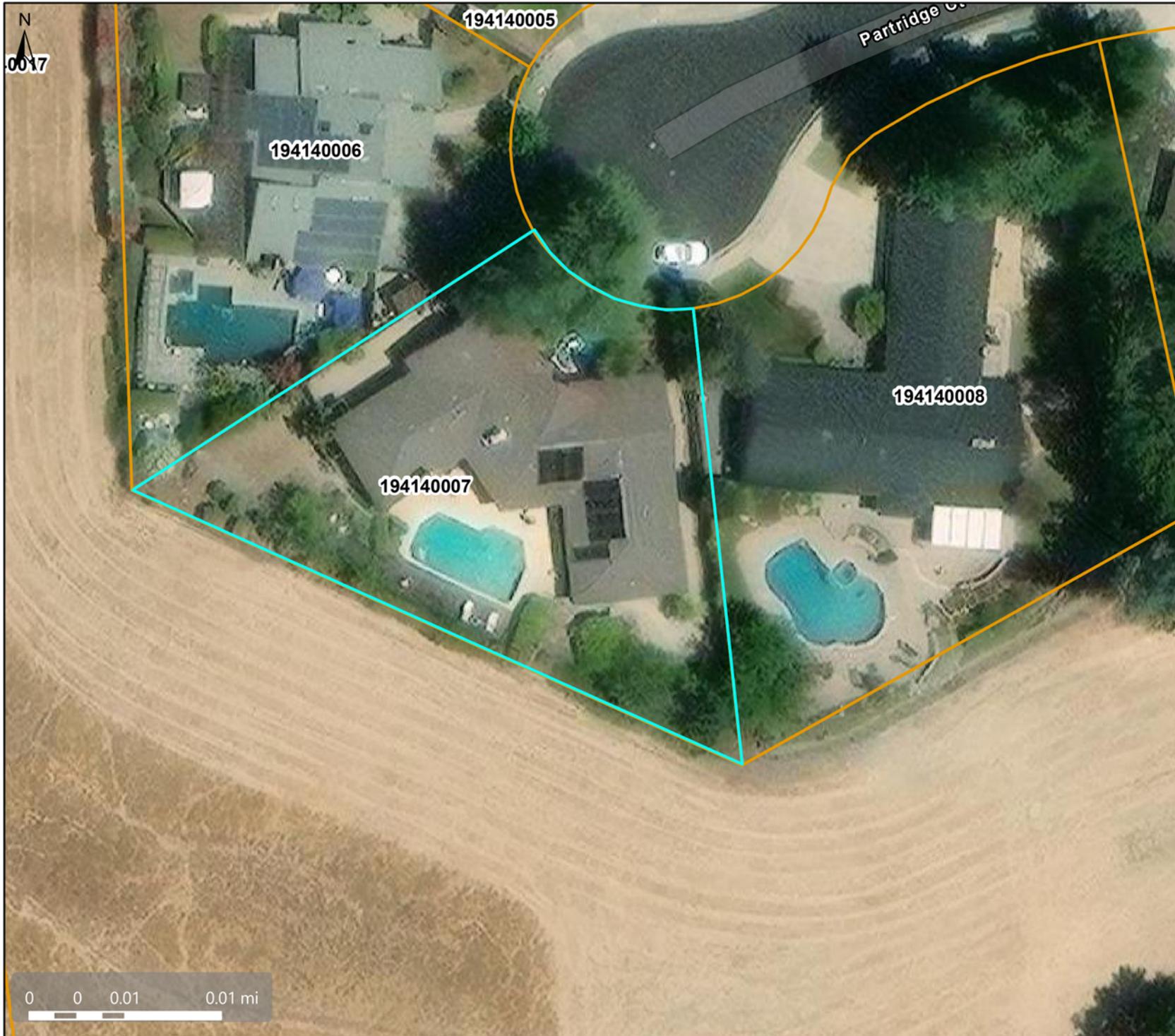
City Limits

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984

# Aerial Map



### Map Legend

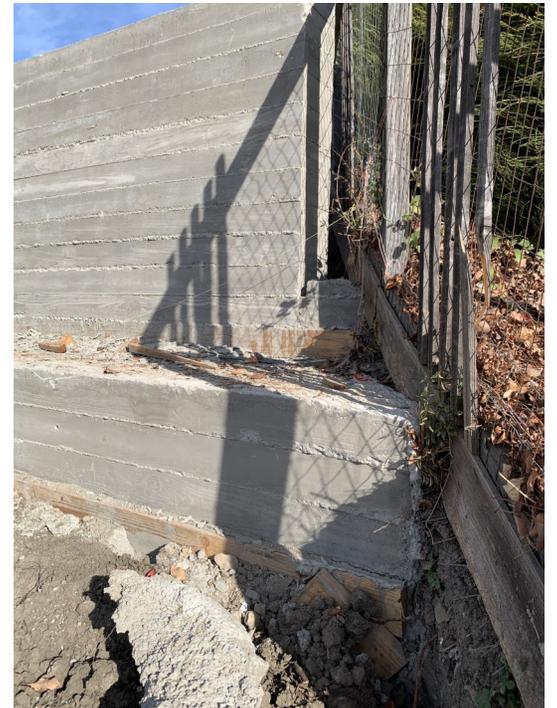
- Assessment
- Parcels

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984



GENERAL NOTES

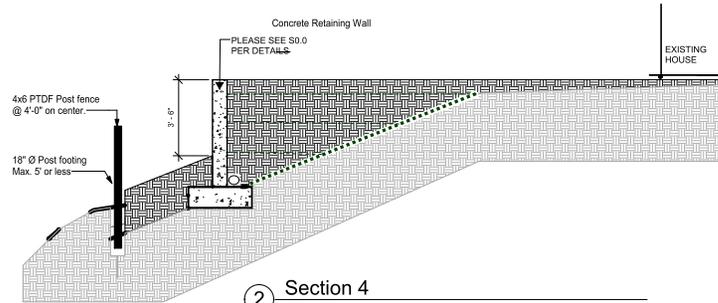
OUTDOOR IMPROVEMENTS - NEW RETAINING WALL



This map/plan is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. It ranges to the extent a party of title hereon is expressly notified by endorsement, if any, the Engineer does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

LOT MAP

0' side yard where 3' is minimum



0' side yard where 3' is minimum

1 SITE PLAN / GRADING PLAN  
 1/8" = 1'-0"

**SCOPE OF WORK**  
 -NEW RETAINING WALL AT REAR OF THE PROPERTY  
 -REAR FENCE LINE TO BE REPLACED

**PROJECT TEAM**  
**ARCHITECTURAL DESIGNER**  
 Adolfo M. Martinez  
 Designer: House CA Drafting  
 24301 Southland Dr., Suite 605C  
 Hayward CA 94545  
 Ph: (510) 828-3033  
 adolfo@housecadrafting.com

**Owner:**  
 SAFFARIAN AMIR (TR); SAFFARIAN AYDA  
 Tel: (510)  
 e-mail:  
 2015 SAN RAFAEL ST.  
 MORGAN HILL, CA 95037-9339

APPLICABLE CODES

**BUILDING NOTES:**  
 1. ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORK SHALL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE:  
 CONTRA COSTA COUNTY - ALAMO Local Ordinances .  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA EXISTING BUILDING CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA GREEN BUILDING CODE  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT DATA

**PROJECT DESCRIPTION:**  
 BUILDING OCCUPANCY: USE STR. 1 R. SINGLE FAMILY RESIDENCE \*  
 LAND USE: RESIDENCE OCCUPANCY RESU CONST. TYPE: V-B  
 STORIES: EXISTING  
 PROPERTY ADDRESS: 85 PARTRIDGE CT, ALAMO, CA 94507-2829  
 APN: # 194-140-007-7 TRACT No 4594 LOT 0  
 LOT SIZE: 15,000 SF  
 YEAR BUILT: 1976  
 SQUARE FEET: 2,597 SQ FT EXISTING LIVING AREA

PROPOSED STRUCTURE  
 NEW RETAINING WALL

Sheet List	
Sheet Number	Sheet Name

A1	GENERAL INFORMATION OUTDOOR IMPROVEMENTS
S0.0	STRUCTURAL RETAINING WALL INFO

www.HouseCADrafting.com  
 Designer: Adolfo M. Martinez  
 Address: 24301 Southland Dr., Suite 605C Hayward CA 94545  
 Phone: 510-828-3033  
 e-mail: adolfo@housecadrafting.com

**Owner:**  
 SAFFARIAN AMIR (TR); SAFFARIAN AYDA  
 Tel: (510)  
 e-mail:  
 2015 SAN RAFAEL ST  
 MORGAN HILL, CA 950379339

**Contractor:**  
 Rene Ariza Contractor  
 PO Box 25362  
 San Mateo CA 94407  
 Tel: (650) 787-0553  
 email: rene@construction47@gmail.com

New Retaining Wall  
 85 PARTRIDGE CT  
 ALAMO, CA 94507-2829

SAFFARIAN AMIR & AYDA  
 GENERAL INFORMATION OUTDOOR IMPROVEMENTS

Project number: 2023-056  
 Date: 07.19.19  
 Drawn by: JON  
 Checked by:

A1  
 Scale: As indicated

**STRUCTURAL SPECIFICATIONS**

**STEEL LIP LIPPER**  
 DOUBLE PRE-ARCH (TYP) OR REDWOOD (WHERE NOTED), CONFORMING TO LEAST LIPPER INSPECTION BUREAU STANDARD GRADING AND DRESSING RULE NO. 11 AS APPLIED TO DATE INCLUDING SUPPLEMENTS #1 & #2. MAXIMUM CONTENT FOR STEEL SHALL BE 1.5% AND LESS THAN 5% FOR HEADERS, LEDGERS, AND BEAMS. ALL CEDAR HPFS, RIDGES, AND RAFTERS SHALL BE LESS THAN 10%.

- 2x4s PLATES, JOISTS, FURLINS, AND RAFTERS NO. 1 (NOR-D); PARA. D3-5 UNO ON THE DRAWINGS.
- 6x6 AND LARGER POSTS NO. 1 (NOR-D); PARA. D3-5 UNO POST JOISTS IS MORE THAN 2' GREATER THAN THICKNESS, THE MEMBER SHALL CONFORM TO ITEM 3 ABOVE.
- 2x4, 3x4, 6x6s, WALLERS, AND BLOCKING, CONSTRUCTION GRADE, (NOR-D); PARA. D3-5.

**PRESERVATIVE TREATED WOOD**  
 PRESERVE TREATED LIPPER FOR EXTERIOR APPLICATIONS SHALL BE ACQ-C OR ACQ-D. ACZA SHALL NOT BE USED. BORATE (BOX OR NON-BO7) TREATED WOOD MAY BE USED FOR INTERIOR APPLICATIONS.

**LIGHT GAUGE METAL CONNECTORS**  
 LIGHT GAUGE METAL CONNECTORS SHALL BE BY SIMPSON STRONG-TIE CO. NO. UNO. G90 GALVANIZATION SHALL NOT BE USED. EXTERIOR APPLICATIONS NOR WITH PRESERVE TREATED WOOD OTHER THAN SEX. EXTERIOR APPLICATIONS SHALL USE 25K. 107-CP OR STAINLESS CONNECTORS.

**FASTENERS**  
 FASTENERS FOR PRESERVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR COPPER. STRUCTURAL CONNECTORS AND STAYS IN CONTACT WITH PRESERVE TREATED WOOD SHALL BE ZINC-COATED GALVANIZED AS WELL AS THEIR FASTENERS.

**CONCRETE**  
 ALL CONCRETE SHALL HAVE PROPERTIES AS LISTED BELOW.

USED FOR	28 DAY COMPRESSIVE STRENGTH	MAX. W/C RATIO	MAX. SLUMP	MAX. SLUMP w/ PLASTICIZER	MAX. COURSE AGGREGATE SIZE
FOUNDATIONS	2500 PSI	.55	4"	NA	1 1/2"

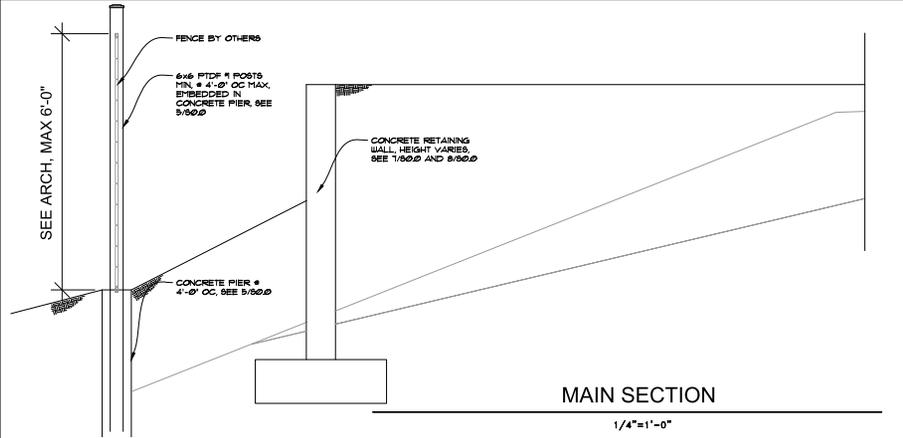
APPROXIMATELY 3 OUNCES PER BAG OF CEMENT OF POTASSIUM BOROX OR APPROVED EQUAL MAY BE USED AS A WATER DISPERSING AGENT. SLUMP MAY BE INCREASED TO 4" IF PLASTICIZER ADDED ON SITE. DO NOT ADD WATER TO PLASTIC CONCRETE AT SITE. USE APPROPRIATE MOISTURE LOSS PREVENTION METHOD FOR CURING.

**REINFORCING STEEL**  
 BARS FOR REINFORCING SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A-618 INCLUDING SUPPLEMENT B. LAP SPICES SHALL BE IN ACCORDANCE WITH ACI 308-3 UNLESS NOTED OTHERWISE ON THE PLANS. REINFORCING BARS THAT ARE WELDED SHALL BE A506 TYP. UNO. DO NOT BEND BARS EMBEDDED IN CURED CONCRETE OR MASONRY.

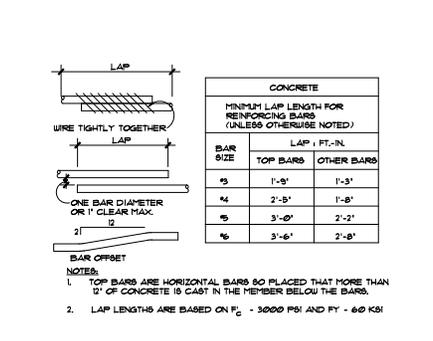
**EARTHQUAKES**  
 THERE IS NO SOILS REPORT FOR THIS PROJECT. MINIMUM SOIL PARAMETERS PER CODE SHALL BE USED.

**GENERAL NOTES**

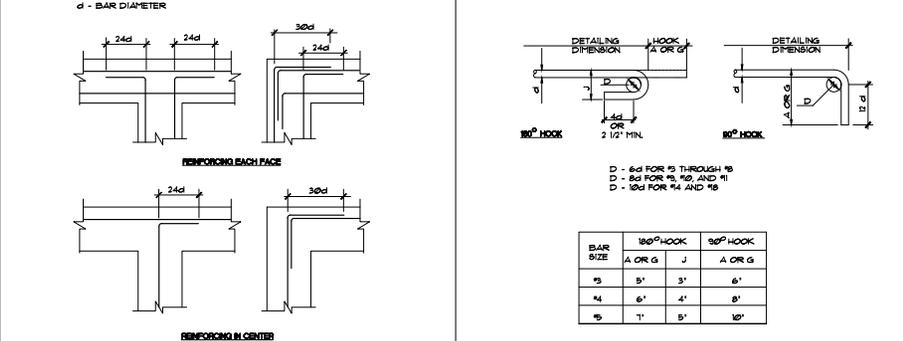
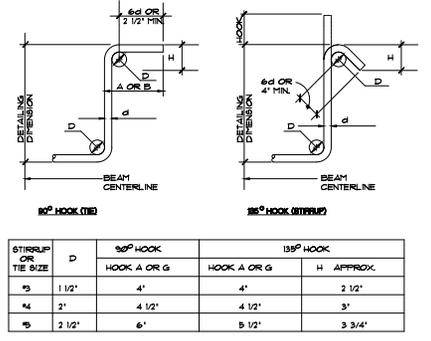
- CONSIDER GENERAL NOTES AS APPLYING ALL DRAWINGS.
- DO ALL WORK IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES IN EFFECT AT PLACE AND TIME OF CONSTRUCTION.
- PROVIDE SPECIAL INSPECTION AS REQUIRED BY STRUCTURAL SPECIFICATIONS, N.A.
- CONSTRUCT THOSE FEATURES OF THE PROJECT WHICH MAY NOT BE FULLY SHOWN IN MANNER SIMILAR TO THAT USED FOR SIMILAR FEATURES.
- OMISSION OR CONFLICTS BETWEEN THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO THE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL VERIFY THE NEED FOR TEMPORARY, SHORING, CEILING GROUTING OR UNDERPINNING PRIOR TO EXECUTION. CONTRACTOR SHALL DESIGN AND INSTALL ALL TEMPORARY BRACING ETC. REQUIRED DURING ALL STAGES OF WORK.
- CONTRACTOR SHALL SUBMIT IN WRITING, ANY REQUEST FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE IN WRITING UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING REQUESTED.
- ALL CONSTRUCTION WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2009 EDITION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FIELD PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- RETURN TO ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT OF OPENINGS AND PENETRATIONS. NO NEW OPENING SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- REFER TO ARCH. MECH. AND ELECTRICAL DRAWINGS FOR LOCATION AND SIZE OF BLOCK OUT, INSERTS, OPENINGS, AND CURBS. DIMENSIONS ARE NOT SHOWN ON STRUCTURAL DRAWINGS.
- GENERAL CONTRACTORS SHALL VERIFY WITH STRUCTURAL ENGINEER ALL MECH. UNO LOCATIONS PRIOR TO INSTALLATION.
- CONTRACTOR LIABILITY: CONTRACTOR, SUBCONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.



MAIN SECTION  
1/4"=1'-0"



BAR SIZE	MINIMUM LAP LENGTH FOR REINFORCING BARS (UNLESS OTHERWISE NOTED)	
	TOP BARS	OTHER BARS
#3	1'-3"	1'-3"
#4	2'-5"	1'-8"
#5	3'-0"	2'-2"
#6	3'-6"	2'-8"

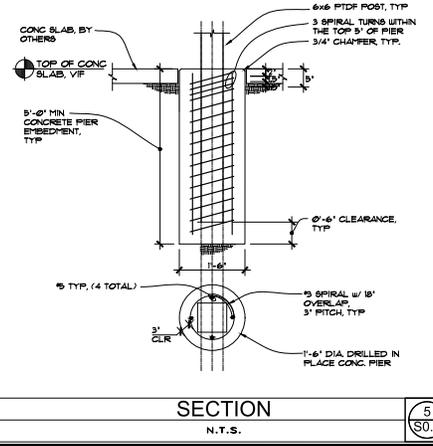


TYPICAL REBAR SPLICES  
N.T.S. (S.O.)

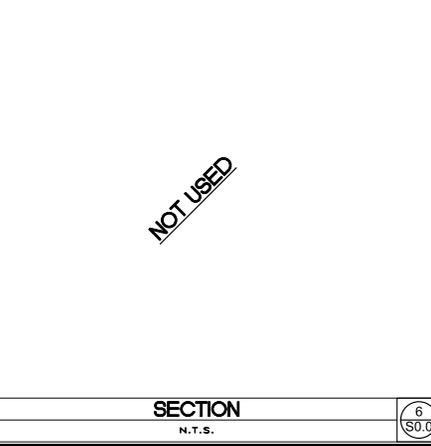
STIRRUP/TIE STANDARD HOOKS  
N.T.S. (S.O.)

CONCRETE INTERSECTION  
N.T.S. (S.O.)

REBAR STANDARD HOOKS  
N.T.S. (S.O.)

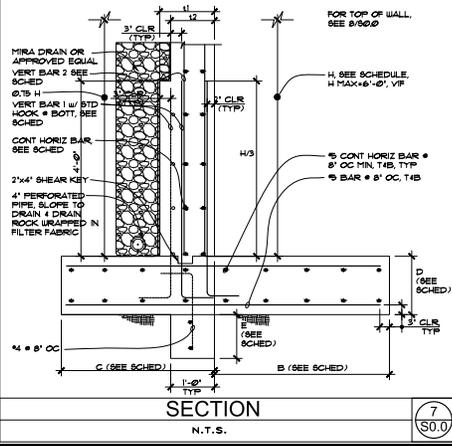


SECTION  
N.T.S. (S.O.)

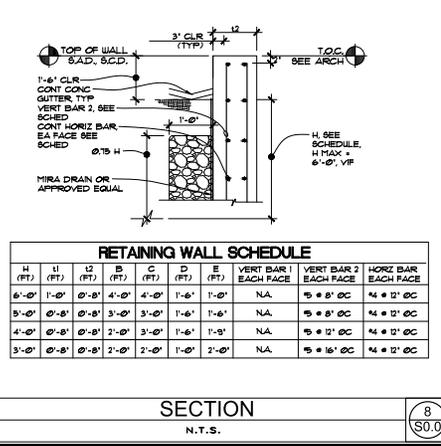


NOT USED

SECTION  
N.T.S. (S.O.)

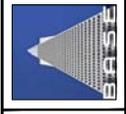


SECTION  
N.T.S. (S.O.)



SECTION  
N.T.S. (S.O.)

DESIGN PROFESSIONAL:  
**BAY AREA STRUCTURAL ENGINEERS**  
 5712 ROSTA DRIVE  
 REDWOOD CITY, CA 94061  
 (650) 755-1404  
 FAX: (650) 755-1404  
 jost@bayses.com



RETAINING WALL AT  
**SAFFARIAN RESIDENCE**  
 85 PARTRIDGE COURT, ALAMO, CA 94507



REVISIONS	BY

STRUCTURAL SPECIFICATIONS  
 GENERAL NOTES  
 MAIN SECTION  
 FOUNDATION DETAILS

DATE: 08/04/23  
 SCALE: AS NOTED  
 DRAWN: JCS  
 JOB: 23025  
 SHEET: 1 OF 1 SHEETS

