



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, April 6, 2026**

**1:30 PM**

**30 Muir Road, Martinez**

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**Zoom: <https://cccounty-us.zoom.us/j/85491390617>**

**Webinar ID: 854 9139 0617 Call in: (855) 758-1310 or (408) 961-3928**

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: [http://contra-costa.granicus.com/ViewPublisher.php?view\\_id=13](http://contra-costa.granicus.com/ViewPublisher.php?view_id=13).

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (855)758-1310 US Toll Free or (408) 961-3928. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccounty-us.zoom.us/j/85491390617> Webinar ID: 854 9139 0617.

Those participating via Zoom should indicate they wish to speak on an agenda item by using the “raise your hand” feature in the Zoom app. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us) or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. LAND USE PERMIT: CONTINUED PUBLIC HEARING

2a. ISABEL CHAVEZ, NETWORK CONNEX (Applicant) - ROGER AND JANET WAGNER (Owners), County File CDLP25-02035: The applicant requests approval of a Land Use Permit for the continuing operation of an existing T-Mobile wireless telecommunications facility that was previously re-established under Land Use Permit CDLP15-02049. No modifications of the wireless facility are proposed. The project site is located at 1505 Finley Road in the San Ramon area of unincorporated Contra Costa County. (Zoning: A-2 General Agricultural District) (Assessor's Parcel Number: 220-100-024) (CONTINUED TO MAY 04, 2026 RLH) [26-1340](#)

2b. LYNDA MCCLUNG, NETWORK CONNEX (Applicant) - HJSCMB-DONOVAN LLC (Owner), County File CDLP25-02020: The applicant requests approval of a Land Use Permit to remove Condition of Approval #10 of Land Use Permit CDLP22-02072 for an existing T-Mobile wireless telecommunications facility. No modifications of the wireless facility are proposed. The project is located adjacent to Kirker Pass Road near Hess Road in the Concord area of unincorporated Contra Costa County. (Zoning: A-4 Agricultural Preserve District) (Assessor's Parcel Number: 094-130-017) (CONTINUED FROM MARCH 2, 2026 RLH) [26-1341](#)

**Attachments:** [Attachment A - Findings and COAs.pdf](#)  
[Attachment B - Tower Structure Removal Bond.pdf](#)  
[Attachment C - Request to Continue Hearing on CDLP25-02020\\_3-2-2026.pdf](#)

3. LAND USE PERMIT: PUBLIC HEARING

3a. ISABEL CHAVEZ, NETWORK CONNEX (Applicant) - GEOFFREY HODIES (Owner), County File CDLP25-02031: The applicant requests approval of a Land Use Permit for the continuing operation of an existing T-Mobile wireless telecommunications facility that was established under Land Use Permit CDLP96-02009. No modifications of the wireless facility are proposed. The project site is located at 435 Valley View Road in the El Sobrante area of unincorporated Contra Costa County. (Zoning: P-1 Planned Unit District) (Assessor's Parcel Number: 425-251-002) MLL [26-1342](#)

**Attachments:** [Attachment A Findings & COAs.pdf](#)  
[Attachment B Maps.pdf](#)  
[Attachment C Plans.pdf](#)  
[Attachment D Agency Comments.pdf](#)  
[Attachment E Photos.pdf](#)  
[Attachment F Special Reports.pdf](#)

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. JASMIT RANGR, RANGR STUDIO (Applicant) - DEAN MICHAEL GRIDLEY (Owner), County File CDDP23-03009: The applicant requests approval of a Kensington Design Review Development Plan for the construction of a new single-family residence and detached garage that has a gross floor area of 3,293 square feet (where 3,000 is the maximum gross floor area permitted) on a vacant lot. The project includes a Variance for a 5-foot front yard setback (where 20 feet is the minimum required) for a 499-square-foot detached garage and a 1-foot front yard setback (where 20 feet is the minimum required) for a retaining wall that exceeds 3 feet in height. The project also includes a Tree Permit for the prior removal of a code-protected Coast Live Oak tree. This project is continued from the May 5, 2025 Zoning Administrator meeting. The project site is 0 Willamette Avenue between Highland Boulevard and Purdue Avenue in the Kensington area of unincorporated Contra Costa County. (Zoning: R-6 Single-Family Residential District, -TOV Tree Obstruction of Views Combining District, -K Kensington Combining District) (Assessor's Parcel Number: 570-161-009) GF [26-1343](#)

**Attachments:** [Attachment A CDDP23-03009 Revised Findings and COAs final.pdf](#)  
[Attachment B Revised Project Plans 12.4.25.pdf](#)  
[Attachment C Kensington MAC Agency Comments.pdf](#)

- 4b. JONATHAN JAMES – WILLIAM WOOD ARCHITECTS (Applicant) - STEPHANIE MILES - NORTOM CORPORATION (Owner), County File #CDDP24-03044: The applicant requests approval of a Development Plan, pursuant to COA #11(B) of CDDP01-03061, to construct a new 4,621-square-foot, two-story, single-family residence with associated retaining walls up to 4' on a vacant lot. The proposal involves approximately 733 cubic yards of fill and 1 cubic yard of cut and requires a Tree Permit for work within the dripline of a 54-inch diameter Coast Live Oak. Additionally, the applicant requests a minor modification to COA #12(G)(14) of County File #CDDP01-03061 to allow for retaining wall construction beneath the tree's dripline, drainage improvements, and grading. The project site is addressed as 438 Legacy Drive in the Alamo area of the County. (Zoning: P-1 Planned Unit District) (APN: 193-010-030) EL [26-1344](#)

**Attachments:** [Attachment A Findings and COAs\\_.pdf](#)  
[Attachment B CDDP01-03061 Conditions of Approval.pdf](#)  
[Attachment C Mandatory Design Guidelines Tract 7744.pdf](#)  
[Attachment D Approved Building Envelope.pdf](#)  
[Attachment E Maps.pdf](#)  
[Attachment F Agency Comments.pdf](#)  
[Attachment G Project Plans.pdf](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, APRIL 20, 2026.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-1340

**Agenda Date:** 4/6/2026

**Agenda #:** 2a.

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# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

File #: 26-1341

Agenda Date: 4/6/2026

Agenda #: 2b.

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### CONTINUED FROM MARCH 2, 2026

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<b>Project Title:</b>	Land Use Permit to Modify Land Use Permit CD
<b>County File:</b>	CDLP25-02020
<b>Applicant/Owner:</b>	Lynda McClung, Network Connex on behalf of C Mobile West LLC (Applicant) / HJSCMB-DONOV (Owner)
<b>Zoning/General Plan:</b>	A-4 Agricultural Preserve District / Agricultural L
<b>Site Address/Location:</b>	Kirker Pass Road near Hess Road in the Concord unincorporated Contra Costa County (Assessor's Number: 094-130-017)
<b>California Environmental Quality Act (CEQA) Status:</b>	Exempt under the General Rule of Applicability, Guidelines Section 15061(b)(3)
<b>Project Planner:</b>	Syd Sotoodeh, Planner III, (925) 655-2877 <mail syd.sotoodeh@dcd.cccounty.us
<b>Staff Recommendation:</b>	Approve (See Section III for Full Recommendation)

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## I. PROJECT SUMMARY

The applicant requests approval of a Land Use Permit to remove Condition of Approval number 10 of Land Use Permit CDLP22-02072 for an existing T-Mobile wireless telecommunications facility. No modifications of the wireless facility are proposed.

## II. RECOMMENDATION

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Zoning Administrator:

- A. FIND that the project is exempt from CEQA under Section 15061(b)(3) of the CEQA Guidelines, General Rule of Applicability.
- B. APPROVE the Land Use Permit CDLP25-02020 for modification of the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10, based on the attached findings and subject to the attached conditions of approval.
- C. DIRECT staff to file a Notice of Exemption with the County Clerk.

### **III. BACKGROUND**

At the February 18, 2026 meeting, the Zoning Administrator opened the public hearing then continued the item to the March 2, 2026 Zoning Administrator meeting as an open public hearing. No public comments were received on February 18, but the Zoning Administrator raised a concern about the intent of the property owner's use of the Sprint wireless telecommunications facility that is the subject of Condition of Approval number 10 of Land Use Permit CDLP22-02072. The Zoning Administrator also questioned the existence and validity of the removal bond issued for the Sprint facility and asked staff to find out if the removal bond that was issued for the Sprint facility is still valid and held by the County. Subsequently, the Department of Conservation and Development's Finance Division determined that the removal bond in the amount of \$47,418.00 and effective as of February 17, 2012, is still being held by the County and that there is no information indicating that the bond has been cancelled.

On February 27, 2026, the applicant requested that the Zoning Administrator continue the hearing. On March 2, 2026, the applicant indicated that T-Mobile is looking into a resolution to address the County's concerns about the Sprint wireless facility and requested a one-month continuation if the modification of Land Use Permit CDLP22-02072 would not be approved. The Zoning Administrator agreed and continued the item to the April 6, 2026, Zoning Administrator meeting. No additional information has been provided by the applicant since March 2, 2026.

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDLP25-02020,  
LYNDA MCCLUNG, NETWORK CONNEX ON BEHALF OF CROWN CASTLE/T-MOBILE  
WEST LLC (APPLICANT), HJSCMB-DONOVAN LLC (OWNER)**

**FINDINGS**

A. Land Use Permit Findings

1. *The proposed project shall not be detrimental to the health, safety and general welfare of the County;*

Project Finding: This Land Use Permit allows modification of the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10, which requires the permittee to remove the equipment and restore the lease area of an adjacent Sprint wireless telecommunications facility that was never part of any land use permit issued to the permittee for the subject, existing Crown Castle wireless telecommunications facility that is currently in use by T-Mobile. The modification does not change the use of the wireless facility and no physical changes to the site are proposed. There is no evidence that action for an existing wireless telecommunications facility will be detrimental to the health, safety and general welfare of the County.

2. *The proposed project shall not adversely affect the orderly development of property within the County;*

Project Finding: The wireless telecommunications services provided at this site benefit a wide range of the County's population (e.g., daily commuters, local employees, residents, and 911 service providers), and therefore, the wireless telecommunication facility is a beneficial use at this location. This Land Use permit allows modification of the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10 that requires the permittee to remove the equipment and restore the lease area of an adjacent Sprint facility that was never part of any land use permit issued to the permittee for the subject, existing Crown Castle wireless facility. The modification does not change the use of the wireless facility and no physical changes to the site are proposed. As conditioned, the project is consistent with applicable policies and regulations of the County's Wireless Telecommunications Facilities Ordinance (County Code Chapter 88-24). Thus, the granting of a land use permit to modify the conditions of approval of

Land Use Permit CDLP22-02072 will not adversely affect the orderly development of property within the County.

3. *The proposed project shall not adversely affect the preservation of property values and the protection of the tax base within the County;*

Project Finding: The existing wireless telecommunications facility has existed at its current location since 1998. Modifying the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10, which requires the permittee to remove the equipment for the Sprint wireless facility that was never part of the land use permits granted for the establishment and continued operation of the subject wireless telecommunications facility does not affect the operation or use of the facility. The facility is in current use by T-Mobile and will continue to be unmanned and is not expected to impact development activity in the area or result in an adverse impact on the value of properties within the area. Given that the facility and surrounding land uses have remained consistent for over twenty five years, there is no indication that the action will adversely affect the preservation of property values and the protection of the tax base within the County.

4. *The proposed project as conditioned shall not adversely affect the policy and goals as set by the General Plan;*

Project Finding: The project site is located within an AL Agricultural Lands General Plan land use designation. The purpose of the AL designation is to preserve and protect lands capable of and generally used for the production of food, fiber, and plant materials. Consistent with this designation, the site has historically been used for cattle grazing. Pursuant to the Wireless Telecommunications Facilities Ordinance (Ordinance No. 2016-11), a wireless telecommunications facility may also be located in agriculturally designated areas. The wireless telecommunications services provided at the project site benefit a wide range of the County's population (e.g., daily commuters, local employees, residents, and 911 service providers), and therefore, the wireless telecommunication facility is a beneficial use at this location. The project involves modifying the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10 related to a Sprint facility that is separate from and not part of this land use permit. The modification does not change the nature or operation of the existing wireless telecommunications facility on the site, and does not alter the site in a manner that will affect grazing or other agricultural activity on undeveloped portions of the property. Thus, the action to modify the conditions of approval of a previously

approved wireless facility will not detract from the purpose and intent of the AL General Plan designation.

5. *The proposed project shall not create a nuisance and/or enforcement problem within the neighborhood or community;*

Project Finding: This Land Use permit allows modification of the conditions of approval of CDLP22-02072 to remove condition number 10 which required the permittee to remove the equipment and restore the lease area of an adjacent Sprint facility that was never part of any land use permit issued to the permittee for the existing Crown Castle wireless telecommunications facility. The modification does not change the use of the wireless facility and no physical changes to the site are proposed. The project, as conditioned, will not create a nuisance and/or enforcement problem within the neighborhood or community. There has been no record of code compliance issues with the existing wireless telecommunications facility, and there is no evidence to suggest that the wireless facility creates a nuisance or enforcement problem within the area.

6. *The proposed project as conditioned shall not encourage marginal development within the neighborhood;*

Project Finding: In general, wireless telecommunications facilities do not encourage development, which is subject to the applicable sections of the General Plan and the Zoning Code, as well as physical constraints on the parcel and adjacent properties. Where there is a sizeable population, major road, or need for telecommunications services, the public demands wireless telecommunications services. The modification of the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10 does not change the use of the wireless telecommunications facility and no physical changes to the site are proposed. Thus, there is no evidence that the granting of the requested land use permit modification will encourage marginal development within the neighborhood.

7. *That special conditions or unique characteristics of the subject property and its location or surroundings are established.*

Project Finding: This wireless telecommunications facility was established on the project site in 1998 under Land Use permit CDLP98-02016 and has been in operation since, providing wireless telecommunications services to the

surrounding area. The modification of the conditions of approval of Land Use Permit CDLP22-02072 to remove condition number 10 does not change the use of the Crown Castle facility and no physical changes to the site are proposed. The remaining conditions of approval of CDLP22-02072 will remain in full force and effect. As conditioned, the wireless telecommunication facility will remain consistent with the AL Residential Low Density General Plan land use designation, the A-40 Agricultural Preserve District, the Wireless Telecommunications Facilities Ordinance, and applicable FCC regulations.

B. Wireless Telecommunications Facility Land Use Permit Findings (County Code Section 88-24.614(b))

1. *The application is complete.*

Project Finding: County staff deemed the application complete and acceptable on January 19, 2026.

2. *The facility or substantial change will meet the requirements of this chapter.*

Project Finding: The Crown Castle wireless telecommunications facility was first established under Land Use Permit CDLP98-02016 and most recently renewed upon approval of Land Use Permit CDLP22-2072. This CDLP25-02020 Land Use Permit application modifies the conditions of approval of CDLP22-02072 to remove condition number 10 that requires the applicant to remove the equipment and restore the lease area of an adjacent Sprint wireless telecommunications facility that was never part of any land use permit for the subject wireless telecommunications facility. The remaining conditions of approval of CDLP22-02072 will remain in full force and effect. Accordingly, the operation and use of the wireless telecommunications facility will remain consistent with all applicable requirements within Chapter 88-24 of the County Ordinance Code.

3. *The facility or substantial change has been reviewed pursuant to all appropriate environmental laws and regulations, including the California Environmental Quality Act (CEQA).*

Project Finding: The Crown Castle wireless telecommunications facility was first established under Land Use Permit CDLP98-02016 and most recently renewed upon approval of Land Use Permit CDLP22-02072. The current action to modify the conditions of approval of Land Use Permit CDLP22-02072 to remove condition

number 10 does not change the use of the wireless facility and no physical changes to the site are proposed. Pursuant to CEQA Guidelines Section 15061(b)(3) regarding the General Rule of Applicability, the action is exempt from CEQA review as it can be seen with certainty that there is no possibility that the activity may have a significant adverse effect on the environment.

4. *If an environmental impact report or mitigated negative declaration was prepared for the facility or substantial change, the facility or substantial change will incorporate all mitigation measures identified in either of those documents. Each mitigation measure will be included as a term of the permit.*

Project Finding: Removing CDLP22-02072 condition of approval number 10 does not change the use of the wireless facility and no physical changes to the site are proposed, and therefore, the CDLP25-02020 application is exempt from CEQA review pursuant to CEQA Guidelines Section 15061(b)(3), and does not require preparation of either an environmental impact report or a mitigated negative declaration.

5. *If the Contra Costa County Airport Land Use Commission reviewed and commented on the application, the facility or substantial change will incorporate each mitigation measure recommended by the commission and deemed by the Zoning Administrator to be necessary to protect public safety, health, and welfare. Each mitigation measure will be included as a term of the permit.*

Project Finding: The project site is not within or proximate to any zones identified by the Airport Land Use Commission as areas of planning interest. Thus the CDLP25-02020 application is not subject to review by the Airport Land Use Commission.

6. *The applicant has provided the financial assurance required by this chapter.*

Project Finding: Pursuant to CDLP22-02072 condition of approval number 9, the applicant is required to provide financial assurance for the removal of the as-built facility throughout the life of the permit. Condition number 9 remains in full force and effect with Land Use Permit CDLP25-02020.

7. *The applicant has paid all required fees and costs, including but not limited to the application fee, any required environmental review fee, and any required peer review fee.*

Project Finding: The applicant has paid the initial deposit of \$2,300 for this Land Use Permit modification, and time and material costs have exceeded the initial deposit. Pursuant to Condition of Approval #7, the applicant is responsible for any additional fees that exceed the initial deposit.

C. California Environmental Quality Act (CEQA) Findings

The project is exempt under CEQA Guidelines Section 15061(b)(3) regarding the General Rule of Applicability, where it can be seen with certainty that there is no possibility that the activity may have a significant adverse effect on the environment. The action is to modify the conditions of approval of approved Land Use Permit CDLP22-02072 to remove condition number 10, which requires the applicant and/or operator of an existing Crown Castle wireless facility currently in use by T-Mobile, to remove the equipment and restore the lease area of an adjacent Sprint wireless facility that was operating under a separate land use permit. The action does not change the operation or use of the Crown Castle facility and no physical changes to the site are proposed. Thus, there is no possibility that the activity may have a significant adverse effect on the environment.

**CONDITIONS OF APPROVAL FOR COUNTY FILE CDLP25-02020**

Project Approval

1. This application for a Land Use Permit to allow the modification of the conditions of approval of Land Use permit CDLP22-02072 to remove condition number 10 is APPROVED.
2. The Land Use Permit approval described above is based on:
  - Project application accepted by the Department of Conservation and Development, Community Development Division (CDD) on August 1, 2025.
3. This Land Use Permit is granted for the remaining term of Land Use Permit CDLP22-02072 to October 13, 2033.
4. Unless expressly stated otherwise herein, the Conditions of Approval of Land Use Permit CDLP22-02072 shall remain in full force and effect.

5. Condition of Approval number 10 of Land Use Permit CDLP22-02072, related to the removal of structures, equipment, and signage and restoration of the lease area associated with the adjacent Sprint facility, is removed, and the permittee is not required to comply with the condition.
6. No construction is approved with this permit. Any construction at this wireless telecommunications facility shall require the filing of an application for a Wireless Minor Alteration Permit or a new Land Use Permit prior to application for a building permit.

Application Costs

7. The land use permit application was subject to an initial deposit of \$2,300.00. Applications are subject to time and material costs if the application review expenses exceed the initial deposit. **Any additional fee due must be paid prior to an application for a grading or building permit, or 60 days of the effective date of this permit, whichever occurs first.** The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due, the Department of Conservation and Development may seek a court judgement against the applicant and will charge interest at a rate of ten percent (10%) from the date of judgement. The applicant may obtain current costs by contacting the project planner. A bill will be mailed to the applicant shortly after permit issuance in the event that additional fees are due.

**ADVISORY NOTES**

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL, BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

- A. NOTICE OF 90-DAY OPPORTUNITY TO PROTEST FEES, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. seq., the applicant has the opportunity to protest fees,

dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.

- B. Prior to applying for a building permit, the applicant may wish to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the proposed project:
- Department of Conservation and Development, Building Inspection Division
  - Contra Costa Health, Environmental Health Division
  - Contra Costa County Fire Protection District
  - Federal Communications Commission

**TOWER/STRUCTURE REMOVAL BOND**

Bond Number: **0164159**

KNOW ALL MEN BY THESE PRESENTS, THAT, **Sprint Spectrum L.P.**, as Principal, and **Berkley Regional Insurance Company**, a corporation duly organized under the laws of the State of Iowa, as Surety, are held and firmly bound unto **Contra Costa County, Community Development, 30 Muir Road, Martinez, CA 94553-4601**, as Obligee, in the sum of **Forty Seven Thousand Four Hundred Eighteen and 00/100 Dollars (\$47,418.00)** lawful money of the United States, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

WHEREAS the Principal has entered into a written agreement with the property owner for the placement of a tower or structure furnishing telephone, television or other electronic media service, which agreement sets forth the terms and conditions which govern the use of such towers or structures and which agreement is hereby specifically referred to and made part hereof, and

WHEREAS, the **Contra Costa County, CA** requires the submission of a bond guaranteeing the maintenance, replacement, removal or relocation of said tower or structure located at **5982 Kirker Pass Road, Concord, CA 94521 – Land Use Permit #LP11-2084 (Sprint Site ID# FN03XC166)**.

NOW THEREFORE, the condition of this obligation is such, that if the above bounden Principal shall perform in accordance with the aforesaid ordinance and/or agreement, and indemnify the Obligee against all loss caused by Principal's breach of any ordinance or agreement relating to maintenance, replacement, removal or relocations of a tower or structure, then this obligation shall be void, otherwise to remain in full force and effect unless cancelled as set forth below.

THIS BOND may be cancelled by Surety by giving thirty (30) days written notice to the Obligee by registered mail. Such cancellation shall not affect any liability the Surety may have or incurred under this bond prior to the effective date of the termination. Provided that no action, suit or proceeding shall be maintained against the Surety on this bond unless action is brought within twelve (12) months of the cancellation date of this bond.

THIS BOND signed, sealed, dated on the **9<sup>th</sup>** day of **May, 2012**. This bond is effective the **17<sup>th</sup>** day of **February, 2012**.

**Sprint Spectrum L.P.**

Principal

By: \_\_\_\_\_

**George A. Liddy  
Manager, Risk Management**

**Berkley Regional Insurance Company**

Surety

By: \_\_\_\_\_

**Paige M. Turner, Attorney-In-Fact**

**From:** [Nai Saephan](#)  
**To:** [Stanley Muraoka](#); [Syd Sotoodeh](#)  
**Subject:** FW: Continued Hearing on CDLP25-02020 - BA01351A  
**Date:** Monday, March 2, 2026 11:01:08 AM  
**Attachments:** [image001.png](#)

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Good morning,

Please see below email from applicant for today's continued hearing on their Land Use Permit CDLP25-02020. Also, should this be forwarded to the ZA?

Thank you,


Nai Saephan, Planner I  
Phone: (925) 655-2874  
Contra Costa County  
Department of Conservation and Development  
Community Development Division

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**From:** Lynda McClung <[lmcllung@networkconnex.com](mailto:lmcllung@networkconnex.com)>  
**Sent:** Monday, March 2, 2026 10:55 AM  
**To:** Nai Saephan <[Nai.Saephan@dcd.cccounty.us](mailto:Nai.Saephan@dcd.cccounty.us)>  
**Cc:** Stacey Wood <[swood@networkconnex.com](mailto:swood@networkconnex.com)>; Cindy Lam <[clam@networkconnex.com](mailto:clam@networkconnex.com)>; Francisca Ferns <[fferns@networkconnex.com](mailto:fferns@networkconnex.com)>  
**Subject:** RE: Continued Hearing on CDLP25-02020 - BA01351A

**This Message Is From an External Sender**

This email originated from outside of Contra Costa County. Please do not click links or open attachments unless you are expecting this email.

[Report Suspicious](#) 

Hi Nai,

T-Mobile states "If it's not possible to remove the COA #10, then T-Mobile is looking into a resolution to address the County's concerns regarding the Sprint wireless facility."  
T-Mobile is asking for a continuance of one month, if COA #10 will not be removed.

Do I need to attend to advise the ZA of the above?

Thank you,

**Lynda McClung**  
Project Manager



[LMcClung@networkconnex.com](mailto:LMcClung@networkconnex.com)

655 N. Central Ave., Suite 1520  
Glendale, CA 91203  
p: 714-328-3385  
w: [www.networkconnex.com](http://www.networkconnex.com)

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**From:** Nai Saephan <[Nai.Saephan@dcd.cccounty.us](mailto:Nai.Saephan@dcd.cccounty.us)>  
**Sent:** Monday, March 2, 2026 9:55 AM  
**To:** Lynda McClung <[lmclung@networkconnex.com](mailto:lmclung@networkconnex.com)>  
**Cc:** Stacey Wood <[swood@networkconnex.com](mailto:swood@networkconnex.com)>; Cindy Lam <[clam@networkconnex.com](mailto:clam@networkconnex.com)>;  
Francisca Ferns <[fferns@networkconnex.com](mailto:fferns@networkconnex.com)>  
**Subject:** RE: Continued Hearing on CDLP25-02020 - BA01351A

Hello Lynda,

May I ask the reason for requesting to have this continued?

Thank you,

Nai Saephan, Planner I  
Phone: (925) 655-2874  
Contra Costa County  
Department of Conservation and Development  
Community Development Division

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**From:** Lynda McClung <[lmclung@networkconnex.com](mailto:lmclung@networkconnex.com)>  
**Sent:** Friday, February 27, 2026 3:48 PM  
**To:** Nai Saephan <[Nai.Saephan@dcd.cccounty.us](mailto:Nai.Saephan@dcd.cccounty.us)>  
**Cc:** Stacey Wood <[swood@networkconnex.com](mailto:swood@networkconnex.com)>; Cindy Lam <[clam@networkconnex.com](mailto:clam@networkconnex.com)>;  
Francisca Ferns <[fferns@networkconnex.com](mailto:fferns@networkconnex.com)>  
**Subject:** RE: Continued Hearing on CDLP25-02020 - BA01351A

Hi Nai,

Thank you for the Agenda for the ZA meeting on 3/2/26.

I am requesting a continuance to have this rescheduled again. Can I request it from you? Or do I need to attend and ask the ZA for another continuance?

Thank you,



**Lynda McClung**  
Project Manager  
[LMcClung@networkconnex.com](mailto:LMcClung@networkconnex.com)

655 N. Central Ave., Suite 1520  
Glendale, CA 91203  
p: 714-328-3385  
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**From:** Nai Saephan <[Nai.Saephan@dcd.cccounty.us](mailto:Nai.Saephan@dcd.cccounty.us)>  
**Sent:** Thursday, February 26, 2026 10:30 AM  
**To:** Lynda McClung <[lmclung@networkconnex.com](mailto:lmclung@networkconnex.com)>  
**Subject:** Continued Hearing on CDLP25-02020

Good morning Lynda,

Attached is the agenda for the Zoning Administrator meeting on Monday, March 2, 2026. CDLP25-02020 is listed as item 2a. Let me know if you have any questions on the upcoming continued hearing on this item.

Thank you,

Nai Saephan, Planner I  
Phone: (925) 655-2874  
Contra Costa County  
Department of Conservation and Development  
Community Development Division

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**Caution:** This email originated from outside of the organization. Use caution when discussing financial or sensitive information.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-1342

**Agenda Date:** 4/6/2026

**Agenda #:** 3a.

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<b>Project Title:</b>	Land Use Permit for the Continuing Operation of an Existing T-Mobile Wireless Telecommunications Facility
<b>County File:</b>	CDLP25-02031
<b>Applicant/Owner:</b>	Isabel Chavez, Network Connex on behalf of T-Mobile West LLC (Applicant) / Geoffrey Hodies Trust (Owner)
<b>Zoning/General Plan:</b>	P-1 Planned Unit District / MUL Mixed-Use Low Density
<b>Site Address/Location:</b>	435 Valley View Road in the El Sobrante area of unincorporated Contra Costa County (Assessor's Parcel Number 425-251-002)
<b>California Environmental Quality Act (CEQA) Status:</b>	Categorical Exemption - Class 1: CEQA Guidelines Section 15301(b), Existing Facility
<b>Project Planner:</b>	Maria Lara-Lemus, Project Planner; (925) 655-2904 maria.lara-lemus@dcd.cccounty.us
<b>Staff Recommendation:</b>	Approve (See Section II for Full Recommendation)

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### **I. PROJECT SUMMARY**

The applicant requests approval of a Land Use Permit for the continuing operation of an existing T-Mobile wireless telecommunications facility that was established under Land Use Permit CDLP96-02009. No modifications of the wireless facility are proposed.

### **II. RECOMMENDATION**

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Zoning Administrator:

A. FIND that the project is categorically exempt from CEQA under Section 15301(b) of the

CEQA Guidelines.

- B. APPROVE Land Use Permit CDLP25-02031 for the continuing operation of the existing T-Mobile wireless telecommunications facility, based on the attached findings and subject to the attached conditions of approval.
- C. DIRECT Staff to file a Notice of Exemption with the County Clerk

**III. GENERAL INFORMATION**

- A. General Plan: MUL Mixed-Use Low Density.
- B. Zoning: P-1 Planned Unit District.
- C. California Environmental Quality Act (CEQA): Categorical Exemption - CEQA Guidelines, Section 15301(b), Existing Facility, Class 1 exemption for the operation of existing facilities used to provide public utility services.
- D. Previous Applications:
  - 1. CDLP96-02009: This Land Use Permit to establish a new unmanned wireless telecommunications facility for T-Mobile, on a private property, was approved by the Zoning Administrator on August 1, 1996, for a period of 20 years to August 1, 2016.
  - 2. CDCV10-00014: This Compliance Review, which included a 5-year Condition of Approval compliance review in addition to a minor equipment upgrade of the wireless facility approved under CDLP96-02009, was administratively approved on May 10, 2010.
  - 3. CDDP12-03012: This Development Plan Permit to modify the existing T-Mobile facility previously approved under CDLP96-02009, was approved by the Zoning Administrator on September 24, 2012, for a period of 10 years to September 24, 2022.
  - 4. CDCV12-00109: This Compliance Review of the wireless telecommunications facility approved under CDDP12-03012 was administratively approved on June 3, 2013.
  - 5. CDLP15-02052: This Land Use Permit/Development Plan combination to modify the existing T-Mobile facility previously approved under CDDP12-03012, was approved by the Zoning Administrator on April 1, 2016. For a period of 10 years to April 1, 2026
  - 6. CDWM21-00050: This Wireless Minor Alteration Permit to allow a non-substantial modification of the existing T-Mobile wireless facility was approved by the Zoning Administrator on December 22, 2021, for the remaining term of CDLP15-02052 to April 1,

2026.

#### **IV. SITE/ AREA DESCRIPTION**

The project site is located north of Shirley Vista Street within a triangular block formed by Valley View Road, Sobrante Avenue, and Appian Way. The project site has been developed with one three-story commercial office building. The existing T-Mobile lease area and antennas are on the parapet of an existing three-story office building, and T-Mobile's equipment area is located at ground level on the northern side of the building. One other wireless provider, AT&T, is currently operating a wireless telecommunications facility at the building; Both carriers' lease areas are in close proximity to one another on the rooftop of the existing three-story office building. Access to T-Mobile's lease area is provided from Valley View Road, and Sobrante Avenue on the south.

#### **V. PROJECT DESCRIPTION**

The applicant requests approval of a Land Use Permit to allow the continuing operation of the existing T-Mobile wireless telecommunications facility that was originally established under Land Use Permit CDLP96-02009 and was most recently operating under Land Use Permit CDLP15-02052, which expired on April 1, 2026. There are no facility or lease area modifications proposed with this application. The current wireless telecommunications facility consists of the following:

- Nine (9) antennas, six (6) radios, and ancillary equipment.
- T-Mobile equipment cabinets and associated ground-mounted equipment.

#### **VI. AGENCY COMMENTS**

An Agency Comment Request packet was sent on August 25, 2025, to a number of public agencies, including the Department of Conservation and Development Building Inspection Division, Contra Costa County Fire Protection District, West County Wastewater District, East Bay Municipal Utility District, El Sobrante Municipal Advisory Council, and the Contra Costa Mosquito and Vector Control District. Agency comments received by staff are included in Attachment D. Following are summaries of the agency comments received.

- East Bay Municipal Utility District: On August 26, 2025, the Utility District submitted an email stating that the District had no comments.
- West County Wastewater District: On September 8, 2025, the Wastewater District submitted a letter providing standard information for the applicant if they wish to obtain wastewater service.
- El Sobrante Municipal Advisory Council (MAC): On September 22, 2025, the El Sobrante

MAC submitted an email advising that the land use permit application was reviewed at its October 2025 meeting and the MAC had no objections or comments.

- D. Contra Costa County Fire Protection District: The Fire Protection District returned the Agency Comment Request form on September 22, 2025, with no comments.

## VII. STAFF ANALYSIS

- A. General Plan Consistency: The T-Mobile wireless telecommunications facility is located within a MUL Mixed-Use Low Density General Plan land use designation, which allows for various housing types along with a wide range of neighborhood-serving retail, personal service, office, entertainment, and public uses. This designation is applied where a modest level of mixed-use development is appropriate, such as pedestrian-scale corridors, neighborhood nodes, and individual or small groups of parcels generally encompassing less than 1 acre. Pursuant to the Wireless Telecommunications Facilities Ordinance (Ordinance No. 2016-11), a wireless telecommunications facility may also be located in the MUL designation. The facility also provides telecommunications service that would be compatible and consistent with other land uses in the El Sobrante area. Allowing the continuing operation of the existing wireless telecommunications facility will not detract from the purpose and intent of the MUL General Plan designation.
- B. Zoning Compliance: The facility is located in a P-1 Planned Unit District. Allowable uses in the P-1 District include communication towers and facilities with a valid land use permit (Downtown El Sobrante Planned Unit Development Land Use Matrix). With approval of the CDLP25-02031 application, the continuing operation of the existing T-Mobile wireless telecommunications facility, would be consistent with the P-1 District.
- C. Wireless Telecommunications Facilities Ordinance: The T-Mobile wireless telecommunications facility is subject to the Wireless Telecommunication Facilities Ordinance (Ordinance No. 2016-11), which is codified as County Code Chapter 88-24. The Land Use Permit application is for the continuing operation of the existing wireless facility with no proposed modifications to the existing antennas, ancillary equipment, or to the ground-mounted equipment located within the existing 20'-0" by 19'-9" ground equipment enclosure. The application complies with the applicable requirements of County Code Section 88-24.614 for the discretionary approval of land use permit for a wireless facility.
- D. Federal Communications Commission (FCC) Regulations: The Federal Communications Commission (FCC) has adopted radio frequency protection standards, which establish safety levels with respect to human exposure to radio frequency (RF) emissions. The standards prescribe limits for continuous exposure to RF emissions. As part of the submittal process, the applicant provided the *Radio Frequency - Electromagnetic Energy (RF-EME) Compliance Report (Anchor)* (EBI Consulting, October 25, 2021), which is a report to evaluate the RF

emissions compared to the Maximum Permissible Exposure (MPE) limit for facilities at this location, pursuant to FCC regulations The RF report indicates that with the proposed signage mitigations implemented, the site will be in compliance with the current FCC occupational limit. Thus, the wireless facility would be compliant with federal regulations pertaining to RF emissions.

- E. Appropriateness of Use: The existing wireless telecommunications facility has been established on the project site since 1996. Staff is unaware of any nuisances arising from the operation of the existing wireless facility. Neither the antennas nor ground-mounted equipment display any type of advertising, and the wireless facility complies with the paint reflectivity and other aesthetic requirements of the prior CDLP15-02052 Land Use Permit. Conditions are included in the Conditions of Approval and Advisory Notes that require that the facility, equipment shelter, external accessory equipment, and antenna enclosure shall not be used for advertising for the life of the project and require maintenance of the external appearance of the wireless facility. Thus, continuing operation of this wireless facility would not be detrimental to surrounding land-use activities, making the project an appropriate use of the subject property.

## **VIII. CONCLUSION**

The continuing operation of the existing T-Mobile wireless telecommunications facility is consistent with the General Plan, the P-1 Planned Unit District, the Wireless Telecommunications Facilities Ordinance, and applicable FCC regulations. Staff recommends approval of Land Use Permit CDLP25-02031, based on the attached findings and subject to the attached conditions of approval.

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDLP25-02031,  
ISABEL CHAVEZ, NETWORK CONNEX ON BEHALF OF T-MOBILE WEST LLC  
(APPLICANT), GEOFFREY HODIES TRUST (OWNER)**

**FINDINGS**

A. Land Use Permit Findings

1. *The proposed project shall not be detrimental to the health, safety and general welfare of the county.*

Project Finding: The Federal Communications Commission (FCC) has adopted radio frequency protection standards which establish safety levels with respect to human exposure to radio frequency (RF) emissions as well as occupational exposure to electro-magnetic fields. Compliance with these standards is considered to be evidence that the project does not present health and safety risks. The *Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report (Anchor)* (EBI Consulting, October 25, 2021), indicates that with the proposed signage mitigations implemented, the site will be in compliance with the current FCC occupational limit. Thus, as conditioned, the existing facility does not generate unsafe levels of RF emissions, as determined by the FCC, and will be adequately secured to prevent public access to the equipment area. The Conditions of Approval include project compliance with current FCC standards. These conditions will ensure that RF emissions and EMF strength at ground levels falls within the FCC limit for public exposure. All elements of the wireless telecommunication facility are secured within a lease area and enclosed. As conditioned, the wireless telecommunications facility will not be detrimental to the health, safety, and general welfare of the County.

2. *The proposed project shall not adversely affect the orderly development of property within the County.*

Project Finding: The wireless telecommunications services provided at this site benefit a wide range of the County's population (e.g., daily commuters, local employees, residents, and 911 service providers), and therefore, the wireless telecommunication facility is a beneficial use at this location. As conditioned, the project is consistent with applicable policies and regulations of the County's Wireless Telecommunications Facilities Ordinance (County Code Chapter 88-24). Additionally, the project does not involve any modification of the facility. Thus, the granting of a land use permit to allow the continuing operation of the existing wireless

telecommunications facility with non-substantial modifications to the facility will not adversely affect the orderly development of property within the County.

3. *The proposed project shall not adversely affect the preservation of property values and the protection of the tax base within the County.*

Project Finding: The wireless telecommunications facility was established in 1996 on private property and has remained in use since then. Continuing operation of the wireless telecommunication facility with no proposed modifications will not change the physical characteristics of the site, and therefore, will not affect the range of potential uses on the site or on adjacent properties. The equipment will continue to be unmanned and is not expected to impact development activity in the area or result in an adverse impact on the value of properties within the area. This determination is due to the site's previous establishment as a wireless telecommunication facility and the continued consistency of that established use. Given that the facility and surrounding land uses have remained consistent, there is no indication that the project will adversely affect the preservation of property values and the protection of the tax base within the County.

4. *The proposed project as conditioned shall not adversely affect the policy and goals as set by the General Plan.*

Project Finding: The project site is located within a MUL Mixed-Use Low Density General Plan land use designation. The areas around the wireless telecommunications facility that are also within the MUL designation include a variety of small businesses such as an insurance office, a funeral home, veterinary hospital, a high school, and a variety of shops and restaurants. single-family residences, and multi-family residences. Pursuant to the Wireless Telecommunications Facilities Ordinance (Ordinance No. 2016-11), a wireless telecommunications facility may also be located in the MUL designation, since the facility provides telecommunications service that would be compatible and consistent with other land uses in the El Sobrante area. Allowing the continuing operation of the existing wireless telecommunications facility will not detract from the purpose and intent of the MUL General Plan designation.

5. *The proposed project shall not create a nuisance and/or enforcement problem within the neighborhood or community.*

Project Finding: The project, as conditioned, will not create a nuisance and/or enforcement problem within the neighborhood or community. There has been no record of code compliance issues with the existing wireless telecommunications facility, and there is no evidence to suggest that the wireless facility creates a nuisance or enforcement problem within the area. The Conditions of Approval require that the site be maintained in an orderly manner, and that the facility be removed upon cessation of the use. Further, pursuant to the Conditions of Approval, T-Mobile will be required to submit five-year condition of approval compliance reviews in order for County staff to evaluate the on-going compliance of the wireless facility.

6. *The proposed project as conditioned shall not encourage marginal development within the neighborhood.*

Project Finding: In general, wireless telecommunications facilities do not encourage development, which is subject to the applicable sections of the General Plan and the Zoning Code, as well as physical constraints on the parcel and adjacent properties. Where there is a sizeable population, major road, or need for telecommunications services, the public demands wireless telecommunications services. The establishment and continuing operation of the unmanned T-Mobile wireless telecommunications facility is in response to maintaining wireless telecommunications service to the area. As conditioned, allowing the continuation of this service will not encourage marginal development within the area.

7. *That special conditions or unique characteristics of the subject property and its location or surroundings are established.*

Project Finding: The wireless facility was established on the project site in 1996 and has been continuously in operation. At the times the facility was approved and then renewed, staff analyzed the project to ensure that all necessary entitlements and conditions were included to initiate the land use in a manner that is consistent with the applicable codes and conditions of the surrounding neighborhood. Continuing operation of the wireless facility does not include any new development or expansion beyond the existing lease area. Thus, as conditioned, the wireless facility will be consistent with the MUL Mixed-Use Low General Plan land use designation, the P-1 Planned Unit District, the Wireless Telecommunications Facilities Ordinance, and applicable FCC regulations.

B. Wireless Telecommunications Facility Land Use Permit Findings (County Code Section 88-24.614(b))

1. *The application is complete.*

Project Finding: County staff deemed the application complete and acceptable on December 2, 2025.

2. *The facility or substantial change will meet the requirements of this chapter.*

Project Finding: This CDLP25-02031 Land Use Permit will allow the continuing operation of the existing T-Mobile wireless telecommunications facility installed and established under CDLP96-02009, with no modifications to the equipment or the lease area. Continuing operation of the wireless facility is consistent with all applicable requirements of Chapter 88-24 of the County Ordinance Code, including the location requirements of County Code Section 88-24.406, design requirements of Section 88-24.408, safety and security requirements of Section 88-24.412 and building standards, maintenance, and operational requirements of Section 88-24.414. As conditioned, County staff will conduct at least one condition of approval compliance reviews throughout the term of this permit to ensure continued compliance with the permit.

3. *The facility or substantial change has been reviewed pursuant to all appropriate environmental laws and regulations, including the California Environmental Quality Act (CEQA).*

Project Finding: The wireless telecommunication facility was established on the project site in 1996 pursuant to the approved CDLP96-02009 Permit. Continuing operation of this wireless telecommunications facility with no modifications to the equipment is categorically exempt under CEQA Guidelines Section 15301(b), which allows for a Class 1 exemption for the operation of existing facilities used to provide public utility services.

4. *If an environmental impact report or mitigated negative declaration was prepared for the facility or substantial change, the facility or substantial change will incorporate all mitigation measures identified in either of those documents. Each mitigation measure will be included as a term of the permit.*

Project Finding: Continuing operation of the existing T-Mobile wireless telecommunications facility is categorically exempt under CEQA Guidelines Section 15301(b), and did not require preparation of either an environmental impact report or a mitigated negative declaration.

5. *If the Contra Costa County Airport Land Use Commission reviewed and commented on the application, the facility or substantial change will incorporate each mitigation measure recommended by the commission and deemed by the Zoning Administrator to be necessary to protect public safety, health, and welfare. Each mitigation measure will be included as a term of the permit.*

Project Finding: The subject property is not within or proximate to any zones identified by the Airport Land Use Commission as an area of planning interest. Thus, the CDLP25-02031 application is not subject to review by the Airport Land Use Commission.

6. *The applicant has provided the financial assurance required by this chapter.*

Project Finding: A facility removal bond is currently on file for this facility in the event the facility is abandoned, revoked, or the use permit expires. The County remains in retention of this bond. Condition of Approval #9 requires the permittee (wireless carrier) to verify that the bond amount is sufficient in the event the facility is abandoned, revoked, or the use permit expires.

7. *The applicant has paid all required fees and costs, including but not limited to the application fee, any required environmental review fee, and any required peer review fee.*

Project Finding: The applicant has paid the initial deposit of \$5,500 for this Land Use Permit application, and time and material costs have exceeded the initial deposit. Pursuant to Condition of Approval #5, the applicant is responsible for any additional fees that exceed the initial deposit.

### C. California Environmental Quality Act (CEQA) Findings

Continuing operation of the T-Mobile wireless telecommunications facility is categorically exempt from CEQA pursuant to CEQA Guidelines section 15301(b), Existing Structures, which provides a Class 1 exemption for the operation of existing facilities used to provide public utility services. There is no substantial evidence that the

continuing operation of the telecommunications facility involves unusual circumstances, resulting in, or which might reasonably result in, a significant impact on the environment. None of the exceptions in CEQA Guidelines Section 15300.2 apply to this wireless telecommunications facility.

## **CONDITIONS OF APPROVAL FOR COUNTY FILE CDLP25-02031**

### Project Approval

1. This application for a Land Use Permit to allow continuing operation of the T-Mobile wireless telecommunications facility established pursuant to Land Use Permit CDLP96-02009 is APPROVED.

The wireless telecommunications facility includes:

- Nine (9) antennas, six (6) radios, and ancillary equipment.
  - T-Mobile equipment cabinets and associated ground-mounted equipment.
2. The Land Use Permit approval described above is based on:
    - Project application accepted by the Department of Conservation and Development, Community Development Division (CDD) on August 22, 2025.
    - The *Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report (Anchor)* (EBI Consulting, October 25, 2021), received by the CDD on December 12, 2025.
    - Color Photographs received by the CDD on December 12, 2025.
    - Revised Plans received by the CDD on February 3, 2026.
  3. The following Conditions shall supersede all prior Conditions of Approval for prior County approvals for this wireless telecommunication facility.
  4. No construction is approved with this permit. Any construction at this wireless telecommunications facility shall require the filing of an application for a Wireless Minor Alteration Permit or a new Land Use Permit prior to application for a building permit.

### Application Costs

5. The land use permit application was subject to an initial deposit of \$5,500.00. Applications are subject to time and material costs if the application review expenses

exceed the initial deposit. **Any additional fee due must be paid within 60 days of the effective date of this permit.** The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due, the Department of Conservation and Development may seek a court judgement against the applicant and will charge interest at a rate of ten percent (10%) from the date of judgement. The applicant may obtain current costs by contacting the project planner. A bill will be mailed to the applicant shortly after permit issuance in the event that additional fees are due.

#### Permit Duration and Permit Review

6. This land use permit is granted for a period of ten (10) years and shall be administratively reviewed at five-year intervals. The applicant shall initiate the first review by submitting a statement as to the current status of the project to the CDD **no later than five years following the effective date of the project approval.** This review by the CDD will be for the purpose of ensuring continued compliance with the conditions of permit approval.

For the review of existing commercial wireless communications facilities, submittal shall include photo documentation of existing conditions and equipment for comparison with the applicable approved conditions. The documentation shall include, but shall not be limited to, color photographs to verify compliance with Condition of Approval #20, Exterior Appearance.

The permittee is encouraged, at the time of each administrative review, to review the design of the telecommunications facility and make voluntary upgrades to the facility for the purpose of improving safety and lessening visual obtrusiveness.

A review fee in the amount set by the Land Development Fee Schedule will be filed through a Compliance Verification application to allow for review of the approved conditions.

#### Responsible Party

7. The permittee (wireless facilities operator) is responsible for keeping the CDD informed of who is responsible for maintenance of compliance with this permit and how they may be contacted (mailing and email addresses as well as telephone number) at all times.

- A. **Within 30 days of the effective date of this permit**, the Permittee shall provide the name of the party (carrier) responsible for permit compliance and their contact information.
  
- B. Should the responsible party subsequently change (e.g.: facility is acquired by a new carrier), within 30 days of the date of the change, the Permittee shall issue a letter to CDD with the name of the new party who has been assigned permit compliance responsibility and their contact information. Failure to satisfy this condition may result in the commencement of procedure to revoke the permit.

Removal of Facility/Site Restoration

- 8. All structures and equipment associated with a commercial wireless communications facility shall be removed within 60 days of the discontinuance of the use, and the site shall be restored by the permittee to its original predevelopment condition. In addition, the permittee shall provide the CDD with a notice of intent to vacate the site a minimum of 30 days prior to vacation.

Security to Provide for Removal of Equipment

- 9. **Within 30 days of the effective date of this permit**, the applicant or permittee shall confirm that the security provided for prior Land Use Permit CDLP15-02052 remains valid for the wireless telecommunications facility and has not lapsed or has otherwise been terminated. If the prior security is no longer valid, the applicant or permittee shall provide bond, cash, or other surety, to the satisfaction of the CDD, within 60 days of the effective date of this permit, for the removal of the facility in the event that the use is abandoned, or the use permit expires, or is revoked, or is otherwise terminated. If the permittee does not remove any obsolete or unused facilities as described above, the financial guarantee shall be used by the County to remove any obsolete or unused facilities and to return the site to its pre-development condition.

The financial assurance must be submitted before any future permit for the wireless telecommunications facility will be issued. A financial assurance must be irrevocable and not cancelable, except by the County. Each form of financial assurance must remain valid for the duration of the permit and for six months following termination, cancellation, or revocation permit.

Any unused financial guarantee shall be returned to the applicant upon termination of the use and removal of the facility, or transfer of the lease accompanied by a financial

guarantee by the new lessee or owner. The amount of the security shall be based on a cost estimate provided by a contractor or other qualified professional to the satisfaction of the Zoning Administrator.

General Provisions

10. Any change from the approved project plans and any proposed modification of the existing wireless telecommunications facility shall require review and approval by the CDD and may require the filing of an application for a Wireless Minor Alteration Permit or a new Land Use Permit.
11. A minor alteration to this land use permit (or collocation if CEQA environmental review of collocation for the land use permit has been completed) may be issued if the proposed modification(s) are not considered a substantial modification as stated under federal law (Title 47, Section 1.40001).

A minor alteration (or a collocation) has a term that is the shorter of the following:

- 10 years: or,
- The duration, including any renewal period, of the permit that authorizes the existing facility on which the new facility will be collocated or on which the minor alteration will occur.

12. The conditions contained herein shall be accepted by the applicant, their agents, lessees, survivors, or successors for continuing obligation.
13. The wireless telecommunications facility shall comply at all times with applicable rules, regulations and standards of the FCC and other agencies having jurisdiction, and any other applicable Federal, State, and County laws and regulations.
14. Facilities shall be operated in such a manner as not to contribute to ambient RF/EMF emissions in excess of then-current FCC adopted RF/EMF emission standards. **Within 15 days of new antennas being installed**, the applicant shall take RF power density measurements with the operating antennas to verify the level reported in the RF report and to ensure that the FCC public exposure level is not exceeded in any public accessible area. This measurement shall be taken again if any equipment is replaced or added. Verification of all RF power density measurements under this condition shall be submitted to CDD for review.

15. The equipment and accessory structures shall be maintained in good condition over the term of the permit. This shall include keeping the structures graffiti-free.
16. Antennas, equipment cabinets, and fence enclosure shall not be used for advertising.
17. No signage or exterior lighting, with the exception of the switch-operated light at the entrance to the shelter, shall be allowed.

#### Aesthetics

18. The use of highly reflective materials, including but not limited to glass and unfinished metals, shall be prohibited from use.
19. All exterior components of the proposed facility shall utilize materials that are naturally non-reflective, or shall be finished with paints or other finishes with a reflectivity less than 55 percent.

In the event that a minor alteration to this facility is proposed, color photographs showing the as-built condition shall be submitted for review of CDD staff to verify compliance with this Condition of Approval prior to final inspection.

#### Exterior Noise

20. In the event that a modification to this facility involving new noise-generating equipment is proposed, the permittee shall submit evidence for review and approval of the CDD that the wireless telecommunications facility meets acceptable exterior noise level standards as established in the Noise and Land Use Compatibility Guidelines contained in the Noise Element of the County General Plan. The evidence can either be theoretical calculations for identical equipment or noise monitoring data recorded on the site.

#### Frequency Interference

21. The wireless telecommunications facility shall not be operated at a frequency that will interfere with an emergency communication system or 911 system, including any regional emergency communication system.

Indemnity

22. To the fullest extent permitted by law, the applicant and/or permittee shall defend, indemnify, and hold harmless the county, its officers, employees, contractors, consultants, and volunteers from and against: (1) All claims, losses, damages (including injury or death), liabilities, suits, costs, and expenses, including reasonable attorney's fees, in any way connected to or arising from the design, construction, installation, use, maintenance, or operation of the facility; and (2) all claims, actions, or proceedings to attack, set aside, void, or annul any decision to approve the application and issue a land use permit or renewed permit to the applicant, or any other discretionary action of the County related to the issuance of that permit.

**ADVISORY NOTES**

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL, BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

**A. NOTICE OF NINETY (90) DAY OPPORTUNITY TO PROTEST FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.**

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. seq, the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.

**B. Prior to applying for a building permit, the applicant may wish to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the proposed project:**

- Contra Costa County, Building Inspection Division

- Public Works Department
- Contra Costa County Fire Protection District
- West County Wastewater District
- East Bay Municipal Utility District
- Federal Communications Commission

A- EL SOBRANTE SHOPPING CENTER  
 B- TRACT 2148 M.B. 59-16  
 POR. LOT 127 SAN PABLO RANCHO  
 C- POR. LOT 81, SANTA RITA ACRES NO.2  
 D-1968 ROLL TRACT 3186 M.B.117-41

P.B.  
430

CDLP25-02031  
Project Site

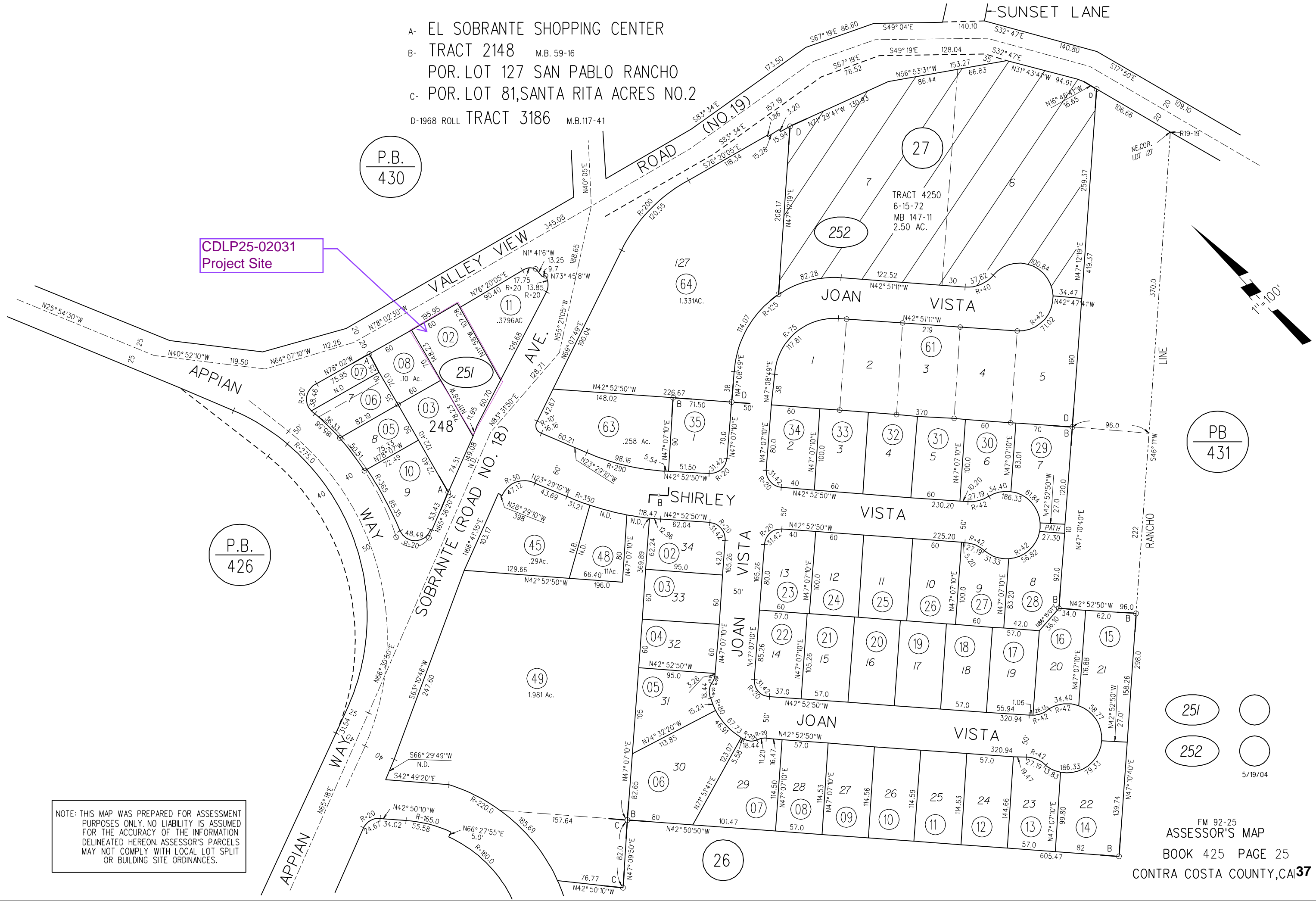
P.B.  
426

PB  
431

251  
252  
5/19/04

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

FM 92-25  
ASSESSOR'S MAP  
BOOK 425 PAGE 25  
CONTRA COSTA COUNTY, CA 37



# General Plan - Mixed-Use Low Density



## Map Legend

County Border

Assessment  
Parcels

Planning Layers  
(DCD)

General Plan

MUL (Mixed-  
Use Low) (10-30  
du/na) (1.0 FAR)

Unincorporated

Board of  
 Supervisors'  
Districts

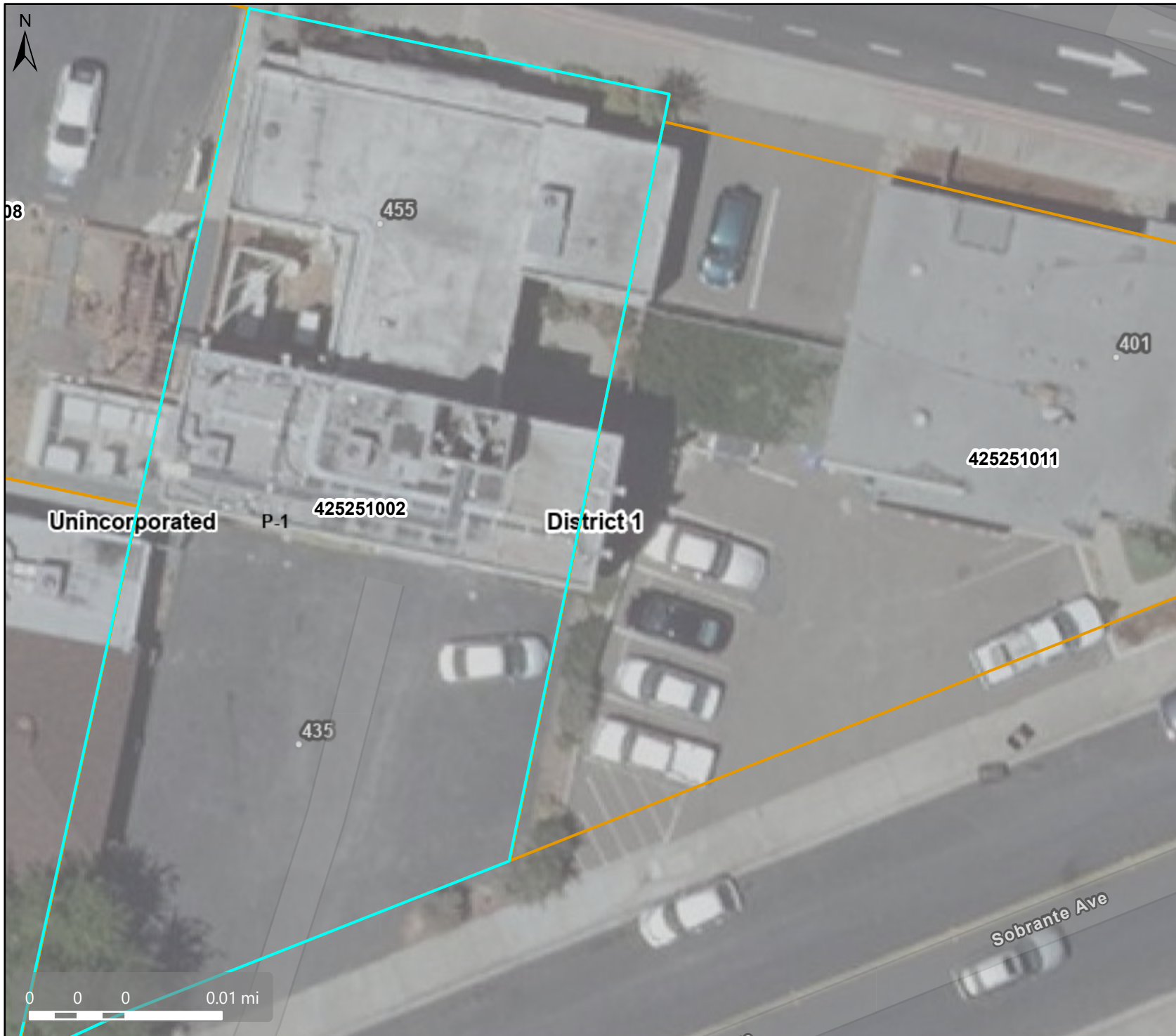
Base Data

Address Points






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THIS MAP IS NOT TO BE USED FOR NAVIGATION.  
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# Zoning - P-1 Planned Unit District



## Map Legend

-  County Border
-  Assessment  
Parcels
- Planning Layers  
(DCD)
- Zoning
- ZONE\_OVER
-  P-1 (Planned  
Unit)
-  Unincorporated
- Board of  
Supervisors'  
Districts
- Base Data
-  Address Points

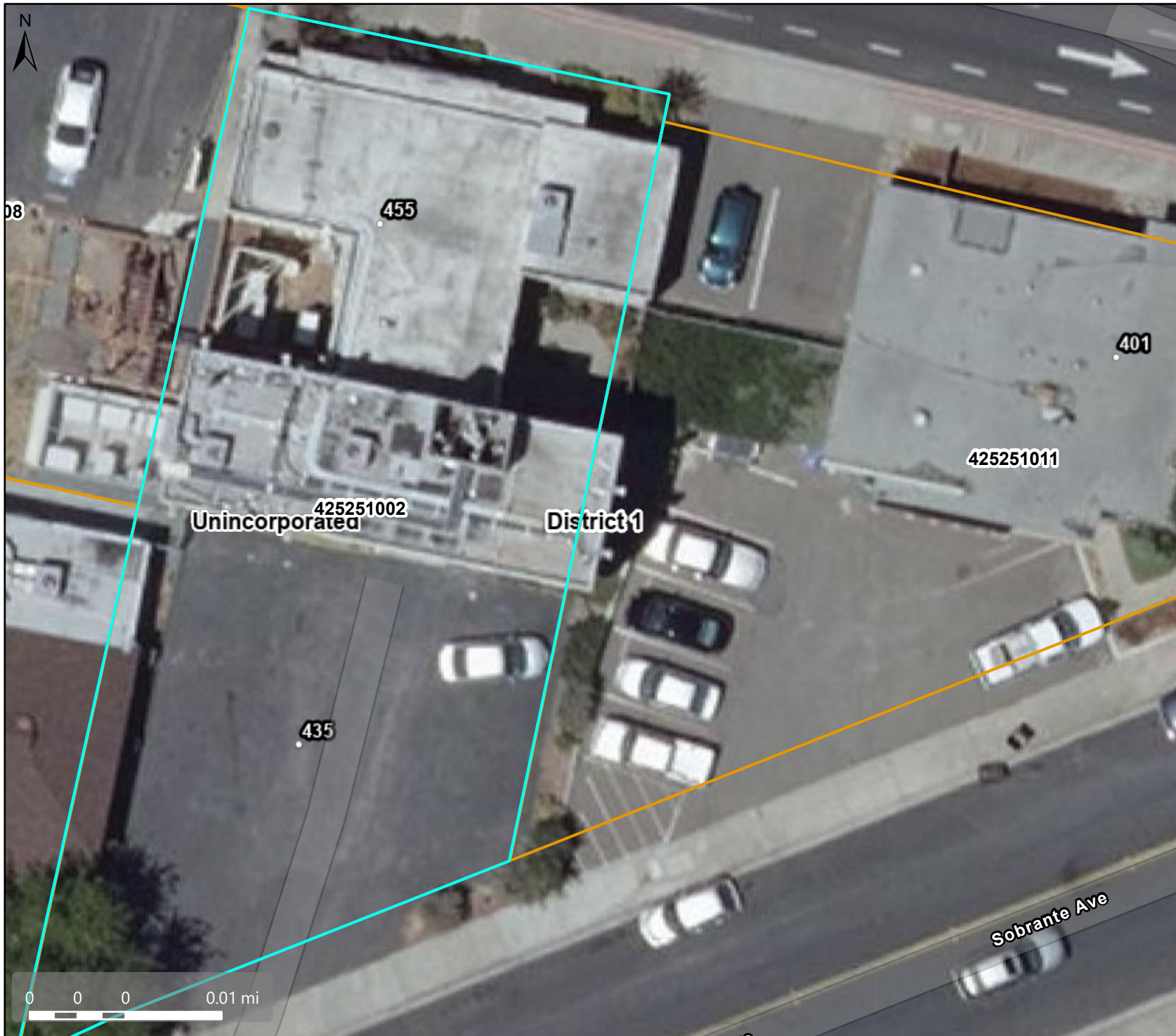
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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary S  
 Datum: WGS 1984

# Aerial



## Map Legend

- County Border
- Assessment Parcels
- Planning Layers (DCD)**
  - Unincorporated
  - Board of Supervisors' Districts
- Base Data**
  - Address Points

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# CUP RENEWAL



RECEIVED on 02/03/2026 CDLP25-02031  
By Contra Costa County  
Department of Conservation and Development

**T-Mobile**  
Stick Together<sup>®</sup>  
1200 CONCORD AVENUE, SUITE 500  
CONCORD, CA 94520

**SITE NUMBER: BA01311A**      **CITY: EL SOBRANTE**  
**SITE NAME: PL311 EL SOBRANTE**      **COUNTY: CONTRA COSTA**  
**SITE TYPE: ROOFTOP**      **JURISDICTION: CONTRA COSTA COUNTY**

PROJECT INFORMATION:  
(CUP RENEWAL)  
**BA01311A**  
**PL311 EL SOBRANTE**  
435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803  
CONTRA COSTA COUNTY

CURRENT ISSUE DATE:  
01/16/26

ISSUED FOR:  
**ZONING**

REV.:	DATE:	DESCRIPTION:	BY:
0	06/17/25	100% ZD	GHB
1	01/16/26	FINAL ZD, REVISED PER CITY COMMENTS	GHB

REV.:	DATE:	DESCRIPTION:	BY:

PLANS PREPARED BY:  
**NETWORK CONNEX**  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

CONSULTANT:  
**NETWORK CONNEX**  
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GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

DRAWN BY: GHB      CHK.: IC      APV.: IC

LICENSURE:

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER: **T-1**      REVISION: **1**  
BA01311A

**PROJECT SUMMARY**

**SITE ADDRESS:**  
435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803

**PROPERTY OWNER CONTACT:**  
LILY DEVELOPMENT GROUP LP  
5726 VIA MONTECITO,  
GRANITE BAY, CA 95746-5838

**APPLICANT:**  
T-MOBILE WEST LLC  
1200 CONCORD AVENUE, SUITE 500  
CONCORD, CA 94520  
REPRESENTATIVE:  
T-MOBILE PROJECT MANAGER: BRANDON GEPHART  
PROJECT MANAGER: ANGELINA BOURDAGE

**PROJECT TEAM**

**SAC/ZONING/PERMITTING:**  
NETWORK CONNEX  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
CONTACT: ISABEL CHAVEZ  
MOBILE: (951) 496-2452  
E-MAIL: ichavez@networkconnex.com

**LATITUDE / LONGITUDE**

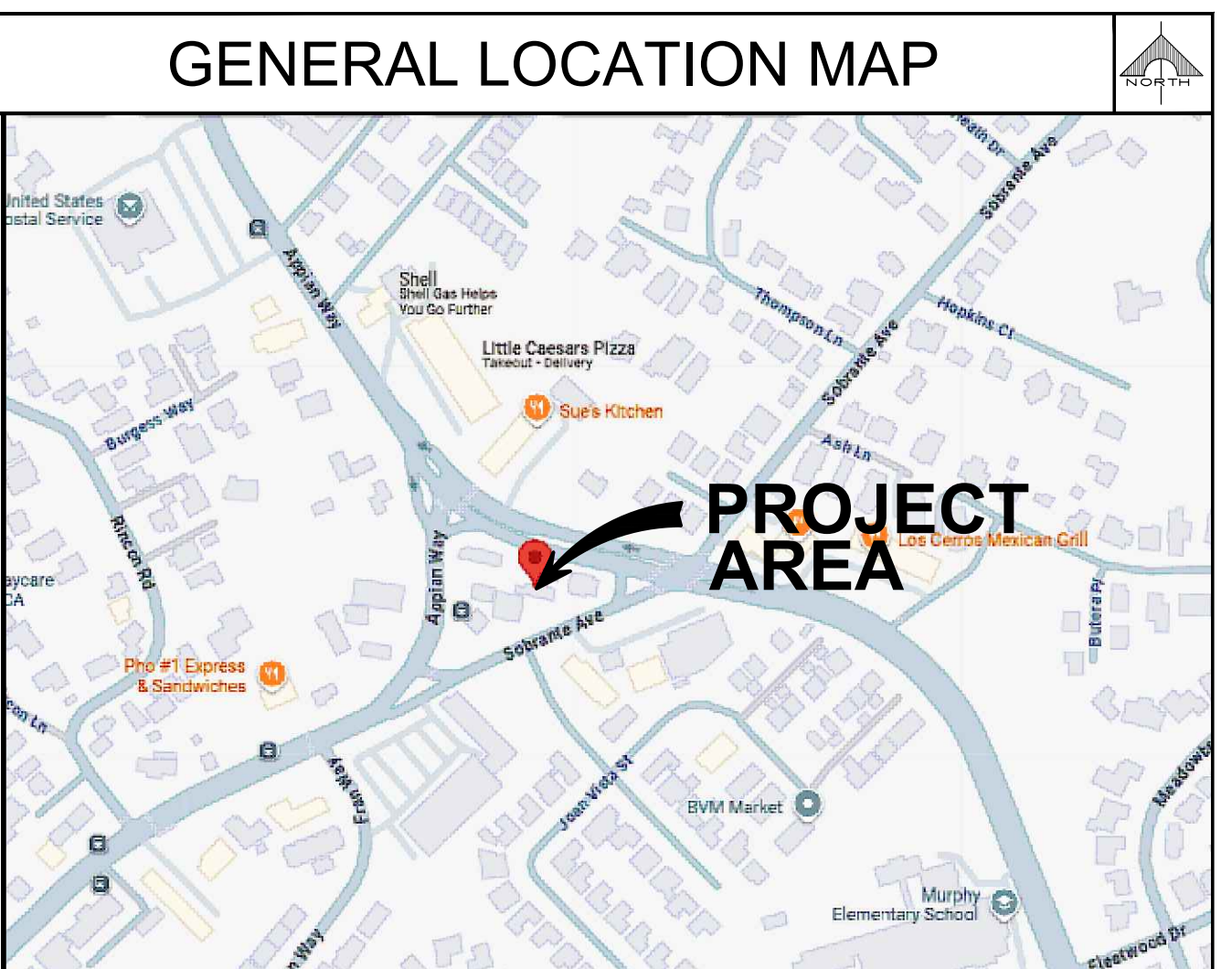
LAT: 37° 58' 39.5" N      LAT: 37.97762800°  
LONG: 122° 17' 40.5" W      LONG: -122.29458800°

**UTILITY PURVEYOR**

**POWER:** PG&E      **TELCO:** AT&T  
COMPANY: PG&E      COMPANY: AT&T

**DRAWING INDEX**

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	SITE PHOTOS
T-3	RF-EME REPORT I
T-4	RF-EME REPORT II
A-1	EXISTING OVERALL SITE PLAN
A-2	EXISTING EQUIPMENT AND ANTENNA LAYOUT PLANS
A-3	EXISTING ELEVATIONS I
A-4	EXISTING ELEVATIONS II



**ACCESSIBILITY REQUIREMENTS**

THE FACILITY IS UNMANNED AND NOT FOR CONTINUOUS HUMAN HABITATION. HANDICAPPED ACCESS IS NOT REQUIRED PER CBC 2022, SECTION 11B-203.4 (LIMITED ACCESS SPACES) SECTION 11B-203.5 (EQUIPMENT SPACES)

**CODE COMPLIANCE**

- CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLES 24 & 25) 2022
- CALIFORNIA BUILDING CODE 2022
- CALIFORNIA ELECTRICAL CODE 2022
- CALIFORNIA MECHANICAL CODE 2022
- CALIFORNIA PLUMBING CODE 2022
- ANSI / TIA-222-H-2017
- LOCAL BUILDING CODE
- CITY / COUNTY ORDINANCES
- CALIFORNIA FIRE CODE 2022 EDITION
- ASCE 7-16 WITH SUPPLEMENT
- ACI 318-19
- STEEL CONSTRUCTION MANUAL, 15TH EDITION

**DRIVING DIRECTION**

FROM T-MOBILE OFFICE: 1200 CONCORD AVENUE, CONCORD, CA 94520

HEAD NORTH ON NEW DRIVE. TURN LEFT ONTO CONCORD AVE. TURN RIGHT TO MERGE ONTO I-680 N. MERGE ONTO I-680 N. TAKE EXIT 53 TO MERGE ONTO CA-4 W TOWARD MARTINEZ/HERCULES. TAKE EXIT 1C FOR WILLOW AVE. TURN RIGHT ONTO WILLOW AVE. TURN LEFT TO MERGE ONTO I-80 W TOWARD OAKLAND. MERGE ONTO I-80 W. TAKE EXIT 21 FOR APPIAN WAY. USE THE LEFT 2 LANES TO TURN LEFT ONTO APPIAN WAY. TURN LEFT ONTO VALLEY VIEW RD. DESTINATION WILL BE ON THE RIGHT.

**PROJECT DESCRIPTION**

THE PROJECT ENTAILS:  
T-MOBILE IS REQUESTING A RENEWAL OF THE CONDITIONAL USE PERMIT FOR THE CONTINUED USE AND OPERATION OF THEIR EXISTING WIRELESS TELECOMMUNICATIONS FACILITY:

- (9) EXISTING ANTENNAS
- (6) EXISTING RADIOS
- (1) EXISTING METER
- (2) EXISTING EQUIPMENT CABINET
- (1) EXISTING BATTERY CABINET
- (1) EXISTING GPS ANTENNA
- (2) EXISTING FIBER CIENA BOX
- (1) EXISTING SUB BREAKER BOX
- (1) EXISTING FTP BOX
- (1) EXISTING TELCO BOX
- (1) EXISTING PANEL AC WITH GENERATOR PLUG
- (2) EXISTING ELECTRICAL BOX
- (1) EXISTING ELECTRICAL GUTTER
- (2) EXISTING ELECTRICAL PANEL (EMPTY SOCKET)

**APPROVAL**

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD:	_____	_____	_____
ZONING MGR:	_____	_____	_____
DEVELOP. MGR:	_____	_____	_____
CONST. MGR:	_____	_____	_____
PROJECT MGR:	_____	_____	_____
SR. RF ENGINEER:	_____	_____	_____
RF ENGINEER:	_____	_____	_____
OPERATIONS:	_____	_____	_____
SAC REP.:	_____	_____	_____
UTILITIES:	_____	_____	_____
REAL ESTATE MGR:	_____	_____	_____

**LEGAL DESCRIPTION**

SUBDIVISION NAME: SAN PABLO BRIEF DESCRIPTION: RO SAN PABLO POR 248

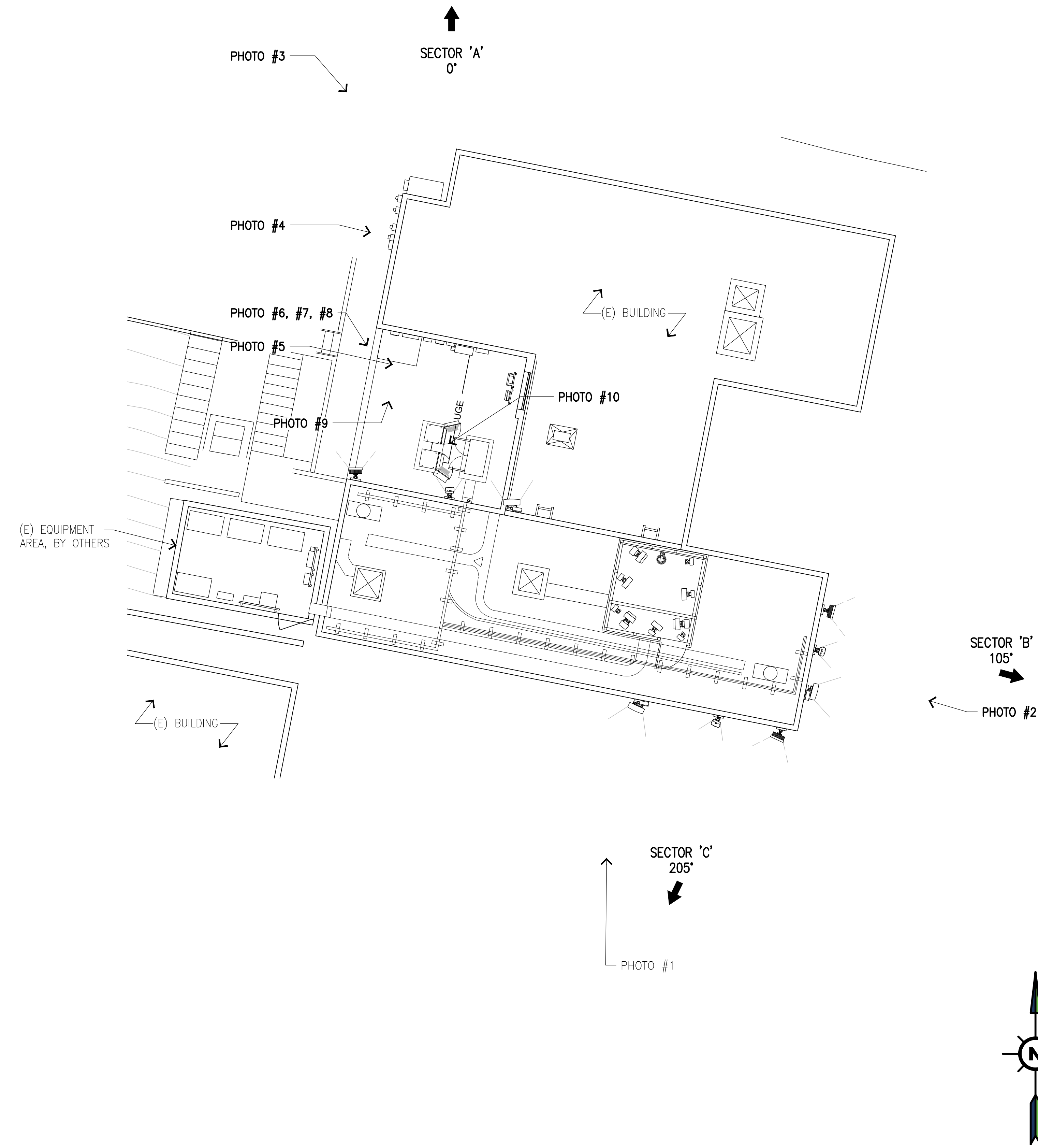


PHOTO #6



PHOTO #1



PHOTO #7



PHOTO #2

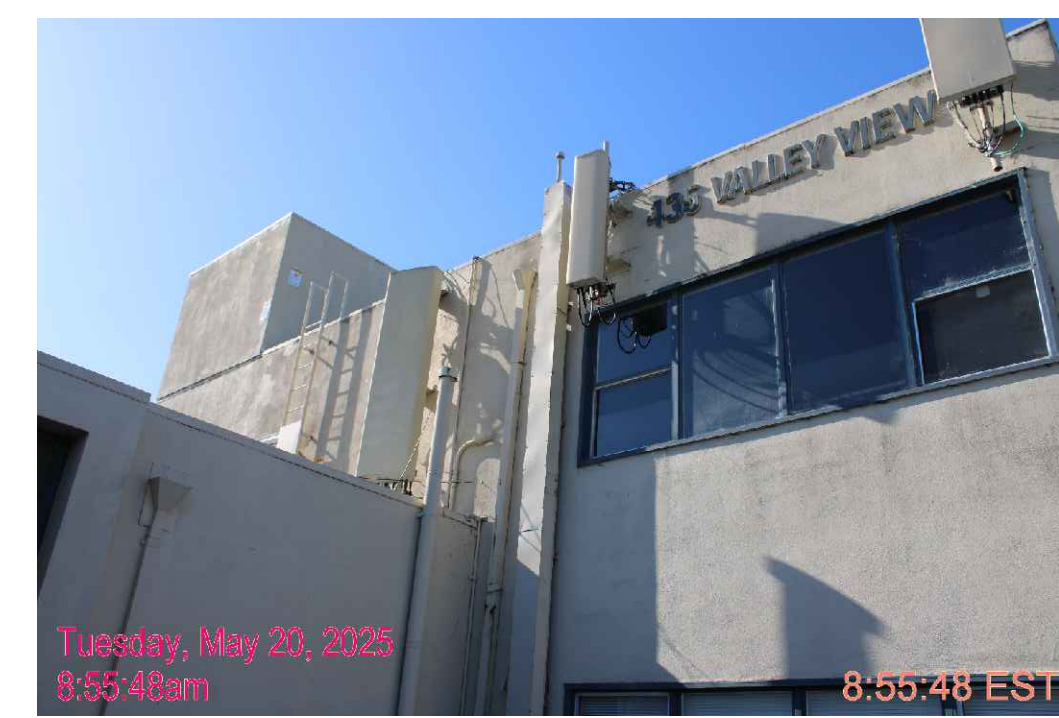


PHOTO #8



PHOTO #3



PHOTO #9



PHOTO #4



PHOTO #10



PHOTO #5

**T-Mobile**  
Stick Together

1200 CONCORD AVENUE, SUITE 500  
CONCORD, CA 94520

PROJECT INFORMATION:

(CUP RENEWAL)

BA01311A  
PL311 EL SOBRANTE

435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803  
CONTRA COSTA COUNTY

CURRENT ISSUE DATE:

01/16/26

ISSUED FOR:

ZONING

REV.: DATE: DESCRIPTION: BY:

0	06/17/25	100% ZD	GHB
1	01/16/26	FINAL ZD, REVISED PER CITY COMMENTS	GHB

PLANS PREPARED BY:

**NETWORK  
CONNEX**

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DRAWN BY: CHK.: APV.:

GHB IC IC

LICENSURE:

SHEET TITLE:

SITE PHOTOS

SHEET NUMBER: REVISION:

T-2 1

BA01311A



PROJECT INFORMATION:  
 (CUP RENEWAL)  
**BA01311A**  
**PL311 EL SOBRANTE**  
 435 VALLEY VIEW RD  
 EL SOBRANTE, CA 94803  
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CURRENT ISSUE DATE:  
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DRAWN BY: \_\_\_\_\_ CHK.: \_\_\_\_\_ APV.: \_\_\_\_\_  
 GHB IC IC

LICENSURE:

SHEET TITLE:

RF-EME REPORT I

SHEET NUMBER: \_\_\_\_\_ REVISION: \_\_\_\_\_

**T-3** **1**  
 BA01311A

**GTA** Global Technology Associates  
 1890 Preston White Dr., Suite 150  
 Reston, VA 20191 USA  
 Phone: (703) 476-8999  
 Fax: (703) 860-6656  
<http://www.gtaelc.com>

Performed for: **T-Mobile** Sprint

**RADIO FREQUENCY EMISSION SURVEY**

Field	Data
Cascade ID (Survey #)	BA01311A
Alt Site ID	PL311 EL Sobrante - A
Address	435 Valley View Rd. El Sobrante, CA 94803
Lat/Lon	37.977628, -122.294588
Survey Trigger	Annual Compliance/Carrier Add/Mod
Date of Survey	01/11/2026
Date of Report	01/12/2026

**FCC COMPLIANT SITE**

Prepared by Global Technology Associates for T-Mobile  
 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**1. Introduction**

The electromagnetic spectrum includes various forms of electromagnetic energy from extremely low frequency energy, with very long wavelengths, to x-rays and gamma rays, which have very high frequencies and short wavelengths. In between are radio waves, microwaves, infrared, visible light and ultraviolet, for example.

As depicted in Figure 2-1, the frequencies from T-Mobile's equipment emit non-ionizing energy. The effects of non-ionizing energy are non-cumulative. Non-ionizing energy can turn into heat, if absorbed. (By comparison, ionizing energy is generally cumulative and can cause chemical and biological changes.)

**Figure 1-1**

Global Technology Associates performed an RF emission survey of the RF environment surrounding the facilities installed by T-Mobile at this location. Description of the facility: the facility is located on an three story office building. Access to the area of interest involved with this survey is via roof door & secured ladder secured by AJay/the combo lock.

T-Mobile is licensed by the Federal Communications Commission ("FCC") to provide wireless communications services. As required by the FCC, wireless system operators perform an assessment of the potential human exposure to radio frequency emissions emanating from transmitting antennas at the site.

The physical survey verified antenna placement and technical specifications for accurate recommendations to determine compliance with FCC guidelines. Antenna specifications presented herein are based on direct evidence from an antenna or transmitter cabinet, information from the site manager or building manager, information from the licensees, educated estimates by the field technician or a combination of some or all of these sources.

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 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

T-Mobile has installed RF transmitting antennas at the following location (the "wireless telecommunications facility"):  
**435 Valley View Rd.**  
**El Sobrante, CA 94803**  
**T-Mobile Site ID: BA01311A**

Field	Data
Facility and Access	three story office building
Access Type	roof door & secured ladder
Access Restrictions	combo lock
Facility Area Classification	controlled (occupational population)
RF Signage	RF notice, RF caution, information, guidelines
Type(s)	roof door, BTS area, at antenna A/B/C & barrier
Location	roof door, BTS area, at antenna A/B/C & barrier
Measurement Results	Max RF level in Accessible Areas on Rooftop/Facility: 28.91% of the occupational standard or (144.55% of general population standard)
Max RF level at Surrounding Street/Ground Level Around Site	1.105% of general population standard
Compliance	The site exceeds the exposure limits set by the FCC for the class of facility. However the site is properly mitigated. The site is in compliance with FCC limits and guidelines
FCC Compliance Conclusion	The site exceeds the exposure limits set by the FCC for the class of facility. However the site is properly mitigated. The site is in compliance with FCC limits and guidelines

**Table 2-3 Report Summary**

Global Technology Associates performed an RF emission survey of the RF environment surrounding the facilities installed by T-Mobile at this location. Description of the facility: the facility is located on an three story office building. Access to the area of interest involved with this survey is via roof door & secured ladder secured by AJay/the combo lock.

T-Mobile is licensed by the Federal Communications Commission ("FCC") to provide wireless communications services. As required by the FCC, wireless system operators perform an assessment of the potential human exposure to radio frequency emissions emanating from transmitting antennas at the site.

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 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**Certifications**

**Table 2-1 Certification of Calibration for Narda Meter**

**Table 2-2 Certification of Calibration for Narda Probe**

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 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**2. Site Configuration**

The data below enumerates the specifications of T-Mobile wireless telecommunications facility.

1. Technical Specifications on File - T-Mobile			
Description	600/700/1500/2100	2500	
Number of sectors	3	3	
Number of antennas per sector	2	1	
Azimuth of Antennas (degrees)	0/105/205	0/105/205	
Model of Antennas	AIR12_K90901144/L_B6 SA_B0A1130021000 & A7070A0824_03-10	AIR_6449_B41	
Manufacturer of Antennas	Ericsson & RFS	Ericsson	
Centerline Above Ground of Antennas (ft.)	30/29	31	
Reference Antenna Numbers	4-6 & 7-9	1-3	

**Table 2-1**

2. Verification of Technical Specifications			
Description	Alpha	Beta	Gamma
Azimuth of Antennas (degrees) 600/700/1500/2100	0	105	205
Azimuth of Antennas (degrees) 2500	0	105	205
Antenna Height Above Walking Surface (ft.)	4/25   29.63	25   29.63	25   29.63

**Table 2-2**

3. Antenna Specifications on File - T-Mobile					
Carrier/Freq	Type	Ref. Antenna Numbers	Make/Model	Height*	Azimuths
AT&T	Panel	10-15	ENV	ENV	ENV

**Table 2-3**

\*above walking surface

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A survey was performed on 01/11/2026 to determine the RF emission levels present at the site. Measurements were performed on the areas considered accessible to the occupational population. At this site, additional steps were taken to access areas accessible to the general population. The results of the measurements were the combined energy levels of T-Mobile antennas. To measure the RF emissions within the vicinity Global Technology Associates utilized the following equipment to perform measurements:  
 Probe: Narda 65091 Serial Number: 82057 Frequency Range: 300MHz-55GHz | with Meter: Narda 550 Serial Number: NARDA-6-0960 Calibration was performed by Manufacturer and is due on the following dates: Meter: 02/11/2026 | Probe: 05/28/2027

**2. Site Configuration**

The data below enumerates the specifications of T-Mobile wireless telecommunications facility.

**3. Site Location**

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 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**4. Photos**

The following photos show the T-Mobile wireless telecommunications facility.

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 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**Equipment/Roof Prospective A**

**Equipment/Roof Prospective B**

**Equipment/Roof Prospective C**

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 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**Equipment/Ground Prospective A**

**Equipment/Ground Prospective B**

**Equipment/Ground Prospective C**

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 T3 Inc. 530-741-7777/04-04-2025/rev B.0

**BA01311A** T-Mobile

**AT&T Carrier's Equipment in View (Image 1)**

**AT&T Carrier's Equipment in View (Image 2)**

**AT&T Carrier's Equipment in View (Image 3)**

**AT&T Carrier's Equipment in View (Image 4)**

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 Contains Proprietary and Confidential Information  
 T3 Inc. 530-741-7777/04-04-2025/rev B.0

PROJECT INFORMATION:

(CUP RENEWAL)

BA01311A  
PL311 EL SOBRANTE

435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803  
CONTRA COSTA COUNTY

CURRENT ISSUE DATE:

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DRAWN BY: CHK.: APV.:

GHB IC IC

LICENSURE:

SHEET TITLE:

RF-EME REPORT II

SHEET NUMBER: REVISION:

T-4 1

BA01311A

BA01311A T-Mobile



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BA01311A T-Mobile



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Contains Proprietary and Confidential Information  
TS Inc. 530-741-7777/04-04-2025/rev B.0

BA01311A T-Mobile

**5. RF Survey**

RF emission levels were assessed through direct measurements at the transmitter site using properly calibrated field probes. Due to the possibility that Electromagnetic Energy ("EME") fields may exist over a wide frequency range within which the exposure limits vary, field measurements were performed with a meter equipped with a frequency shaped probe that can automatically weigh each field contribution in accordance with its frequency.

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Contains Proprietary and Confidential Information  
TS Inc. 530-741-7777/04-04-2025/rev B.0

BA01311A T-Mobile

**6. FCC Policy on Human Exposure to RF Emissions**

The FCC guidelines for human exposure to RF emissions were derived from the recommendations of two expert organizations, the National Council on Radiation Protection and Measurements ("NCRP") and the Institute of Electrical and Electronics Engineers ("IEEE"). The exposure guidelines are based on thresholds for known adverse effects and they incorporate an appropriate margin of safety. The federal health and safety agencies such as the Environmental Protection Agency ("EPA"), the Food and Drug Administration ("FDA"), the National Institute on Occupational Safety and Health ("NIOSH") and the Occupational Safety and Health Administration ("OSHA") have also been actively involved in monitoring and investigating issues related to RF exposure.

The FCC's Maximum Permissible Exposure ("MPE") limits are based on exposure limits (over a wide range of frequencies) recommended by the NCRP and the exposure limits developed by the IEEE and adopted by the American National Standards Institute ("ANSI"). The limits for localized absorption are based on the recommendations of both the ANSI/IEEE and the NCRP. The potential hazard associated with the RF electromagnetic fields is discussed in OET Bulletin No. 56 "Question and Answer about the Biological Effects and Potential Hazards of Radiofrequency Electromagnetic Fields." This document can be obtained on the FCC website at www.fcc.gov. The table and the graph below represent the FCC limits for both occupational and general population exposures to different radio frequencies:

Frequency Range (f) (MHz)	Occupational Exposure (mW/cm <sup>2</sup> )	General Population Exposure (mW/cm <sup>2</sup> )
0.3 - 1.34	100	100
1.34 - 3.0	100	180 f <sup>0.75</sup>
3.0 - 30	900 f <sup>0.75</sup>	180 f <sup>0.75</sup>
30 - 300	1	0.2
300 - 1,500	f / 300	f / 1500
1,500 - 100,000	0	1

Table 6-1 FCC Limits for Maximum Permissible Exposure

Graph 6-1 FCC Limits for Maximum Permissible Exposure

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Contains Proprietary and Confidential Information  
TS Inc. 530-741-7777/04-04-2025/rev B.0

BA01311A T-Mobile

**7. Discussion of Safety Criteria**

Energy levels associated with the RF radiations are not great enough to cause the ionization of atoms and molecules. "Ionization" is a process by which electrons are stripped from atoms and molecules. This process can produce molecular changes that can lead to damage in biological tissue including effects on DNA, the genetic material. This process requires interaction with high levels of electromagnetic energy. Those types of electromagnetic radiation with enough energy to ionize biological material include x-radiation and gamma radiation. Therefore, x-rays and gamma rays are examples of ionizing radiation (see Section 1 for additional information).

RF energy is a type of non-ionizing radiation. Other types of non-ionizing radiation include visible light, infrared radiation and other forms of electromagnetic radiation with relatively low frequencies. Often the term "radiation" is used to apply to ionizing radiation associated with nuclear power plants. Ionizing radiation should not be confused with the lower energy, non-ionizing radiation with respect to possible biological effects.

The RF emissions from antennas used for radio and television broadcast transmissions, use power levels that are generally higher than those used for wireless antennas. Therefore, in some cases, there could be a potential for higher levels of exposure on the site. However, all broadcast stations are also required to demonstrate compliance with the FCC guidelines.

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**8. Field Measurements**

**8-1 Rooftop & Ground Level Readings**

A RF emissions survey was performed on the wireless telecommunications facility. This survey included walking the roof surface and noting the maximum max hold & spatial average readings encountered. The maximum value of the spatial average readings of RF emissions encountered on the roof level was: 28.91% of the occupational standard or (144.55% of general population standard).

The maximum value of the max hold readings of RF emissions encountered on the ground level was: 0.221% of the occupational standard or (1.150% of general population standard).

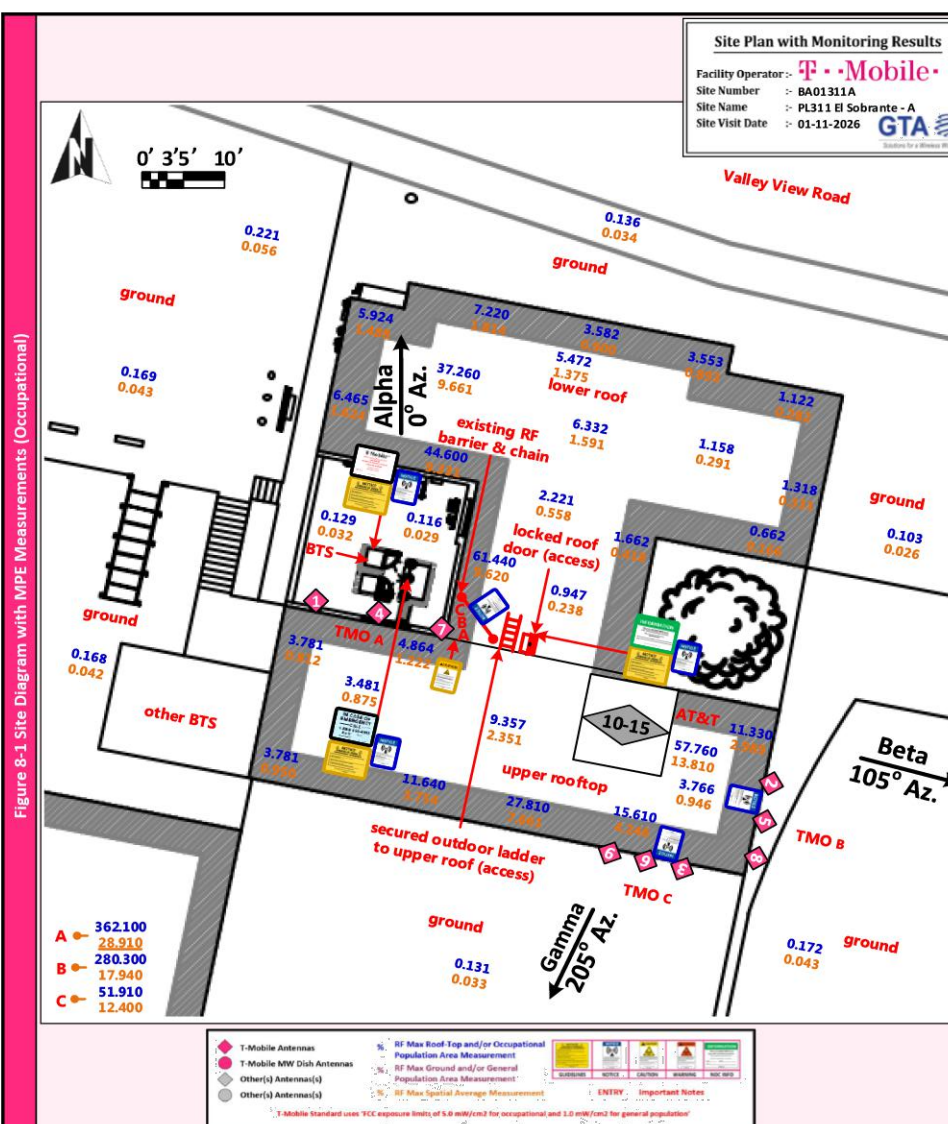
Below is the layout depicting the actual readings (% of the FCC MPE Occupational or General Population Standard limits) at various locations at the site. Various measurements were taken to indicate the RF emissions levels that can be encountered by an individual who gains access to the area of interest involved with the survey.

It is recommended that the access door to the roof area where the antennas are installed continue to be kept locked, to preclude unauthorized access to the antennas themselves.

Change on Access Points, Sectors & Equipment	Existing Station (Sector/Type/Height)			
	Guidelines	NOV 05	NOV 07	NOV 13
Antenna Pattern	✓	✓	✓	✓
Sector Azimuth	✓	✓	✓	✓
Sector Gain	✓	✓	✓	✓
Equipment/RFI	✓	✓	✓	✓
Total/Other	2	1	1	0

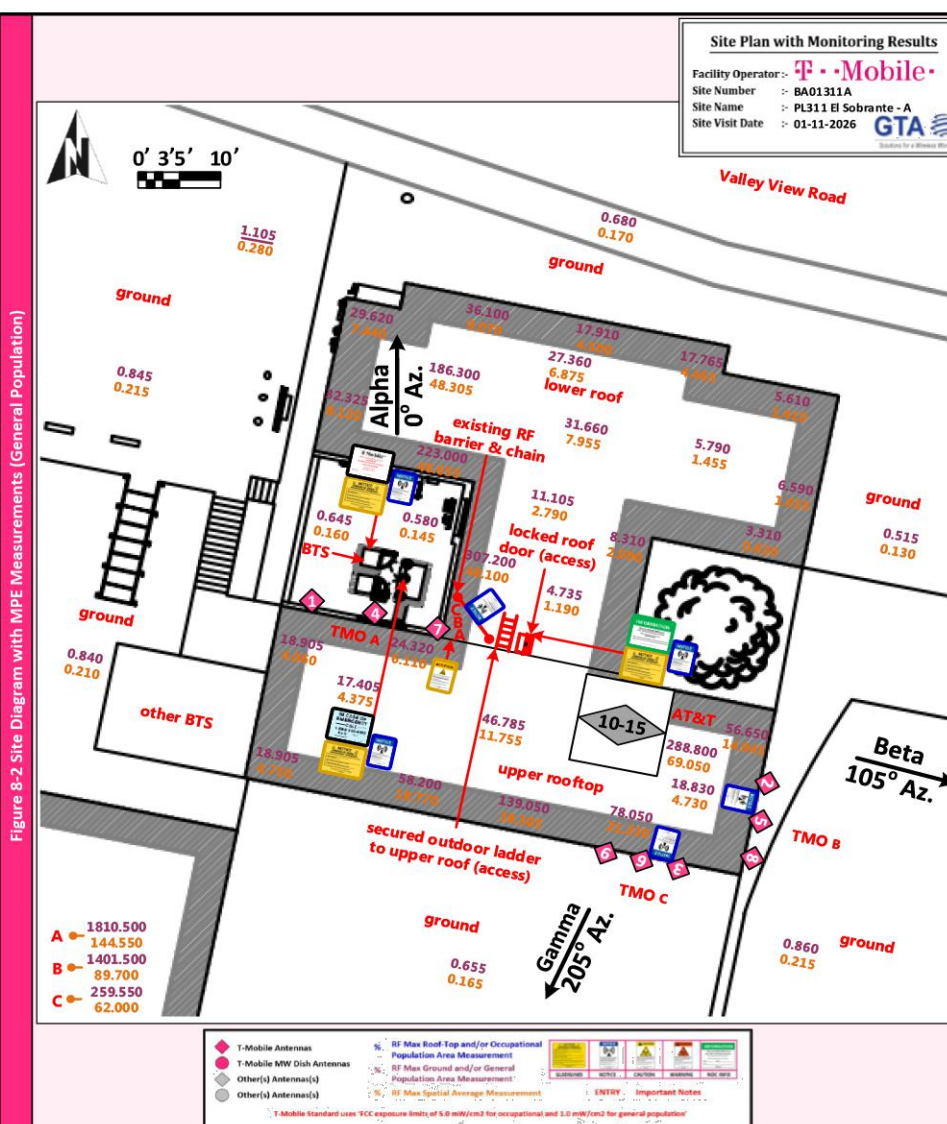
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**8-2 Antenna Vicinity Measurements of T-Mobile NV/2.5 Antennas and Others**

Measurements taken from each antenna. This is performed at distance of 1 foot, 3 feet, and 6 feet, whenever possible. NV/2.5 taken from the rear of the antenna when front is not available, taken from the facility ground level proximal to antenna placement when antenna level access is not available. Other antennas taken only when antenna face is within reachable level of measurement and/or when it is a significant contributor to the overall RF environment.

Antenna	1' (MHz)	3' (MHz)	6' (MHz)	1' (MHz)	3' (MHz)	6' (MHz)	1' (MHz)	3' (MHz)	6' (MHz)	1' (MHz)	3' (MHz)	6' (MHz)
Antenna 1 (Alpha NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 2 (Beta NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 3 (Gamma NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 4 (Alpha NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 5 (Beta NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 6 (Gamma NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 7 (Alpha NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 8 (Beta NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
Antenna 9 (Gamma NV or Tri-Band)	NOAC	NOAC	NOAC	1' (MHz)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
1' (SA)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
3' (SA)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC
6' (SA)	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC	NOAC

Note: NOAC=Not Accessible. For Work Off Measurements: Height/Location (MHz) Max Hold - Quick Measurement (Shorter than true measurement) (SA) Spatial Average - True Measurement (Shown when Max Hold > 20% occupational / 100% general population). The above measurements are shown for the FCC General Population levels.

Any antennas not listed 1-3ft had either no access to the antennas, was barriered, was out of reach, or had a minimal contribution to overall environment and was not recorded.

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**9. Conclusion**

Compliance with the FCC's rules on human exposure to RF emissions at wireless telecommunications facilities generally is determined by comparing actual measurements taken at the facility to the FCC's MPE limits.

The results of the instant survey indicate the maximum levels of RF emissions exposure exceeds FCC limits for general population exposure. However, this value is within the limitations for occupational exposure. However the premises is properly marked with notification and protection from such high levels with such in place, this is considered a compliant facility.

The highest level of RF emissions measured was 28.91% of the FCC's MPE limits based on the occupational exposure standard or (144.55% of general population standard).

A controlled/occupational environment assumes that access to the facility is generally restricted to authorized personnel and facility management and members of the general population will not be able to access the rooftop and/or wireless telecommunications facility.

An uncontrolled/general population environment assumes that access to the facility is not generally restricted to authorized personnel and facility management and members of the general population will be able to access the rooftop and/or wireless telecommunications facility.

This facility's Area of Interest is considered a controlled (occupational population) environment. The site exceeds the exposure limits set by the FCC for the class of facility. However the site is properly mitigated. The site is in compliance with FCC limits and guidelines per MPE standard for the environment.

10. Certification

This report was prepared for T-Mobile and serves as certification for compliance of the existing T-Mobile wireless telecommunications facility. The analysis and computation provided herein is based on applicable FCC regulations concerning RF safety and the control of human exposure to RF emissions. The information and analysis contained in this report is accurate and complete to the best knowledge and belief of the undersigned.

Prepared by:

Amik Kumar Sharma - Project Manager  
Global Technology Associates (GTA)  
M: 925-938-0000  
O: 703-476-8999

Witnessed:   
Phone: 408-677-7367  
E-Mail: marcelo@transolutions-inc.com

01/22/2026

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**NOTE:**  
 THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION GATHERED FROM  
 (E) AS-BUILTS PROVIDED BY T-MOBILE AND WITHOUT A SURVEY. PLEASE  
 VERIFY IN FIELD ALL DIMENSIONS, LENGTHS, (E) PROPERTY LINES AND  
 CONDUIT RUNS.

**T-Mobile**  
 Stick Together<sup>®</sup>

1200 CONCORD AVENUE, SUITE 500  
 CONCORD, CA 94520

PROJECT INFORMATION:  
 (CUP RENEWAL)  
**BA01311A**  
**PL311 EL SOBRANTE**  
 435 VALLEY VIEW RD  
 EL SOBRANTE, CA 94803  
 CONTRA COSTA COUNTY

CURRENT ISSUE DATE:  
 01/16/26

ISSUED FOR:  
**ZONING**

REV.: DATE: DESCRIPTION: BY:

0	06/17/25	100% ZD	GHB
1	01/16/26	FINAL ZD, REVISED PER CITY COMMENTS	GHB

PLANS PREPARED BY:

**NETWORK CONNEX**

655 N. CENTRAL AVE., #1520  
 GLENDALE, CA 91203  
 OFFICE: (818) 840-0808 FAX: (818) 840-0708

CONSULTANT:

**NETWORK CONNEX**

655 N. CENTRAL AVE., #1520  
 GLENDALE, CA 91203  
 OFFICE: (818) 840-0808 FAX: (818) 840-0708

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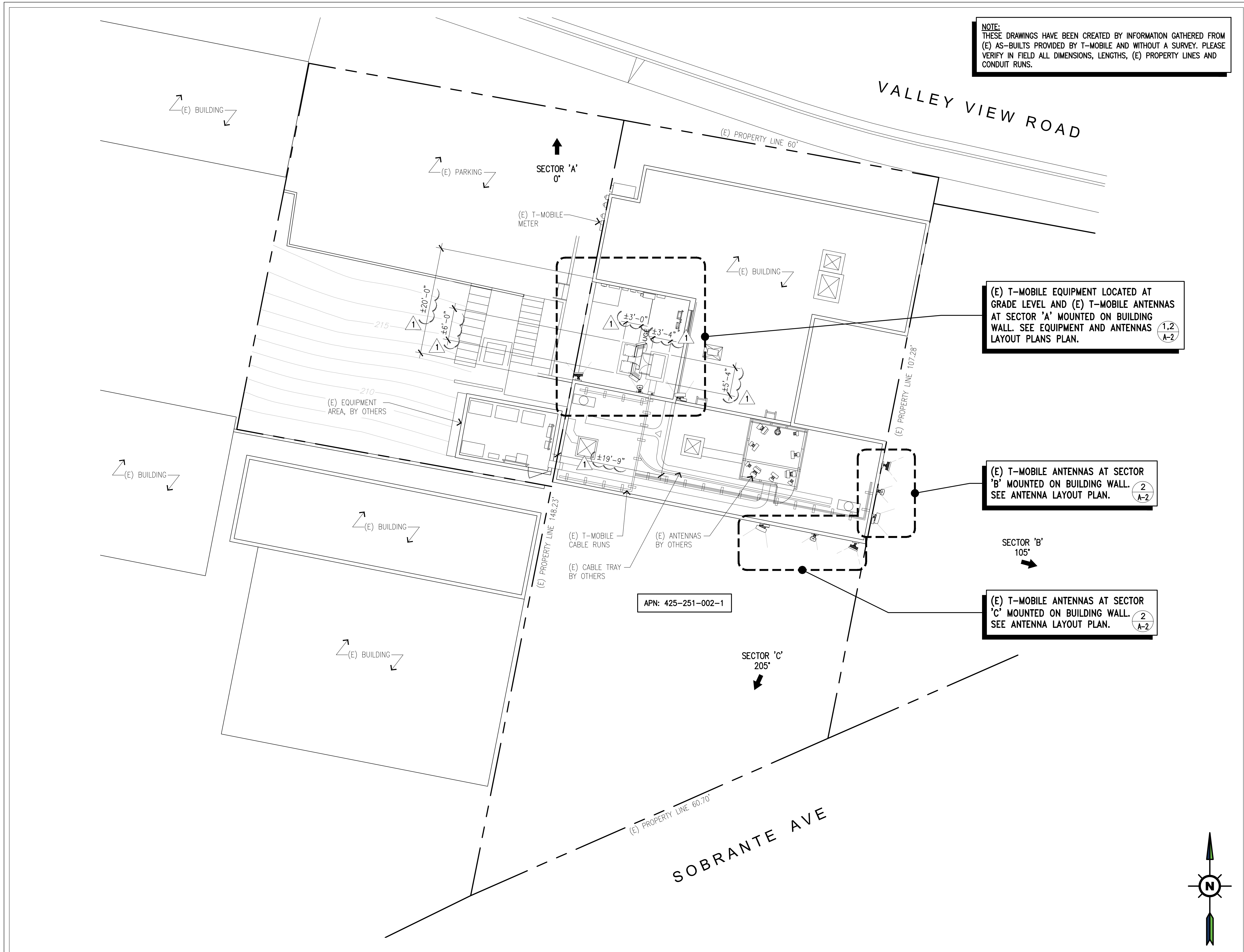
GHB	IC	IC
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LICENSURE:

SHEET TITLE:  
**EXISTING OVERALL SITE PLAN**

SHEET NUMBER: REVISION:

<b>A-1</b>	<b>1</b>
	BA01311A



EXISTING OVERALL SITE PLAN

SCALE: 1/8"=1'-0" 0 2' 5' 10' 15' 1

PROJECT INFORMATION:  
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**PL311 EL SOBRANTE**  
435 VALLEY VIEW RD  
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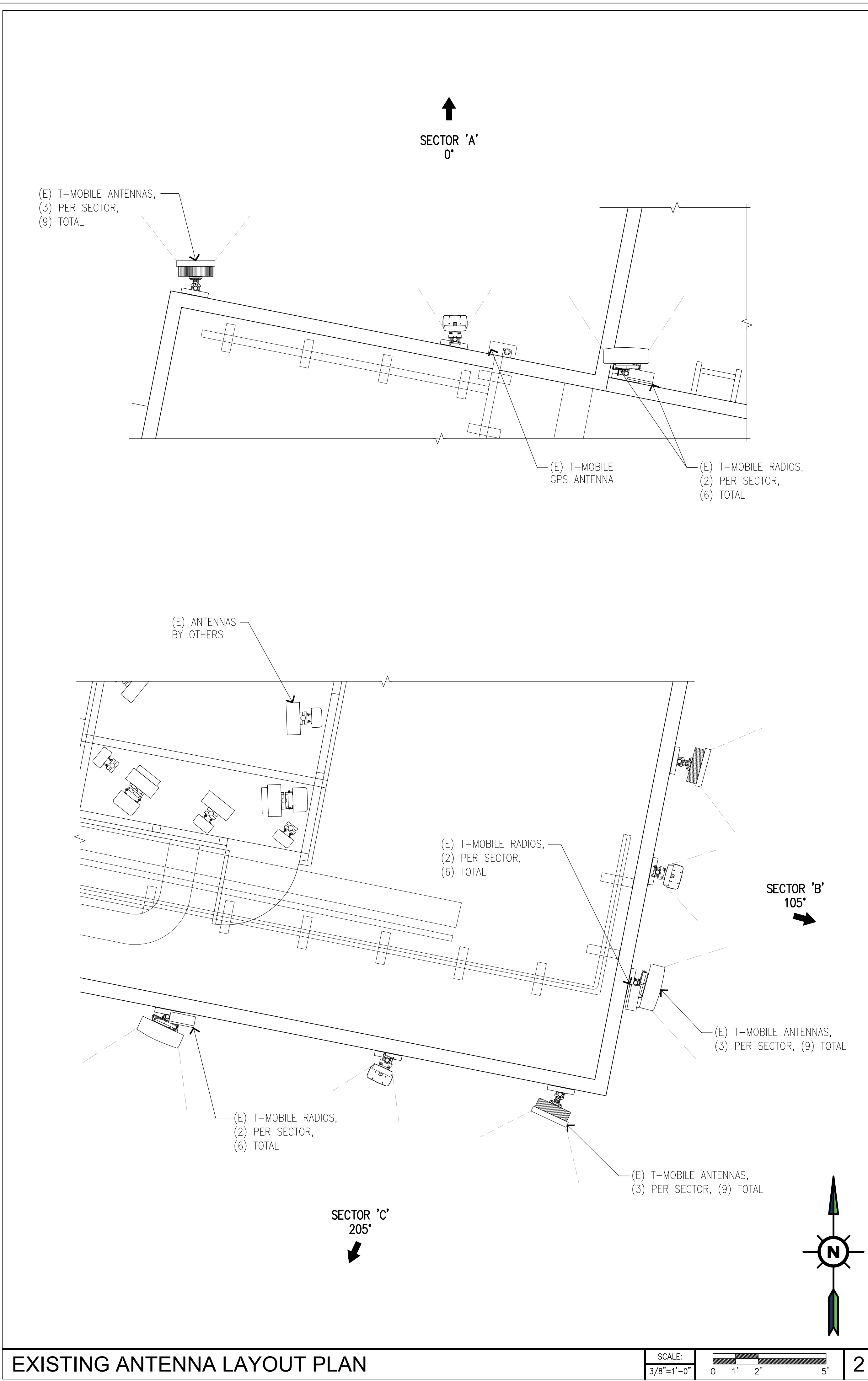
CONSULTANT:  
**NETWORK CONNEX**  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

DRAWN BY: GHB    CHK.: IC    APV.: IC

LICENSURE:

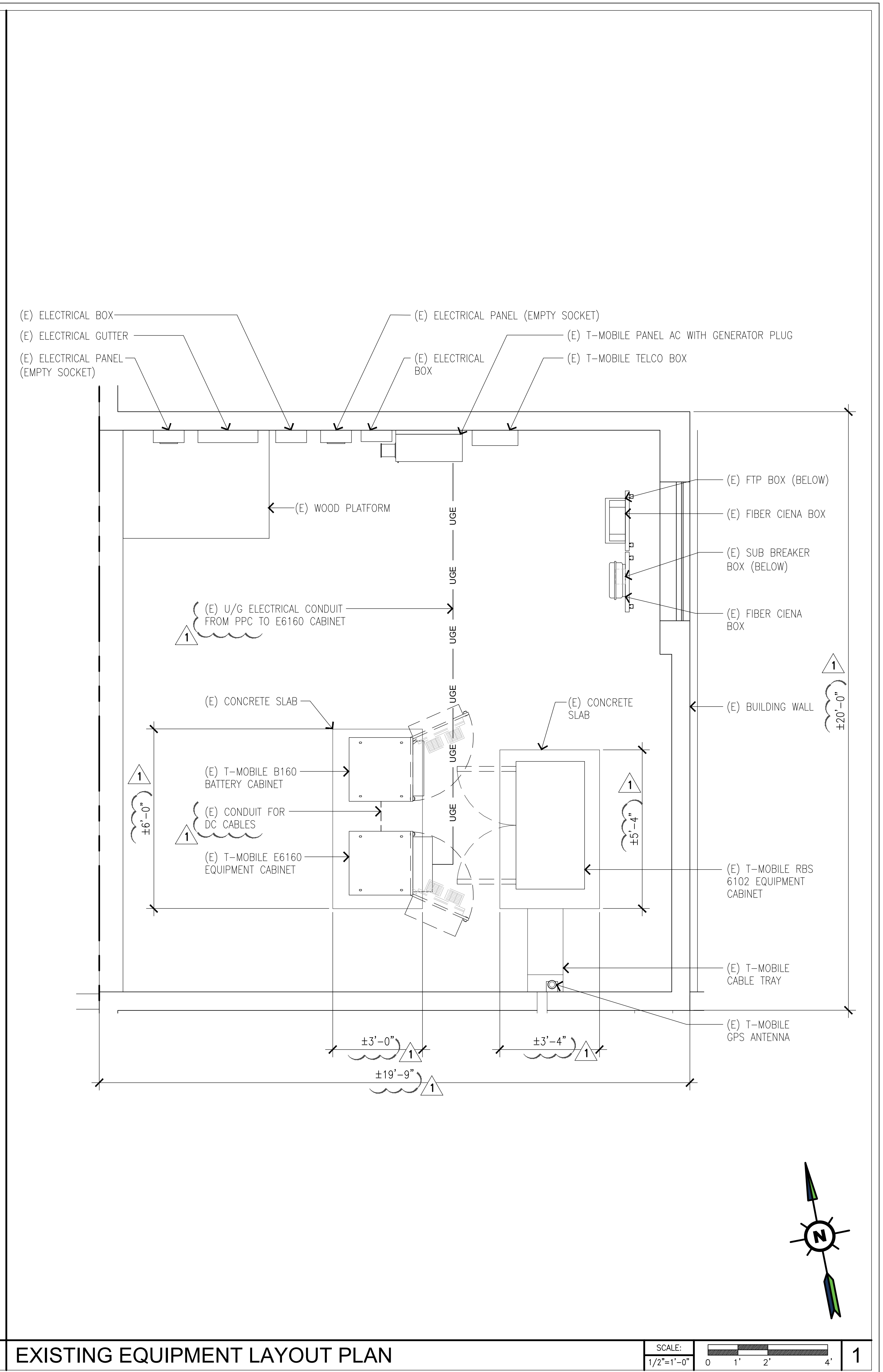
SHEET TITLE:  
**EXISTING EQUIPMENT AND ANTENNA LAYOUT PLANS**

SHEET NUMBER: **A-2**    REVISION: **1**  
BA01311A



EXISTING ANTENNA LAYOUT PLAN

SCALE: 3/8"=1'-0"    0 1' 2' 5'    2



EXISTING EQUIPMENT LAYOUT PLAN

SCALE: 1/2"=1'-0"    0 1' 2' 4'    1

PROJECT INFORMATION:  
(CUP RENEWAL)  
**BA01311A**  
**PL311 EL SOBRANTE**  
435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803  
CONTRA COSTA COUNTY

CURRENT ISSUE DATE:  
01/16/26

ISSUED FOR:  
**ZONING**

REV.	DATE	DESCRIPTION	BY
0	06/17/25	100% ZD	GHB
1	01/16/26	FINAL ZD, REVISED PER CITY COMMENTS	GHB

PLANS PREPARED BY:  
**NETWORK CONNEX**  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

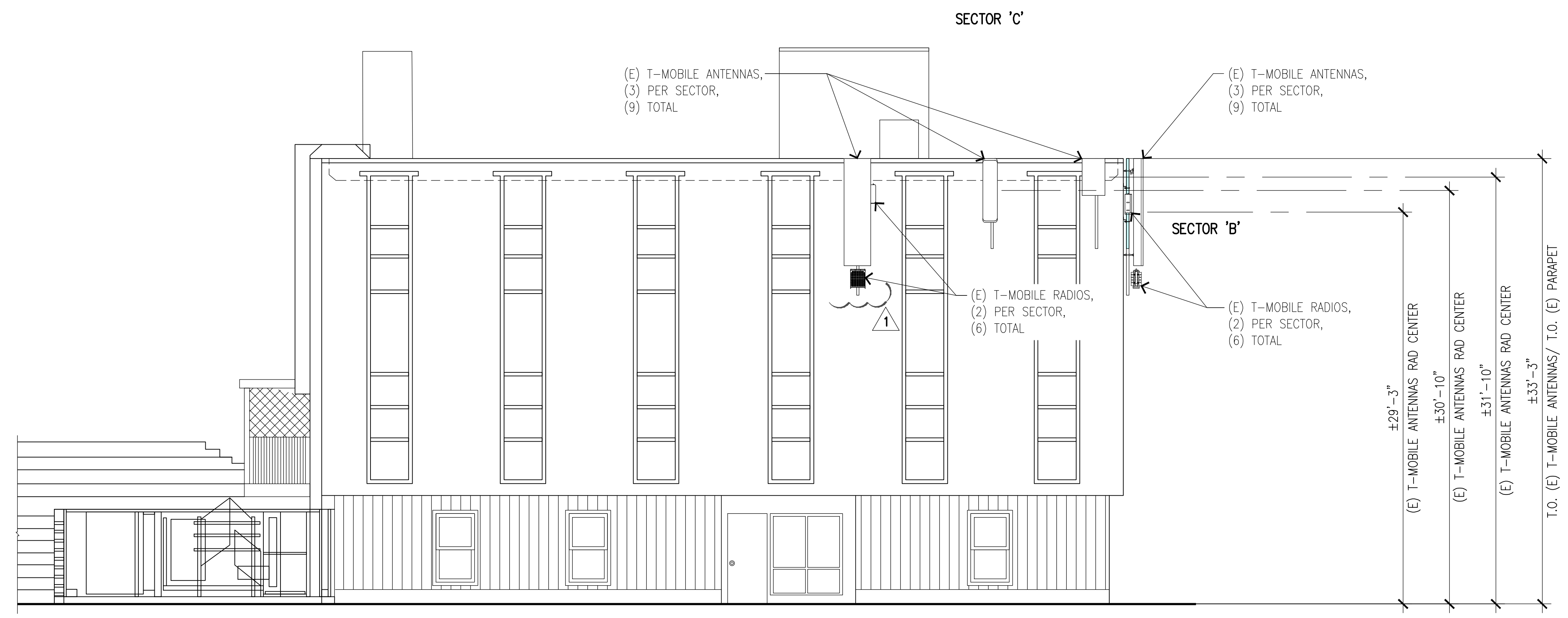
CONSULTANT:  
**NETWORK CONNEX**  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

DRAWN BY: GHB    CHK.: IC    APV.: IC

LICENSURE:

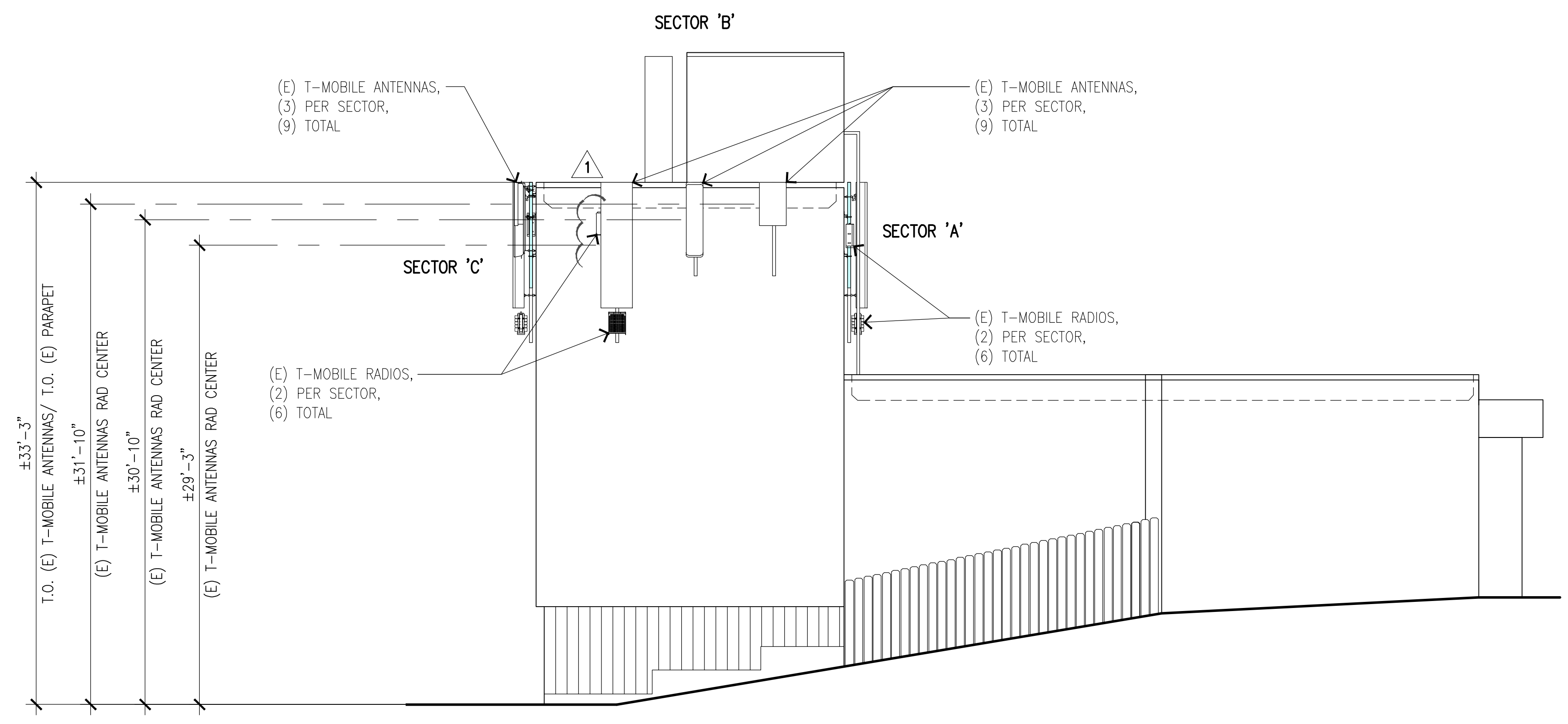
SHEET TITLE:  
**EXISTING ELEVATIONS**

SHEET NUMBER: **A-3**    REVISION: **1**  
BA01311A



EXISTING SOUTH ELEVATION

SCALE: 3/16"=1'-0"  
0' 1' 3' 5' 10'



EXISTING EAST ELEVATION

SCALE: 3/16"=1'-0"  
0' 1' 3' 5' 10'

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CONCORD, CA 94520

PROJECT INFORMATION:  
(CUP RENEWAL)  
**BA01311A**  
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435 VALLEY VIEW RD  
EL SOBRANTE, CA 94803  
CONTRA COSTA COUNTY

CURRENT ISSUE DATE:  
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**ZONING**

REV.:	DATE:	DESCRIPTION:	BY:
0	06/17/25	100% ZD	GHB
1	01/16/26	FINAL ZD, REVISED PER CITY COMMENTS	GHB

PLANS PREPARED BY:  
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655 N. CENTRAL AVE., #1520  
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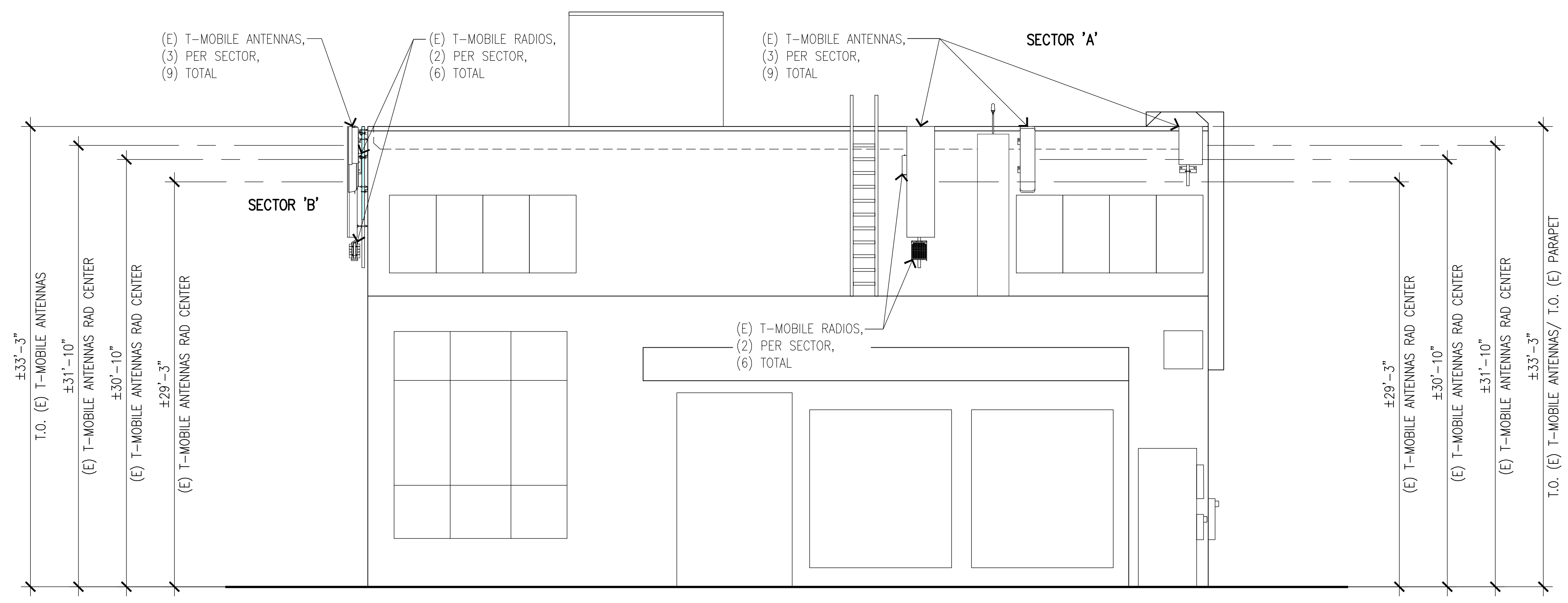
CONSULTANT:  
**NETWORK CONNEX**  
655 N. CENTRAL AVE., #1520  
GLENDALE, CA 91203  
OFFICE: (818) 840-0808 FAX: (818) 840-0708

DRAWN BY:	CHK.:	APV.:
GHB	IC	IC

LICENSURE:

SHEET TITLE:  
**EXISTING ELEVATIONS II**

SHEET NUMBER: **A-4**      REVISION: **1**  
BA01311A



EXISTING NORTH ELEVATION

SCALE: 3/16"=1'-0"      1

NOT USED

2

**From:** [Planning.review](#)  
**To:** [Nai Saephan](#)  
**Cc:** [Cherie Adriano](#); [Planning.review](#)  
**Subject:** CDLP25-02031 - 435 VALLEY VIEW RD, EL SOBRANTE  
**Date:** Tuesday, August 26, 2025 9:55:04 AM  
**Attachments:** [image001.png](#)

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Dear Nai,

EBMUD has no comment on the subject agency request.

Best Regards,  
Amy

Amy Wen | Sr Administrative Clerk  
Water Distribution Planning Division





September 8, 2025

Nai Saephan  
Contra Costa County  
Department of Conservation and Development  
30 Muir Road  
Martinez, CA 94553

**Subject: CDLP25-02031**  
**435 Valley View Road, El Sobrante, CA 94803**  
**APN: 425-251-002**

Dear Nai,

West County Wastewater (WCW) appreciates this opportunity to comment on CDLP25-02031 located at 435 Valley View Road, El Sobrante, California. The applicant is requesting approval of a land use permit to allow for the renewal of an existing T-Mobile Wireless telecommunications facility previously approved under the currently valid (County File CDLP15- 02052 expires: 4/1/2026). No modifications or changes are proposed with this application.

In order to obtain wastewater service, the Applicant must comply with all applicable WCW rules and regulations; including, but not limited to the following:

Once we've received items #1 and #2 from the customer, we will be able to make the determination regarding whether wastewater service can be provided and will provide item #3 to the customer:

1. Provide a plot plan, to scale, showing the following information:
  - a. Site Address
  - b. Assessor's Parcel Number(s) (APNs)
  - c. Easement(s), if applicable



- d. Location(s) of the structure(s) in relation to the parcel(s)
  - e. Location(s) of the parcel(s) in relation to the street(s)
  - f. Location(s) of the sewer lateral(s) and connection(s) to the sewer main(s) if sewer lateral construction is necessary or proposed (construction of a new sewer lateral, modification of an existing sewer lateral, etc.)
  - g. Location(s) of the room(s)/area(s)/drainage fixture units in relation to the structure(s) if modification is necessary or proposed
  - h. North arrow for each plan view
  - i. Sidewalk(s)
  - j. Street name(s)
  - k. Street address(es)
  - l. Full name(s), company name(s) (if applicable), phone number(s) and email address(es) of the property owner as well as all consultants and contractors associated with the work
  - m. Current use vs. proposed use in narrative/written form in the scope of work section
  - n. Current water meter size vs. proposed water meter size in narrative/written form in the scope of work section
2. Submit the plot plan directly to: [permits@wcd.org](mailto:permits@wcd.org) for WCW review and approval.

**[THE REMAINDER OF THIS PAGE IS LEFT INTENTIONALLY BLANK]**



3. Separate fee estimates will be prepared upon the submission of plans meeting the criteria in item #1 (above) and in the manner described in item #2 (above).

**Note:** If WCW has already stamped/approved plans that match the proposed scope of work, no additional plans will be required to be submitted to WCW for approval.

If you have any questions, please contact me at (510) 222-6700, Option 3.

Sincerely,

*Armondo Hodge*

Armondo Hodge

Phone: (510) 222-6700, Option 3

Email: [permits@wccd.org](mailto:permits@wccd.org)

Attachment(s):

1. WCW Schedule of Fees
2. GIS Map

WEST COUNTY WASTEWATER DISTRICT  
 Schedule of User Fees  
 Effective July 1, 2025

<b>Sewer Service Charge Rates</b>			
<b>USER TYPE</b>			
<b>A.) SINGLE FAMILY RESIDENTIAL</b>			
1 Flat Rate		\$	815.00
<b>B.) MULTI- FAMILY RESIDENTIAL</b>			
1 Flat Rate		\$	711.00
<b>C.) MOBILE HOME RESIDENTIAL</b>			
1 Flat rate		\$	711.00
<b>D.) COMMERCIAL DOMESTIC STRENGTH</b>			
1 Flat rate			N/A
2 Min Charge		\$	815.00
3 Flow Charge		\$	8.73
4 BOD Charge			N/A
5 SS Charge			N/A
<b>E.) COMMERCIAL HIGH STRENGTH</b>			
1 Flat rate			N/A
2 Min Charge		\$	815.00
3 Flow Charge		\$	14.70
4 BOD Charge			N/A
5 SS Charge			N/A
<b>F.) INDUSTRIAL</b>			
1 Flat rate			N/A
2 Min Charge		\$	815.00
3 Flow Charge		\$	5.61
4 BOD Charge		\$	0.58
5 SS Charge		\$	0.68
<b>ANNEXATION FEES</b>			
Annexation Fees (1-10 Parcels)		\$	5,801.00
Annexation Fees Greater than 10		\$	11,601.00
<b>PLAN APPROVAL AND SEWER PERMITS- BUILDING CONSTRUCTION</b>			
<b>USER TYPE</b>			
<b>A.) SINGLE FAMILY RESIDENTIAL</b>			
1 Plan Approval	(Per Building)	\$	387.00
2 Permit		\$	387.00
3 Additional Inspection		\$	193.00
<b>B.) MULTI FAMILY, TRAILER COURTS, GUEST DWELLINGS, CONDOMINIUMS</b>			
1 Plan Approval	(Per Building)	\$	1,547.00
2 Permit		\$	773.00
3 Additional Inspection		\$	193.00
<b>C.) SCHOOL BUILDINGS OR CHURCHES</b>			
1 Plan Approval	(Per Building)	\$	1,547.00
2 Permit		\$	1,934.00
3 Additional Inspection		\$	193.00
<b>D.) COMMERCIAL INSTALLATIONS</b>			
1 Plan Approval	(Per Building)	\$	1,547.00
2 Permit		\$	773.00
3 Additional Inspection		\$	193.00
<b>E.) INDUSTRIAL INSTALLATIONS</b>			
1 Contributing Domestic Flow Only - Plan Approval		\$	1,547.00
2 Contributing Domestic Flow Only - Permit		\$	387.00
3 Contributing Industrial Waste - Plan Approval		\$	2,320.00
4 Contributing Industrial Waste - Permit		\$	387.00
5 Additional Inspection		\$	193.00

**WEST COUNTY WASTEWATER DISTRICT**  
**Schedule of User Fees**  
Effective July 1, 2025

<b>F.) MISCELLANEOUS INSTALLATIONS</b>		
1 Plan Approval	\$	387.00
2 Permit	\$	387.00
3 Additional Inspection	\$	193.00
<b>G.) CLEANOUT, CHECK VALVE, OR BACKWATER OVERFLOW DEVICE INSTALLATION</b>		
1 Permit	\$	387.00
2 Additional Inspection	\$	193.00
<b>H.) MINOR REPAIRS, ALTERATIONS AND DEMOLITION</b>		
1 Plan Approval	\$	387.00
2 Permit	\$	387.00
3 Additional Inspection	\$	193.00
<b>TENTATIVE MAP REVIEW (Based on the number of parcels in the Subdivision)</b>		
1 20 lots and Under	\$	1,934.00
2 21 + lots	\$	3,094.00
<b>SEWER MAIN CONSTRUCTION PERMIT FEES</b>		
1 Permit - District Maintained (per 1,500 l.f. or fraction thereof)	\$	7,734.00
2 Permit - Privately Maintained (per 1,000 l.f. or fraction thereof)	\$	5,801.00
3 Per Manhole (applies to all SME projects):Manhole Cover	Actual Costs	
4 Per Manhole (applies to all SME projects): Installation and Inspection	\$	387.00
5 Per Manhole (applies to all SME projects): Pump Inspection for Installation or Modification	\$	773.00
6 Per Manhole (applies to all SME projects): Additional Inspection	\$	193.00
<b>OTHER FEES</b>		
1 Sphere of Influence Adjustment	\$	1,934.00
2 Video Inspection Review	\$	290.00
<b>CAPACITY CHARGES</b>		
<b>A.) Single Family Residential</b>		
1 Water meter size: 5/8"	\$	2,381.00
2 Water meter size: 3/4"	\$	3,572.00
3 Water meter size: 1"	\$	5,953.00
4 Water meter size: 1.5"	\$	11,905.00
5 Water meter size: 2"	\$	19,048.00
6 Meters above 2" are individually assessed		
<b>B.) Multi Family per unit</b>		
	\$	2,381.00
<b>C.) Commercial Domestic Strength</b>		
1 Water meter size: 5/8"	\$	2,344.00
2 Water meter size: 3/4"	\$	3,517.00
3 Water meter size: 1"	\$	5,861.00
4 Water meter size: 1.5"	\$	11,722.00
5 Water meter size: 2"	\$	18,755.00
6 Meters above 2" are individually assessed		
<b>D.) Commercial High Strength</b>		
1 Water meter size: 5/8"	\$	5,506.00
2 Water meter size: 3/4"	\$	8,259.00
3 Water meter size: 1"	\$	13,756.00
4 Water meter size: 1.5"	\$	27,531.00
5 Water meter size: 2"	\$	44,049.00
6 Meters above 2" are individually assessed		
<b>ENVIRONMENTAL COMPLIANCE INSPECTIONS</b>		
Business Type		
1 Class 1: Food Service Establishment With Grease Control Device	\$	309.00
2 Class 2: Food Service Establishment Without Grease Control Device	\$	464.00
3 Dental Facility Inspection (Per Inspection)	\$	309.00
Dental Facility Compliance Report (Per Report)	\$	155.00
4 Vehicle Service Facility Sampling: Labor Costs	\$	550.00
5 Vehicle Service Facility Sampling: Laboratory Costs (Per Sample Event) Per Sample Event	Actual Costs	
6 Permit Application Review and Initial Inspection: New Facility	\$	5,567.00
7 Permit Application Review and Initial Inspection: Existing Facility	\$	3,712.00

**WEST COUNTY WASTEWATER DISTRICT**  
**Schedule of User Fees**  
 Effective July 1, 2025

8 Permit Application Review and Issuance: Class 1: Categorical Industrial Users	\$	2,784.00
9 Permit Application Review and Issuance: Class 2: Significant Industrial Users	\$	2,784.00
10 Permit Application Review and Issuance: Class 3: Non-Significant Industrial Users (including zero discharge CIU's)	\$	1,237.00
11 Permit Application Review and Issuance: Class 4: Other Industrial Users	\$	1,546.00
12 Permit Application Review and Issuance: Class 5: Trucked Waste Haulers	\$	619.00
13 Permit Amendment	\$	619.00
14 Permit Application Review and Renewal: Class 1: Categorical Industrial Users	\$	773.00
15 Permit Application Review and Renewal: Class 2: Significant Industrial Users Permit Application Review and Renewal: Class 3: Non-Significant Industrial Users (including zero discharge CIU's)	\$	464.00
16 Permit Application Review and Renewal: Class 4: Other Industrial Users	\$	309.00
17 Permit Application Review and Renewal: Class 5: Trucked Waste Haulers	\$	464.00
18 Routine Inspection: Class 1: Categorical Industrial Users	\$	1,856.00
20 Routine Inspection: Class 2: Significant Industrial Users	\$	1,546.00
21 Routine Inspection: Class 3: Other Industrial Users	\$	1,237.00
22 Routine Inspection: Routine Follow-Up Inspection	\$	619.00
23 Enforcement Follow-Up Inspection: Class 1: Categorical Industrial Users	\$	928.00
24 Enforcement Follow-Up Inspection: Class 2: Significant Industrial Users	\$	928.00
25 Enforcement Follow-Up Inspection: Class 3: Other Industrial Users	\$	619.00
26 Enforcement Follow-Up Sample: Composite Sample: Labor Costs	\$	1,856.00
27 Enforcement Follow-Up Sample: Composite Sample: Laboratory Costs (Per Sample Event) (Per Sample Event)	Actual Costs	
28 Enforcement Follow-Up Sample: Grab Sample: Labor Costs	\$	928.00
29 Enforcement Follow-Up Sample: Grab Sample: Laboratory Costs (Per Sample Event) (Per Sample Event)	Actual Costs	
30 Violation Notice: Verbal (Per Enforcement Action)	\$	155.00
31 Violation Notice: Formal (Per Enforcement Action)	\$	309.00
32 Sampling: Class 1: Categorical Industrial Users: Labor Costs	\$	3,712.00
33 Sampling: Class 1: Categorical Industrial Users: Laboratory Costs (Per Sample Event)	Actual Costs	
34 Sampling: Class 2: Significant Industrial Users: Labor Costs	\$	2,784.00
35 Sampling: Class 2: Significant Industrial Users: Laboratory Costs (Per Sample Event)	Actual Costs	
36 Sampling: Class 3: Other Industrial Users: Labor Costs	\$	2,784.00
37 Sampling: Class 3: Other Industrial Users: Laboratory Costs (Per Sample Event)	Actual Costs	
38 Compliance Meeting	\$	1,237.00
39 Show Cause Hearing	Actual Costs	

**TEMPORARY DISCHARGE PERMIT & OTHER FEES**

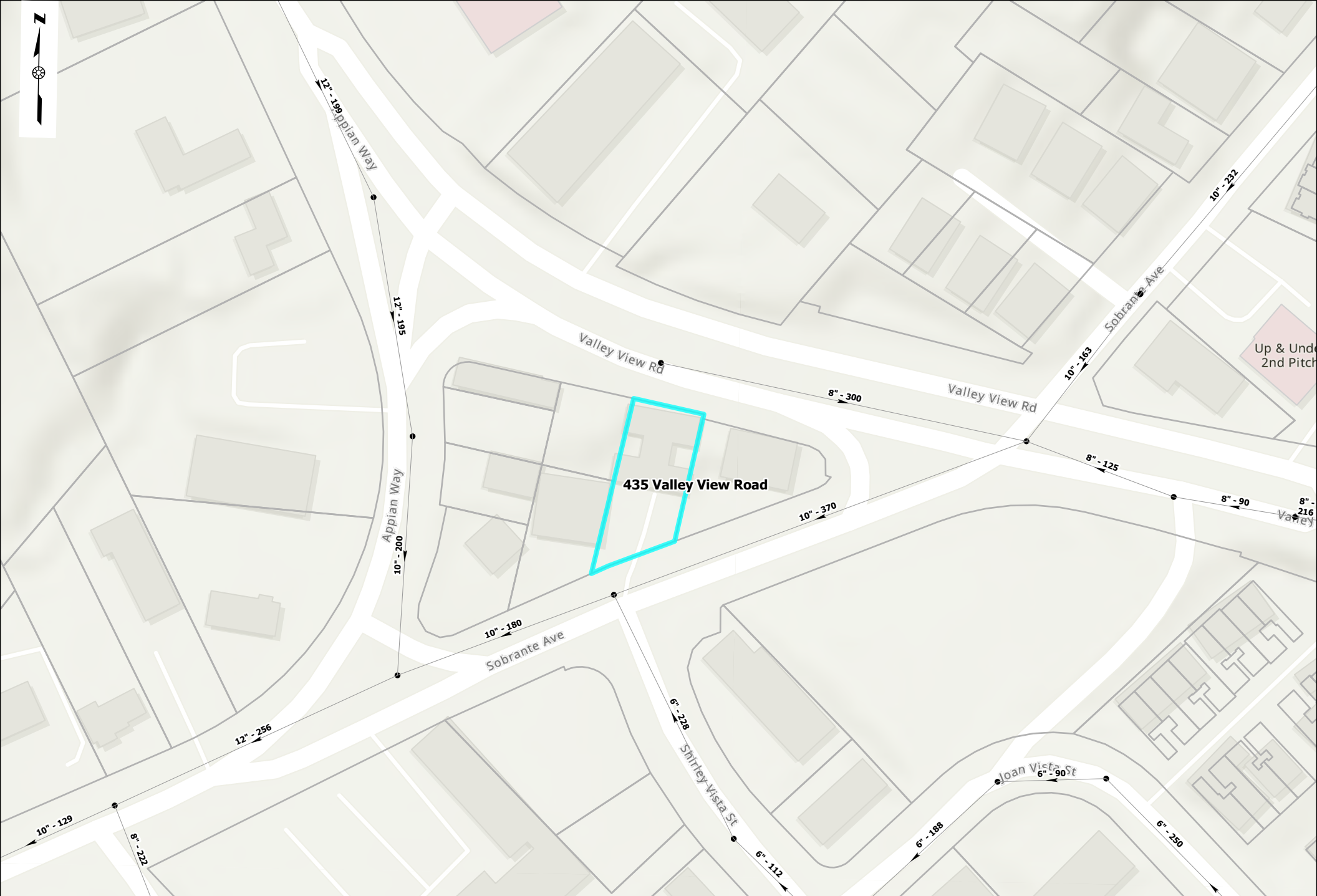
Temporary Discharge Permit	\$	773.00
Dishonored Check Fee (First)	\$	25.00
Dishonored Check Fee (Each Additional)	\$	35.00
Agreement (Per agreement)	\$	5,801.00
Collection Fee	\$	1,160.00
Variances (Per Application)	\$	9,668.00
Credit Card Processing Fee	Actual Costs (-3.5%)	
Sewer GIS Map Request	\$	2,900.00
For Services Otherwise Not Listed: Environmental Programs Staff	\$	309.00
For Services Otherwise Not Listed: Planning and Support Services Staff	\$	387.00

**Note:**

**AUTHORITY:** FEES AND CHARGES ORDINANCE OF WEST COUNTY WASTEWATER DISTRICT 4.10, 4.20, 4.25 of WCW ordinance

**See Title 4 Fees & Charges:** <https://www.codepublishing.com/CA/WCWD/#!/westcowastewater04/westcowastewater0410.html#4.10>

The District shall refund sewer services fees or capacity charges only as provided in the District's Fees and Charges Ordinance.



- Sewer Gravity Main
- Sewer Force Main
- Sewer Main Reference
- Sewer Manhole Reference
- Cleanout
- Lamp Hole
- Manholes
- Easement
- Parcels
- WCW Boundary

Prepared By: Mohammad Ghoury  
 Date Exported: 9/8/2025

Scale  
  
 0 45 90 Feet

### 435 Valley View Road / El Sobrante / 94803 / APN: 425-251-002

This West County Wastewater ("WCW") Geographic Information System ("GIS") data was created for WCW use only and was not created for nor intended to be used by third parties. WCW is furnishing the attached GIS data, including any shapefiles, pursuant to the California Public Records Act, and expressly disclaims the accuracy of the data or its fitness for any particular purpose.



**From:** [Thomas Lang](#)  
**To:** [Nai Saephan](#)  
**Cc:** [Ronnie Mills](#)  
**Subject:** CCLP25-02031  
**Date:** Monday, September 22, 2025 3:51:30 PM

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**This Message Is From an External Sender**

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[Report Suspicious](#)

The El Sobrante Municipal Advisory Council reviewed the above referenced item at its October meeting. There were no objections or comments.

Thomas Lang, ESMAC Chair



## AGENCY COMMENT REQUEST

Date 08/25/2025

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input checked="" type="checkbox"/> Building Inspection            Advance Planning            Trans. Planning            ALUC Staff            County Geologist         </td> <td style="width: 50%; vertical-align: top;">           Grading Inspection            Housing Programs  <input checked="" type="checkbox"/> Telecom Planner            HCP/NCCP Staff         </td> </tr> </table> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Environmental Health</td> <td style="width: 50%;">Hazardous Materials</td> </tr> </table> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Engineering Services</td> <td style="width: 50%;">Special Districts</td> </tr> <tr> <td colspan="2">Traffic</td> </tr> <tr> <td colspan="2">Flood Control (Full-size)</td> </tr> </table> <p><u>LOCAL</u></p> <div style="border: 2px solid red; padding: 5px; margin-bottom: 5px;"> <input checked="" type="checkbox"/> Fire District _____  <div style="margin-left: 20px;">San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a></div> <input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfpd.org">fire@cccfpd.org</a> </div> <input checked="" type="checkbox"/> Sanitary District <u>wesst county wastewater</u> <input checked="" type="checkbox"/> Water District <u>EBMUD</u> City of _____ School District(s) _____ LAFCO Reclamation District # _____ East Bay Regional Park District Diablo/Discovery Bay/Crockett CSD <input checked="" type="checkbox"/> MAC/TAC <u>El Sobrante</u> Improvement/Community Association <input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)	<input checked="" type="checkbox"/> Building Inspection Advance Planning Trans. Planning ALUC Staff County Geologist	Grading Inspection Housing Programs <input checked="" type="checkbox"/> Telecom Planner HCP/NCCP Staff	Environmental Health	Hazardous Materials	Engineering Services	Special Districts	Traffic		Flood Control (Full-size)		<p><i>Please submit your comments to:</i></p> Project Planner <u>Nai Saephan</u> Phone # <u>925-655-2874</u> E-mail <u>nai.saephan@dcd.cccounty.us</u> County File # <u>CDLP25-02031</u> Prior to <u>09/24/2025</u> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">Landslide</td> <td style="width: 50%;">Active Fault Zone (A-P)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Liquefaction</td> <td>Flood Hazard Area</td> </tr> <tr> <td><input checked="" type="checkbox"/> 60-dBA Noise Control</td> <td></td> </tr> <tr> <td colspan="2">CA EPA Hazardous Waste Site</td> </tr> <tr> <td colspan="2">High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">*****</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input checked="" type="checkbox"/> None      <input type="checkbox"/> Below      <input type="checkbox"/> Attached</p>  <p>Print Name <u>Danielle Thomas</u>   Digitally signed by Danielle Thomas      <u>09/22/2025</u></p> <hr/> <p>Signature _____ DATE _____</p> <p>Agency phone # <u>925-941-3300</u></p>	Landslide	Active Fault Zone (A-P)	<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area	<input checked="" type="checkbox"/> 60-dBA Noise Control		CA EPA Hazardous Waste Site		High or Very High FHSZ	
<input checked="" type="checkbox"/> Building Inspection Advance Planning Trans. Planning ALUC Staff County Geologist	Grading Inspection Housing Programs <input checked="" type="checkbox"/> Telecom Planner HCP/NCCP Staff																				
Environmental Health	Hazardous Materials																				
Engineering Services	Special Districts																				
Traffic																					
Flood Control (Full-size)																					
Landslide	Active Fault Zone (A-P)																				
<input checked="" type="checkbox"/> Liquefaction	Flood Hazard Area																				
<input checked="" type="checkbox"/> 60-dBA Noise Control																					
CA EPA Hazardous Waste Site																					
High or Very High FHSZ																					
<p><u>OTHERS/NON-LOCAL</u></p> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a> ) CA Fish and Wildlife, Region 3 – Bay Delta Native American Tribes <p><u>ADDITIONAL RECIPIENTS</u></p> <hr/> <hr/>																					

**Construction Form**

**Project:**

**Site ID:** BA01311A

**Date:** 08/01/2025

Candidate Name:	PL311 El Sobrante - A
Site Type:	Building
Structure Type:	Rooftop Structure
Latitude:	37.97762800
Longitude:	-122.29458800
Street Address:	435 VALLEY VIEW RD
City/State/Zip:	El Sobrante,CA,94803
Access:	24 hours access. Site is on the red building named with door number 5161. When facing the building, the BTS is on the left hand side ground level. Walk into the left side of the building and watch for a black painted walkway. Go underneath the walkway to the BTS New set of keys to access roof and mpoe was obtained from LL and is avaiilable at NorthBay on call box in Bisso Ln. Pre-arrange to get the key from FOPS KEYS ARE ONLY REQUIRED FOR ROOF ACCESS..keys at Gateway Bldg

<b>Site Visit By:</b>	Stefanie Godfrey
<b>Configuration:</b>	
<b>Safety Issues:</b>	No
<b>Quality Issues:</b>	No
<b>General Site Visit Notes:</b>	4 hours access. Site is on the red building named with door number 5161

**RECEIVED** on 12/12/2025 **CDLP25-02031**  
By Contra Costa County  
Department of Conservation and Development

Construction Form



Antenna View



Antenna View

Construction Form



Construction Form



200A

Construction Form



Construction Form



Construction Form



Construction Form



Construction Form



Antenna View

Construction Form



Construction Form



Construction Form



Construction Form



Construction Form



PPC



**Construction Form**



**Breakers**



**Breakers**

Construction Form



Construction Form



6131 Cabinet



Construction Form



**Emon attached to 6160**

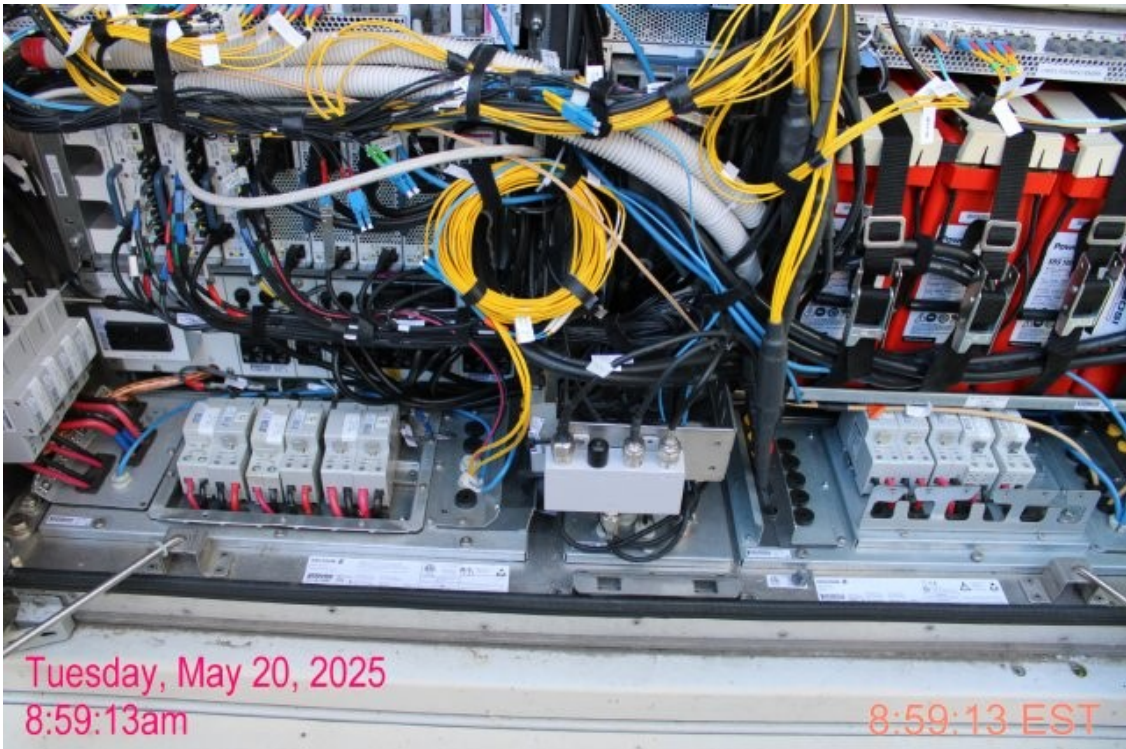
Construction Form



Inside 6131 cabinet



Construction Form



Construction Form



Construction Form



Construction Form

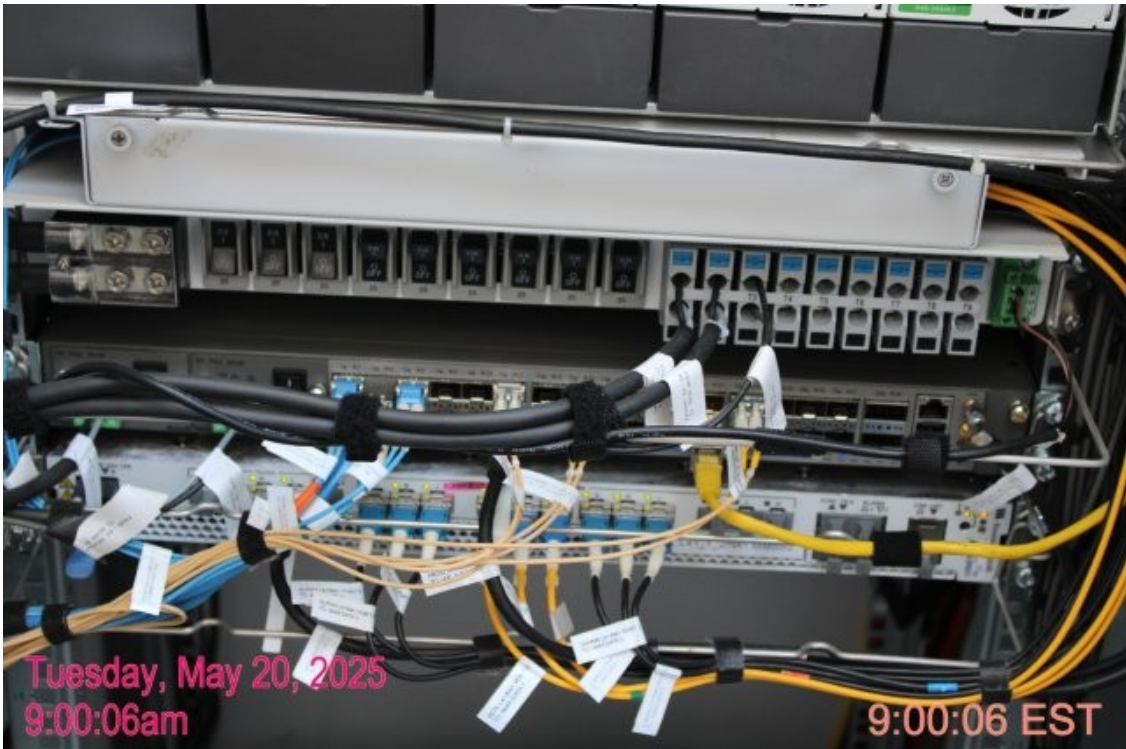


Inside 6160 cabinet

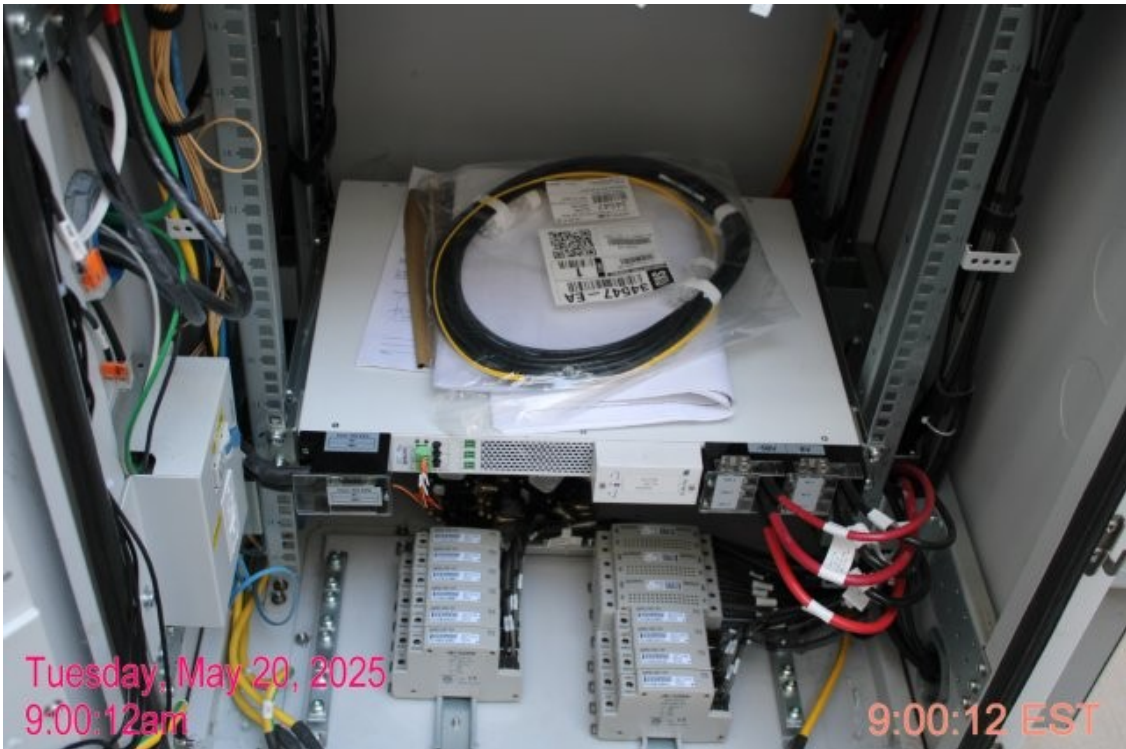
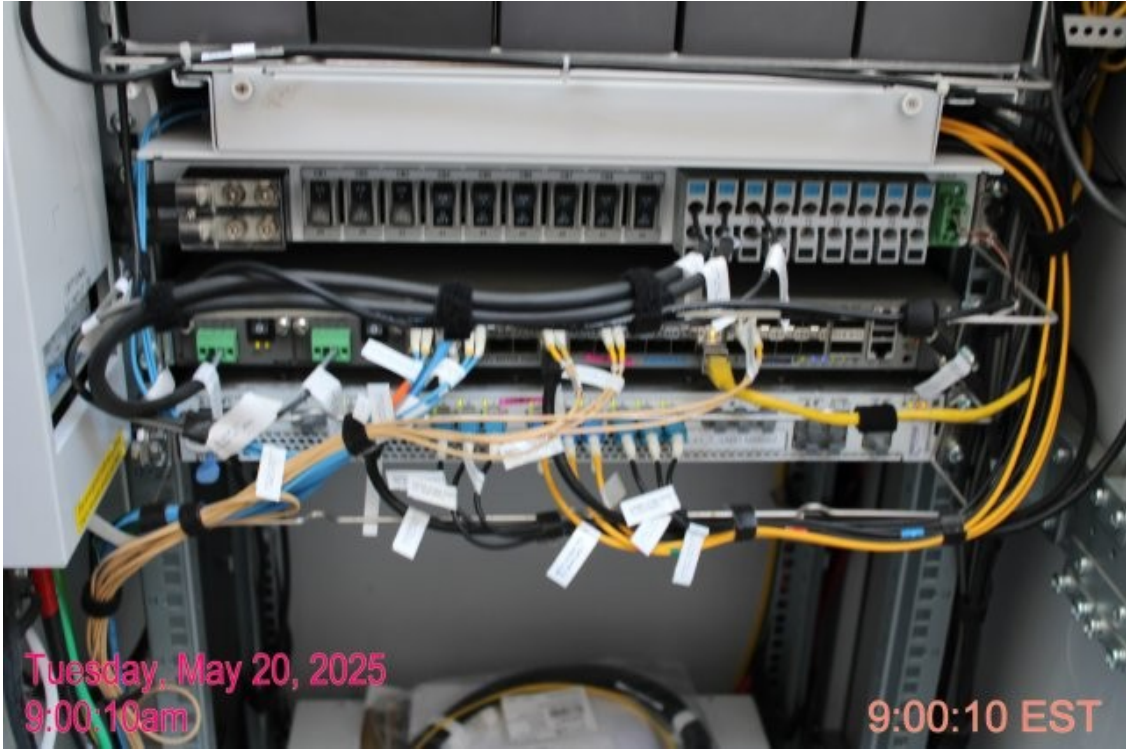
Construction Form



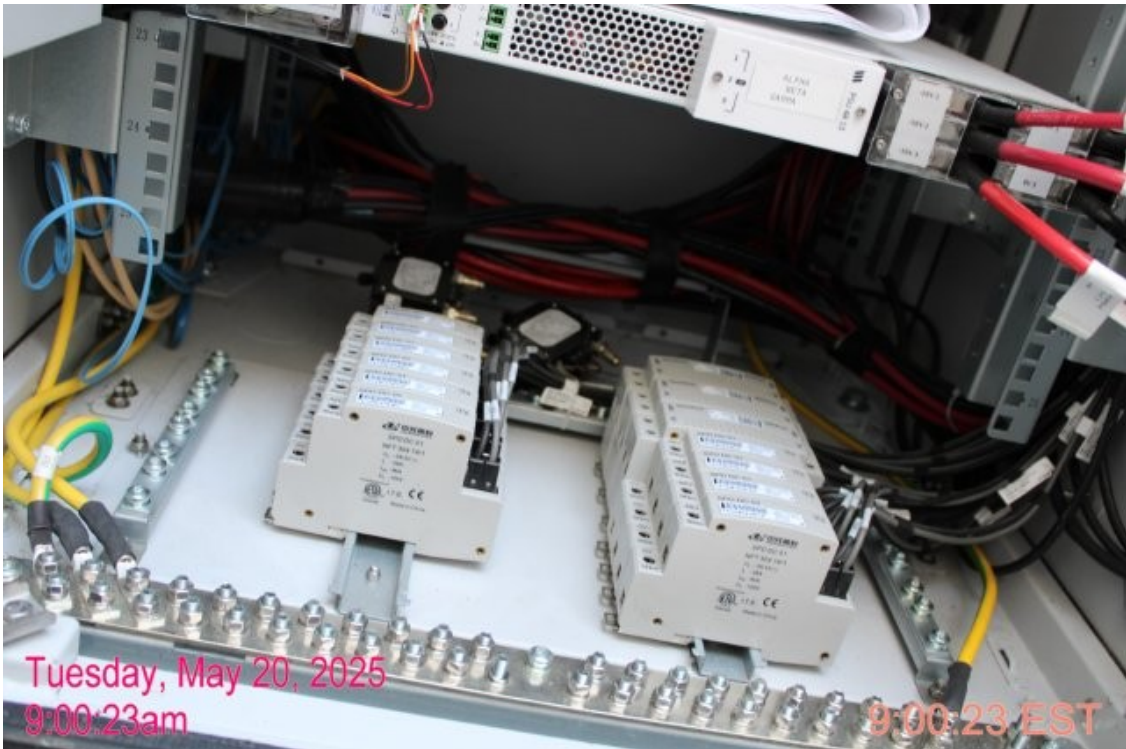
Construction Form



Construction Form

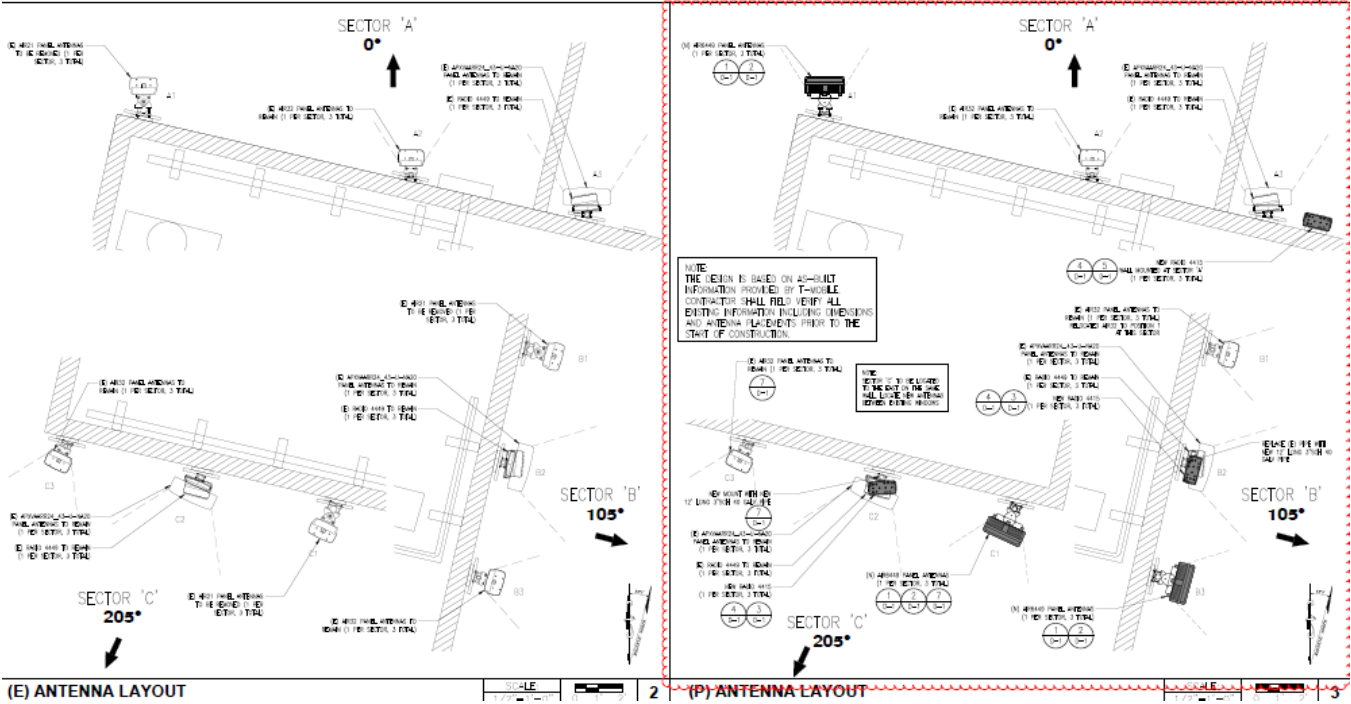


Construction Form

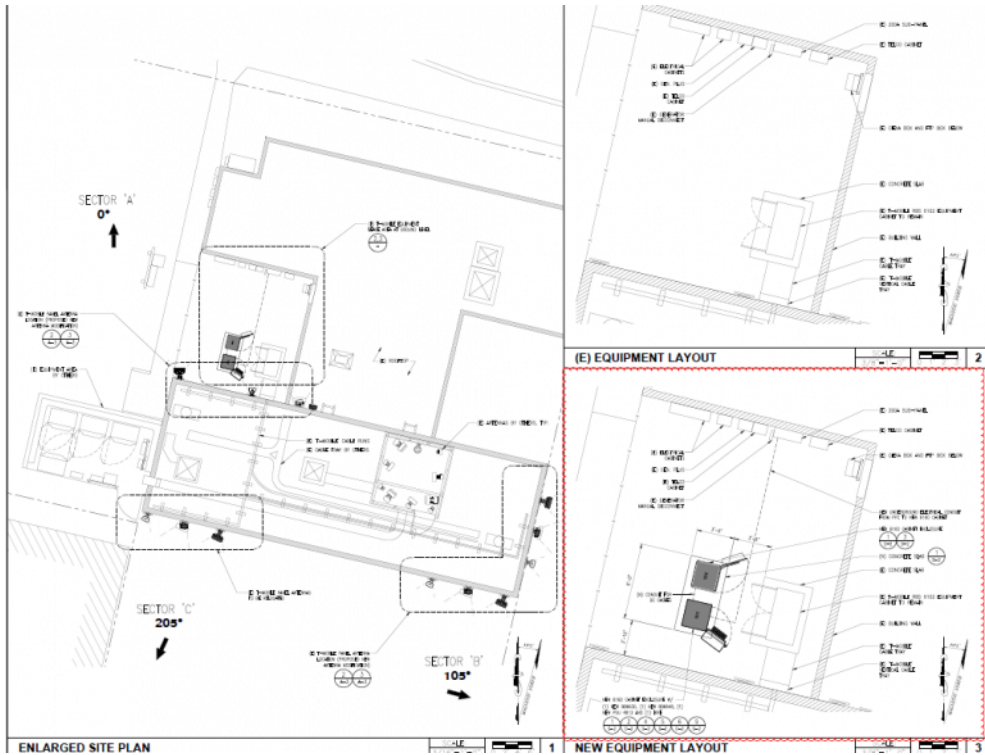


**Construction Form**

**ANTENNA SCHEDULE**



**Site Sketch**



**Site Sketch**

# Radio Frequency – Electromagnetic Energy (RF-EME) Compliance Report (Anchor)

## T-Mobile Proposed Facility

Site ID: BA01311A

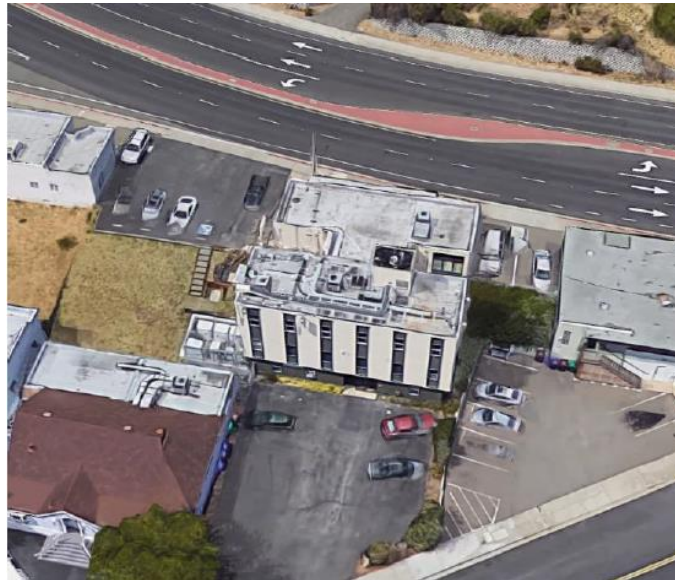
PL311 El Sobrante

435 Valley View Road, El Sobrante, California 94803

**October 25, 2021**

EBI Project Number:

6220006196



**Status:**

**The proposed site will be compliant with the installation of the mitigation measures described in Attachment I.**

**Remarks:** See signage plan for mitigation measures to be installed upon upgrade/installation of the site to comply with FCC and T-Mobile standards.

Prepared by:



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## **I.0 Executive Summary**

EnviroBusiness Inc. (dba EBI Consulting) has been contracted by T-Mobile to conduct radio frequency electromagnetic (RF-EME) modeling for T-Mobile Site BA01311A located at 435 Valley View Road in El Sobrante, California to determine RF-EME exposure levels from proposed T-Mobile wireless communications equipment at this site. As described in detail in Appendix B of this report, the Federal Communications Commission (FCC) has developed Maximum Permissible Exposure (MPE) Limits for general public exposures and occupational exposures. This report summarizes the results of RF-EME modeling in relation to relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields. This report contains a detailed summary of the RF EME analysis for the site.

This document addresses the compliance of T-Mobile's proposed transmitting facilities independently and in relation to all existing collocated facilities at the site.

The Maximum Composite Emissions Value is 5096.0700% of the FCC's general public limit (1019.2140% of the FCC's occupational limit) at the main roof level. The proposed site will be compliant with Federal regulations regarding (radio frequency) RF Emissions with the installation of the mitigation measures.

At the nearest walking/working surfaces to the T-Mobile antennas on the main roof level, the maximum power density generated by the T-Mobile antennas is approximately 5,039.8800 percent of the FCC's general public limit (1,007.9760 percent of the FCC's occupational limit).

Based on worst-case predictive modeling, the worst-case emitted power density may exceed the FCC's general public limit within approximately 60 feet of T-Mobile's proposed antennas at the main roof level. Modeling also indicates that the worst-case emitted power density may exceed the FCC's occupational limit within approximately 28 feet of T-Mobile's proposed antennas at the main roof level. There are predicted exposures seen within approximately 18 feet in front of the other carrier antennas.

Signage is recommended at the site as presented in Attachment I. Posting of the signage and installation of other markings brings the site into compliance with FCC rules and regulations.

## 2.0 MPE Calculations

Calculations were completed for the proposed T-Mobile Wireless antenna rooftop facility located at 435 Valley View Road in El Sobrante, California using the equipment information listed below. All calculations were performed per the specifications under FCC Office of Engineering & Technology (OET) Bulletin 65, "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields" (OET-65). Because of the short wavelength of PCS services, the antennas require line-of-site paths for good propagation and are typically installed a distance above ground level. Antennas are constructed to concentrate energy towards the horizon, with as little energy as possible scattered towards the ground or the sky. This design, combined with the low power of PCS facilities, generally results in no possibility for exposure to approach Maximum Permissible Exposure (MPE) levels, with the exception of areas in the immediate vicinity of the antennas.

In accordance with T-Mobile's RF Exposure policy, EBI performed theoretical modeling using RoofMaster™ software to estimate the worst-case power density at the site rooftop and ground-level resulting from operation of the antennas. Using the computational methods set forth in OET-65, RoofMaster™ calculates power density in a scalable grid based on the contributions of all RF sources characterized in the study scenario. At each grid location, the cumulative power density is expressed as a percentage of the FCC limits. Manufacturer antenna pattern data is utilized in these calculations. RoofMaster™ models consist of the Far Field model as specified in OET-65 and an implementation of the OET-65 Cylindrical Model (Sula9). The models utilize several operational specifications for different types of antennas to produce a plot of spatially-averaged power densities that can be expressed as a percentage of the applicable exposure limit.

For this report, EBI utilized antenna and power data provided by T-Mobile and compared the resultant worst-case MPE levels to the FCC's general public/uncontrolled exposure limits outlined in OET Bulletin 65. EBI has performed theoretical worst-case modeling using RoofMaster™ to estimate the maximum potential power density from each proposed antenna based on worst-case assumptions for the number of antennas and power. All radios at the proposed installation were considered to be running at full power and were uncombined in their RF transmission paths per carrier prescribed configuration. Modeling for Ericsson AIR 6449 and AIR 6488 antennas is based on worst-case assumptions that include all beams transmitting simultaneously. This is to ensure that all areas of potential concern are taken into consideration. As such, the results are conservative in nature and reflect potentially higher levels of RF emissions compared to actual on-air conditions. It is recommended that areas of concern be confirmed with onsite measurements once the site is active.

The assumptions used in the modeling are based upon information provided by T-Mobile in the supplied drawings and known configuration information gathered from other sources to approximate each additional carrier's contribution.

Based on drawings and aerial photography review, unknown carrier wireless antennas are also present on the rooftop. These antennas were included in the modeling analysis.

The Maximum Emissions Value for the additional carriers included in the modeling is 794.76% of the FCC general public limit (158.95% of the FCC occupational limit) at the rooftop or ground walking/working surfaces.

The data for all T-Mobile antennas used in this analysis is shown in Section 3.0. Actual antenna gains for each antenna were used per manufacturer's specifications. All calculations were done with respect to the FCC's general public/uncontrolled threshold limits.

Based on information provided by T-Mobile, access to this site is considered uncontrolled. A site visit was not conducted by EBI to confirm controlled, or occupational, access status. Access should be confirmed upon installation of mitigation.

### 3.0 T-Mobile Antenna Inventory

Sector	Antenna Number	Antenna Make	Antenna Model	Centerline Height (ft) Above Nearest Walking Surface	Azimuth (°)	Technology	Frequency Band	Power Per Channel (W)	Number of Channels	ERP (W)
A	1	ERICSSON	SON_AIR6449 2500 LTE TB TMO West	31.8	0	LTE	2500 MHz	90	1	16567
A	1	ERICSSON	SON_AIR6449 2500 NR TB TMO West	31.8	0	NR	2500 MHz	150	1	27612
A	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	0	LTE	2500 MHz	30	1	1611
A	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	0	LTE	2500 MHz	50	1	2685
A	2	Ericsson	AIR_32_KRD901146-1 02DT 2100	30.9	0	LTE	AWS - 2100 MHz	160	1	5484
A	2	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	0	LTE	PCS - 1900 MHz	80	1	2742
A	2	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	0	GSM	PCS - 1900 MHz	40	1	1371
A	3	RFS	APXVAARR24 43-U-NA20 00DT 700	29.3	0	LTE	700 MHz	40	1	725
A	3	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	0	LTE	600 MHz	80	1	1424
A	3	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	0	NR	600 MHz	80	1	1424
A	3	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	0	LTE	PCS - 1900 MHz	80	1	2345
A	3	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	0	UMTS	PCS - 1900 MHz	40	1	1172
B	1	ERICSSON	SON_AIR6449 2500 LTE TB TMO West	31.8	105	LTE	2500 MHz	90	1	16567
B	1	ERICSSON	SON_AIR6449 2500 NR TB TMO West	31.8	105	NR	2500 MHz	150	1	27612
B	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	105	LTE	2500 MHz	30	1	1611
B	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	105	LTE	2500 MHz	50	1	2685
B	2	RFS	APXVAARR24 43-U-NA20 00DT 700	29.3	105	LTE	700 MHz	40	1	725
B	2	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	105	LTE	600 MHz	80	1	1424
B	2	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	105	NR	600 MHz	80	1	1424
B	2	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	105	LTE	PCS - 1900 MHz	80	1	2345
B	2	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	105	UMTS	PCS - 1900 MHz	40	1	1172
B	3	Ericsson	AIR_32_KRD901146-1 02DT 2100	30.9	105	LTE	AWS - 2100 MHz	160	1	5484
B	3	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	105	LTE	PCS - 1900 MHz	80	1	2742
B	3	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	105	GSM	PCS - 1900 MHz	40	1	1371
C	1	ERICSSON	SON_AIR6449 2500 LTE TB TMO West	31.8	205	LTE	2500 MHz	90	1	16567
C	1	ERICSSON	SON_AIR6449 2500 NR TB TMO West	31.8	205	NR	2500 MHz	150	1	27612
C	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	205	LTE	2500 MHz	30	1	1611
C	1	ERICSSON	SON_AIR6449 2500 LTE MACRO	31.8	205	LTE	2500 MHz	50	1	2685
C	2	RFS	APXVAARR24 43-U-NA20 00DT 700	29.3	205	LTE	700 MHz	40	1	725
C	2	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	205	LTE	600 MHz	80	1	1424
C	2	RFS	APXVAARR24 43-U-NA20 00DT 600	29.3	205	NR	600 MHz	80	1	1424
C	2	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	205	LTE	PCS - 1900 MHz	80	1	2345
C	2	RFS	APXVAARR24 43-U-NA20 02DT 1900	29.3	205	UMTS	PCS - 1900 MHz	40	1	1172
C	3	Ericsson	AIR_32_KRD901146-1 02DT 2100	30.9	205	LTE	AWS - 2100 MHz	160	1	5484
C	3	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	205	LTE	PCS - 1900 MHz	80	1	2742
C	3	Ericsson	AIR_32_KRD901146-1 02DT 1900	30.9	205	GSM	PCS - 1900 MHz	40	1	1371

• This table contains an inventory of T-Mobile Antennas and Power Values. Note that EBI uses an assumed set of antenna specifications and powers for unknown and other carrier antennas for modeling purposes as detailed in Section 2.0.

- Based on drawings and aerial photography review, unknown carrier wireless antennas are also present on the rooftop. These antennas were included in the modeling analysis. Information about these antennas is included in the Roofmaster™ Import File (Attachment 2).

## 4.0 Summary and Conclusions

All calculations performed for this analysis yielded results that were above the allowable limits for exposure to RF Emissions. Based on predictive modeling, the worst-case emitted power density may exceed the FCC's general public limit within approximately 60 feet of T-Mobile's proposed antennas at the main roof level. Modeling also indicates that the worst-case emitted power density may exceed the FCC's occupational limit within approximately 28 feet of T-Mobile's proposed antennas at the main roof level. There are predicted exposures seen within approximately 18 feet in front of the other carrier antennas.

Based on drawings and aerial photography review, unknown carrier wireless antennas are also present on the rooftop. These antennas were included in the modeling analysis.

The anticipated maximum contribution from each sector of the proposed T-Mobile facility is 5,039.8800% of the allowable FCC established general public limit (1,007.9760% of the FCC occupational limit). This was determined through calculations along a radial from each sector taking full power values into account as well as actual vertical plane antenna gain values per the manufacturer-supplied specifications for gain.

The anticipated maximum composite MPE value for this site is 5096.07% of the allowable FCC established general public limit (1019.214% of the FCC occupational limit). This is based upon worst-case modeling performed on the main roof level taking emissions contributions from all carriers present into account. This value will determine whether the proposed site will be in compliance with regards to electromagnetic emissions. Based on worst-case predictive modeling, there are no areas at ground level related to the proposed antennas that exceed the FCC's occupational or general public exposure limits at this site. At ground level, the maximum power density generated by the antennas is approximately 48.4000% of the FCC's general public limit (9.6800% of the FCC's occupational limit).

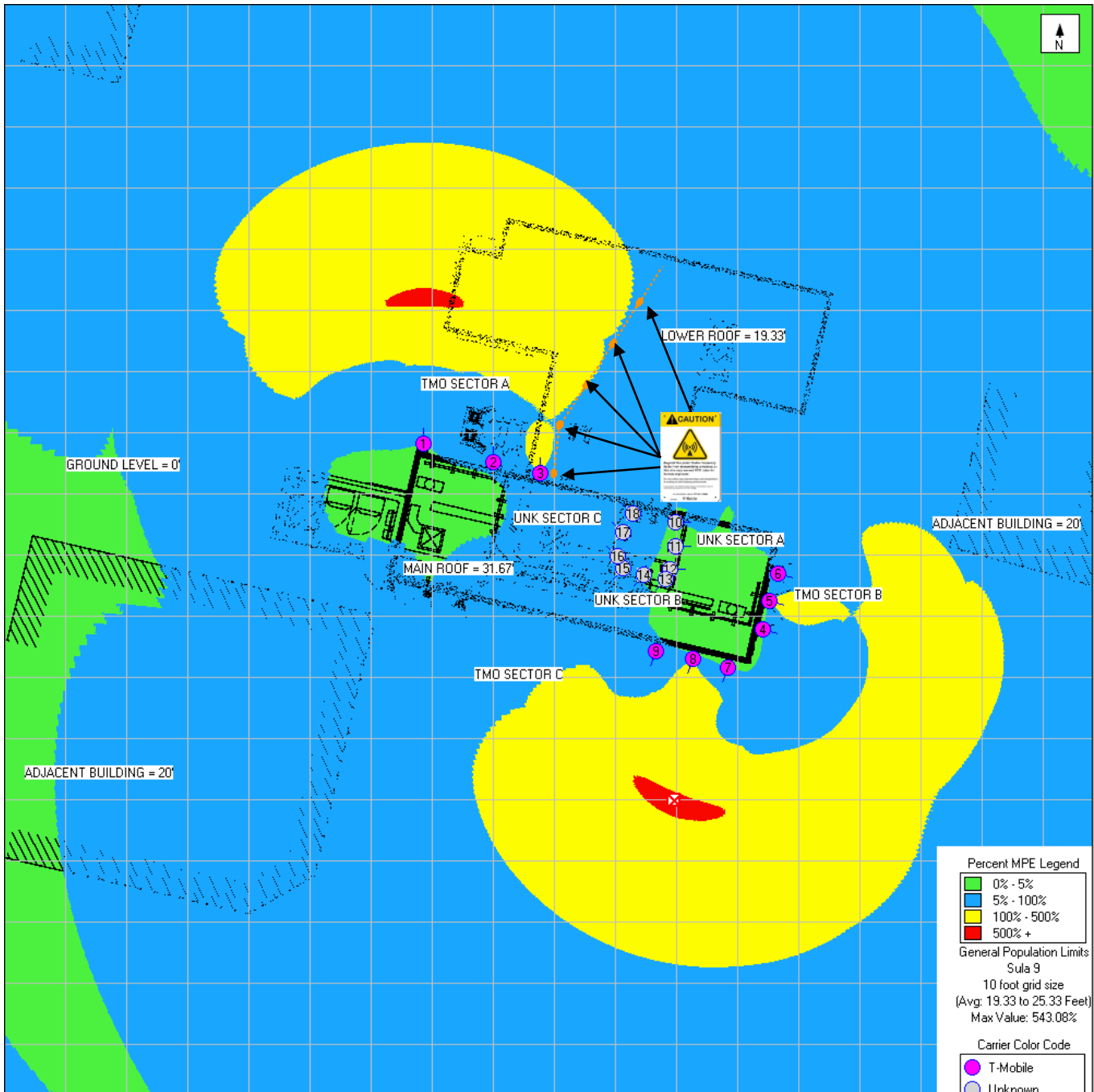
A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards. For this facility, the calculated values were above the allowable 100% threshold standard per the federal government.

EBI's modeling indicates that there are areas in front of the T-Mobile antennas at the rooftop level that exceed the FCC standards for general public and occupational exposure. Based on worst-case predictive modeling, the worst-case emitted power density may exceed the FCC's general public limit within approximately 60 feet of the proposed T-Mobile's antennas at the main roof level. Modeling also indicates that the worst-case emitted power density may exceed the FCC's occupational limit within approximately 28 feet of T-Mobile's Sector B antennas at the main roof level. These fields are into free space over lower walking/working surfaces. In order to alert any workers potentially accessing the site, a blue Notice sign and a yellow Guidelines sign are recommended at the first point(s) of access to the rooftop. To reduce the risk of exposure and/or injury, EBI recommends that access to the rooftop or areas associated with the active antenna installation be restricted and secured where possible. Barriers are recommended in front of the Sectors A antennas at the lower roof level. Yellow Caution signs should be placed on each approaching side of the barrier. Individuals should contact T-Mobile prior to accessing areas within the barrier footprint or any location around the antennas. Caution signage is recommended at the site as presented in the Signage Plan – Attachment I. When Warning signs are required, other

markings such as painted striping, chains, stanchions, or fencing may also be used to identify the perimeter of each Safety Zone.



# Attachment 1b: MPE Analysis and Recommended Signage (Lower Roof Level)








## Post at Roof Access Points



When Warning signs are required, other markings such as painted striping, chains, stanchions, or fencing may also be used to identify the perimeter of each Safety Zone.

# Attachment 1c: MPE Analysis and Recommended Signage (Ground Level)



Sign	Sign Count	Description	Posting Instructions
	Unknown	<b>Blue Notice Sign</b> Used to notify individuals they are entering an area where the power density emitted from transmitting antennas may exceed the FCC's MPE limit for general public exposures.	Securely post in all areas where the power density emitted from transmitting antennas may exceed the FCC's MPE limit for general public exposures. Post as shown in Attachment I at the site in a manner that prominently alerts the general public of RF emissions.
	Unknown	<b>Guidelines</b> Informational sign used to notify workers that there are active antennas installed and provide guidelines for working in RF environments.	Securely post at all access points to the site in a manner conspicuous to all individuals entering thereon.
	5	<b>Yellow Caution Sign</b> Used to notify individuals that they are entering a hot spot where occupational FCC's MPE limit is or could be exceeded.	Securely post near controlled areas where the occupational MPE limit could be exceeded by no more than a factor of ten. Post as shown in Attachment I at the site in a manner that prominently alerts occupational workers and the general public of RF emissions.
	N/A	<b>Orange Warning Sign</b> Used to notify individuals that they are entering a hot zone where occupational FCC's MPE limit has been exceeded by a factor of 10.	Signage not required.
	N/A	<b>Red Danger Sign</b> Used to notify individuals that they are entering a hot zone where the occupational FCC's MPE limit has been exceeded by a factor of 10, where immediate and serious injury will occur on contact.	Signage not required.
Notes:	<p><b>The proposed site will be compliant with the installation of the mitigation measures.</b></p> <p>The actual number of access points may vary based on documentation provided and/or if a survey was conducted. Recommended signage locations, if applicable, are based on T-Mobile's guidance for the worst-case scenario in each sector. The actual signage installation is dependent on accessibility of the facility and antennas. Locations deemed inaccessible due to OSHA safety standards (proximity to unprotected roof edge or slope, etc.) will be compliant upon installation of recommended signage at the closest accessible point.</p>		

## Attachment 2: RoofMaster™ Import File

Carrier	Antenna Number	Emitter Number	Caption	Pattern(.ant)	Frequency	Power (W) ERP/EiRP	Length (m)	Azimuth(n)	Mechanical Downtilt	Height(ft)
T-Mobile	1	1	TMO A1	SON_AIR6449 2500 LTE TB TMO West.ant	2500	27169.79	0.84	0	0	31.8
T-Mobile	1	2	TMO A1	SON_AIR6449 2500 NR TB TMO West.ant	2500	45282.99	0.84	0	0	31.8
T-Mobile	1	3	TMO A1	SON_AIR6449 2500 LTE MACRO.ant	2500	2642.20	0.84	0	0	31.8
T-Mobile	1	4	TMO A1	SON_AIR6449 2500 LTE MACRO.ant	2500	4403.66	0.84	0	0	31.8
T-Mobile	2	1	TMO A2	AIR 32_KRD901146-1 02DT 2100.ant	2100	8994.23	1.44	0	0	30.9
T-Mobile	2	2	TMO A2	AIR 32_KRD901146-1 02DT 1900.ant	1900	4497.11	1.44	0	0	30.9
T-Mobile	2	3	TMO A2	AIR 32_KRD901146-1 02DT 1900.ant	1900	2248.56	1.44	0	0	30.9
T-Mobile	3	1	TMO A3	APXVAARR24 43-U-NA20 00DT 700.ant	700	725.37	2.44	0	0	29.3
T-Mobile	3	2	TMO A3	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	0	0	29.3
T-Mobile	3	3	TMO A3	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	0	0	29.3
T-Mobile	3	4	TMO A3	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	3845.33	2.44	0	0	29.3
T-Mobile	3	5	TMO A3	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	1922.67	2.44	0	0	29.3
T-Mobile	4	1	TMO B1	SON_AIR6449 2500 LTE TB TMO West.ant	2500	27169.79	0.84	105	0	31.8
T-Mobile	4	2	TMO B1	SON_AIR6449 2500 NR TB TMO West.ant	2500	45282.99	0.84	105	0	31.8
T-Mobile	4	3	TMO B1	SON_AIR6449 2500 LTE MACRO.ant	2500	2642.20	0.84	105	0	31.8
T-Mobile	4	4	TMO B1	SON_AIR6449 2500 LTE MACRO.ant	2500	4403.66	0.84	105	0	31.8
T-Mobile	5	1	TMO B2	APXVAARR24 43-U-NA20 00DT 700.ant	700	725.37	2.44	105	0	29.3
T-Mobile	5	2	TMO B2	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	105	0	29.3
T-Mobile	5	3	TMO B2	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	105	0	29.3
T-Mobile	5	4	TMO B2	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	3845.33	2.44	105	0	29.3
T-Mobile	5	5	TMO B2	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	1922.67	2.44	105	0	29.3
T-Mobile	6	1	TMO B3	AIR 32_KRD901146-1 02DT 2100.ant	2100	8994.23	1.44	105	0	30.9
T-Mobile	6	2	TMO B3	AIR 32_KRD901146-1 02DT 1900.ant	1900	4497.11	1.44	105	0	30.9
T-Mobile	6	3	TMO B3	AIR 32_KRD901146-1 02DT 1900.ant	1900	2248.56	1.44	105	0	30.9
T-Mobile	7	1	TMO C1	SON_AIR6449 2500 LTE TB TMO West.ant	2500	27169.79	0.84	205	0	31.8
T-Mobile	7	2	TMO C1	SON_AIR6449 2500 NR TB TMO West.ant	2500	45282.99	0.84	205	0	31.8
T-Mobile	7	3	TMO C1	SON_AIR6449 2500 LTE MACRO.ant	2500	2642.20	0.84	205	0	31.8
T-Mobile	7	4	TMO C1	SON_AIR6449 2500 LTE MACRO.ant	2500	4403.66	0.84	205	0	31.8
T-Mobile	8	1	TMO C2	APXVAARR24 43-U-NA20 00DT 700.ant	700	725.37	2.44	205	0	29.3
T-Mobile	8	2	TMO C2	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	205	0	29.3
T-Mobile	8	3	TMO C2	APXVAARR24 43-U-NA20 00DT 600.ant	600	1424.26	2.44	205	0	29.3
T-Mobile	8	4	TMO C2	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	3845.33	2.44	205	0	29.3
T-Mobile	8	5	TMO C2	APXVAARR24_43-U-NA20 02DT 1900.ant	1900	1922.67	2.44	205	0	29.3
T-Mobile	9	1	TMO C3	AIR 32_KRD901146-1 02DT 2100.ant	2100	8994.23	1.44	205	0	30.9
T-Mobile	9	2	TMO C3	AIR 32_KRD901146-1 02DT 1900.ant	1900	4497.11	1.44	205	0	30.9
T-Mobile	9	3	TMO C3	AIR 32_KRD901146-1 02DT 1900.ant	1900	2248.56	1.44	205	0	30.9
Unknown	10	1	UNK A1	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	90	0	38.0
Unknown	11	1	UNK A2	PANEL 4FT 00DT 1900.ant	1900	4784.58	1.22	90	0	38.0
Unknown	12	1	UNK A3	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	90	0	38.0
Unknown	13	1	UNK B1	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	220	0	38.0
Unknown	14	1	UNK B2	PANEL 4FT 00DT 1900.ant	1900	4784.58	1.22	220	0	38.0
Unknown	15	1	UNK B3	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	220	0	38.0
Unknown	16	1	UNK C1	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	310	0	38.0
Unknown	17	1	UNK C2	PANEL 4FT 00DT 1900.ant	1900	4784.58	1.22	310	0	38.0
Unknown	18	1	UNK C3	PANEL 4FT 00DT 850.ant	850	1419.06	1.22	310	0	38.0


Note that Power (W) ERP/EiRP values are listed respective to the frequency of the antenna. (Values less than 1,000 MHz are listed as ERP and greater than 1,000 MHz are listed as EiRP.)

## **Appendix A: Certifications**

## Preparer Certification

I, Drew Duncklee, state that:

- I am an employee of EnviroBusiness Inc. (d/b/a EBI Consulting), which provides RF-EME safety and compliance services to the wireless communications industry.
- I have successfully completed RF-EME safety training, and I am aware of the potential hazards from RF-EME and would be classified “occupational” under the FCC regulations.
- I am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation.
- I have been trained on RF-EME modeling using RoofMaster™ modeling software.
- I have reviewed the data provided by the client and incorporated it into this Site Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

A rectangular box containing a handwritten signature in black ink. The signature appears to be 'D. Duncklee'.

Reviewed and Approved by:



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sealed 25oct2021

Michael McGuire  
Electrical Engineer  
[mike@h2dc.com](mailto:mike@h2dc.com)

Note that EBI's scope of work is limited to an evaluation of the Radio Frequency – Electromagnetic Energy (RF-EME) field generated by the antennas and broadcast equipment noted in this report. The engineering and design of the building and related structures, as well as the impact of the antennas and broadcast equipment on the structural integrity of the building, are specifically excluded from EBI's scope of work.

## **Appendix B: Federal Communications Commission (FCC) Requirements**

All information used in this report was analyzed as a percentage of current Maximum Permissible Exposure (% MPE) as listed in the FCC OET Bulletin 65 Edition 97-01 and ANSI/IEEE Std C95.1. The FCC regulates Maximum Permissible Exposure in units of microwatts per square centimeter ( $\mu\text{W}/\text{cm}^2$ ). The number of  $\mu\text{W}/\text{cm}^2$  calculated at each sample point is called the power density. The exposure limit for power density varies depending upon the frequencies being utilized. Wireless Carriers and Paging Services use different frequency bands each with different exposure limits, therefore it is necessary to report results and limits in terms of percent MPE rather than power density.

All results were compared to the FCC (Federal Communications Commission) radio frequency exposure rules, 47 CFR 1.1307(b)(1) – (b)(3), to determine compliance with the Maximum Permissible Exposure (MPE) limits for General Population/Uncontrolled environments as defined below.

General population/uncontrolled exposure limits apply to situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment may not be made fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public would always be considered under this category when exposure is not employment related, for example, in the case of a telecommunications tower that exposes persons in a nearby residential area.

Public exposure to radio frequencies is regulated and enforced in units of microwatts per square centimeter ( $\mu\text{W}/\text{cm}^2$ ). The general population exposure limit for the 700 and 800 MHz Bands is 467  $\mu\text{W}/\text{cm}^2$  and 567  $\mu\text{W}/\text{cm}^2$  respectively, and the general population exposure limit for the PCS and AWS bands is 1000  $\mu\text{W}/\text{cm}^2$ . Because each carrier will be using different frequency bands, and each frequency band has different exposure limits, it is necessary to report percent of MPE rather than power density.

Occupational/controlled exposure limits apply to situations in which persons are exposed as a consequence of their employment and in which those persons who are exposed have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled exposure limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits (see below), as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5% of the applicable MPE must participate in mitigating these RF hazards.

Additional details can be found in FCC OET 65.



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-1343

**Agenda Date:** 4/6/2026

**Agenda #:** 4a.

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**Project Title:** 0 Willamette Avenue Kensington Design Review Development Plan

**County File(s):** CDDP23-03009

**Applicant/Owner:** Jasmit Rangr, Rangr Studio (Applicant) / Dean Michael Gridley (Owner)

**Zoning/General Plan:** R-6 Single-Family Residential District, -TOV Tree Obstruction of Views Combining District, -K Kensington Combining District / RM Residential Medium Density

**Site Address/Location:** 0 Willamette Avenue between Highland Boulevard and Purdue Avenue in the Kensington area of unincorporated Contra Costa County (Assessor's Parcel Number: 570-161-009)

**California Environmental Quality Act (CEQA) Status:** Categorical Exemption, CEQA Guidelines Sections 15303(a)

**Project Planner:** Grant Farrington, Planner III (925) 655-2868  
grant.farrington@dcd.cccounty.us

**Staff Recommendation:** Approve (See Section III for Full Recommendation)

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### **I. PROJECT SUMMARY**

The applicant requests approval of a Kensington Design Review Development Plan for the construction of a new single-family residence and detached garage that has a gross floor area of 3,293 square feet (where 3,000 is the maximum gross floor area permitted) on a vacant lot. The project includes a Variance for a 5-foot front yard setback (where 20 feet is the minimum required) for a 499-square-foot detached garage and a 1-foot front yard setback (where 20 feet is the minimum required) for a retaining wall that exceeds 3 feet in height. The project also includes a Tree Permit for the prior removal of a code-protected Coast Live Oak tree.

**II. RECOMMENDATION**

Department of Conservation and Development, Community Development Division (CDD) staff recommends that the County Zoning Administrator:

- A. FIND that the project is categorically exempt from CEQA under Section 15303(a) of the CEQA Guidelines.
- B. APPROVE Kensington Design Review Development Plan CDDP23-03009 for the construction of a new single-family residence and detached garage that has a gross floor area of 3,293 square feet, including the Variance for a 5-foot front yard setback (where 20 feet is the minimum required) for the detached garage and a 1-foot front yard setback (where 20 feet is the minimum required) for a retaining wall exceeding 3 feet in height, and a Tree Permit for the prior removal of a code-protected Coast Live Oak tree, based on the attached revised findings and subject to the attached revised conditions of approval.
- C. DIRECT staff to file a Notice of Exemption with the County Clerk.

**III. BACKGROUND**

At the March 17, 2025 meeting, the Zoning Administrator opened the public hearing then continued the item to the April 21, 2025 Zoning Administrator meeting as an open public hearing, in order to provide the applicant additional time to submit a revised design with reduced square footage of the detached garage. On March 31, 2025, the applicant submitted revised plans with the change requested by the Zoning Administrator. At the April 21, 2025 hearing, the item was continued to May 5, 2025 as an open public hearing with testimony received. At the May 5, 2025 Zoning Administrator hearing, the Zoning Administrator continued the project indefinitely in order to have the Kensington Municipal Advisory Council (KMAC) review the changes to the proposed development. The applicant subsequently submitted revised project plans on December 4, 2025 that included changes to the overall size and height of the detached garage as well as changes to the size of the residence. The revised plans are included herein as Attachment B. The District 1 staff liaison to the KMAC reported in an email that the KMAC reviewed the revised plans at its January 28, 2026 meeting, and recommended approval of the project. The email is included as Attachment C.

The December 4, 2025 revised plans show alterations to the detached garage fronting Willamette Avenue. The new front yard setback is 5 feet and the total height is approximately 14.3 feet at the highest point. The lower floor design of the residence includes an additional 247 square feet and the upper floor design includes an additional 81 square feet over the previously submitted plans. The total gross floor area of the proposed project is now 3,293 square feet, which exceeds the gross floor area threshold of 3,000 square feet for the subject property.

**IV. COMPLIANCE WITH KENSINGTON COMBINING DISTRICT CRITERIA**

The revised project is subject to the development regulations of the Kensington (-K) Combining District. The regulations of the Combining District are intended to provide specific regulations to fairly and efficiently implement the Contra Costa County General Plan policies for the Kensington area so that future development recognizes the rights of property owners to improve the value and enjoyment of their property while minimizing impacts upon surrounding neighbors and not substantially impairing the value and enjoyment of the neighbors' property. Lots located in the Kensington Combining District maintain a threshold for gross floor area of all development on the subject properties as determined by the overall square footage of the all development on the subject properties as determine by the overall square footage of the lot. For this lot, the gross floor area threshold is 3,000 square feet. A previous design of the proposed project included a total development of 2,996 square feet including the residence and garage. The December 4, 2025 project plans include revisions to the overall design which increases the total development square footage of the project to 3,293 square feet.

Evaluations of projects in the Kensington Combining District which exceed the lot threshold standards include seven criteria for approval of the Development Plan. The original design of the project was evaluated for the required seven criteria. Due to the submittal of revised plans that include a total square footage that exceeds the gross floor area for the subject lot, a revised discussion of the seven criteria is detailed below to demonstrate that the most recent project design from December 4, 2025 satisfies all seven criteria.

*1. Recognizing the rights of property owners to improve the value and enjoyment of their property.*

Finding: The project is for the construction of a new single-family residence and detached garage on a vacant lot in the R-6 Single-Family Residential District. Detached single-family dwellings and the accessory structures and uses normally auxiliary to the dwellings are permitted uses in the R-6 district. Except for the variance request for the reduced front yard setbacks, the residence meets all other applicable year yard setback distance requirements for the R-6 District as well as height restrictions for number of stories and measured total height. The detached garage does not exceed the size threshold for accessory buildings. Due to the topography of the lot, findings can be made for granting reduced front yard setbacks for the garage and the adjacent retaining wall. The proposed development will allow the property owners to establish a residence on the lot which has been vacant since the lot was created and provide additional off-street parking on Willamette Avenue.

*2. Recognizing the rights of property owners of vacant lots to establish a residence that is compatible with the neighborhood in terms of bulk, scale, and design.*

Finding: The proposed residence will have a gross floor area of 3,293 square feet including a

2,814-square-foot residence and a detached 499-square-foot garage. Other lots along the north side of Willamette Avenue in the immediate vicinity have residences that range in size from 1,700 to 3,500 square feet as well as attached and detached garages for off-street parking. The proposed residence will be congruent with adjacent residences that range in size from 2,300 to 2,500 square feet. Of note, the subject property has a larger lot size than the adjacent parcels and thus is afforded a higher gross floor area threshold as a result. The proposed residence utilizes a tiered story design similar to other residences on the north side of Willamette Avenue that have a progressive upward sloped topography in order to not exceed the maximum height allowed. In addition, the residence meets all applicable front, side and rear yard setback minimum distances. The detached garage and adjacent retaining wall require variances to the front yard setback minimum distance. Due to the topographical challenges of lots on Willamette Avenue, granting the variance requests will be consistent with other off-street parking and accessory structures in the vicinity. The design consists of façade material finishes that are common in the Kensington area including wood siding and stucco. Thus, the project is compatible with the neighborhood in terms of bulk, scale, and design.

3. *Minimizing impacts upon surrounding neighbors.*

Findings: The project involves the construction of a new 2,814-square-foot residence and a 499-square-foot detached garage on a vacant lot that will be in conformance with all applicable development standards for the R-6 District with approval of a variance for reduced front yard setbacks for the garage and the adjacent retaining wall. Section 84-74.204(b) of the Kensington Combining District Ordinance specifies that the ordinance is intended to promote the community's values of preservation of views, light and solar access, privacy, parking, and residential noise levels. The project is consistent with these values.

- Views: The applicant has previously erected story poles to demonstrate the proposed height of the residence to confirm minimal impacts to the adjacent parcels with regards to protected scenic views. The highest elevation point of the proposed residence is at the 827'9" elevation above sea level contour and the natural grade at the rear property line is at approximately the 830' elevation above sea level contour. The proposed location of the residence is also set back further away from the front property line with regard to the residence on the adjacent lot to the east. Thus, the project will have minimal impact on scenic views to dwellings on adjacent lots located on Garden Drive and Purdue Avenue to the north or other lots on Willamette Avenue.
- Privacy: The proposed residence itself meets all applicable yard setback distance minimum requirements. The location of the proposed residence is set back further on the lot than the adjacent residences on Willamette Avenue and the project plans include elevation drawings showing the outline of the proposed residence as it relates

to the location of the existing residences at 245 and 255 Willamette Avenue. In addition, the proposed project, an existing fence is located on the shared property lines to further screen the properties from neighbors.

- Light and Solar Access: The residence and detached garage are to be located in the central portion of the lot that will not obstruct light and solar access to existing residences in the immediate vicinity. The residence is under the maximum allowed total height and does not include any design features that be inconsistent with other lots in the surrounding area with similar topography. No mature trees are to be planted with the project that could potentially restrict access to light and solar.

4. *Protecting the value and enjoyment of the neighbors' property.*

Findings: As previously mentioned, the construction of the new residence and detached garage will not significantly block any scenic views of surrounding lots or decrease privacy or access to sunlight. The project is a new single-family residence that does not include any aspect that would otherwise encourage marginal development or be inconsistent with the General Plan or Ordinance Code. Therefore, in the absence of significant impacts on neighboring parcels with regards to excessive or marginal development, the project will preserve the value and enjoyment of the neighbors' property.

5. *Maintaining the community's property values.*

Findings: As stated above, the project is a new single-family residence that does not include an incompatible land use that would be inconsistent with the General Plan or Ordinance Code or conflict with the surrounding residential community. The proposed residence will not substantially affect scenic views, privacy or solar access for neighboring parcels and does not encourage marginal development that may negatively affect property values. Therefore, the project will maintain the community's property values.

6. *Maximizing the use of existing interior space*

Findings: The subject parcel is vacant and this project is for the construction of a new single-family residence and detached garage. Therefore, this criterion does not apply.

7. *Promoting the general welfare, public health, and safety.*

Findings: The project does not change the land use of the subject property and as described earlier, does not adversely impact surrounding properties. Construction of the single-family residence improves the value of the lot. There are no side or rear yard encroachments and the project is under the maximum height limit. In addition, the project will not use or emit hazardous substances beyond what is normal for a residential property. Based on the

foregoing reasons, the project promotes the general welfare, public health, and safety of the Kensington community.

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP23-03009,  
JASMIT RANGR, RANGR STUDIO (APPLICANT), DEAN MICHAEL GRIDLEY (OWNER)**

**FINDINGS**

A. Kensington Combining District Findings

County Code Section 84-74.1206(b) requires a project within the Kensington Combining District to satisfy seven criteria to be approved.

1. *Recognizing the rights of property owners to improve the value and enjoyment of their property.*

*Project Finding:* The project is for the construction of a new single-family residence and detached garage on a vacant lot in the R-6 Single-Family Residential District. Detached single-family dwellings and the accessory structures and uses normally auxiliary to the dwellings are permitted uses in the R-6 district. Except for the variance request for the reduced front yard setbacks, the residence meets all other applicable yard setback distance requirements for the R-6 District as well as height restrictions for number of stories and measured total height. The detached garage does not exceed the size threshold for accessory buildings. Due to the topography of the lot, findings can be made for granting reduced front yard setbacks for the garage and the adjacent retaining wall. The proposed development will allow the property owners to establish a residence on the lot which has been vacant since the lot was created and provide additional off-street parking on Willamette Avenue.

2. *Recognizing the rights of property owners of vacant lots to establish a residence that is compatible with the neighborhood in terms of bulk, scale, and design.*

*Project Finding:* The proposed residence will have a gross floor area of 3,293 square feet including a 2,814-square-foot residence and a detached 499-square-foot garage. Other lots along the north side of Willamette Avenue in the immediate vicinity have residences that range in size from 1,700 to 3,500 square feet as well as attached and detached garages for off-street parking. The proposed residence will be congruent with adjacent residences that range in size from 2,300 to 2,500 square feet. Of note, the subject property has a larger lot size than the adjacent parcels and thus is afforded a higher gross floor area threshold as a result. The

proposed residence utilizes a tiered story design similar to other residences on the north side of Willamette Avenue that have a progressive upward sloped topography in order to not exceed the maximum height allowed. In addition, the residence meets all applicable front, side and rear yard setback minimum distances. The detached garage and adjacent retaining wall require variances to the front yard setback minimum distance. Due to the topographical challenges of lots on Willamette Avenue, granting the variance requests will be consistent with other off-street parking and accessory structures in the vicinity. The design consists of façade material finishes that are common in the Kensington area including wood siding and stucco. Thus, the project is compatible with the neighborhood in terms of bulk, scale, and design.

3. *Minimizing impacts upon surrounding neighbors.*

*Project Finding:* The project involves the construction of a new 2,814-square-foot residence and a 499-square-foot detached garage on a vacant lot that will be in conformance with all applicable development standards for the R-6 District with approval of a variance for reduced front yard setbacks for the garage and the adjacent retaining wall. Section 84-74.204(b) of the Kensington Combining District Ordinance specifies that the ordinance is intended to promote the community's values of preservation of views, light and solar access, privacy, parking, and residential noise levels. The project is consistent with these values.

- *Views:* The applicant has previously erected story poles to demonstrate the proposed height of the residence to confirm minimal impacts to the adjacent parcels with regards to protected scenic views. The highest elevation point of the proposed residence is at the 827'9" elevation above sea level contour and the natural grade at the rear property line is at approximately the 830' elevation above sea level contour. The proposed location of the residence is also set back further away from the front property line with regard to the residence on the adjacent lot to the east. Thus, the project will have minimal impact on scenic views to dwellings on adjacent lots located on Garden Drive and Purdue Avenue to the north or other lots on Willamette Avenue.
  
- *Privacy:* The proposed residence itself meets all applicable yard setback distance minimum requirements. The location of the proposed residence is set back further on the lot than the adjacent residences on Willamette Avenue and the project plans include elevation drawings showing the

outline of the proposed residence as it relates to the location of the existing residences at 245 and 255 Willamette Avenue. In addition, the proposed project, an existing fence is located on the shared property lines to further screen the properties from neighbors.

- Light and Solar Access: The residence and detached garage are to be located in the central portion of the lot that will not obstruct light and solar access to existing residences in the immediate vicinity. The residence is under the maximum allowed total height and does not include any design features that be inconsistent with other lots in the surrounding area with similar topography. No mature trees are to be planted with the project that could potentially restrict access to light and solar.

4. *Protecting the value and enjoyment of the neighbors' property.*

Project Finding: As previously mentioned, the construction of the new residence and detached garage will not significantly block any scenic views of surrounding lots or decrease privacy or access to sunlight. The project is a new single-family residence that does not include any aspect that would otherwise encourage marginal development or be inconsistent with the General Plan or Ordinance Code. Therefore, in the absence of significant impacts on neighboring parcels with regards to excessive or marginal development, the project will preserve the value and enjoyment of the neighbors' property.

5. *Maintaining the community's property values;*

Project Finding: As stated above, the project is a new single-family residence that does not include an incompatible land use that would be inconsistent with the General Plan or Ordinance Code or conflict with the surrounding residential community. The proposed residence will not substantially affect scenic views, privacy or solar access for neighboring parcels and does not encourage marginal development that may negatively affect property values. Therefore, the project will maintain the community's property values.

6. *Maximizing the use of existing interior space.*

Project Finding: The subject parcel is vacant and this project is for the construction of a new single-family residence and detached garage. Therefore, this criterion does not apply.

7. *Promoting the general welfare, public health, and safety.*

Project Finding: The project does not change the land use of the subject property and as described earlier, does not adversely impact surrounding properties. Construction of the single-family residence improves the value of the lot. There are no side or rear yard encroachments and the project is under the maximum height limit. In addition, the project will not use or emit hazardous substances beyond what is normal for a residential property. Based on the foregoing reasons, the project promotes the general welfare, public health, and safety of the Kensington community.

B. Variance Findings

County Code Section 26-2.2006 states that all of the following findings must be made to approve the Variance permit application.

- 1, *That any variance authorized shall not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and the respective land use district in which the subject property is located.*

Project Finding: The project involves the construction of a new single-family residence on a vacant lot including accommodations for off-street parking with a 499-square-foot garage and an adjacent retaining wall located in the front yard setback. The subject parcel as well as other parcels along the north side of Willamette Avenue are located in the R-6 Single-Family Residential District and have similar topography with similar limitations for off-street parking locations on the respective lots. The R-6 District requires a minimum front yard setback of twenty feet; however, other lots in the immediate vicinity have garages located within the front yard setbacks. Thus, the variance does not grant a special privilege inconsistent with the limitations on other properties in the vicinity in the R-6 District.

2. *That because of special circumstances applicable to the subject property because of its size, shape, topography, location or surroundings, the strict application of the respective zoning regulations is found to deprive the subject property of the rights enjoyed by other properties in the vicinity and within the identical land use district.*

Project Finding: Like other lots on the north side of Willamette Avenue, the subject

parcel has constraining topography with elevation that rises away from the street frontage by approximately 45 feet, including a 12 foot elevation rise within the front yard setback. The elevation change and the lack of flat developable land limits the area of the subject lot where the required two off-street parking spaces may be located with suitable access to Willamette Avenue. Therefore, strict application of the zoning regulations of the R-6 District will deprive the subject property of rights enjoyed by other properties in the vicinity.

3. *That any variance authorized shall substantially meet the intent and purpose of the respective land use district in which the property is located.*

*Project Finding.* The reduced front yard setbacks will allow the subject lot to have available off-street parking and reduce the need for on-street parking on Willamette Avenue, which is a narrow two-lane street. In addition, the development of the garage within the front yard setback will eliminate the need for additional yard variances or the potential for more intrusive development to accommodate two off-street parking spaces located entirely outside of the required yard setback. The garage is accessory to the proposed single-family residence and the adjacent retaining wall stabilizes the slope for the garage, and thus, the variance substantially meets the intent and purpose of the R-6 District in the unincorporated Kensington area.

#### C. Tree Permit Findings

1. Required Factors for Granting Tree Permit. The Zoning Administrator is satisfied that the following factors as provided by County Code Section 816-6.8010 for granting a tree permit have been satisfied:
  - *Reasonable development of the property would require the alteration or removal of the tree and this development could not be reasonably accommodated on another area of the lot.*

The Arborist Report received on February 15, 2024 (*Tree report for 249-255 Willamette Ave. Kensington, CA Development Plan Number CDDP23-03009*, Arborinsights, LLC, February 15, 2024) that was prepared by a Certified Arborist identified a tree, approximately 4-12" in diameter, that was previously removed from the subject property sometime between 2015 and 2018. The report evaluated all current trees on the subject property and verified that they do not meet the size criteria for code-protection per

Section 816-6.6004 of Tree Protection and Preservation Ordinance of the County Ordinance Code. Due to the location of the previously removed tree, reasonable development of the property would have required the removal of the tree and this development could not be reasonably accommodated on another area of the lot.

2. Required Factors for Denying a Tree Permit. The Zoning Administrator is satisfied that none of the factors for denying a tree permit as provided by County Code Section 816-6.8010 apply.

D. Environmental Findings

Construction of the new single-family residence and detached garage with a gross floor area of 3,293 square feet is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303(a), New Construction, which provides a Class 3 exemption for the construction of one single-family residence in a residential zone. There is no substantial evidence that construction of the residence involves unusual circumstances, resulting in, or which might reasonably result in, a significant impact on the environment. None of the exceptions in CEQA Guidelines Section 15300.2 apply to the project.

**CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP23-03009**

Project Approval

1. Kensington Design Review Development Plan CDDP23-03009 to construct a new single-family residence with a detached garage that has a gross floor area of 3,293 square feet (where 3,000 is maximum gross floor area permitted) on a vacant lot is APPROVED.
2. A Variance Permit to allow a 5-foot front yard setback (where 20 feet is the minimum required) for the 499-square-foot garage and 1-foot front yard setback (where 20 feet is the minimum required) for a retaining wall that exceeds 3 feet in height is APPROVED.
3. A Tree Permit for the prior removal of one code-protected Coast Live Oak tree up to 12" in diameter is APPROVED.

4. The project approvals described above are granted based on, or as generally shown on the following documents:
  - Application and materials accepted by the Department of Conservation and Development, Community Development Division (CDD) on April 10, 2023.
  - Geotechnical Report (*Geotechnical Report for Parcel 09, Willamette Avenue, Kensington, California*; Summitt Engineering, July 18, 2022), received on April 10, 2023.
  - Project plans received on December 4, 2025.
  - Arborist Report (*Tree report for 249-255 Willamette Ave. Kensington, CA Development Plan Number CDDP23-03009*, Arborinsights, LLC, February 15, 2024) received on February 15, 2024.
  
5. Any change from the approved plans shall require review and approval by the CDD and may require the filing of a new Kensington Design Review Development Plan application or a Variance or both, if deemed necessary.

#### Application Costs

6. The Development Plan application was subject to an initial application deposit of \$3,000.00 that was paid with the application submittal, plus time and material costs if the application review expenses exceed the initial deposit. Any additional fee due must be paid prior to issuance of a building permit, or 60 days of the effective date of this permit, whichever occurs first. The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due, the application shall be charged interest at a rate of ten percent (10%) from the date of approval. The applicant may obtain current costs by contacting the project planner. A bill will be mailed to the applicant shortly after permit issuance in the event that additional fees are due.

#### Building Permits

7. No construction is approved with this permit. Any construction at the project site will require issuance of building permits from the Department of Conservation and Development, Building Inspection Division, prior to commencement of work.

Encroachment Permit

8. Any construction or improvements within the right of way of Willamette Avenue will require an encroachment permit from the Contra Costa County Public Works Department.

Geotechnical Report

9. Prior to the issuance of a building or grading permit, the applicant shall submit an updated supplemental geotechnical report for the review and approval by the CDD.

Construction Period Restrictions and Requirements

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

10. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
11. The applicant shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.
12. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
13. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also be visible to ensure compliance with applicable regulations.
14. Unless specifically approved otherwise via prior authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 8:00 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government as listed below:

New Year's Day (State and Federal)

Birthdays of Martin Luther King, Jr. (State and Federal)  
Washington’s Birthday (Federal)  
Lincoln’s Birthday (State)  
President’s Day (State)  
Cesar Chavez Day (State)  
Memorial Day (State and Federal)  
Juneteenth National Independence Holiday (Federal)  
Independence Day (State and Federal)  
Labor Day (State and Federal)  
Columbus Day (Federal)  
Veterans Day (State and Federal)  
Thanksgiving Day (State and Federal)  
Day after Thanksgiving (State)  
Christmas Day (State and Federal)

For specific details on the actual date the State and Federal holidays occur, please visit the following websites:

Federal Holidays: [Federal Holidays \(opm.gov\)](https://www.opm.gov)

California Holidays: [State Holidays \(ca.gov\)](https://www.ca.gov)

15. Large trucks and heavy equipment are subject to the same restrictions that are imposed on construction activities, except that the hours are limited to 9:00 AM to 4:00 PM.

### **ADVISORY NOTES**

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

**A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.**

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. seq, the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.

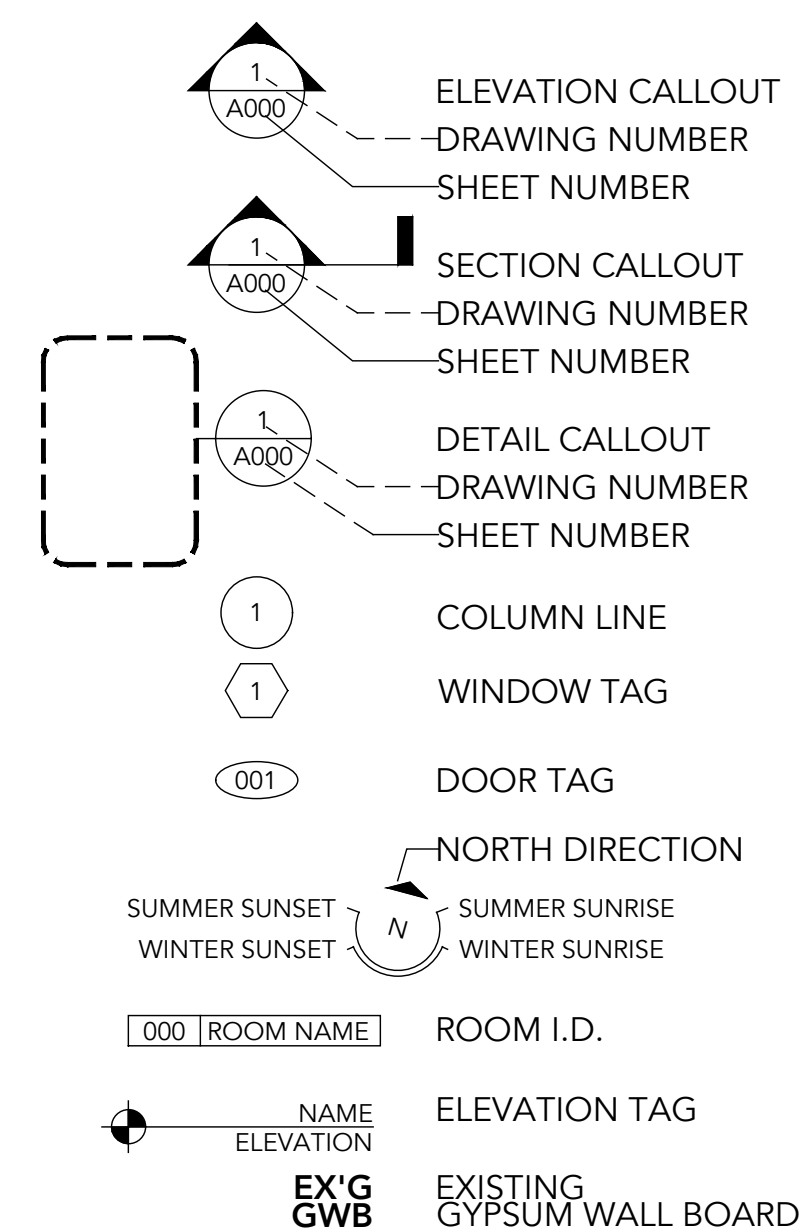
- B. Prior to applying for a building permit, the applicant is strongly encouraged to contact the following agencies to determine if additional requirements and/or additional permits are required as part of the proposed project:
- Department of Conservation and Development, Building Inspection Division
  - Public Works Department, Engineering Services Division
  - Contra Costa Health, Environmental Health Division
  - Stege Sanitary District
  - Kensington Fire Protection District
  - East Bay Municipal Utility District
  - Contra Costa Mosquito and Vector Control District



SUMMER SUNSET - WINTER SUNSET  
SUMMER SUNRISE - WINTER SUNRISE  
1 VICINITY PLAN  
SCALE: 1/32" = 1'-0"

## RASHID - EAMES RESIDENCE

### ARCHITECTURAL LEGEND



### PROJECT INFORMATION

#### SUMMARY

THE DESIGN PROPOSES CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE ON AN EXISTING VACANT UPSLOPE LOT AT "0" WILLAMETTE AVE. THE PROPOSED STRUCTURE CONSISTS OF 2 STORIES AND A GRADE-LEVEL GARAGE. OUTDOOR SPACES CONSIST OF WOOD DECKS AND OUTDOOR TERRACES.

THE PROPOSAL REQUESTS A VARIANCE TO ALLOW FOR A GARAGE WITHIN THE FRONT YARD SETBACK WITH THE FRONT FACE OF THE GARAGE WALL PLACED 5' BACK FROM THE PROPERTY LINE. OTHER GARAGES ON THIS SIDE OF THE STREET ARE BUILT WITHIN THE FRONT SETBACK, INCLUDING 287 WILLAMETTE AVE, WHICH HAS A MINIMUM FRONT SETBACK OF 3'-9". THIS PROPOSAL INCLUDES A 2-CAR GARAGE, WITH AN ADJACENT UNCOVERED PARKING AREA PROVIDING 2 ADDITIONAL OFF-STREET PARKING SPACES.

ADDITIONALLY THE PROPOSAL REQUESTS A VARIANCE TO ALLOW FOR A HOUSE LARGER THAN 3000 SF IN THE R6-SINGLE FAMILY RESIDENTIAL ZONE.

### PROJECT DATA

#### ZONING

APN#:	570-161-009
ZONE:	R6-SINGLE FAMILY RESIDENTIAL
LOT SIZE:	7882 SF
GROSS FLOOR AREA (GFA):	3293 SF
GFA HEARING THRESHOLD:	3000 SF
*PER CONTRA COSTA	84-74.802
BUILDING HEIGHT:	25'- 5 7/8" / 2-STORIES (+GARAGE)
PARKING:	2 CAR GARAGE + 2 OFFSTREET SPACES
REQUIRED PARKING:	1 OFF-STREET SPACE

#### FLOOR AREAS

UPPER FLOOR:	1557 SF
LOWER FLOOR:	1237 SF
GARAGE:	499 SF
HOUSE TOTAL:	3293 SF

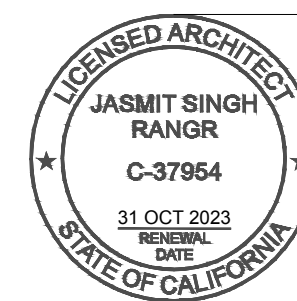
#### BUILDING NOTES

PARKING :	2 CAR GARAGE + 2 OPEN SPACES
OCCUPANCY:	R-SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	REQUIRED - TO BE FURNISHED

### DRAWING INDEX

#### ARCHITECTURAL

- A001 PROJECT DATA & SUMMARY, DRAWING INDEX, SYMBOLS LEGEND
- A050 SITE PLAN
- A100 GARAGE FLOOR PLAN
- A101 LOWER FLOOR PLAN
- A102 UPPER FLOOR PLAN
- A103 ROOF PLAN
- A200 SECTION
- A201 SECTION
- A202 SECTION
- A301 EAST ELEVATION
- A302 NORTH ELEVATION
- A303 STREET ELEVATION (SOUTH)
- A900 RENDERINGS
- A901 RENDERINGS



#### RANGR STUDIO

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EMAIL: INFO@RANGR.COM

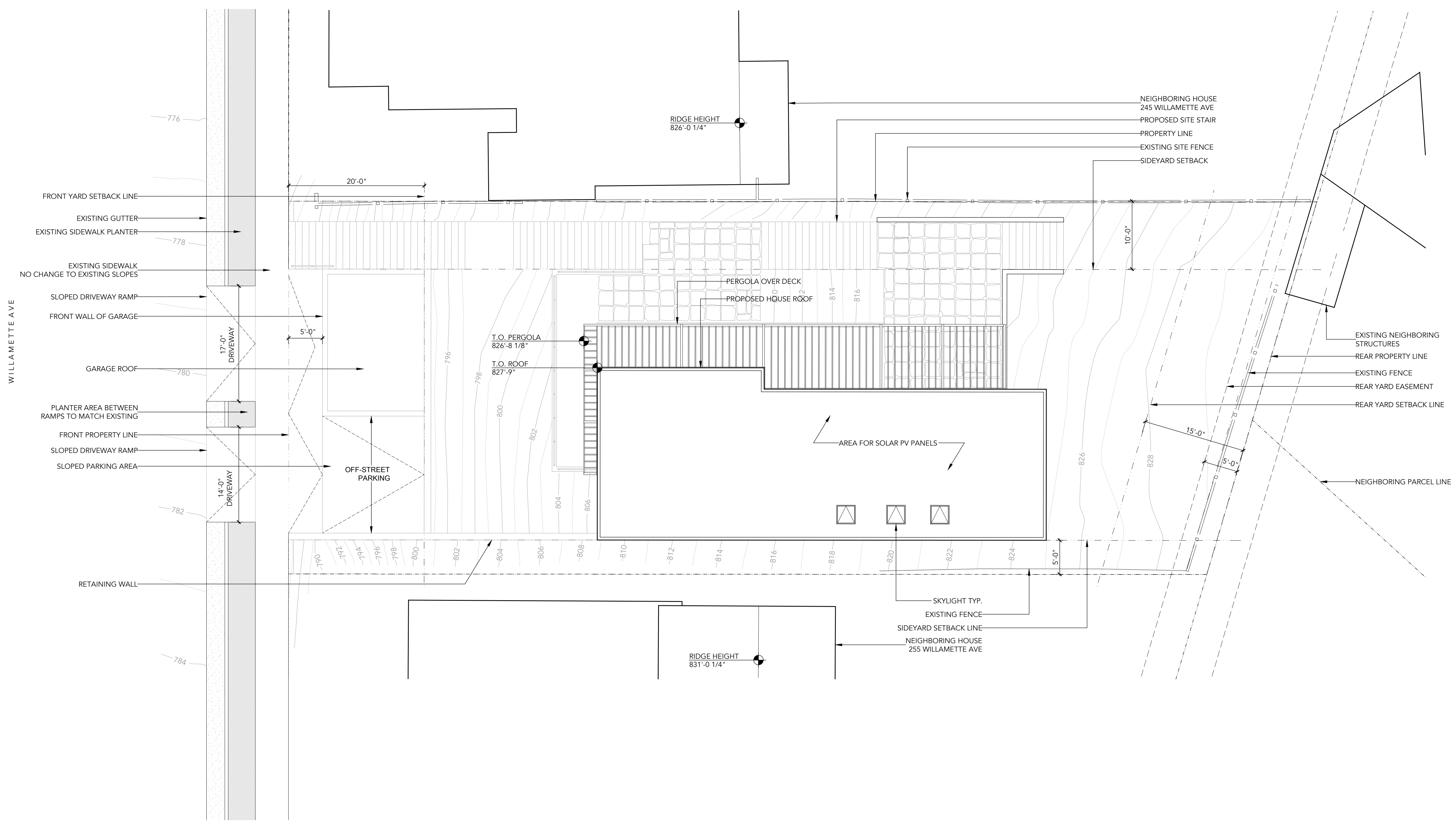
#### RASHID EAMES RESIDENCE

0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

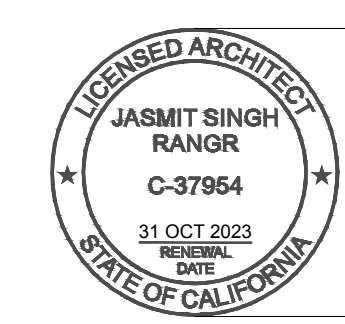
#### PROJECT DATA & SUMMARY, DRAWING INDEX, & LEGEND

DATE:	03 DECEMBER 2025	ISSUED:	PLANNING REVIEW
REV 1:	-	REV 3:	-
REV 2:	-	REV 4:	-

A001



1 SITE PLAN  
SCALE: 1/8" = 1'-0"

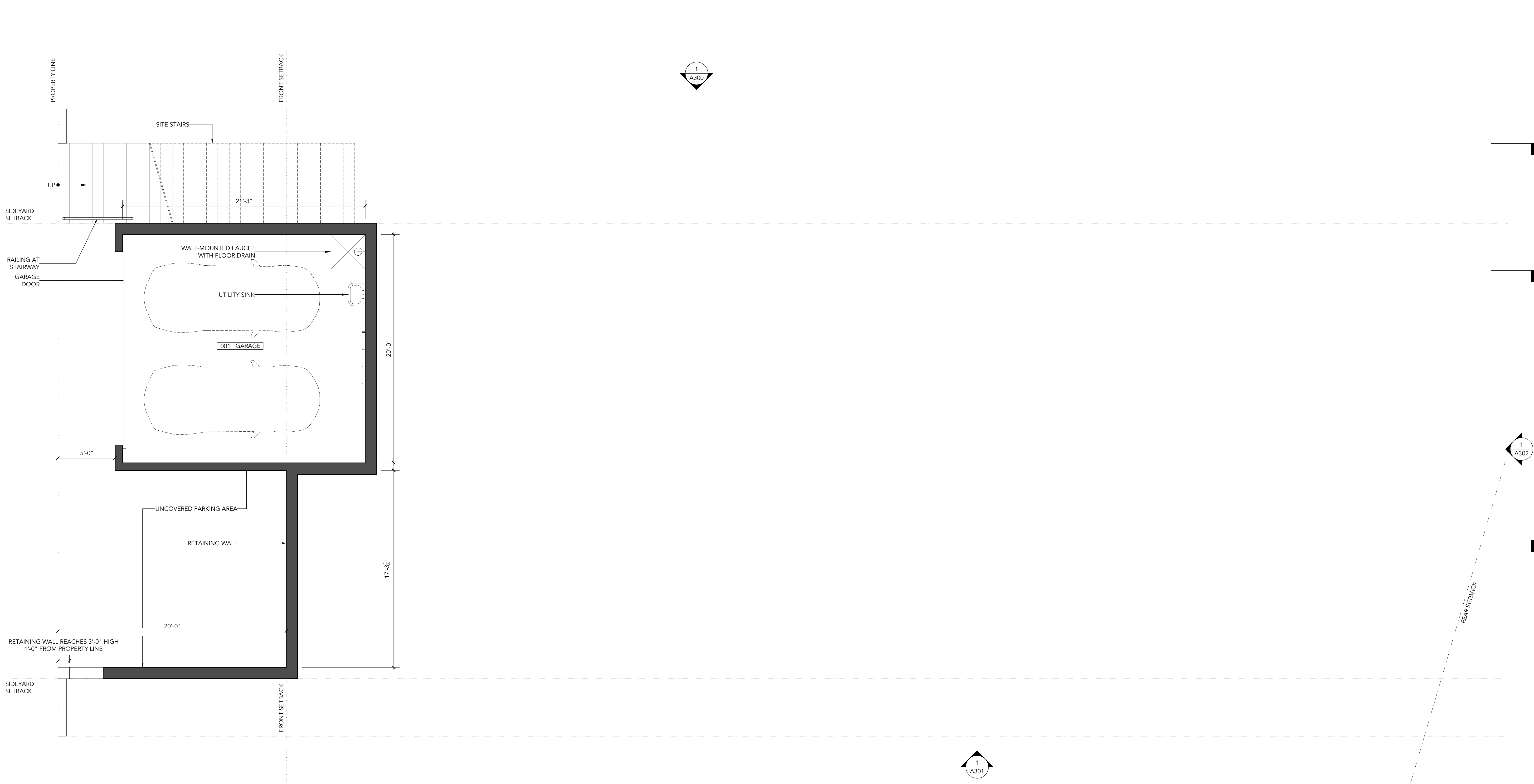


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EMAIL: INFO@RANGR.COM

**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

SITE PLAN	
DATE:	03 DECEMBER 2025
ISSUED:	PLANNING REVIEW
REV 1:	-
REV 2:	-
REV 3:	-
REV 4:	-

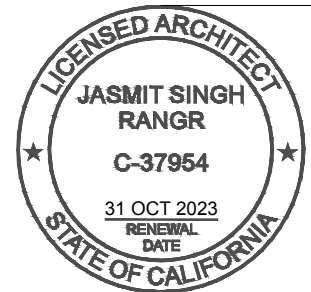
A050



**1 GARAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR AREAS**

<b>BUILDING LEVEL</b>	
UPPER FLOOR:	1557 SF
LOWER FLOOR:	1237 SF
GARAGE:	499 SF
<b>HOUSE TOTAL:</b>	<b>3293 SF</b>

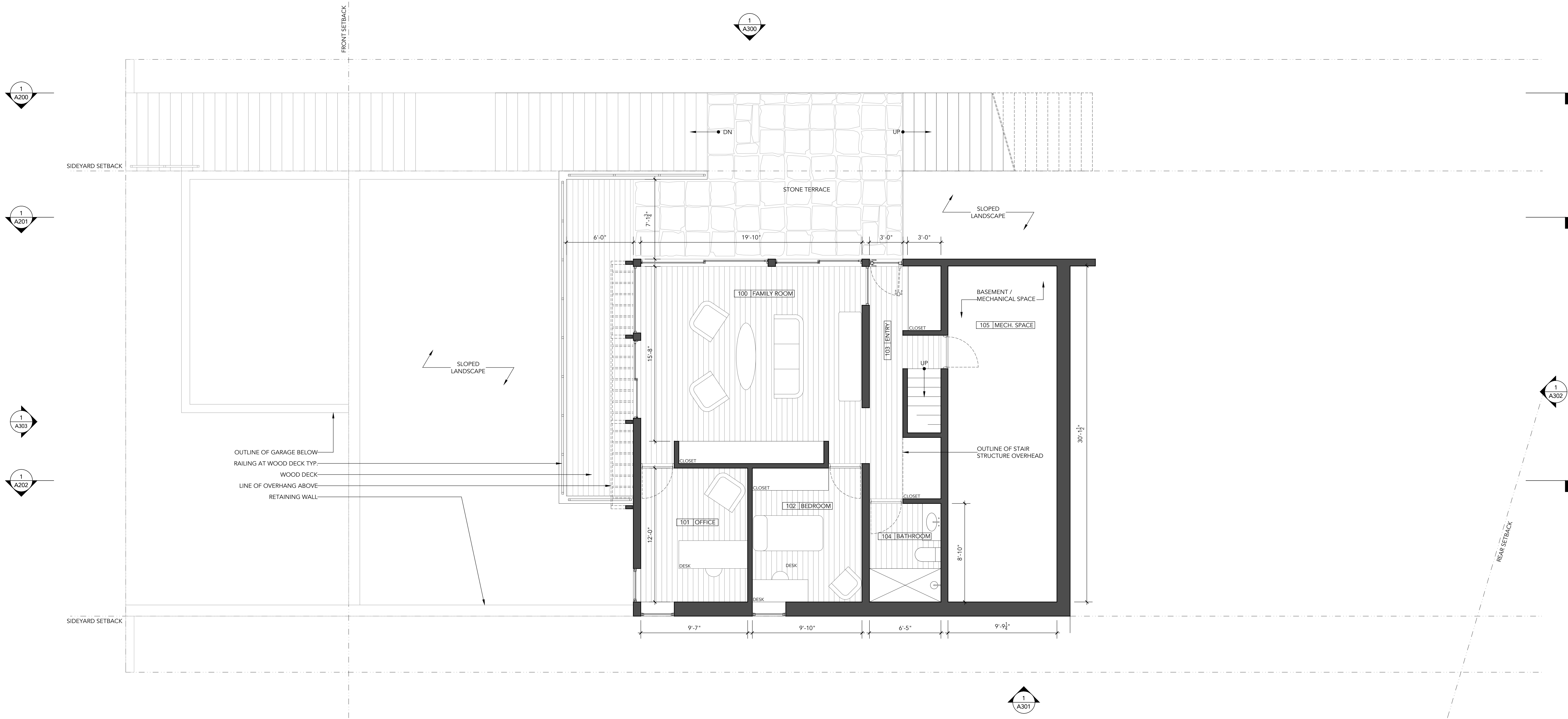


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**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

GARAGE FLOOR PLAN	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

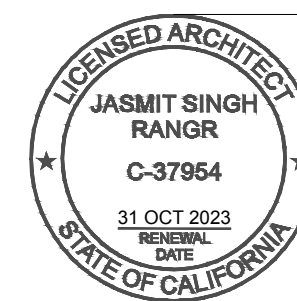
A100



**1 LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR AREAS**

<b>BUILDING LEVEL</b>	
UPPER FLOOR:	1557 SF
LOWER FLOOR:	1237 SF
GARAGE:	499 SF
<b>HOUSE TOTAL:</b>	<b>3293 SF</b>

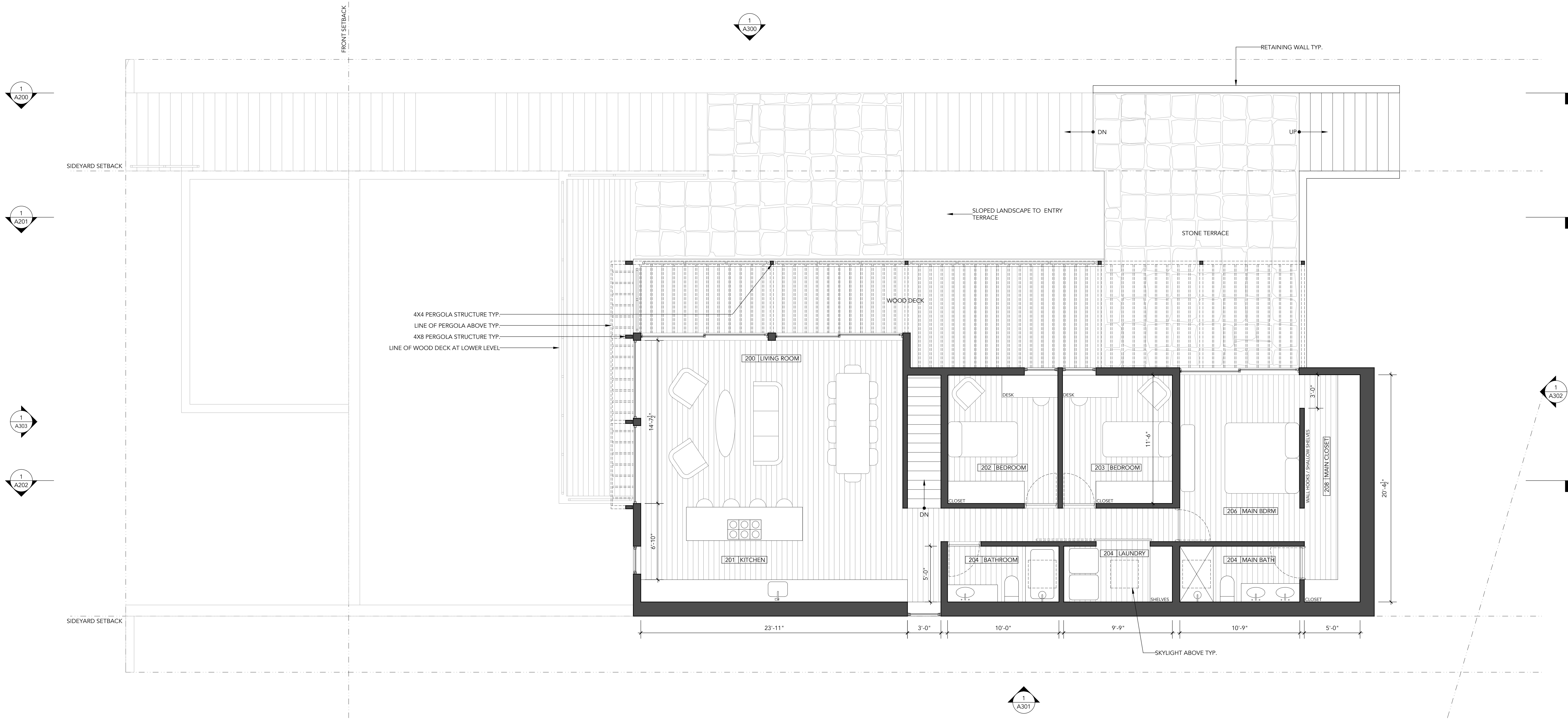


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**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

LOWER FLOOR PLAN	
DATE:	03 DECEMBER 2025
ISSUED:	PLANNING REVIEW
REV 1:	-
REV 2:	-
REV 3:	-
REV 4:	-

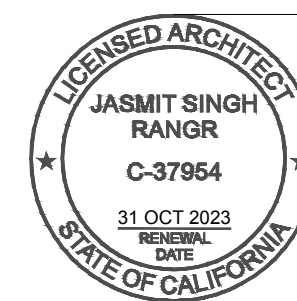
**A101**



**1 UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR AREAS**

<b>BUILDING LEVEL</b>	
UPPER FLOOR:	1557 SF
LOWER FLOOR:	1237 SF
GARAGE:	499 SF
<b>HOUSE TOTAL:</b>	<b>3293 SF</b>

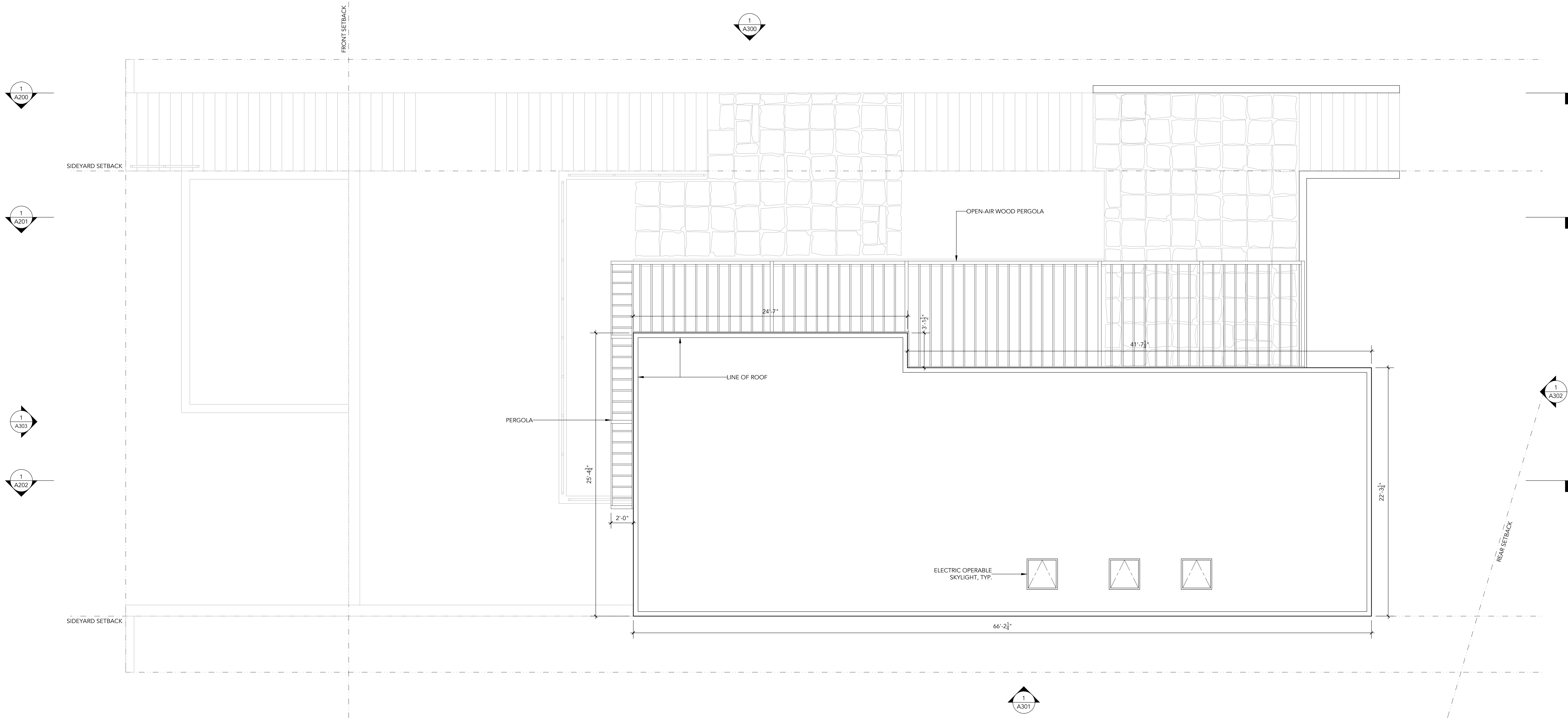


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**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

<b>UPPER FLOOR PLAN</b>	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

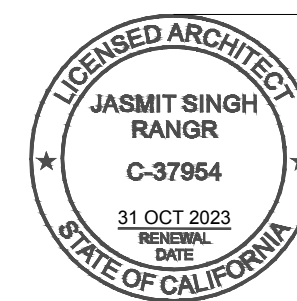
**A102**



**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR AREAS**

<b>BUILDING LEVEL</b>	
UPPER FLOOR:	1557 SF
LOWER FLOOR:	1237 SF
GARAGE:	499 SF
<b>HOUSE TOTAL:</b>	<b>3293 SF</b>

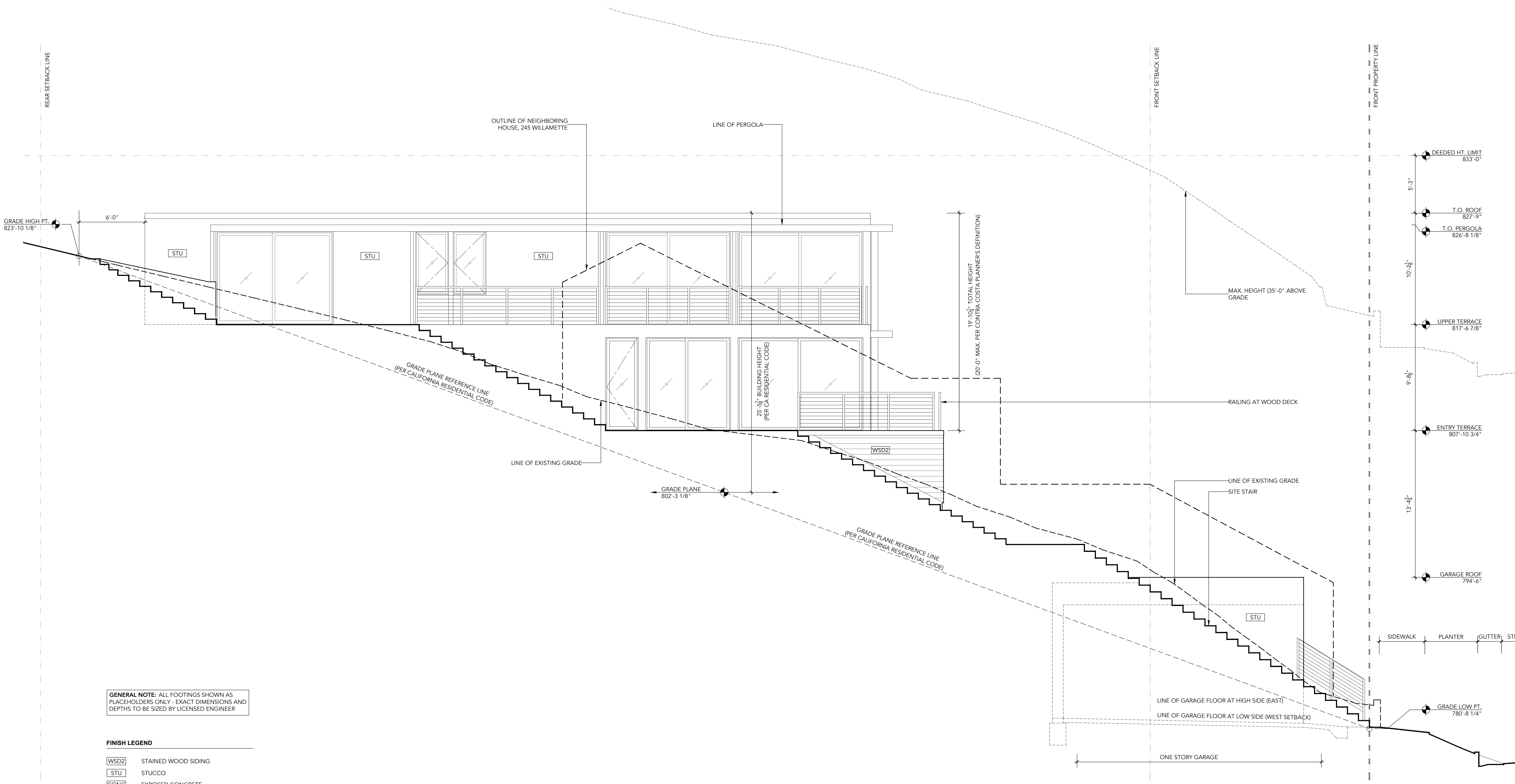


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1234 GRIZZLY PEAK, BERKELEY, CA 94708  
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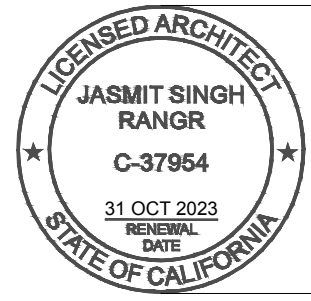
**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

ROOF PLAN	
DATE:	03 DECEMBER 2025
ISSUED:	PLANNING REVIEW
REV 1:	-
REV 2:	-
REV 3:	-
REV 4:	-

**A103**



1 SITE SECTION LOOKING EAST - STAIRS  
SCALE: 1/4" = 1'-0"

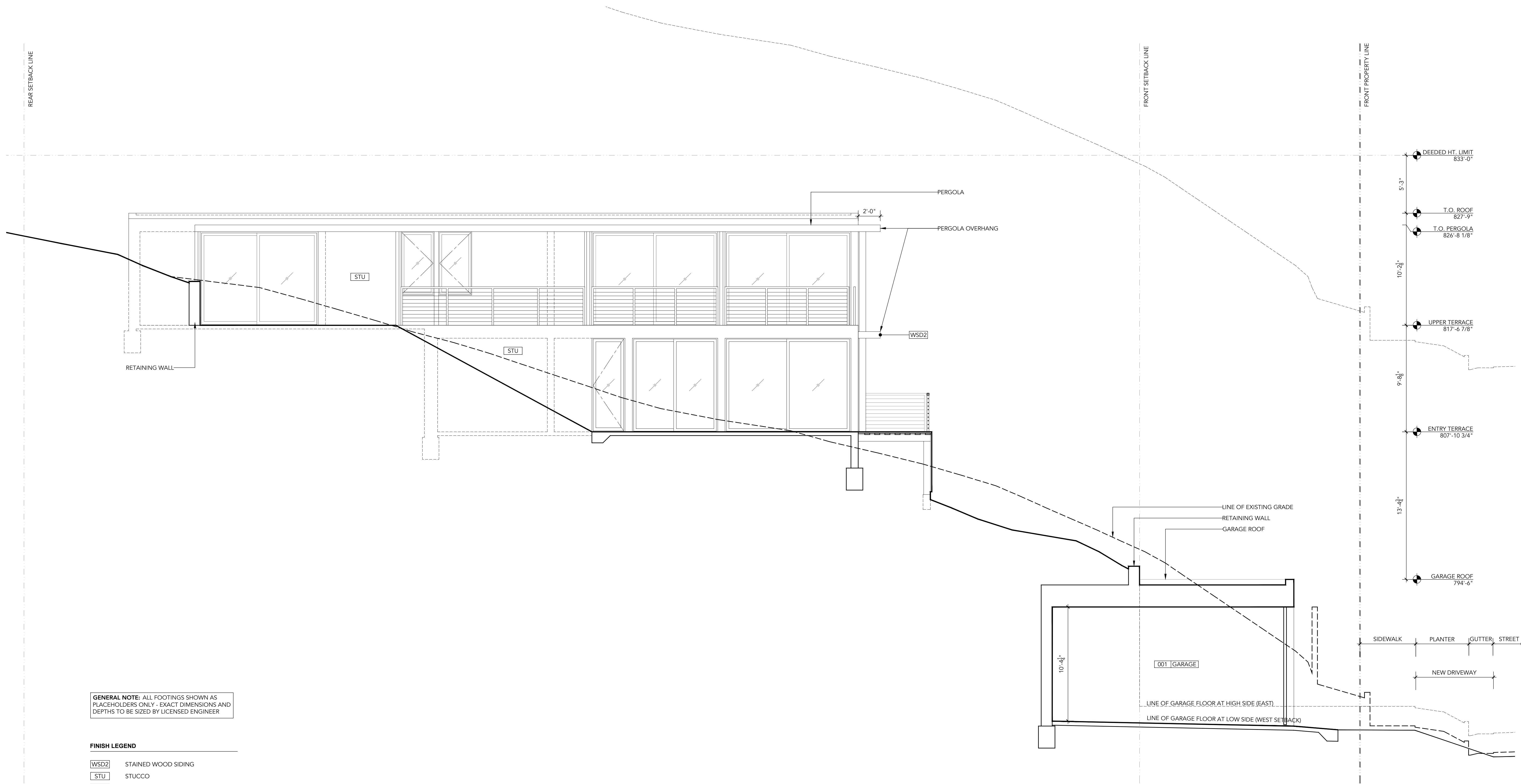


**RANGR STUDIO**  
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**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

SITE SECTION - PROPOSED	
DATE:	03 DECEMBER 2025
ISSUED:	PLANNING REVIEW
REV 1:	-
REV 2:	-
REV 3:	-
REV 4:	-

A200

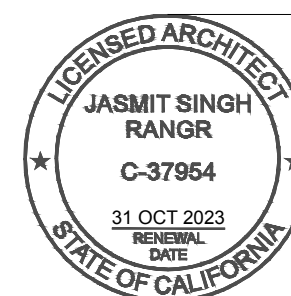


GENERAL NOTE: ALL FOOTINGS SHOWN AS PLACEHOLDERS ONLY - EXACT DIMENSIONS AND DEPTHS TO BE SIZED BY LICENSED ENGINEER

**FINISH LEGEND**

- WSD2 STAINED WOOD SIDING
- STU STUCCO
- CONC EXPOSED CONCRETE

**1 SITE SECTION LOOKING EAST - GARAGE**  
SCALE: 1/4" = 1'-0"

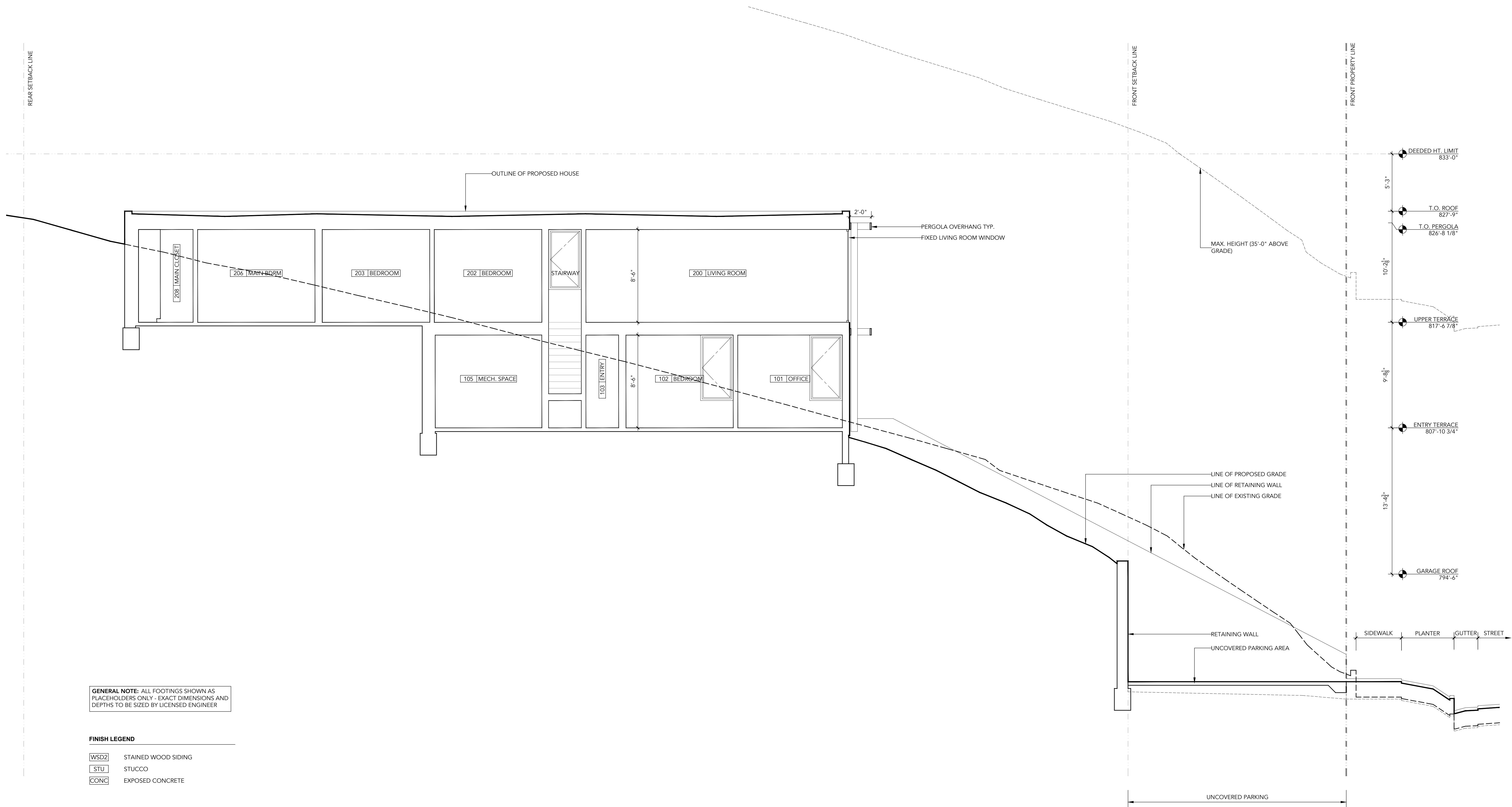


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EMAIL: INFO@RANGR.COM

**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

SITE SECTION - PROPOSED	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

A201

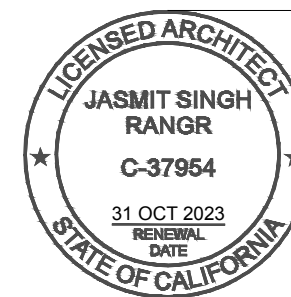


GENERAL NOTE: ALL FOOTINGS SHOWN AS PLACEHOLDERS ONLY - EXACT DIMENSIONS AND DEPTHS TO BE SIZED BY LICENSED ENGINEER

**FINISH LEGEND**

- [WSD2] STAINED WOOD SIDING
- [STU] STUCCO
- [CONC] EXPOSED CONCRETE

**1 SECTION**  
SCALE: 1/4" = 1'-0"

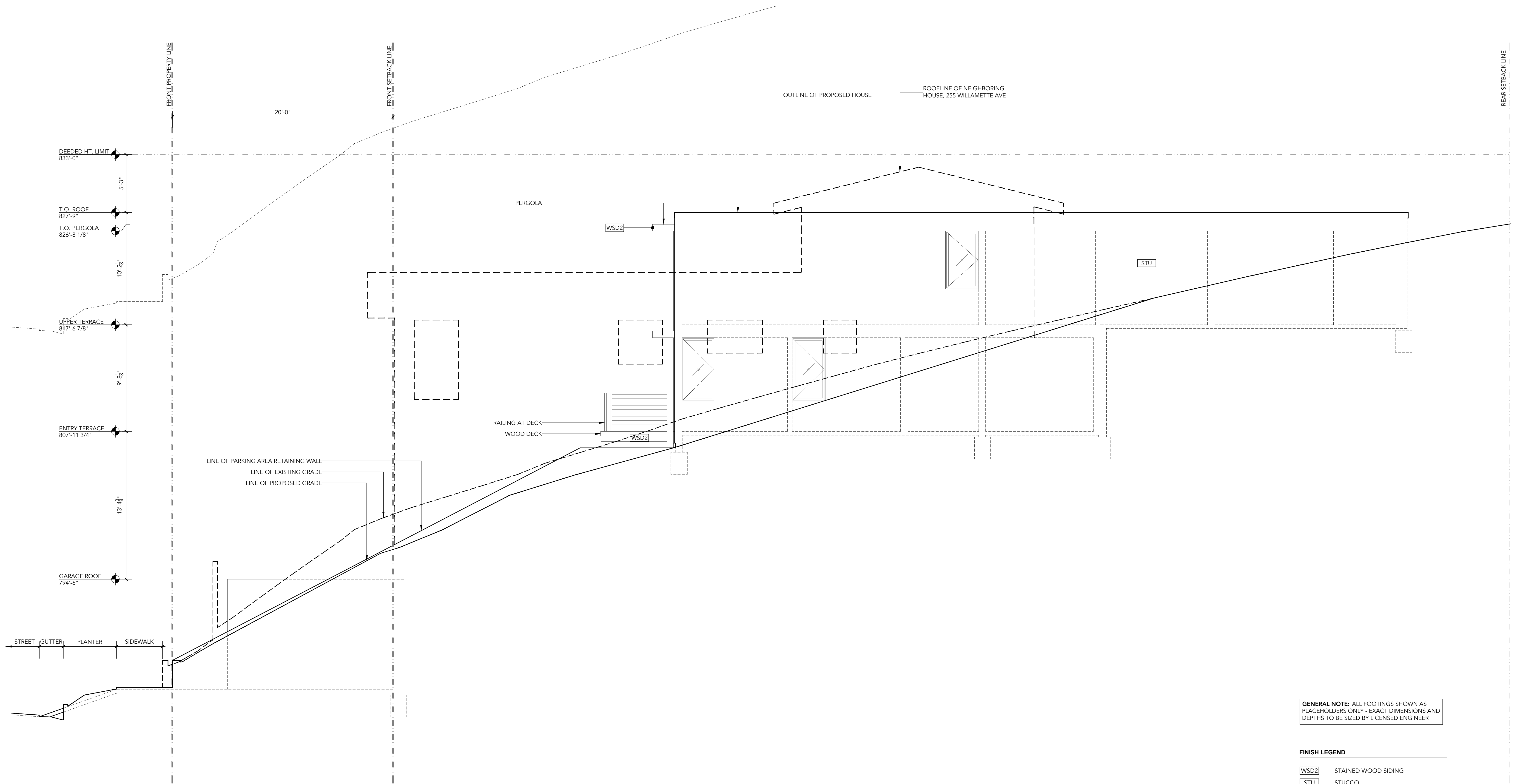


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EMAIL: INFO@RANGR.COM

**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

SECTION	
DATE:	03 DECEMBER 2025
ISSUED:	PLANNING REVIEW
REV 1:	-
REV 2:	-
REV 3:	-
REV 4:	-

A202



**GENERAL NOTE:** ALL FOOTINGS SHOWN AS PLACEHOLDERS ONLY - EXACT DIMENSIONS AND DEPTHS TO BE SIZED BY LICENSED ENGINEER

**FINISH LEGEND**

- WSD2 STAINED WOOD SIDING
- STU STUCCO
- CONC EXPOSED CONCRETE

**1 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



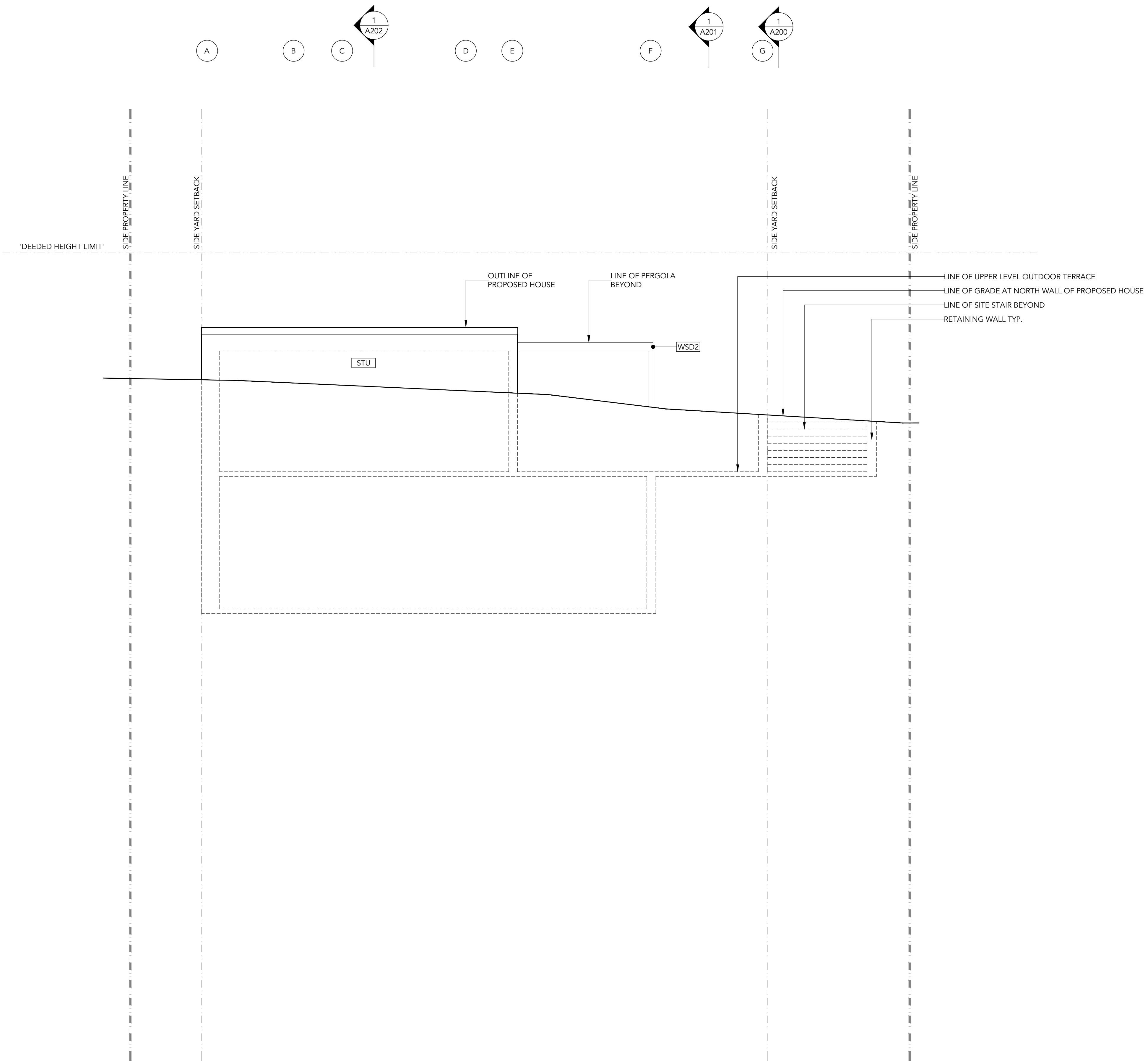
**RANGR STUDIO**  
1234 GRIZZLY PEAK, BERKELEY, CA 94708  
VOICE / SMS: 212.727.9911  
EMAIL: INFO@RANGR.COM

**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

EAST ELEVATION	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

A301

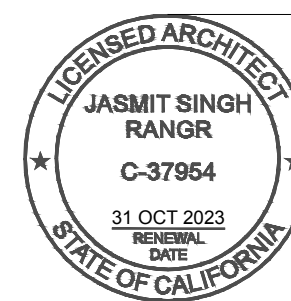
DEEDED HT. LIMIT	833'-0"
T.O. ROOF	827'-9"
T.O. PERGOLA	826'-8 1/8"
UPPER TERRACE	817'-6 7/8"
ENTRY TERRACE	807'-11 3/4"
GARAGE ROOF	794'-6"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

GENERAL NOTE: ALL FOOTINGS SHOWN AS PLACEHOLDERS ONLY - EXACT DIMENSIONS AND DEPTHS TO BE SIZED BY LICENSED ENGINEER

FINISH LEGEND	
WSD2	STAINED WOOD SIDING
STU	STUCCO
CONC	EXPOSED CONCRETE

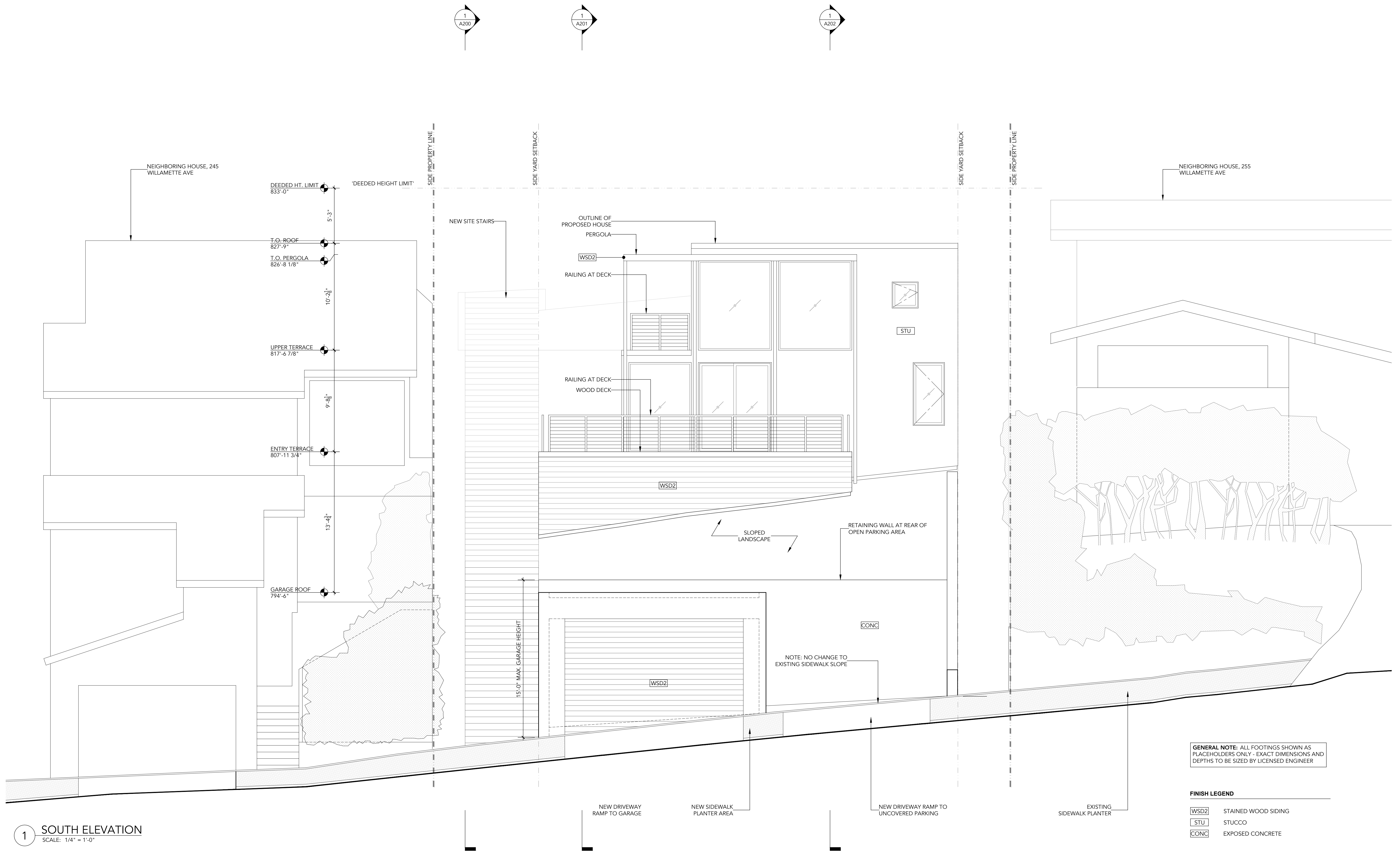


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**RASHID EAMES RESIDENCE**  
0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
PARCEL #: 570-161-009-8

NORTH ELEVATION	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

A302



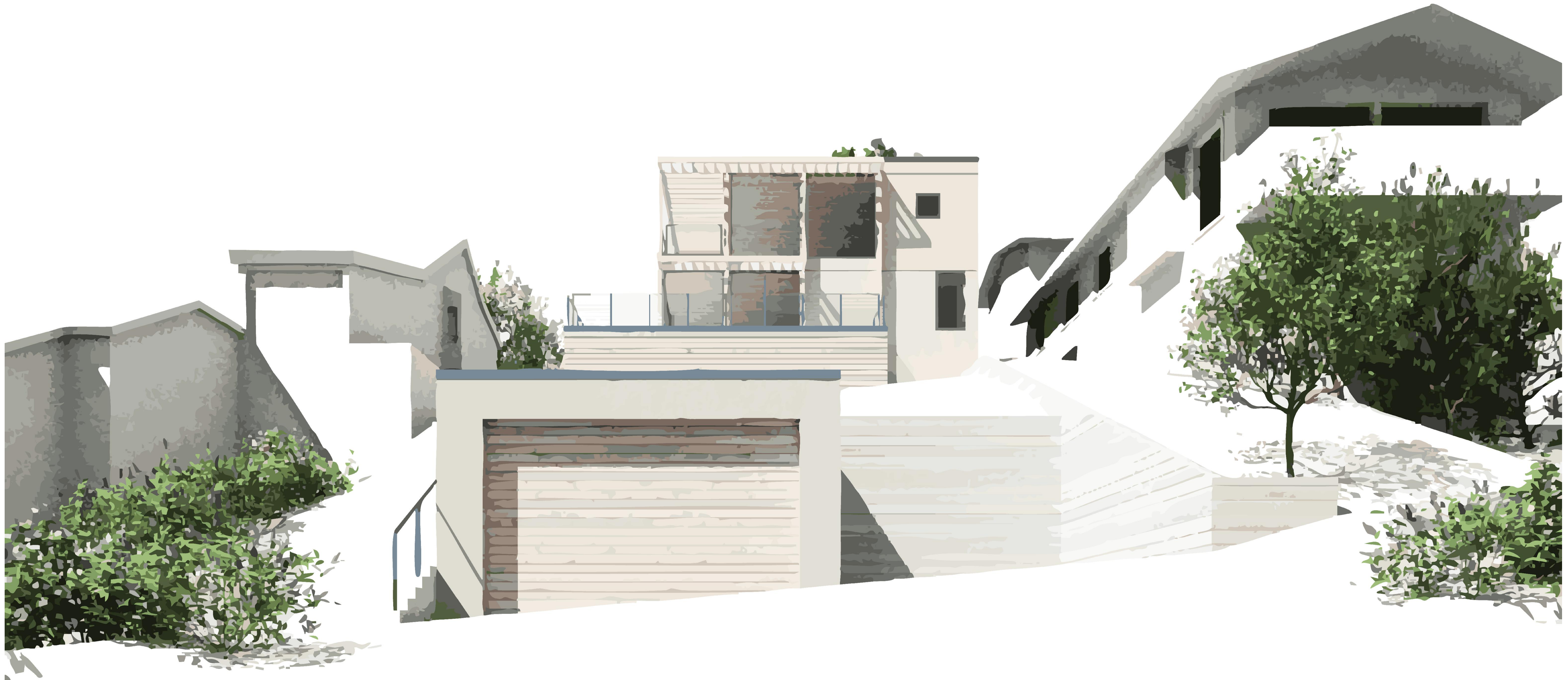
1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

GENERAL NOTE: ALL FOOTINGS SHOWN AS PLACEHOLDERS ONLY - EXACT DIMENSIONS AND DEPTHS TO BE SIZED BY LICENSED ENGINEER

**FINISH LEGEND**

WSD2	STAINED WOOD SIDING
STU	STUCCO
CONC	EXPOSED CONCRETE

	<b>RANGR STUDIO</b> 1234 GRIZZLY PEAK, BERKELEY, CA 94708 VOICE / SMS: 212.727.9911 EMAIL: INFO@RANGR.COM	<b>RASHID EAMES RESIDENCE</b> 0 WILLAMETTE AVENUE, KENSINGTON, CA 94708 PARCEL #: 570-161-009-8	<b>STREET ELEVATION (SOUTH)</b> DATE: 03 DECEMBER 2025 ISSUED: PLANNING REVIEW REV 1: - REV 3: - REV 2: - REV 4: -		<div style="border: 1px solid black; border-radius: 50%; padding: 10px; text-align: center; width: 40px; margin: auto;">A303</div>
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SOUTH ELEVATION



**RANGR STUDIO**  
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**RASHID EAMES RESIDENCE**  
 0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
 PARCEL #: 570-161-009-8

RENDERINGS - EXTERIOR	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

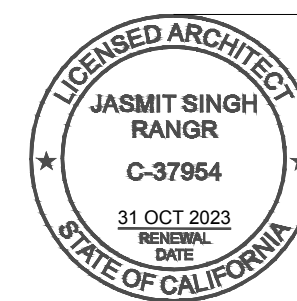
A900



LOOKING DOWNHILL



LOOKING UPHILL



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**RASHID EAMES RESIDENCE**  
 0 WILLAMETTE AVENUE, KENSINGTON, CA 94708  
 PARCEL #: 570-161-009-8

RENDERINGS - EXTERIOR	
DATE: 03 DECEMBER 2025	ISSUED: PLANNING REVIEW
REV 1: -	REV 3: -
REV 2: -	REV 4: -

A901

**From:** [Robert Rogers](#)  
**To:** [dahlia frydman](#); [Adam Novickas](#); [Chris Brydon](#); [Ben B](#); [david.peterson](#)  
**Cc:** [Dulce Reckmeyer-Walton](#); [Grant Farrington](#); [Sean Tully](#); [Maria Lara-Lemus](#); [Adrian Veliz](#); [Jenny Rockwell](#); [Jocelyn LaRocque](#); [Nai Saephan](#); [Brian Williams](#); [Everett Louie](#); [Cherie Adriano](#); [Chloe Partain](#); [Diana Lecca](#); [Joanna Steen](#); [Khanlai Chanthavee](#); [John Gioia](#)  
**Subject:** KMAC Meeting report for January 28  
**Date:** Thursday, January 29, 2026 4:51:50 PM

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Good afternoon KMAC leaders,

Thanks for a great meeting last night.

Members in attendance Jan. 28: Barry, Novickas, Peterson, Brydon

Member absent (excused): Frydman

**Business completed:**

1. KMAC approved Dec. 10 meeting minutes
2. KMAC **approved CDDP23-03009 0 Willamette Ave.** The applicant requests approval of a Kensington Design Review Development Plan with a variance for a 1- foot front yard setback (where 20 feet is required) for a retaining wall that exceeds 3 feet in height and a 5-foot front yard setback (where 20 feet is required) for a new 3,293-square-foot single-family residence (where 3,000 square feet is the maximum gross floor area allowed) on a vacant lot. The project also includes a tree permit for a code-protected tree that was previously removed. Several members of the public spoke on the matter, with some supportive of the project and some adamantly opposed, mostly due to concerns about bulk and view impairment. **KMAC Approved 3-0-1 with Novickas Abstaining**

Video Here: [https://youtu.be/gE4pimcVaZ4?si=bOwVOZ\\_gdVzHsj6u](https://youtu.be/gE4pimcVaZ4?si=bOwVOZ_gdVzHsj6u)

Our next meeting is set for January 28, 2026.

Best,  
Robert

**Robert Rogers**  
Chief of Staff  
Office of County Supervisor John Gioia



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El Cerrito, CA, 94530  
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# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

**File #:** 26-1344

**Agenda Date:** 4/6/2026

**Agenda #:** 4b.

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<b>Project Title:</b>	Development Plan for a New Single-Family Residence on Lot 8 of the Alamo Ridges Subdivision
<b>County File(s):</b>	CDDP24-03044
<b>Applicants: Owners:</b>	Jonathan James - William Wood Architects Stephanie Miles - Nortom Corporation
<b>Zoning:</b>	Planned Unit District (P-1)
<b>General Plan:</b>	Residential Very-Low Density (RVL) and Resource Conservation (RC)
<b>Site Address/Location</b>	438 Legacy Drive, Alamo, CA 94507 / APN: 193-010-030
<b>California Environmental Quality Act (CEQA) Status:</b>	Categorical Exemption, CEQA Guidelines Section 15303(a)-One Single-Family residence.
<b>Project Planner:</b>	Everett Louie, Planner III - phone: (925) 655-2873 and email: everett.louie@dcd.cccounty.us
<b>Staff Recommendation:</b>	Approve (See section II for full recommendation)

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### **I. PROJECT SUMMARY**

The applicant requests approval of a Development Plan, pursuant to COA #11(B) of CDDP01-03061, to construct a new 4,621-square-foot, two-story, single-family residence with associated retaining walls up to 4' on a vacant lot. The proposal involves approximately 733 cubic yards of fill and 1 cubic yard of cut and requires a Tree Permit for work within the dripline of a 54-inch diameter Coast Live Oak. Additionally, the applicant requests a minor modification to COA #12(G)(14) of County File #CDDP01-03061 to allow for retaining wall construction beneath the tree's dripline, drainage improvements, and grading.

### **II. RECOMMENDATION**

The Department of Conservation and Development, Community Development Division (CDD) staff recommends that the Zoning Administrator:

1. OPEN the public hearing on the proposed project, RECEIVE testimony, and CLOSE the public hearing.
2. DETERMINE that the proposed project is exempt from the California Environmental Quality Act (CEQA) under CEQA Guidelines 15303(a).
3. APPROVE the Development Plan (County File #CDDP24-03044), based on the attached Findings and Conditions of Approval; and

4. DIRECT staff to file a Notice of Exemption with the County Clerk.

### III. GENERAL INFORMATION

- A. General Plan - The subject property has two general plan designations. The project will be located within the Residential Very-Low Density General Plan Designation (RVL) and the rest of the parcel is designated as Resource Conservation General Plan Designation (RC).
- B. Zoning District - The subject property is located within the Planned Unit District (P-1), and is subject to the approved Alamo Ridges final development plans.
- C. California Environmental Quality Act (CEQA) - The proposed project is exempt under CEQA Guidelines Section 15303(a) - one single-family residence in a residential zone. The proposed project will construct one new single-family residence and associated improvements within an established residential P-1 zoning district which allows single-family residences. Therefore, the project is exempt under CEQA Guidelines Section 15303(a) which exempts one single-family residence.
- D. Lot Creation: The subject property was created under RZ93-3012, CDP93-3015 and SD93-7744 which were approved on May 2, 1995. The subdivision map was recorded on August 5, 2002, as Lot-8 of Tract 7744.
- E. Previous Applications:
  1. CDDP01-03061: This application was an amendment to a Final Development Plan (County File #CDDP93-03015) and Vesting Tentative Map 7744 ("The Ridges") pertaining to lot configuration and design restrictions, approved December 17, 2001, and approval of correction to amended Final Development Plan June 10, 2002.
  2. CDRZ93-03012, CDSD93-7744 and CDDP93-03015: These applications changed the zoning of the subdivision acreage from A-2 General Agriculture to P-1 Planned Unit District. CDSD93-7744 created a 14-lot single family residential subdivision and CDDP93-03015 set forth a development plan for the 14-lot single family residential subdivision. These applications were approved on May 2, 1995 by the Board of Supervisors.

### IV. SITE/AREA DESCRIPTION

The subject site is a vacant, 1.866-acre parcel (81,280-square-foot) identified as Lot 8 within a 14 lot subdivision called *Alamo Ridges* in the Alamo area. The subdivision includes a U-shaped ridge with steep hillsides and a small valley in the southern portion near Las Quebradas Lane. The subdivision includes designated building envelopes and scenic easement areas for each of the approved lots. Approximately 84% of the lots within the subdivision have a scenic easement designated on their property through which development rights have been deeded to the County. The scenic easement protects the steep hillsides and retains much of the existing Oak woodland and grassland habitats in the subdivision. Thus, the majority of the 1.866-acre project site is within the scenic easement area, leaving approximately 0.338-acres (14,723

square feet) as developable area including an approved approximately 6,115 square-foot building envelope (Attachment D). The sizes and shapes of the lots are generally similar in the project vicinity. Lots in the Alamo Ridges Subdivision (CDS93-7744) are rather large, with the average lot size being 3.25 acres. All of the lots in this subdivision are on downslopes of Legacy Drive.

The subject property is located within a neighborhood surrounded by Planned Unit (P-1) zoning, with properties having mixed General Plan designations of Resource Conservation (RC) for the scenic easements and Residential Very-low Density (RVL) for the building envelopes. Properties are zoned General Agriculture (A-2) located to the west, and Single Family Residential (R-20 and R-40) Zoning designations to the south of the site. Surrounding residential lots are developed with large, custom-built estate homes mixed with the large open space of the area.

The subject property fronts Legacy Drive to the west which is a two-lane road that spans the top of the U-shaped ridge and connects to Las Quebradas Lane. Lot 8 is near the top of the ridge on the east-facing downslope of Legacy Drive. There is one Coast Live Oak 54" located outside of the building envelope and outside of the scenic easement. The property also contains smaller trees along the side and rear property lines outside of the building envelope. The property slopes away from Legacy Drive, beginning at 770 feet above mean sea level and sloping downward to the east to 660 feet above mean sea level at the rear property line.

## **V. PROJECT DESCRIPTION**

The applicant requests approval of a Development Plan and an architectural design review which is required pursuant to Condition of Approval #11B of CDDP01-03061. The Final Development Plan for the Alamo Ridges has explicit conditions of approval for certain lots within the subdivision with specific residential design construction requirements. Condition of Approval #11B also requires a noticed public hearing at the Zoning Administrator level.

The applicant requests approval of a Development Plan for the following:

- A two-story single-family residence. The first floor will be 2,316 square feet and the second floor will be 2,305 square feet for a total of 4,621 square feet.
- Two attached garages. The first garage will be a 283-square-foot one car garage, and the second garage will be a 590-square-foot two car garage.
- Retaining walls up to four feet tall at the rear of the residence.
- The house will have a maximum height of 29'-8".
- Approximately 733 cubic yards of fill and 1 cubic yard of cut.
- Approximately 1,554 square feet of new landscaping.
- Approximately 2,001 square feet of new hardscape for the driveway.

The project also includes a Tree Permit to allow for the construction of a retaining wall, drainage and grading improvements within the dripline of one (1) 54" Coast Live Oak. The project also requires a minor modification to COA #12(G)(14) of CDDP01-03061 to allow for the retaining wall to encroach underneath the oak tree dripline.

**VI. AGENCY COMMENTS**

- A. Alamo Improvement Association (AIA): On November 29, 2024, the AIA held a meeting to discuss the project. The AIA continued the project in order for the applicant to amend the project plans to comply with the conditions of approval and mandatory architectural guidelines of the subdivision. On February 20, 2025, the AIA held a meeting to discuss the revised project plans. The AIA recommended approval of the application.
- B. Alamo Municipal Advisory Council (MAC): On February 25, 2025, the Alamo MAC held a meeting to discuss the project. During the meeting, the MAC decided not to review the application and determined that the MAC does not make design comments.
- C. Central Contra Costa Sanitary District: In a comment letter dated November 21, 2024, the sanitary district provided comments requiring the applicant to submit full-size improvement plans to Central Sanitary Staff prior to submitting for a building permit. Staff has included in the advisory notes listed in the findings and conditions of approval a recommendation that the applicant contact the Sanitary District.
- D. East Bay Municipal Utility District: In a comment letter dated November 25, 2024, the water district provided comments requiring the applicant to contact the water district's new business office to request a water service estimate. Staff has included in the advisory notes listed in the findings and conditions of approval a recommendation that the applicant contact the Water District.
- E. Contra Costa Mosquito & Vector Control District: In a comment letter dated November 26, 2024, the District provided comments requiring the project to prevent any standing water.
- F. San Ramon Valley Fire Protection District: In a comment letter dated November 14, 2024, the Fire District provided comments requiring the project to submit plans for review by the Fire District and to comply with current Fire Code requirements. Staff have included in the advisory notes listed in the findings and conditions of approval a recommendation that the applicant contact the Fire District.
- G. Contra Costa County Public Works Department: The Public Works Department provided their comments in a staff report dated February 9, 2026. The Public Works Department deemed the application complete and provided their conditions of approval which are incorporated into the findings and conditions of approval Attachment A.
- H. County Geologist: COA #14 of CDDP01-03061 requires the County to review a geotechnical report for the site. A peer-review of the applicant's geotechnical report was conducted by Darwin Myers Associates (DMA). DMA submitted a letter dated March 16, 2026, reviewing the geotechnical report for the proposed project and determined that the geotechnical report satisfied the COA #14 of CDDP01-03061 which requires review of a site-specific geotechnical report. The County Geologist also provided certain recommendations for the project that are incorporated into the findings and conditions of approval in Attachment A.

**VII. STAFF ANALYSIS AND DISCUSSION**

- A. Consistency with General Plan: The subject property has two general plan designations. The project will be located within the Residential Very-Low Density General Plan Designation (RVL), and the rest of the parcel is within the Resource Conservation General Plan Designation (RC). The project will be located entirely within the RVL designation as the RC area of the parcel is restricted from development via a Grant Deed of Development Rights deeded to the Contra Costa County. The RVL General Plan Designation allows for detached single-family units on lots of 1 acre or larger. The parcel size is approximately 1.866 acres which exceeds the 1-acre requirement for RVL. Therefore, a single-family residence on the parcel is consistent with the general plan designation. The proposed single-family residence will not alter the land use on the property, nor will it conflict with the density range for the lot or the vicinity with the same General Plan designation. Additionally, the project complies with the following policies with the Stronger Communities Element for Alamo.

Specific Area Policies: The Stronger Communities Element of the County General plan contains policies for specific geographic areas of the unincorporated County. The Stronger Communities Element contains specific policies that relate to projects within the Alamo area. A detailed discussion of the proposed project's consistency with these policies follows:

**Alamo Policy 3: Prioritize preservation of irreplaceable natural features (e.g., mature stands of oak trees and riparian corridors) and wildlife habitat**

Staff Response: The project is designed so that there will not be removal of any mature oak trees on site. The area outside of the approved building envelope is designated as a restricted development area, scenic easement with the grant deed of development rights deeded to Contra Costa County. The scenic easement area is designed to protect visual character of the site by preserving the natural hillside. The residence is placed within the approved building envelope and does not propose any development within the scenic easement. Therefore, the project preserves the natural features of this site.

**Alamo Policy 4. Maintain public views of Mount Diablo, scenic ridges, and other defining natural elements of the local landscape to the greatest extent feasible.**

Staff Response: As mentioned in the response to Alamo Policy 3, the project will not encroach into the scenic easement and will not remove any trees. Additionally, the height of the single-family residence which is 29'-8", does not exceed the maximum height allowed of 35 feet pursuant to COA #12(G7) of CDDP01-03061.

**Alamo Policy 9. Discourage roof heights exceeding 40 feet, or architectural features (such as parapets) exceeding 45 feet.**

Staff Response: See Staff response to Policy 4.

- B. Consistency with Zoning: The subject property is located within a Planned Unit (P-1) zoning district that was established with the approval of County File #CDRZ93-03012. Accordingly, the proposed project is

subject to the conditions of approval (COA) for County Files CDRZ93-03012, CDDP93-03015 which was amended under CDDP01-03061, which include residential design guidelines for all lots within the development. In addition, the proposed project is subject to the Mandatory Design Guidelines of Subdivision CDS93-7744. Pursuant to COA #11(B), any proposed residential designs are subject to a design review and approval by the Alamo Improvement Association and to a design review and approval by the Zoning Administrator at a noticed public hearing, required prior to the issuance of a building permit. Thus, the applicant submitted this application for a Development Plan to allow the development of a new single-family residence. The below analysis demonstrates how the project complies with all design guidelines of both CDDP01-03061 and the Mandatory Design Guidelines of Tract 7744.

Consistency With Relevant COA's of CDDP01-03061 (Attachment B):

- COA #11(B): At least 30 days prior to the issuance of building or grading permits, proposed residential designs shall be submitted to the Zoning Administrator for review and approval and to the Alamo Improvement Association for review and comment. The submittal shall include the site plan, a grading plan, tree preservation plan, an arborist report, structural elevations, floor plans and a sample palette of exterior colors and materials. Certification from a licensed civil engineer verifying that the structure(s) are located within the approved building envelope must also be submitted. The Zoning Administrator may require the submittal of a visual analysis in order to confirm compliance with the conditions herein.

Architectural review of design development level drawings is to be conducted for each lot by the Zoning Administrator in a noticed public hearing. The applicants will provide for each such review including drawings to the Alamo Improvement Association via the Association's monthly meeting prior to the Zoning Administrator hearing.

Staff Response: The project was reviewed by the AIA on February 20, 2025, where the AIA recommended approval of the application. This development plan is in response to COA #11(B) which requires a noticed public hearing in front of the Zoning Administrator. To verify that the proposed project is located within the approved building envelope, the applicant submitted a civil plan set created by Easton McAllister, licensed civil engineer that verifies the proposed building footprint is placed within the building envelope.

- COA #11(E): All structures shall be within the final approved building envelopes.

Staff Response: The proposed location of the single-family residence is located within the approved building envelope pursuant to Exhibit A "Legal Description Building Envelope Area Lot 8 Tract 7744." (See attachment D). The applicant has submitted a civil plan set created by Easton McAllister, licensed civil engineer that verifies the proposed building footprint is placed within the building envelope. The retaining walls are allowed to be outside of the building envelope pursuant to COA #12(G)(21).

- COA #11(G): All buildings shall be located outside of the tree driplines unless otherwise noted.

Staff Response: The proposed site plan shows that the proposed single-family residence is located outside of all tree driplines.

- COA #11(I): Exterior wall and roof colors and materials shall utilize medium to dark earth -tone colors, defined as those having less than 50% light reflectance. A licensed architect shall certify submitted elevations with this requirement.

Staff Response: The applicant submitted a proposed color board which shows the roof will be a dark medium bronze color and the exterior walls will be a dark gray stucco with any stone veneer to also utilize earth tone colors. Staff has included as a condition of approval that requires the applicant to submit verification to CDD prior to obtaining a permit that all exterior colors comply with the 50% light reflectance requirement.

- COA #11(J): Construction on individual lots shall conform to the R-20 zoning district standards except as modified by the approved Architectural Design Guidelines and by the conditions herein.

Staff Response: The proposed development adheres to the R-20 Zoning District development setback standards, except as modified by the Architectural Design Guidelines as specific in condition of approval COA #11(J). The project proposes a 15'-6" front setback (where 15' is required), a 20' minimum side yard setback on the north side (where 20' is required), more than the 40' aggregate side yard setback requirement and more than the 15' rear setback requirement. The garage is located 15' from the right of way, which complies with the setback requirements. Lastly, the proposed single-family residence will be at least 40' from the proposed residence on Lot 7.

- COA #12:
  - A. Require residential building plans to incorporate storage areas for the storage of recyclable materials;
  - B. Require water conservation measures to be used for landscaping consistent with County Ordinance Code Chapter 82- 6;
  - C. Require water conservation devices to be incorporated in residential designs.
  - D. Require all residences to be equipped with residential sprinklers and have fire retardant roofs unless specifically recommended otherwise by the SRV Fire Protection District.
  - E. Require each residence to have an electrical outlet installed in the garage, which is designed to dedicate for future use in recharging electrical vehicles;

Staff Response: The project plans designate an area adjacent to the garage where the garbage and recycling bins will be placed outside of the house. The project is required to comply with the County's Water Efficient Landscapes Ordinance. The preliminary landscape plans show compliance with Part I of the County's Water Efficient Landscapes Ordinance and will be required to comply with Part II of the Ordinance prior to requesting a final inspection. For all fire protection, the project is required to comply with the California Fire Code and the project will be required to

obtain approval from the Fire District prior to occupancy. Lastly, the floor plan shows a proposed electric vehicle charging outlet in the two-car garage.

- COA #12(G)(5): The design of the residential structures for Lots 6 through 8 and Lots 11 through 14 shall use architectural features (e. g., second story setbacks, reduced height, staggered frontage) to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15-foot front setback.

Staff Response: The project is designed to break up the massing of the front by exceeding the 15-foot front setback requirement and uses a tiered approach where the building mass recedes as it gets higher. The second floor is recessed behind the first-floor roofline, and the lower level extends forward (especially where the garage and the stone-clad entryway is) while the upper-level windows and walls sit further back.

- COA #12(G)(7): The development of Lots 7, 8, and 9 in terms of its height shall conform to the R-20 zoning district standards of 35-feet.

Staff Response: The proposed residence will have a maximum height of 29'-8".

- COA #12(G)(14): Restriction on Placement of Accessory Structures on Lots 7 or 8 - Future accessory structures on Lot 7- 8 shall not extend beyond the 747- foot contour nor extend under the oak tree drip line.

Prohibition on Placement of Structure within Drip line of Existing Trees  
No structure on Lot 7- 8 shall encroach under the drip line of trees # 54  
and # 44 on Lot 7- 8.

Staff Response: There are no structures beyond the 747-foot contour line and no structures are within the dripline of tree #44 or #54. There is one Coast Live Oak Tree, tagged as #51 that will have a retaining wall constructed within the dripline. The proposed retaining wall encroaches slightly within the 54" tree #51 at the rear. Therefore, the applicant is requesting a modification to COA #14 to allow for a rear retaining wall to be located underneath an existing oak tree. Staff can support the modification because the encroachment is minimal, does not require the removal of the tree and the arborist report prepared by Jarred Juarez WE-13341A concluded that the "planned construction will have minimal impact, if any, on this tree." Moreover, a tree permit is required for any work within the dripline of an Oak Tree and will require a tree bond to be submitted in the event that the tree to be preserved is damaged.

- COA #12(G)(19): Each house and accessory structure shall be subject to design review prior to the issuance of a building permit. Design review shall address the massing, height, setbacks, architectural features, color palette and exterior building materials to minimize visual impact. Photo simulations for each house will be required with the design review submittal.

Staff Response: The applicant submitted architectural plans including a color palette and detailed

elevation drawings showing what the design would look like. The architectural plans prepared address massing, height, setbacks, architectural features, color palette and exterior building materials. Given the site's topography and its location within an established residential subdivision, the architectural plans offer a precise representation of the building's volume and relationship to the topography that effectively addresses the design review's intent to minimize visual impact. The applicant will also be required to submit photo simulations prior to issuance of a building or grading permit to CDD Staff to verify that the construction documents provide evidence that the residence will comply with the design review criteria listed in COA #12(G)(19) above. As part of the design review process, the project was sent to the Alamo Improvement Association and the Alamo MAC with both agencies reviewing the project with all relevant design conditions of approval.

- COA #12(G)(21): Placement of Structures - All structures must be within the final approved building envelopes including accessory and ancillary structures including pool cabanas, arbors, etc., on Lots 1 through 6, and Lots 9 through 14. However, Lots 7 and 8 shall not be subject to that ancillary structures limitation, though such structures will be subject to Design Review requirements and the review process.

Staff Response: The project includes construction of retaining walls outside of the approved building envelope. The condition of approval restricts lots 1 through 6 and lots 9 through 14 from placing structures outside of the building envelope. The condition of approval does not restrict lot 8 from placing structures outside of the building envelope. Therefore, because the project is on lot 8, the project complies with the condition above.

- COA #13(E): At least 30 days prior to the issuance of building permits for residential structures which may be visible from off the subdivision site, the applicant shall submit to the Zoning Administrator for review and approval a landscaping plan and evidence that the structure will not be visible when viewed from off the subdivision site at equal or lower elevations when the landscaping reaches maturity. The information submitted must also show that the visibility of the structure(s) from higher elevations have been minimized to the extent feasible. The Landscaping Plan shall include 15- gallon size Indigenous trees. Prior to the Zoning Administrator's decision, the applicant shall ensure that the Alamo Improvement Association has been given the opportunity to review and comment on the landscaping plans. Any comments from the Alamo Improvement Association shall be submitted to the Zoning Administrator along with the Landscaping Plan

Staff Response: In accordance with COA #13(E), topographic review was conducted regarding the visibility of the proposed residential structure from off the subdivision site. Mystic Place, which is the closest off-site street located at a lower elevation north of the project site is not visually impacted by the project due to the existing grade differential and the positioning of the project building pad towards the frontage. The proposed house will not be visible from anywhere along Mystic Place. Homes along Las Quebradas to the south will also not be visually impacted due to an existing hill blocking views to the north. The elevation and topographical shielding ensures the project is not visible when viewed from lower elevations off site. To ensure long-term visual compatibility, the project includes a landscaping plan to plant nine (9) trees. Two of which will be 15-gallon indigenous trees. The trees will be planted along the frontage to screen the residence.

Additionally, the AIA was provided with the entire plan set for their review and comments. The AIA recommended approval.

- COA #14: At least 30 days prior to the issuance of building permits for the construction of individual residences, a site specific geotechnical) report which evaluates the building plans must be submitted for the review and approval of the Zoning Administrator.

Staff Response: The Geotechnical report prepared by ENGEO, Inc dated January 24, 2025 was peer-reviewed by the County Geologist. In a letter date March 16, 2026, the County Geologist stated that the report satisfied the conditions of approval COA #14. The County Geologist also recommended that ENGEO provides to CDD detailed building plans with a General Note to follow the geotechnical monitoring recommended by ENGEO and that a final report should be provided to ensure consistency with their recommendations for Lot 8. Therefore, a condition of approval will be included requiring a hold will be placed on the final building inspection, pending a final report from ENGEO which will be submitted for the review and approval of CDD. The final report should document the details of the observation and testing services provided and should provide the geotechnical engineer's professional opinion on the compliance of construction with ENGEO's geotechnical recommendations to ensure that the as-built condition is consistent with the recommendations in the approved geotechnical report.

- COA #15 and #16: Require submittal of a tree preservation plan and tree bond prior to issuance of a grading or building permits.

Staff Response: The applicant submitted a preliminary landscaping plan which provides the planting of nine (9) trees to be preserved as part of the development. Additionally, the arborist report includes a tree preservation plan for to protect tree #51 which is the 54" Coast Live Oak. The tree preservation plan includes the arborist recommendations to minimize construction impacts. Lastly, the applicant will be required to submit a tree bond prior to the issuance of a grading or building permit.

**C. Design Review: Consistency With Relevant Mandatory Design Guidelines Tract 7744 (Attachment C):**

As designed, the proposed residence would be visually compatible with the surrounding scenic easement and would not be obtrusive or otherwise alter its surroundings. The proposed house mixes contemporary designs with some mediterranean style materials which is consistent with other houses in this subdivision. Houses in the subdivision are large, custom homes which this project will also follow. The building will comply with the maximum building height of 35 feet and the materials and colors provided in the color board include natural earth toned colors such as gray, dark gray, stone veneer and a bronze roof. The stucco siding is a muted, warm-grey neutral. Further analysis on how the project complies with relevant design guidelines is below.

- 1.1.1: Siting of Homes/Grading

Staff Response: The design utilizes deep horizontal roof overhangs between first and second floors to break up the vertical plane. The west elevation demonstrates a varied building envelope with

recessed windows to avoid tall exposed unbroken facades. The first-floor subfloor sites closely atop the ground floor and the placement of the structure is within the existing Coast Live Oak Tree.

- 1.1.2: General & Specific Design Goals & Requirements

Staff Response: All windows will be trimmed and the applicant has submitted the proposed outdoor lighting fixture specifications that show the lights will be downward casting and will not have glare offsite. All utilities will be undergrounded to prevent any visual impact of lines, wires and other devices. The exterior color will be earth tone colors as well as the new driveway.

- R5: The design of the residential structures for Lots 6- 8, and 11- 14 shall use architectural features to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15-foot front setback.
- R11: The development of Lots 7, 8, and 9 in tetras of its height shall conform to the R-20 zoning district standards of 35 feet.

Staff Response: The project is designed to break up the massing of the front by exceeding the 15-foot front setback requirement and uses a tiered approach where the building mass recedes as it gets higher. The second floor is recessed behind the first-floor roofline, and the lower level extends forward (especially where the garage and the stone-clad entryway) is) while the upper-level windows and walls sit further back. The project complies with the 15-foot front setback requirement by siting the proposed residence at a 15'-6" front setback and proposes a maximum height of 29'-8".

- 1.1.3: Landscaping

Staff Response: The applicant provided a primary landscaping plan that was reviewed under the County's Water Efficient Landscapes Ordinance. A condition of approval will require the applicant to comply with the second part of the Ordinance prior to requesting for a final inspection. The landscaping plan provides the planting of nine trees including two 15-gallon indigenous trees. Additionally, the location of the landscaped trees will be placed along the frontage to provide visual screening for the new residence.

- 1.1.4: Protection of Scenic Easement Areas

Staff Response: The project does not propose any development within the scenic easement areas. There will be no change to the existing scenic easement.

- 2.2: Development Envelopes

Staff Response: The project complies with the building envelope requirement in that the single-family home will be placed within the approved envelope. As mentioned above, retaining walls are allowed to be placed outside of the building envelope for Lot 8 and a licensed civil engineer has confirmed that the placement of the residence is within the approved building envelope.

- 2.3: Lot Size and Setbacks

- A. Lots will accommodate a 3-car garage (and 6 off-street parking spaces).
- B. Front setbacks from the right- of-way shall be a minimum of 15 feet to the main house structure. Aggregate side-yard width of 40 feet minimum is required. The side-yard minimum setback of 20 feet requires a minimum of 20 feet on the adjacent lot (20 + 20 = aggregate total of 40 feet minimum between structures).
- C. In order to allow more flexibility in design for various lot configurations, particularly on up and down slope lots, the front setback (from right- of-way) for front entry garage shall be a minimum of 15 feet.
- D. Variations of street setbacks are encouraged to create superior street appearances. Flexibility will be allowed in the setbacks of detached garages especially on sloping lots where detaching the garage allows for a superior placement of the main living structure. The Zoning Administrator review each request for detached garages and work with the homeowner on setbacks.
- E. Minimum separation between houses on adjacent lots is 40 feet.

Staff Response: The project proposes 3 covered parking spaces and 3 uncovered parking spaces within the driveway for a total of 6 off-street parking spaces. The project proposes a 15'-6" front setback, a 20' minimum side yard setback on the north side and more than 40' aggregate side yard setback. The garage is located 15' from the right of way which complies with the setback requirements. Lastly, the proposed single-family residence is over 40' from the proposed house on Lot 7 and the existing house on Lot 6.

- 4.0: Building Design Guidelines

Staff Response: The project adheres to Guideline G by avoiding large expanses of walls in single planes. The proposed elevations show significant articulation and fenestration, using recessed windows and projecting architectural elements to break up vertical surfaces. Consistent with Guideline E, the garage is designed with a lower roofline and distant massing, which lessens the overall appearance of mass and bulk on the site. The roof design follows Guideline D by utilizing broken roof lines and irregular shapes. The standing seam metal roof features multiple ridges and pitches. The retaining walls comply with Guideline H by utilizing a terraced design in the rear. The proposed materials and color palette aligns with Guideline 4.2 by utilizing stone masonry and earth tone color cement plaster. The roof material which is a bronze standing seam metal roof is non-reflective which is a design guideline.

D. Tree Protection and Preservation Ordinance: The project will include construction of a retaining wall within the dripline of one 54" Coast Live Oak. The County's Tree Preservation and Protection Ordinance

(County Code Chapter 816-6) is intended to provide for the protection of trees on private property through contingencies for tree alteration while allowing for reasonable enjoyment of private property rights and development. Reasonable development of the property requires work within the dripline of the site that is restricted based on a very small building envelope. Furthermore, an arborist report was prepared by Jarred Juarez We-13341A which determined that the “planned construction will have minimal impact, if any, on this tree.” Additionally, a condition of approval will be included to require a bond to be submitted to the County for the replanting of 1 native species tree if the tree to be preserved is damaged during construction. Therefore, the proposed project is consistent with the County’s Tree Protection and Preservation Ordinance.

- E. Minor Modification: The applicant requests a minor modification from COA #12(G)(14) which prohibits any structure from being placed underneath an oak tree dripline. As mentioned in the project description, one retaining wall will minimally encroach into the dripline of a 54” Coast Live Oak tree. This impact was evaluated by an arborist and was determined to be minimal. The deviation is necessary to allow the house to be built because the property slopes steeply down, away from the street and when the subdivision was approved in 1995, this tree was substantially smaller, and the building envelope extended toward that tree. Now that the tree has matured, the tree dripline has extended further out, encroaching into the new building envelope. A deviation to this condition of approval is required to allow for the site to be developed in accordance with the development pattern of the area.
- F. Drainage: Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse. The project was reviewed by the Public Works Department in regards to drainage and was determined to be compliant with Division 914.
- G. Stormwater Management and Discharge Control Ordinance: A Stormwater Control Plan (SWCP) is required for applications that will create and/or redevelop impervious surface area exceeding 10,000 square feet in compliance with the County’s Stormwater Management and Discharge Control Ordinance and the County’s Municipal Separate Storm Sewer System National Pollutant Discharge Elimination System Permit. Given that the project parcel is less than 10,000 square feet in area, the proposed project is below the threshold for required submittal of a SWCP.
- H. Appropriateness of Use: The project site is within an established residential neighborhood within a rural setting of Alamo. The proposed project is generally consistent with the conditions of approval and design guidelines of the area. The project will enhance a currently vacant lot with a new residence that is designed similarly to surrounding development. The residence will conform to the building envelope identified for Lot 8 and conforms to all setback and height requirements. Therefore, the use of Lot 8 for a custom-built home is consistent with the surrounding uses.

## **VIII. CONCLUSION**

The proposed development is consistent with the Residential Very-Low Density (RVL) General Plan land use designation and complies with the intent and purpose of both the planned Unit (P-1) zoning district and the County Tree Protection and Preservation ordinance as discussed in the attached findings. Additionally, since the project is a residential use on a parcel designated for residential development, it is an appropriate use for the property. Therefore, staff recommends that the Zoning Administrator approve County File #CDDP24-03044 based on the attached conditions of approval.

Attachments:

- A. Findings and Conditions of Approval
- B. CDDP01-03061 Conditions of Approval
- C. Mandatory Design Guidelines Tract 7744
- D. Approved Building Envelope
- E. Maps - Parcel Maps, Aerial Map, Zoning Map, General Plan Map
- F. Agency Comments
- G. Project Plans

**FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03044: JONATHAN JAMES - WILLIAM WOOD ARCHITECTS (APPLICANT), STEPHANE MILES – NORTOM CORPORATION (OWNER)**

**FINDINGS**

A. Development Plan Findings:

In approving a Development Plan in the P-1 Planned Unit District, findings are required pursuant to County Code Section 84-66.1804(b) that the proposed project is consistent with the intent and purpose of the P-1 District and that it is compatible with other uses in the vicinity, both inside and outside the district.

1. Required Finding: *The proposed project shall be consistent with the intent and purpose of the P-1 district.*

Project Finding: The subject property is within a Planned Unit (P-1) zoning district which allows for residential uses typically permitted in a single-family residential district, but with limitations on certain improvements location outside of the approved building envelope and outside of the scenic easement on each property. Generally, the intent of the P-1 zoning district is to ensure that the unique ridgeline area can be developed with residences while also taking into consideration and preserving the aesthetic qualities of the area and hillsides.

The project consists of the construction of a new approximately 4,621-square-foot, two-story, single-family residence with associated retaining walls on a vacant lot. The project includes a request for approval of a minor modification from the residential design standards for the subdivision contained in COA #11(B) to allow for the retaining wall to be placed beneath a Coast Live Oak dripline. All development is within the building envelope and outside of the scenic easement area. Furthermore, the project preserves a significant 54" diameter Coast Live Oak which will maintain this area's unique hillside aesthetic qualities. The P-1 zoning district allows for the uses permitted in single-family residential zoning districts such as new single-family residences and structures and landscaping improvements that are accessory to the single-family residence. Because of the steep topography of the site, many parcels within this subdivision have been developed using retaining walls to structurally keep the building pads stable. In order to build on this site, the retaining walls are required to be placed in the rear which necessitates the deviation. Therefore, the minor modification to the conditions of approval of County File CDDP01-03061 are consistent and compatible with the residences within the surrounding area and subdivision. Therefore, the project is consistent with the intent and purpose of the P-1 district in which it is located.

2. *Required Finding:* *The proposed project shall be compatible with other uses in the vicinity, both inside and outside the district.*

Project Finding: The project site is located within an area of Alamo that is dominated by single-family residential developments, and agricultural or open space uses located on steep hillsides. Homes along Legacy Drive are large-scale homes, typically custom-built estate residences which the project will match. The Final Development Plan as conditioned was intended to preserve the character of the nearby community and included architectural design guidelines and conditions to ensure the aesthetic protection and conservation of the hillside areas. No portion of the residence goes beyond the building envelope and pursuant to COA #12(G)(21), the retaining walls are allowed to be outside of the building envelope. All required setbacks and height requirements are met. The two-story, 4,621-square-foot residence includes materials, colors and architectural details that conform to the Mandatory Design Guidelines and Conditions of Approval of CDDP01-03061. The house is designed to reduce scaling and mass by stepping back the second story, utilizing recessed windows and varied roof heights to ensure the home is scaled appropriately. Moreover, the project provides material continuity with an exterior palette that includes black window frames, a bronze toned roof, earth toned color stucco and stone masonry.

The reasonable development of the subject property requires work within the dripline of one code-protected oak tree for the construction of the retaining wall. The tree will not be removed, but encroachment within the dripline is required to implement the building pad. An arborist report was provided which showed that the construction of the retaining wall would have minimal impact to the tree. As many properties in central Contra Costa County contain trees that are protected under the County’s Tree Protection and Preservation Ordinance, requests for approval to work within the dripline of trees is a common occurrence. The potential impact to trees at the site has been analyzed and protective measures have been recommended to ensure the vitality of those trees, as is typically done for residential projects throughout the County. Therefore, the project for a large-scale custom home is consistent and compatible with other uses in the vicinity, both inside and outside of the district.

B. Tree Permit Findings:

The County Zoning Administrator is satisfied that the following required factors, as provided by County Ordinance Code Section 816-6.8010 for granting a tree permit, have been satisfied:

Required Finding: *Reasonable development of the property would require the alteration or removal of trees and this development could not be reasonably accommodated on another area of the lot.*

Required Finding: *Where the arborist or forester report has been required, the Deputy Director is satisfied that the issuance of a permit will not negatively affect the sustainability of the resource.*

Project Finding: The topography of the project site is hilly with the natural grade of the lot sloping steeply down from west to east. Due to the steep hillside, it is difficult to develop within the building envelope without the need for retaining walls. Reasonable development of the property requires retaining walls to be placed along the slope to maintain the buildable area. Additionally, an arborist report was provided by Jarred Juarez, WE-13341A who evaluated the potential construction impacts on the Coast Live Oak. In the report, the arborist concluded that the planned construction “will have minimal impact, if any, on this tree.” The arborist report determined that the issuance of the tree permit will not negatively affect the sustainability of the tree.

C. California Environmental Quality Act (CEQA) Review Finding:

The project is exempt under CEQA Guidelines Section 15303(a), regarding “construction of a single-family residence in a residential zone.” The project involves the construction of a new single-family residence and associated improvements within an established residential subdivision. Therefore, the project is exempt under CEQA Guidelines Section 15303(a).

**CONDITIONS OF APPROVAL FOR COUNTY FILE CDDP24-03044**

Project Approval

1. **Development Plan** to construct a new approximately 4,621-square-foot, two-story single-family residence with associated retaining walls on Lot 8 of the Alamo Ridges Subdivision, is APPROVED.
2. **Modification** from COA #12(G)(14) to allow for the construction of a retaining wall beneath a 54” Coast Live Oak Dripline, is APPROVED.
3. **Tree Permit** to allow for work within the dripline of a 54” diameter Coast Live Oak for the construction of retaining wall, is APPROVED.
4. The approval described above is generally based on the following documents:
  - Application materials and project plans accepted by the Department of Conservation and Development, Community Development Division (CDD) on October 24, 2024.

- Revised project plans accepted by the Department of Conservation and Development, Community Development Division (CDD) on January 30, 2025 and revised civil plans received on March 13, 2026.
- Arborist Report (Jarred Juarez WE-13341A) received on October 24, 2024.
- Geotechnical Report (ENGEO) received on January 30, 2025.

5. Any change from the approved plans shall require review and approval by the CDD and may require the filing of an application to modify this Development Plan.

#### Application Costs

6. This application is subject to an initial application deposit of \$3,500.00, which was paid with the application submittal, plus time and material costs if the application review expenses exceed 100% of the initial deposit. Any additional costs due must be paid within 60 days of the permit effective date or prior to use of the permit, whichever occurs first. The fees include costs through permit issuance and final file preparation. Pursuant to Contra Costa County Board of Supervisors Resolution Number 2019/553, where a fee payment is over 60 days past due from the date of approval, the application shall be charged interest at a rate of ten percent (10%). The applicant may obtain current costs by contacting the project planner. If you owe additional fees, a bill will be sent to you shortly after permit issuance.

#### Building Permits

7. No construction is approved with this permit. Any construction at the subject parcel will require issuance of building permits from the Department of Conservation and Development, Building Inspection Division, prior to commencement of work.

#### Park Impact Fee

8. **Prior to CDD-Stamp approval of plans for the issuance of a building or grading permit**, the applicant shall pay for the applicable park impact fee as adopted by the Board of Supervisors.

#### Park Dedication Fee

9. **Prior to CDD-Stamp approval of plans for the issuance of a building or grading permit**, the applicant shall pay the applicable park dedication fee as adopted by the Board of Supervisors.

#### Child Care Fee

10. Prior to CDD-Stamp approval of plans for the issuance of a building or grading permit, the applicant shall comply with the requirements of the Child Care Ordinance and pay \$400.00 as adopted by the Board of Supervisors.

Compliance with Conditions of Approval of County File CDDP01-03061

11. Unless expressly stated otherwise herein, the approved conditions of approval of County File CDDP01-03061 shall apply to this application and Mandatory Architectural Design Guidelines for Tract 7744.
12. No grading or development is allowed within the Grant Deed of Development Rights, Restricted Development Area (Scenic Easement).
13. **Prior to scheduling a form inspection** for the retaining walls proposed at the site, a site survey shall be conducted to confirm the exact location of these structures to ensure that the retaining walls are not within the scenic easement area. In addition, survey stakes shall be placed at the site to delineate the location of the scenic easement boundary to avoid construction within the scenic easement area.

Exterior Colors

14. **Prior to CDD-stamp approval of plans for the issuance of a building permit**, the applicant shall submit verification that all exterior colors will have less than 50% light reflectance. A licensed architect shall certify submitted colors comply with this requirement.

Photo Simulations

15. **Prior to CDD-stamp approval of plans for the issuance of a building permit**, the applicant shall submit photo simulations of the single-family residence to CDD to verify that the single-family residence remains in compliance with the design review criteria of COA #12(G)(19) of CDDP01-03061.

Landscape Plan

16. **Prior to requesting a final inspection**, the approved landscaping shall be installed, and evidence of the installation (e.g., photos) shall be provided for the review and approval of CDD. The applicant/owner shall submit a completed WELO part II-Certificate of Completion for review and approval by CDD.
17. Trees identified on the approved landscape plan Sheet L-1.0 and on the arborist tree preservation plan prepared by Jarred Juarez shall be preserved. Any tree identified for

preservation under this development plan shall require compliance with Chapter 816-6 – Tree Protection and Preservation for removal or work within the dripline.

Compliance with Arborist Recommendations

18. The applicant shall implement the tree protection measures recommended in the consulting arborist’s report prepared by Jarred Juarez WE-13341A received on October 24, 2024.
19. The applicant shall be responsible for all arborist expenses related to the work authorized by this permit.

Geotechnical Review

20. **Prior to requesting a final inspection**, a final report from the project geotechnical engineer shall be submitted for review and approval of CDD. The final report shall present a) details of the observation and testing services provided, and b) provide the geotechnical engineer’s professional opinion on the compliance of construction with ENGEO’s geotechnical recommendations.

Contingency Restitution Should Altered Tree Be Damaged or Removed

21. Security for Possible Damage to Trees Intended for Preservation: Prior to CDD stamp approval of plans for the issuance of building or grading permits, whichever occurs first, to address the possibility that construction activities damage trees that are to be preserved, the applicant shall provide the County with a security (e.g., cash deposit or bond) to allow for replacement of trees to be preserved that are significantly damaged or destroyed by construction activity, pursuant to the requirements of Section 816-6.1204 of the Tree Protection and Preservation Ordinance. Construction Period Restrictions and Requirements

The security shall be based on:

- A. Extent of Possible Restitution Improvements – The planting of up to one (1) indigenous tree, minimum 15-gallons in size, in the vicinity of the affected tree, or an equivalent planting contribution, subject to prior review and approval of the CDD.
- B. Determination of Security Amount – An estimate for the security shall be submitted for CDD review which accounts for all of the following costs:
  - i. Preparation of a tree planting and irrigation plan by a licensed landscape architect, arborist, or landscape contractor for up to one (1) tree as described

in Section A above. The plan shall comply with the County’s Water Efficient Landscape Ordinance and include indigenous trees (COA #13(E), #CDDP01-03061).

- ii. The labor and materials for planting the potential number of trees and related irrigation improvements (accounting for supply, delivery, and installation of tree and irrigation) shown on the approved planting and irrigation plan.
  - iii. An additional 20% above the costs described in Sections B.i. and B.ii. above to account for potential inflation.
- C. Initial Deposit for Processing of Security – The County ordinance requires that the applicant pay fees to cover all staff time and material costs for processing the required security. At the time of submittal of the security, the applicant shall pay an initial deposit of \$200.00.
- D. Duration of Security – The security shall be retained by the County for a minimum of 12 months and up to 24 months beyond the completion of the tree altering improvements (i.e., date of final inspection). As a prerequisite of releasing the security, **between 12 and 24 months after final inspection**, the applicant shall arrange for the consulting arborist to inspect the trees and to prepare and submit to the CDD for review an assessment of the trees’ health. The report shall include any additional measures necessary for preserving the health of the trees and the measures shall be implemented by the applicant. In the event that the CDD determines that any trees intended for preservation have been damaged by development activity, and that the applicant has not been diligent in providing reasonable restitution, then the CDD may require that all or part of the security be used to provide for mitigation of the damaged tree(s), including replacement of any trees that have died.

All construction activity shall comply with the following restrictions, which shall be included in the construction drawings.

- 22. The applicant shall make a good faith effort to minimize project-related disruptions to adjacent properties, and to uses on the site. This shall be communicated to all project-related contractors.
- 23. The applicant shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors as far away from existing residences as possible.

24. The site shall be maintained in an orderly fashion. Following the cessation of construction activity, all construction debris shall be removed from the site.
  
25. A publicly visible sign shall be posted on the property with the telephone number and person to contact regarding construction-related complaints. This person shall respond and take corrective action within 24 hours. The CDD phone number shall also be visible to ensure compliance with applicable regulations.
  
26. Unless specifically approved otherwise via prior authorization from the Zoning Administrator, all construction activities shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government as listed below:
  - New Year's Day (State and Federal)
  - Birthday of Martin Luther King, Jr. (State and Federal)
  - Washington's Birthday (Federal)
  - Lincoln's Birthday (State)
  - President's Day (State)
  - Cesar Chavez Day (State)
  - Memorial Day (State and Federal)
  - Juneteenth National Independence Holiday (Federal)
  - Independence Day (State and Federal)
  - Labor Day (State and Federal)
  - Columbus Day (Federal)
  - Veterans Day (State and Federal)
  - Thanksgiving Day (State and Federal)
  - Day after Thanksgiving (State)
  - Christmas Day (State and Federal)

For specific details on the actual date the State and Federal holidays occur, please visit the following websites:

Federal Holidays: [Federal Holidays \(opm.gov\)](https://www.opm.gov)

California Holidays: [State Holidays \(ca.gov\)](https://www.ca.gov)

27. Large trucks and heavy equipment are subject to the same restrictions that are imposed on construction activities, except that the hours are limited to 9:00 AM to 4:00 PM.

**PUBLIC WORKS**  
**CONDITIONS OF APPROVAL FOR DEVELOPMENT PLAN CDDP24-03044**

**COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.**

General Requirements:

28. In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvements outlined below require the review and approval of the Public Works Department and are based on the site plan prepared by Debolt Civil Engineering dated January 5, 2026.
  
29. The applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

Streetlights:

30. The property owner/applicant shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The property owner/applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

Stormwater Management and Discharge Control:

31. Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with Provision C.3 of the County's NPDES Permit and the County's Stormwater Management and Discharge Control Ordinance (§1014).
  
32. The applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify this total does not exceed 10,000 SF.

**ADVISORY NOTES**

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL. ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE AND OTHER LEGAL REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

This notice is intended to advise the applicant that pursuant to Government Code Section 66000, et. Seq, the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a ninety-day (90) period after the project is approved.

The 90-day period in which you may protest the amount of any fee or imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and delivered to the CDD within 90 days of the approval date of this permit.

- B. The applicant shall submit building plans to the Building Inspection Division and comply with Division requirements. It is advisable to check with the Division prior to requesting a building permit or proceeding with the project.
- C. The applicant is responsible for contacting the Health Services Department Environmental Health Division regarding its requirements and permits.
- D. The applicant must comply with the requirements of the San Ramon Valley Fire Protection District. The applicant is required to submit plans to the Fire Protection District for approval. The plans must be stamped by the District prior to submittal of the building permit application.
- E. The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors. Payment is required prior to issuance of a building permit.
- F. The applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.

**CONTRA COSTA COUNTY  
COMMUNITY DEVELOPMENT DEPARTMENT  
APPROVED PERMIT**

<b>APPLICANT:</b>	West Coast Builders 4021 Port Chicago Highway Concord, Ca 94524	<b>APPLICATION NO.</b>	DP013061
		<b>ASSESSOR'S PARCEL NO.</b>	193-010-020
		<b>ZONING DISTRICT:</b>	P-1
<b>OWNER:</b>	Same	<b>ORIGINAL PROJECT APPROVAL DATE:</b>	May 2, 1995
		<b>EFFECTIVE DATE OF ORIGINAL APPROVAL:</b>	May 2, 1995
		<b>VESTING DATE:</b>	February 6, 1995
		<b>AMENDED FDP APPROVAL DATE:</b>	December 17, 2001
		<b>EFFECTIVE DATE OF AMENDED FDP APPROVAL:</b>	December 27, 2001
		<b>EFFECTIVE DATE OF AMENDED FDP APPROVAL:</b>	December 27, 2001
		<b>DATE OF CORRECTION TO AMENDED FDP APPROVAL:</b>	June 10, 2002

This matter not having been appealed within the time prescribed by law, a permit for an amendment to a Final Development Plan, County File # DP 3015-93, and Vesting Tentative Map 7744 ("*The Ridges*") to amend development permit pertaining to lot configuration and design restrictions in the Alamo area is hereby GRANTED, subject to the attached conditions.

DENNIS M. BARRY, AICP  
Community Development Director

By: 

ROBERT DRAKE  
Deputy Zoning Administrator

Unless otherwise provided, THIS PERMIT WILL EXPIRE ONE (1) YEAR from the effective date if the use allowed by this permit is not established within that time.

PLEASE NOTE THE EFFECTIVE DATE, as no further notification will be sent by this office.

**FINDINGS AND CONDITIONS OF APPROVAL FOR FINAL DEVELOPMENT PLAN 3015-93, REZONING 3012-RZ AND VESTING TENTATIVE SUBDIVISION MAP 7744 AS APPROVED BY THE BOARD OF SUPERVISORS ON MAY 2 1995, AND AS PER AMENDED FINAL DEVELOPMENT PLAN/SUBDIVISION APPLICATION, FILE #DP013061 APPROVED BY THE ZONING ADMINISTRATOR ON DECEMBER 21, 2001 ("The Ridges") Corrected June 10, 2002**

**Original P-1 District Findings**

- A. The applicant has indicated that they intend to commence construction within two and one-half years of the effective date of final project approval.
- B. The 14-unit project, as conditioned, is consistent with the County General Plan. The project site plan and architectural guidelines as amended by the proposed conditions assure aesthetic protection of the hillside areas.
- C. The project will constitute a residential environment of sustained desirability and stability, and will be in harmony with the character of the nearby community. The project which proposes lot sizes ranging from 1.14 to 6.42 acres and which would designate approximately 84% of the site within a scenic easement will link the site with both the adjacent higher density residential areas, the nearby horse ranches, and the nearby park lands.
- D. In accordance with the required findings of the planned unit district, the County finds that the development of a harmonious integrated plan, like this project, justifies exceptions from the normal application of the ordinance code, including variations in parcel configurations and design to provide better conformity with the environmental features of the site.

**Findings for Amended Final Development Plan/Subdivision File #DP013061 ("The Ridges")**

**[Ref. Section 84-66.1804(b), C.C.C. Ord. Code]**

- A. *Required Finding – The Zoning Administrator shall find it consistent with the intent and purpose of the P-1 District.*

**Project Finding –**

- 1. The amendments to the Final Development Plan and to the Conditions of Approval continue to allow diversification in the subdivision with regards to structures, lot sizes and open spaces. The changes in the building envelopes are reasonable and do not compromise the integrity of the subdivision as originally approved in 1995. The proposed changes provide a net benefit in the amount of land dedicated to a scenic easement by allocating an additional 25,400 square feet. The size of the building envelopes varies, depending upon the topography and extent of oak tree coverage around the edge of each building envelope.

2. With the implementation of conditions of approval, the project will be in harmony with the character of the surrounding neighborhood and community.
3. The amendments to the Final Development Plan comply with the General Plan.
4. The amendments to the Final Development Plan and the Conditions of Approval satisfy the requirements of the County code regarding public health, safety and general welfare. Conditions of Approval both modified and added to this approval will help to reduce visual impacts from offsite.

B. Required Finding – *The Zoning Administrator shall find the proposed modification is compatible with other uses in the vicinity, both inside and outside the P-1 district.*

Project Finding –

1. The amendments to the Final Development Plan and Conditions of approval do not alter the land use. Plans reflect a single-family residential development that is compatible with surrounding properties.
2. The amendments to the Final Development Plan and conditions of approval are compatible with other uses in the vicinity of the project site. The minimum size parcel is 20,000 square feet, which is compatible with adjoining properties. The size of the building envelopes is also consistent with other properties in the area.
3. Architectural details will be evaluated through design review to insure individual house designs fit with the lot and do not create visual impacts when viewed off site.

**GENERAL CONDITIONS**

- I. Development shall be based upon the following documents received by the Community Development Department except as modified by conditions herein:
  - A. Revised vesting tentative map dated February 6, 1995;
  - B. “Preliminary Geotechnical Reconnaissance”. Engeo, Inc, November 4, 1991.
  - C. “Preliminary Geotechnical Reconnaissance Update” Engeo, Inc., July 22, 1993.
  - D. Proposed design guidelines for SUB 7744, dated received by the Community Development Department in November, 1994.
  - E. Alamo Improvement Association/Applicant Agreed Building Envelope Modifications for the following lots: Lot 2 (Att. A), Lot 3 (Att. B), Lot 4 (Att. C), Lot 5 (Att. D), Lot 6 (Att. E), Lots 7 & 8 (Att. F), Lot 11 (Att. G), Lot 12 (Att. H), and Lot 14 (Att. I) from 12/14/01 AIA Letter, and the large scale drawings from the applicant that they are based upon.
  - F. Building Elevations, Subdivision 7744, Received 9/13/01 by CDD

2. A maximum of 14 single family residential lots shall be permitted as shown on the revised vesting tentative map dated February 6, 1995 as modified by the conditions herein.
3. The approval of the Rezoning, Preliminary Development Plan 3012-RZ, and Final Development Plan 3015-93 shall run concurrently with the time limits of SUB #7744.
4. At least 45 days prior to the filing of the Final Map, the issuance of grading permits, the approval of improvement plans, or any construction on the site, the applicant shall submit to the Zoning Administrator for review and approval a revised site plan, a grading plan and two copies of the related documents listed below. The revised site plan and grading plan shall incorporate any applicable recommendations of the documents.

All documents shall detail the mechanism/procedures necessary to ensure implementation. The documents shall clearly identify changes to the site plan and grading plan necessitated by their recommendations.

A. **Revised Site Plan.** The revised site plan shall incorporate the following changes:

- 1) Eliminate that portion of the building envelope for Lot 3 located within 8 feet of the western edge of the envelope.
- 2) The building envelope for Lot 5 shall be limited to a maximum of 8,000 square feet, be located outside of the creek structure setback area, and be located below the 460-foot contour line.
- ~~3) The building envelope may be expanded to the west along the 760 contour line to within 25 feet of the west property line.~~
- 3 4) Eliminate that portion of the building envelope for Lot 8, which is located within the drip line of the 40" diameter oak tree.
- 4 5) A 15-foot front setback shall be maintained on Lot 11. If the front setback requirement cannot be met, the size of the structure shall be reduced. The 15-foot setback shall not cause encroachment into the dripline of the two oak trees on the west side of the building envelope.
- 5 6) The building site for Lot 5 and Lot 14 shall be adjusted such that a home site may be developed that is off the centerline of the drainage swale.

B. **Arborist's Report:** The report shall evaluate the impacts of development plans, including improvement plans for drainage and utilities, on trees with circumference of 30-inches or more, 4 1/2 feet above the ground. In addition, the report shall consider the future impact of building envelopes on the trees. The report shall recommend the reduction of the size of building envelopes if necessary to preserve trees. The recommendations shall not include the reorientation of the building envelopes.

C. **Tree Preservation/Protection Plan** The plan, which shall be prepared with the assistance of a certified arborist or licensed landscape architect, shall list all trees designated for removal and their respective and aggregate trunk circumferences.

The plan shall provide for replacement of trees approved for removal at a ratio of three 15-gallon trees for every 20-inches of aggregate circumference of trees proposed for removal. Replacement tree shall consist of species that are naturally indigenous to the Bay Area and the project site. The approved replacement trees shall be planted prior to the completion of subdivision improvements.

The tree preservation plan shall provide delineation of the perimeter of areas of trees to be preserved by the use of taping and stakes, or other appropriate barriers. These barriers shall be installed prior to the commencement of any development activity. The plan shall also incorporate additional tree protection measures for the construction stage.

- D. Street Light Plan The street light plan shall address all streets within the project site. Ornamental light standards are encouraged. Lights shall be limited to low profile standards.
- E. Design Level Geotechnical Study. Two copies of the geotechnical study which addresses all of the related conditions herein must be submitted. The study must include recommendations to ensure adequate maintenance of site improvements.
- F. Revised Architectural Design Guidelines. The revised document shall include text and graphics based on the revisions to the site plan and the conditions herein.
- G. Retaining Wall Designs: The submittal shall identify the location and dimensions for all retaining walls, and shall include proposed colors and materials.
- H. Building Envelope Description/Scenic Easement: This submittal shall consist of a metes and bounds description for each building envelope and a certification from a licensed civil engineer that the description accurately reflects the location of the building envelopes based on the February 6, 1995 revised tentative map as amended by the conditions herein.

The building envelopes and the scenic easement shall be shown on the Final Map.

- 5. At least 45 days prior to the filing of the Final Map or the issuance of grading permits or the submittal of improvement plans for drainage or utility, the applicant shall submit to the Zoning Administrator for review and approval a design level geotechnical report prepared by a geotechnical engineer and engineering geologist. The report shall address the following:
  - A. Design specifications for the debris flow barrier and designs for site grading for Lot 5.
  - B. Recommendations for a revised location for the home site for Lot 14 such that the residence would be moved off the centerline of the drainage swale.

- C. A slope designs for Lot 13 at a 3:1 gradient unless a 2 ½:1 gradient is found acceptable based on the geotechnical investigation approved by the Zoning Administrator.
  - D. Design specifications for the debris flow barrier and designs for site drainage for Lot 14.
6. At least 30 days prior to the issuance of building or grading permits or any on-site construction, the applicant shall post a cash bond (or other acceptable surety) to assure the protection of the existing trees located in the vicinity of the areas of the site where construction will occur. Prior to posting the bond, a licensed arborist shall assess the value of the trees in reasonable compensatory terms in the event that a tree to be preserved is destroyed or otherwise damaged by subdivision related activities. The term of the bond shall extend at least 36 months beyond the completion of the subdivision improvements. The tree-bonding program shall be subject to the review and approval of the Zoning Administrator.

#### Construction Requirements

7. To avoid unnecessary scaring of hillsides, haul routes for grading activities shall generally be limited to those areas of the site, which are proposed to be graded. The grading/tree preservation plan shall provide a delineation of the perimeter of areas and trees to be preserved by the use of taping and stakes, or other appropriate barriers. These barriers shall be installed prior to the commencement of grading activities.
8. The applicant shall retain the geotechnical engineer and engineering geologist (who prepared the design level geotechnical report) during the construction phase to ensure that the conditions are as anticipated and to recommend appropriate changes based on site conditions. The geotechnical engineer and engineering geologist shall submit to the Zoning Administrator a letter summarizing the results of the observation.
9. A. Should archaeological materials be uncovered during grading, trenching or other on-site excavation(s), earthwork within 30 yards of these materials shall be stopped until a professional archaeologist who is certified by the Society of Professional Archaeology (SOFA) has had an opportunity to evaluate the significance of the find and suggest appropriate mitigation(s), if deemed necessary.
- B. If any significant cultural materials such as artifacts, human burials, or the like are encountered during construction operations, such operations shall cease within 10 feet of the find, the Community Development Department shall be notified within 24-hours and a qualified archaeologist contacted and retained for further recommendations. Significant cultural materials include, but not limited to aboriginal human remains, chipped stone, ground stone, shell and bone artifacts, concentrations of fire cracked rock, ash, charcoal, shell, bone, and historic features such as privies or building foundations.

- C. In the event of discovery or recognition of any human remains on the site, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of Contra Costa County has been contacted, per Section 7050.5 of the California Health and Safety Code.
  - D. Appropriate mitigation of the cultural resources may include monitoring of further construction and/or systematic excavation of the resources. Any artifacts or samples collected as part of the initial discovery, monitoring or mitigation phases shall be properly conserved, catalogued, analyzed, evaluated and crated along with association documentation in a professional manner consistent with current archaeological standards.
10. Comply with the following construction, noise, dust and litter control requirements:
- A. Noise generating construction activities, including such things as power generators, shall be limited to the hours of 7:30 A.M. to 5:00 P.M., Monday through Friday, and shall be prohibited on State and Federal holidays. The restrictions on allowed working days may be modified on prior written approval by the Zoning Administrator.
  - B. The project sponsor shall require their contractors and subcontractors to fit all internal combustion engines with mufflers which are in good condition and shall locate stationary noise-generating equipment such as air compressors and concrete pumps as far away from existing residences as possible.
  - C. At least one week prior to commencement of grading, the applicant shall post the site and mail to the owners of property within 300-feet of the exterior boundary of the project site notice that construction work will commence. The notice shall include a list of contact persons with name, title, phone number and area of responsibility. The person responsible for maintaining the list shall be included. The list shall be kept current at all times and shall consist of persons with authority to indicate and implement corrective action in their area of responsibility. The names of the individual responsible for noise and litter control shall be expressly identified in the notice. The notice shall be reissued with each phase of major grading activity.  
  
A copy of the notice shall be concurrently transmitted to the community Development Department. The notice shall be accompanied by a list of the names and addresses of the property owners noticed, and a map identifying the area noticed.
  - D. A dust and litter control program shall be submitted for the review and approval of the Zoning Administrator. Any violation of the approved program or applicable ordinances shall require an immediate work stoppage. Construction work shall not be allowed to resume until, if necessary, an appropriate construction bond has been posted.
  - E. The applicant shall make a good-faith effort to avoid interference with existing neighborhood traffic flows. Prior to issuance of building permits, the proposed roads serving this development shall be constructed to provide access to each lot. This shall include provision for an on-site area in which to park earthmoving equipment.

Residential Design and Construction

11. Development of all lots shall conform to the following requirements:

- A. Development shall conform to the approved Architectural Design Guidelines.
- B. At least 30 days prior to the issuance of building or grading permits, proposed residential designs shall be submitted to the Zoning Administrator for review and approval and to the Alamo Improvement Association for review and comment. The submittal shall include the site plan, a grading plan, tree preservation plan, an arborist report, structural elevations, floor plans and a sample palette of exterior colors and materials. Certification from a licensed civil engineer verifying that the structure(s) are located within the approved building envelope must also be submitted. The Zoning Administrator may require the submittal of a visual analysis in order to confirm compliance with the conditions herein.

Architectural review of design development level drawings is to be conducted for each lot by the Zoning Administrator in a noticed public hearing. The applicants will provide for each such review including drawings to the Alamo Improvement Association via the Association's monthly meeting prior to the Zoning Administrator hearing.

- C. Tennis courts, pool and associated equipment, patios and decks not higher than 18 inches above natural grade are allowed in the area that is outside of the building envelopes and outside of the scenic easement areas.
- D. The structural height limits on all lots within the subdivision shall be 29 feet, except as provided for Lots 7, 8, and 9 in Condition #12.G.7. below.
- E. All structures shall be within the final approved building envelopes including:
  - 1) Accessory and ancillary structures (including pool cabanas, arbors, etc.). However, an exception to this restriction is allowed on Lots 7 and 8 as provided in Condition #12.G.22. below.
  - 2) Decking higher than 3 feet above grade.
  - 3) Retaining walls higher than 3 feet.
  - 4) All combinations or series of retaining walls/deck edges which are within 30 feet of each other and which are cumulatively over 3-feet in height.
- F. No decking shall be allowed at top of a slope or extending downhill on a slope when outside of the building envelope.
- G. All buildings shall be located outside of the tree driplines unless otherwise noted (Reference special provision for Lots 2 and 3).
- H. Restrictions on Exterior Lighting – All exterior lighting shall conform to County requirements for Land Use Permits under Ordinance Code Section 84-4.404, Item #13, as follows:

*"The installation of exterior lighting at a height of seven (7) feet or more above the finished grade of the parcel, except exterior light placed upon the single family residence"*

shall be required to have the review and approval of a Land Use Permit pursuant to the County Code.

- I. Exterior wall and roof colors and materials shall utilize medium to dark earth-tone colors, defined as those having less than 50% light reflectance. A licensed architect shall certify submitted elevations with this requirement.
- J. Construction on individual lots shall conform to the R-20 zoning district standards except as modified by the approved Architectural Design Guidelines and by the conditions herein.

#### Residential Design and Construction

- 12. At least 45 days prior to the filing of the Final Map, the issuance of grading permits, the submittal of improvement plans, or any construction on the site, the applicant shall submit to the Zoning Administrator for review and approval the revised Architectural Design Guidelines. The Guidelines shall include text and graphics which includes changes/additions based on the revisions to the site plan and the other conditions herein and shall:
  - A. Require residential building plans to incorporate storage areas for the storage of recyclable materials;
  - B. Require water conservation measures to be used for landscaping consistent with County Ordinance Code Chapter 82-6;
  - C. Require water conservation devices to be incorporated in residential designs.
  - D. Require all residences to be equipped with residential sprinklers and have fire retardant roofs unless specifically recommended otherwise by the San Ramon Valley Fire Protection District;
  - E. Require each residence to have an electrical outlet installed in the garage, which is designed to dedicate for future use in recharging electrical vehicles;
  - F. Inform residence/builders that the building requirements contained in the guidelines are standards, which shall be used by the County in the issuance of any necessary permits;
  - G. Include the following changes to the Guidelines:
    - 1) Lot 1 Residential Design Standards - Limit the northern 15-foot portion of the structure to a height of 25 feet with the remainder of the house to not exceed 29 feet. Architectural features (such as second story setbacks, reduced height, and staggered facades on both the front and rear elevations) shall be incorporated into the design of the structure to reduce a large massing appearance.

- 2) A step-up design towards the north shall be used for Lot 2 as shown on the architectural renderings submitted for Lot 1 as part of the application.
- 3) The building height on Lot 4 shall not exceed 29 feet and the building envelope shall be as shown on the plans modified December 13, 2001.
- 4) The front yard setback for Lot 5 shall be 25-feet from the edge of the road pavement. The residence shall be a step-up design to conform with the site topography.
- 5) The design of the residential structures for Lots 6 through 8 and Lots 11 through 14 shall use architectural features (e.g., second story setbacks, reduced height, staggered frontage) to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15 foot front setback.
- 6) The building height for the residence on Lot 6 shall be limited to 29-feet above the existing grade.
- 7) The development of Lots 7, 8, and 9 in terms of its height shall conform to the R-20 zoning district standards of 35-feet.
- 8) The maximum building height for Lots 11 and 12 shall be 29-feet.
- 9) The building pad for Lot 10 shall be recessed slightly to lower the roofline of the residence. The designs of the residence for this lot shall ensure that the visibility from properties to the east is minimized.
- 10) The height of residential structure on Lot 14 shall not exceed 29 feet.
- 11) Lot 1 Development Requirements
  - a. Grading Limitations – Grading on Lot 1 shall be limited to the building envelope approved by the VTM. Any grading outside the building area will require approval by the Zoning Administrator.
  - b. Residential Design – Limit the northern 15-foot portion of the structure to a height of 25 feet with the remainder of the house to not exceed 29 feet. Architectural features (such as second story setbacks, reduced height, and staggered facades on both the front and rear elevations) shall be incorporated into the design of the structure to reduce a large massing appearance. The design of the residential structure for Lot 1 shall use architectural features (e.g., second story setbacks, reduced height, staggered facades on both the front and rear elevations), to prevent a large massing appearance.
- 12) Lot 3 Development Requirements
  - a. Maximum Structure Height and Residential Design - The maximum building height for Lot 3 shall not exceed 29 feet. The design shall

incorporate architectural features, e.g., second story setbacks, reduced height and staggered facades on both the front and rear elevations, to prevent a large massing appearance.

- b. Report by Arborist on Impact of Development on Existing Tree - An arborist report shall be required prior to the issuance of a building permit for a structure on Lot 3. The arborist report will evaluate the health of the oak tree on the northwest corner of the building envelope and the oak tree located down slope of the eastern edge. If the report shows that the health of this latter tree is compromised, the structure shall be redesigned or placed outside of the drip line.
  - c. Development plans shall be accompanied by a proposed landscape plan for the review and approval of the Zoning Administrator. The plans shall provide for substantial planting improvements intended to screen and minimize the visual bulk of the structure on this lot.
- 13) Maximum Building Envelope Area – Lot 5 – The building envelope for Lot 5 shall be no greater than 8,000 square feet. The building envelope shall also be placed so as to observe a minimum 25-foot setback from the edge of road right-of-way. The area of the building envelope shall be verified by the applicant prior to filing a final map.
- 14) Lots 7 & 8 Development Requirements
- ~~e. Relocation of Lot 7 – The westerly edge of the building envelope on Lot 7 shall be set back an additional 10 feet to comply with Condition 4.A.5 of the original approval.~~
  - ~~d a) Restriction on Placement of Accessory Structures on Lots 7 or 8 – Future accessory structures on Lot 7-8 shall not extend beyond the 747-foot contour nor extend under the oak tree drip line.~~
  - ~~e- b) Prohibition on Placement of Structure within Drip line of Existing Trees – No structure on Lot 7-8 shall encroach under the drip line of trees #54 and #44 on Lot 7-8.~~
- 15) Maximum Building Height for Lot 10 – The maximum building height for Lot 10 shall not exceed 29 feet.
- 16) Lot 12 Setback – The minimum front setback on Lot 12 shall be 15 feet.
- 17) Maximum Building Height on Lot 13 – The building height on Lot 13 shall not exceed 29 feet.
- 18) Soil Stability Study for Lot 14 – Technical studies shall be conducted for Lot 14 to demonstrate that the potential for differential settlement is controlled within acceptable limits. Surface drainage shall be directed away from the building site.

- 19) Design Review Requirement – Each house and accessory structure shall be subject to design review prior to the issuance of a building permit. Design review shall address the massing, height, setbacks, architectural features, color palette and exterior building materials to minimize visual impact. Photo simulations for each house will be required with the design review submittal.
- 20) Design of Elevations – Unless otherwise specified in these conditions, elevations shown on Exhibit A (Building Envelopes, Subdivision 7744, Submitted September 13, 2001) shall remain as shown on the plans.
- 21) Placement of Structures – All structures must be within the final approved building envelopes including accessory and ancillary structures including pool cabanas, arbors, etc., on Lots 1 through 6, and Lots 9 through 14. However, Lots 7 and 8 shall not be subject to that ancillary structures limitation, though such structures will be subject to Design Review requirements and the review process.

13. Development of lots shall conform to the following requirements:

- A. Prior to the issuance of building permits for the construction of a residence or an accessory structure on Lots 4, 5, 6, and 7, a copy of the building designs including exterior colors shall be submitted to the Stonegate Homeowners Association and the Fair Oaks Homeowners Association so that they will have an opportunity to comment on the designs prior to the Zoning Administrator's decision. The building designs for Lot 7 do not require the review of the Fair Oaks Homeowners Association.
- B. The development of Lot 2 must be designed and constructed such that the 40" diameter the 36" diameter, and the 24" diameter oak trees are protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the trees will be protected.
- C. The development of Lot 12 must be designed and constructed such that the 32" diameter oak tree is protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the tree will be protected.
- D. The 4-foot high retaining wall on Lot 5 is allowed as shown on the map dated "Received Contra Costa County Community Development Department May 2, 1995."
- E. At least 30 days prior to the issuance of building permits for residential structures which may be visible from off the subdivision site, the applicant shall submit to the Zoning Administrator for review and approval a landscaping plan and evidence that the structure will not be visible when viewed from off the subdivision site at equal or lower elevations when the landscaping reaches maturity. The information submitted must also show that the visibility of the structure(s) from higher elevations have been minimized to the extent feasible. The Landscaping Plan shall include 15-gallon size Indigenous trees. Prior to the Zoning Administrator's decision, the applicant shall ensure that the Alamo Improvement Association has been given the opportunity to review and comment on the landscaping plans. Any comments from the Alamo Improvement Association shall be submitted to the Zoning Administrator along with the Landscaping Plan.

14. At least 30 days prior to the issuance of building permits for the construction of individual residences, a site specific geotechnical) report which evaluates the building plans must be submitted for the review and approval of the Zoning Administrator.

15. Prior to the issuance of grading permits or building permits for the construction of individual residences, the applicant shall submit a grading/tree preservation plan applicable to the construction on the individual site. The preservation plan shall provide a delineation of the perimeter of the areas of trees to be preserved by the use of taping and stakes or other appropriate barriers. These barriers shall be installed prior to the commencement of grading activity.

Storage of construction materials during individual house construction is subject to prior review and approval of the Zoning Administrator following an opportunity for the Alamo Improvement Association to review and comment on any such placement of materials.

Development is subject to the requirements of the Tree Protection and Preservation Ordinance, including any pertinent ordinance or related tree permit requirements associated with the performance of construction work within the drip line of a protected tree.

16. At least 30 days prior to the issuance of building or grading permits for the construction of individual residences, the applicant shall post a cash bond (or other acceptable surety) to ensure the protection of existing trees located in the area of the site where construction will occur. Prior to the posting of bond, a licensed arborist shall assess the value of the trees in reasonable compensatory terms in the event that a tree to be preserved is destroyed or otherwise damaged by residential development activities. The term of the bond shall extend for 24 months beyond the completion of the residence.

The tree bond program shall be subject to the review and approval of the Zoning Administrator. The Zoning Administrator had the authority to waive this requirement should he/she determine that residential construction on the site would not adversely impact trees.

#### Fencing

17. A. Prior to the filing of the final map, open wire (3-inch maximum diameter) and post fencing shall be installed along the east borders of the site to separate livestock and domestic animals.
- B. No fencing is allowed within the scenic easement area. Fencing to the rear of the building sites for Lots 4 through 13, and to the west of the building sites for Lots 1 through 3 shall generally be limited to open wire construction with 6-foot or greater centers. Alternate fencing may be allowed upon the approval of the Zoning Administrator.

#### Scenic Easement Area

18. Prior to the filing of the final map, the applicant shall submit to the Zoning Administrator for review and approval, the final text of the conservation easement, which shall include the following requirements:

- A. The easement shall provide that no tree shall be altered or removed without the prior written consent of the Zoning Administrator. The Zoning Administrator may allow the removal of trees upon the finding that the tree may be hazardous or may jeopardize the health of surrounding trees.
- B. The easement shall specify that no grading or development activity may occur within the easement area except as provided in Condition #18.C. herein. In addition, the erection of structures including, but not limited to buildings (regardless of whether a building permit is required), pools and tennis courts will be prohibited. Grazing will also be prohibited within the easement area.
- C. Minor grading is allowed within the easement area necessary to install utilities and drainage. The disturbed area shall be immediately returned to its previous appearance.
- D. All original scenic easements (as depicted on the approved 1995 vesting tentative map) shall be maintained.
- E. Provision for scenic easement areas on the final map shall be consistent with the original site plans as modified by the revised plans, including the exhibits attached to the AIA 12/14/01 letter, and as modified by this permit.
- F. Scenic easements are to be defined and development rights granted to the County such that no permanent or temporary alteration is permitted within the easement area unless approved in writing by the County after a hearing before the Board of Supervisors.

Other Requirements

- 19. Concurrent with or prior to recording the final map, the applicant shall record a statement to run with the deeds, which identifies that the site is subject to Architectural Design Guidelines, and must be consistent with the Guidelines and the Conditions herein. In addition, the metes and bounds description of the building envelopes for each lot and the requirement herein regarding development restrictions shall be included. Prior to recording the deed notification, the applicant shall submit to the Zoning Administrator for review and approved the text of the deed notification.
- 20. A phasing program may be submitted for the review and approval of the Zoning Administrator. Request for phasing must be accompanied by the appropriate review fee.
- 21. The owner of the property shall participate in the provision of funding to maintain and augment police services by voting to approve a special tax for the parcels created by this subdivision action. The tax shall be the per parcel annual amount (with appropriate future CPI adjustment) then established at the time of voting by the Board of Supervisors. The election to provide for the tax shall be completed prior to the filing of the Parcel Map. The property owner shall be responsible for paying the cost of holding the election, payable at the time that the election is requested by the owner.
- 22. Pursuant to Government Code Section 66474.9, the applicant (including the subdivider or any

agent thereof) shall defend, indemnify, and hold harmless the Contra Costa County Planning Agency and its agents, officers, and employees from any claim, action, or proceeding against the Agency (the County) or its agents, officers, or employees to attack, set aside, void, or annul, the Agency's approval concerning this subdivision map application, which action is brought within the time period provided for in Section 6649-9.37. The County will promptly notify the subdivider of any such claim, action, or proceeding and cooperate fully in the defense.

23. The applicant shall show proof that water and sewage service is available and that any necessary boundary changes have been approved prior to recording the Final Map.
24. At least 30 days prior to filing the Final Map, plans shall be submitted for review by the Community Development Department, Graphics Section, to obtain addresses and for street name approval (public and private). Alternate street names should be submitted in the event of duplication and to avoid similarity with existing street names. The Final Map cannot be certified by the Community Development Department without the approved street names and the assignment of street addresses.
25. Record a statement to run with the deeds to the property acknowledging the approved Geotechnical Report by title, author (firm), and date, calling attention to approved recommendations, and noting that the reports are available from the Community Development Department.
26. Prior to the submittal of the final map, the applicant shall submit to the Zoning Administrator for review and approval verification that the undocumented fill of Lot 5 has been removed and replaced consistent with the recommendations of an approved geotechnical investigation.
27. The applicant shall provide to prospective buyers written notice regarding the restrictions on the use of the property including the requirements for building within the approved envelopes. A copy of these conditions and the approved Design Guidelines shall also be provided.

#### Road and Drainage

28. A. General Requirements:
  - 1) This development shall conform to the requirements of Division 914 (Drainage) of the Subdivision Ordinance. The following requirements must conform with Division 914:
    - a. Drainage, road and utility improvements shall require the review and approval of the Public Works Department. This development shall comply with the requirements of (Title 9) and (Title 10) of the County Ordinance Code. Any exceptions there from must be specifically listed in this conditional approval statement.
    - b. The drainage, road and utility improvements outlined below shall require the review and approval of the Public Works Department and are based on the revised plan dated October, 1994.

- 2) Improvement plans prepared by a registered civil engineer shall be submitted to the Public Works Department, Engineering Services Division, along with review and inspection fees, and security for all improvements required by the Ordinance Code for the conditions of approval of this subdivision. These plans shall include any necessary traffic signage and striping plans for review by the Transportation Engineering Division.

B. Public Roadway Improvements (Frontage):

Applicant shall construct a turnaround at the terminus of Las Quebradas Lane to County public road standards, and shall convey to the County, by Offer of Dedication, the corresponding right of way.

C. Access to Adjoining Property:

- 1) Applicant shall furnish proof to the Public Works Department, Engineering Services Division, of the acquisition of all necessary rights of way, rights of entry, permits and/or easements for the construction of off-site, temporary or permanent, road and drainage improvements.
- 2) If, after good faith negotiations, the applicant is unable to acquire necessary rights of way or easements, he/she shall enter into an agreement with the County to complete the necessary improvements at such time as the County acquires the necessary interests in accordance with Section 66462 and Section 66462.5 of the Subdivision Map Act at the sole cost of the applicant.

D. Public Roadway Improvements (Off-site):

Construct Las Queradas Lane from the project site to Oakraider Drive as a 32-foot public road (curb to curb) within a 52-foot right of way width, and convey to the County, by Offer of Dedication, the corresponding right of way.

E. Private Roads:

- 1) Applicant shall construct to County private road standards a 20-foot paved private roadway with 2-foot compacted shoulders within at least a 30-foot easement, to serve all parcels in this proposed subdivision. No portion of the private road shall be allowed to exceed 10 percent in grade.

An exception to the maximum grade, because of topographical constraints in hillside areas, environmentally sensitive areas, significantly sized trees or groups of trees, or other physical constraints, shall be considered on the basis of relevant evidence submitted by the developer. The maximum grade of a road may be increased to 20%. The sections of roadway over 16% shall be limited to a length of 300 feet within each 1,000 foot length of roadway. Special pavement surfacing, such as grooved concrete or open graded asphalt, may be required on road grades steeper than 16%.

The private road serving Lots 1 and 2 may be reduced to a 16-foot pavement width subject to the review of the fire district and the Public Works Department,

and the review and approval of the Zoning Administrator. The applicant shall construct a two foot Class II base rock shoulder along the side of the road which does not have curb and gutter.

- 2) Applicant shall construct a turnaround at the end of the proposed private road.
- 3) Applicant shall develop and enter into a maintenance agreement that will insure that the proposed private road will be maintained and that each property that uses the proposed private road will share in its maintenance.
- 4) The residential units shall have at least six off-street parking spaces per unit.

F. Road Dedications:

Applicant shall convey to the County, by Offer of Dedication, the right of way necessary for the planned future width of 52 feet along Las Queradas Lane.

G. Street Lights :

There is no requirement for street lighting on the private roads. To the extent that lighting is installed on the private roads, they shall be of a low level. To the extent that street lights are installed on Las Quebradas Lane and to the extent that the property is annexed to County Service Area L-100 for maintenance of the lighting, the lighting which shall be placed on that road shall be consistent with any lighting on the private roads, if any. To the extent that there are no lights on the private road, then the level of lighting required by the Public Works Department shall be of as low a level as is humanly possible to minimize the visual impacts of that lighting.

H. Utilities / Undergrounding

All utility distribution facilities shall be installed underground.

I Drainage Improvements

- 1) Division 914 of the Ordinance Code requires that all storm waters entering or originating within the subject property shall be conveyed, without diversion and within an adequate storm drainage facility, to a natural watercourse having definable bed and banks, or to an existing adequate public storm drainage facility which conveys the storm waters to a natural watercourse.
- 2) Applicant shall verify that the existing storm drain system on Las Queradas Lane is adequate to convey the required design storm (based on the size of the watershed) and, if necessary, shall construct improvements to guarantee adequacy.
- 3) The applicant shall install within a dedicated drainage easement any portion of the drainage system which conveys run-off from public streets.
- 4) Storm drainage originating on the property and conveyed in a concentrated

manner shall be prevented from draining across the driveways.

- 5) To reduce the impact of additional storm water run-off from this development on Miranda Creek, one cubic yard of channel excavation material will be removed from the inadequate portion of Miranda Creek for each 50 square feet of new impervious surface area created by the development. All excavated material shall be disposed of off-site by the developer at his cost. The site selection, land rights, and construction staking will be by the Flood Control District.

Upon written request, the applicant may make a cash payment in lieu of actual excavation and removal of material from the creek. The cash payment will be calculated at the rate of \$0.10 per square foot of new impervious surface area created by the development. The added impervious surface area created by the development will be based on the Flood Control District's standard impervious surface area ordinance. The Flood Control District will use these funds to work on the creek annually.

- 6) To reduce the impact of additional storm water run-off from this development on San Ramon Creek, one cubic yard of channel excavation material will be removed from the inadequate portion of San Ramon Creek for each 50 square feet of new impervious surface area created by the development. All excavated material shall be disposed of off-site by the developer at his cost. The site selection, land rights, and construction staking will be by the Flood Control District.

Upon written request, the applicant may make a cash payment in lieu of actual excavation and removal of material from the creek. The cash payment will be calculated at the rate of \$0.10 per square foot of new impervious surface area created by the development. The added impervious surface area created by the development will be based on the Flood Control District's standard impervious surface area ordinance. The Flood Control District will use these funds to work on the creek annually.

- 7) Although drainage facilities have been shown on the Vesting Tentative Map, they have not been reviewed for adequacy. The applicant will be required to design the drainage improvements in compliance with Title 9 of the Ordinance Code.

J. Creek Structure Setbacks:

The applicant shall relinquish "development rights" over that portion of the site that is within the structure setback area of Miranda Creek based on the criteria outlined in Chapter 914-14, "Rights of Way and Setbacks", of the Subdivision Ordinance. The structure setback area may be reduced subject to the review of the Public Works Department, Engineering Services Division, and the review and approval of the Zoning Administrator, based on a hydrology and hydraulic study and geotechnical analysis of the soil which shows that the creek banks will be stable and non-erosive with the anticipated creek flows. The hydrology and hydraulic study shall be based upon the ultimate development of the watershed.

## ADVISORY NOTES

**PLEASE NOTE ADVISORY NOTES ARE ATTACHED TO THE CONDITIONS OF APPROVAL BUT ARE NOT A PART OF THE CONDITIONS OF APPROVAL, ADVISORY NOTES ARE PROVIDED FOR THE PURPOSE OF INFORMING THE APPLICANT OF ADDITIONAL ORDINANCE REQUIREMENTS THAT MUST BE MET IN ORDER TO PROCEED WITH DEVELOPMENT.**

- A. The applicant/owner should be aware of the renewing requirements prior to recording the Final Map or requesting building or grading permits.
- B. Applicant shall comply with the Park Dedication Fee Ordinance.
- C. Comply with the requirements of the Central Contra Costa Sanitary District (please refer to the District's August 19, 1994 letter).
- D. Comply with the requirements of the San Ramon Valley Fire Protection District (please refer to the District's August 18, 1994).
- E. Comply with the requirements of the Health Services Department, Environmental Health Division.
- F. Comply with the requirements of the Building Inspection Department. Building permits are required prior to the construction of most structures.
- G. This project may be subject to the requirements of the Department of Fish & Game. The applicant should notify the Department of Fish & Game, P.O. Box 47, Yountville, California 94599, of any proposed construction within the development that may affect and fish and wildlife, resources, per the Fish and Game Code.
- H. The applicant will be required to pay an environmental review fee of \$1,250.00 for the Department of Fish and Game at the end of the appeal period. Failure to do so will result in fines. In addition, the approval is not final or vested until the fee is paid. A check for this fee shall be submitted to Contra Costa County for submittal with the final environmental documents.

The applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors.

- J. The applicant shall be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors.
- K. The applicant will be required to comply with all rules, regulations and procedures of the National Pollutant Discharge Elimination System (NPDES) permit for municipal, construction and industrial activities as promulgated by the California State Water Resources Control Board or any of its Regional Water Quality Control Boards (San Francisco Bay-Regional II or Central Valley-Region V).

- L. Vesting Tentative Map Rights - This project is subject to the development fees and regulations in effect under County Ordinance as of February 6, 1995, the date the vesting tentative map application was accepted as complete by the Community Development Department. These fees are in addition to any other development fees which may be specified in the conditions of approval.

An estimate of the fee charges for each approved lot may be obtained by contacting the Building Inspection Department at 335-1360.

- M. The applicant is advised that the tax for the police services district is currently set by the Board of Supervisors at \$200 per parcel annually (with appropriate future Consumer Price Index [CPI] adjustments). The annual fee is subject to modification by the Board of Supervisors in the future. The current fee for holding the election is \$800 and is also subject to modification in the future. The applicable tax and fee amounts will be those established by the Board at the time of voting. The applicant is advised that the election process takes from 3 to 4 months and must be completed prior to recording the Final or Parcel Map.

- N. Expiration of Vested Rights: Pursuant to Section 66452.6(g) of the Subdivision Map act, the rights conferred by the vesting tentative map as provided by Chapter 4.5 of the Subdivision Map act shall last for an initial period of two (2) years following the recording date of the Final Map. These rights pertain to development fees and regulations. Where several final maps are recorded on various phases of a project covered by a single vesting tentative map, the initial time period shall begin for each phase when the final map for that phase is recorded.

At any time prior to the expiration of the initial time period, the subdivider may apply for a one-year extension. The application shall be accompanied by the applicable filing fee. If the extension is denied by an advisory agency, the subdivider may appeal that denial to the Board of Supervisors by filing a letter of appeal with the appropriate filing fee with the Clerk of the Board within 15 calendar days.

The initial time period may also be subject to automatic extension pursuant to other provisions of Section 66452.6(g) relating to processing of related development applications by the County.

At the expiration of the vesting time period, remaining development (i.e., new building permits) within the subdivision shall be subject to development fees and regulations in effect at that time.

- O. **NOTICE OF 90-DAY OPPORTUNITY TO PROTEST FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.**

This notice is intended to advise the applicant the pursuant to Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations, and/or exactions required as part of this project approval. The opportunity to protest is limited to a 90-day period after the project is approved.

The ninety- (90) day period, in which you may protest the amount of any fee or the imposition of any dedication, reservation, or other exaction required by this approved permit, begins on the date this permit was approved. To be valid, a protest must be in writing pursuant to Government Code

Section 66020 and delivered to the Community Development Department within 90 days of the approval date of this permit.

- P. Supplemental Fees for Processing of FDP Amendment Application – This application is subject to an initial application processing fee of \$3000 which was paid with the application submittal, plus time and material costs if the application review expenses exceed 100% of the initial fee. Any additional fee due must be paid prior to exercise of this amended permit. The fees include costs through permit issuance plus five working days for file preparation. The applicant may obtain current costs by contacting the project planner. If the applicant owes additional fees, a bill will be sent to the applicant shortly after permit issuance.
- Q. Fee Processing of Permit Compliance Check – In accordance with the adopted Fee Ordinance Schedule, the applicant is responsible for all staff costs in the processing of the final map and related approvals. An initial fee deposit to the Community Development Department in accordance with the fee schedule is payable with the filing of the final map.

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**MANDATORY DESIGN GUIDELINES  
TRACT 7744, ALAMO, CALIFORNIA**

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## **SECTION 1.0 INTRODUCTION**

### **SUBDIVISION 7744 DESIGN GOALS**

**Preservation of the unique natural environment and harmonious relationship among neighboring man-made structures, is the foremost objective of the Subdivision 7744 residential design process.**

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Located within spectacular Alamo knolls and ridgetops, the Subdivision 7744 Residential Community will provide its residents a community of unparalleled beauty. Only about five percent (5%) of the property will be used for residential development. The remaining property on the perimeter of the community will become permanent scenic easement.

Subdivision 7744 has been designed to create one of the finest residential communities within the Alamo area. Nestled among one of the most picturesque Alamo ridge tops with views of the ridgelines and valley floors, all the lots abut open space areas or similar large estate lots. Care was taken during the design phase of the community to take advantage of both the unique internal and external views that many of the lots will enjoy. Many lots abut the existing forested areas and will enjoy the protected views of those areas. To assure the continued quality of these amenities, Subdivision 7744 has established these Goals and Guidelines for new homeowners so that the architecture, residential site plans, and landscaping are creative, environmentally sensitive and of the highest quality.

#### **1.1 COMMUNITY DESIGN CONCEPTS**

The design of residential structures and the special characteristics of the lots provide opportunities to enhance the quality of the community. The design professional and homeowners should consider the following general goals in preparing their plans.

##### **1.1.1 SITING OF HOMES/GRADING**

- A. Avoid tall, exposed unbroken facades and tall supports on downhill slopes.
- B. Avoid aggressive architectural features which command attention from off-site locations.
- C. Site structures within existing tree and vegetative cover when possible.

## EXHIBIT A TO CC&R'S

- D. Minor grading to lower pad elevation in visually sensitive areas is encouraged.
- E. Design residences to conform with topography in order to reduce effective bulk of the structure.
- F. The floor level should be kept at existing grade.
- G. Integrate accessory structures with the character and design of the residence. Avoid unrelated combinations of styles and materials.
- H. Take advantage of natural grades when possible to develop driving entrances to individual residences.
- I. Graded areas shall be restored with natural appearing contours and native vegetation.
- J. Use low profile retaining walls along driveways and parking areas to minimize the impact of extensive cut or fill slopes.
- K. In order to develop level garden areas, use low profile retaining walls, allowing room for planting.

### 1.1.2 GENERAL & SPECIFIC DESIGN GOALS & REQUIREMENTS

- A. Windows should be fully trimmed.
- B. Architectural attention should be given to fireplaces and chimneys which are in visually sensitive locations.
- C. Exterior lighting should be limited to and tied in with the building architecture and landscaping. Avoid glaring, undirected light which shines onto off-site areas.
- D. Mechanical structures and equipment, such as air unit and pumps shall be appropriately screened.
- E. Solar units shall be flush with the roof or on a supporting decorative trellis.
- F. Mailboxes should be designed to tie into the overall residence and landscaping architecture. Owners may incorporate lighting fixtures into the mailbox design.
- G. No lines, wires, or other devices for communication or transmission of electric current or power, shall be placed or maintained anywhere on any lot unless contained in conduit or cable underground or concealed in, under or on approved structures, excluding temporary power or telephone services incidental to construction of approved buildings.
- H. Decking shall have the support structure completely screened with solid sheathing to match the house or with wood lattice material compatible with building architecture. Deck support structures shall be screened from surrounding areas with plantings. For fire protection purposes, the use of brick, stone and masonry for decking, deck skirting, and patios is encouraged.
- I. Pony walls or skirt walls between floor level and finished grade should be a maximum of ten feet in height.
- J. Opaque fences and walls are allowed on side yards only, but are not to extend more than 20 feet beyond improvements. No fences shall be constructed in the scenic easement areas.
- K. No outside television antennas, dishes larger than 24" or radio towers which are visible from off-site areas will be erected.
- L. Earth tone colors in the medium to dark range should be used for roofs and walls in order to complement the natural surroundings. The medium to dark range is defined

## EXHIBIT A TO CC&R'S

- less than 50% light reflectance. Avoid reflective mirrored glazing, trims and light colors which will make the residence highly visible from off-site.
- M. Use dark colored driveway paving materials such as asphalt or pigmented concrete to reduce visual impact.
- N. The keeping of livestock will be prohibited on the entire site.
- O. Provide fire safety measures (e.g., spark arresters, fire retardent material, and vegetation control plans).
- P. Tennis courts and swimming pools be located outside the building envelope area but may not intrude into the scenic easement area.
- Q. Basketball back stops shall not be attached to the house or garage, shall be maintained in good condition and shall not be exposed to direct view from the street.
- R1. A step-up design shall be used for Lot 2.
- R2. The northern 15 feet of the homesite for Lot 1 shall be limited to 25 feet in height. The remainder of the house shall not exceed 29 ft. in height. Architectural features shall be incorporated into the design of the structure to reduce a large massing appearance.
- R3. The building height for Lot 4 shall not exceed 29 feet.
- R4. The frontyard setback for Lot 5 shall be 25 feet from the road pavement. The residence shall be a step-up design to conform with site topography.
- R5. The design of the residential structures for Lots 6-8, and 11-14 shall use architectural features to prevent a large massing appearance of the front of the residence which would otherwise be created with a 15-foot front setback.
- R6. The building height limit on Lot 6 shall be 29 feet above existing grade.
- R7. The maximum building heights for Lots 10 -14 shall not exceed 29 feet.
- R8. Prior to the issuance of building permits for the construction of a residence or an accessory structure on Lots 4, 5, 6 AND 7, a copy of the building designs including exterior colors shall be submitted to the Stonegate Homeowners Association and the Fair Oaks Homeowners Association so that they will have an opportunity to comment on the designs prior to the Zoning Administrator's decision. The building design for Lot 7 does not require the review of the Fair Oaks Home Owners Association.
- R9. A 15-foot front setback shall be maintained on Lot 11. If the front setback requirement cannot be met, the size of the structure shall be reduced. The 15-foot setback shall not cause encroachment into the dripline of the two oak trees on the west side of the building envelope.
- R10. All structures shall be within the final approved building envelopes including:
- 1) Accessory and ancillary structures (including pool cabanas, arbors, etc.). However, an exception to this restriction is allowed on Lots 7 and 8 on which accessory structures are allowed but shall not extend beyond the 747-foot contour nor extend under the oak tree drip line.
  - 2) Decking higher than 3 feet above grade.
  - 3) Retaining walls higher than 3 feet.
  - 4) All combinations or series of retaining walls/deck edges which are within 30 feet of each other and which are cumulatively over 3-feet in height.
- R11. The development of Lots 7, 8, and 9 in terms of its height shall conform to the R-20 zoning district standards of 35 feet.

## EXHIBIT A TO CC&R'S

- R12. The building pad for Lot 10 shall be recessed slightly to lower the roofline of the residence. The designs of the residence for this lot shall ensure that the visibility from properties to the east is minimized.
- R13. Additional Lot 1 Development Requirements
- a. Grading Limitations - Grading on Lot 1 shall be limited to the building envelope approved by the VTM. Any grading outside the building area will require approval by the Zoning Administrator.
  - b. Residential Design - Limit the northern 15-foot portion of the structure to a height of 25 feet with the remainder of the house to not exceed 29 feet. Architectural features (such as second story setbacks, reduced height, and staffered facades on both the front and rear elevations) shall be incorporated into the design of the structure to reduce a large massing appearance. The design of the residential structure for Lot 1 shall use architectural features (e.g., second story setbacks, reduced height, staggered facades on both the front and rear elevations), to prevent a large massing appearance.
- R14. Additional Lot 3 Development Requirements
- a. Maximum Structure Height and Residential Design - The maximum building height for Lot 3 shall not exceed 29 feet. The design shall incorporate architectural features, e.g., second story setbacks, reduced height and staggered facades on both the front and rear elevations, to prevent a large massing appearance.
  - b. Report by Arborist on Impact of Development on Existing Tree - An arborist report shall be required prior to the issuance of a building permit for a structure on Lot 3. The arborist report will evaluate the health of the oak tree on the northwest corner of the building envelope and the oak tree located down slope of the eastern edge. If the report shows that the health of this latter tree is compromised, the structure shall be redesigned or placed outside of the drip line.
  - c. Development plans shall be accompanied by a proposed landscape plan for the review and approval of the Zoning Administrator. The plans shall provide for substantial planting improvements intended to screen and minimize the visual bulk of the structure on this lot.
- R15. Maximum Building Envelope Area - Lot 5 - The building envelope for Lot 5 shall be no greater than 8,000 square feet. The building envelope shall also be placed so as to observe a minimum 25-foot setback from the edge of road right-of-way. The area of the building envelope shall be verified by the applicant prior to filing a final map.
- R16. Lots 7 & 8 Development Requirements
- a. Relocation of Lot 7 - The westerly edge of the building envelope on Lot 7 shall be set back an additional 10 feet to comply with Condition 4.A.5 of the original approval.

## EXHIBIT A TO CC&R'S

- b. Restriction on Placement of Accessory Structures on Lots 7 or 8 – Future accessory structures on Lot 7 & 8 shall not extend beyond the 747-foot contour nor extend under the oak tree drip line.
- c. Prohibition on Placement of Structure within Drip Line of Existing Trees – No structure on Lot 7 & 8 shall encroach under the drip line of trees #54 and #44 on Lot 7 & 8.

R17. Lot 12 Setback – The minimum front setback on Lot 12 shall be 15 feet.

### 1.1.3 LANDSCAPING

- A. Slope areas in landscaped zones shall be maintained in neat, orderly and safe conditions to enhance appearance and prevent erosion and sliding.
- B. Avoid planting large areas of lawn which consume large quantities of water and sharply contrast with the native landscape in color and cultural requirements.
- C. Minimize use of water-demanding plants.
- D. Drought resistant grasses and shrubs should be used wherever possible.
- E. Use low water irrigation systems, such as a drip system, to conserve water and minimize adverse effects on indigenous plants.
- F. Avoid plantings which contrast with the natural vegetation and color if they will be visible Off-site.
- G. All landscaping will meet the requirements of County Ordinance No. 90-59 and EBMUD guidelines for water conservation and irrigation.
- H. The development of Lot 2 must be designed and constructed such that the 40" diameter, the 36" diameter, and the 24" diameter oak trees are protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the trees will be protected.
- I. The development of Lot 12 must be designed and constructed such that the 32" diameter oak tree is protected. All building designs must be accompanied by a report from a certified arborist or a licensed landscape architect, which verifies that the tree will be protected.

### 1.1.4 PROTECTION OF SCENIC EASEMENT AREAS

- A. Areas in scenic easements shall be preserved in their natural state.
- B. All healthy, mature trees within the scenic easement areas shall be preserved, except as necessary for the construction of roadways and other infrastructure improvements.
- C. Natural drainage channel shall be respected.
- D. Pruning, irrigation and other interference with natural vegetation shall be avoided, except as required by the San Ramon Valley Fire Protection District.
- E. Grading is prohibited except as necessary for roadways and other infrastructure improvements.
- F. Activities which would disturb wildlife and/or vegetation is prohibited.
- G. Fencing is prohibited in the scenic easement area.
- H. Landscaping and irrigation is prohibited in the scenic easement areas, except as required by the county, fire district or other regulations.

## **EXHIBIT A TO CC&R'S**

### **1.15 GENERAL**

- A. There shall be a gated entrance to the property at the start of the private road. The gate shall be card operated with communication to each lot.
- B. The exterior of the total property shall be fenced with mesh and T bar stakes. Fences dividing the individual properties shall be installed only by mutual agreement of the properties involved.

## **SECTION 2.0 DEVELOPMENT ENVELOPES AND STANDARDS**

### **2.1 FLEXIBILITY AND VARIATION**

These Guidelines are intended to set forth general development standards and parameters for private improvements throughout Subdivision 7744. Under some circumstances, however, strict application of the guidelines may create an unreasonable burden on a particular lot owner or, due to lot conditions, work to the detriment of sound site planning. Therefore, the County Zoning Administrator (ZO) may allow variations from particular provisions of these Guidelines, however, the burden to substantiate the variation rests on the applicant not with the ZO.

General examples of acceptable variations:

1. Where the variation is necessary to relieve an unreasonable or overly burdensome requirement on the lot owner.
2. Where the variation will allow demonstrably superior design and layout of lot improvements than would otherwise be permitted under strict applications of these Guidelines.
3. Where the variation, while inconsistent with a particular guideline, will allow the design and layout of lot improvements that are consistent with the overall goals and intent of these Guidelines.

### **2.2 DEVELOPMENT ENVELOPES**

Due to the unique topography within certain areas of Subdivision 7744, a system that defines the various parts of the lot and its relationship to private or Association common open space has been developed. The Building Envelope, the Controlled Development Area and Private Scenic Easement Areas, if applicable, have been determined for the appropriate lots. Setbacks and permitted uses for these areas are noted elsewhere in this document.

## **EXHIBIT A TO CC&R'S**

### **2.2.1 BUILDING ENVELOPE**

Within every lot, a Building Envelope defines the location of the residential structure and accessory structures based primarily on project specific setback criteria. Garages, if attached to the primary structure, are also included within this area. Detached garages will be allowed some flexibility in their location due to grades and slope conditions provided no variance to setback criteria is necessary. The building area shall also include the primary parking area(s), fences and irrigated landscape areas on each lot.

### **2.2.2 CONTROLLED DEVELOPMENT AREA**

The Controlled Development Area encloses and includes the Building Envelope. In this area are allowed additional landscaping and other improvements that facilitate the integration of the Building Envelope into the adjacent open space where appropriate. Fire Department control measures will be enforced within this area. Ancillary structures (non-occupied), pools, gardens and fencing are permitted, subject to Conditions of Approval and ZO review and approval.

### **2.2.3 PRIVATE SCENIC EASEMENT AREAS**

Private open space shall be the portion of each lot within which no development can occur. Development envelopes shall be established and indicated on the recorded Final Map. The remaining portion of those lots outside of the Building Envelope and the Controlled Development Area that abut heritage tree groves or riparian corridors have a use easement placed across them. This easement prevents expansion of the Controlled Development Area into the Private Scenic Easement Area. Special care must be exercised in this area. This Private Scenic Easement Area is intended to act as a permanent natural area. Controls in this area help to soften and/or limit the visibility of the residential area, and may require additional native tree and shrub plantings for screening purposes. This area is also subject to Fire Department controls measures and landscape management. The Building Envelope Map is on file with the County Community Development Department.

## **2.3 LOT SIZE AND SETBACKS**

### **2.3.1 LOT SIZES**

Lot size and setbacks have been planned to comfortably accommodate the home including a 3 car garage (which affords the required 6 off-street parking spaces per the Public Works Department). The building pad area varies on the lots due to street gradient and slope within the lot. The designated Building Envelope is large enough to allow considerable flexibility in the design of the house and at the same time help preserve the surrounding slopes, vegetation and / or riparian habitat where appropriate.

## EXHIBIT A TO CC&R'S

### 2.3.2 LOT SETBACKS

- A. Front setbacks from the right-of-way shall be a minimum of 15 feet to the main house structure. Aggregate side-yard width of 40 feet minimum is required. The side-yard minimum setback of 20 feet requires a minimum of 20 feet on the adjacent lot ( $20 + 20 =$  aggregate total of 40 feet minimum between structures).
- B. In order to allow more flexibility in design for various lot configurations, particularly on up and down slope lots, the front setback (from right-of-way) for front entry garage shall be a minimum of 15 feet.
- C. Variations of street setbacks are encouraged to create superior street appearances. Flexibility will be allowed in the setbacks of detached garages especially on sloping lots where detaching the garage allows for a superior placement of the main living structure. The ZO review each request for detached garages and work with the homeowner on setbacks.
- D. Minimum separation between houses on adjacent lots is 40 feet.

## EXHIBIT A TO CC&R'S

# SECTION 3.0 CONSTRUCTION GUIDELINES

## 3.1 GRADING RELATED GUIDELINES

### 3.1.1 FOUNDATION DESIGN

It is important the architecture of the homes fits into the lot and the community. Homes with excessively high visible foundations will not be permitted. Buildings shall be design to work with the existing topography of the lot. Split pads, stepped footings, pier and grade beam foundations shall be employed to fit each structure to the slope of each lot. This is particularly important on the custom lots. Downhill homes with exposed foundations over 42" in height are not permitted Extensive re-grading the lot, after the project graded, to develop oversized flat pads will be discouraged. Approval by the County Building Inspection Department for lot re-grading shall include grading permit requirements.

## 3.2 RETAINING WALLS

- 3.2.1 Retaining walls are encouraged to have stone or natural appearing finishes. Flat faced concrete block walls, unfinished poured concrete walls, and wood bulkheads are not permitted in areas visible from the street or public areas.
- 3.2.2 Exterior retaining walls outside the footprint of the structure required to support the placement of the house are limited to 5 feet in height. Where the total height would exceed 5', multiple stepped walls are required. All retaining walls will require structural calculations and the certification by a licensed structural engineer.
- 3.2.3 Multiple exterior terraced walls should be separated by a minimum of 3 feet with appropriate bench landscaping.
- 3.2.4 Retaining walls should generally be designed with smooth, continuous lines that conform to the topography. Particular attention will be paid to color and texture of retaining walls.
- 3.2.5 Retaining wall structures holding back grade to accommodate a pool, tennis court, patio or terrace are limited to an 18" height without approval of the Zoning Administrator and should conform to the natural hillside profile as much as feasible. Excessively high retaining walls are prohibited.
- 3.2.6 The following retaining wall materials are encouraged:
  - (1) Colored / textured concrete
  - (2) Stone and brick masonry to match house architecture
  - (3) Walls with natural color plaster finish to match house architecture
  - (4) Wood where structurally appropriate
  - (5) Split-faced masonry in natural colors

## EXHIBIT A TO CC&R'S

- (6) Split-faced "Keystone" type walls in natural colors

3.2.7 A 4-foot high retaining wall is allowed on Lot 5.

### 3.3 GRADING MINIMUMS FOR DRAINAGE

Maintaining minimum drainage requirements for all lots will help to insure proper drainage. The homeowner must maintain the grades created during the infrastructure construction and maintain a minimum gradient of 1.5 percent to ensure proper drainage for any future re-grading or landscape work. It is preferable that surface drainage be designed to drain towards the street and/or to be collected by a site drainage system and conveyed into the subdivision drainage system. All paved surfaces shall have a minimum gradient of 1 percent.

On sloped lots, the maintenance of the slope and control of drainage is critical for slope management. Plant material and drainage structures are imperative to protect the structural integrity of the slope and will be carefully reviewed during plan submittal.

#### 3.3.1 GRADING GUIDELINES:

- A. Residential structures or ancillary structures on slopes in excess of 15 percent must be carefully designed. The use of erosion controls, engineered grading, pier and grade beam or step-footing foundations are necessary for long-term slope stability.
- B. Site and individual lot grading should be carried out in a manner that results in flowing and contiguous patterns. Abrupt or sharp changes in surface grades will be discouraged.
- C. Excessively steep slopes (more than 3:1) on residential lots shall not be constructed for residential structures or accessory buildings if it is determined that such slopes will have a negative effect on the site or adjacent lots. Streets and driveways in these areas must be engineered to ensure slope stability. Supporting geotechnical documentation will be required by the ZO for variations to this guideline.
- D. Surface drainage shall not direct excessive amounts of water into adjacent lot drainage ways. On-lot drainage shall either be split into smaller diversions or collected in appropriate underground drainage structures. All graded slopes shall have either brow ditches or berms at the crest to control surface run-off. Drainage structures shall be underlain by subdrains.
- E. All graded areas shall be landscaped, no bare earth is permitted.

## EXHIBIT A TO CC&R'S

- F. Drainage terraces for cut and fill slopes shall be spaced per grading code requirements. All cut and fill slopes greater than 30 vertical feet in height shall be contour-rounded.

## EXHIBIT A TO CC&R'S

### SECTION 4.0 BUILDING DESIGN GUIDELINES

The design of the homes shall be in the best tradition of California architecture. No particular style or theme is suggested by the ZO. All homes submitted for design review, will be considered by their own merits and style. Residential designs that are proposed between, or next to, existing homes will be reviewed with respect to these homes.

- A. The perceived mass and visual bulk of residential structures should be considered by the design professional during preliminary design concepts. In the cases of those lots with some restrictions (i.e. visibility), the massing will be reviewed in context of the County's desire to provide screening and variation.
- B. Split pads, stepped footings, piers and grade beam foundations allow the structure to better fit with the slope of the lot.
- C. Buildings should be cut into uphill and downhill sites to reduce the effective visual bulk.
- D. Roof forms and roof lines should be broken to break up the mass of the roof. Irregular roof-lines are encouraged and, where possible, should follow the natural curve of the slope. Long, linear, unbroken roof-lines and the use of large gabled ends on downhill elevations are discouraged.
- E. Detachment or articulation of parts of the dwelling, such as the garage, is encouraged to lessen the appearance of mass and bulk on non-padded lots.
- F. Overhanging decks or decks elevated on poles should generally be avoided unless well integrated into the architecture of the unit. These decks can potentially increase the mass of the building when seen from below. Enclosing deck support structures with lattice work is discouraged. The use of landscaping to screen deck support structures is encouraged.
- G. Avoid large expanses of walls in single planes. Break up these large wall faces with building components and fenestration.
- H. Avoid building retaining walls needed to support the structure or landscaping in a uniform plane. Break retaining walls into smaller components and terraces where feasible. Landscaping to soften the visual impacts of retaining walls will be encouraged.

#### 4.1 MAXIMUM BUILDING HEIGHT

The maximum building height for all Lots except Lots 7, 8 and 9 shall be 29 feet above grade as measured from the building mid-point of the prepared building area. Heights of some houses are limited by condition of approval. (See Community Guidelines above). Color and material

## EXHIBIT A TO CC&R'S

selection for the structure should evidence coordination with the predominant colors and values of the surrounding landscape and character. This is to minimize contrast between the background topography and the structure when viewed from off-site communities. Darker tones are more compatible with the site when viewed from a distance. Colors such as bright reds, blues and greens will not be allowed by these guidelines.

### 4.2 BUILDING MATERIALS

*The following building materials are encouraged:*

#### **Exterior Walls:**

1. natural wood siding --horizontal and vertical patterns
2. manmade siding materials that closely resemble natural wood siding materials
3. natural cedar / wood shingles
4. manmade cedar / wood look shingles that closely resemble natural materials
5. brick and stone masonry (including manmade light weight concrete "stone")
5. natural (earth tone) colored cement plaster materials
6. exposed structural wood members

#### **Roofs:**

1. flat and textured concrete shingles of earth tone colors
2. flat and curved clay tile of earth tone colors
3. composition shingles in thicker patterns (Class A-B non-combustible fire ratings required) with thick butts, earth tone colors
4. slate materials both natural and man-made

*The following building materials are discouraged:*

#### **Exterior Walls:**

1. highly reflective painted surfaces
2. large flat areas of glass / reflective materials
3. plastic materials made to resemble masonry or stone
4. large flat planes of walls without articulation and fenestration

#### **Roofs:**

1. High contrast tones or bright colors
2. highly reflective or shiny materials
3. wood shake roofs (unless fire proof)

### 4.3 GARAGES AND PRIVATE DRIVEWAYS

On sloped lots, the placement of garages can increase the flexibility within the buildable area of the lot by taking up as much grade as possible between the street and the garage door. Detached garages allow for both uphill and downhill houses to generate considerable changes in grade between the street and the primary structure.

## **EXHIBIT A TO CC&R'S**

The longer the driveway, the more grade can change between the street and the house. This has a direct impact on lot size, lot setbacks and house size. As a general rule, try to avoid locating driveways on the naturally level portions of the lot that are more suitable for structures. On side sloped lots, placing the garage below the main living floor, grade can be taken up across the front of the house. Construct driveway weaken plane joints and scoring at angles to assist in directing runoff to landscaped/pervious areas, prior to entering the street curb and gutter.

### **4.4 PARKING AND GARAGE GUIDELINES:**

- A. Driveways shall be aligned with the natural contours of the land where possible. Locate driveways and parking areas to minimize removal of existing healthy trees. Proper design consideration shall be given to vertical curves and parking landings. The use of low retaining walls along driveways is encouraged to minimize cut and fill slopes.
- B. Houses with three car garage houses shall provide three guest parking spaces per house on the lot. This space should be conveniently placed relative to the dwelling unit that it serves and can be tandem in configuration.
- D. The facades of three car garages must be articulated into 3 separate garage doors or into a 2 door / 1 door configuration. The roof line shall be broken and varied to reduce the mass of the garage facade.
- E. On custom lots, common and shared driveways will be considered by the ZO if grading is reduced by their use. Common easement maintenance agreements between the lots served are required for common driveways
- F. If visible from the street, oversized or "RV" type garage doors are prohibited unless well integrated into the design of the garage structure to minimize the mass of the oversized door.

### **4.5 ELECTRIC VEHICLES**

An electrical outlet shall be installed and dedicated for potential use in recharging electrical vehicles (required by project Condition of Approval).

### **4.6 RESIDENTIAL SPRINKLERS**

All residences shall be equipped with approved residential fire sprinkler systems (required by project Condition of Approval).

### **4.7 ANCILLARY STRUCTURES**

**Ancillary Structure Guidelines:**

## **EXHIBIT A TO CC&R'S**

- A. In deck design and construction, excessively high distances between structure and grade is discouraged. Landscaping at the outside deck line is preferred over solid skirting.
- B. Ancillary structures such as stairways, patios, swimming pools, pool cabanas, spas and storage facilities and non-occupied structures must be consistent with the design and materials of the house.
- C. Larger ancillary structures shall complement the residence and be similar in color and construction materials.

### **4.8 MECHANICAL EQUIPMENT GUIDELINES**

No mechanical equipment, including air conditioners, solar collectors, television antennae and/or satellite dishes (larger than 24") shall be exposed to the view from beyond the lot unless fully screened or architecturally integrated into the structure and approved by the ZO.

### **4.9 SWIMMING POOLS, THERAPY POOLS, SPAS AND WATER FEATURES**

Swimming pools, therapy pools, spas and water features (visible from street) are subject to review by the ZO.

- A. All swimming pools, therapy pools, spas and large water features are subject to setbacks and Building Envelopes.
- B. All such water features and pools shall be designed by competent professionals. All plans shall be submitted to the ZO for approval.
- C. All pools and spas are subject to County safety requirements for fencing and covers.
- D. Locations of solar heating panels are subject to review by the ZO. While the use of solar panels is not discouraged, the visibility beyond the lot will be a concern of the ZO.

## EXHIBIT A TO CC&R'S

### SECTION 5.0 LANDSCAPING

#### 5.1 LANDSCAPE DESIGN

The landscape development of the properties within the project are intended to compliment and expand the natural character of the community. Each residential lot will be required to plant a least six native trees to help expand the woodland nature of the property. In addition, specific guidelines and standards for street trees and other ornamental plantings are required.

The landscape development of the lots is not just the plant materials but the paving, walls, walks, site lighting, and landscape structures. The plans submitted to the ZO will review the proposed landscape development with an eye to the overall community and how the landscape compliments the community as a whole.

The dominant theme and visual character of the property is set by the existing great stands of oak trees. This woodland environment should be a key to the themes of the proposed residential landscapes. Gardens and lawn areas should be designed to harmonize with the native environment and the natural beauty of the property. Homeowners and their landscape architects are encouraged to use plants that are native to the area as well as drought tolerant.

The designs must consider water conservation as a goal. The increasing cost and availability of water requires that each landscape plan submitted will be reviewed for its water conservation as well as design.

Homeowners are encouraged to utilize pervious pavements and/or pavers for walkways and patios.

#### 5.2 PLANTING DESIGN GUIDELINES:

- A. All landscaped areas must have irrigation systems capable of sustaining good plant growth. Automatic water conservation systems are required.
- B. Shrubs are preferred over ornamental ground covers and large lawn areas due to their lower water use characteristics.
- C. On slopes of 3:1 or greater, plant materials with deep and fibrous rooting characteristics are preferred. This will minimize erosion and reduce surface runoff. Special care will be taken by the Committee in reviewing plants selected for these areas.
- D. On graded slopes, use irregular plant spacing to achieve a more natural appearance. Plant trees with contour of the slope in undulating groups to mimic natural groves of trees. Inter-mix shrubbery masses within the spaces between these tree groves.

## EXHIBIT A TO CC&R'S

- E. Where possible, plant trees in swale areas and on graded benches. This will help control runoff and erosion impacts. Care shall be taken so as not to disrupt and concrete drains installed on these features.
- F. Planting design in Private Open Space envelopes should reinforce the dominant planting patterns that define the oak woodland, canyon and riparian habitats within the Ranch. All plantings within this area must be native and drought tolerant. Temporary irrigation may be required to insure the survival of the replanted areas.

### 5.3 GENERAL LANDSCAPE PLANTING

For general planting of lots for General Landscape Plant List. These plants are suggested for the region and are tolerant of the site conditions. Many of these plants are also drought tolerant . This list is a general guide for the owner; other appropriate plants that the owner may wish to install may be submitted along with his landscape plan to the ZO for approval.

Planting plans will be reviewed for their:

1. Appropriateness for the Ranch's climate zone  
(see Sunset Western Garden Book, Zones 14 and 15)
2. Drought resistance
3. Fire resistance
4. Form consideration
5. Maintenance
6. Aesthetic considerations: flowering, fruiting, leaf color
7. Erosion control
8. Use of natives

### 5.4 PROHIBITED TREES

Due to environmental and habitat impacts the following trees are not permitted anywhere within the project because they are invasive, highly allergenic, extremely inflammable, or have other noxious habits:

<u>Botanical Name</u>	<u>Common Name</u>
Acacia species	Acacia
Calocedrus decurrens	Incense Cedar
Cupressus glabra	Smooth Arizona Cypress
Cupressocyparis leylandii	Leland Cypress
Eucalyptus species	All Eucalyptus
Palms	Palms
Picea species	All Spruce
Pinus species	All Pines

## EXHIBIT A TO CC&R'S

### 5.5 NATIVE TREE REPLACEMENT

Each lot will be required to plant 6 native trees, a minimum of 15 gallon in size, from the following list:

<u>Botanical Name</u>	<u>Common Name</u>
Acer macrophyllum	Big Leaf maple
Aesculus californica	California Buckeye
Quercus agrifolia	Coast Live Oak
Quercus kelloggii	California Black Oak
Quercus lobata	Valley Oak
Umbellularia californica	California Bay Laurel

### 5.6 OAK TREE PROTECTION

Special care should be taken to retain and protect existing oaks as trees are significant and valuable resources. The most critical issues related to existing oak trees is the "altering" of the site conditions under which the tree has grown. Oak trees, to be preserved, must have their existing site conditions respected. Grading or changing of grade within the drip line, artificial watering practices, change in drainage patterns and removal of leaf litter are examples of "altering" the natural balance.

Additional information Oak Tree Preservation and Maintenance can be found in *Exhibit 3*.

#### **Guidelines:**

- A. On those lots that contain existing trees, a licensed arborist should be consulted to propose specific measures to protect vegetation inside and outside of the construction zones. The ZO, in appropriate circumstances, will require the inclusion of arborist's recommendations in the design review packages.
- B. Tree trunks immediately adjacent to construction areas should be protected by fencing or other barriers to avoid physical damage. Protection should extend outside drip lines when feasible to prevent trunk, limb damage and soil compaction.
- C. Grading will be discouraged within the root zone of the tree, but soil may be added over the root zone if the root crown is protected by retaining devices. Where roots are covered with an impervious surface, or roots are removed within the drip line, thinning of the tree crown should be conducted to compensate for the lost root function.
- D. Preserve healthy, mature oaks except as necessary for construction of roadways and other infrastructure improvements.

## EXHIBIT A TO CC&R'S

- E. Prevent damage to oak trees during construction, such as soil compaction, root damage, breakage of branches and damage to trunks.
- F. Grade changes should be avoided within the drip line of oak trees.
- G. Avoid irrigation within a 6 foot radius of oak trunks. Avoid plantings with different cultural requirements around trunks.

## SECTION 6.0 DEVELOPMENT DETAILS

### 6.1 FENCING

All residential units shall submit fencing layouts and designs to the ZO at the time of Architectural Review. Fencing materials shall complement the architecture of the house. Fences can not exceed 6 feet in height measured per the County Building Ordinance. Fencing visible from the street shall be more substantial in material and character. Where possible this fence should reflect the character and materials of the structure. Wood fences are to be made with higher quality materials if left natural, painted fences can be constructed with less expensive materials with approval by ZO. Privacy fencing between adjacent homes shall be installed on the property line and maintained by both homeowners.

Perimeter fences beyond the privacy fencing, should be non-intrusive. It is intended that the fence blend into the landscape and not obstruct or obscure views.

- A. Fencing in Controlled Development Areas shall meet applicable safety requirements if used for pool security. Solid fencing is permitted in this area. All gates shall be self closing and self latching.
- B. The perimeter fencing of the development area of each lot shall be either: unfenced or restricted to deer fencing. Deer fencing shall consist of a 2" x 4" welded wire black fabric. Deer fencing shall be six feet high supported by 4 x 4 wood posts on eight-foot centers.
- C. Single strand barbed wire fences, razor wire and electric perimeter fences are not permitted. There is no fencing allowed within the Scenic Easement Areas.

### 6.2 MAILBOXES

- A. Mailboxes shall be purchased from the developer or as directed by the US Postal Service.
- B. Placement of mailboxes shall conform to US. Postal Service rules and regulations.

### 6.3 PRIVATE ENTRY GATES

Private entry gates will be allowed. These gates must be transparent, high quality iron work and not over six feet six inches in height. These gates are to be automatic and open inward. Space must be provided to allow for at least one off road parking space in front of the gate. Manual controls must also be provided and all requirements by the Contra Costa County and San Ramon Valley Fire Protection District must be met.

## EXHIBIT A TO CC&R'S

### 6.4 RESIDENTIAL SITE LIGHTING

Outside lighting provides a measure of site security and can enhance the aesthetics of the site and the architectural qualities of its structure. In determining the lighting for a residence, the source, intensity, and type of illumination should be appropriate for lighting needs. Approval of the ZO may be required.

#### **Guidelines:**

- A. Exterior lighting must be designed as a part of the site and architectural quality of the residence. Fixture style and location should be compatible with the building's architecture and landscaping.
- B. Mounting heights should be appropriate to the use and location within the residence. Light standards should be as low as possible to reduce off-lot impacts.
- C. Overall lighting levels must be compatible with the ambient light levels with the neighborhood.
- D. Tennis court lighting is not permitted.

## **SECTION 7.0 FIRE PREVENTION AND FUEL REDUCTION**

The entire site is susceptible to the spread of ground fire. It is important for each homeowner to design the perimeter landscaping of their property in a manner that will help retard the spread of wildfires.

- A. A transition zone is to be created between the Controlled Development Area and the Private Open Space Area that is kept thinned and excessive vegetative growth removed. Plants are to be low volume fuel producers.
- B. The goal is to slow down the spread of the fire by reducing the fire's fuel supply. The following techniques may be useful to accomplish this goal:
  - 1. Evaluate the plant materials existing within the transitional zone for fuel volume and health. Remove plants from this area which are particularly high fuel volume. Remove any plants that are in poor health.
  - 2. Retain low fuel volume native plants within thinned out areas.
  - 3. Remove dead leaves and branches in these areas annually. Thin native plants by pruning. Reduce heights of grasslands.
  - 4. If water supply permits, irrigate these transition areas monthly during the fire season to maintain a higher moisture content in the plants.
  - 5. Fires spread quickly for approved plants with low fuel volume and SRVFPD guidelines.

## EXHIBIT A TO CC&R'S

### SECTION 8.0 GENERAL CONSTRUCTION REQUIREMENTS

After the approval of the Final Design, the following conditions still need to be met. These are in addition to any specific conditions imposed by the ZO with the final design approval:

1. On custom lots, a construction schedule that realistically reflects the time frame to build the house and landscape the property. Include the following information:
  - a. Start of grading
  - b. Start of foundation
  - c. Completion of exterior
  - d. Move-in date
  - e. Completion of landscaping.
2. Obtaining building permits from County Building Department (Director: Carlos Baltodano (925) 335-1108 Hours: 7:30 am to 5:00 pm. Closed 1st, 3rd, and 5th Friday of the month; Location: 651 Pine Street, 3rd Floor, North Wing, Martinez CA 94553)

#### 8.1 GENERAL CONDITIONS

1. Signs that promote the builder, contractor or his sub contractors will be limited to both size and number. All signage is subject to review and approval by the ZO. Sign requests must be made with Final Design Approval.
2. Sites are to remain clean of debris and excess construction materials. Only materials for the construction of the house on each lot are to be stored on that lot. Failure to maintain the site may require notification to the homeowner.
3. All existing trees that are to remain on the property are to be protected from intrusion by orange plastic construction fencing supported by steel posts. Storage of construction materials is not permitted under the drip-line or canopy of existing trees.
4. Noise generating construction activity (including playing of loud radios or music) shall be limited to the hours of 7:30 am to 5:00 PM., Monday through Friday, and shall be prohibited on state and federal holidays. The restrictions on allowed working days may be modified on prior written approval of the Zoning Administrator.
5. The owners and builder shall provide for the separation of recyclable construction materials, such as wood waste and inert solids, at the construction site. Provisions for the separation of recyclable shall be consistent with the County Source Reduction and Recycling Element. Any questions on satisfying the requirement should be directed to the County Recycling Specialist in the Community Development Department at (925) 646-4198.

## EXHIBIT A TO CC&R'S

6. The construction shall comply with the dust control requirements of the Grading Ordinance including provisions pertaining to water conservation. Reclaimed water shall be used for dust control unless determined to be unfeasible by the Zoning Administrator.
7. Contractors are responsible for providing on-site paved or gravel covered parking areas for their work crews and subs. These parking areas are not to within the drip lines of existing trees.

APR. 10, 2002  
ALAMO 14

9993DESC LOT#08  
JOB # 9993

**EXHIBIT A**

**LEGAL DESCRIPTION  
BUILDING ENVELOPE AREA  
LOT 8 TRACT 7744**

REAL PROPERTY SITUATE IN THE UNINCORPORATED AREA OF CONTRA COSTA COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A PORTION OF LOT 8 IS SHOWN ON AND SO DESIGNATED ON THE MAP OF SUBDIVISION 7744 FILED ON \_\_\_\_\_ IN BOOK \_\_\_ OF MAPS AT PAGE \_\_\_ IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY CORNER OF SAID LOT 8;

THENCE FROM SAID POINT OF COMMENCEMENT NORTH 53°57'17" EAST, 34.00 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 36°02'43" EAST 24.16 FEET;

THENCE SOUTH 20°25'28" EAST, 58.02 FEET;

THENCE NORTH 71°02'42" EAST, 47.87 FEET;

THENCE NORTH 31°37'48" EAST, 20.74 FEET;

THENCE NORTH 08°57'17" EAST, 9.84 FEET;

THENCE NORTH 25°11'17" WEST, 80.71 FEET;

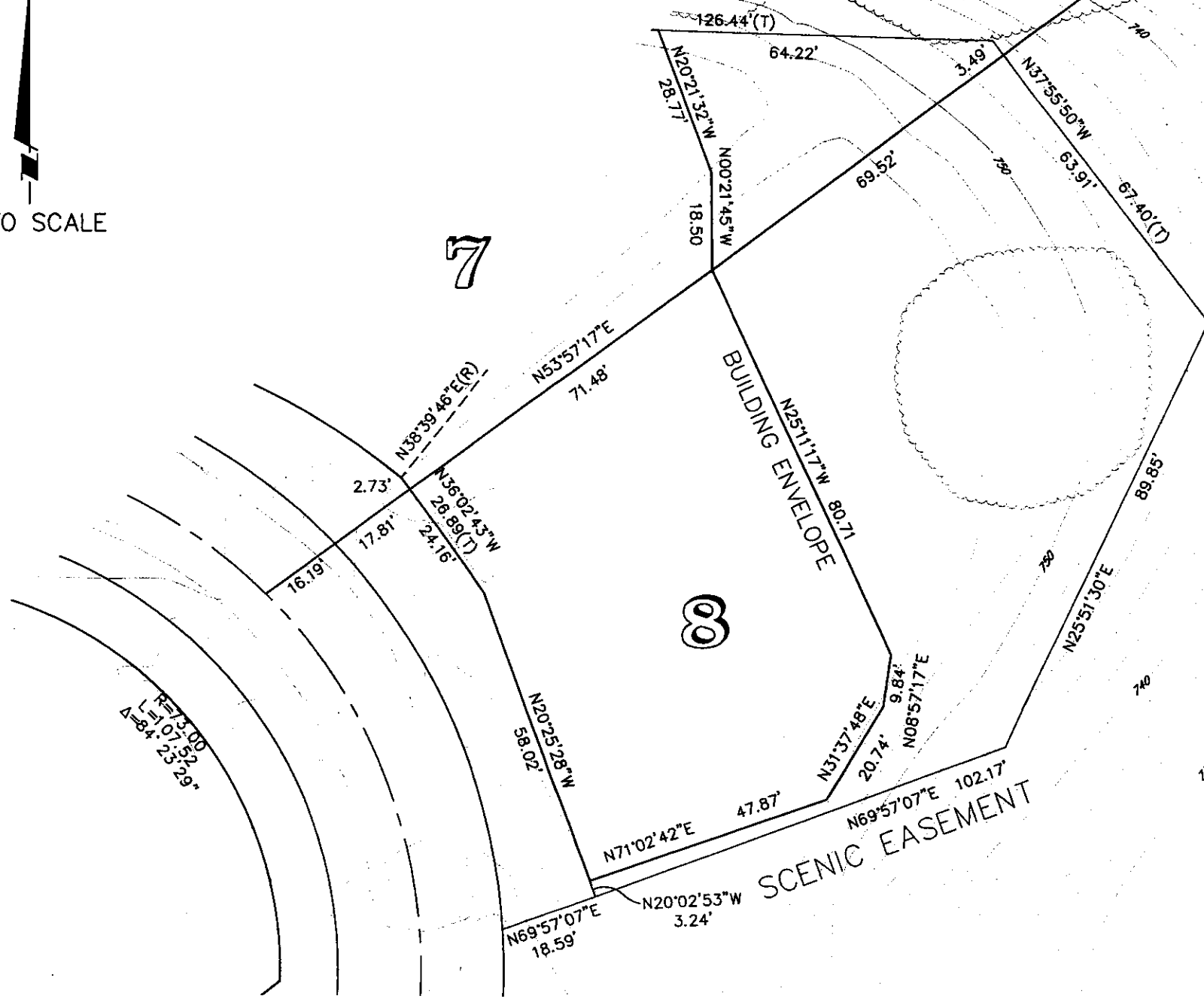
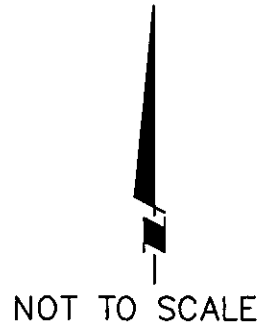
THENCE SOUTH 53°57'17" WEST, 71.48 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING FOR THIS DESCRIPTION, AND CONTAINING 6,625 SQUARE FEET OF LAND.

**END OF DESCRIPTION**



# SUBDIVISION 7744

## FINAL BUILDING ENVELOPES AND SCENIC EASEMENT LOT 8



POR SEC 6 T1S RW MDB&M  
 A- TRACT 7744 MB 446-T  
 1- 22LSM22 6-6-63 MS63-0U42  
 2- 190PM15 5-12-04 MS03-0010

DEVELOPMENT RIGHTS  
 GRANT DEED TO COUNTY  
 FOR PORTION OF SITE  
 (SEE MS03-0010 OR  
 RYAN HERNANDEZ)  
 VR80-1030  
 RZ03-3128  
 ZI0410650  
 (COA COMPLIANCE)

SUB7744  
 ANY PROPOSED BLDG.  
 IS TO BE APPROVED BY  
 CHRISTINE GREGORY  
 per BOB DRAKE 4/5/06

APPLICATIONS  
 IN TRACT 7744:  
 LD249-61  
 LL88-0029

ORIGINAL PARCELS:  
 193-010-002  
 -003  
 -004  
 -006

LL90-0006  
 LL92-0024  
 -All development in Tract 7744  
 requires a Development Plan  
 per COA#118 of DP61-3061

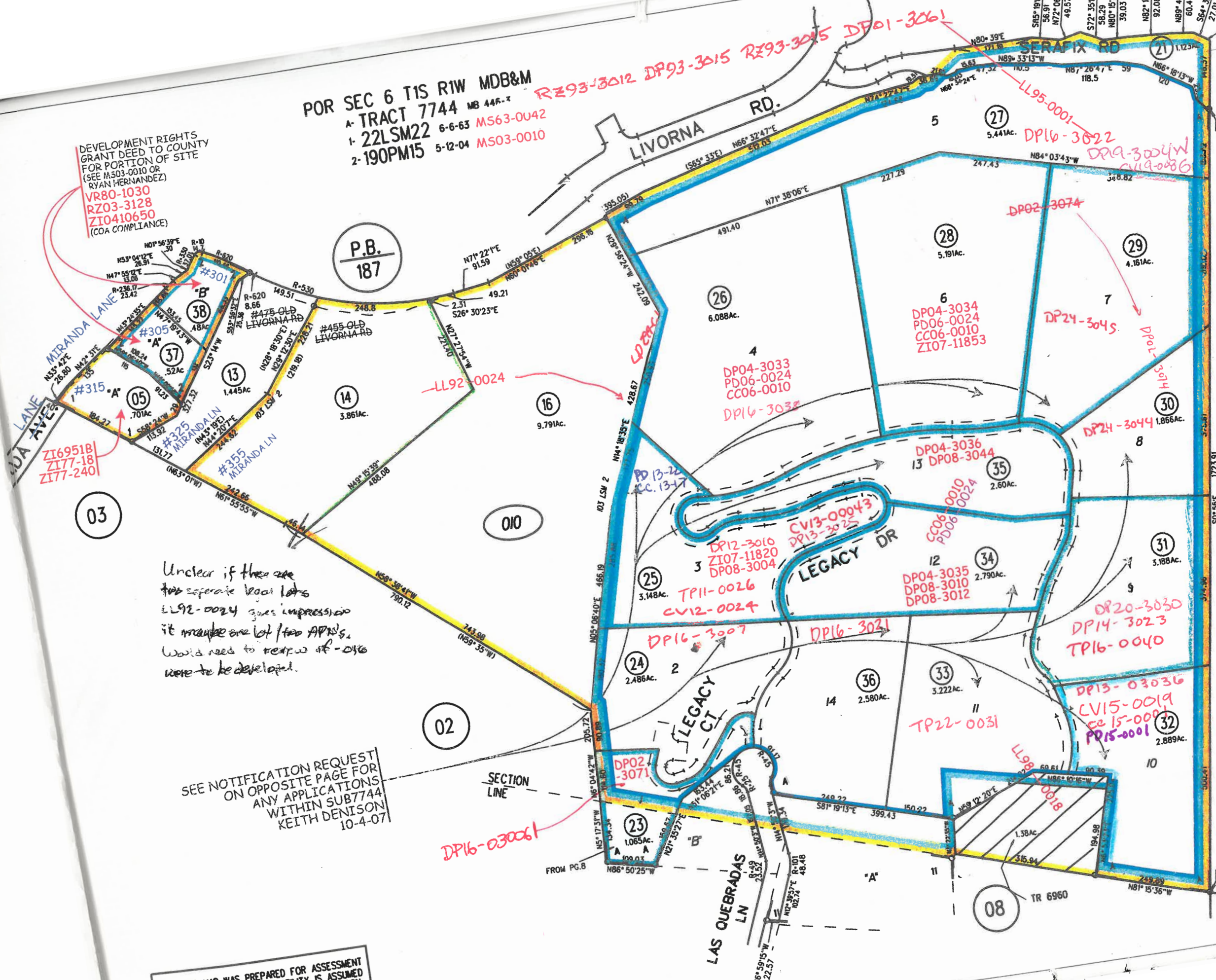
ZM: Q-15

ASSESSOR'S MAP  
 BOOK 193 PAGE 1  
 CONTRA COSTA COUNTY, CALIF.

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT  
 PURPOSES ONLY. NO LIABILITY IS ASSUMED  
 FOR THE ACCURACY OF THE INFORMATION  
 DELINEATED HEREON. ASSESSOR'S PARCELS  
 MAY NOT COMPLY WITH LOCAL LOT SPLIT  
 OR BUILDING SITE ORDINANCES.

Unclear if there are  
 two separate local lots  
 LL92-0024 gives impression  
 it maybe one lot / two APNs.  
 Would need to review if -006  
 were to be developed.

SEE NOTIFICATION REQUEST  
 ON OPPOSITE PAGE FOR  
 ANY APPLICATIONS  
 WITHIN SUB7744  
 KEITH DENISON  
 10-4-07



**Community  
Development  
Department**

County Administration Building  
651 Pine Street  
4th Floor, North Wing  
Martinez, California 94553-0095

Phone: (925) 335-1360

**Contra  
Costa  
County**



Dennis M. Barry, AICP  
Community Development Director

October 4, 2007

Leo Steffen  
40 Camino Monte Sol  
Alamo, CA 94507

Dear Mr. Steffen:

Re: Notification of applications on any property within Subdivision 7744

This letter is in response to your letter dated October 2, 2007 requesting notification of any application on the above reference properties.

It is the department's normal practice to notice any discretionary permits to all property owners within a 300 foot radius of the subject property. However, as an additional measure staff will attach a copy of your letter to the parcel book for one year. If you wish to extend the length of your request beyond one year, you may renew the request annually by letter.

The Community Development Department can only provide notification for those items that require public notification. Other non-discretionary approvals, such as issuance of building permits, do not require public notification, and we cannot provide you with notification for those actions.

If you have any further questions regarding this matter, please feel free to call me at (925) 335-1360.

Keith Denison  
Senior Planning Technician

Office Hours Monday - Friday: 8:00 a.m. - 5:00 p.m.  
Office is closed the 1st, 3rd & 5th Fridays of each month

LEO STEFFEN  
40 CAMINO MONTE SOL  
ALAMO, CA. 94507  
925 944 0870  
COMMUNITY DEVELOPMENT DEPT.  
CONTRA COSTA

CONTRA COSTA

07 OCT -4 PM 12:44

COMMUNITY DEVELOPMENT DEPT.

OCT. 2, 2007

COMMUNITY DEVELOPMENT DEPT.  
CONTRA COSTA COUNTY  
651 PINE ST  
SECOND FLOOR, NORTH WING  
MARTINEZ, CA 94553

ATTN: KEITH DENNISON

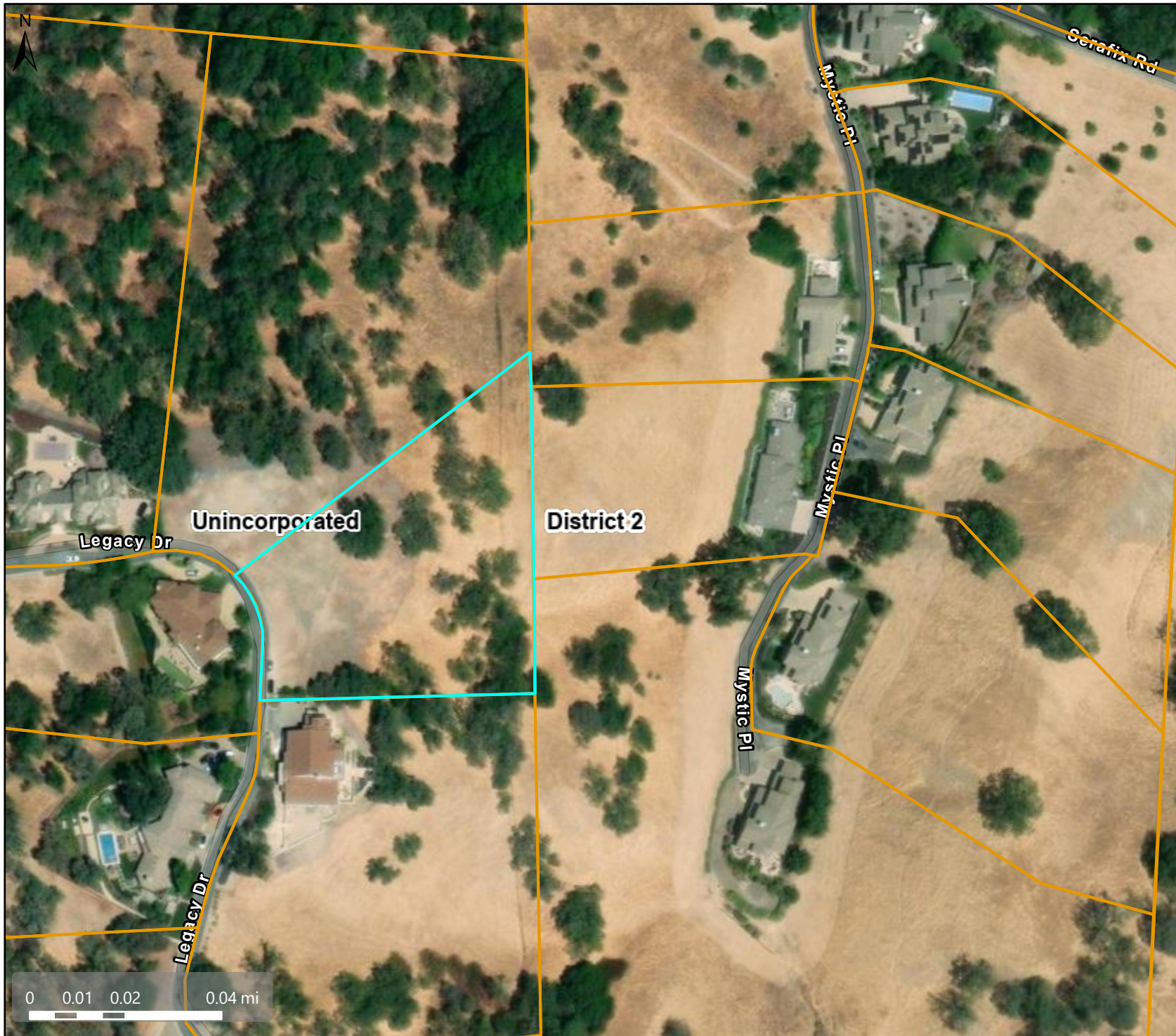
RE: SUB. 7744

I WOULD LIKE TO REQUEST THAT WE BE NOTIFIED IN THE EVENT OF ANY APPLICATIONS ON SUBDIVISION 7744. AS A NEIGHBOR, WE ARE AFFECTED BY THIS SUBDIVISION AND SOME MODIFICATIONS COULD RESULT IN A SIGNIFICANT IMPACT TO US AND OUR ADJOINING NEIGHBORS.




SINCERELY,

LEO STEFFEN

WDA



### Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  Board of Supervisors' Districts



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION.**

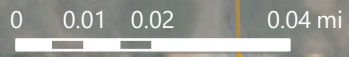
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary  
 Datum: WGS 1984 **213**



### Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE\_OVER**
- P-1 (Planned Unit)
- Unincorporated
- Board of Supervisors' Districts



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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary  
 Datum: WGS 1984 **214**



### Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
- SL (Single Family Residential - Low) 1.0 - 2.9 Units per Net Acre
- OS (Open Space)
- AL (Agricultural Lands) 5 Acre Minimum Parcel Size
- Unincorporated
- Board of Supervisors' Districts

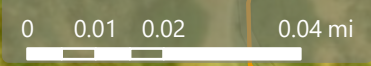


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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary  
 Datum: WGS 1984 **215**



P.O. BOX 156 • Alamo, California 94507

February 25, 2025

**By E-mail to “everett.louie@dcd.cccounty.us”**

Department of Conservation & Development  
Community Development Division  
30 Muir Road  
Martinez, CA. 94553

**Attn:** Everett Louie  
**Re:** CDDP24-03044  
**Site:** 438 Legacy Drive

Dear Everett:

This application is a request for approval of a Development Plan Design Review to determine if a new 4621 square-foot single family residence with an attached 283 square-foot one car garage and an attached 590 square-foot two car garage is consistent with the design guidelines of CDDP01 03061. The application also includes a tree permit to work within the dripline of a Coast Live Oak tree (54" and vacant lot).

The application was reviewed at the AIA Planning Committee’s February 20, 2025 meeting. The applicant and neighboring property owners were notified of the meeting but were not present. Based upon the meeting discussions, the AIA recommends **APPROVAL** of the application, subject to the following condition:

#### CONDITION

- Unless one has already been provided as part of an arborist’s report submitted to the County, a tree protection plan should be prepared for the 54” Coast Live Oak tree for approval by the Zoning Administrator. A certified arborist should be present at all times during construction within the dripline of the tree to observe and assure that the tree protection measures are observed.

The reasons for our recommendation are as follows:

- It appears that the revised plans received by AIA from you on February 5, 2025 are fully compliant with the relevant provisions of CDDP0103061.
- The paving and retaining wall shown within the dripline of a protected 54” Coast Live Oak tree and the general construction in its proximity have the potential to

Community Development Dept.  
Attn: Everett Louie  
February 25, 2025  
Page 2

damage the tree. A tree protection plan and construction monitoring are warranted.

As always, thank you for the opportunity to review and comment upon this application. Please feel free to contact Michael Gibson at (925) 683-5905 or me at (510) 759-9617 if you have questions.

Sincerely,

Steve Meyers  
Chair,  
Planning Committee

cc: Applicant, Jonathan James (by email: [jonathan@williamwood.com](mailto:jonathan@williamwood.com))  
Supervisor Andersen (by email)  
Alamo MAC Members (by bcc email)  
Cameron Collins (by email)  
AIA Board & Planning Committee ( " )  
AIA File ( " )

November 29, 2024

**By E-mail to “everett.louie@dcd.cccounty.us”**

Department of Conservation & Development  
Community Development Division  
30 Muir Road  
Martinez, CA. 94553

**Attn:** Everett Louie  
**Re:** CDDP24-03044  
**Site:** 438 Legacy Drive, Alamo

Dear Everett:

This application is a request for approval of a Development Plan Design Review to determine if a proposed new 5,571 sq. ft. single-family residence with an attached 281 sq. ft. one-car garage and an attached 556 sq. ft. two-car garage is consistent with the design guidelines of CDDP93-03015. The application includes a request for a Tree Permit to allow work within the drip line of a code-protected 54” Coast Live Oak tree and request for modifications to CDDP93-03015 and an existing Scenic Easement to allow retaining walls within the easement. The application was reviewed at the AIA Planning Committee’s November 21<sup>st</sup>, 2024 meeting. The neighboring property owners were notified of the meeting but were not present.

The applicant requested a continuance of the Committee’s review of this application to its December 19<sup>th</sup>, 2024 meeting in order to complete revisions to the originally submitted design in response to County staff comments the applicant had received.

As always, thank you for the opportunity to review and comment upon this application. Please feel free to contact David Ciapponi at (415) 640-2304, who is coordinating this application for the Committee, or me at (510) 759-9617 should you have questions.

Sincerely,

Steve Meyers  
Chair,  
Planning Committee

## Everett Louie

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**From:** Cameron Collins  
**Sent:** Wednesday, February 26, 2025 11:14 AM  
**To:** Syd Sotoodeh; Everett Louie  
**Subject:** 430 and 438 Legacy Drive Projects

Hi Syd and Everett,

Both the 430 and 438 Legacy Drive applications were on the Alamo MAC Land Use Subcommittee agenda last night. The three members decided not to review the applications as the MAC does not make design comments or recommendations on tree permits. I've let Candace know and she is fine with that.

What are the next steps for these projects? Will they be heard by the ZA? If so, do you know when? I need to send a letter out to the neighbors.

### **Cameron Collins**

Field Representative  
*Alamo, Diablo and Walnut Creek*  
Office of Supervisor Candace Andersen  
Contra Costa County, District 2



**CONTRA COSTA**  
BOARD OF SUPERVISORS

*309 Diablo Road*  
*Danville, CA 94526*  
*925.655.2300 voice*  
*925.820.3785 fax*  
[cameron.collins@bos.cccounty.us](mailto:cameron.collins@bos.cccounty.us)

*This message is being sent on a public e-mail system and may be subject to disclosure under the California Public Records Act.*

November 21, 2024

Everett Louie  
Project Planner  
925-655-2873  
[everett.louie@dcd.cccounty.us](mailto:everett.louie@dcd.cccounty.us)

PHONE: (925) 228-9500  
FAX: (925) 228-4624  
[www.centrsan.org](http://www.centrsan.org)

ROGER S. BAILEY  
General Manager

J. LEAH CASTELLA  
Counsel for the District

KATIE YOUNG  
Secretary of the District

SUBJECT: 438 Legacy Dr., Alamo  
APN: 193-010-030, Central San Response  
Brief description of proposed project

Dear Mr. Louie,

According to Central Contra Costa Sanitary District (Central San) records, the project site is within Central San's service area.


Development Information: (Based on the information provided)

- **Existing Use:** Vacant
- **Planned Project Description:** The applicant requests approval of a Development Plan Design Review to determine if a New 5571 square foot single family residence with an attached 281 square foot one car garage and an attached 556 square foot two car garage is consistent with the design guidelines of CDDP93-03015. A tree permit to work within the dripline of a Coast Live Oak (54" and vacant lot) and request a minor modification to CDDP93-03015 to allow retaining walls within a GDDR - Scenic Easement)

Site-Specific Development Conditions:

- The applicant should promptly submit full-size improvement plans for Central San Permit staff to review and pay all applicable fees prior to receiving a building permit. For more information, the applicant should contact the Central San Permit Section at (925) 229-7371.

Sincerely,



**Michelle Peon Del Valle**  
Engineering Assistant



March 16, 2026

Everett Louie, Project Planner  
Contra Costa County  
Department of Conservation & Development  
Community Development Division  
30 Muir Road  
Martinez, CA 94553

**Subject: Geologic Peer Review/ COA Compliance Review**  
**CDDP24-03045 / Lot #8 of SD-7744 (438 Legacy Dr.)**  
COA #14 of CDDP01-03061 / APN 193-010-030  
Clyde Miles Construction (owner & applicant)  
Alamo Arca, Contra Costa County  
DMA Project 3009.26

Dear Everett,

The project is Lot #8 of SD-7744. Since the Final Subdivision Map was recorded, Lot #8 has remained a vacant, residentially zoned parcel. The development of the parcel required filing of a Development Plan. That application was filed in 2001(i.e. CDDP01-03061). The County granted approval to the development plan application, subject to compliance with conditions of approval. COA #14 of CDDP01-03061 requires a site-specific geotechnical report evaluating the building plans and providing updated geotechnical recommendations. In response to the provisions of COA #14, the project proponent has submitted the following items for our review:

- a) Architectural drawings prepared by William Wood Architects.<sup>1</sup> Those plans provide details of the proposed project, including a site plan, floor plans, exterior elevations, landscape plans and associated drawings. The plans indicate a two-story residence to be constructed within a previously graded building pad.
- b) Civil engineering plans prepared by D/B (DeBolt Engineering), which include a cover sheet, grading and drainage plan, erosion control plan, and stormwater control plan.<sup>2</sup>
- c) Geotechnical report prepared by Engeo Inc., which provides an updated geotechnical report that focused geologic conditions on Lot #8.<sup>3</sup> It presents background information on previous services that were provided by Engeo on the project site. However, the primary purpose of the investigation was to provide Updated Geotechnical Recommendations that addressed the project that is currently proposed on the Lot #8. Engeo's scope of work included limited subsurface exploration and laboratory testing. The test pits allowed Engeo to view foundation conditions / depth to bedrock, measure the strike and dip of bedding and dominant jointing. Engeo also identifies the monitoring and testing services recommended during the construction period.

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<sup>1</sup> William Wood Architects, 2024, *Clyde-Miles Const – Lot #8, 438 Legacy Dr., Alamo, CA 94507*, 20 Sheets, WWA Job. #24.2047R (dated October 21, 2024).

<sup>2</sup> D/B Engineering, 2025, *438 Legacy Drive, Alamo, Contra Costa County, California*, 4 Sheets, D/B Job #24205 (dated December 18, 2024).

<sup>3</sup> Engeo, Inc., 2025, *Updated Geotechnical Report, Legacy Ridge (Lot 8 – Subdivision 7744), 438 Legacy Drive, Alamo*, Engeo Job #3193.000.004 (dated January 24, 2025).

## ***Purpose***

Our responsibility is to provide the professional opinion of an engineering geologist on the adequacy of the Engeo report for compliance with the provisions of Condition of Approval #14. It should be recognized that we have no authority to modify the requirements of the conditions of approval (i.e., we cannot grant relief from any COA provision or add additional requirements). We routinely look for evidence of compliance with each specific requirement of a COA. If, in our opinion, there are items that are not adequately addressed, we identify the documentation and/or additional analysis that is required.

## ***Understanding of Project***

The architectural plans indicate a two-story single-family residence of 4,821 sq. ft. plus a total of 3-car garage spaces, as well as 3 surface/ off street parking spaces on Lot #8. The floor plan indicates a mini master bedroom on the 1<sup>st</sup> floor and master bedroom and three other bedrooms on the 2<sup>nd</sup> floor. The 5 bedrooms will each have separate bathrooms. The Grading & Drainage plan, prepared by D/B, estimates 768 cu. yds of fill and “0” cu. yds. of cut (i.e., Note that there is existing fill and surface soils within the footprint of the foundation area of the building site. The area of land disturbance is estimated to be 9,477 sq. ft. This estimate of the residence, the paved areas on the lot outside of the garage areas, as well as on-site drainage improvements. This estimate also includes outdoor landscape areas and outdoor use areas, including patio that is to be located on the southeast perimeter of the dwelling. Additionally, a retaining wall and locally tiered retaining walls are used to define east and southeast limits of the outdoor use areas (i.e., the wall ranges up to 3.6 ft. in height).

## ***Seismic Hazard Mapping Act***

The provisions of the Seismic Hazard Mapping Act (SHMA) can be found in the California Public Resources Code, Chapter 7.8, Sections 2690-2699.6. This law is similar in many respects to the Alquist-Priolo Earthquake Fault Zone Mapping Act, which has been implemented by Contra Costa County for the past 50+ years. However, Seismic Hazard Zone (SHZ) maps issued by the CGS identify areas that are at risk of earthquake induced landslides and earthquake induced liquefaction. The procedure for issuance of official SHZ maps is to distribute preliminary review copies of the SHZ maps and invite local jurisdictions, public agencies and property owner/ general public to provide comment, particularly technical data. Based on CGS review of the comments, the preliminary map(s) may be modified on the basis of the technical input provided. Finally, a public hearing is held before the State Mining and Geology Board with a recommendation from the CGS that the map(s) be approved. When SHZ maps are accepted as adequate by the Mining and Geology Board, they are distributed to local jurisdictions and public agencies. Nearly all land development projects that are located within areas at-risk of earthquake-triggered landslides or liquefaction (or both) that will eventually to construction of structures for human occupancy (including all major and minor subdivisions), comprehensive geological/ geotechnical investigations are required. There are standards for the required reports. To ensure that the required reports comply with the standards of the CGS, the state law requires that all reports are subject to peer review by a California licensed registered geologist or geotechnical engineer. The consultant-prepared report, along with evidence of peer review, is required to be provided to the CGS within 30 days of completion of the peer review. In 2024 the State of California issued an SHZ map of the Walnut Creek Quadrangle.<sup>4</sup>

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<sup>4</sup> CGS, 2024, *Seismic Hazard Zone Map for the Walnut Creek Quadrangle, Contra Costa County, California*, (SHZ map released February 22, 2024).

Accompanying each SHZ map is a Seismic Hazard Zone Report.<sup>5</sup> Those reports explain the methodology used by the CGS analysis and present technical data on a) geology, b) groundwater, c) geologic probabilistic seismic hazard analysis model and its application to liquefaction and landslide hazard assessment d) results of materials testing, d) ground motion assessment, e) references and f) zoning techniques. In the Seismic Hazard Zone Reports, ground-shaking levels are estimated for a 10 percent probability of being exceeded in a 50-year period for rock, soft rock and alluvium conditions.

As shown, the project site is within an *Earthquake-Induced Landslide Zone*. In making its determination the CEG considers slope gradient and height, local geological, geotechnical subsurface water conditions and local seismic setting of the project site. The SHZ Report 136 includes Plates in the SHZ report that identifies the following

- a) depth to the historic-high groundwater level;
- b) estimates of the shear wave velocities in the upper 30 meters of the ground surface;
- c) probabilistic peak ground acceleration that was used in their analysis (PGA 0.69-0.70); and
- d) estimate of the Modal Magnitude of the seismic event used in the landslide hazard analysis.

For lands rated at-risk of landslide displacement, there is a potential for permanent ground displacements such that mitigation as defined in Public Resource Code Section 2693c is required. Disclaimer #8 on the SHZ map acknowledges that some sites within the designated hazard areas may have already been mitigated to city or county standards. (The CGS has not performed exhaustive studies of previous geotechnical and engineering geologic reports in County project files.) In the case of the project site, it is exempt from the requirements of SHMA requiring the submittal of a rigorous analysis of landslide hazards that is compliant with CGS standards. This is because the lot was created prior to the issuance of the SHZ map. Therefore, the development of a residence on Lot #8 is categorically exempt from the provisions of SHMA. Nevertheless, the project is subject to satisfying the Conditions of Approval of the Development Plan

## ***ENGEO INVESTIGATIONS***

### **1. Previous Engeo Reports**

Engeo served as the project geotechnical engineers during the processing of the subdivision application by the County and they provided observation and testing services during mass grading of Subdivision 7744.<sup>6</sup> Consequently, they are familiar with the details of the previous grading of Lot #8, as well as the engineering properties of native soils, engineered fill and the bedrock formation that occurs on Lot #8. In 2005 Engeo provided supplemental subsurface exploration of the twelve (2) custom lots that were being considered for construction of improvements which included Lot #8. Background information was provided by Engeo on their previous site investigations on Lot #8. That included serving as the project geotechnical engineers during mass grading and previous subsurface exploration performed within Subdivision 7744. Specifically, during the period 2001 – 2002 Engeo served as the project geotechnical engineers during mass grading of Subdivision 7744.<sup>7 8</sup> Consequently, they are familiar with the details of previous grading of Lot

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<sup>5</sup> CGS, 2024, *Seismic Hazard Zone Report for the Walnut Creek Quadrangle, Contra Costa County, California*, SHZ Report 136.

<sup>7</sup> Engeo, Inc., 2001, *Interim Report on Testing & Observation Services During Mass Grading, Subdivision 7744 and Minor Subdivision, Alamo, California*, Engeo Job #3193.1.3193.2.050.02 (dated July 19, 2001).

<sup>8</sup> Engeo, Inc., 2002, *Final Report of Testing and Observation Services During Site Utility Trench, Subdivision 7744 and Minor Subdivision, Alamo, California*, Engeo Job #3193.2.050.02 (dated November 4, 2002)

#8, as well as the engineering properties of native soils, engineered fill and the bedrock formation that occurs on Lot #8. In 2005 Engeo provided supplemental subsurface exploration of the twelve (12) custom lots that were being considered for construction of improvements, which included Lot #8.

Figure 2 of Engeo's 2025 report presents a geologic map of Lot #8. Features shown include the following:

- The boundary of Lot #8 is identified by a heavy black dashed line.
- Engeo's interpretation of site geology (i.e., the project site is located within the outcrop belt of the Green Valley-Tassajara Formation (Tgvt), with a major landslide mapped in the southern portion of the property (slide boundary represented by a thin, black dashed line (Qls).
- A keyway and subdrain that was installed 20+ years ago, when the site was graded, with Engeo serving as the project geotechnical engineers at that time. That keyway (outlined in blue) and associated subdrain and intended to control headward retreat of the crown of the landslide.
- The location of a short exploratory trench (Labeled TP2-6) that was logged by Engeo in 2005. The significance of this trench is that it confirmed the limits of the landslide did not extend as far northwest as the trench.
- In the immediate vicinity of the proposed building site, Engeo's previous investigations confirm the orientation of bedding in the outcrop belt of the Tassajara- Green Valley Group (Tgvt) in the immediate area of Lot #8 has a strikes N87E, with a steep, with a north-northwesterly dip that is estimated to be 64 degrees.

## 2. 2025 Engeo Report

For the current study, Engeo logged three test pits that are TP-1, TP-2 and TP-3.

- TP-1 encountered medium-grained sandstone a few inches below the ground surface. The sandstone is described as yellowish brown to pale yellow; weak to very weak; and highly to moderately weathered, with carbonate staining on fracture surfaces.
- TP-2 encountered 1½ ft. of colluvium. Exposures on the south side of the trench showed fill was present. The fill that was exposed consisted of lean clay and poorly graded sand. Underlying the colluvium fill was mudstone, described as dark yellowish- brown, moderately weak, moderately weathered, dry, fine-grained, very stiff; moist, with medium to high plasticity.
- TP-3 exposed mudstone from the surface to the full depth explored (5 ft.). The mudstone is described as dark yellowish brown, weak to very weak and intensely to moderately weathered; very closely fractured, moderate carbonate staining on fracture surfaces, and contains shear zones.

Engeo's recommendations included the following:

- Over-excavation of those soils are required, and Engeo will provide monitoring of the over-excavation; a portion of the building site is underlain by near surface mudstone, which is highly expansive. Engeo recommends the over-excavated mudstone not be used in the engineered fill that is proposed within the footprint of the foundation of the Lot #8 residence. It can be used in landscape areas or exported from the project site. Engeo also indicates that if highly organic material and large rock are encountered, will not be suitable for use in the fill). With respect to the import fill, Engeo provides standards for the import fill required within the footprint of the dwelling (i.e., clean fill dirt that is characterized by a low expansion potential).
- Engeo indicates that a) the existing graded pad is bounded on the northeast and east a 2:1 (horizontal to vertical) slope, which slope away from the building pad; b) the topographic survey map prepared

by the project civil engineer (D/B) indicates that the current pad grade is up to 5 ft. below the finish floor grades shown on sheets prepared by Willian Wood Architects, c) future project site improvements may include a pool (to be located east of the proposed residence), Drainage plans indicate runoff is to be collected by closed culverts, with their outfall proposed on slopes as steep as 2:1 (horizontal: vertical) that are 20 to 25 from the perimeter walls.

- A sample of soils was tested by a qualified laboratory for pH, resistivity and for sulfate and chloride ion concentrations at 100% saturation. Engeo then provided an assessment of the data gathered in the context of the 2022 California Building Code (CBC) and references the 2019 American Concrete Institute Manual for concrete durability requirements. Based on their experience in similar circumstances Engeo recommends use of Type II cement and concrete mix design for foundations and for building slabs that incorporate a maximum water-cement ratio of 0.50. The report also notes that the project structural engineering design requirements for the concrete may result in more stringent concrete specifications.

Commencing on page 4 of the 2025 report Engeo presents a section of the report titled “Updated Geotechnical Recommendations”. They address a) acceptable fill, b) provide foundation recommendations, which provide alternative design recommendations, depending on the setback of the structure from slopes that are steeper than 4:1 (horizontal to vertical). Those alternatives include the following foundation systems:

- Pier and Grade Beams Combined with raised floor systems.
- Post-Tensioned Mat Foundations.
- Continuous Spread Foundations.
- Interior Floor Stabs-on-Grade.
- Raised Floors (Crawl Space Moisture Reduction). This discussion references Figure 4 of the Engeo report which provides plan views / typical sections for both perimeter floor subdrain and underfloor drain.

The report then provides the 2022 CBC Seismic Design Criteria for Lot #8 (see Table at the bottom of page 8). This discussion is followed by a series of recommendations that address a) means of mitigation of a possible means of addressing sulfate exposure risk, b) detailed recommendations for flat work (i.e., exterior slabs-on-grade), c) slab moisture vapor reduction, d) design of pool walls, e) pool hydrostatic relief valve and underdrains, and f) pool deck slab-on-grade and adjacent landscape areas,

The preceding design recommendations are followed by a “Statement of Limitations”. Key elements of this discussion are a) recommendations presented in Engeo’s 2005 report remain valid, unless updated by the 2025 report, b) adherence to design recommendations by the project proponent is not a guarantee that all risks have been eliminated, c) Engeo states that final construction drawing should be provided for final review by Engeo to assess their conformance with the design recommendations for the project, d) that it is the responsibility of the project proponent to provide the geotechnical recommendations to the members of the design team, e) the conclusions and recommendations presented in the January 2025 report are solely professional opinions and are valid onto for 2 years (until January 24, 2027), and f) During development, actual field conditions or other considerations can be expected to necessitate clarifications, adjustments, modifications or other changes to recommendations that respond to exposed conditions. It is for this reason that geotechnical observation and testing services are critical to the success of the project; consequently, Engeo recommends that they be retained to provide observation and testing services throughout the construction period.

## 2. Subsurface Investigation

The purpose of the subsurface investigation was to provide data on foundation conditions. The data gathered indicates ½ to 2 ft. of non-expansive sandy soil overlying bedrock that consists of interbedded sandstone and mudstone. Within the footprint of the residence, test pits terminated in bedrock approximately 4½ ft. below existing grade. Laboratory testing indicates a PI of 47 for the mudstone sample that was tested (i.e., highly expansive when subject to fluctuations in moisture content). Test Pit TP-1 is located in the area where a swimming pool is proposed. This test pit was extended to a depth of 8 ft. It encountered sandstone bedrock from the ground surface to a depth of 8 ft. The sandstone exposed in the walls and floor of the test pit are described as follows:

*Sandstone, pale yellow, weak to moderately weak, moderately to slightly weathered, fine- to medium-grained, massive, minor carbonate staining on fracture surfaces, contact with conglomerate exposed near top of test pit. The bedrock deemed to be Tgvt (i.e. Green Valley-Tassajara Group) and the orientation of bedding reported to be 340/34 (i.e. strike is north-northwest and dipping at approximately 34 degrees).*

## 3. Laboratory Testing of Samples

Engeo performed testing of samples retrieved using hand sampling techniques. The tests performed included plasticity index (PI), fines content and corrosion potential. Among the tests performed, was evaluation of the sulfate ion concentration at full saturation. This is a key parameter used by geotechnical engineers to evaluate the effect of corrosive soils on concrete. For evaluation of sulfate content, Engeo utilized ASTM Test Method D4327. In this case the sulfate concentration fell below the detection limit of the test. On page 3 of the Engeo report there is reference to standards of the American Concrete Institute Manuel, which provides standards for concrete in contact with soils based on its exposure class.<sup>9</sup> In this instance the test results fell below standards for mitigation of the adverse effects of corrosive soils on concrete. Nevertheless, Engeo recommends use of Type II concrete for foundations and slabs-on-grade. Engeo also notes that they are not corrosion engineers. If further evaluation of this potential hazard is a concern, Engeo recommends that a corrosion engineer be retained by the project proponent. Additionally, Engeo indicates that the project structural engineer may recommend more stringent concrete specifications.

## 4. Updated Geotechnical Recommendations

Based on the results of their 2025 investigation, Engeo indicates that from a geotechnical perspective the project site is suitable for the proposed development, provided the recommendations presented in their report are incorporated into the project design and fully implemented during the construction phase of the project. Engeo then goes on to provide detailed geotechnical recommendations for the project. Those recommendations are comprehensive and address the following geotechnical-related issues:

- Acceptable Fill (including a process to remove organic concentrations; a recommendation for use of soil material derived from mudstone to be restricted to landscape areas, monitoring removal of stripping by Engeo to evaluate the properties of the soil that overlies bedrock, and standards for the PI of any proposed import; and all import is to be tested and approved by Engeo for use as engineered fill prior to import being transported to the site.)
- Foundation Recommendations (due in part to terrain considerations and the presence of highly expansive mudstone within the pad area, If the footprint of the residence encroaches within 15 ft. of a downslope area with a gradient of 4:1 or steeper, Engeo recommends

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<sup>9</sup> 2019 American Concrete Institute Manuel, ACI 318-19, Section 19.3.1

pier-and-grade beam foundation for the residence. Similarly, if the planned retaining walls and/or pool structure encroaches into an area that is less than 15 ft. from a slope having a gradient of 25% or steeper, pier and grade beam foundations are recommended.)

- Pier-and-Grade Beams Combined with Raised Floor System (Engeo indicates that if the primary residence encroached within 15 ft. of a downslope area steeper than 4:1, a pier-and-grade beams foundation system is recommended i.e., the residence can be supported on drilled piers combined with grade beams with raised floors are recommended. Engeo provides design parameters for the proposed foundation system, including pier diameter, pier depth, max. allowable skin friction, min. spacing of piers, nearby downslope condition, and lateral passive resistance (allowable).
- Post-Tensioned Mat Foundation (provided the residence can be setback a min. of 15 ft. from downslopes, use of post-tensioned mats may be considered. The PT mat foundations system must bear on competent engineered fill. Engeo goes on to provide detailed recommendations if PT mats can attain a 15 ft. setback from slopes having a gradient of 25% or greater.
- Continuous Spread Footings (This type of foundation is allowable provided the footprint of the dwelling is setback a minimum of 15 ft. from a slope having a gradient of 25% or greater. Detailed parameters are provided for this foundation system options
- Other Updated Design recommendations. Commencing on page 7, Engeo provides detailed design recommendations for a) interior floor slabs-on-grade, raised floors, b) raised floors (e.g. crawl space moisture reduction), c) 2022 California Building Code seismic design criteria, d) Foundation concrete sulfate exposure considerations, e) exterior slabs-of-grade, f) Slab moisture vapor reduction,
  - Slab-on-grade subgrade treatment
  - Site retaining walls
  - Concrete driveway and drivable pavers
  - Pool recommendations, including pool foundations, pool walls pool hydrostatic relief valve and underdrainage, and pool deck slab-on-grade and adjacent landscape areas.

Engeo's detailed design-level recommendations are followed by a *Limitations Statement*. There are several significant components to this statement, which include the following:

- If there are changes in the planned improvements, as project geotechnical engineers, Engeo needs to be provided with the opportunity to comment on the changes and modify its design-level recommendations.
- The developer has a duty to transmit geotechnical data/ recommendation to his consulting team.
- The recommendations are solely professional opinions and are valid for a period of 2 years (i.e., until January 24, 2027. Beyond that date, Engeo must be given the opportunity to review project plans and update its recommendations, if warranted.

## ***DMA Findings***

### 1. COA Compliance

We shall not comment on Engeo's recommendation other than indicating that a) they are well-reasoned, b) generally consistent with the standard of practice, c) are comprehensive and d) with full implementation by contractors are expected to result in long-term satisfactory performance. On that basis, we consider the 2025 Engeo report to have satisfied the provisions of COA #14.

The detailed design level recommendations are subject to review and approval by the professional staff of the Building Inspection Division (BID), who are charged with enforcement of the provisions of the California Building Code and other code related regulations administered by the BID. It would not be surprising if BID had questions requiring additional notes on plans, detailed specifications, calculations or other questions.

## 2. Future Geotechnical Services

The future geotechnical services recommended by Engeo include observation and testing services, which are critical to the success of the project. The monitoring services are intended to ensure that contractors properly interpret and implement recommendations in the geotechnical report. The recommended geotechnical monitoring services also provide an opportunity for the geotechnical engineer to view exposed conditions. If field conditions vary substantially from those anticipated, the geotechnical engineer will provide supplemental recommendations. Any proposed changes to recommendations during construction will need to be reviewed/ approved by the County BID staff prior to their implementation.

### ***DMA Recommendations***

In our opinion evidence of review of the detailed building plans by Engeo should be provided to CDD before the plans are allowed to be submitted to BID. Additionally, we recommend that a General Note be included on those plans indicating the geotechnical monitoring recommended by Engeo are to be implemented throughout the construction period, and that Engeo shall provide a final report that presents a) details of the observation and testing services provided, and b) provides the geotechnical engineer's professional opinion on the compliance of construction with Engeo's geotechnical recommendations.

### ***Limitations and Purpose***

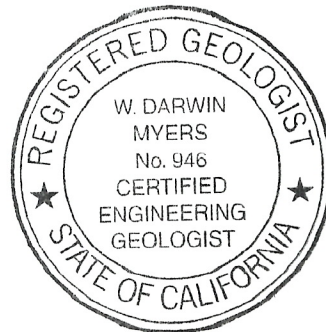
The purpose of our review was to provide a professional opinion on the adequacy of the documents provided for COA Compliance. Specifically, we provide advice to assist the Community Development Division with discretionary permit decisions. Our scope of work was limited to the documents that are references herein, and our conclusions and recommendations are made in accordance with generally accepted principles and practices of the Engineering Geology Profession.

We trust this letter provides the evaluation and comments that you requested. Please call if you have any questions.

Sincerely,  
DARWIN MYERS ASSOCIATES



Darwin Myers, CEG 946  
Principal





## REVIEW OF AGENCY PLANNING APPLICATION

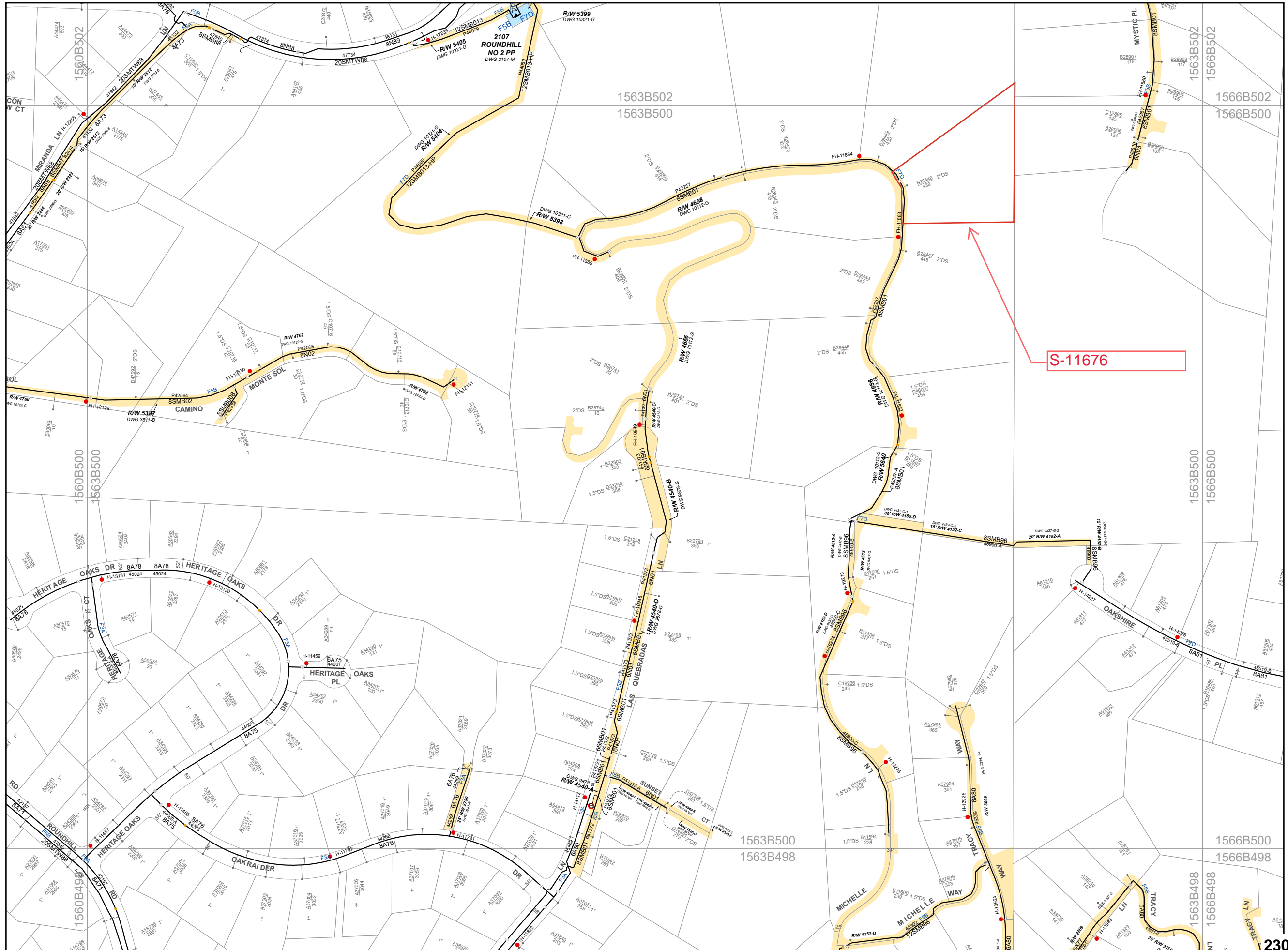
THIS IS NOT A PROPOSAL TO PROVIDE WATER SERVICES										
The technical data supplied herein is based on preliminary information, is subject to revision and is to be used for planning purpose ONLY										
DATE: 11/25/2024	EBMUD MAP(S): 1563B500	EBMUD FILE:S-11676								
AGENCY: Department of Conservation and Development Attn: Everett Louie 30 Muir Road MARTINEZ, CA 94553	AGENCY FILE: CDDP24-03044	FILE TYPE: Development Plan								
APPLICANT: Jonathan James William Wood Architects 301 Hartz Avenue Suite 203 Danville, CA 94526-3328		OWNER: Stephanie Miles 1110 Burnett Avenue Suite C Concord, CA 94520-4462								
DEVELOPMENT DATA										
ADDRESS/LOCATION: 438 Legacy Drive City:ALAMO Zip Code: 94507-1722										
ZONING:P-1 PREVIOUS LAND USE: Vacant lot										
DESCRIPTION: Design Review for a 5571 square foot single family home with an attached 281 square foot one-car garage and an attached 556 square foot two-car garage.		TOTAL ACREAGE:1.87 ac.								
TYPE OF DEVELOPMENT: <div style="text-align: right;">Single Family Residential:1 Units</div>										
WATER SERVICES DATA										
PROPERTY: in EBMUD	ELEVATION RANGES OF STREETS: 748-786	ELEVATION RANGE OF PROPERTY TO BE DEVELOPED: 655-748								
All of development may be served from existing main(s) Location of Main(s):Legacy Drive										
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">PRESSURE ZONE</th> <th>SERVICE ELEVATION RANGE</th> </tr> </thead> <tbody> <tr> <td>F7D</td> <td>720-920</td> </tr> </tbody> </table>		PRESSURE ZONE	SERVICE ELEVATION RANGE	F7D	720-920	None from main extension(s) Location of Existing Main(s): <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">PRESSURE ZONE</th> <th>SERVICE ELEVATION RANGE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	PRESSURE ZONE	SERVICE ELEVATION RANGE		
PRESSURE ZONE	SERVICE ELEVATION RANGE									
F7D	720-920									
PRESSURE ZONE	SERVICE ELEVATION RANGE									
COMMENTS										
<p>When the development plans are finalized, the project sponsor should contact EBMUD's New Business Office and request a water service estimate to determine the costs and conditions of providing water service to the development. Engineering and installation of water mains and meters requires substantial lead time, which should be provided for in the project sponsor's development schedule. No water meters are allowed to be located in driveways. The project sponsor should be aware that Section 31 of EBMUD's Water Service Regulations requires that water service shall not be furnished for new or expanded service unless all the applicable water-efficiency measures described in the regulation are installed at the project sponsor's expense. Due to EBMUD's limited water supply, all customers should plan for shortages in time of drought.</p> <p>EBMUD owns and operates a 8-inch water distribution pipeline in an EBMUD right of way (R/W 4656) located within the boundary of this property. This pipeline provides water service to the existing (type commercial, residential, etc.) property. The integrity of this pipeline needs to be maintained at all times. Any proposed construction activity within the right of way would need to be coordinated with EBMUD and may require relocation of the pipeline and/or right of way, at the project sponsor's expense. No buildings or structures shall be constructed in EBMUD's right of way unless specific approval is given by EBMUD.</p> <p>Depending on the final elevations of the proposed development, a High Pressure Service Agreement may be required to provide water service to portions of the development. A High Pressure Service Agreement recommends the installation and maintenance of a pressure regulator at the project sponsor's expense, to maintain adequate pressure to the premises at all times.</p>										
cc: Matt Elawady										
<b>CHARGES &amp; OTHER REQUIREMENTS FOR SERVICE:</b> Contact the EBMUD New Business Office at (510)287-1008.										
<div style="display: flex; justify-content: center; align-items: center;"> <div style="text-align: right;">             11/22/2024              Chien Wang, Associate Civil Engineer; DATE              WATER SERVICE PLANNING SECTION           </div> </div>										

**Potable Distribution System**

- Potable Pipeline
- Service Lateral
- ⊙ System Valve (OL = Opens Left)
- ⊙ Check Valve
- ⊙ Zone Valve
- Change of Pipe ID
- ⊙ Rate Control Station
- ⊙ Regulator
- ⊙ Pressure Reducing Station
- ⊙ Flow Meter
- Manhole
- Service Connection
- Hydrant
- Facility
- ▶ Pumping Plant

**Landbase**

- EBMUD Right of Way
- EBMUD Property



This information is furnished as a public service by East Bay Municipal Utility District (District). The District makes every reasonable effort to produce and publish the most current and accurate information possible. However, the District makes no warranty express or implied, concerning this information's accuracy, completeness, reliability, or suitability for the recipient's intended use. Furthermore, the District assumes no liability associated with the use or misuse of this information. If you do not accept these terms, you must refrain from using the information and immediately return it. Please notify the District if discrepancies in the provided information are found.

By receiving the requested information, you agree that you, and any of your representatives authorized by the District to possess the information, will use the information only for the authorized purpose for which you requested it. If you obtained the information to prepare construction documents, you may make the information publicly available only to the extent necessary for safe construction. In all other circumstances, you may not provide any of the information, or any copy of it, to any other person or entity without the District's prior written approval. When you no longer require the information for your use, you must return or destroy all copies of the information. If you do not accept these terms, you must refrain from using the information and immediately return it.

**1563B500**



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November 26, 2024

Everett Louie  
Contra Costa County  
Department of Conservation and Development  
Community Development Division  
30 Muir Road  
Martinez, CA 94553

Re: Project Location CDDP24-03044 Address: 438 LEGACY DR, ALAMO, CA 94507-1722, APN: 193010030

Dear Everett Louie,

Thank you for the opportunity to express the position of the Contra Costa Mosquito & Vector Control District (the District) regarding the proposed project located at 438 Legacy Drive, Alamo, CA, APN: 193010030.

As a bit of background, the District is tasked with reducing the risk of diseases spread by vectors in Contra Costa County by controlling them in a responsible, environmentally-conscious manner. A “vector” means any animal capable of transmitting the causative agent of human disease or capable of producing human discomfort or injury, including, but not limited to, mosquitoes, flies, mites, ticks, other arthropods, and rodents and other vertebrates. Under the California Health and Safety Code, property owners retain the responsibility to ensure that the structure(s), device(s), other project elements, and all additional facets of their property do not produce or harbor vectors, or otherwise create a nuisance. Owners are required to take measures to abate any nuisance caused by activities undertaken and/or by the structure(s), device(s), or other feature(s) on their property. Failure by the owner(s) to adequately address a nuisance may lead to abatement by the Contra Costa Mosquito & Vector Control District and civil penalties up to \$1,000 per day pursuant to California Health and Safety Code §2060 et seq.

All mosquitoes require water to complete their life cycle. Projects that construct impervious surface, alter water flow or drainage, introduce irrigation, contain water conveyance or treatment elements, etc. have the potential to produce standing water and vector breeding habitat, creating a potential health hazard for area citizens, pets, and wildlife. Vector species that may breed in such locales have the ability to not only affect nearby individuals, but potentially spread disease viruses to persons and other animals several miles away.

This project design includes impervious features which can create areas of stagnant water to pond. Careful considerations for design and construction should be employed for all facets of the project in order to prevent creating suitable vector habitat. No feature of the project should create areas of stagnant water that remain in excess of 72 hours. A thorough operation and maintenance plan should include steps to preclude vector production and contingencies to remedy such issues if they arise.

[Type here]

Addressing these concerns in the project planning phases can not only better protect public health and reduce the need for vector control efforts, but avoid costly retrofits and fines for property owners in the future. Please don't hesitate to contact the District should you have any questions or need anything further.

Sincerely,

*Heidi Budge*

Heidi Budge

Vector Control Planner

925-771-6126

[hbudge@contracostamosquito.com](mailto:hbudge@contracostamosquito.com)



San Ramon Valley Fire Protection District  
Community Risk Reduction Division  
2401 Crow Canyon Road, Suite A  
San Ramon, CA 94583

---

phone: 925.838.6600    web: [www.firedepartment.org](http://www.firedepartment.org)

Thursday, November 14, 2024

Hello Everett Louie,

The Fire District has reviewed the Planning Application for the below noted address. Based upon the information provided, comments and requirements have been made as conditions of approval.

If during the course of the entitlement process the project changes, additional requirements may apply. Thank you for the opportunity to comment on the project. Please feel free to contact me directly with any questions or concerns.

**PROJECT:** CDDP24-03044  
**ADDRESS:** 438 LEGACY DR (193010030)  
**APPLICATION TITLE:** Planning and Site Development Review  
**PROJECT NUMBER:** 1523669

**Roy Wendel**  
**Fire Marshal**  
rwendel@srvfire.ca.gov  
925.838.6687

PLANNING

General Issues

**1. Fire Flow**

Roy Wendel  
11/14/24 7:16 AM

This project is required to meet fire flow as defined in the CFC. Check with local water purveyor to ensure existing hydrants will meet required fire flow.

Minimum fire flow is 1,125 gpm for 60 minutes.

**2. Submit Plans**

Roy Wendel  
11/14/24 7:16 AM

Plan submittal required to the Fire District. Visit [www.firedepartment.org/submitplans](http://www.firedepartment.org/submitplans) for information on submittal requirements.

**3. Access**


Roy Wendel  
11/14/24 7:17 AM

Current requirements for water supply and Fire Department access will be applied at time of submittal for construction permits. Visit [www.firedepartment.org/submitplans](http://www.firedepartment.org/submitplans) for the current Ordinance, Standards and Submittal Requirements.



# Memo

February 9, 2026

**TO:** Everett Louie, Planner, Department of Conservation and Development  
**FROM:** Larry Theis, Engineering Services Division – Consultant Engineer   
**SUBJECT:** **DEVELOPMENT PLAN CDDP24-03044**  
**STAFF REPORT & RECOMMENDED CONDITIONS OF APPROVAL**  
(Jonathan James (Applicant) - New Single Family Residence at 438 Legacy Drive – Alamo area APN 193-010-030)  
**FILE:** **CDDP24-03044**

We have reviewed the resubmittal of plans for application for **Development Plan CDDP24-03044** received by your office. **The updated application is deemed complete.** The plans include revisions to the proposed drainage through a vegetated area.

## Background

The subject property is located at 438 Legacy Drive in the Alamo area (APN 193-010-030). The property is Lot 8 of Subdivision 7744 (446M3) and it is approximately 1.86 acres of which approximately 80% is restricted from development via a Grant Deed of Development Rights. It is mostly a sloped area with the home built on the flat portion, with surrounding area down sloping to the east and south. The proposed development plan is to construct a new two-story single-family residence with driveway access to the east side of Legacy Drive.

## Drainage

Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse.

## Stormwater Management and Discharge Control

A Stormwater Control Plan (SWCP) for a Small Land Development Project was submitted and reviewed. The applicant is proposing 7,801 SF of new impervious surface which is below the 10,000 SF threshold for one single family home that is not part of a larger plan of development. The development plan plans to use runoff reduction measures that include dispersing runoff into vegetated area (lawns/landscape space).

**Underground Utilities**

Division 96-10 of the County Ordinance Code requires that all utility distribution facilities, including but not limited to electric, communication and cable television lines, within any residential or commercial subdivision shall be placed under ground.

**Area of Benefit Fee**

The applicant will need to comply with the requirements of the Alamo Area of Benefit, as adopted by the Board of Supervisors. The fee shall be paid prior to issuance of building permits.

**Streetlights (General Benefit)**

The applicant shall annex into the Community Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. Annexation into a streetlight service area does not require streetlights to be constructed specifically with your project and will not transfer ownership and maintenance of street lighting on nearby private roads. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

**Drainage Area Fee**

The applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.

Should you have any questions, please contact Larry Theis at (925) 890-9732 or [Larry@theis-engineering.com](mailto:Larry@theis-engineering.com).

LT:  
G:\engsvc\Land Dev\DP\CDDP24-03044\Staff Report & COAs CDDP24-03044 (2026-02-09)

cc: J. LaRocque Engineering Services

Applicant: Jonathan James, William Wood Architects  
301 Hartz Avenue, Suite 203  
Danville, CA 94526  
Owner : Stephane Miles  
1110 Burnett Ave Suite C  
Concord, CA 94520

**PUBLIC WORKS RECOMMENDED**  
**CONDITIONS OF APPROVAL FOR DEVELOPMENT PLAN CDDP24-03044**

**COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMITS.**

**General Requirements:**

- In accordance with Section 92-2.006 of the Ordinance Code, this development plan shall conform to all applicable provisions of the Subdivision Ordinance (Title 9). Any exceptions therefrom must be specifically listed in this conditional approval statement. The drainage, road and utility improvements outlined below require the review and approval of the Public Works Department and are based on the site plan prepared by Debolt Civil Engineering dated January 5, 2026.
- Applicant shall submit improvement plans prepared by a registered civil engineer to the Public Works Department and pay appropriate fees in accordance with the County Ordinance and these conditions of approval. The conditions of approval below are subject to the review and approval of the Public Works Department.

**Street Lights:**

- Property owner(s) shall annex their property into the County Facilities District (CFD) 2010-1 formed for Countywide Street Light Financing. The applicant will be assessed the annual rate for the general benefit of having street lights throughout the County. The annexation shall occur prior to issuance of building permit.

**Stormwater Management and Discharge Control:**

- Improvement plans shall be reviewed to verify consistency with the final SWCP and compliance with Provision C.3 of the County's NPDES Permit and the County's Stormwater Management and Discharge Control Ordinance (§1014).
- Applicant shall submit final site improvement plans which provide a breakdown of the total proposed impervious surface areas (roof tops, patios, porch, pool area) and verify this total does not exceed 10,000 SF.

**Utilities/Undergrounding:**

- Applicant shall underground all new utility distribution facilities to the new home. Applicant shall provide joint trench composite plans for the underground electrical, gas, telephone, cable television and communication conduits and cables including the size, location and details of all trenches, locations of building utility service stubs and meters and placements or arrangements of junction structures as a part of the Improvement Plan submittals for the project. The composite drawings and/or utility improvement plans shall be signed by a licensed civil engineer.

## **ADVISORY NOTES**

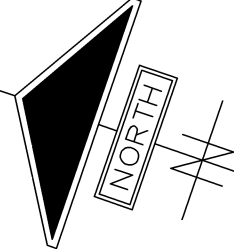
- Applicant will be required to comply with the requirements of the Bridge/Thoroughfare Fee Ordinance for the Alamo Area of Benefit as adopted by the Board of Supervisors. Payment is required prior to issuance of a building permit.
- Applicant will be required to comply with the drainage fee requirements for Drainage Area 76 as adopted by the Board of Supervisors. Fee shall be paid prior to issuance of building permits.



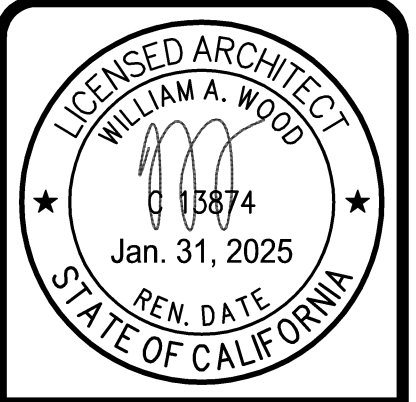


**OVERALL SITE PLAN - LOT 8**

SCALE: 1" = 20'-0"



REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**  
 438 LEGACY DR.  
 ALAMO, CA 94507

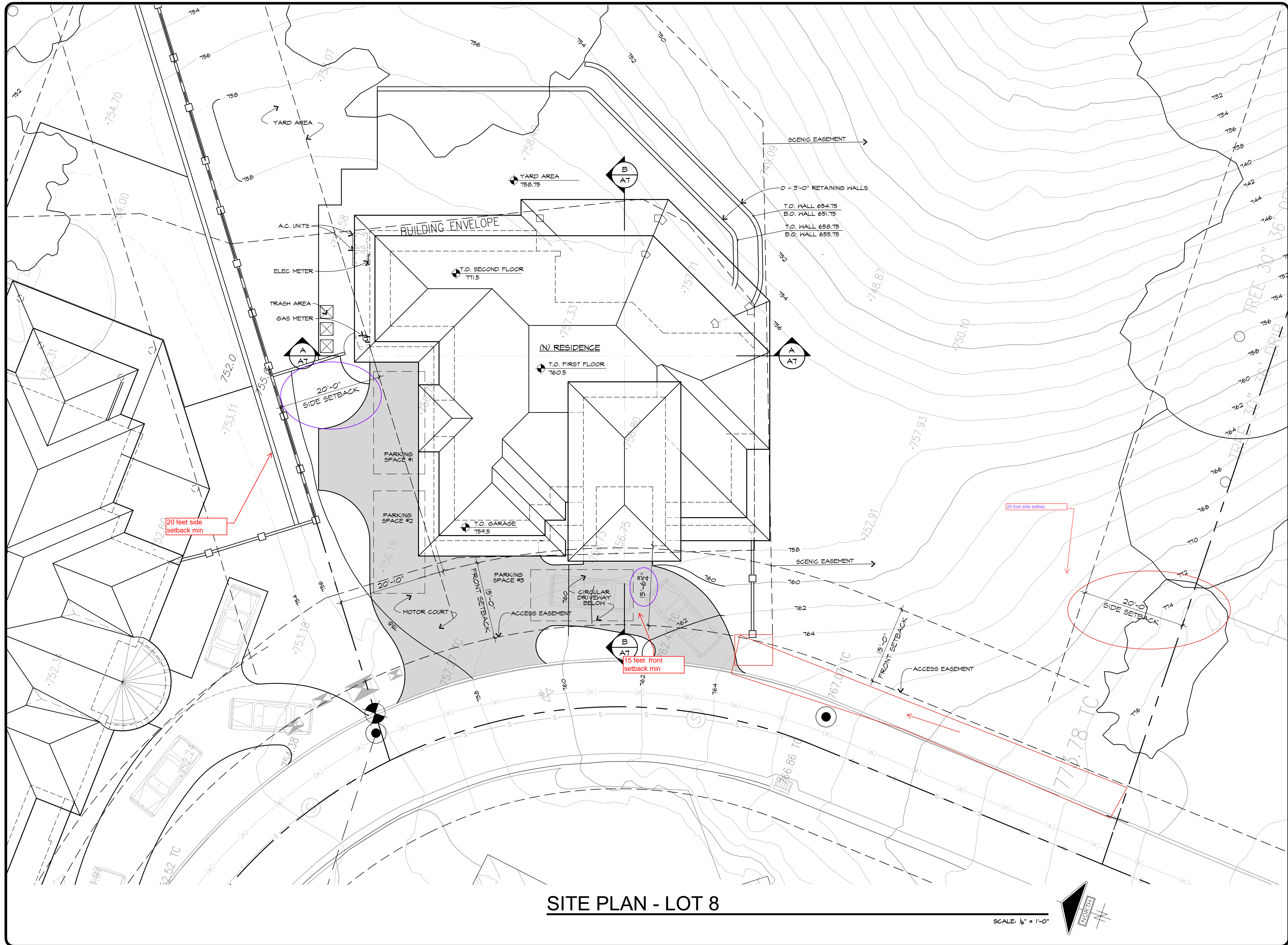
**WILLIAM WOOD ARCHITECTS**  
 301 HARTZ AVENUE, SUITE 203  
 DANVILLE, CALIFORNIA 94526  
 (925) 820-8233

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<b>SCALE</b>	AS SHOWN
<b>JOB NO.</b>	24.2047R
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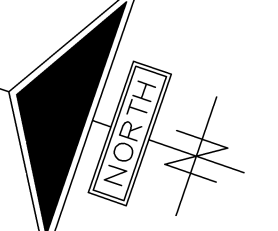
**A1**  
 OF SHEETS

Plot Date: Jan 30, 2025 - 8:55am A1 Site Planning

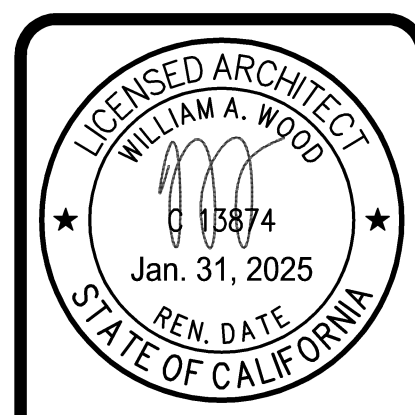


**SITE PLAN - LOT 8**

SCALE: 1/8" = 1'-0"



REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**  
 438 LEGACY DR.  
 ALAMO, CA 94507

**WILLIAM WOOD ARCHITECTS**  
 301 HARTZ AVENUE, SUITE 203  
 DANVILLE, CALIFORNIA 94526  
 (925) 820-8233

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**A1.5**  
 OF SHEETS

Plot Date: Jan 30, 2025 - 8:55am A1 Site Flndng

**NOTES:**

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA., TYP. U.N.O. V.I.F.
- 2) WINDOWS MARKED W (T) SHALL BE TEMPERED SAFETY GLASS
- 3) ALL WINDOW HEAD HTS. SHALL BE 8'-0" TYP. U.O.
- 4) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY EGRESS WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURE.
- 5) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 6) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SHOWER ENCLOSURES.
- 7) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONC. SLAB W/ #10 W/M. ALL NECESSARY PLUMBING & ELECTRICAL.
- 8) ALL GUARDRAILS TO BE +42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 9) HANDRAIL IS REQUIRED PER SECT. 504 WHEN DROP EXCEEDS 30".
- 10) HANDRAIL SHALL BE CAPABLE OF SUPPORTING LATERAL LOAD PER TABLE 16-B, FN #3 (20#/SF LATERAL LOAD AT THE TOP RAIL) AND FN #4 (25#/SF LATERAL LOAD AT THE INTERMEDIATE PICKETS, AND 200# APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAIL).
- 11) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 13) SEE ELECTRICAL PLAN FOR HOSE BIBB LOCATIONS.
- 14) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 15) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- 16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILING JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEETROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 16 GAGE SHEET METAL THAT IS "L" SHAPED WITH A MINIMUM DIMENSION OF 2.5"x2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEETROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL) SPECIFY 3/8" TYPE "X" GYPBOARD ON CEILING AND SUPPORTING MEMBERS (E.G. BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.
- 17) ANY PENETRATION OF THE WALL COMMON TO THE HOUSE & GARAGE SHALL BE MADE WITH MINIMUM 26 GAGE METAL AND INSULATED TO AT LEAST R4.2
- 18) FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES AT BOTH THE TOP AND BOTTOM OF STAIR STRINGERS AND ALONG THE STRINGERS IN BETWEEN THE STUD WITHIN THE WALLS WHETHER FINISHED OR UNFINISHED. THIS FOR BOTH FIRESTOPPING AND THE ATTACHMENT OF THE EDGE NAILING ATTACHMENT FOR THE ONE-HOUR CONSTRUCTION 5/8-INCH TYPE "X" GYPBOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS.
- 19) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA AS WELL AS THE MIXING BOXES, FLENUMS ETC., SHALL BE 26 GA MINIMUM AND INSULATED TO AT LEAST R4.2.
- 20) PROVIDE MINIMUM 26 GA. GALVANIZED KNEE SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).
- 21) GLAZING IN DOORS AND IN TUB SHOWER ENCLOSURES TO BE TEMPERED.
- 22) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

**UNDER FLOOR VENTILATION CALCULATIONS**

CRAWL SPACE: 2,752 S.F.

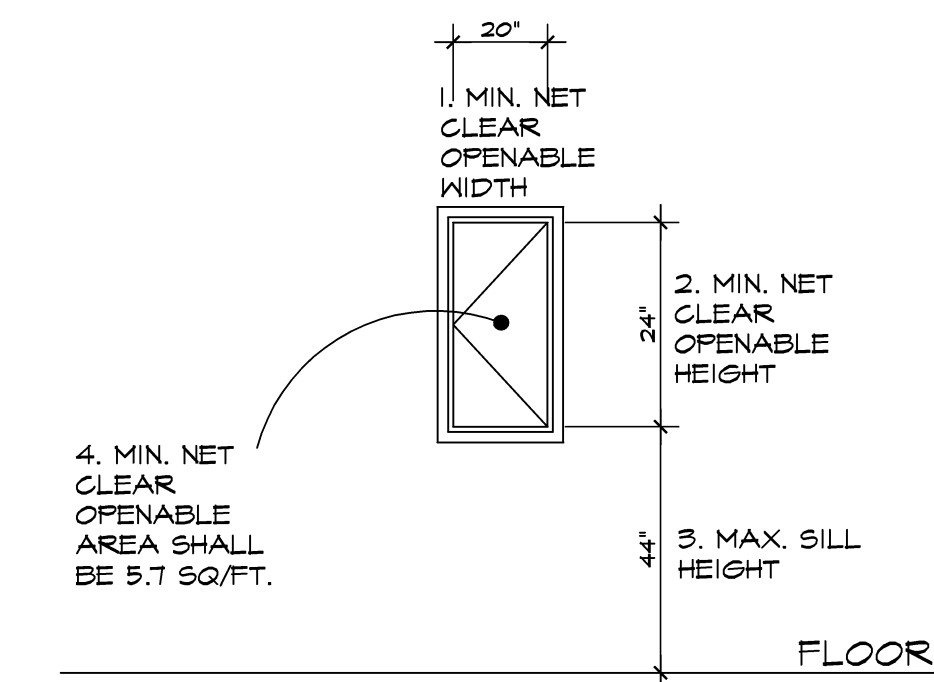
2,752/50 = 55.04 S.F. REQUIRED  
 USE 14x6 FOUNDATION VENT  
 50 SQ. INCHES FREE VENT AREA = .347 S.F.  
 55.04/.347 = 158 VENTS REQUIRED

DUE TO PORCHES, PATIOS AND THE GARAGE NATURAL UNDER FLOOR VENTILATION CANNOT BE ACHIEVED CONTRACTOR TO PROVIDE A MECHANICAL UNDER FLOOR VENTILATION SYSTEM.

1202.4.3.1 CONTINUOUS MECHANICAL VENTILATION. CONTINUOUSLY OPERATED MECHANICAL VENTILATION SHALL BE PROVIDED AT A RATE OF 1.0 CUBIC FOOT PER MINUTE (CFM) FOR EACH 50 SQUARE FEET (1.02 L/S FOR EACH 10 M<sup>2</sup>) OF CRAWL SPACE GROUND SURFACE AREA AND THE GROUND SURFACE SHALL BE COVERED WITH A CLASS I VAPOR RETARDER.

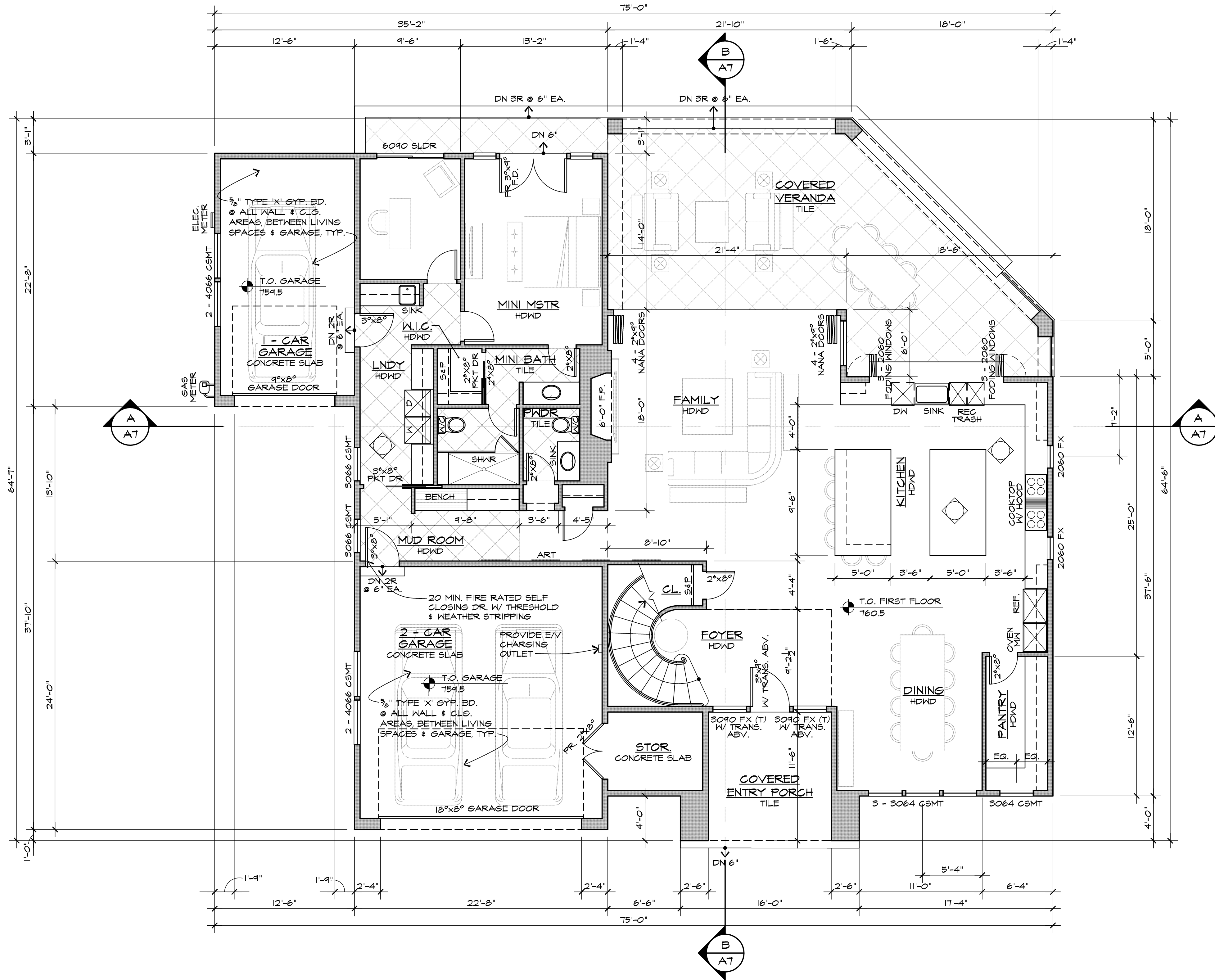
**EGRESS WINDOW DETAIL**

EGRESS WINDOWS SHALL COMPLY W/ ALL 4 CONDITIONS ILLUSTRATED BELOW.



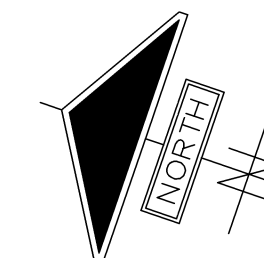
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ/FT. (0.53 M<sup>2</sup>). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (609.6 MM). THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. CBC SECTION 310.4

CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

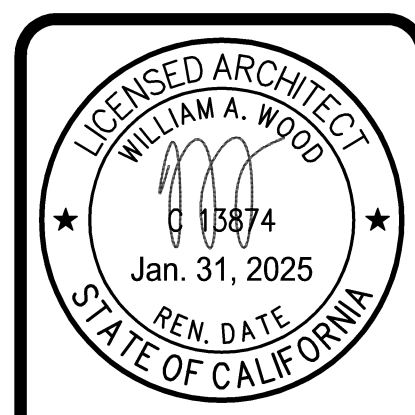


**FIRST FLOOR PLAN - LOT 8**

SCALE: 3/8" = 1'-0"



REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**  
 438 LEGACY DR.  
 ALAMO, CA 94507

**WILLIAM WOOD ARCHITECTS**  
 301 HARTZ AVENUE, SUITE 203  
 DANVILLE, CALIFORNIA 94526  
 (925) 820-8233

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SCALE	AS SHOWN
JOB NO.	24.2047R
SHEET	A2
OF SHEETS	

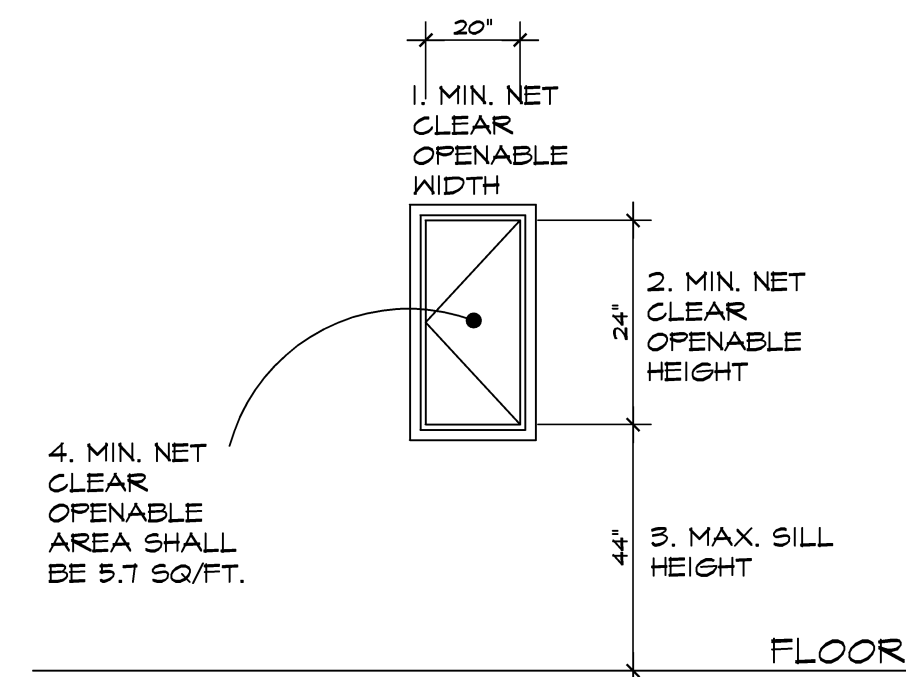
PLOT DATE: Jan 30, 2025 - 8:46am A2 First Floor Plans - Lot 8.dwg

**NOTES:**

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA, TYP, U.N.O. V.I.F.
- 2) WINDOWS MARKED W/ (T) SHALL BE TEMPERED SAFETY GLASS
- 3) ALL WINDOW HEAD HTS. SHALL BE 8'-0" TYP., U.O.N.
- 4) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY EGRESS WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURE.
- 5) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 6) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SOWER ENCLOSURES.
- 7) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONC. SLAB W/ #10 W/UM. ALL NECESSARY PLUMBING & ELECTRICAL.
- 8) ALL GUARDRAILS TO BE 42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 9) HANDRAIL IS REQUIRED PER SECT. 509 WHEN DROP EXCEEDS 30".
- 10) HANDRAIL SHALL BE CAPABLE OF SUPPORTING LATERAL LOAD PER TABLE 16-B, FN #8 (20#/LF LATERAL LOAD AT THE TOP RAIL) AND FN #1 (25#/SF LATERAL LOAD AT THE INTERMEDIATE PICKETS, AND 200# APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAIL).
- 11) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 13) SEE ELECTRICAL/MECHANICAL PLAN FOR HOSE BIBB LOCATIONS.
- 14) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 15) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- 16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILING JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEETROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 16 GAGE SHEET METAL THAT IS 1" SHAPED WITH A MINIMUM DIMENSION OF 2.5" X 2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEETROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL) SPECIFY 3/8" TYPE "X" GYPBOARD ON CEILINGS AND SUPPORTING MEMBERS (E.G. BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.
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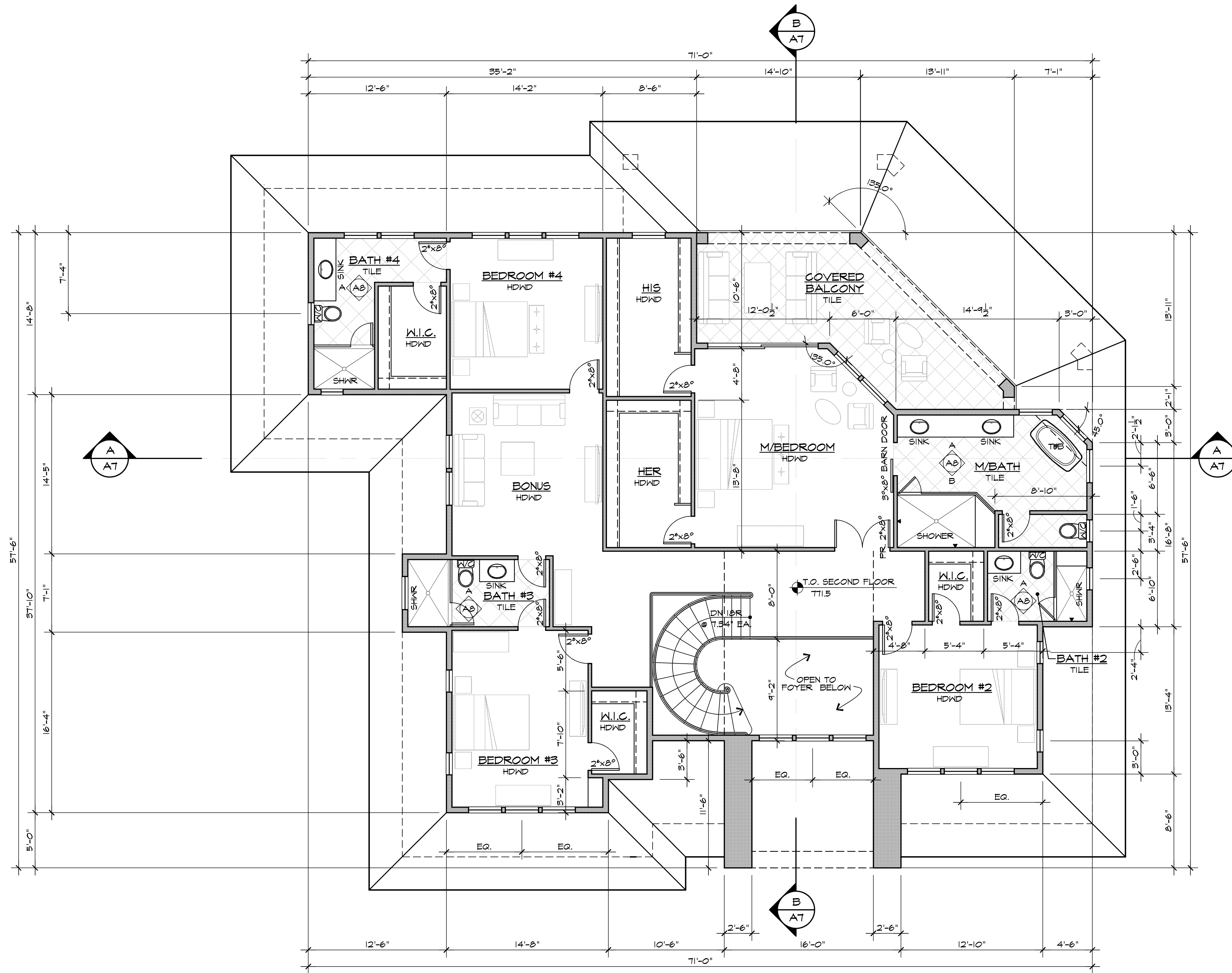
**EGRESS WINDOW DETAIL**

EGRESS WINDOWS SHALL COMPLY W/ ALL 4 CONDITIONS ILLUSTRATED BELOW.



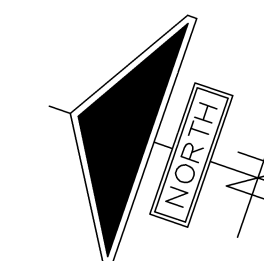
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CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

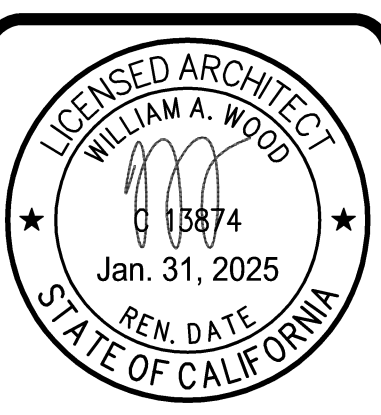


**SECOND FLOOR PLAN - LOT 8**

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**  
 438 LEGACY DR.  
 ALAMO, CA 94507

**WILLIAM WOOD ARCHITECTS**  
 301 HARTZ AVENUE, SUITE 203  
 DANVILLE, CALIFORNIA 94526  
 (925) 820-8233

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SCALE	AS SHOWN
JOB NO.	24.2047R
SHEET	

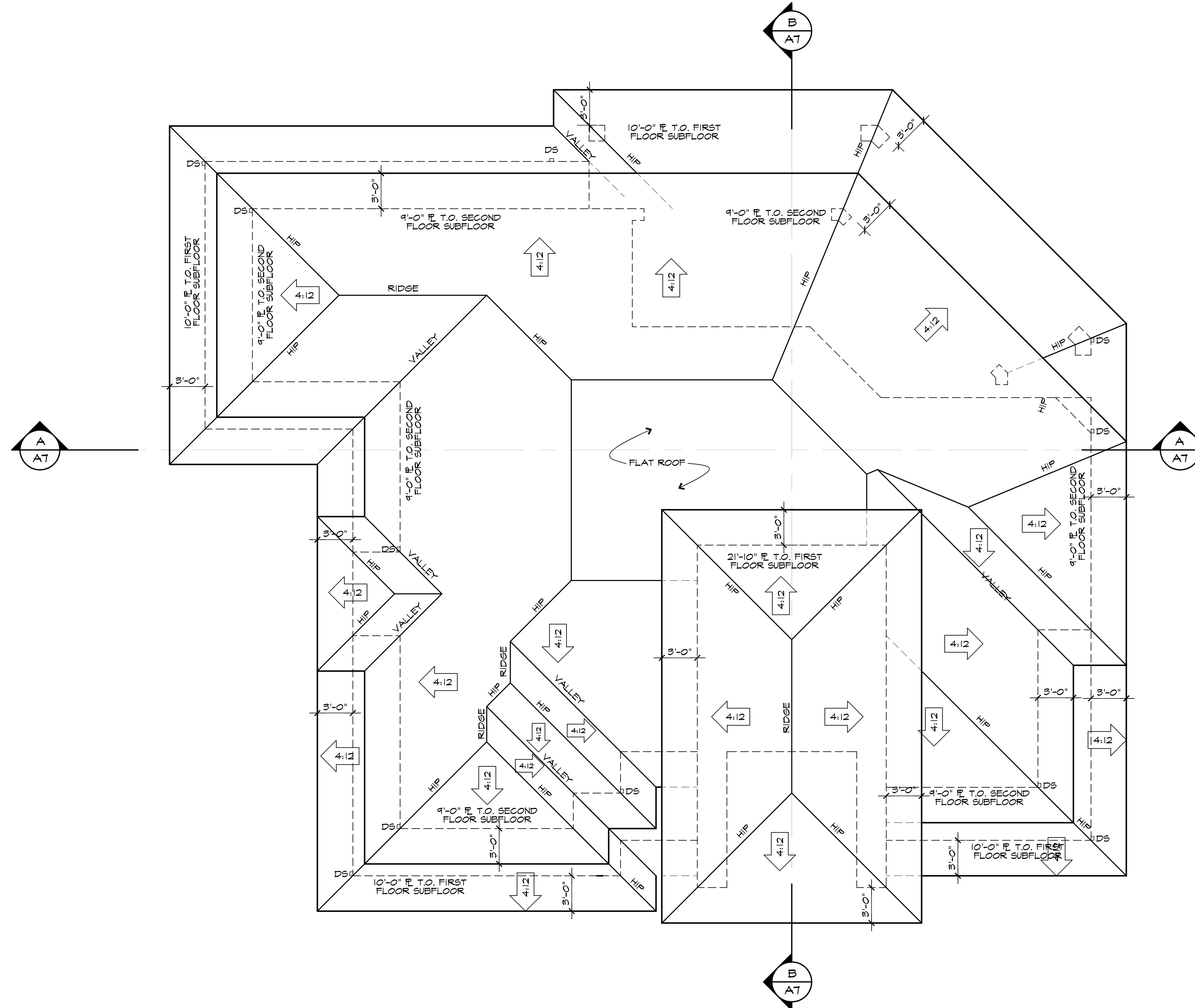
**A3**

OF SHEETS

PLT DATE: Jan 30, 2025 - 8:46am A3 Second Floor Plans - Lot 8.dwg

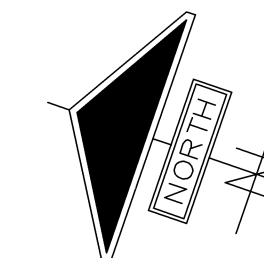
**ROOF NOTES:**

- 1) ROOF SLOPE = 4:12, U.N.O.
- 2) 3'-0" OVERHANG, TYP. U.N.O.
- 3) FINAL LOCATION OF VENTS BY CONTRACTOR.
- 4) ROOF MATERIAL SEE EXTERIOR ELEVATIONS.
- 5) COLLECT ALL NEW DOWNSPOUTS AND CONNECT TO AN EXISTING APPROVED DRAINAGE SYSTEM.

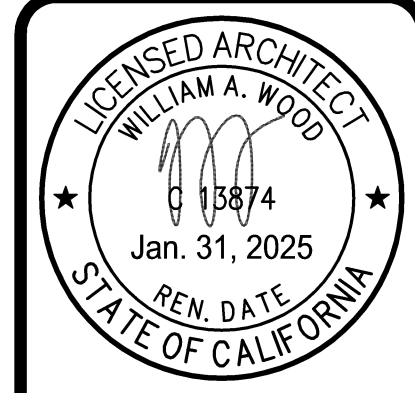


**ROOF PLAN - LOT 8**

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**  
 438 LEGACY DR.  
 ALAMO, CA 94507

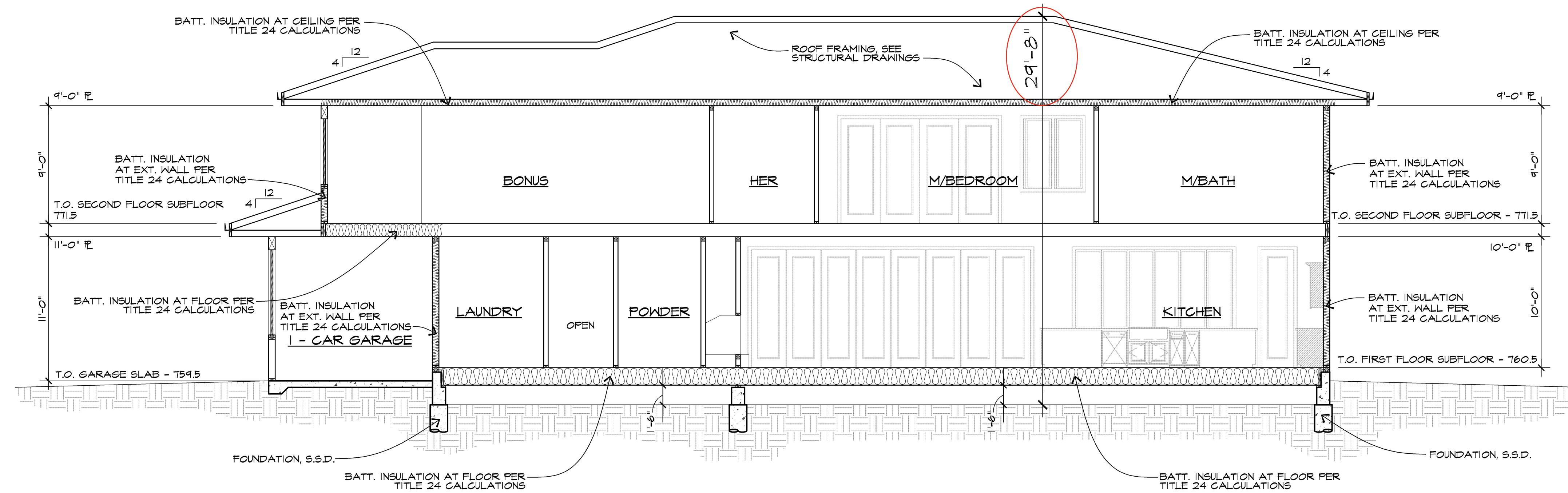
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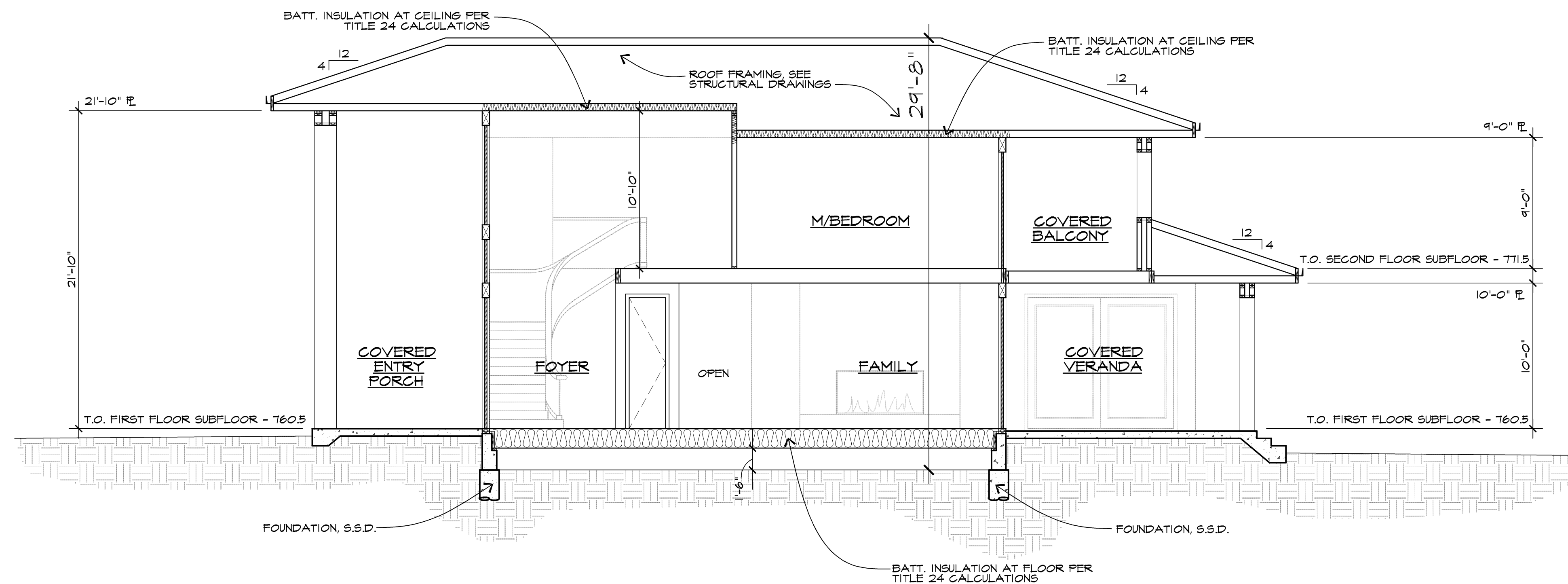
**A4**  
 OF SHEETS

Plot Date: Jan 30, 2025 - 4:55pm A4 Roof Plan -lot 8.dwg



**BUILDING SECTION - A/A7**

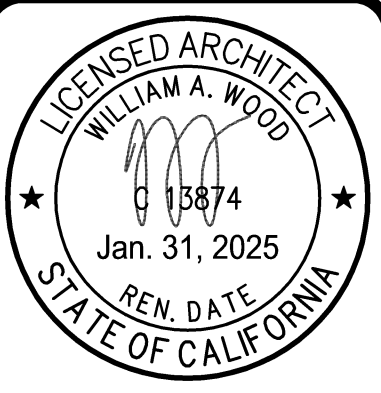
SCALE: 3/8" = 1'-0"



**BUILDING SECTION - B/A7**

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**

438 LEGACY DR.  
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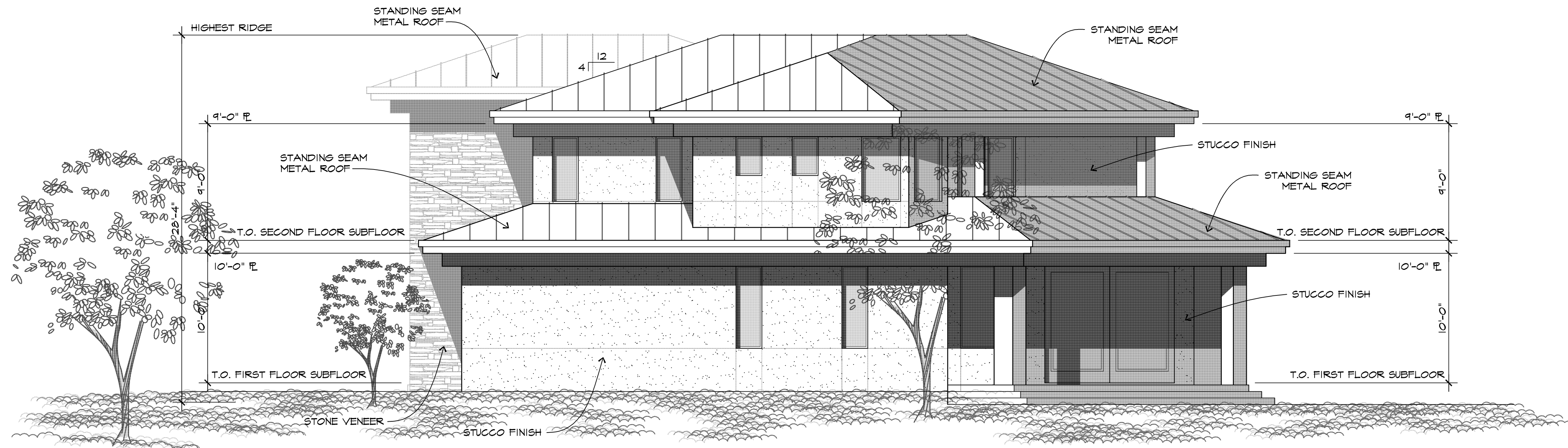
**A7**  
OF SHEETS

Plot Date: Jan 30, 2025 - 8:54am AT-A0 Elevations.dwg



**EAST ELEVATION (FRONT)**

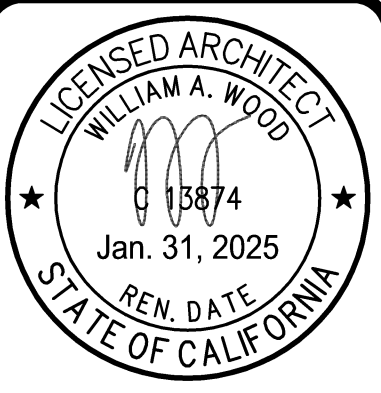
SCALE: 3/8" = 1'-0"



**NORTH ELEVATION (RIGHT)**

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**

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**A9**

OF SHEETS

PLOT DATE: Jan 30, 2025 - 8:54am AT-AID Elevations.dwg



**NORTH ELEVATION (LEFT)**

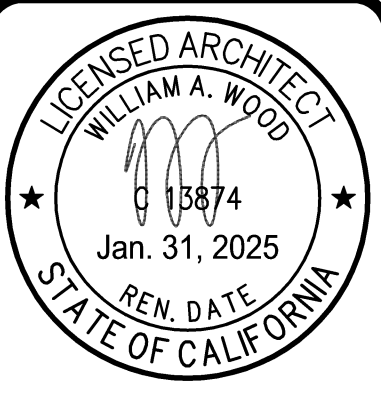
SCALE: 3/8" = 1'-0"



**WEST ELEVATION (REAR)**

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



**CLYDE-MILES CONST - LOT 8**

438 LEGACY DR.  
ALAMO, CA 94507

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**A10**  
OF SHEETS

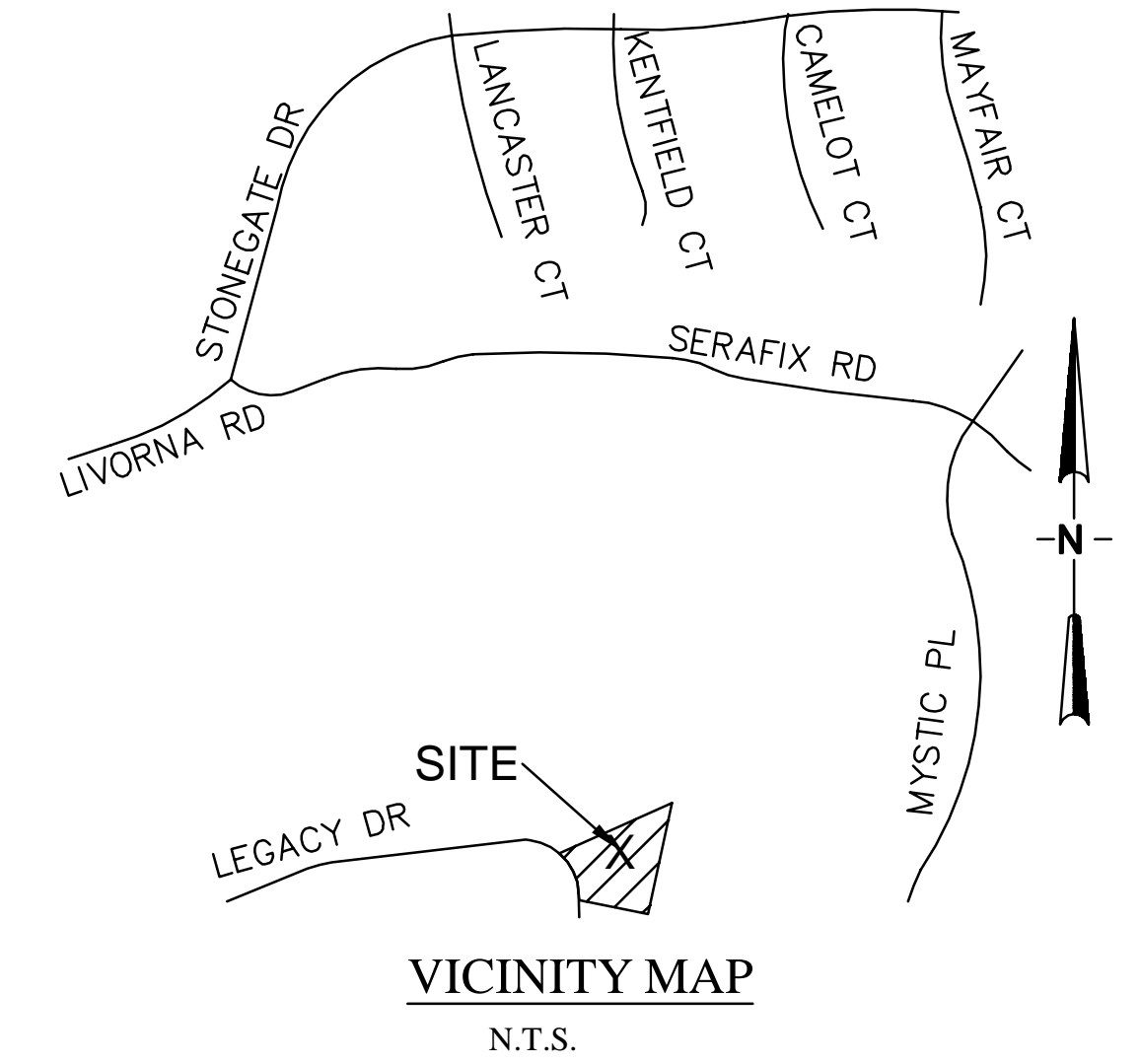
PLOT DATE: Jan 30, 2025 - 8:54am AT-AIO Elevations.dwg

**GENERAL NOTES**

- TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER.
- CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS AND SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOTIFY DEBOLT CIVIL ENGINEERING TWO WORKING DAYS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION FOR CONSTRUCTION STAKES.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DEBOLT CIVIL ENGINEERING AT 925/837-3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT 800/227-2600 72 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- ALL REVISIONS TO THIS PLAN MUST BE APPROVED BY CONTRA COSTA COUNTY PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM SOILS REPORT.
- ALL TREES SHALL REMAIN EXCEPT FOR THOSE SHOWN ON THE IMPROVEMENT PLAN TO BE REMOVED. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. AN ARBORIST SHALL BE PRESENT FOR ANY CONSTRUCTION WORK NEAR OR UNDER THE TREES' DRIPLINE. TREE REMOVAL SHALL BE ALLOWED ONLY UPON PRIOR WRITTEN APPROVAL FROM THE PLANNING DIVISION.
- CONTRACTOR TO USE CARE IN THE VICINITY OF EXISTING TREES TO REMAIN. A TEMPORARY FENCE SHOULD BE INSTALLED AROUND TREE FOR PROTECTION. CONTRACTOR TO FOLLOW ARBORIST'S RECOMMENDATION.
- IN THE EVENT THAT SUBSURFACE ARCHAEOLOGICAL REMAINS ARE DISCOVERED DURING ANY CONSTRUCTION OR PRE-CONSTRUCTION ACTIVITIES ON THE SITE, ALL LAND ALTERATION WORK WITHIN 30.5 METERS (100 FEET) OF THE FIND SHALL BE HALTED, THE TOWN PLANNING DIVISION NOTIFIED, AND A PROFESSIONAL ARCHAEOLOGIST, CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY, SHALL BE NOTIFIED. SITE WORK IN THIS AREA SHALL NOT OCCUR UNTIL THE ARCHAEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND OUTLINE APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY. IF PREHISTORIC ARCHAEOLOGICAL DEPOSITS ARE DISCOVERED DURING DEVELOPMENT OF THE SITE, LOCAL NATIVE AMERICAN ORGANIZATIONS SHALL BE CONSULTED AND INVOLVED IN MAKING RESOURCE MANAGEMENT DECISIONS.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE PERIOD BETWEEN THE WEEKDAY HOURS OF 7:30 A.M. TO 5:30 P.M. (MONDAYS THROUGH FRIDAYS), UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER FOR GENERAL CONSTRUCTION ACTIVITY AND THE CHIEF BUILDING OFFICIAL FOR BUILDING CONSTRUCTION ACTIVITY. PRIOR TO ANY CONSTRUCTION WORK ON THE SITE, INCLUDING GRADING, THE CONTRACTOR SHALL INSTALL A MINIMUM 3'X3' SIGN AT THE PROJECT ENTRY WHICH SPECIFIES THE ALLOWABLE CONSTRUCTION WORK DAYS AND HOURS, AND LISTS THE NAME AND CONTACT PERSON FOR THE OVERALL PROJECT MANAGER AND ALL CONTRACTORS AND SUB-CONTRACTORS WORKING ON THE JOB.
- THE CONTRACTOR SHALL PROVIDE SECURITY FENCING, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR THE CHIEF BUILDING OFFICIAL, AROUND THE SITE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE-GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE. WARMING OF CONSTRUCTION EQUIPMENT AND/OR SERVICING SUCH EQUIPMENT SHALL OCCUR ONLY WITHIN THE AUTHORIZED WORK PERIODS.
- A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF-SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
- ANY GRADING ON ADJACENT PROPERTIES WILL REQUIRE PRIOR WRITTEN APPROVAL OF THOSE PROPERTY OWNERS AFFECTED.
- AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF GRADING, THE CONTRACTOR SHALL POST THE SITE AND MAIL TO THE OWNERS OF THE PROPERTY WITHIN 300 FEET OF THE EXTERIOR BOUNDARY OF THE PROJECT SITE, TO THE HOMEOWNER ASSOCIATIONS OF NEARBY RESIDENTIAL PROJECTS AND TO CONTRA COSTA COUNTY DEVELOPMENT SERVICES DEPARTMENT, A NOTICE THAT CONSTRUCTION WORK WILL COMMENCE. THE NOTICE SHALL INCLUDE A LIST OF CONTRACT PERSONS WITH NAME, TITLE, PHONE NUMBER AND AREA OF RESPONSIBILITY. THE PERSON RESPONSIBLE FOR MAINTAINING THE LIST SHALL BE INCLUDED. THE LIST SHALL BE KEPT CURRENT AT ALL TIMES AND SHALL CONSIST OF PERSONS WITH AUTHORITY TO INITIATE CORRECTIVE ACTION IN THEIR AREA OF RESPONSIBILITY. THE NAMES OF INDIVIDUALS RESPONSIBLE FOR DUST, NOISE AND LITTER CONTROL SHALL BE EXPRESSLY IDENTIFIED IN THE NOTICE.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER 1.5 METERS (FIVE FEET) IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ALL EARTH SWALES SHALL BE 1% MINIMUM SLOPES, AND 4% MAXIMUM SLOPES.
- WHERE SOILS OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THAT ANTICIPATED IN THE SOILS REPORT, A REVISED SOILS REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEER. IT SHALL BE ACCOMPANIED BY AN ENGINEERING AND GEOLOGICAL OPINION AS TO THE SAFETY OF THE SITE FROM SETTLEMENT AND SEISMIC ACTIVITY.
- ALL DEVELOPMENT SHALL TAKE PLACE IN COMPLIANCE WITH THE CONTRA COSTA COUNTY EROSION CONTROL ORDINANCE (ORD. 91-25). RESTRICTIONS INCLUDE LIMITING CONSTRUCTION PRIMARILY TO THE DRY MONTHS OF THE YEAR (MAY THROUGH OCTOBER) AND, IF CONSTRUCTION DOES OCCUR DURING THE RAINY SEASON, THE DEVELOPER SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN SHALL INCORPORATE EROSION CONTROL DEVICES SUCH AS THE USE OF SEDIMENT TRAPS, SILT FENCING, PAD BERMING AND OTHER TECHNIQUES TO MINIMIZE EROSION.

- ALL NEW DEVELOPMENT SHALL BE CONSISTENT WITH MODERN DESIGN FOR RESISTANCE TO SEISMIC FORCES. ALL NEW DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND CONTRA COSTA COUNTY ORDINANCES.
- ALL CUT AND FILL AREAS SHALL BE APPROPRIATELY DESIGNED TO MINIMIZE THE EFFECTS OF GROUND SHAKING AND SETTLEMENT.
- STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
- IF TOXIC OR CONTAMINATED SOIL IS ENCOUNTERED DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY IN THAT AREA SHALL CEASE UNTIL THE APPROPRIATE ACTION IS DETERMINED AND IMPLEMENTED. THE CONCENTRATIONS, EXTENT OF THE CONTAMINATION AND MITIGATION SHALL BE DETERMINED BY THE CONTRA COSTA COUNTY HEALTH DEPARTMENT. SUITABLE DISPOSAL AND/OR TREATMENT OF ANY CONTAMINATED SOIL SHALL MEET ALL FEDERAL STATE AND LOCAL REGULATIONS. IF DEEMED APPROPRIATE BY THE HEALTH DEPARTMENT, THE APPLICANT SHALL MAKE PROVISIONS FOR IMMEDIATE CONTAINMENT OF THE MATERIALS. RUNOFF FROM ANY CONTAMINATED SOIL SHALL NOT BE ALLOWED TO ENTER ANY DRAINAGE FACILITY, INLET OR CREEK.
- ALL GRADING ACTIVITY SHALL ADDRESS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONCERNS. SPECIFIC MEASURES TO CONTROL SEDIMENT RUNOFF, CONSTRUCTION POLLUTION AND OTHER POTENTIAL CONSTRUCTION CONTAMINATION SHALL BE ADDRESSED THROUGH THE EROSION CONTROL PLAN (ECP) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A NPDES CONSTRUCTION PERMIT MAY BE REQUIRED, AS DETERMINED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN ANY PUBLIC RIGHT-OF-WAY OR EASEMENT.
- ALL MUD OR DIRT CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE SWEEPED EACH DAY. WATER FLUSHING OF SITE DEBRIS OR SEDIMENT OR CONCRETE WASHING IS EXPRESSLY PROHIBITED.
- ANY DAMAGE TO STREET IMPROVEMENTS NOW EXISTING OR DONE DURING CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER, AT FULL EXPENSE TO THE CONTRACTOR. THIS SHALL INCLUDE SLURRY SEAL, OVERLAY OR STREET RECONSTRUCTION IF DEEMED WARRANTED BY THE CITY ENGINEER.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING CURB, GUTTER, SIDEWALKS, DRIVEWAYS, PAVING AND UTILITIES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS AND/OR PLANS AND SHALL COMPLY WITH THE STANDARD PLANS AND SPECIFICATIONS OF CONTRA COSTA COUNTY ORDINANCES.
- ALL NEW UTILITIES REQUIRED TO SERVE THE DEVELOPMENT SHALL BE INSTALLED UNDERGROUND.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR TO EXPOSE AND VERIFY.
- ANY ON-SITE WELLS SHALL BE RESET TO FINISH GRADE IN ACCORDANCE WITH CONTRA COSTA COUNTY HEALTH SERVICES DEPARTMENT -- ENVIRONMENTAL HEALTH DIVISION REGULATIONS.

**REVISED**  
10:42 am, Mar 13, 2026



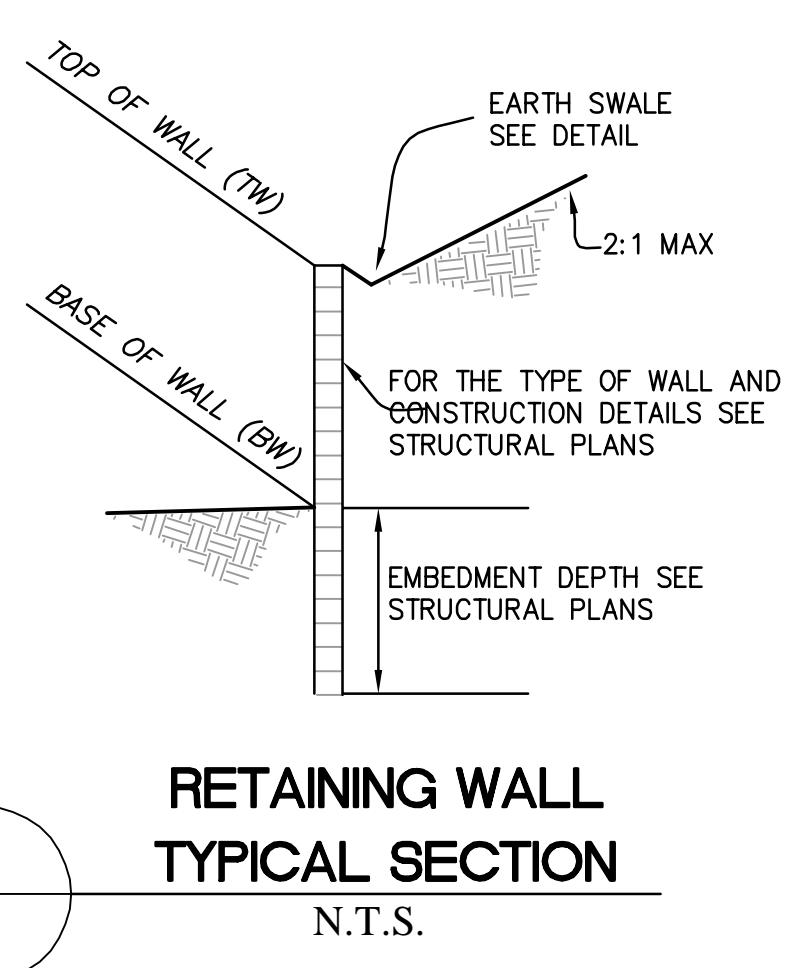
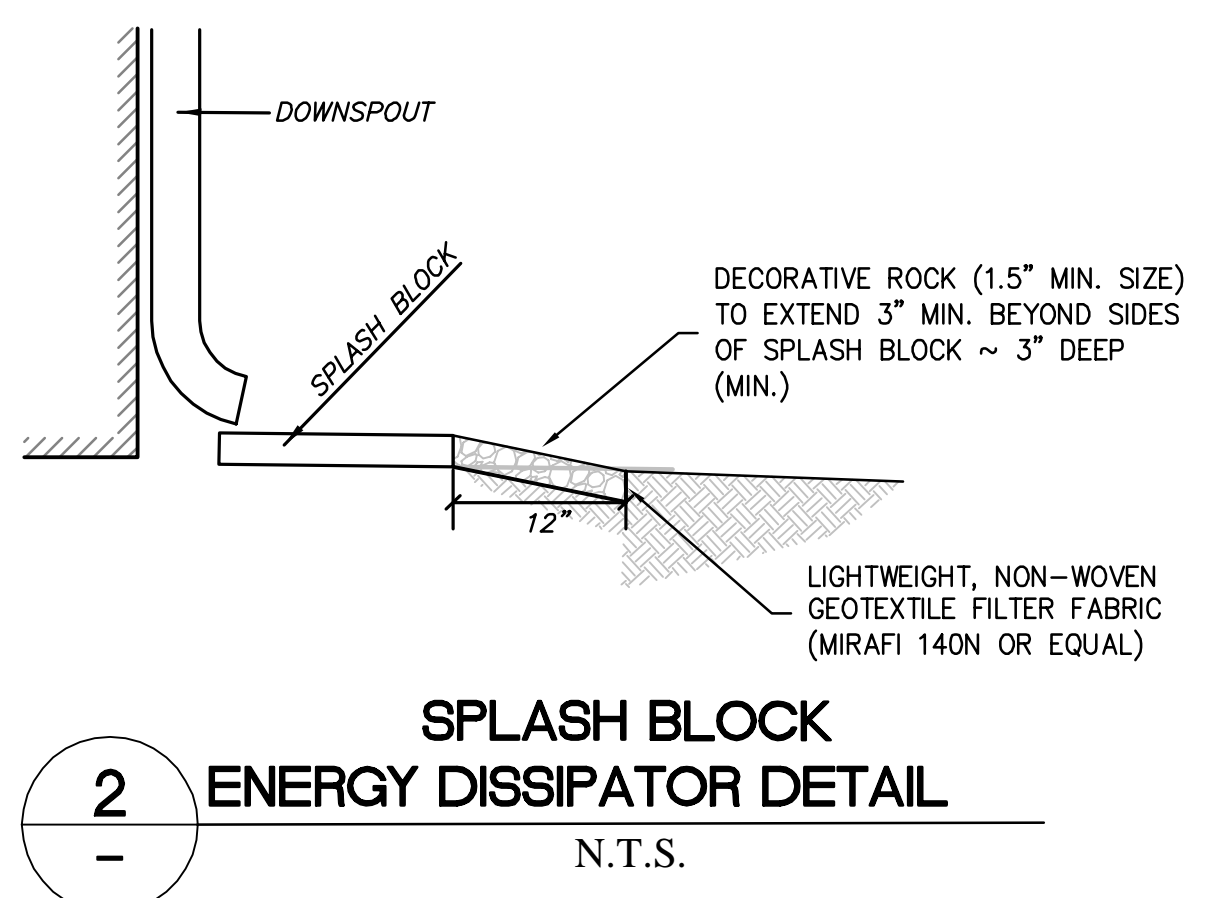
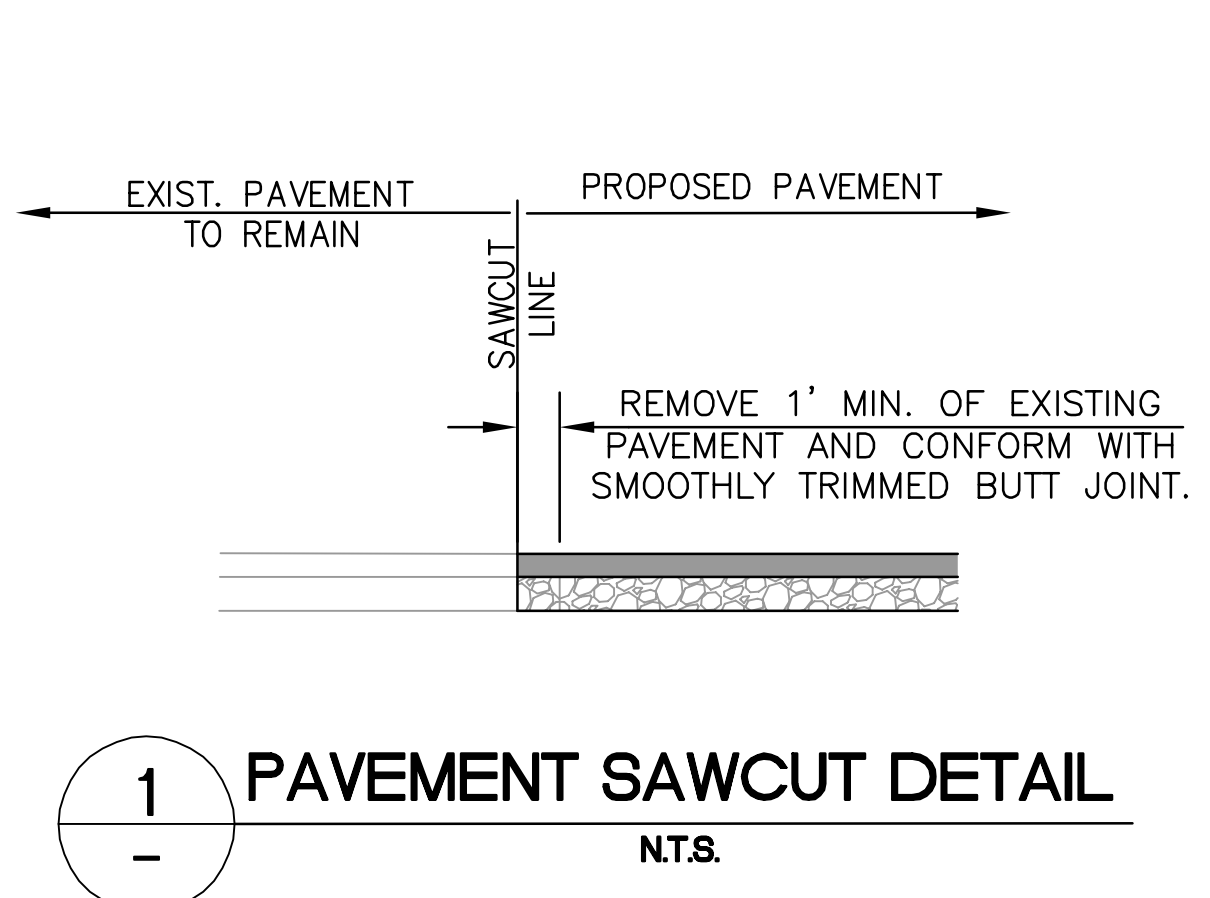
**ABBREVIATIONS:**

BLDG	BUILDING
CONC	CONCRETE
(E)EX	EXISTING
ESMT	EASEMENT
FNC	FENCE
INV.	INVERT
P.U.E	PRIVATE UTILITY EASEMENT
REBAR.	REBAR
( )	RECORD DATA
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDAD	STORM DRAIN AREA DRAIN
(T)	TOTAL
WM	WATER METER
WV	WATER VALVE
TBD	TO BE DETERMINED

**LEGEND:**

	SANITARY SEWER MANHOLE
	WATER VALVE
	EX CB
	FOUND MONUMENT AS NOTED
	STANDARD STREET MONUMENT
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	BOUNDARY LINE
	TIE LINE
	ST. CENTERLINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING OVERHEAD ELECTRIC CABLE
	EXISTING SANITARY SEWER LINE
	EXISTING EDGE OF PAVEMENT
	NEW BUILDING
	EXISTING CURB AND GUTTER
	EXISTING TREE

SHEET INDEX	
SHEET NO.	DESCRIPTION
CE-1	COVER SHEET
CE-2	GRADING AND DRAINAGE PLAN
CE-3	EROSION CONTROL PLAN
CE-4	STORMWATER CONTROL PLAN



ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

COVER SHEET

438 LEGACY DRIVE

ALAMO (UNINCORPORATED) CONTRA COSTA COUNTY CALIFORNIA

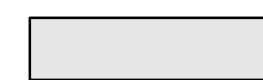
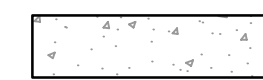
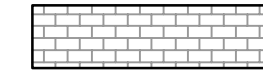

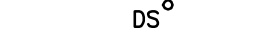
*Elu McAllister*  
EASTON C McALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/26 (PE) 03/31/27 (PLS)

#	REVISIONS	DATE

**DEBOLT**  
50+ YEARS  
CIVIL ENGINEERING  
(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM  
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 01/05/26  
Scale: N.T.S.  
By: EM  
Job No.: 24205

**LEGEND**

-  IMPERVIOUS ASPHALT PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  PATIO / DECK
-  BUILDING OUTLINE
-  DS° DOWNSPOUT

**GRADING NOTES:**

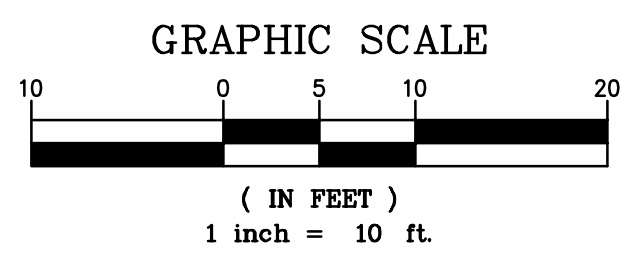
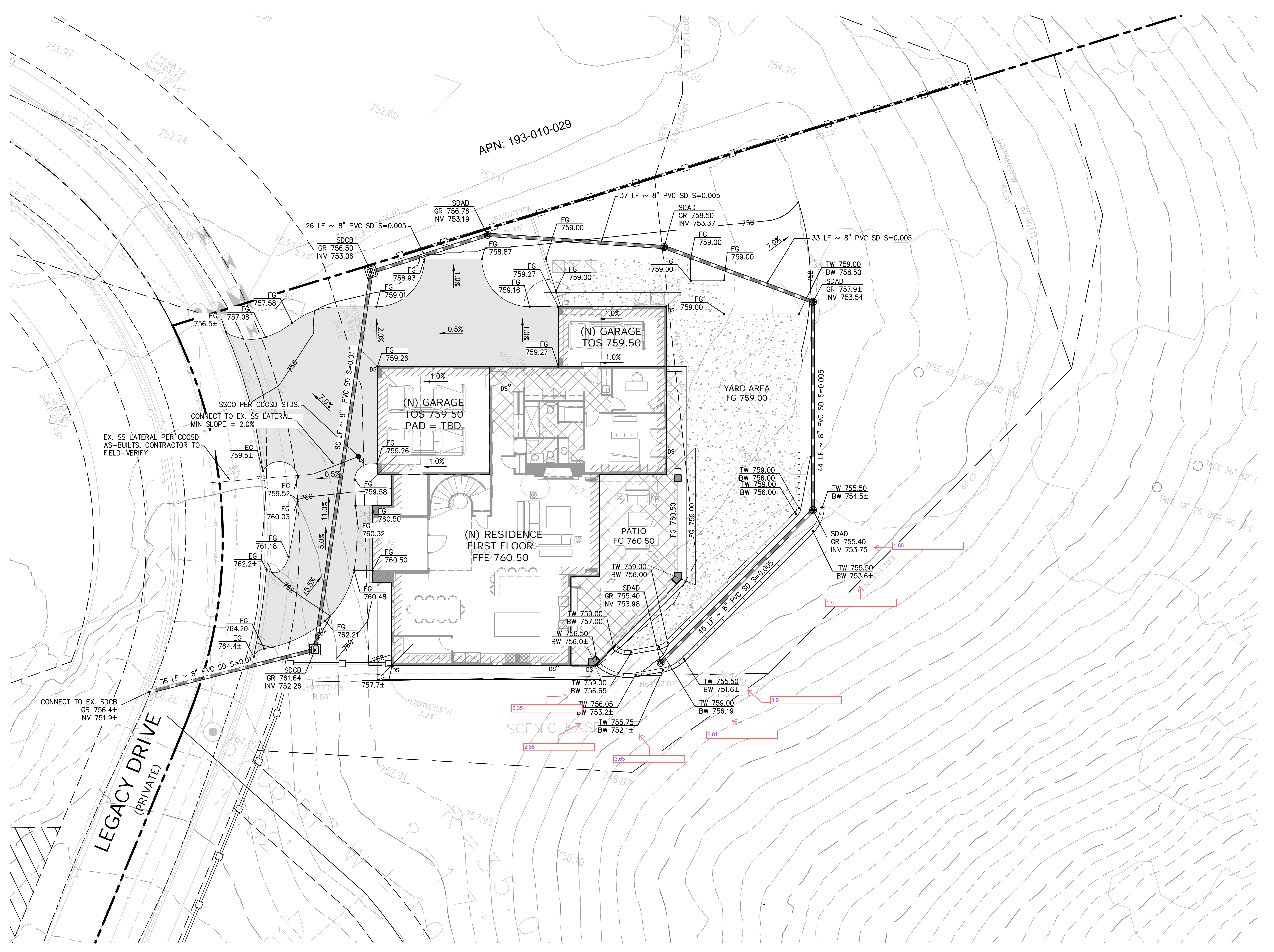
- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) ROOF DOWNSPOUTS SHALL BE DIRECTED TO ADJACENT LANDSCAPING WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 3) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 4) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8" BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.
- 6) A REVIEW OF THE BUILDING ENVELOPE CONFIRMS THAT THE PROPOSED RESIDENCE FOOTPRINT IS SITED WITHIN THE PERMITTED BOUNDARIES.

EARTHWORK QUANTITIES		
ITEMS	CUT (CYS.)	FILL (CYS.)
HOUSE PADS	0	411
DRIVEWAY / SIDEWALK	1	123
YARDS & HILLSIDE	0	199
TOTAL	1	733

PROJECT NET BALANCE: IMPORT 732± CY

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

AREA OF LAND DISTURBANCE IS 9,745± SF



**GRADING AND DRAINAGE PLAN**

**438 LEGACY DRIVE**

ALAMO (UNINCORPORATED) CONTRA COSTA COUNTY CALIFORNIA

*Elu Carter*  
 EASTON C McALLISTER - PE 61148 / PLS 9583  
 RENEWAL DATE: 12/31/26 (PE) 03/31/27 (PLS)

#	REVISIONS	DATE




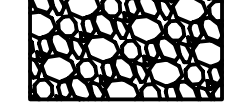
**DEBOLT**  
 50+ YEARS  
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 (925) 837-3780 | OFFICE@DEBOLTCIVIL.COM  
 480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

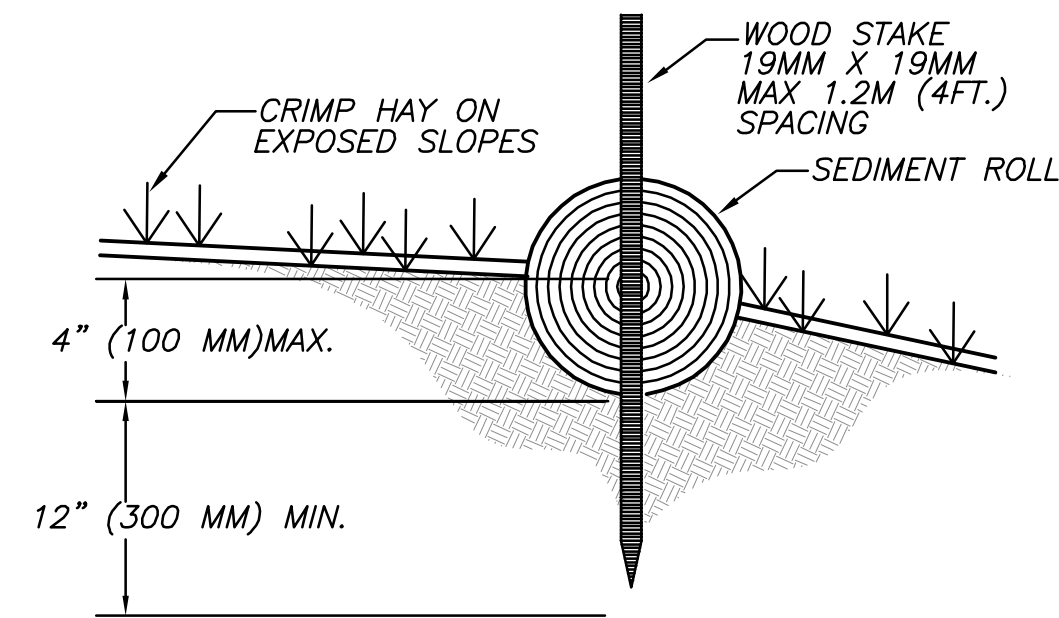
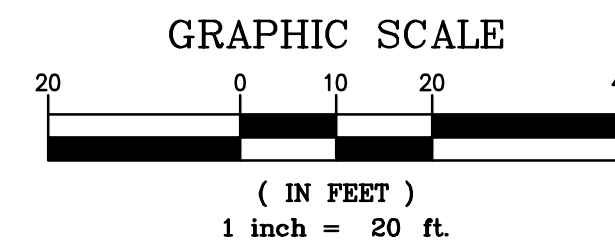
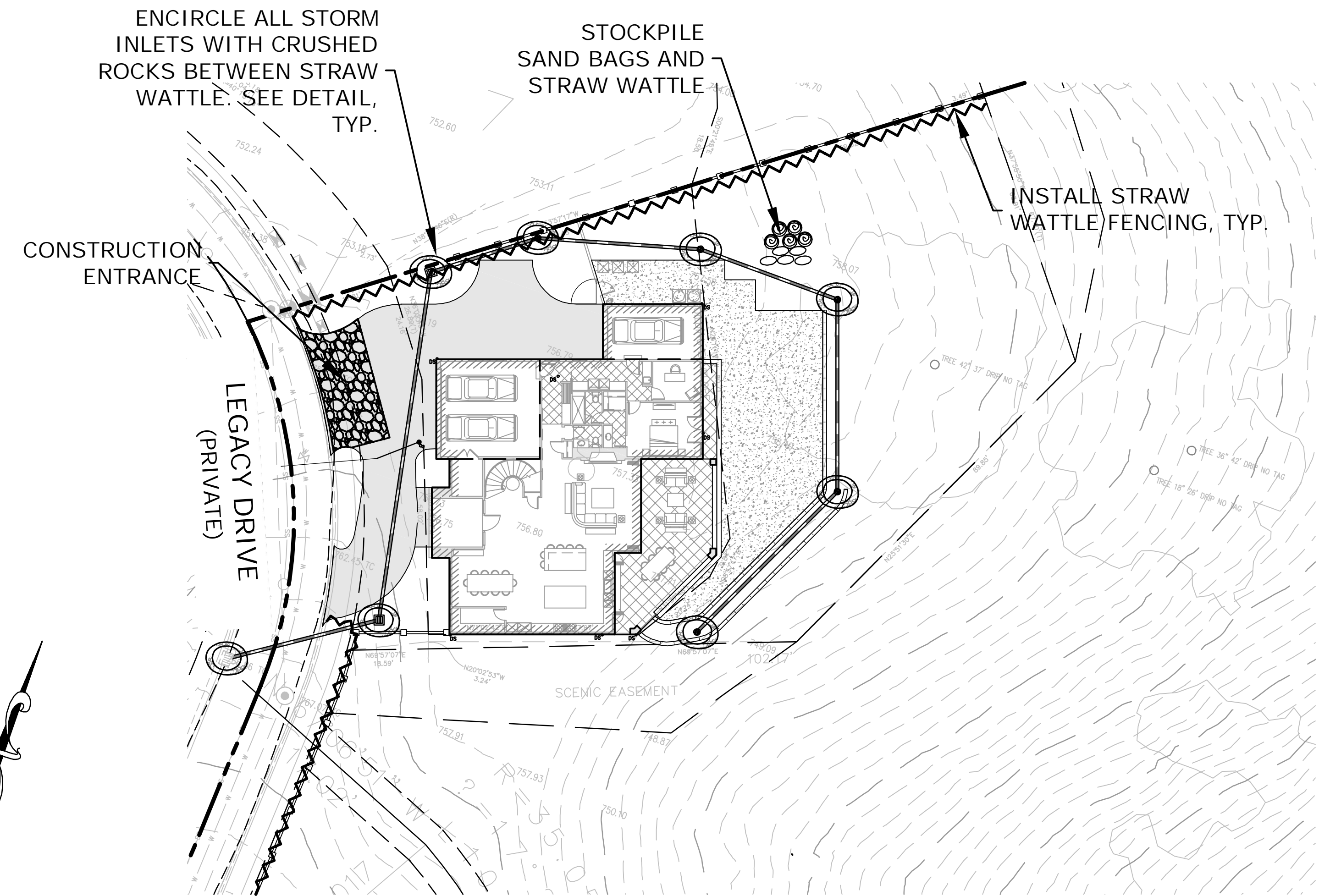
Date: 01/05/26  
 Scale: 1" = 10'  
 By: EM  
 Job No.: 24205

# EROSION CONTROL NOTES

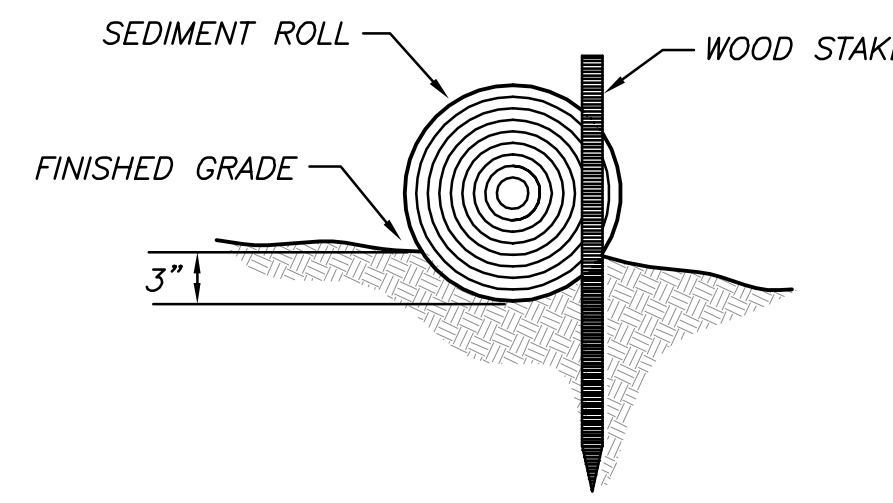
1. THIS EROSION CONTROL PLAN REPRESENTS THE MINIMUM REQUIRED EFFORT TO PREVENT TRANSPORT OF SEDIMENTATION DURING CONSTRUCTION ACTIVITIES AND DOES NOT REPRESENT A COMPREHENSIVE SOLUTION TO ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE PROTECTION TO PREVENT EROSION AND ANY POTENTIAL DAMAGE CAUSED BY EROSION TO THE SITE, NEIGHBORING PROPERTIES OR THE REGIONAL STORM DRAINAGE SYSTEM.
2. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE DIRECTOR OF CCC PUBLIC WORKS.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF CCC PUBLIC WORKS.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
6. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG FOR THE FULL WIDTH AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
7. TEMPORARY EROSION CONTROL DEVICES WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED ONLY WHEN THE GRADING INSPECTOR SO DIRECTS.
8. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND REMOVED DAILY AND AS DIRECTED BY THE CCC INSPECTOR.
9. AFTER SEWER LATERAL AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHALL BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
10. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL ALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40 % AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
11. STRAW WATTLES AND SANDBAGS SHALL BE STOCKPILED AS SHOWN ON THE EROSION CONTROL PLAN READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 40% OR WHEN DIRECTED BY THE INSPECTOR.
12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE, AND/OR GRAVEL OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
13. THE DOWNSTREAM STORM SYSTEM SHOULD BE INSPECTED TO VERIFY THAT THE SYSTEM IS CLEAR OF OBSTRUCTIONS AND FUNCTIONING PROPERLY.
14. AS PART OF THE EROSION CONTROL MEASURES, THE UNDERGROUND STORM DRAIN FACILITIES SHOULD BE INSTALLED COMPLETE AS SHOWN ON THESE PLANS.
15. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
16. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL." MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CCC ENGINEER.
17. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (SEEDED) TO THE SATISFACTION OF THE INSPECTOR.

## LEGEND

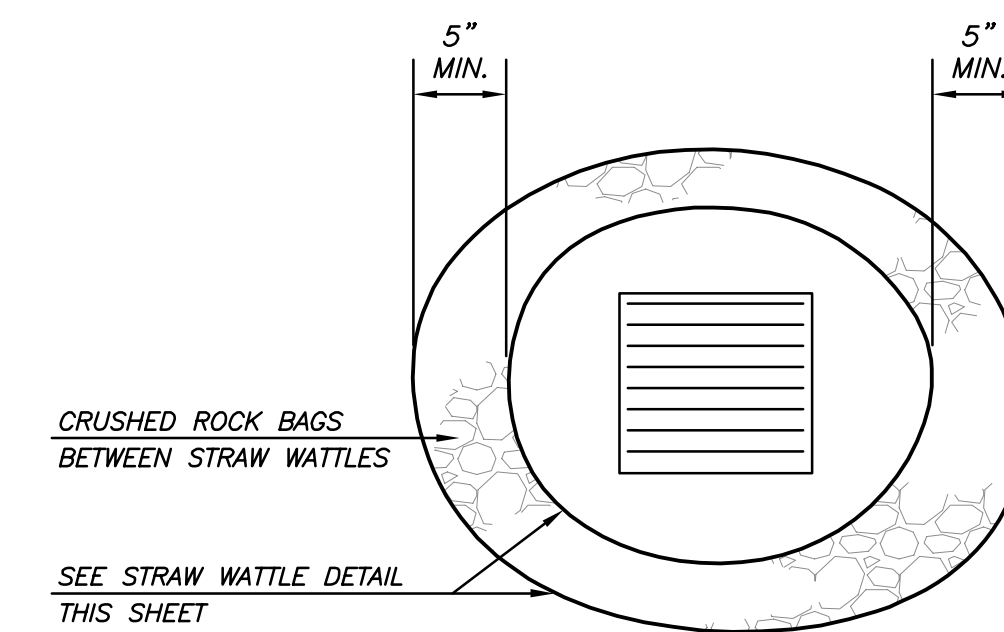
-  STRAW WATTLE
-  STRAW WATTLE / SILT FENCE
-  CRUSHED ROCK BETWEEN STRAW WATTLE
-  CONSTRUCTION ENTRANCE



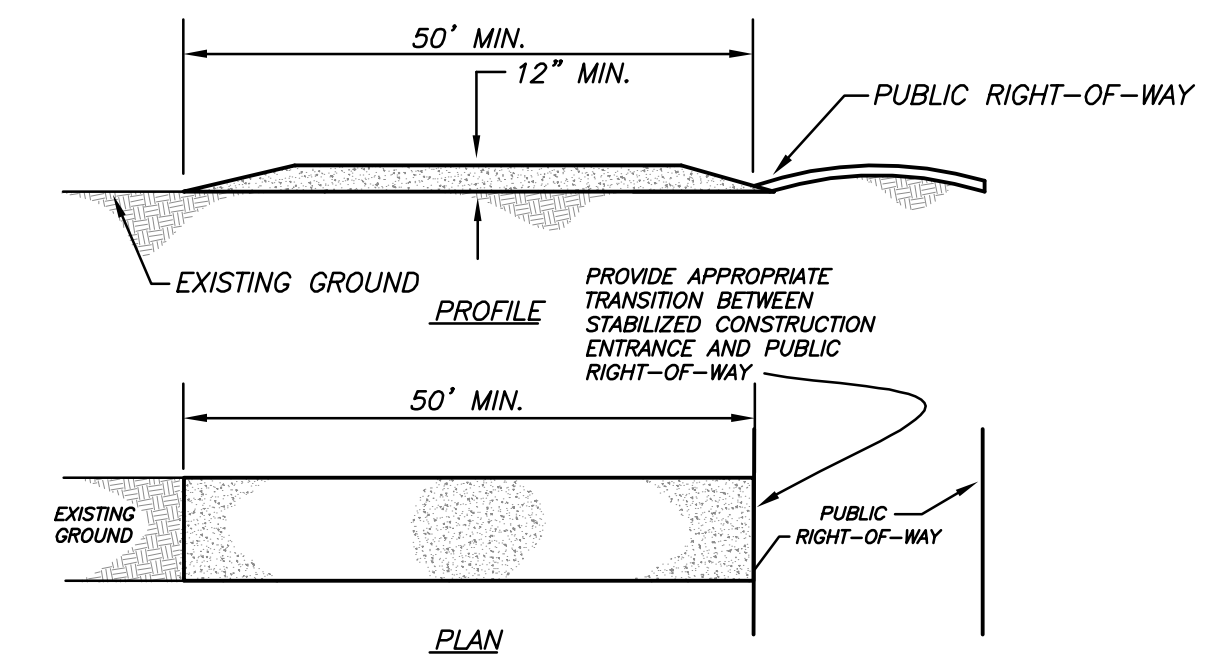
ENTRENCHMENT DETAIL IN SLOPE AREA  
N.T.S.



ENTRENCHMENT DETAIL IN FLAT AREAS  
N.T.S.



INLET PROTECTION DETAIL  
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE DETAIL  
N.T.S.

CONFORM TO CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) 2009

# EROSION CONTROL PLAN

## 438 LEGACY DRIVE

ALAMO (UNINCORPORATED)

CONTRA COSTA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/26 (PE) 03/31/27 (PLS)

#	REVISIONS	DATE



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM  
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 01/05/26  
Scale: 1" = 20'  
By: EM  
Job No.: 24205

► **STEP 1: PROJECT DATA FORM AND RUNOFF REDUCTION MEASURE SELECTION**

Complete all fields.

Project Name/Number	438 Legacy Drive
Application Submittal Date [to be verified by municipal staff]	12/18/2024
Project Location [Street Address if available, or intersection and/or APN]	438 Legacy Drive
Name of Owner or Developer	Seeno Properties
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence
Total Project Site Area (acres)	1.86 acres
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces.]	7,801 square feet
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces.]	0 square feet
Total Pre-Project Impervious Surface Area	0 square feet
Total Post-Project Impervious Surface Area	7,801 square feet
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

► **STEP 2: DELINEATE IMPERVIOUS AREAS AND LOCATIONS OF RUNOFF REDUCTION MEASURES**

**Delineate the impervious area.** On a site plan or sketch, show the impervious area—for example, a roof, or portion of a roof, or a paved area—that will drain to your runoff reduction measure. Typically these delineations follow roof ridge lines or grade breaks. Alternatively, show the type and extent of pervious paving. An example sketch is attached.

**Indicate the location and kind of runoff reduction measure you have selected.** At least one option, designed to manage runoff from some amount of impervious area—or to avoid creating runoff—is required.

APPENDIX C

9th Edition — APRIL 12, 2024

C-2

For each option selected, there is a brief checklist to confirm your design and your submittal meet minimum requirements.

► **STEP 3: COMPLETE AND SUBMIT YOUR PLAN**

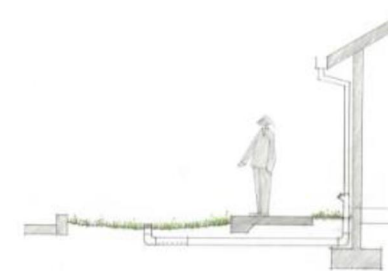
Consult with municipal staff about when and how to submit your Stormwater Control Plan for Small Projects.

**Option 1: Disperse runoff from roofs or pavement to vegetated areas.**

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- Each impervious area from which runoff will be directed, and its square footage.
- The vegetated areas that will receive runoff, and the approximate square footage of each.
- If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.



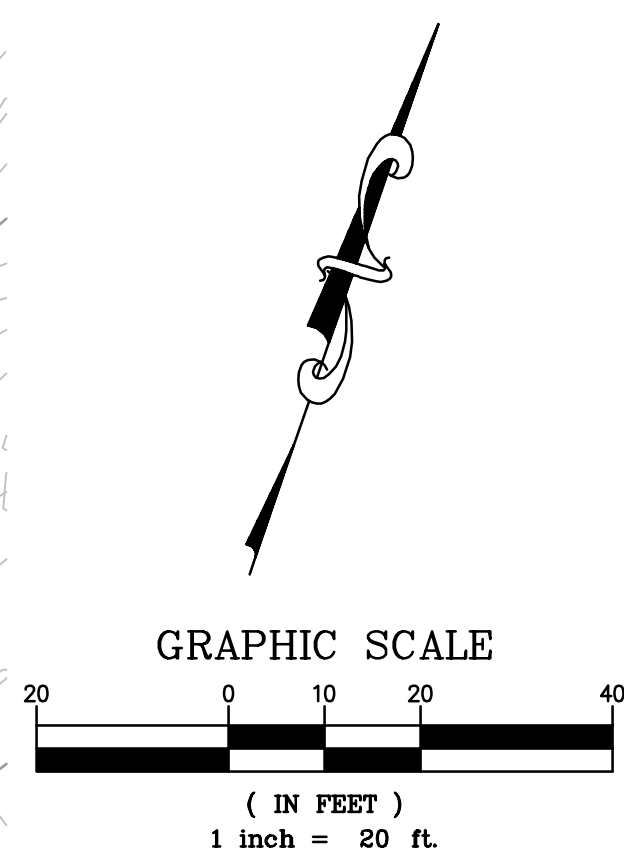
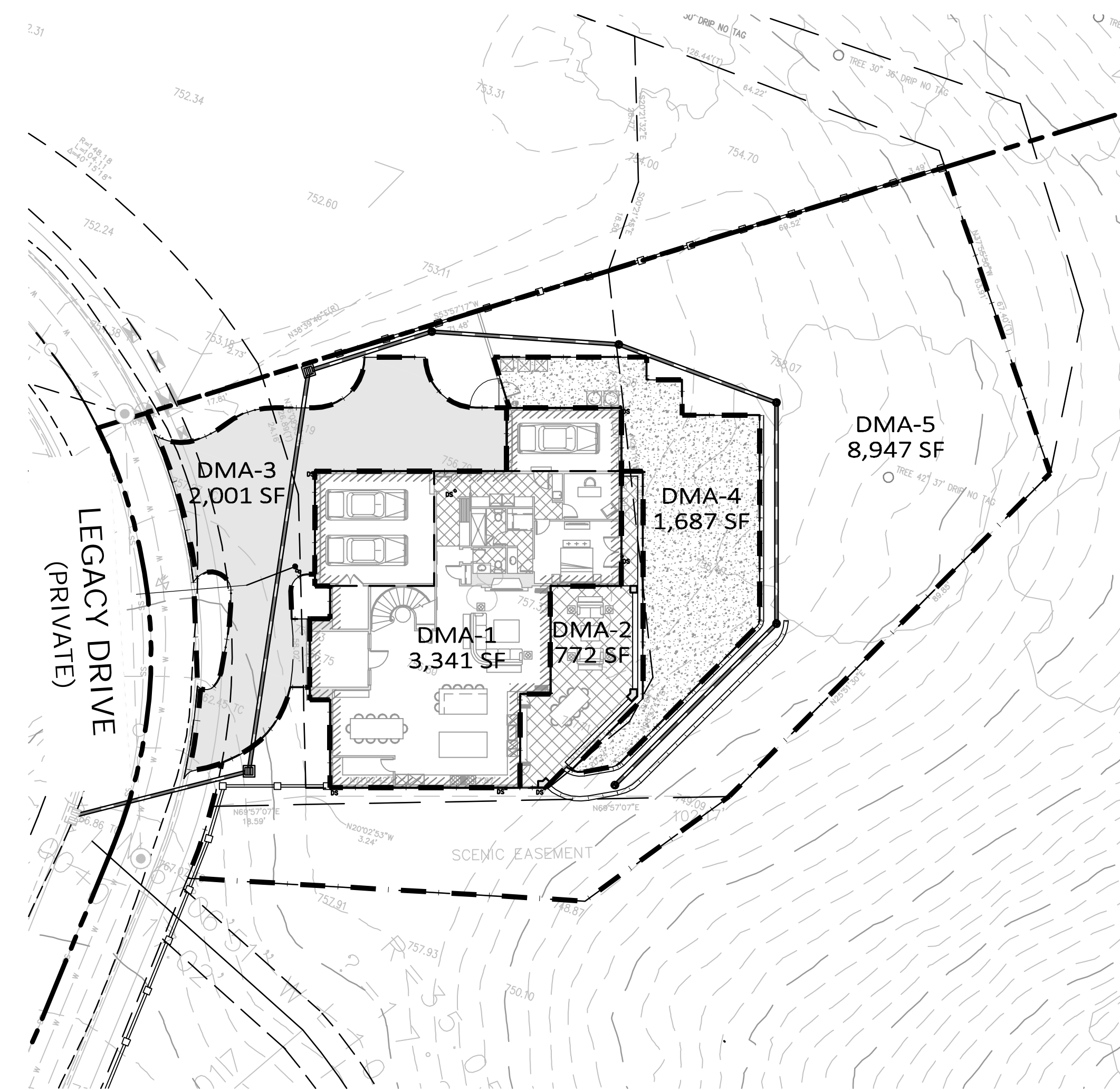
Confirm the following standard specifications are met:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

APPENDIX C

9th Edition — APRIL 12, 2024

C-3



IMPERVIOUS AREA TOTAL: 7,801± SF

LANDSCAPE AREA TOTAL: 8,947± SF

# STORMWATER CONTROL PLAN

## 438 LEGACY DRIVE

ALAMO (UNINCORPORATED)

CONTRA COSTA COUNTY

CALIFORNIA

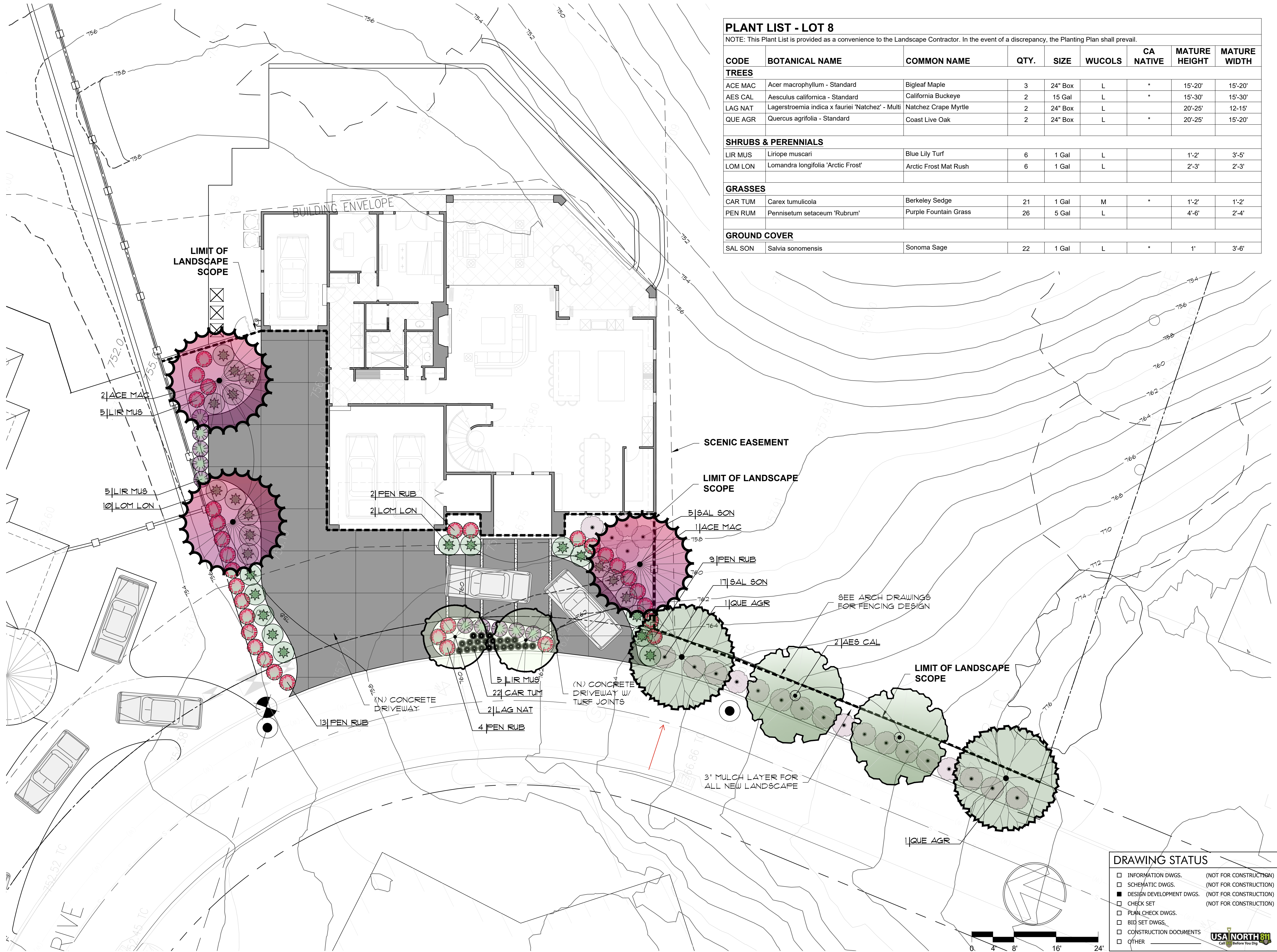
EASTON C McALLISTER - PE 61148 / PLS 9583  
RENEWAL DATE: 12/31/26 (PE) 03/31/27 (PLS)

#	REVISIONS	DATE



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM  
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 01/05/26  
Scale: 1" = 20'  
By: EM  
Job No.: 24205



### PLANT LIST - LOT 8

NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH
<b>TREES</b>								
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	3	24" Box	L	*	15'-20'	15'-20'
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'
LAG NAT	Lagerstroemia indica x fauriei 'Natchez' - Multi	Natchez Crape Myrtle	2	24" Box	L	*	20'-25'	12'-15'
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	2	24" Box	L	*	20'-25'	15'-20'
<b>SHRUBS &amp; PERENNIALS</b>								
LIR MUS	Liriope muscari	Blue Lily Turf	6	1 Gal	L		1'-2'	3'-5'
LOM LON	Lomandra longifolia 'Arctic Frost'	Arctic Frost Mat Rush	6	1 Gal	L		2'-3'	2'-3'
<b>GRASSES</b>								
CAR TUM	Carex tumulicola	Berkeley Sedge	21	1 Gal	M	*	1'-2'	1'-2'
PEN RUB	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	26	5 Gal	L		4'-6'	2'-4'
<b>GROUND COVER</b>								
SAL SON	Salvia sonomensis	Sonoma Sage	22	1 Gal	L	*	1'	3'-6'



2520 CAMINO DIABLO  
WALNUT CREEK, CA 94597  
P. (925) 941-6490  
EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 8  
438 Legacy Dr  
Alamo, CA 94507  
(APN: 193-010-030)

**PLANTING PLAN**



REVISIONS:  
• 12/18/2024  
•  
•  
•  
•  
DATE: 09/24/24  
SCALE: 1/8" = 1' - 0"  
JOB: 24-028

**DRAWING STATUS**

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	

SHEET

**L-1.0**

# TREES



Acer macrophyllum  
Bigleaf Maple



Aesculus californica  
California Buckeye



Lagerstroemia indica 'Natchez'  
Natchez Crape Myrtle



Quercus agrifolia  
Coast Live Oak

# SHRUBS



Liriope muscari  
Blue Lily Turf



Lomandra longifolia 'Arctic Frost'  
Arctic Frost Mat Rush

# GRASS



Carex tumulicola  
Berkeley Sedge



Pennisetum setaceum 'Rubrum'  
Purple Fountain Grass

# GROUND COVER



Salvia sonomensis  
Sonoma Sage

## PLANT LIST - LOT 8

**NOTE:** This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH
<b>TREES</b>								
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	3	24" Box	L	*	15'-20'	15'-20'
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'
LAG NAT	Lagerstroemia indica x fauriei 'Natchez' - Multi	Natchez Crape Myrtle	2	24" Box	L		20'-25'	12'-15'
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	2	24" Box	L	*	20'-25'	15'-20'
<b>SHRUBS &amp; PERENNIALS</b>								
LIR MUS	Liriope muscari	Blue Lily Turf	6	1 Gal	L		1'-2'	3'-5'
LOM LON	Lomandra longifolia 'Arctic Frost'	Arctic Frost Mat Rush	6	1 Gal	L		2'-3'	2'-3'
<b>GRASSES</b>								
CAR TUM	Carex tumulicola	Berkeley Sedge	21	1 Gal	M	*	1'-2'	1'-2'
PEN RUM	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	26	5 Gal	L		4'-6'	2'-4'
<b>GROUND COVER</b>								
SAL SON	Salvia sonomensis	Sonoma Sage	22	1 Gal	L	*	1'	3'-6'

## PLANT IMAGES



### REVISIONS:

- 12/18/2024
- 
- 
- 
- 

DATE: 09/24/24

SCALE: NO SCALE

JOB: 24-028

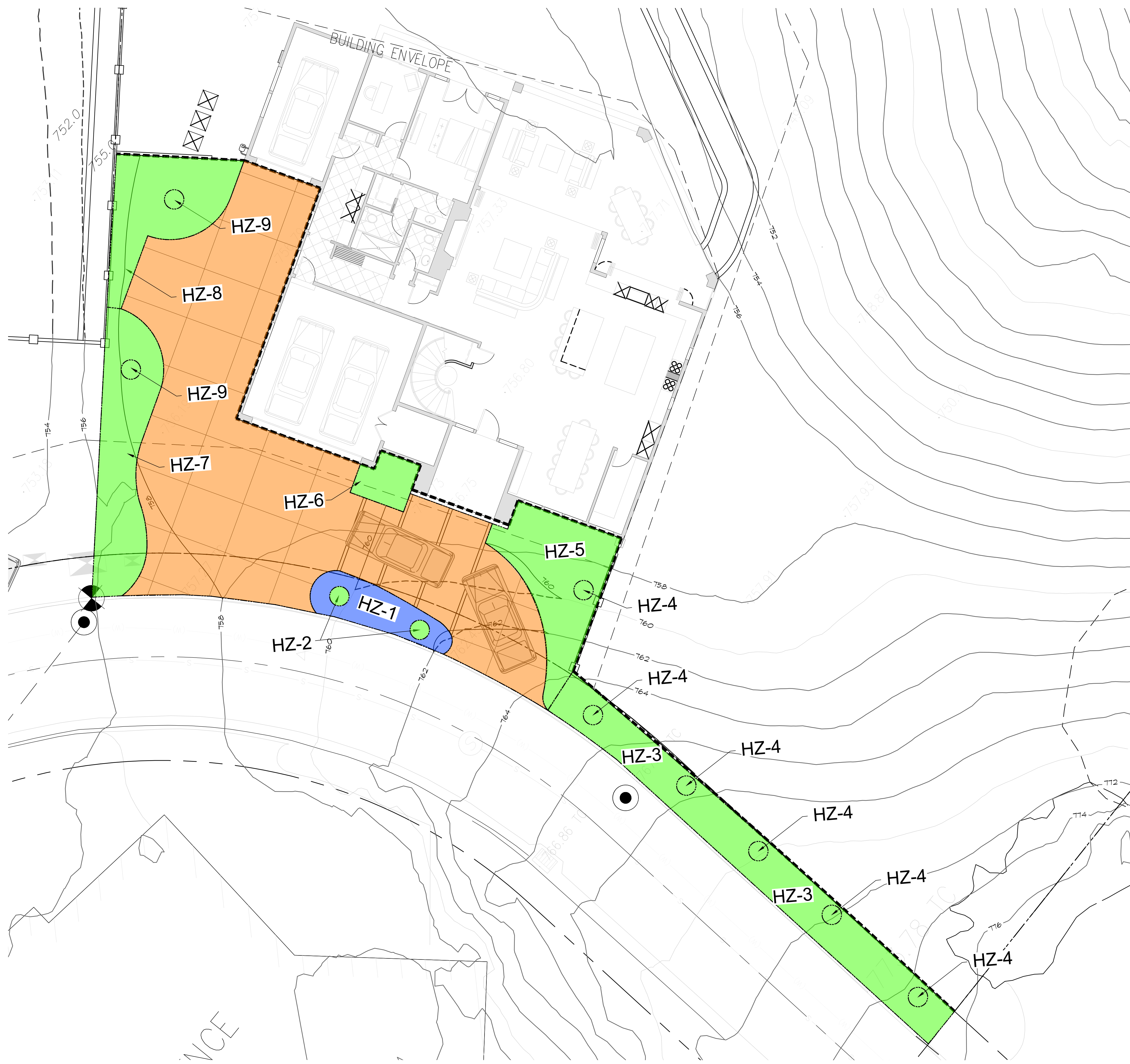
SHEET

### DRAWING STATUS

- INFORMATION DWGS. (NOT FOR CONSTRUCTION)
- SCHEMATIC DWGS. (NOT FOR CONSTRUCTION)
- DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS.
- BID SET DWGS.
- CONSTRUCTION DOCUMENTS
- OTHER



L-1.1



### HYDROZONE LEGEND

SYMBOL	DESCRIPTION
(MV)	Master Valve (Normally Open)
(POC)	Point of Connection
(IC)	Irrigation Controller
HYDROZONE #	Hydrozone Boundary / Callout

### LANDSCAPE AREA SUBJECT TO MWEO

1,554 SF	SPECIAL LANDSCAPE AREA HYDROZONE (AREA OF THE LANDSCAPE DEDICATED SOLELY TO EDIBLE PLANTS)
0 SF	VERY LOW HYDROZONE (LOW WATER USE LANDSCAPE)
1,439 SF	LOW HYDROZONE (LOW WATER USE LANDSCAPE)
115 SF	MEDIUM HYDROZONE (MEDIUM WATER USE LANDSCAPE)
0 SF	HIGH HYDROZONE (HIGH WATER USE LANDSCAPE, POOLS, AND FOUNTAINS)
1,554 SF	TOTAL LANDSCAPE AREA SUBJECT TO MWEO

### LANDSCAPE AREA NOT SUBJECT TO MWEO

2,020 SF	NON-IRRIGATED LANDSCAPE (DRIVEWAY, DECKS, ARTIFICIAL TURF, GRAVEL, DECOMPOSED GRANITE)
2,020 SF	TOTAL NON-IRRIGATED LANDSCAPE AREA
3,574 SF	TOTAL LANDSCAPE AREA

**MWEO DOCUMENTATION**  
SEE SHEET L-4.1

### IRRIGATION/MWEO NOTE:

THIS IS A PRELIMINARY HYDROZONE PLAN SHOWING WATER USE DISTRIBUTION. A FULLY AUTOMATIC, IRRIGATION SYSTEM DESIGN COMPLIANT WITH CITY OF MARTINEZ'S MWEO REQUIREMENTS WILL BE PROVIDED DURING BUILDING PERMIT APPLICATION

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the Irrigation Design Plan."  
Signature:   
R. Terrence Camp  
Landscape Architect No. 4494



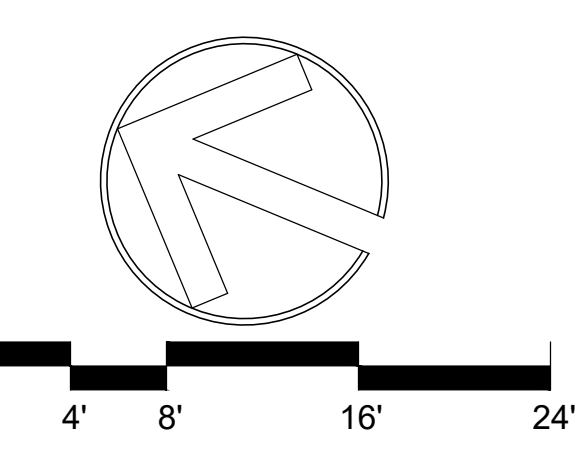
2520 CAMINO DIABLO  
WALNUT CREEK, CA 94597  
P. (925) 941-6490  
EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 8  
438 Legacy Dr  
Alamo, CA 94507  
(APN: 193-010-030)

### PRELIMINARY HYDROZONE PLAN



REVISIONS:  
• 12/18/2024  
•  
•  
•  
•  
DATE: 09/24/24  
SCALE: 1/8" = 1' - 0"  
JOB: 24-028



DRAWING STATUS	
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<input type="checkbox"/>	SCHEMATIC DWGS. (NOT FOR CONSTRUCTION)
<input type="checkbox"/>	DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
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<input type="checkbox"/>	BID SET DWGS.
<input type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	OTHER



L-2.0

SHEET



2520 CAMINO DIABLO WALNUT CREEK, CA 94597 P. (925) 941-6490 EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 8 438 Legacy Dr Alamo, CA 94507 (APN: 193-010-030)

LANDSCAPE DOCUMENTATION PACKAGE



REVISIONS: 12/18/2024 DATE: 09/24/24 SCALE: JOB: 24-028 SHEET

L-2.1

IRRIGATION NOTES

- 1. Irrigation equipment may be shown within hardscape for graphic clarity only. Install all irrigation equipment within planted areas. Irrigation pipe and wire crossing beneath hardscape surfaces shall be contained within sleeving or schedule 40 pvc conduit. Sleeving size shall be a minimum of two times the aggregate diameter of all pipes contained within sleeve. Provide vertical sweep for all electrical conduit on each side of hardscape and terminate ends at 12" minimum depth and 12" from hardscape surface.
2. Unsized lateral line piping located down stream of 1" piping shall be 1" in size (Typical).
3. Planting is not to start until the irrigation system is fully operational and the hydrostatic pressure test, coverage review, and grading review is completed and approved by the City Engineer.
... 25. A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

DRAWING STATUS table with checkboxes for INFORMATION DWGS., SCHEMATIC DWGS., DESIGN DEVELOPMENT DWGS., CHECK SET, PLAN CHECK DWGS., BID SET DWGS., CONSTRUCTION DOCUMENTS, OTHER.

WATER EFFICIENT LANDSCAPE WORKSHEET table with columns for Hydrozone#, Plant, Irrigation, ETAF, Landscape, ETAF x Area, Estimated Use (ETWU). Includes Regular Landscape Areas and Special Landscape Areas sections.

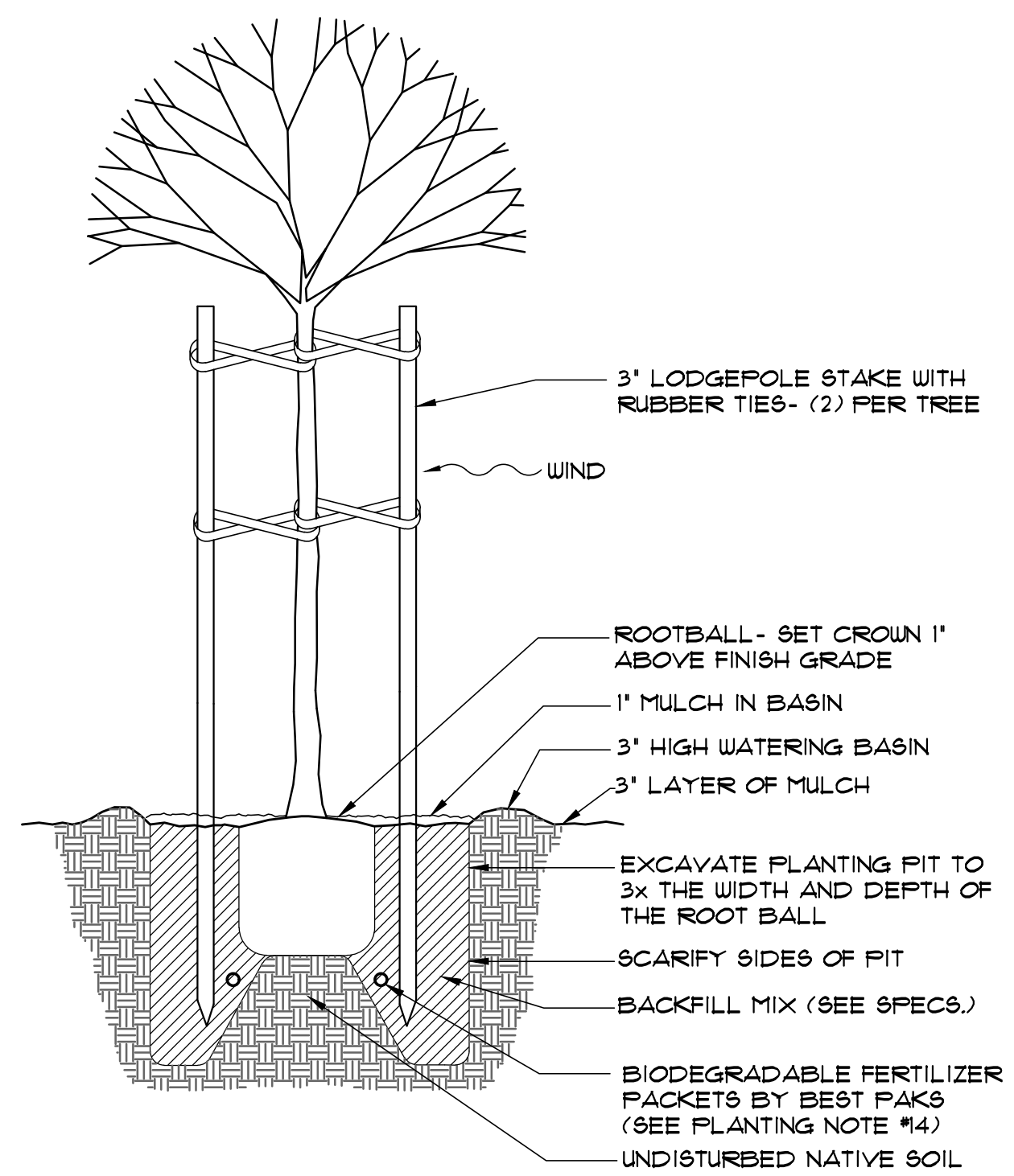
PROJECT INFORMATION table with fields for DATE, PROJECT APPLICANT, PROJECT ADDRESS, TOTAL LANDSCAPE AREA, TOTAL IRRIGATED AREA, PROJECT TYPE, WATER SUPPLY.

"A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

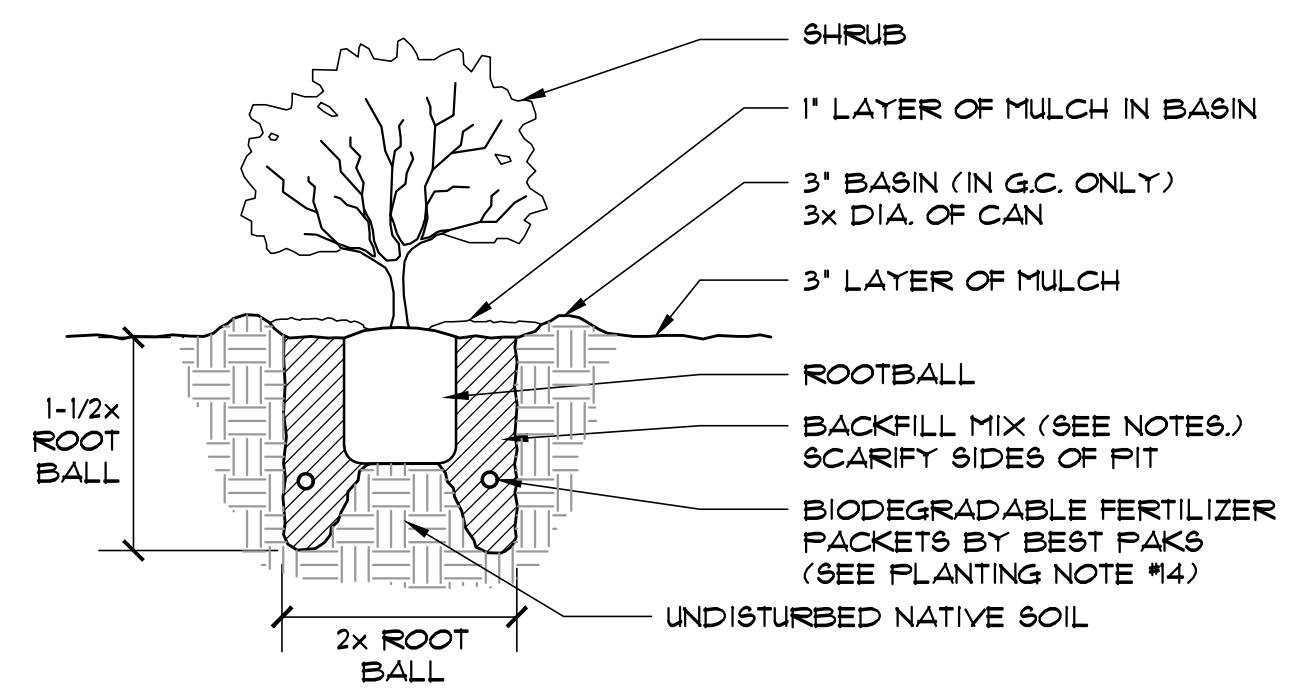
LANDSCAPE DOCUMENTATION PACKAGE CHECK LIST

- 1. Water Efficient Landscape Worksheet -Hydrozone Information Table -ETWU & MAWA
2. Landscape Design Plan
3. Irrigation Design Plan
4. Grading Plan - See Civil Plans
5. Soil Management Report
6. Certificate of Compliance
7. Certificate of Completion (Upon approval of Landscape Documentation Package by the local agency, the project applicant shall:
(1) Receive a permit or approval of the plan check or design review and record the date of the permit in the Certificate of Completion.
(2) Submit a copy of the approved Landscape Documentation Package along with the record drawings and any other information to the property owner or his/her designee.
(3) Submit a copy of the Water Efficient Landscape Worksheet to the local water purveyor.

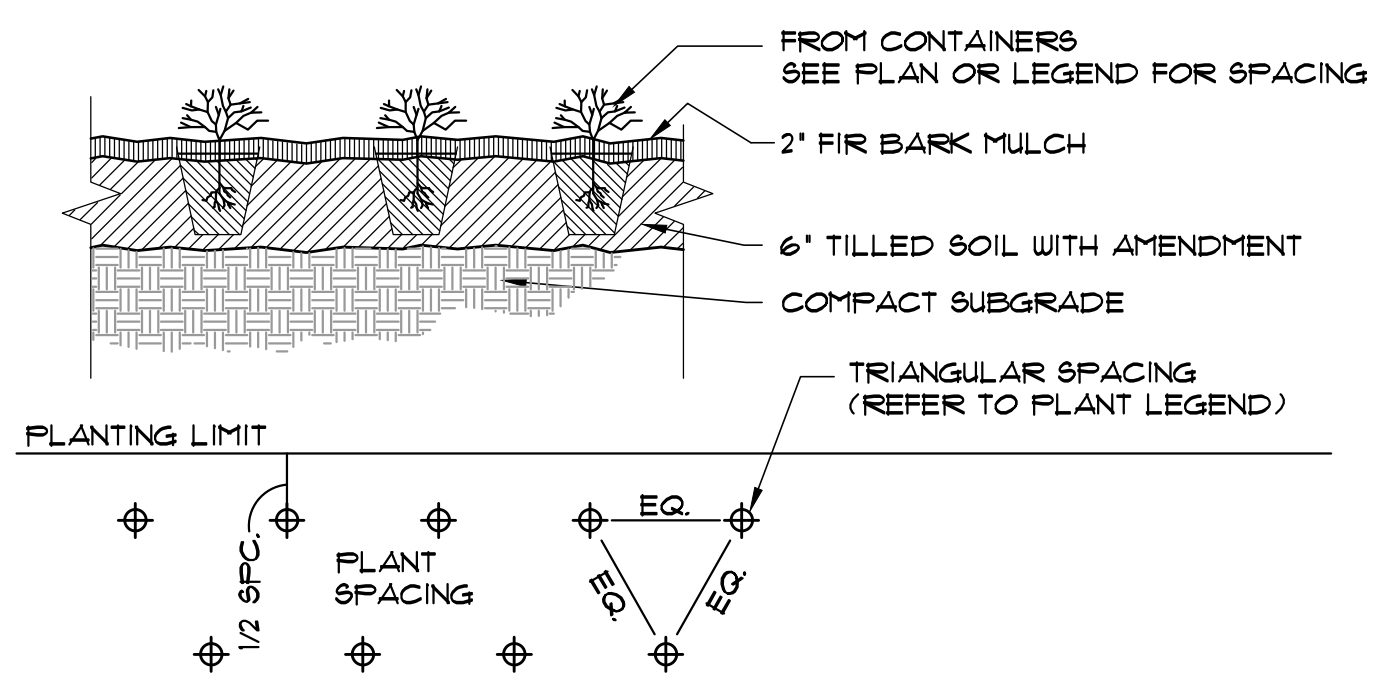
"I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package." Signature: R. Terrence Camp Landscape Architect No. 4494



**1 TREE STAKING**  
SCALE: 3/4"=1'



**2 SHRUB PLANTING**  
SCALE 3/4"=1'



**3 GROUNDCOVER PLANTING**  
SCALE 3/4"=1'

**PLANTING NOTES**

- Plant material locations are diagrammatic and may be subject to change by the landscape architect before the maintenance period begins.
- All trees to be staked as shown in the tree planting detail.
- Contractor shall ensure trees do not conflict with existing utilities.
- If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with work.
- All plants will be inspected for acceptable form and condition by Landscape Architect. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.
- All planting work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.
- Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.
- The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.
- Prior to commencement of planting procedures, soil must be inspected for the following:
  - Rough Grading: such that all stones over 1" diameter and pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
  - Amendment: amendments have been incorporated into the soil per the soils test.
  - Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal.
- All asphalt, base course and other debris are to be removed completely below planting areas. Contractor is responsible for supplying top soil as necessary for all planting areas.
- It shall be the Landscape Contractor's responsibility to provide adequate drainage of all plantings, sufficient to insure healthy growth.
- After planting has been approved by Landscape Architect, all plant tags are to be removed.
- Dig planting pits 3 times the width of tree rootball and 2 times the width of shrub root ball. Backfill pits with 10% native on-site soil and 30% nitrized shavings or equivalent.
 

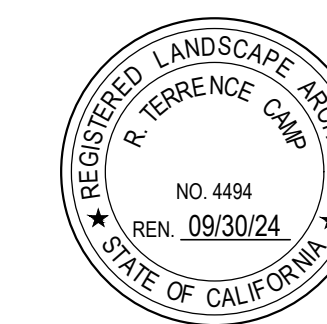
Backfill:  
10% native soil by volume  
30% nitrized shavings or equivalent  
16 lbs. gro-power plus per cubic yard mix  
other amendments per soil analysis  
grow-power planting tablets
- An automatic irrigation system is to be provided to water all planting areas which shall comply with MWELC. Landscape Contractor is to provide adequate coverage for all indicated planting areas prior to plant installation.
- Compost incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped wood mulch.

**DRAWING STATUS**

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	



**PLANTING DETAILS & NOTES**



REVISIONS:

- 12/18/2024
- 
- 
- 
- 

DATE: 09/24/24

SCALE: AS SHOWN

JOB: 24-028

SHEET

**THE RIDGES - LOT 8**

**438 LEGACY DRIVE  
ALAMO, CA 94507**

**WILLIAM WOOD**

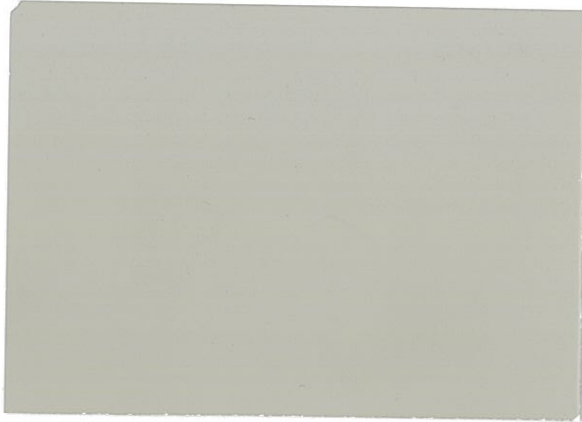
**A R C H I T E C T S**

301 HARTZ AVENUE, SUITE 203  
DANVILLE, CALIFORNIA  
(925) 820-8233 FAX (925) 820-8793

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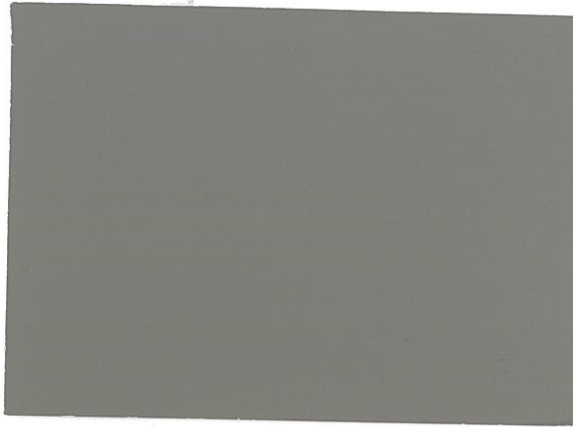
**BODY - STUCCO**

Dunn Edwards  
DET627 Pewter Patter



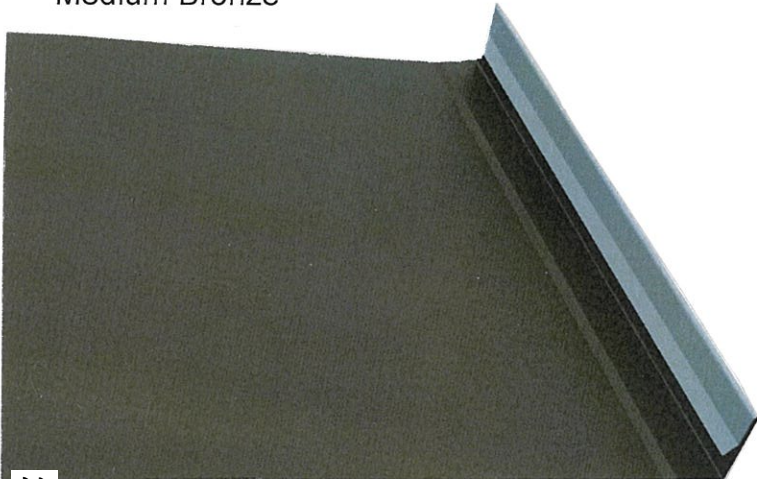
**TRIM**

Dunn Edwards  
DET626 Metal Fringe



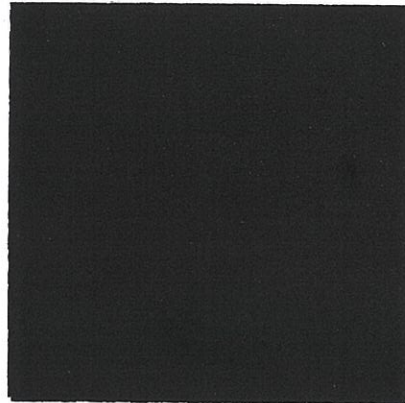
**ROOF - METAL**

Medium Bronze



**WINDOWS**

Black



**STONE VENEER**

Boral  
Bucks County Country Ledgestone



Brands > Elegant Lighting > Wall Sconces > Elegant Lighting LDOD4042

Shipping to: **Walnut Creek, CA** ▾

### Elegant Lighting Raine 12" Tall Outdoor Wall Sconce - Rectangular Fixture

Model: LDOD4042BK | Item: bci4167711

from the [Raine Collection](#)

★★★★★ (1)



**\$92.00**

**Finish:** Black - 298 In Stock

Black >

**Free Shipping!**

Leaves the Warehouse in 1 to 2 business days - [Shipping to 94597](#)

− 1 + Add to Cart

Save to Project

Compare

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### Customers Also Viewed



WAC Lighting WS-W220212-30  
\$99.95



Millennium Lighting 43002  
\$93.90



Visual Comfort 8831702  
\$199.00

## Details

### Features

- (1) 40 watt maximum medium (E26) bulb required
- Intended for outdoor use
- UL rated for wet locations

### Dimensions

- Height: 11-3/4"
- Width: 4-3/4"
- Extension: 7"
- Product Weight: 3.2 lbs
- Backplate Height: 4-1/16"
- Backplate Width: 4-1/16"
- Backplate Depth: 2-1/4"

### Electrical Specifications

- Number of Bulbs: 1
- Max Watts Per Bulb: 40 watts
- Bulb Base: Medium (E26)
- Bulb Included: No

### Additional Elegant Lighting Links

- [Browse all Elegant Lighting Products](#)
- [Elegant Lighting Raine Collection](#)

### Dimensions and Measurements

<b>Backplate Depth</b>	2.28 in.
<b>Backplate Height</b>	4.09 in.
<b>Backplate Width</b>	4.09 in.

<b>Extension</b>	7 in.
<b>Height</b>	11.75 in.
<b>Nominal Height</b>	12 in.
<b>Product Weight</b>	3.2 lbs.
<b>Width</b>	4.75 in.

### Included Components

<b>Bulb Included</b>	No
<b>Shade</b>	No

### Characteristics and Features

<b>Bulb Base</b>	Medium (E26)
<b>Bulb Visible</b>	No
<b>Full Backplate</b>	No
<b>Light Direction</b>	Up / Down Lighting
<b>Material</b>	Aluminum, Glass
<b>Number of Bulbs</b>	1
<b>Number of Light Source(s)</b>	1
<b>Photocell</b>	No
<b>Reversible Mounting</b>	No
<b>Sconce Type</b>	Cylinder
<b>Theme</b>	Modern

### Electrical and Operational Information

<b>Power Source</b>	Hardwired
<b>Voltage</b>	120
<b>Voltage Type</b>	Line Voltage (110-120V)
<b>Wattage</b>	40
<b>Watts Per Bulb</b>	40

### Warranty and Product Information

<b>Certifications</b>	UL
<b>Collection</b>	Raine

<b>Country Of Origin</b>	 China
<b>Dark Sky</b>	 No
<b>Location Rating</b>	 Wet Location
<b>Manufacturer Warranty</b>	 1 Year Limited

### Related Elegant Lighting Categories

- [Browse by Brand](#)
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- [Pendants](#)
- [Ceiling Lights](#)
- [Table Lamps](#)
- [Floor Lamps](#)
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- [Bathroom Lighting](#)

**Reviews**  (1)  
5 out of 5 Stars



**Product Q&A**



**Matching Products**

