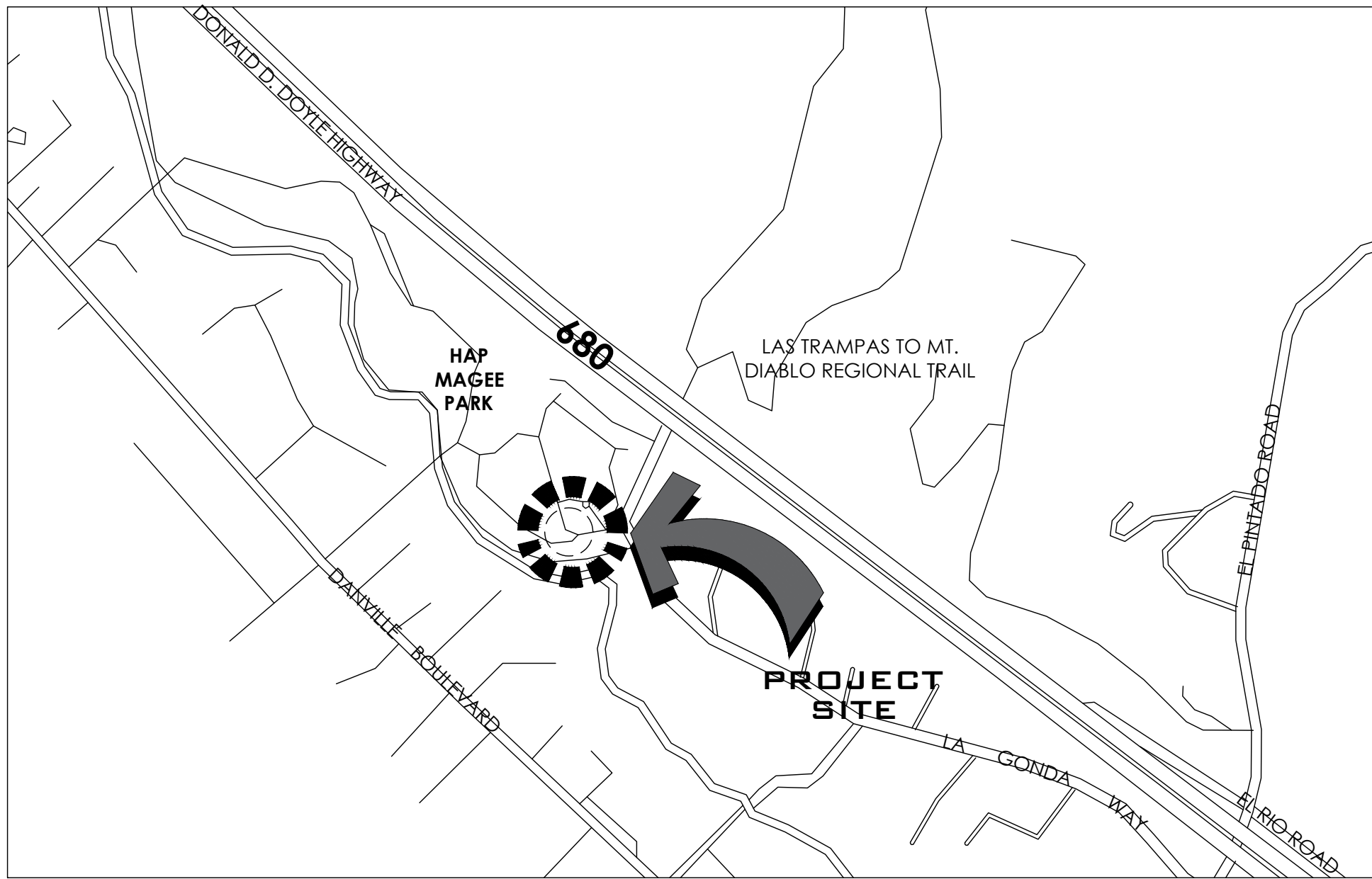


HAP MAGEE PARK SHADE STRUCTURE

GENERAL NOTES

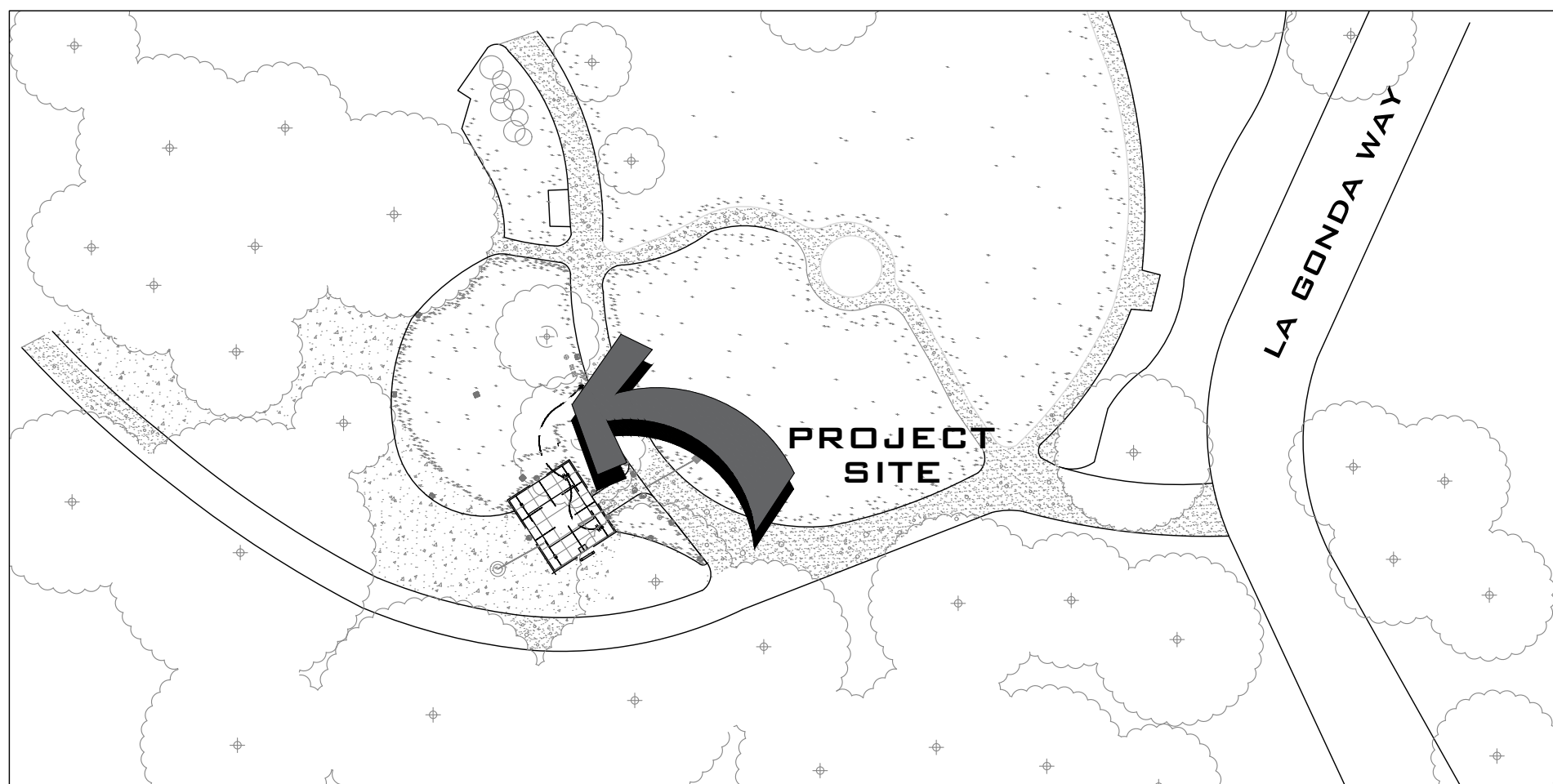
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PLANS, NOTES, AND DETAILS HEREIN. ALL REQUIREMENTS STANDARDS AND SPECIFICATIONS OF ALL AGENCIES HAVING JURISDICTION OVER THE WORK SHALL BE ADHERED TO AND ALL WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER, LANDSCAPE ARCHITECT, AND JURISDICTIONAL AGENCIES. FIELD CHANGES WITHOUT NOTIFICATION MAY HAVE IMPLICATIONS NOT FORESEEN BY THE CONTRACTOR AS TO ENGINEERING, SAFETY, DESIGN AESTHETICS, AND CONSTRUCTION METHODOLOGIES TO THE MOST CURRENT CONTRA COSTA COUNTY STANDARDS AND SPECS.
- THE CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH THE PLANS, NOTES, AND DETAILS OF THE CITY/TOWN/COUNTY OF JURISDICTION PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION OVER THE WORK. AGENCY STANDARDS SHALL GOVERN WHEN IN CONFLICT WITH THE PLANS.
- SPECIFICATIONS, SPECIFIC NOTES AND DETAIL DRAWINGS HEREIN TAKE PRECEDENCE OVER GENERAL DRAWINGS AND PLANS, UNLESS OTHERWISE SPECIFICALLY DIRECTED IN WRITING BY THE LANDSCAPE ARCHITECT. ANY DEVIATION FROM THE APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE TWO WORKING DAYS WRITTEN NOTICE TO THE LANDSCAPE ARCHITECT AND OTHER APPROPRIATE PUBLIC AGENCIES/OWNER AND APPROVAL BY THE SAME.
- IN THE EVENT THE CONTRACTOR DISCOVERS A DEFICIENCY OR CONFLICT IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A DECISION.
- NO OFF-SITE WORK IS TO BE PERFORMED BY THE CONTRACTOR UNTIL A "RIGHT-OF-ENTRY" AND/OR EASEMENT DOCUMENTS ARE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S) AND THE CITY/TOWN/COUNTY OF JURISDICTION.
- A PRE-CONSTRUCTION MEETING WITH THE OWNER AND CONTRACTOR SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR WILL NOT MAKE ANY REVISIONS OR FIELD CHANGES WITHOUT THE OWNER AND LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CHANGE ORDER STATING ADDITIONAL COST OR CREDIT FOR CHANGE, IF ANY. ANY REVISIONS OF FIELD CHANGES PERFORMED WITHOUT THIS AUTHORIZATION WILL BE AT THE CONTRACTOR'S SOLE RISK. THE CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR THE COST OF CORRECTING AND REMEDYING SUCH CHANGES. ANY REVISIONS REQUIRE JURISDICTIONAL AGENCY APPROVAL PRIOR TO START OF WORK. FIELD CHANGES WITHOUT NOTIFICATION MAY HAVE IMPLICATIONS NOT FORESEEN BY THE CONTRACTOR AS TO ENGINEERING, SAFETY, DESIGN AESTHETICS, AND CONSTRUCTION METHODOLOGIES.
- ANY DEVIATION OR CHANGES IN THESE PLANS WITHOUT WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT SHALL ABSOLVE THE OWNER AND LANDSCAPE ARCHITECT FROM ANY AND ALL RESPONSIBILITY OF SAID DEVIATION OR CHANGE.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE LANDSCAPE ARCHITECT, THEIR OFFICERS AND EMPLOYEES, FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES, OR DAMAGES ARISING, OR ALLEGED TO ARISE, FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE AFOREMENTIONED INDIVIDUALS AND ENTITIES. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONTRACTOR SHALL KEEP EXISTING STREETS FREE FROM DIRT AND DEBRIS AT ALL TIMES DURING ALL PHASES OF CONSTRUCTION.
- EXISTING UTILITIES MUST NOT BE INTERRUPTED UNTIL THE UTILITY PROVIDER HAS APPROVED ALTERNATIVE SERVICE FACILITIES AND HAS APPROVED THE INTERRUPTION. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS WORK WITH JURISDICTIONAL AGENCIES AND UTILITY PROVIDERS.
- THE CONTRACTOR SHALL MAKE ALL EFFORTS TO PROTECT IN PLACE ALL EXISTING IMPROVEMENTS AND UTILITIES UNLESS OTHERWISE SPECIFIED ON THESE PLANS.
- THE CONTRACTOR SHALL INITIALLY EXPOSE ALL EXISTING UTILITY FACILITIES WITHIN AND IMMEDIATELY ADJACENT TO AREAS OF WORK, AT TIE-IN POINTS AND POSSIBLE AREAS OF CONFLICT, AND VERIFY THE LOCATION AND DEPTH OF THE LINES OR OTHER FACILITIES PRIOR TO ANY UTILITY EXCAVATION, TRENCHING OR LAYING OF ANY PROPOSED PIPES, STRUCTURES, OR OTHER UTILITIES. ANY EXCAVATIONS, TRENCHING, OR LAYING OF PIPES, STRUCTURES, OR OTHER UTILITIES PRIOR TO VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND FACILITIES AND TIE-IN POINTS SHALL BE AT THE CONTRACTOR'S OWN RISK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DIFFERENCE IN LOCATION OR EXISTENCE OF EXISTING UTILITIES FROM THAT SHOWN ON THESE PLANS, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WITH WORK IN THAT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AS-BUILT INFORMATION. THE CONTRACTOR SHALL MAINTAIN A WRITTEN RECORD AND A MARKED-UP PLAN SHOWING ANY VARIATION OF THE APPROVED PLAN AND REVISIONS. THE CONTRACTOR SHALL SUBMIT ALL AS-BUILT RECORDS TO THE LANDSCAPE ARCHITECT PRIOR TO THE ACCEPTANCE OF ANY PORTION OF WORK SO THAT THE OWNER AND LANDSCAPE ARCHITECT MAY PREPARE FINAL RECORD DRAWINGS.
- THE CONTRACTOR SHALL KEEP THE SITE FREE FROM LITTER AND WASTE DURING THE CONSTRUCTION OPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP, REMOVAL, AND DISPOSAL OF ALL EXCESS MATERIALS, BROKEN, OR DISCARDED MATERIALS, SHIPPING MATERIALS, AND DIRT STOCKPILES, TO THE SATISFACTION OF THE OWNER AT THE COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE KNOWLEDGEABLE OF THE USUAL AND PECULIAR HAZARDS ASSOCIATED WITH THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE COMPETENT AND SKILLED IN THE PROTECTIVE MEASURES NECESSARY FOR THE SAFE PERFORMANCE OF THE CONSTRUCTION WORK.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGGERS, OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- CONSTRUCTION HOURS ARE FROM MON TO FRI 7:30 AM TO 7: 00 PM, SAT, SUN & HOLIDAYS 9:00 AM TO 7: 00 PM.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXISTENCE OF ANY AND ALL UNDERGROUND FACILITIES, WHICH MAY BE SUBJECT TO DAMAGE BY REASON OF HIS OPERATIONS. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 811, 48 HOURS PRIOR TO ANY EXCAVATION. CONTACTING USA DOES NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO DETERMINE LOCATION AND DEPTH OF BURIED UTILITIES OR REPAIR OF BURIED UTILITIES DAMAGED BY THEIR OPERATION.
- ALL CONCRETE STRENGTH SHALL BE MINIMUM 3000 PSI OR GREATER.

DANVILLE, CA



VICINITY MAP

NOT TO SCALE



SITE KEY MAP

NOT TO SCALE



PREPARED BY THE:
**ALAMO MUNIPAL
ADVISORY COUNCIL**
COUNTY OF CONTRA COSTA, CA

SHEET INDEX

- L-1 COVER SHEET
- L-2 LAYOUT PLAN
- L-3 PLAN & ELEVATIONS
- L-4 CONSTRUCTION DETAILS
- L-5 SITE IMAGES
- L-6 RENDERINGS
- C-1 COVERWORX DRAWINGS
- C-2 COST ESTIMATES



PREPARED BY THE **ALAMO MUNICIPAL
ADVISORY COUNCIL**

ALAMO

**HAP MAGEE PARK
COVER SHEET**

CALIFORNIA

| DATE | | |
|-----------|-----------|------|
| 8-12-2025 | | |
| NO. | REVISIONS | DATE |
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SHEET

L-1

OF 8 SHEETS

PRINT DATE: 08-12-2025

HAP MAGEE PARK, DANVILLE CA

EXISTING HISTORICAL TACK SHED WOOD

6 EA. @ 9'-0" = 54'
7 EA. @ 8'-0" = 56'
2 EA. @ 6'-0" = 12'
5 EA. @ 5'-0" = 5'

TOTAL AVAILABLE WOOD PIECES L.F. = 127'

ALL EXISTING IRRIGATION VALVES & PIPING TO REMAIN.

TIE INTO EXISTING LIGHT FOR NEW GFCI'S PER ALL CODES & ORDINANCES. **BID ALTERNATE 'B'**

GFCI W/ 110V WIRING PER ALL CODES (2 EACH).

BID ALTERNATE 'B'

RELOCATE EXISTING IRRIGATION HEADS W/ NEW NOZZLES TO PROVIDE UNIFORM & COMPLETE HEAD TO HEAD COVERAGE. (5± EACH)

CONCRETE PAVING.

BID ALTERNATE 'A'

BASE BID TO BE SMOOTH & COMPACTED 2" LAYER OF CALIFORNIA GOLD DECOMPOSED GRANITE.

MODIFY LAWN & HEADER RESPREAD EXISTING WOOD CHIPS TO COVER.

MODIFY WOOD CHIPS & LAWN AS NECESSARY.

LOWER ROOF REFLECTED CEILING PLAN.

UPPER ROOF REFLECTED CEILING PLAN.

ASSUMED LOCATION OF EXISTING STORM DRAIN LINE, VERIFY LOCATION IN FIELD.

STAKE 4 CORNERS OF STRUCTURE W/ STAKES & FLAGS FOR FINAL APPROVAL OF LOCATION BY:

1. ALAMO MUNICIPAL ADVISORY COUNCIL
2. TOWN OF DANVILLE PARK & REC. REP.
3. CONSTRUCTION SUPERVISOR
4. LANDSCAPE ARCHITECT

CONCRETE FOOTING (TYP.)

TACK SHED HISTORIC SIGNAGE.

POSSIBLE INSTALLATION OF TACK SHED DOOR AS BACKDROP TO SIGNAGE. **NOT IN CONTRACT.**

DEMO & OFF-HAUL ALL LAWN & SUBGRADE SOIL PER ALL LOCAL CODES.

NEW 4" DEPTH OF CALIFORNIA GOLD DECOMPOSED GRANITE, COMPACT 95%.

LAYOUT LEGEND

- EXISTING TREE TO REMAIN
- EXISTING LIGHT
- EXISTING VALVES TO REMAIN
- CONCRETE PAVING. SEE **BID ALTERNATE 'A'**
- EXISTING LAWN
- G.F.C.I. W/ 110V WIRING PER ALL CODES **BID ALTERNATE 'B'**
- EXISTING FIR BARK
- EXISTING DECOMPOSED GRANITE
- 1/2" THICK ASP. FBR. E.J.
- IRRIGATION HEADS - PROPOSED
- IRRIGATION HEADS - EXISTING

LAYOUT NOTES

1. ALL WRITTEN DIMENSIONS SUPERCEDE SCALED DISTANCE AND DIMENSION.
2. ALL CURVED PORTIONS OF REDWOOD HEADER OR WALKS ARE TO BE SMOOTH AND CONTINUOUS CURVES.
3. THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE TOWN OF DANVILLE'S CONSTRUCTION SUPERVISOR AND THE LANDSCAPE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
4. THIS PLAN IS BASED UPON AN INFORMAL FIELD SURVEY. ALL DISTANCES, DIMENSIONS, AND STRUCTURES ARE APPROXIMATE. NO ACCURATE REPRESENTATION OF THE AS BUILT STRUCTURE, PATHS, TREES OR UTILITIES ARE MADE. VERIFY ALL DISTANCES & DIMENSIONS IN FIELD.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT THEM AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO UTILITIES AND/OR PAVEMENT IN THE COURSE OF THEIR WORK.
6. THE OWNER & CITY REPRESENTATIVES SHALL APPROVE THE LAYOUT OF ALL WALKS AND PAVING FEATURES PRIOR TO CONSTRUCTION. CALL THE TOWN OF DANVILLE'S CONSTRUCTION SUPERVISOR WITH 2 DAYS PRIOR NOTICE TO FOUR.
7. ANY REQUIREMENTS IN THE PLANS AND/OR SPECS. SHALL BE CONSIDERED BINDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE TOWN OF DANVILLE'S CONSTRUCTION SUPERVISOR AND LANDSCAPE ARCHITECT IMMEDIATELY FOR A DECISION.
8. THE CONTRACTOR SHALL PERIODICALLY (2x WEEKLY) CLEAN THE SITE OF THEIR DEBRIS CREATED IN THE COURSE OF THEIR WORK. THE CONTRACTOR SHALL REMOVE ALL OF THEIR WASTE GENERATED BY THEIR WORK AT THE END OF THEIR CONTRACT.
9. ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
10. ALL SCORES AND EXPANSION JOINTS SHALL BE LOCATED WHERE INDICATED ON PLANS.
11. CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER, CITY REPRESENTATIVES & LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
12. VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGE TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATION IN DOUBT. ALLOW TWO DAYS LEAD TIME. CALL (800) 227-2600.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL ON-SITE UTILITIES BEFORE COMMENCING WITH THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGED UTILITIES. THIS EXISTING CONDITIONS PLAN WAS OBTAINED FROM THE CLIENT. THE LAND. ARCH. IS UNABLE TO CONFIRM THE ACCURACY OF THE DATA PRESENTED HERE. THE CONTRACTOR SHALL USE CARE AND EXERCISE CAUTION IN ALL ASPECTS OF THE WORK TO PROTECT EXISTING UTILITIES FROM DAMAGE OR DESTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY WORK AT THE SITE. DAILY REMOVAL OF ALL DEBRIS IN THE FRONT YARD SHALL BE PERFORMED. NO CONSTRUCTION EQUIPMENT OR DEBRIS SHALL REMAIN IN THE STREET OR SIDEWALK OVERNIGHT.
3. ALL EXISTING TREES ARE NOT FOR REMOVAL SHALL BE FULLY PROTECTED AT ALL TIMES.
4. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SOIL MOVEMENT, DUST AND EROSION DURING THE COURSE OF THEIR WORK.
5. CAP IRRIGATION LINES SO ONLY AREAS IN THE LIMIT OF WORK ARE DISTURBED. RELOCATE & INSTALL TEMPORARY IRRIGATION LINES AS NECESSARY TO KEEP LANDSCAPE AREAS OUTSIDE OF LIMIT OF WORK GROWING.
6. VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGES TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600.

SEE MANUFACTURER'S SHOP & CONSTRUCTION DRAWINGS BY COVERWORX, DATED JUNE 5, 2025 FOR SHADE STRUCTURE DETAILS.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR CONCRETE FOOTING BY _____ DATE _____

THIS PLAN IS BASED UPON AN INFORMAL FIELD SURVEY. ALL DISTANCES, DIMENSIONS, AND STRUCTURES ARE APPROXIMATE. NO ACCURATE REPRESENTATION OF THE AS BUILT STRUCTURES, PATHS, TREES OR UTILITIES IS MADE. VERIFY ALL DISTANCES & DIMENSIONS IN FIELD.



PREPARED BY THE ALAMO MUNICIPAL ADVISORY COUNCIL

HAP MAGEE PARK
SHADE STRUCTURE LAYOUT PLAN
ALAMO CALIFORNIA

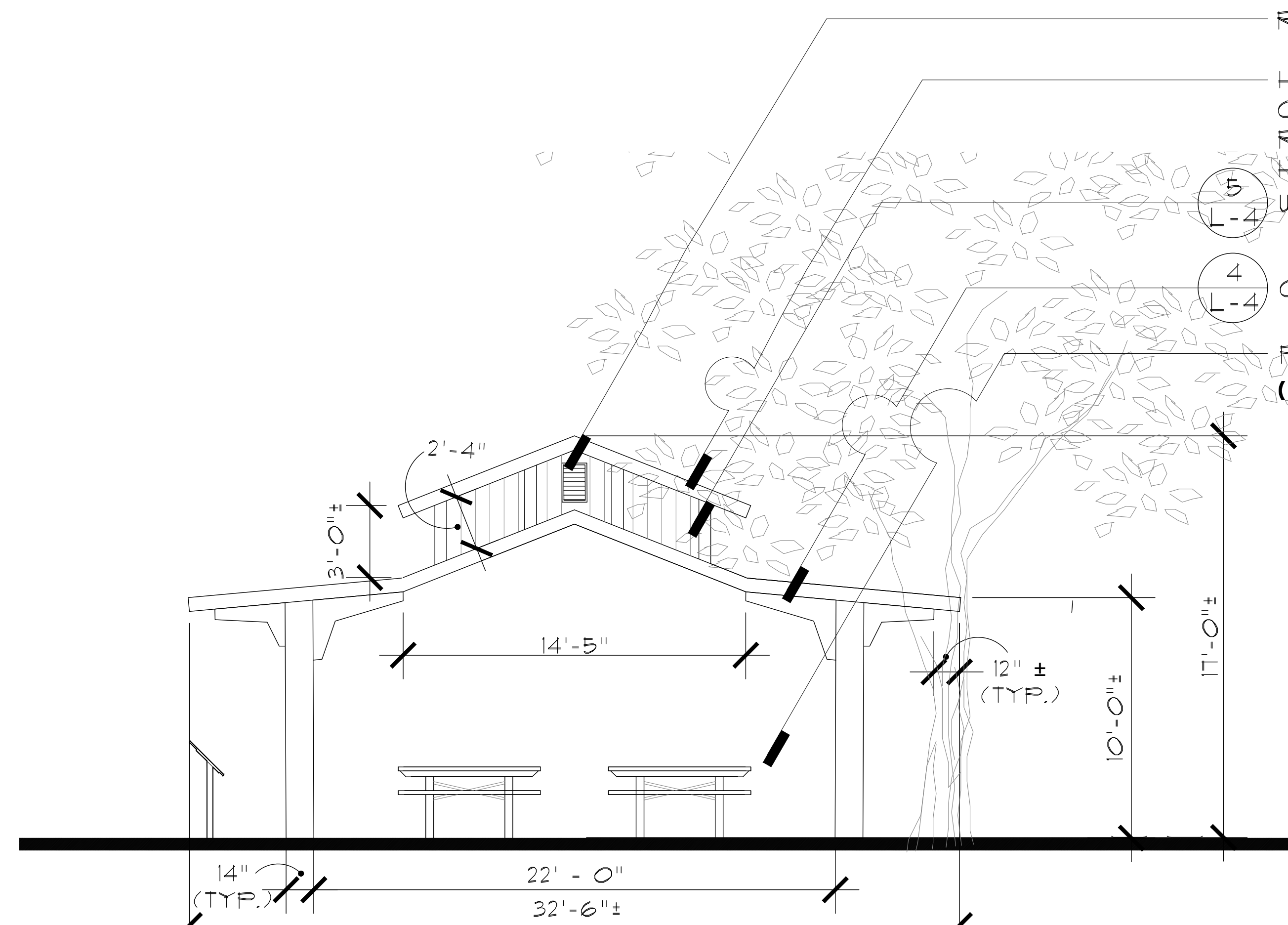
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0' 4' 8' 16'
SCALE: 1/8" = 1' - 0" NORTH

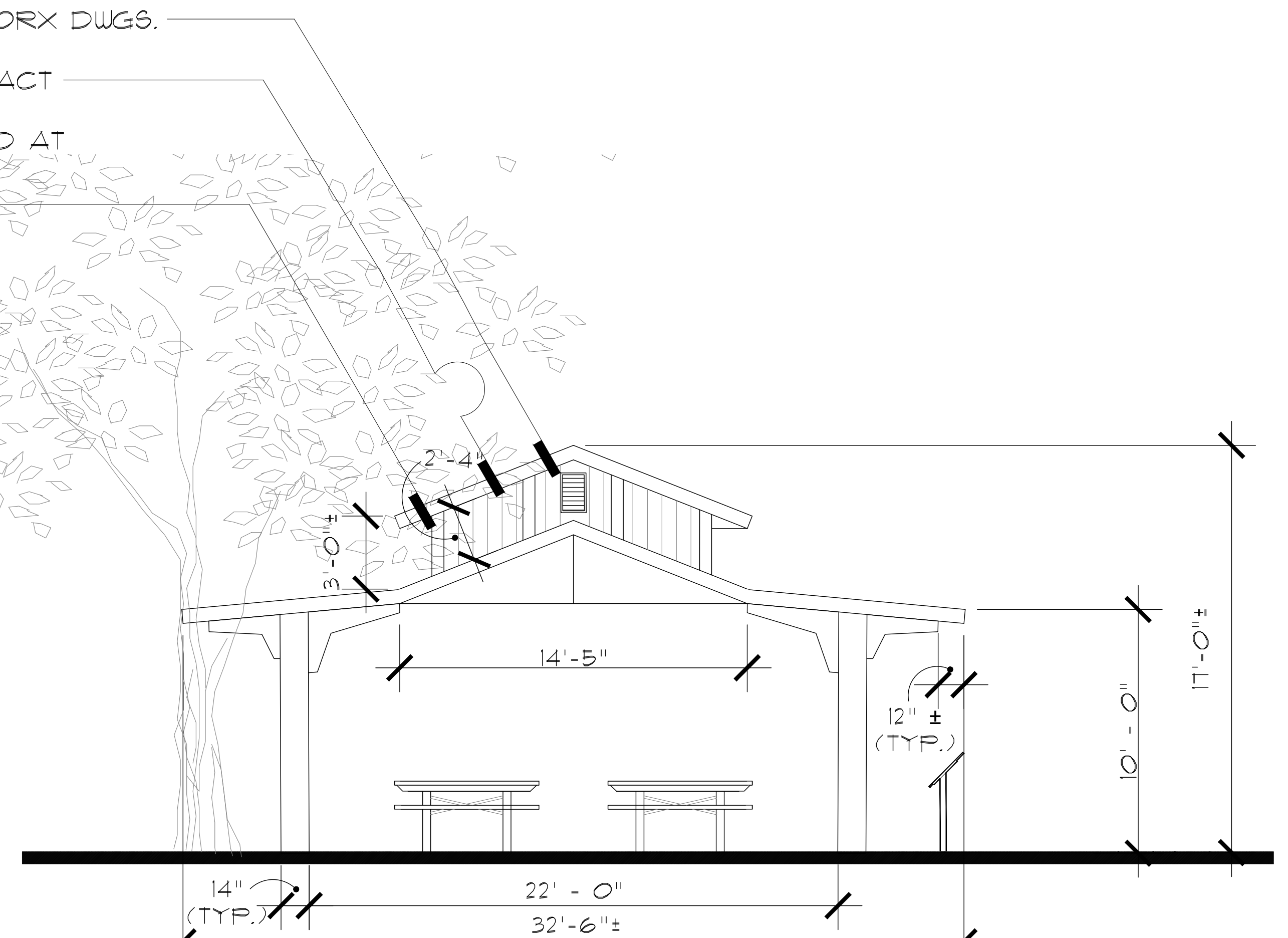
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PRINT DATE: 08-12-2025

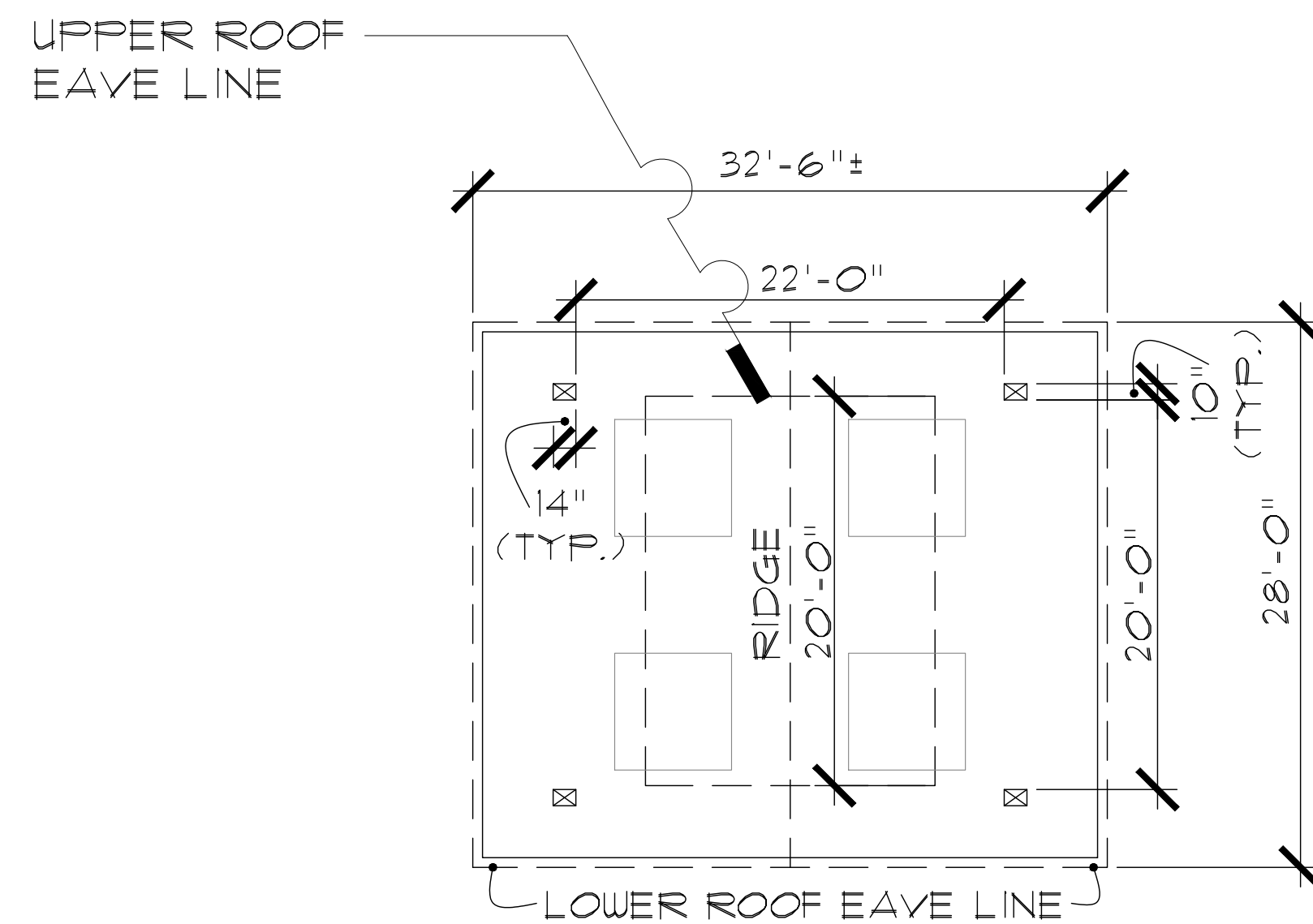
HAP MAGEE PARK, DANVILLE CA



A - A' FRONT ELEVATION - EAST

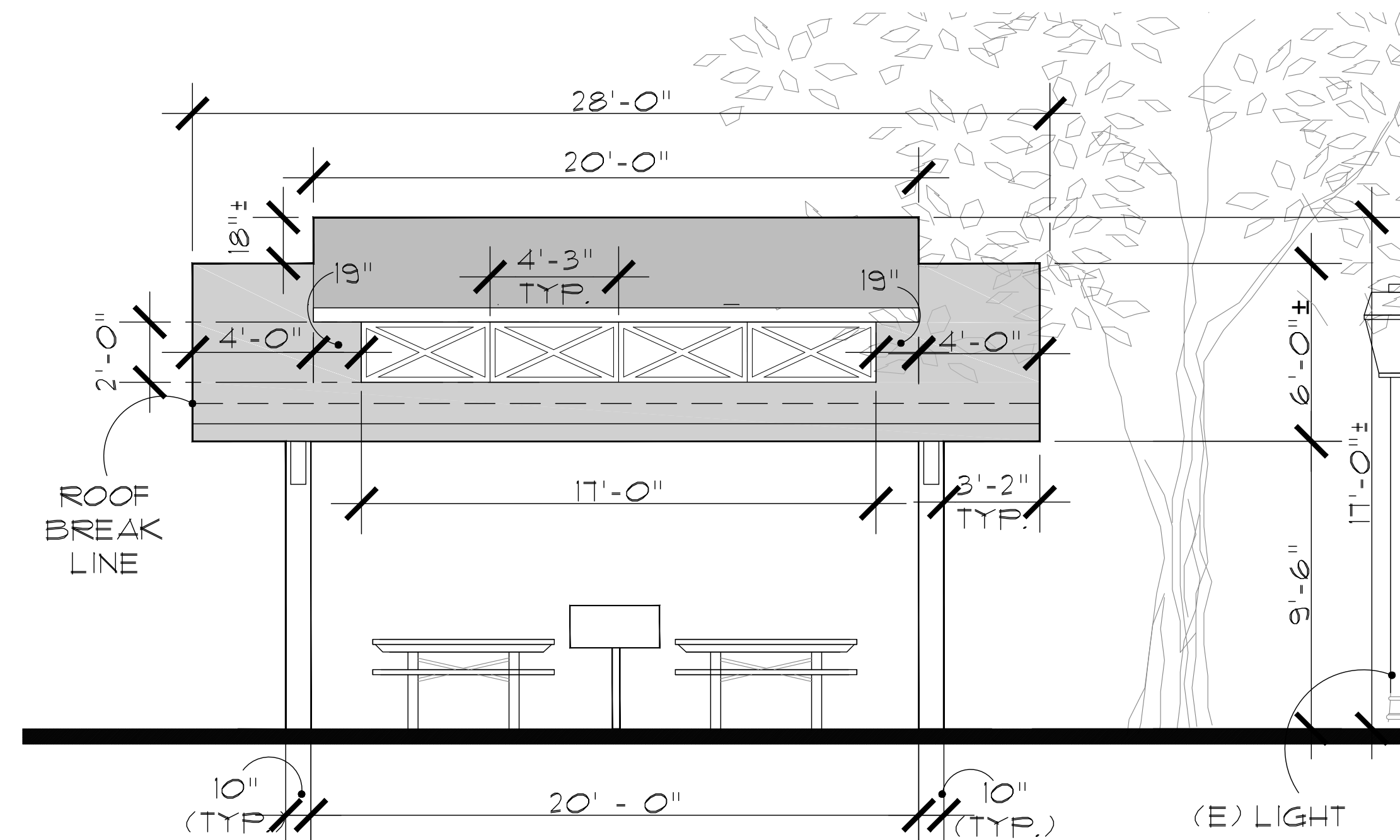


B - B' REAR ELEVATION - WEST

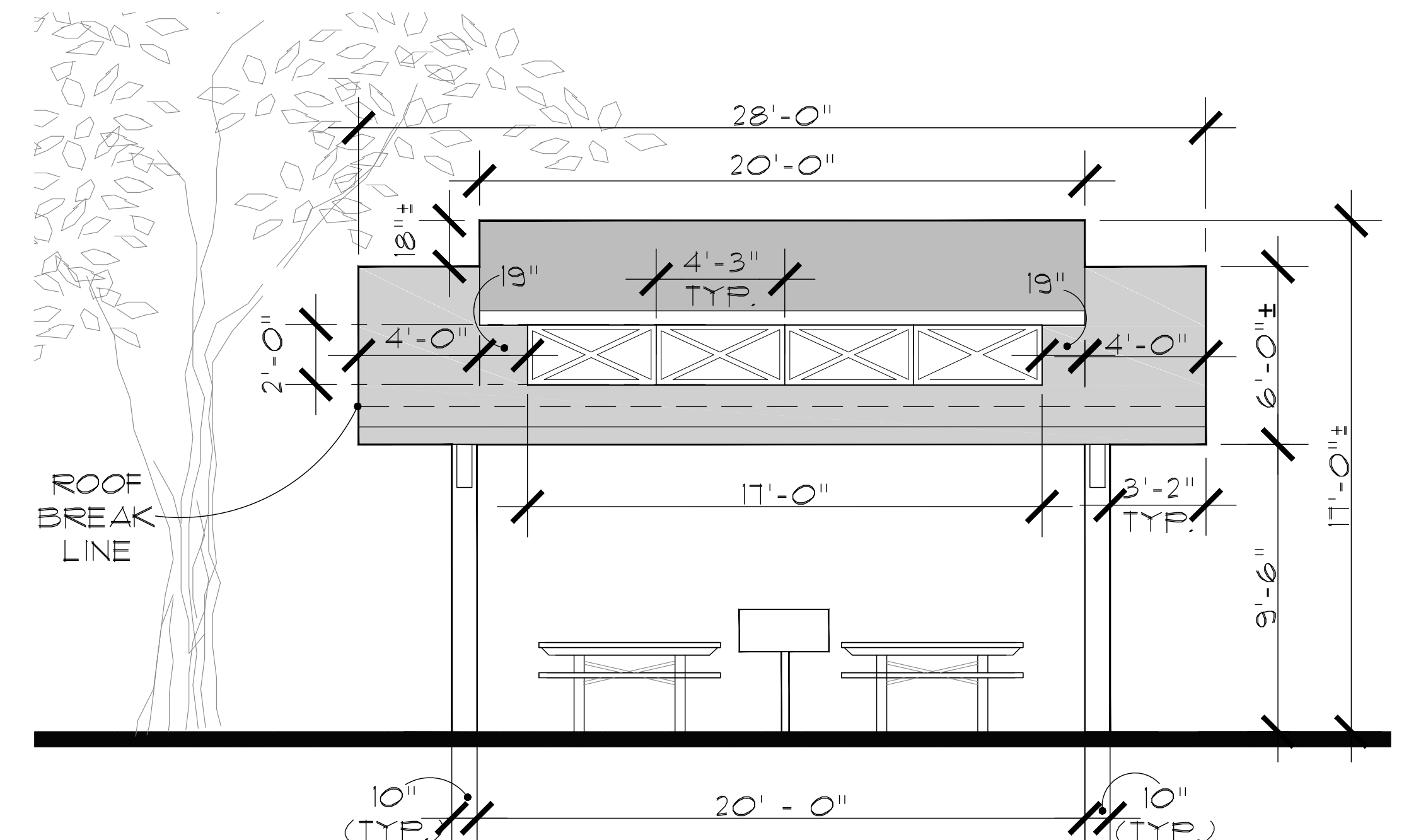


PLAN VIEW

SCALE: 1/8"=1'-0"



SIDE ELEVATION C - C' - SOUTH



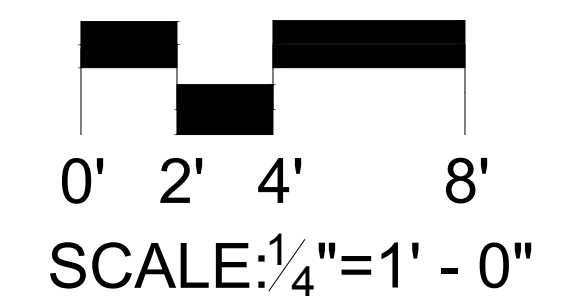
SIDE ELEVATION D - D' - NORTH



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ADVISORY COUNCIL

HAP MAGEE PARK
SHADE STRUCTURE PLAN & ELEVATIONS
ALAMO CALIFORNIA

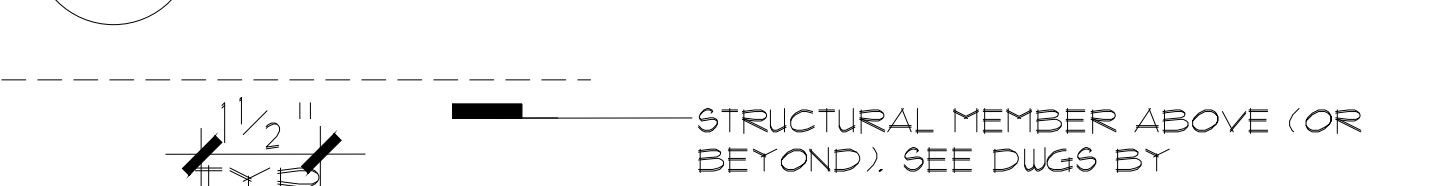
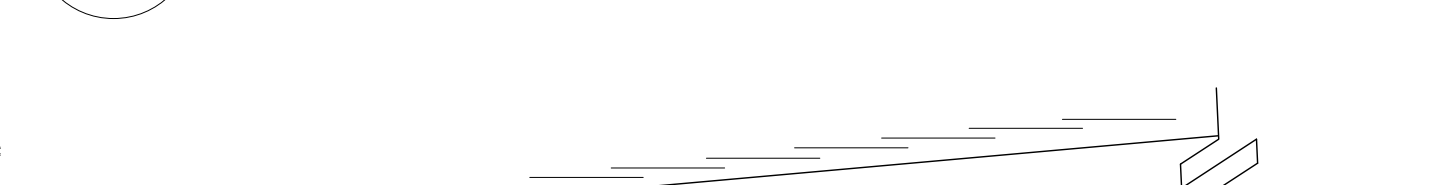
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HAP MAGEE PARK, DANVILLE CA



ALAMO

HAP MAGEE PARK CONSTRUCTION DETAILS

CALIFORNIA

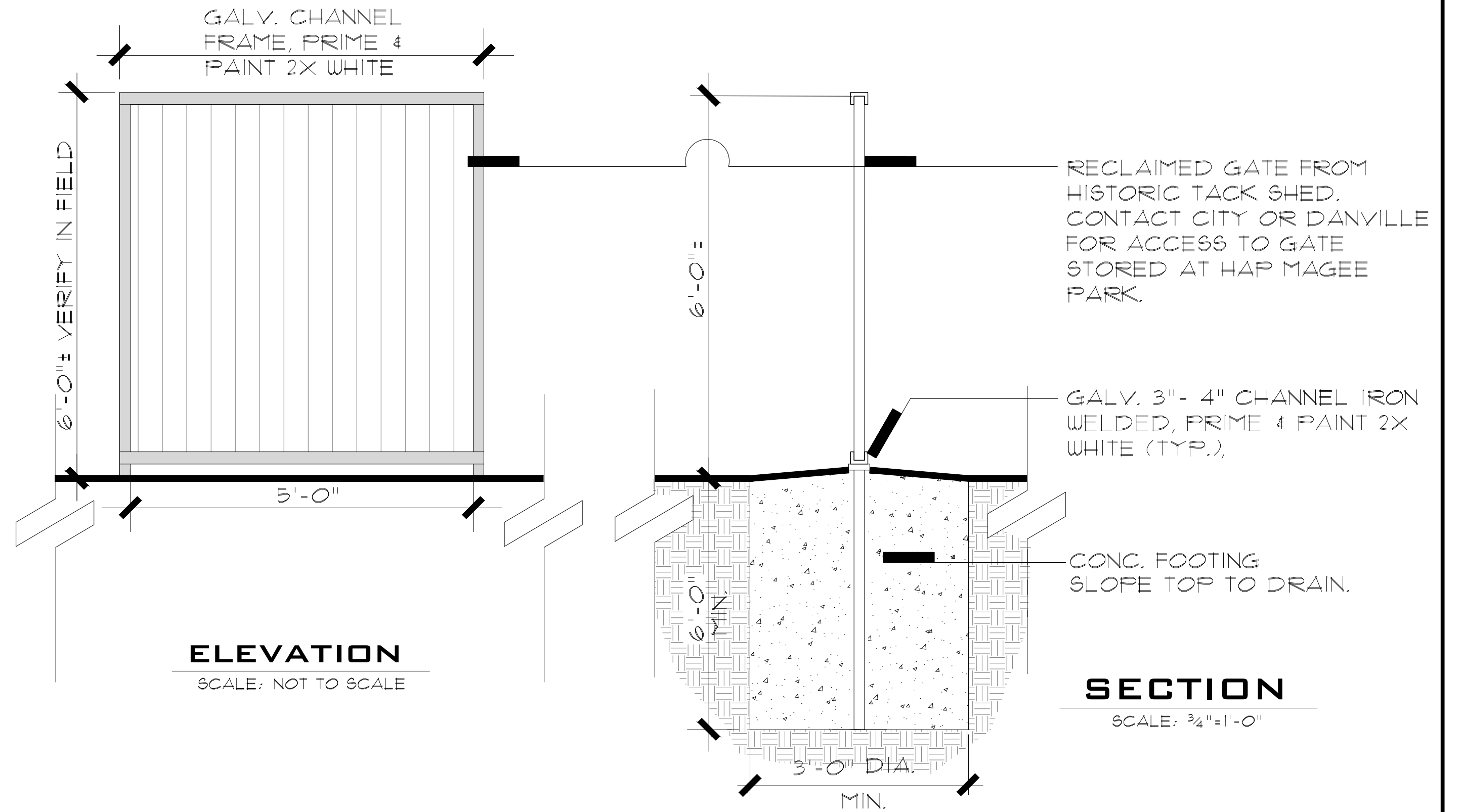
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OF 8 SHEETS

PRINT DATE: 08-12-2025



1 BACKDROP DETAIL
SCALE: 3/4"=1'-0"

02.17 WOOD ATTACHMENT



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HAP MAGEE PARK
SITE IMAGES

CALIFORNIA

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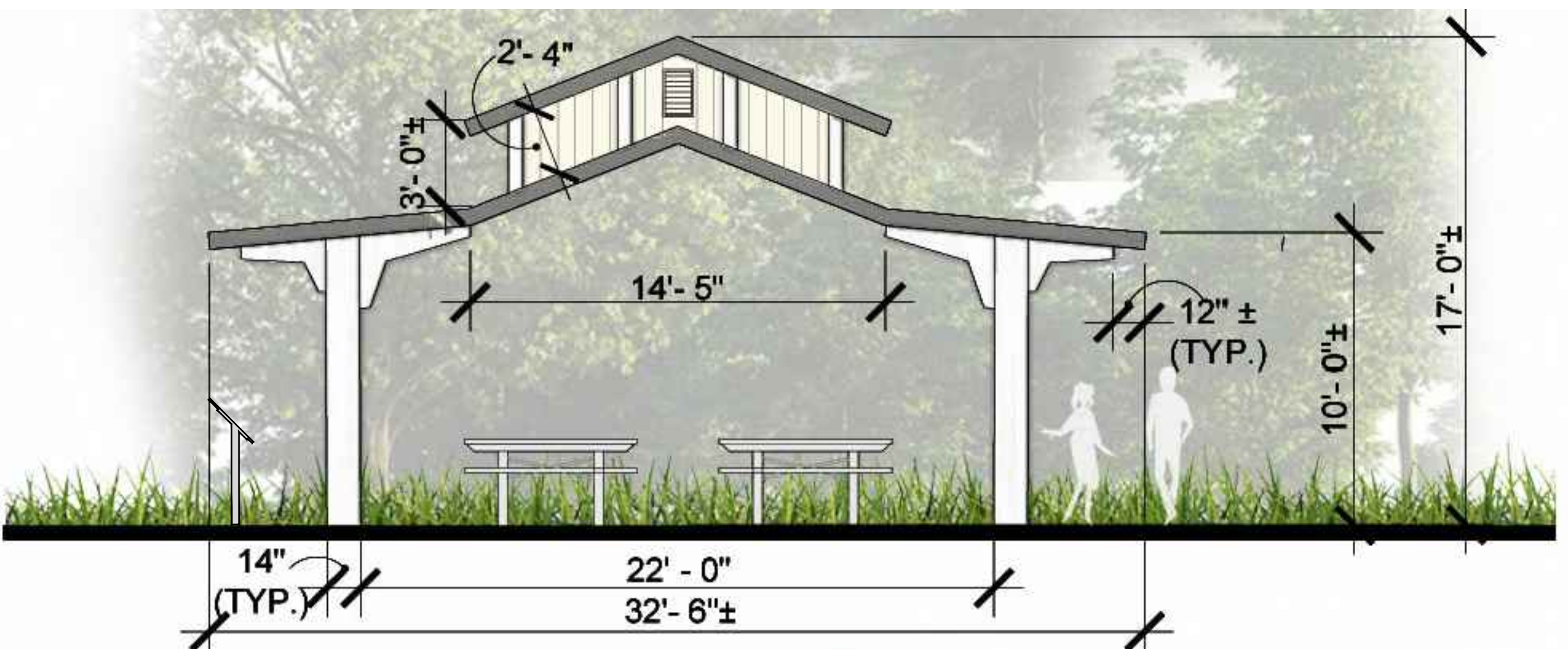
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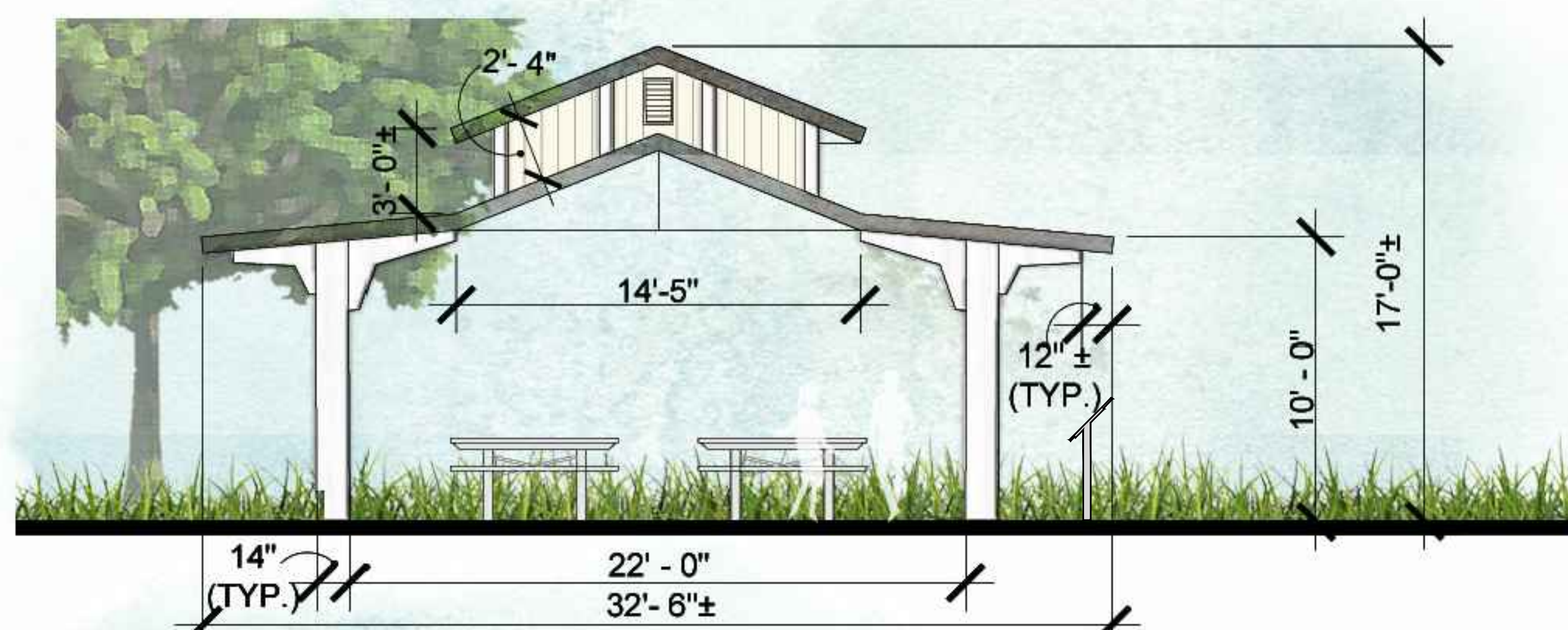
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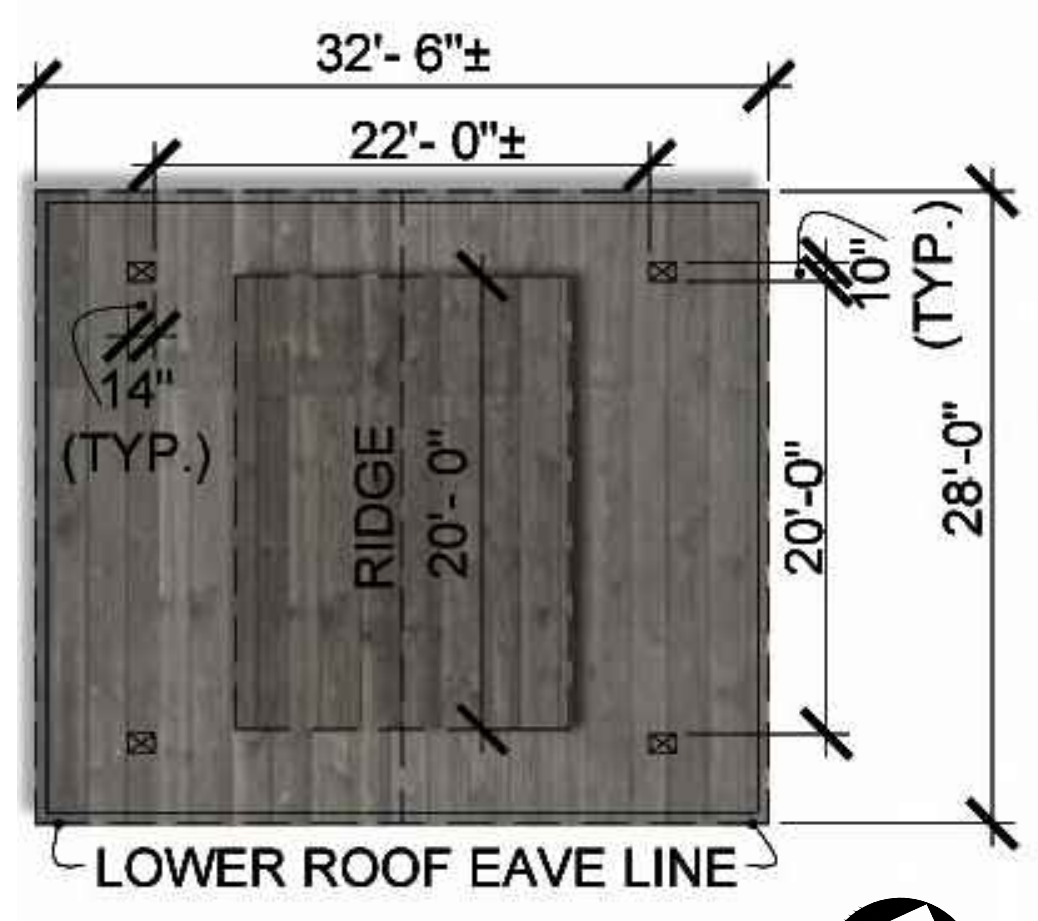
HAP MAGEE PARK, DANVILLE CA



FRONT ELEVATION - EAST

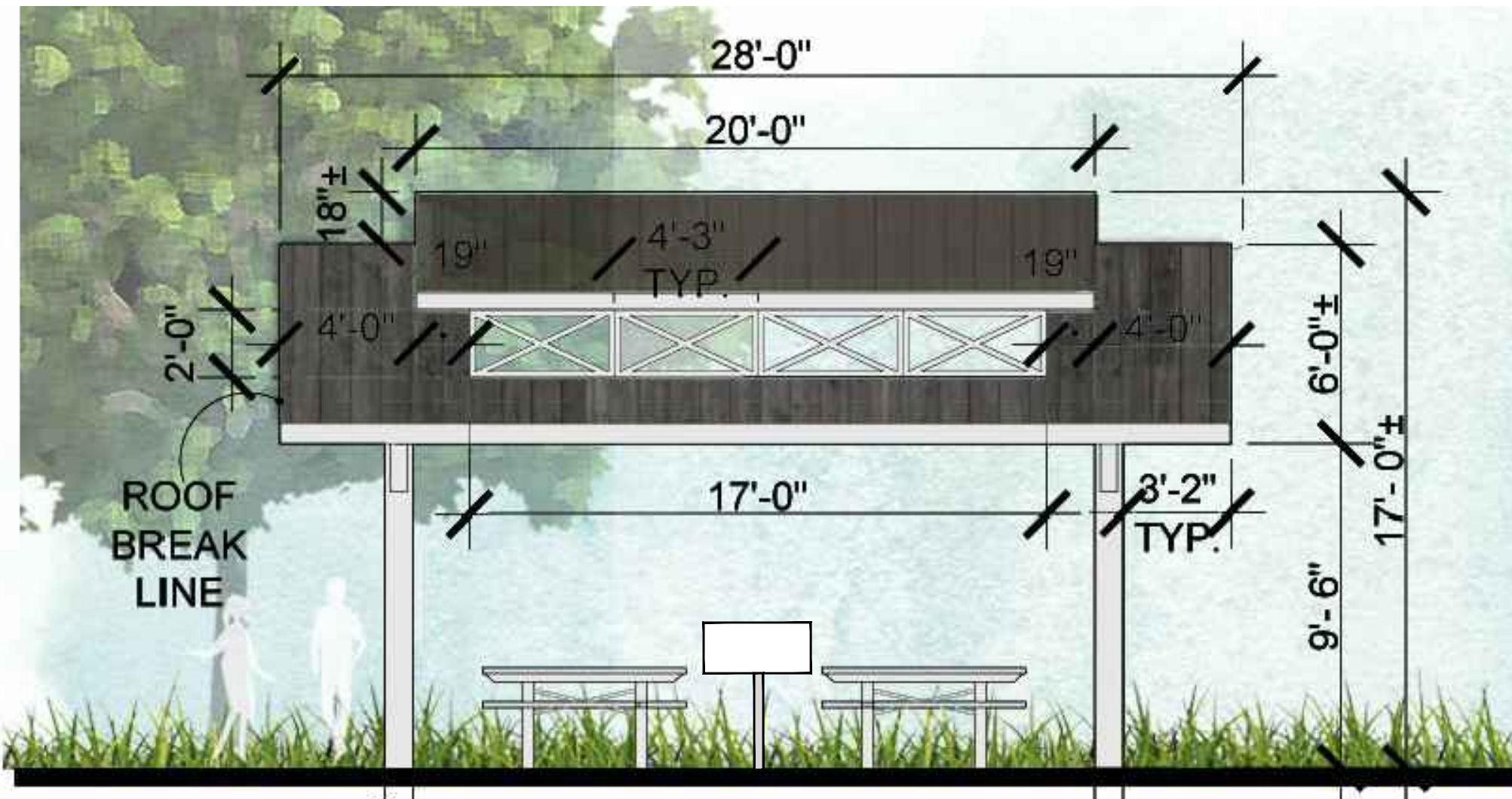


REAR ELEVATION - WEST

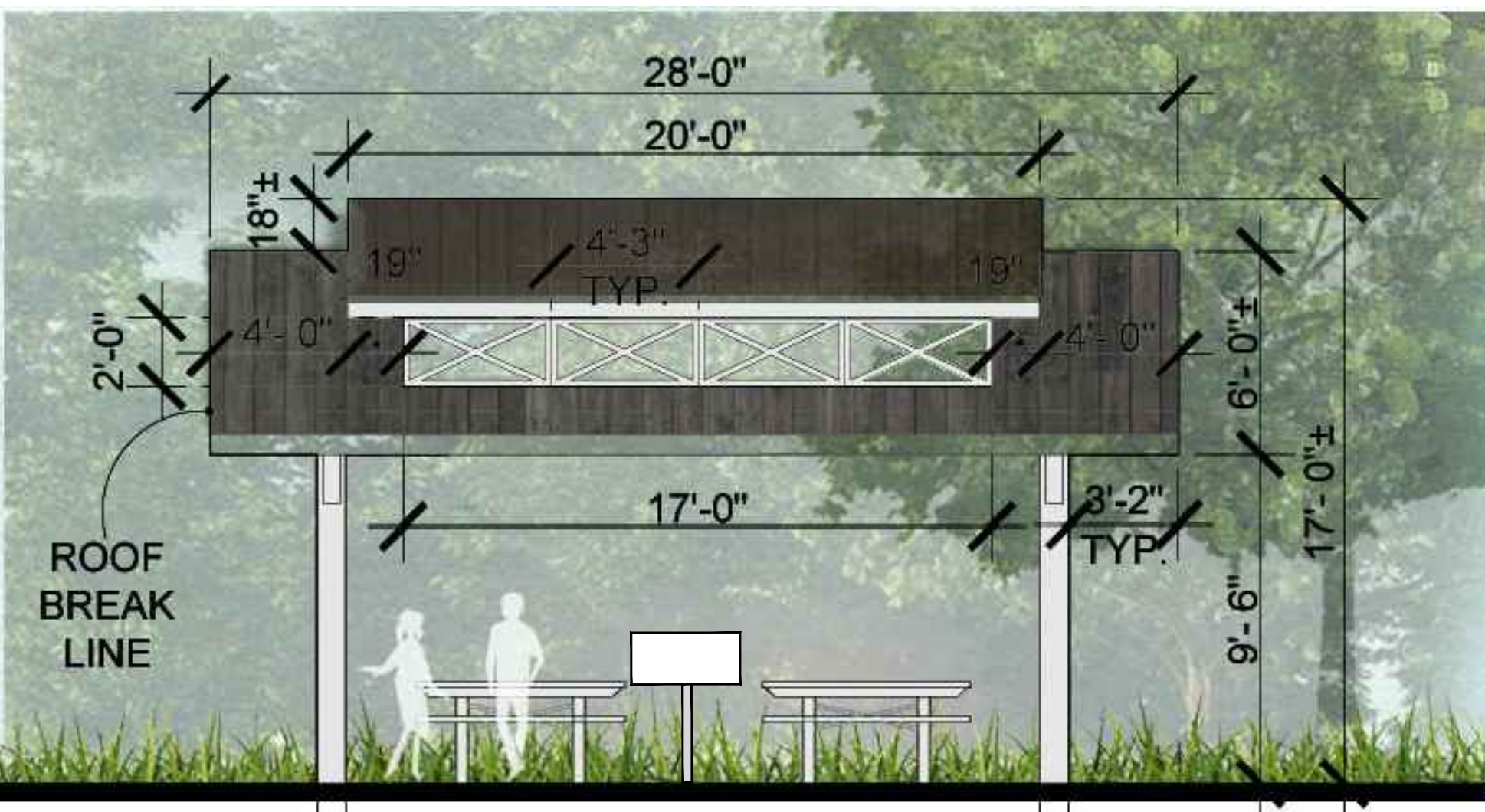


PLAN VIEW

SCALE: 1/8"=1'-0"



SIDE ELEVATION - SOUTH



SIDE ELEVATION - NORTH

POTENTIAL ACTIVITIES

- PICNIC USE
- WEDDINGS / CEREMONIES
- FARM TO TABLE DEMONSTRATIONS
- OUTDOOR CLASSES
- EXHIBITS & LECTURES
- HAP MAGEE FARMER'S MARKET
- CREEK INTERPRETIVE EVENTS



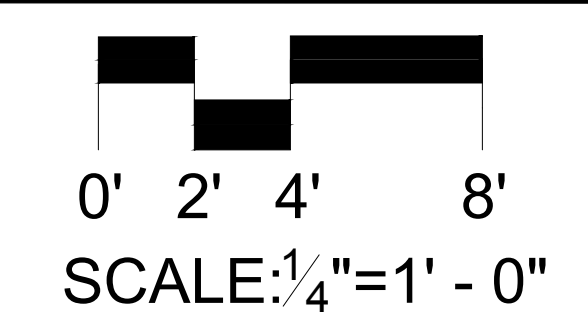
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HAP MAGEE PARK RENDERINGS

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PRINT DATE: 08-12-2025

HAP MAGEE PARK, DANVILLE CA

Model: Custom Double Pitch Gable Shelter, 33' x 28'
Model # GA-3328-SW-DP-VT-TG-C

Manufacturing Mission: To provide all prefabricated components and installation instructions for a free standing bolt together, tubular steel constructed shelter kit.

Design Criteria: Structure shall be designed to meet site specific snow and wind load design criteria using most current applicable building codes. All structural members are ASTM A-500 U.S. grade B steel. Welded connection plates shall be ASTM A-36 hot rolled steel. All fabrication performed to latest AISC standards by AWS Certified welders. All framing connections are done using A325 grade bolts within concealed access openings from above and will later be concealed by the roofing. All roof framing shall be flush against the roof decking to eliminate the possibility of bird nesting.

Tubular Steel Columns and Beams: Standard column dimension shall be 10" x 6" x 3/16" tubular steel welded to 5/8" base plates for surface mounting. Main support beams are 10" x 6" x 3/16" and 8" x 6" x 3/16" with purlins at 8" x 4" x 3/16". Steel sizes are preliminary and may change due to ongoing review and final engineering.

Roof Deck: 2" x 6" (nominal) #1 Grade, end matched, single tongue and groove with V-joint bottom face, kiln-dried to an average of 15% moisture content, Southern Yellow Pine. #30 roofing felt included.

Roofing: 24 Ga. pre-cut steel Multi-Rib panels with Kynar 500 finish in a variety of colors with white underside. Roof slope is a 2:12 pitch combined with a 6:12 pitch with an eave height of 9'-0". Attached to structural frame with exposed screws painted to match roof color. Matching 24 Ga. trim included.

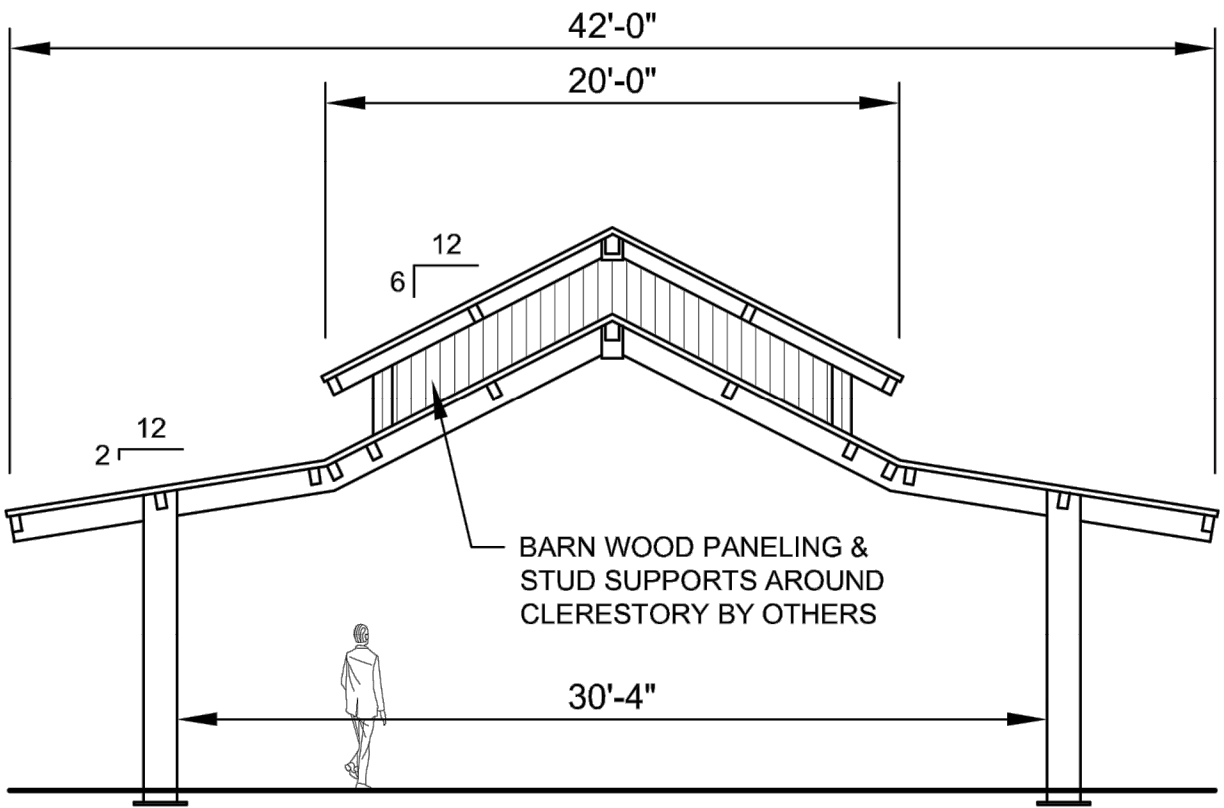
Frame Finish: All steel framework will receive a corrosion protective TGIC Polyester powder coat, electro-statically applied and cured at 400°F. A large selection of standard colors are available.

Foundation: All columns need to be anchored to concrete footings. Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost.

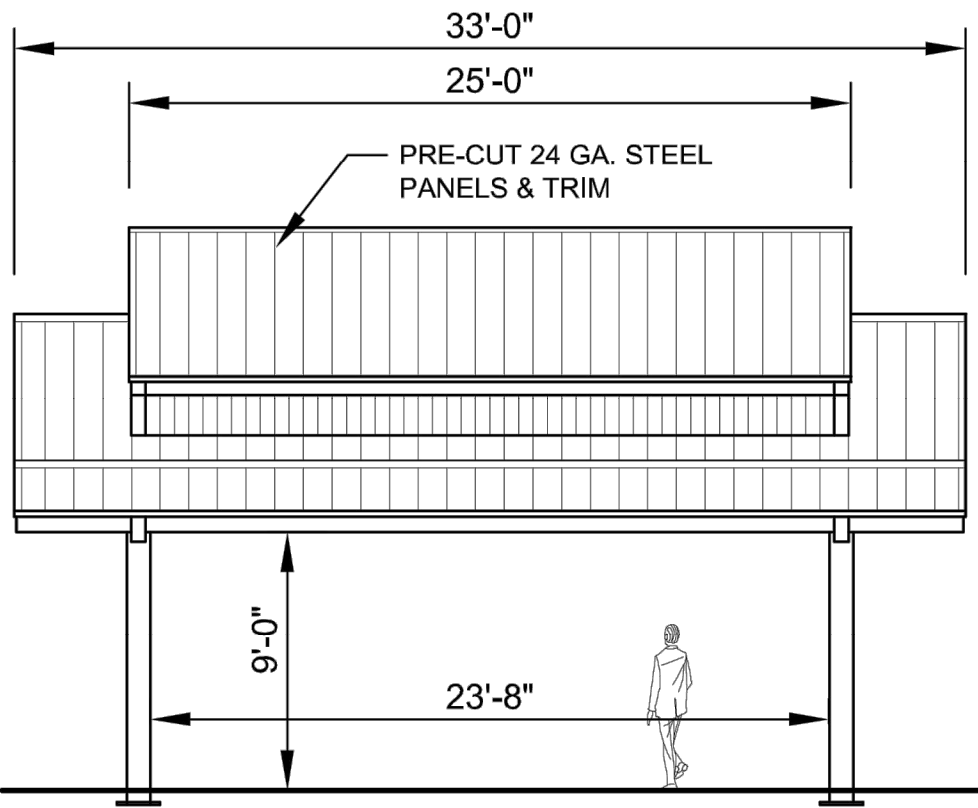
Hardware: All structural hardware and roofing fasteners shall be provided.

Warranty: 10 years against manufacturer defects.

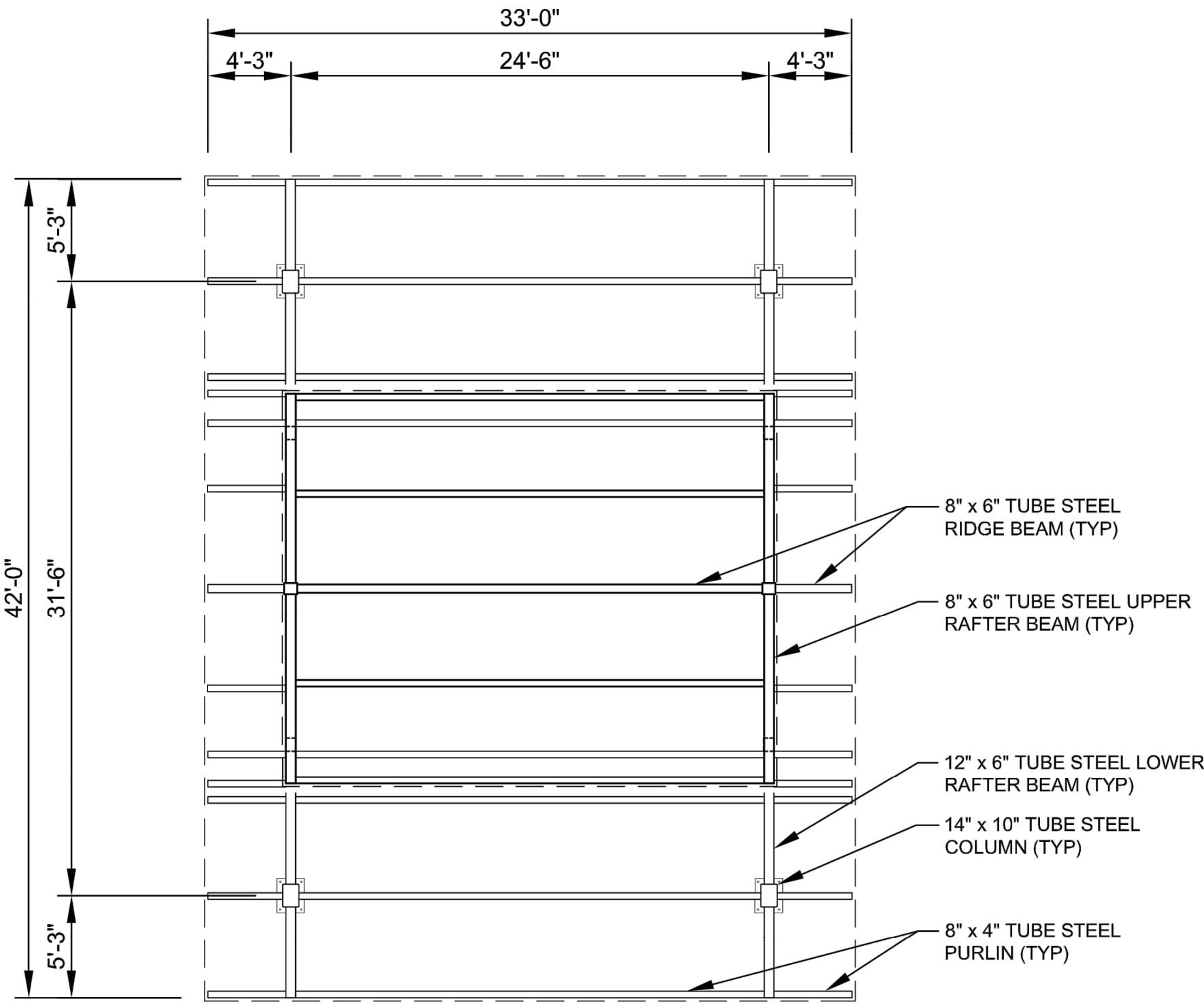
Not Included: Concrete work of any kind, unloading of product and installation.



FRONT ELEVATION
SCALE: NTS



SIDE ELEVATION
SCALE: NTS



FRAMING PLAN
SCALE: NTS



11800 East 9 Mile Road
Warren, MI 48089
Office: (586) 486-1088
Fax: (586) 754-9130
Toll Free: (800) 657-6118
Email: info@coverworx.net
www.Coverworx.com

Custom Double Pitch Gable Shelter - 33' x 28'
Model: GA-3328-SW-DP-VT-TG-C
DESIGN SPECIFICATIONS



11800 East 9 Mile Road
Warren, MI 48089
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Fax: (586) 754-9130
Toll Free: (800) 657-6118
Email: info@coverworx.net
www.Coverworx.com

Custom Double Pitch Gable Shelter - 42' x 33'
Model: GA-4233-SW-DP-VT-C
DESIGN SPECIFICATIONS



PREPARED BY THE ALAMO MUNICIPAL
ADVISORY COUNCIL

ALAMO

HAP MAGEE PARK
COVERWORX DRAWINGS

CALIFORNIA

| DATE | | |
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OF 8 SHEETS

PRINT DATE: 08-12-2025



Phone: (586) 486-1088
Fax: (586) 754-9130
info@coverworx.net

COVERWORX QUOTE

Preliminary pricing subject to revision based on final engineering and/or unforeseen material surcharges

CUSTOMER:
Project: **Hap Magee Park**
Location: **Danville CA**
Attention:
Phone:
Email:
NOTE Providing pricing for OUR VERSION of specified model only. Per our specs.

Quote #: **021723-5**
Quote Date: **June 5, 2025**
Estimator: **Craig Saylor**
craigs@coverworx.net
www.Coverworx.com
Expiration: **45 Days from Quote Date**

| Quantity | Model Number | Description | Unit Price | Extended Price |
|----------|---------------|--|------------|----------------|
| 1 | GA-3328-SW-DP | Custom DUO PITCH Gable, 33'x28', per our specifications only, 4 Posts design, w/ 9' Eave, Polyester Powder Coated FRAME ONLY | 49,779.00 | 49,779.00 |
| | | Barnwood w/ Studding around clerstory by others | | - |
| 1 | TG | add for 2x6 T&G Decking underlayment upgrade | 13,875.00 | 13,875.00 |
| 1 | MR | add for 24 ga MultiRib Roofing Overlasy | 6,575.00 | 6,575.00 |
| 1 | E | add for CA Eng Seals, Footings and Calcs | 850.00 | 850.00 |
| | | | | - |
| 1 | | ESTIMATED SHIPPING RATE | | 5,850.00 |

Quote Total **\$76,929.00**

Comments:
-Price is for prefabricated product only, unloading and installation by others.
-Please allow 20 weeks delivery after design drawing approvals. Subject to Covid19 Delays
-Terms are 50% down balancebefore shipment unapproved.
-VISA/Mastercard Accepted add +4% to total.

Price Includes all Hardware? ☒ YES
Includes Electrical Access? ☒ YES
☐

Thank you for chosing Americas #1 Shelter Choice!



PREPARED BY THE:
ALAMO MUNICIPAL ADVISORY COUNCIL
CONTRA COSTA COUNTY, CA

COST ESTIMATE 5-13-25
HAP MAGEE PARK - DANVILLE, CA
BASED ON PROGRESS CONSTRUCTION DRAWINGS DATED 5-13-25

| ITEM | QTY. | UNIT | PRICE | TOTAL |
|---|------|------------------|--------------|---------------|
| 1. STRUCTURAL ENGINEER (FOR CONC. FOOTINGS) | 1 | L.S. | \$3,000.00 | \$ 3,000.00 |
| 2. MOBILIZATION | 1 | L.S. | \$10,000.00 | \$ 10,000.00 |
| 3. DEMOLITION & OFF HAUL (LAWN & SUBGRADE) | 1 | L.S. | \$10,000.00 | \$ 10,000.00 |
| 4. RELOCATED (3) IRRIGATION HEADS | 1 | L.S. | \$500.00 | \$ 500.00 |
| 5. SECRUITY FENCING (6 MONTHS) | 1 | EA | \$8,000.00 | \$ 8,000.00 |
| 6. PAVILION STRUCTURE COVERWORX (INITIAL QUOTE DATE: FEB 17, 2023) = \$84,430 | 1 | L.S. (PROJECTED) | | \$ 90,000.00 |
| 7. CONSTRUCT PAVILION | 1 | L.S. | \$125,000.00 | \$ 90,000.00 |
| 8. HISTORY SIGNAGE | 1 | L.S. | \$3,000.00 | \$ 3,000.00 |
| SUB TOTAL | | | | \$ 214,500.00 |
| 9. 5% CONTINGENCY | 1 | L.S. | \$14,977.00 | \$ 13,755.00 |
| GRAND TOTAL | | | | \$ 228,255.00 |

1/2 ALAMO: \$ 114,127.50
1/2 DANVILLE: \$ 114,127.50

| | | | | | |
|---|-------|------|------------|-------|--------------|
| BID ALTERNATE 'A': | | | | | |
| CONCRETE PAVING (TAMPED, CLEAN GRADE) | 1,031 | S.F. | \$18.00 | /S.F. | \$ 18,558.00 |
| BID ALTERNATE 'B': | | | | | |
| 2 EACH; POST MOUNTED 110V GFCI'S W/ LOCKABLE COVERS | 1 | L.S. | \$4,000.00 | /L.S. | \$ 4,000.00 |



PREPARED BY THE ALAMO MUNICIPAL
ADVISORY COUNCIL

ALAMO

HAP MAGEE PARK
COST ESTIMATES

CALIFORNIA

| DATE | | |
|-----------|-----------|------|
| 8-12-2025 | | |
| NO. | REVISIONS | DATE |
| | | |
| | | |
| | | |

SHEET

C-2

OF 8 SHEETS

PRINT DATE: 08-12-2025

HAP MAGEE PARK, DANVILLE CA