



AGENDA

CONTRA COSTA COUNTY North Richmond Municipal Advisory Council

Tuesday, November 5, 2024

5:00 PM

515 Silver Ave, North Richmond |
<https://cccounty-us.zoom.us/j/810469011>

64

North Richmond Municipal Advisory Council Meeting Canceled

Agenda Items: Items may be taken out of order based on the business of the day and preference of the Committee

1. Roll Call and Introductions
2. REVIEW and APPROVE November Agenda and October Minutes
NRMAC October 1, 2024 Minutes [24-3753](#)
Attachments: [10-1-24NRMACNotes](#)
3. Public Comment
4. Law Enforcement Agency Reports
5. Items for Discussion and/or Action
 - a. Renewable Properties Permit Application (CDDP24-03038) [24-3754](#)
Attachments: [Permit Application \(CDDP24-03038\)](#)
[RPCA EV Goodrick North Richmond MAC Meeting Presentation 241025](#)
6. Presentations and Proclamations
 - a. CCC Public Works Updates on Street Lighting [24-3755](#)
7. Other Agency/Program Reports

The next meeting is currently scheduled for Tuesday, December 3, 2024

Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at _____, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact:



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-3753

Agenda Date: 11/5/2024

Agenda #:

NORTH RICHMOND MUNICIPAL ADVISORY COUNCIL

October 1, 2024

5:00 p.m. - 7:00 p.m.

515 Silver Street

N. Richmond CA 94801

MINUTES

Meetings are conducted in person at the Corrine Sain Senior/Family Community Center, 515 Silver Street. N. Richmond, CA 94801. The meeting is also available on ZOOM.

CALL TO ORDER/ROLL CALL

The meeting was called to order at 5:06 p.m. Board members present: Princess Robinson, Beverly Scott, and Annie Meredith-King. A quorum was not present until Dulce Galicia joined the meeting. Absent: Jorge Rico Vera, and Glory Lopez.

APPROVAL OF AGENDA/MINUTES

After a quorum was present, the agenda was reviewed, and a motion was set forth to accept the agenda. Beverly motioned to accept and Princess seconded, all were in favor.

After Dulce joined the meeting, the minutes were reviewed, and Annie made corrections to the minutes. On page (2) the minutes read as follows: Annie says that thieves are stealing copper wire from the infrastructure at Davis Chapel Church. It should read: They are stealing copper wire from the light poles.

Annie has another correction: On page (2) it reads as follows: Annie has a comment about the ongoing parking problem at Davis Chapel Church. The congregation members are getting highly upset. Residents are taking up all of the parking spaces, including the ones that are designated for church members' parking.

It should read: Residents are parking in the red zone. The blind spot location is 369 Chesley, off the corner of Truman and Chesley Avenue. Thanks to Officer Sakai the parking problem has been resolved.

Annie motioned to accept the minutes with a statement of correction. Princess motioned, and Beverly seconded. All are in favor; except Annie, who abstained.

PUBLIC COMMENTS

Princess Robinson, New Executive Director/RichmondLand: RichmondLand is a 501C3 Non-Profit Organization. It is the first Community Land Trust in Richmond. Its purpose is to provide pathways for people to collectively obtain property acquisition, and land development around affordable housing. Basically, they are rooted in anti-displacement and community control assets.

Currently, they have two job positions open. The first is for a Community Engagement Manager. The other position is for a Real Estate Manager. They are also looking for four new board members, to support their mission and vision.

Wyatt Patack/Community Gospel Outreach: Wyatt announces their Day at the Park Gospel Outreach. This will be their sixth year hosting this event at Shields Reid Park. The event starts on November the 2nd.

Lunch will be served every day from twelve to one. Sandwiches, chips, and drinks will be served. There will be children's activities and games. There will be a Child Evangelism event and a Fellowship and Fall Pumpkin Prayer event. A lot of gospel outreach and sermons will take place. Members will be out in the community spreading the word.

North Richmond Missionary Baptist Church is the host church, along with about six other churches in CCC. They are also in fellowship with the Bay Area Rescue Mission. You may contact Wyatt at wyattpatack@yahoo.com

Latifah Abdullah, Community Engagement Manager, Urban Tilth Farms: The farm has a job opening for a Social Media Manager who is skilled at storytelling. There is also a job opening for a fund development associate.

On October 19th, a workshop will be held entitled: How To Make Your Own Salve. They will be using flowers, herbs, and oils. The time will be from 10:00 a.m. to 12:30 p.m. You may call Latifah at (510) 232-0911.

The Extended Learning Program will be doing an after-school event at the farm.

There will be outdoor games and arts and crafts. This will take place every Wednesday, starting October 23rd, at 3:30 p.m. - 5:00 p.m. The age will be from Pre-K through 5th graders. She invites people to come out, do a tour, or volunteer.

PUBLIC COMMENT CONTINUED

Tania announces that Jorge will be stepping down from the NRMAC board. There will be an opening on the board. If interested in serving on the NRMAC. send an email to Tania, and she will send you an application.

Beverly presents the Doctor Henry Clark Service Award to Ashley Davidson. She is a community member who supports the NRMAC.

Ashley says that she really appreciates the award. She is new to the community and is doing her best to be involved in the community.

LAW ENFORCEMENT AGENCY REPORTS

Deputy Patrick Webb, CCC Sheriff's Department: Reporting for the month of September 2024. There were 270 calls for service. Eleven turned into police reports. The reports consisted of burglary, theft, and vandalism. One select crime was reported, compared to 12 to 14 in previous months.

ITEMS FOR DISCUSSION AND/OR ACTION

Bacilla Macias/Architecture: She is representing a client, for a proposed duplex located on the corner of 4th and Silver.

The structure will be two stories, upper and lower units. A total of three new housing units. Part of the project is providing an ADU in the rear of the property. There will be two off-street parking spaces.

Laticia asks about parking on the streets, instead of on the property. She says that street parking in the community is out of control. Bacilla says there will be garage parking and two parking spaces will be at the front of the property.

Beverly asked Bacilla if she was seeking a recommendation of support/approval from the NRMAC. The answer is yes. Beverly put forth a motion to approve the project. Princess second, all are in favor, Annie abstains.

OTHER AGENCY/PROGRAM REPORTS

Tony Ucciferri, Deputy Executive Director/HACCC: Still working to get the below-market/scattered site purchasers into escrow. Three of the four buyers are ready to get into escrow and close. Waiting for RichmondLand to comply.

In the future will be focusing 100% on the market rate units, as well as getting the RFP for the main campus released. As soon as they have a better understanding of what that schedule will look like, they will send out an email to all the people who requested that they be notified when the RFP gets ready to be released. Will be alerting them to the fact that it is coming.

It's going to be roughly a 90 to 120-day application process. While that is happening, will be engaging with the selection panel. Will be making sure that everybody is up to speed with the rating criteria, and making sure that everybody is familiar with the process.

Hopefully to have a developer or multiple developers selected, fairly soon after the application process is closed. Will be sure to keep the NRMAC involved and updated as they know more. Will make sure that the community is aware, when there are going to be meetings with the newly selected developers.

Will start talking about what the developer's plans are, and getting input on what kind of amenities the community would like to see in the replacement units. Any type of suggested plans the community has. All of that will be discussed in the engagement meetings.

Janine Shaheed, Community Engagement Manager/Corrine Sain Senior-Community Family Center: Had a presentation by Urban Tilth Farm. They have these boxes called medicine boxes. If you need help in healing - these medicine boxes will be of great help. Special boxes are being made just for the seniors.

The ambassadors from Urban Tilth Farm have agreed to maintain Mother Moore's Prayer Garden. The relationship with Urban Tilth Farm is growing. They are developing a new program called Sitting With the Seniors. They will be bringing gardening inside the center.

OTHER AGENCY/ PROGRAM REPORTS CONTINUED

The seniors will start to plant and grow seedlings in planter pots. They also had a great discussion about a possible greenhouse building. Annie says that Mother Moore is a vegetarian.

Seeking donations of candy for the Halloween Candy Giveaway.

Kalu Dennis, Community Service Coordinator/CHDC - Mitigation Fee Funded: Money has been secured to update the kitchen at the senior citizen building. A new stove, refrigerator, and sink will be installed. These new appliances will enhance the program.

Volunteers are coming out tomorrow to work the garden at the center. New planter boxes will be filled up with plants or seeds.

The resource center had about (195) residents visit the program last month. In the process of securing monies for the Clean Slate Program.

The N. Richmond Green Letter is out in the community. The Willie Spears Cleanup will be on October 19th. Six dumpsters will be set up throughout the community. They will be accepting (20) tires per resident. Some sites will be accepting metal. The main site at Shields Reid will accept tires and metal.

The N. Richmond Green Newsletter has a barcode that you can scan, with directions and info about dumping. Developing a resource sheet, for how to get help, in case of emergencies and other useful information.

Jan says to come and see her for the disposable dump vouchers. Twenty-four disposable vouchers worth \$120.00 will be available for each N. Richmond resident.

Latifah Abdullah, Community Engagement Manager/Urban Tilth Farms: Construction at the farm is going really well. If you drive by you can see the progress.

The outdoor classrooms are in place. The spear-looking objects that look like sundials are the outdoor classrooms.

OTHER AGENCY/PROGRAM REPORTS CONTINUED

Phase II is looking really good. Items in place are the compost toilet, the nursery, the Watershed workshop, and the tool shed.

The farm is hiring, two positions are open - a social media manager - looking for someone that is good at storytelling. The other position is for a fund development associate.

Please register to attend the workshop: Make Your Own Salve. After School at the Farm is a new program that will be starting up at the farm.

Trick or Treat, and clean up at Verde School/Wildcat Creek Trail, on October 31st., from two to four p.m. Next month there will be a Community Day at the farm.

The meeting adjourned at 5:41 p.m.

NEXT MEETING

November 5, 2024

5:00 p.m. - 7:00 p.m.

515 Silver Street

N. Richmond, CA 94801



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-3754

Agenda Date: 11/5/2024

Agenda #:



AGENCY COMMENT REQUEST

Date _____

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <p> <input type="checkbox"/> Building Inspection <input type="checkbox"/> Grading Inspection <input type="checkbox"/> Advance Planning <input type="checkbox"/> Housing Programs <input type="checkbox"/> Trans. Planning <input type="checkbox"/> Telecom Planner <input type="checkbox"/> ALUC Staff <input type="checkbox"/> HCP/NCCP Staff <input type="checkbox"/> APC PW Staff <input type="checkbox"/> County Geologist </p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p><input type="checkbox"/> Environmental Health <input type="checkbox"/> Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts) <input type="checkbox"/> Traffic <input type="checkbox"/> Flood Control (Full-size) <input type="checkbox"/> Special Districts </p> <p><u>LOCAL</u></p> <p> <input type="checkbox"/> Fire District _____ <input type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov <input type="checkbox"/> Consolidated – (email) fire@cccfd.org <input type="checkbox"/> East CCC – (email) brodriguez@cccfd.org <input type="checkbox"/> Sanitary District _____ <input type="checkbox"/> Water District _____ <input type="checkbox"/> City of _____ <input type="checkbox"/> School District(s) _____ <input type="checkbox"/> LAFCO <input type="checkbox"/> Reclamation District # _____ <input type="checkbox"/> East Bay Regional Park District <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD <input type="checkbox"/> MAC/TAC _____ <input type="checkbox"/> Improvement/Community Association <input type="checkbox"/> CC Mosquito & Vector Control Dist (email) </p> <p><u>OTHERS/NON-LOCAL</u></p> <p> <input type="checkbox"/> CHRIS (email only: nwic@sonoma.edu) <input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta <input type="checkbox"/> Native American Tribes </p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <p> <input type="checkbox"/> Active Fault Zone (Alquist-Priolo) <input type="checkbox"/> Flood Hazard Area, Panel # _____ <input type="checkbox"/> 60-dBA Noise Control <input type="checkbox"/> CA EPA Hazardous Waste Site High or Very High FHSZ </p> <p style="text-align: center;">*****</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None <input type="checkbox"/> Below <input type="checkbox"/> Attached</p> <p>_____</p> <p>Print Name _____</p> <p>_____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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Planning Application Summary

County File Number: CDDP24-03038

File Date: 9/18/2024

Applicant:

Bacilia Macias Bacilia Macias Architecture
6007 NE Sacramento St
Portland, OR 97213

bacilia@bmarch.net
(510) 691-7910

Property Owner:

FERNANDO TAVIRA
PO BOX 14662
OAKLAND, CA 946142662

fjweldinginc@gmail.com
(510) 798-7913

Project Description:

The applicant requests a development plan to allow for the construction of a new 2152.6 sq ft duplex in an HE-C zoning district. (Concurrent CDSU24-00118)

Project Location: (Address: 0 4TH ST, RICHMOND, CA 94801), (APN: 409171024)

Additional APNs:

General Plan Designation(s): HEC

Zoning District(s): HE-C

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC: North Richmond

Sphere of Influence: Richmond

Fire District: CONSOLIDATED FIRE

Sanitary District: WEST CO WASTEWATER

Housing Inventory Site: Yes

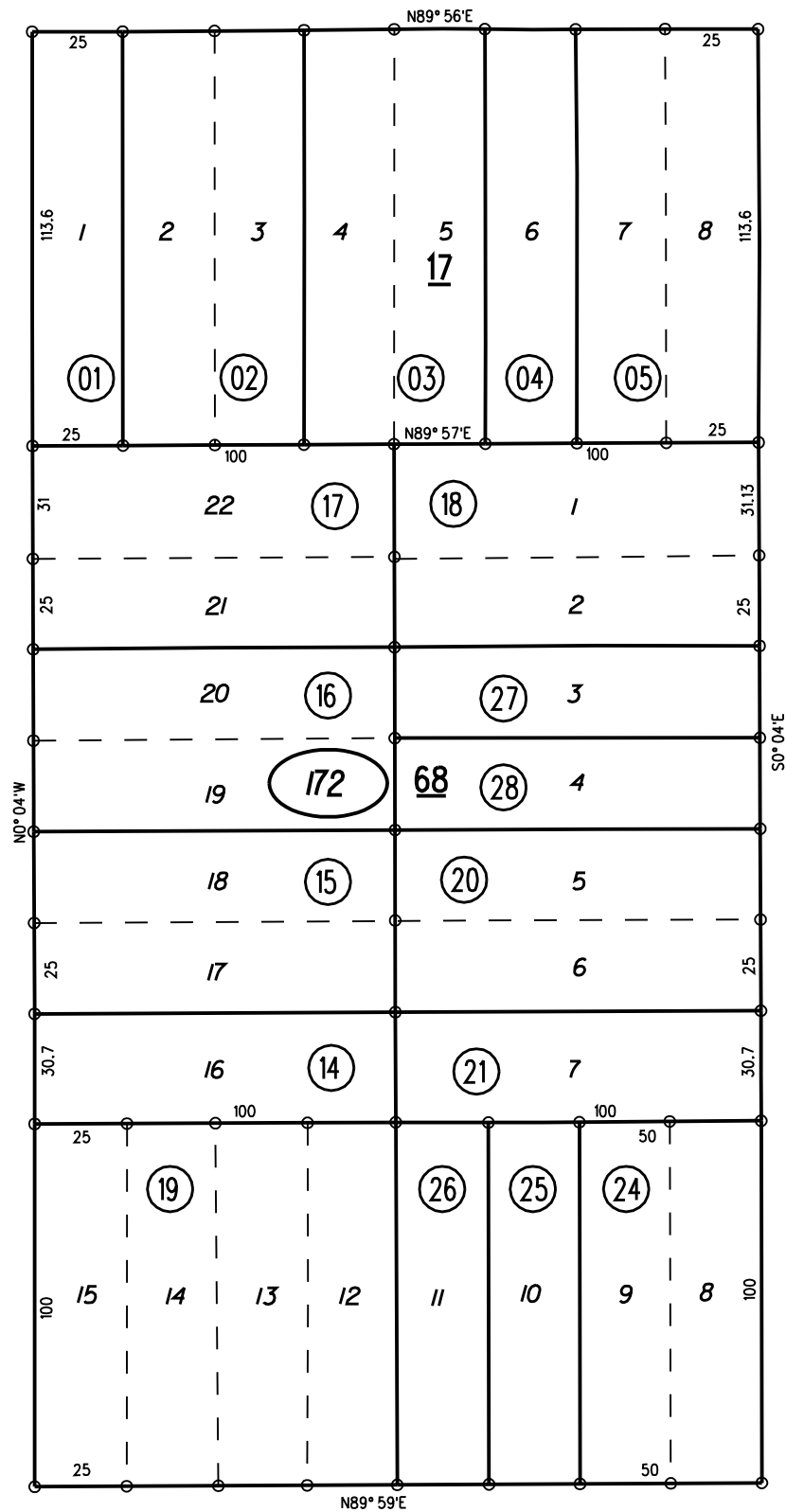
Fees:

Fee Item	Description	Account Code	Total Fee	Paid
DPS0014P	Dev Pln Rvw Multi Family - PW	000651-9660-REV-000-6L0014	2000.00	2000.00
DPS0015	Dev Plan Review- DCD	002606-9660-REV-000-5B0015	5000.00	5000.00
Total:			7000.00	7000.00

A- NORTH RICHMOND LAND & FERRY CO TRACT NO 1 MB 3-59 7/11/1910

B- NORTH RICHMOND LAND & FERRY CO TRACT NO 2 MB 5-124 9/19/1911

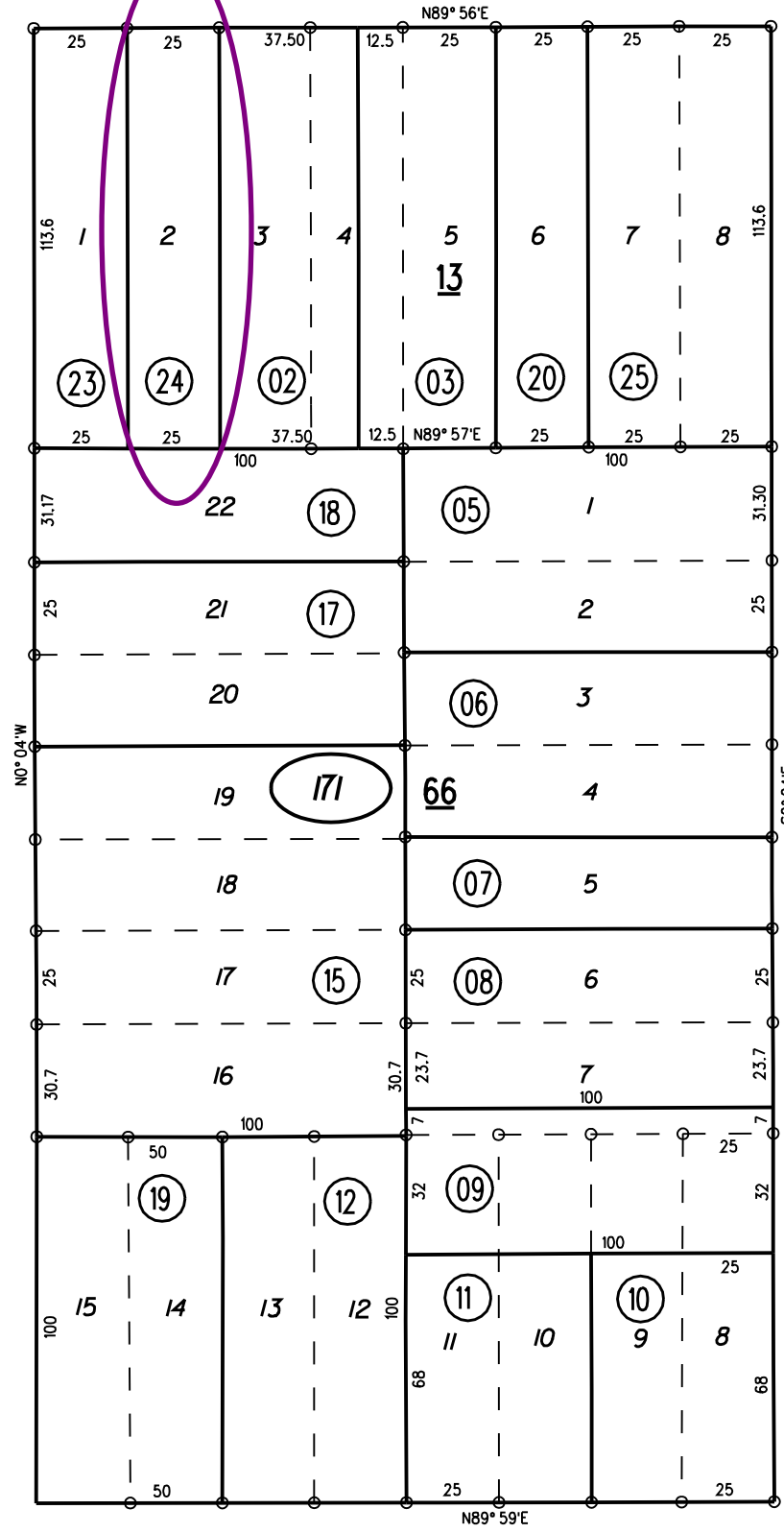
SILVER



16

Project Site

AVE



ST

ST

1"=50'

18

14

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

TRUMAN

4TH.

5TH.

GROVE

AVE

09

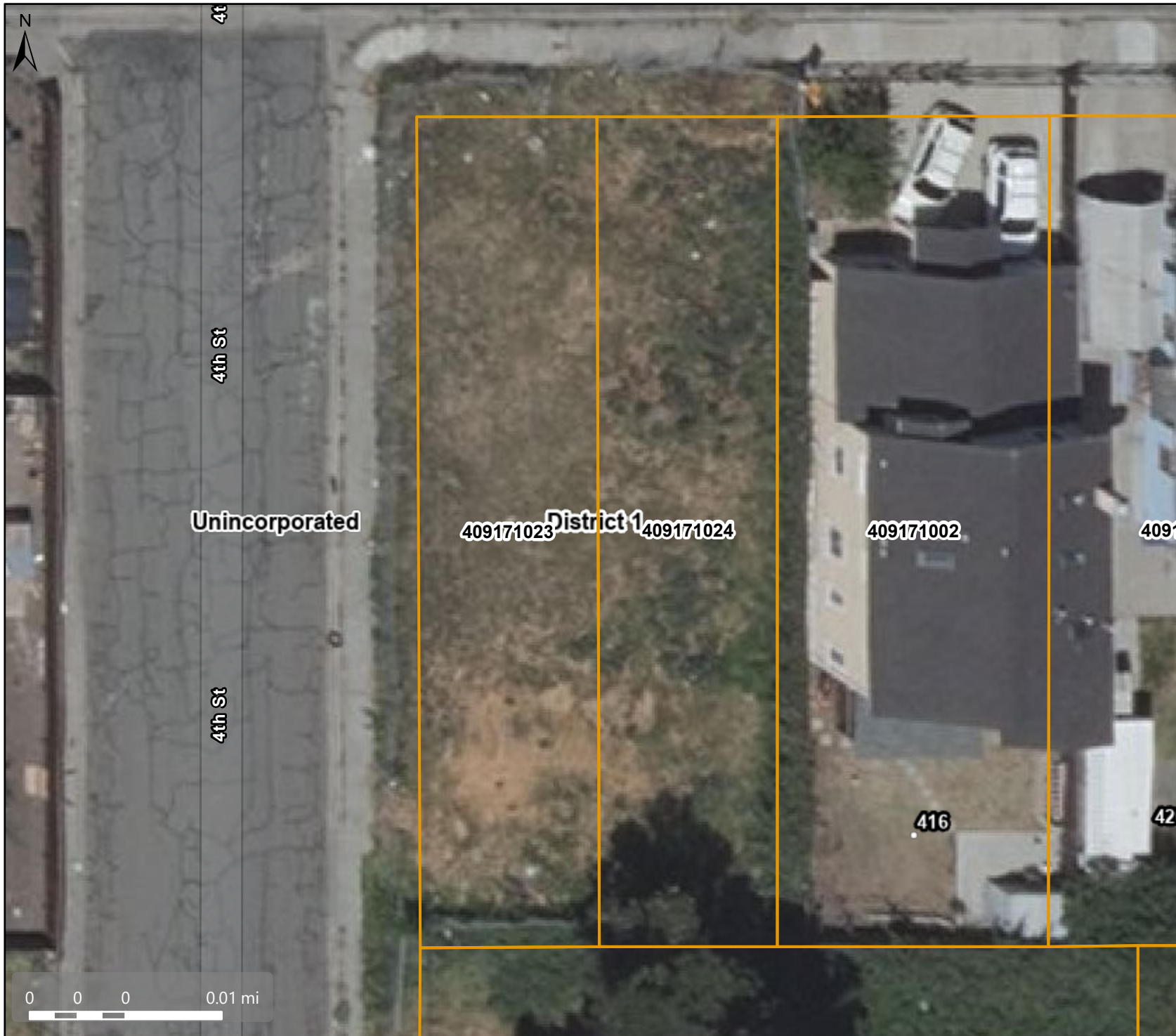
10

171





25
4/12/10

172

28
3/20/07



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  Board of Supervisors' Districts
- Base Data**
-  Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.






THIS MAP IS NOT TO BE USED FOR NAVIGATION.

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Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SH (Single Family Residential - High) 5.0 - 7.2 Units per Net Acre
-  HEC (Housing Element Consistency) see Zoning table for density
-  Unincorporated Board of Supervisors' Districts
- Base Data**
-  Address Points



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 Datum: WGS 1984



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE_OVER**
-  P-1 (Planned Unit)
-  HE-C (Housing Element Consistency)
-  Unincorporated Board of Supervisors' Districts
- Base Data**
-  Address Points



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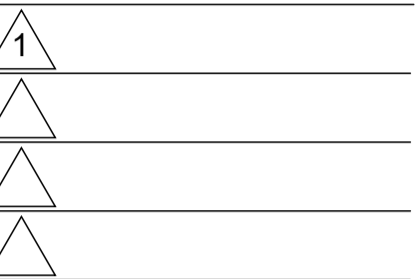
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 Datum: WGS 1984



6007 NE Sacramento St.
Portland, OR 97213
bacilia@bmacarch.net
www.baciliamacias.com
P: 510.929-0727



REVISIONS	DATE
OWNER: FERNANDO TAVIRA JOSEFINA BUCIO P.O. BOX 14662 OAKLAND, CA 94614 FJWELDINGINC@GMAIL.COM	

PLANNING SET

NEW RESIDENCE WITH ATTACHED ADU
 4TH STAND SILVER AVE
 RICHMOND CA 94801
 APN#409171024

DRAWN BY: BM

DATE: SEPT. 06, 2024



SHEET TITLE:

COVER PAGE

SHEET NO:

A0.0

© COPYRIGHT 2024

PROJECT SCOPE

TWO STACKED UNITS WITH ONE ATTACHED ACCESSORY DWELLING UNIT
UNIT 1:
 GROUND LEVEL WITH ONE BEDROOM AND ONE BATH =570 SQ FT
 ONE PARKING SPACES
UNIT 2:
 UPPER LEVEL 2 BEDROOMS AND ONE BATH = 936.4 SQ FT
 LOWER LEVEL ENTRY 45.7 SQ. FT.
 TOTAL 982.1 SQ. FT.
TWO PARKING SPACE (ONE COVERED AND ONE OPEN)
ADU:
 PARTIAL TWO STORY UNIT WITH ONE BEDROOM AND ONE BATH 600.5 SQ FT
TOTAL LIVING SPACE ON LOT 2152.6 SQ. FT.
GARAGE 245.6 SQ. FT.
 TOTAL 2398.2 SQ. FT.

DRAWING INDEX

SHEET NO.	SHEET NAME
A0.0	COVER PAGE
S	SURVEY
A0.1	PROPOSED SITE PLAN
A1.1	PROPOSED FLOOR PLAN
A1.2	PROPOSED ROOF PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED SECTION

CODES

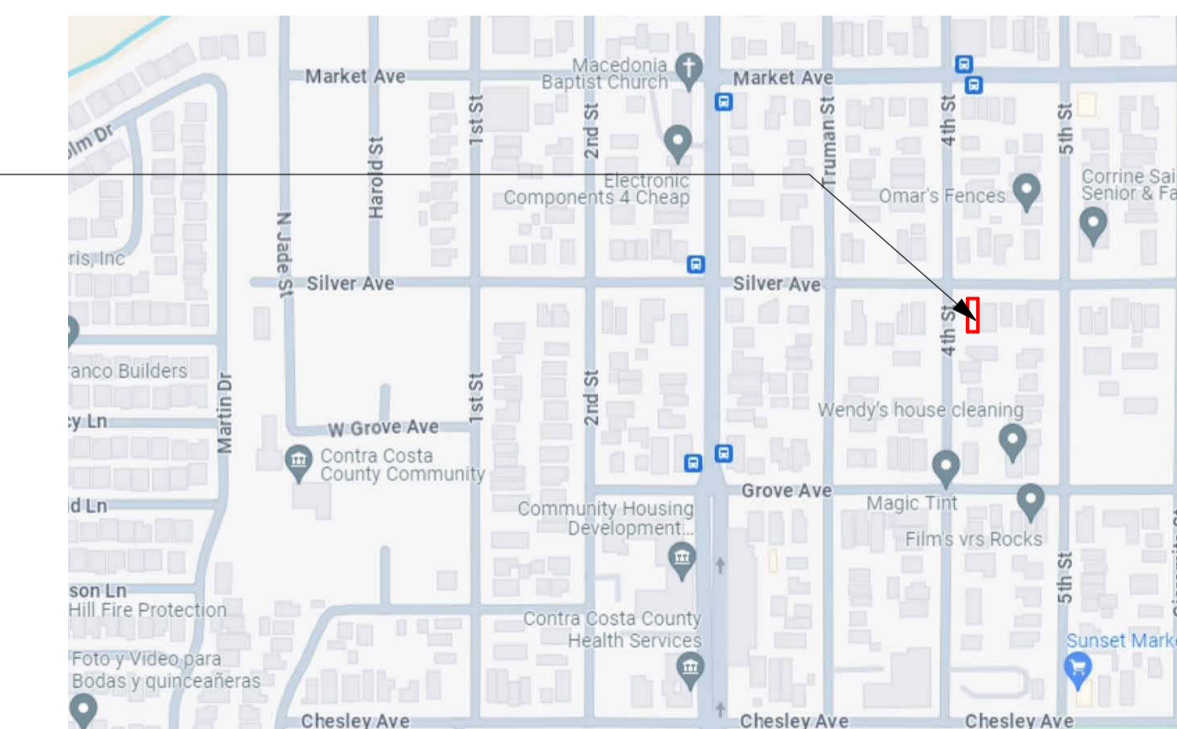
2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 NATIONAL ELECTRICAL CODE (NEC)
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA EXISTING BUILDING CODE
 2022 CALIFORNIA EXTERIOR DWELLING UNITS
 (AS APPLICABLE AND AMENDED BY CONTRA COSTA COUNTY)

PROJECT TEAM

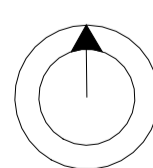
ARCHITECT
 BACILIA MACIAS ARCHITECTURE
 6007 NE SACRAMENTO ST
 PORTLAND, OR 97213
 (510)929-0727
 BACILIA@BMARCH.NET
 WWW.BACILIAMACIAS.COM

STRUCTURAL ENGINEER
 TBD

VICINITY MAP

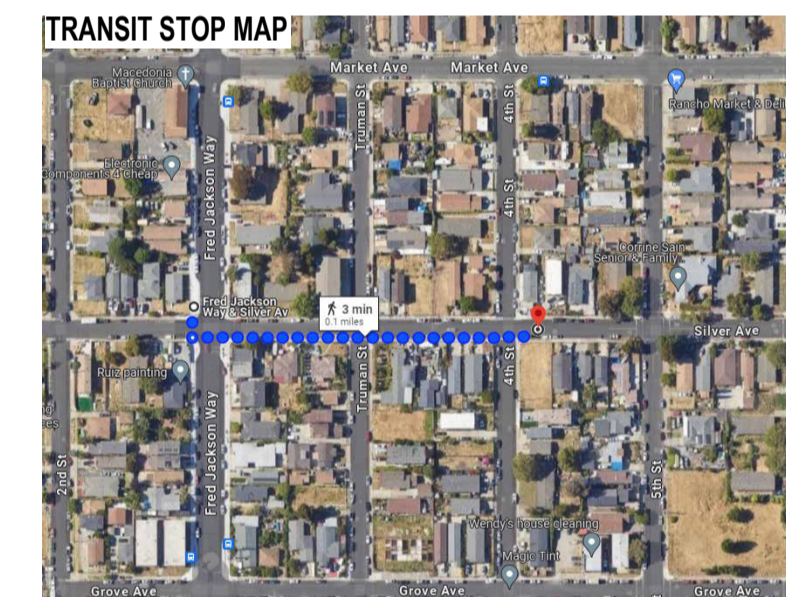


NORTH

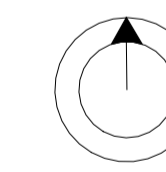


PROJECT INFORMATION

PROJECT ADDRESS 4TH STAND SILVER AVE, RICHMOND CA 94801
OCCUPANCY R-3
CONSTRUCTION TYPE V-B NON RATED
SPRINKLERS YES
ZONING HE-C; HOUSING ELEMENT CONSISTENCY DISTRICT
LOT SIZE 2,840 SF or .065 ACRES
LOT COVERAGE MAX 50% OR 1420 SF
LOT COVERAGE 1420 SQ. FT. MAX ALLOWED
 972.83 SQ. FT PROPOSED (DOES NOT INCLUDE ADU)
DENSITY 17/ACRE MIN. - 30/ACRE MAX.
 17/.065 = 1.1 UNITS MINIMUM
 30/.065 = 1.95 UNITS MAXIMUM
 UNITS PROPOSED: 2 STACKED
HEIGHT ALLOWED 35 FT
APN 409-171-024-6
SETBACK 10' FRONT SETBACK
 15' REAR SETBACK
 5 GARAGE SETBACK
 5' SIDE SETBACK
ADU SETBACKS 4' REAR SETBACK
 4' SIDE SETBACK
PARKING SPACE **UNITS**
 2 SPACES PER UNIT REQUIRED
 1.5 UNITS PROVIDED
ADU
 0 SPACES REQUIRED FOR ADU PER
 82-24.012 - Development standards.
 Ordinance Code Title 8 - ZONING Division
 82 - GENERAL REGULATIONS Chapter
 82-24 - ACCESSORY DWELLING UNITS
 The accessory dwelling unit is located within
 one-half mile walking distance of public
 transit.



NORTH



PROJECT SITE

ADDITIONAL NOTES

FIRE SAFETY

Portable Fire Extinguishers: Structures under construction, alteration or demolition shall be provided with approved fire extinguishers in accordance with CBC §906 and sized for not less than ordinary hazard as follows per CBC §3309.1. Revise the plans to show the location of the required fire extinguisher as follows: 3.1. At each stairway on all floor levels where combustible materials are accumulated.
 · In every storage and construction shed.
 · Additional portable fire extinguishers shall be provided where special hazard exist, such as the storage and use of flammable and combustible liquids.
 · Minimum 2-A:10-B:C rating fire extinguishers shall be provided throughout the building under construction, alteration, or demolition with a maximum travel distance of 75-feet.

Fire Safety during Construction:

· Smoking shall be prohibited except in designated areas with approved ashtrays. All other areas must have "No Smoking" signage posted around construction areas in accordance with CFC§310. [CFC§3304.1]
 · Combustible debris shall not be accumulated within building. Combustible debris, rubbish and waste material shall be removed from building at the end of each shift of work. [CFC §3304.2]
 · Materials susceptible to spontaneous ignition, such as oily rags, shall be stored in a listed disposal container. [CFC §3304.4]
 · Operations involving the use of cutting and welding shall be done in accordance with CFC Chapter 35 [CFC §3304.6]
 · During construction, the construction site or area must be clean up at the end of the day in order to provide firefighter access in the building in an event of a fire.

SYMBOLS LEGEND

	ELEVATION TAG
	SECTION TAG
	INTERIOR ELEVATION TAG
	DOOR TAG
	WINDOW TAG
	KEYNOTES
	LIGHTING FIXTURE TAG
ROOM	ROOM NAME
	CEILING HEIGHT
	WALL TO REMAIN
	NEW WALL - 1 HOUR RATED
	NEW EXTERIOR WALL

ABBREVIATIONS

A.B.	ANCHOR BOLT	HORIZ	HORIZONTAL
ADJ.	ADJACENT	HT.	HEIGHT
A.F.F	ABOVE FINISHED FLOOR	HWH	HOT WATER HEATER
ALUM.	ALUMINUM	INSUL	INSULATION
&	AND	JST	JOIST
A.P.	ACCESS PANEL	LAV	LAVATORY
APPROX.	APPROXIMATELY	LT	LIGHT
@	AT	MAX	MAXIMUM
BD.	BOARD	MB	MACHINE BOLT
BLDG.	BUILDING	MEZZ	MEZZANINE
BLKG.	BLOCKING	MFR	MANUFACTURER
BM.	BEAM	MIN	MINIMUM
B.O.	BOTTOM OF	(N)	NEW
BTW.	BETWEEN	N.I.C.	NOT IN CONTRACT
C.B	CATCH BASIN	NTS	NOT TO SCALE
CJT.	CONTROL JOINT	#	NUMBER
CL.	CLOSET	O.C.	ON CENTER
C	CENTER LINE	OPNG	OPENING
CLG	CEILING	OVHD	OVERHEAD
CLR	CLEAR	PL	PLATE
C.M.T	CERAMIC MOSAIC TILE	P	PROPERTY LINE
CONTR.	CONTRACTOR	+/-	PLUS OR MINUS
COL.	COLUMN	PLYWD	PLYWOOD
CONC.	CONCRETE	PNTD	PAINTED
CONN.	CONNECTION	RAD	RADIUS
CONST.	CONSTRUCTION	RC	REINFORCED CONCRETE
CONT.	CONTINUOUS	RD	ROOF DRAIN
C.O.S.	CHECK ON SITE	REQ	REQUIRED
C.T.	CERAMIC TILE	RM	ROOM
C.T.R.	CENTER	RWL	RAIN WATER LEADER
D.	DRAIN	SC	SOLID CORE
DBL.	DOUBLE	SFGL	SAFETY GLASS
DEMO	DEMOLISH OR DEMOLITION	SHT	SHEET
DET	DETAIL	SHWR	SHOWER
DF	DRINKING FOUNTAIN	SIM	SIMILAR
DIA	DIAMETER	SLDG	SLIDING
DIM	DIMENSION	S.F.	SQUARE FEET
DN	DOWN	SSTL.	SEE STRUCTURAL DWGS.
DR	DOOR	SSD	STAINLESS STEEL
D.S.	DOWNSPOUT	STL	STEEL
DWG.	DRAWING	STOR	STORAGE
(E)	EXISTING	THR	THRESHOLD
EA.	EACH	TO	TOP OF
ELEC	ELECTRICAL	TOS	TOP OF SLAB
EQ	EQUAL	TOW	TOP OF WALL
EXIST	EXISTING	TPD	TOILET PAPER DISPENSER
EXP	EXPOSED	TYP.	TYPICAL
EXT	EXTERIOR	UR	URINAL
F.D	FLOOR DRAIN	UON	UNLESS OTHERWISE NOTED
FFL	FINISH FLOOR LEVEL	VERT	VERTICAL
FIN	FINISH	VT	VINYL TILE
FLASH	FLASHING	W/	WITH
FLR	FLOOR	WC	WATER CLOSET
FND	FOUNDATION	WD	WOOD
F.O.F	FACE OF FINISH	WDW	WINDOW
F.O.S	FACE OF STUD	WPM	WATERPROOF MEMBRANE
FT	FOOT OR FEET	WSCT	WAINSCOT
FTG	FOOTING		
GA	GAGE, GAUGE		
GALV.	GALVANIZED		
GL.	GLASS		
GLB	GLU-LAM BEAM		
GND	GROUND		
GRD	GRADE		
GSM	GALVANIZED SHEET METAL		
GCT	GLAZED CERAMIC TILE		
GYP. BD.	GYPSUM BD		
GVL	GRAVEL		
H.B	HOSE BIB		
H.C	HOLLOW CORE		
HDR.	HEADER		
HDWD	HARDWOOD		

GENERAL NOTES

All work shall comply with the CRC and all other codes and requirements, in their most recent edition.
 Building Inspection Dept. ordinances
 California State Building Code
 California Title 24 Energy codes
 NEC Amendments of the California plumbing, mechanical and electrical codes.

Contractor is to obtain any required permits for this work.

Contractor shall be responsible for all electrical, plumbing and fire protection work required by the Bldg. Dept.

Contractor shall verify all dimensions and existing conditions prior to starting work. Any discrepancies shall be reported to the designer for review.

Do not scale drawings. Dimensions shall take precedence over scale.

Contractor shall visit site prior to submission of bid to review scope of work, demolition, etc.

Dimensions are to face of finish, unless otherwise noted (U.O.N)

Cutting and demolition shall be done by methods which will not jeopardize structural integrity of existing construction and will not damage portions to remain.

Contractor shall remove, cut, cap and repair as necessary any utilities, including but not limited to : electrical, mechanical plumbing and fire sprinkler, where partitions are scheduled for demolition or are no longer operational or in service. All other existing utilities are to remain fully operational.

Contractor is to provide all necessary dust protection and/or barricading required to protect adjacent spaces and existing finishes. Contractor is responsible to repair any damages caused by contractor or their subcontractors.

Patch and repair any damages to floor, walls, ceilings, hardware, fixtures, windows, etc. as a result of the construction process. Match existing adjacent finishes as closely as possible. Align and sand smooth.

In general, the Owner reserves the right to retain all material and equipment removed from the project. Any item or material not desired by the Owner are to be removed from the site by Contractor at Contractor's expense.

If any questions arise as to the installation of any materials and/or equipment, or with the construction documents, the Contractor shall clarify the point with the Architect or Designer before proceeding.

If any questions arise due to existing conditions apparent discrepancy between construction documents or any other reason, the contractor will immediately notify the Architect or Designer and clarify the point with the architect or designer.

Safety Measures: At all times the Contractor shall be solely and completely responsible for conditions of th job site including safety of persons and property.

Total thickness of new walls shall match that of adjacent walls. U.O.N.

Construction of new walls, ceilings utilities, etc. shall be modified with Architect's/Designer's approval, when in conflict with existing conditions.

Dimensions noted clear(dlr) are not adjustable without approval by Architect/Designer.

The Contractor shall do all cutting, fitting or patching of work that may be required to make all parts fit together properly and shall not endanger any other work by cutting excavation or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaced replaced will, upon completion, match surrounding similar surfaces.

Install backing at walls as required for all wall mounted items including plumbing fixtures, cabinet work, etc.

All exterior openings are to be weather-stripped.

Studs and furring shall provide plumb, true straight and rigid framing for support of collateral materials.

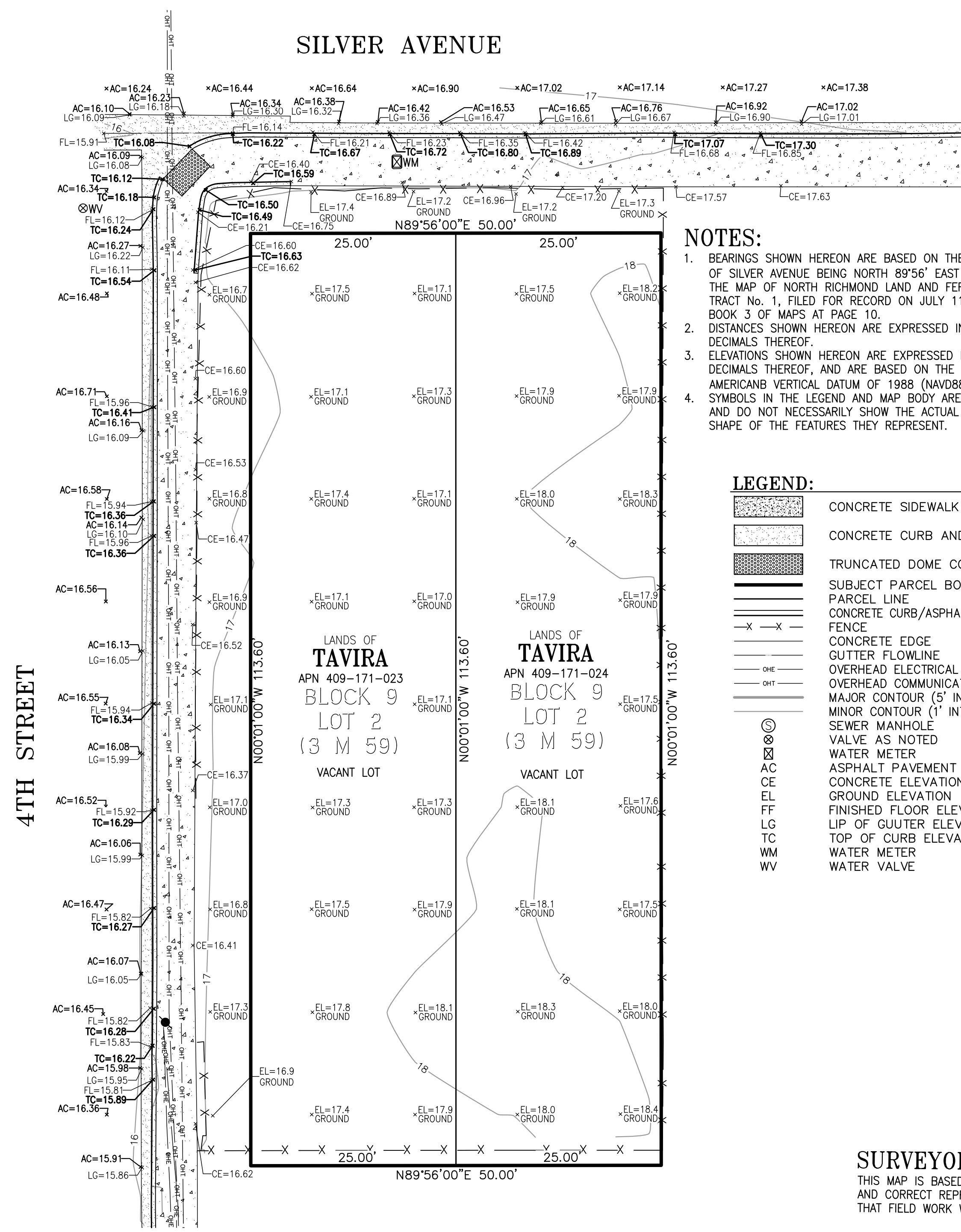
Install metal corner beads at all exposed outside gypsum board edges. All gypsum wallboard shall be 3-coat finished, taped, topped and sanded between coats. Finished surfaces shall be plumb, level and planes, plied vertically with joints on bearings. All gypsum wallboard shall be mill finished 48" by 5/8" thick, unless otherwise noted by maximum length to minimize horizontal joints and tapered edges.

Contractor is responsible for all construction clean up. The building site shall be kept free of debris and cleaned up daily

No wall telephone or electrical outlets shall be mounted back to back.

The American with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications ("plan") represent the Designer's opinion regarding it's interpretation of the ADA as it applies to the subject project. It is not in any way a warranty or guarantee that said plans comply with any or all possible interpretations of the ADA by others.

SILVER AVENUE

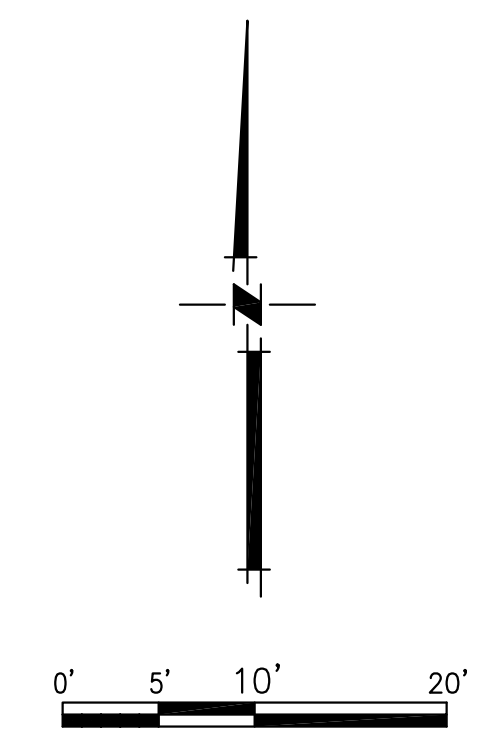


NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF SILVER AVENUE BEING NORTH 89°56' EAST AS SHOWN ON THE MAP OF NORTH RICHMOND LAND AND FERRY COMPANY TRACT No. 1, FILED FOR RECORD ON JULY 11, 1910, IN BOOK 3 OF MAPS AT PAGE 10.
2. DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
3. ELEVATIONS SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF, AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. SYMBOLS IN THE LEGEND AND MAP BODY ARE ICONS ONLY AND DO NOT NECESSARILY SHOW THE ACTUAL SIZE OR SHAPE OF THE FEATURES THEY REPRESENT.

LEGEND:

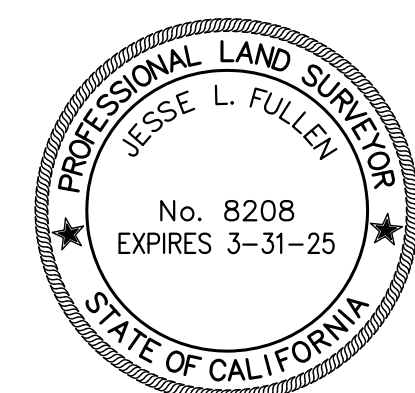
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- TRUNCATED DOME CONCRETE
- SUBJECT PARCEL BOUNDARY
- PARCEL LINE
- CONCRETE CURB/ASPHALT BERM
- FENCE
- CONCRETE EDGE
- GUTTER FLOWLINE
- OVERHEAD ELECTRICAL LINES
- OVERHEAD COMMUNICATION LINES
- MAJOR CONTOUR (5' INTERVAL)
- MINOR CONTOUR (1' INTERVAL)
- SEWER MANHOLE
- VALVE AS NOTED
- WATER METER
- ASPHALT PAVEMENT ELEVATION
- CONCRETE ELEVATION
- GROUND ELEVATION
- FINISHED FLOOR ELEVATION
- LIP OF GUTTER ELEVATION
- TOP OF CURB ELEVATION
- WATER METER
- WATER VALVE



SURVEYOR'S STATEMENT:

THIS MAP IS BASED ON A SURVEY MADE BY, OR UNDER MY DIRECTION, AND IS A TRUE AND CORRECT REPRESENTATION OF THE SITE CONDITIONS SHOWN HEREON AT THE TIME THAT FIELD WORK WAS COMPLETED ON AUGUST 19, 2024.

Jesse L. Fullen
 JESSE L. FULLEN, PLS #8208

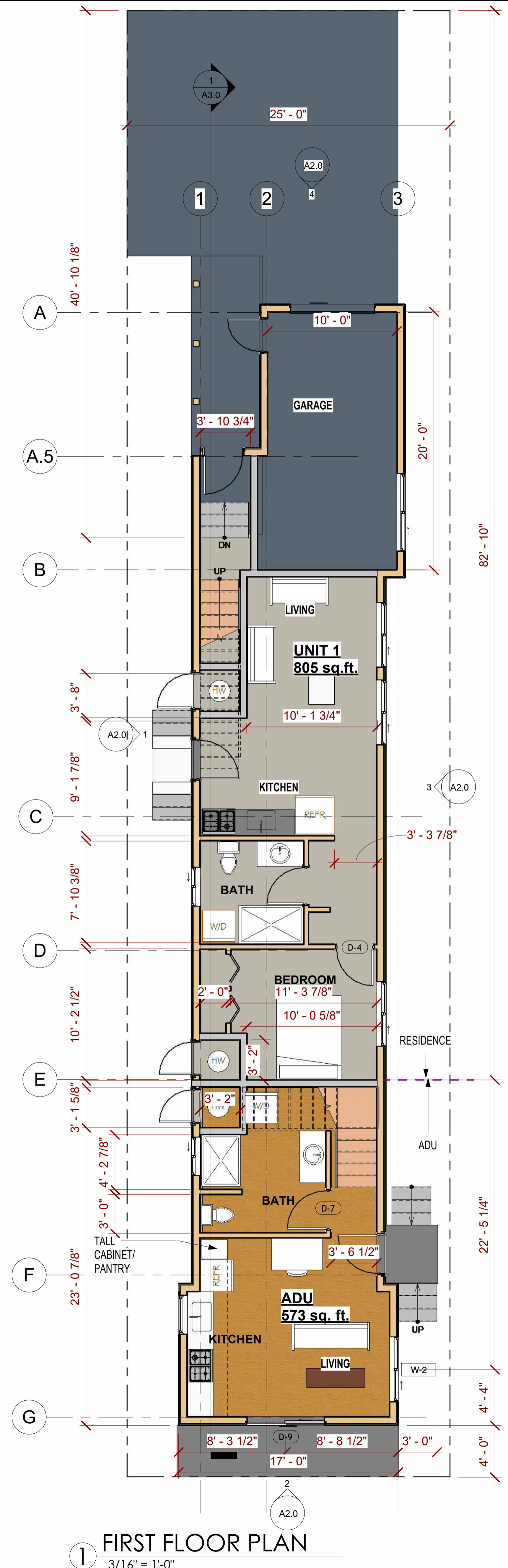
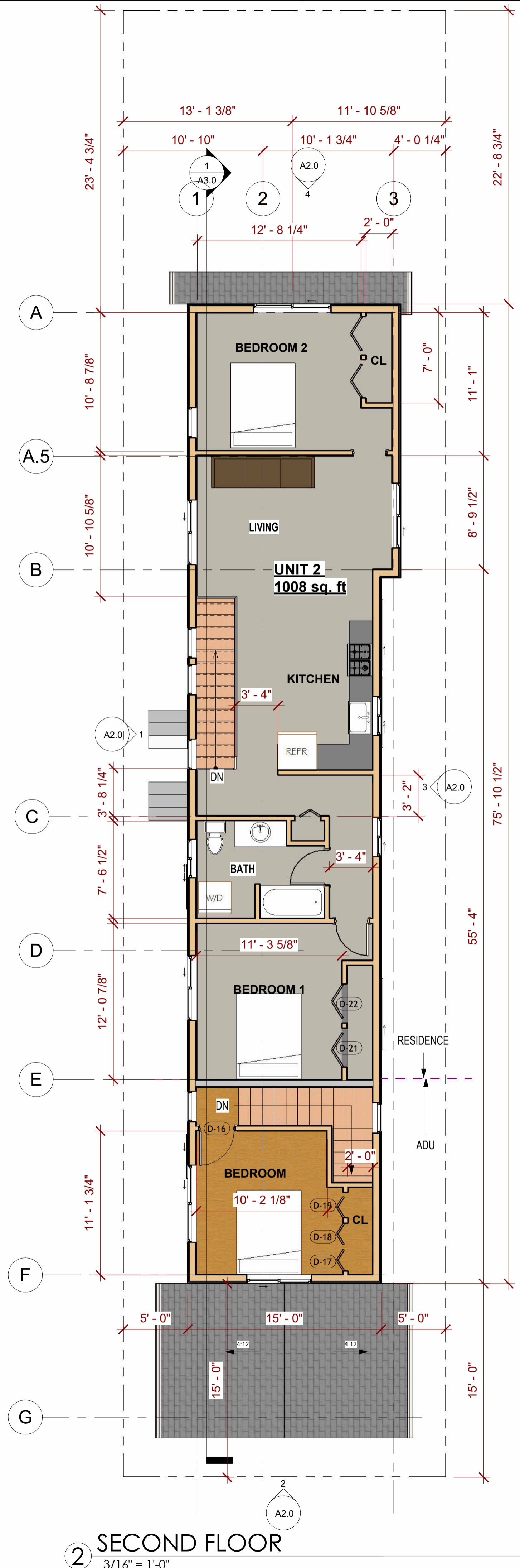


SCALE: 1"=10'	DATE: 19AUG2024	FIELD CREW: DLP/FF	NO.	BY	DATE

FS
 FULLER SURVEYING & MAPPING, INC.
 5100-B1 Clayton Road #287
 Concord, CA 94521
 925.288.7176
 jlf2008@csccglobal.net

LANDS OF TAVIRA ON SILVER AVENUE ~ ASSESSOR'S PARCEL NUMBERS 409-171-023 & 409-171-024
TOPOGRAPHIC SURVEY AND RECORD BOUNDARY MAP
 CONTRA COSTA COUNTY CALIFORNIA

SHEET NO.	1	OF	1	SHEETS
JOB No.	BMAC0003			



- FLOOR PLAN LEGEND**
- NEW WALL
 - 1 HOUR RATED WALL
 - PROPERTY LINE
 - DOOR TAG
 - WINDOW TAG



6007 NE Sacramento St.
Portland, OR 97213
bacilia@bmacarch.net
www.baciliamacias.com
P: 510.929-0727

REVISIONS	DATE

OWNER:
FERNANDO TAVIRA
JOSEFINA BUCIO
P.O. BOX 14662
OAKLAND, CA 94614
FJWELDINGINC@GMAIL.COM

PLANNING SET

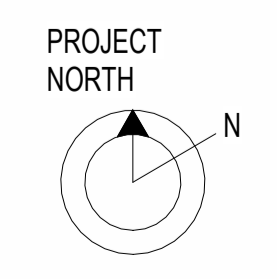
NEW RESIDENCE WITH ATTACHED ADU
4TH STAND SILVER AVE
RICHMOND CA 94801
APN#409171024

DRAWN BY: BM
DATE: SEPT. 06, 2024



SHEET TITLE:
PROPOSED FLOOR PLAN

SHEET NO:
A1.1
© COPYRIGHT 2024

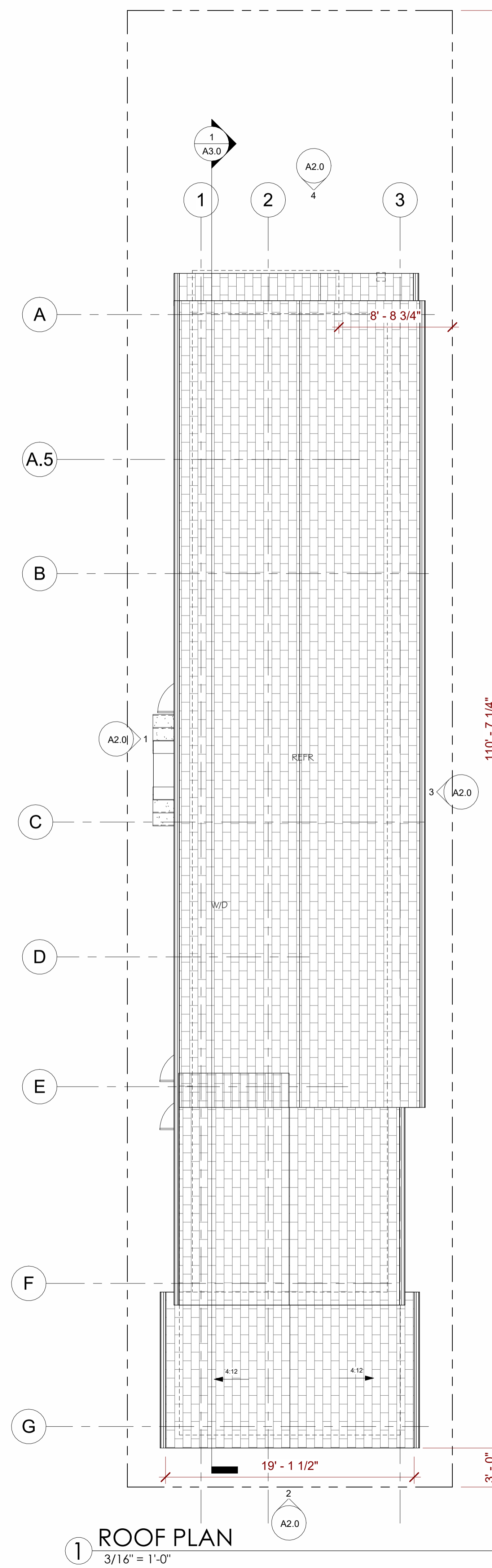




③ 3D VIEW #2



② 3D View 1



① ROOF PLAN
3/16" = 1'-0"

FLOOR PLAN LEGEND

- NEW WALL
- 1 HOUR RATED WALL
- PROPERTY LINE
- 101 DOOR TAG
- L1-001 WINDOW TAG



BACILIA MACIAS
ARCHITECTURE

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bacilia@bmacarch.net
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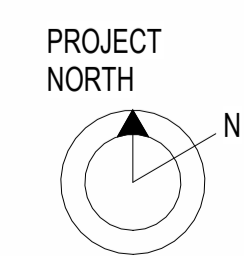
SHEET TITLE:

PROPOSED ROOF
PLAN

SHEET NO:

A1.2

© COPYRIGHT 2024



REVISIONS	DATE

OWNER:
FERNANDO TAVIRA
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OAKLAND, CA 94614
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PLANNING SET

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DRAWN BY: BM
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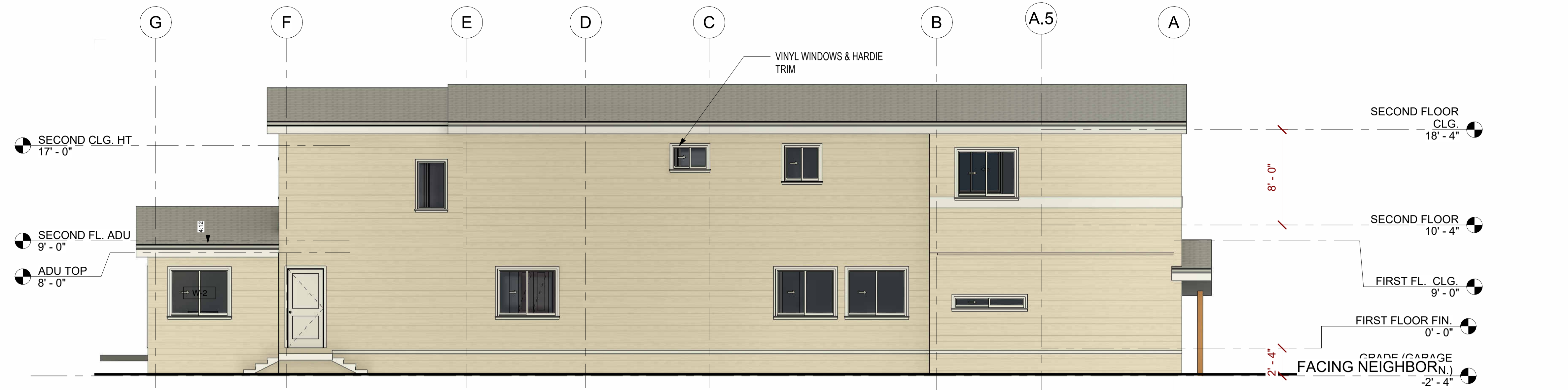


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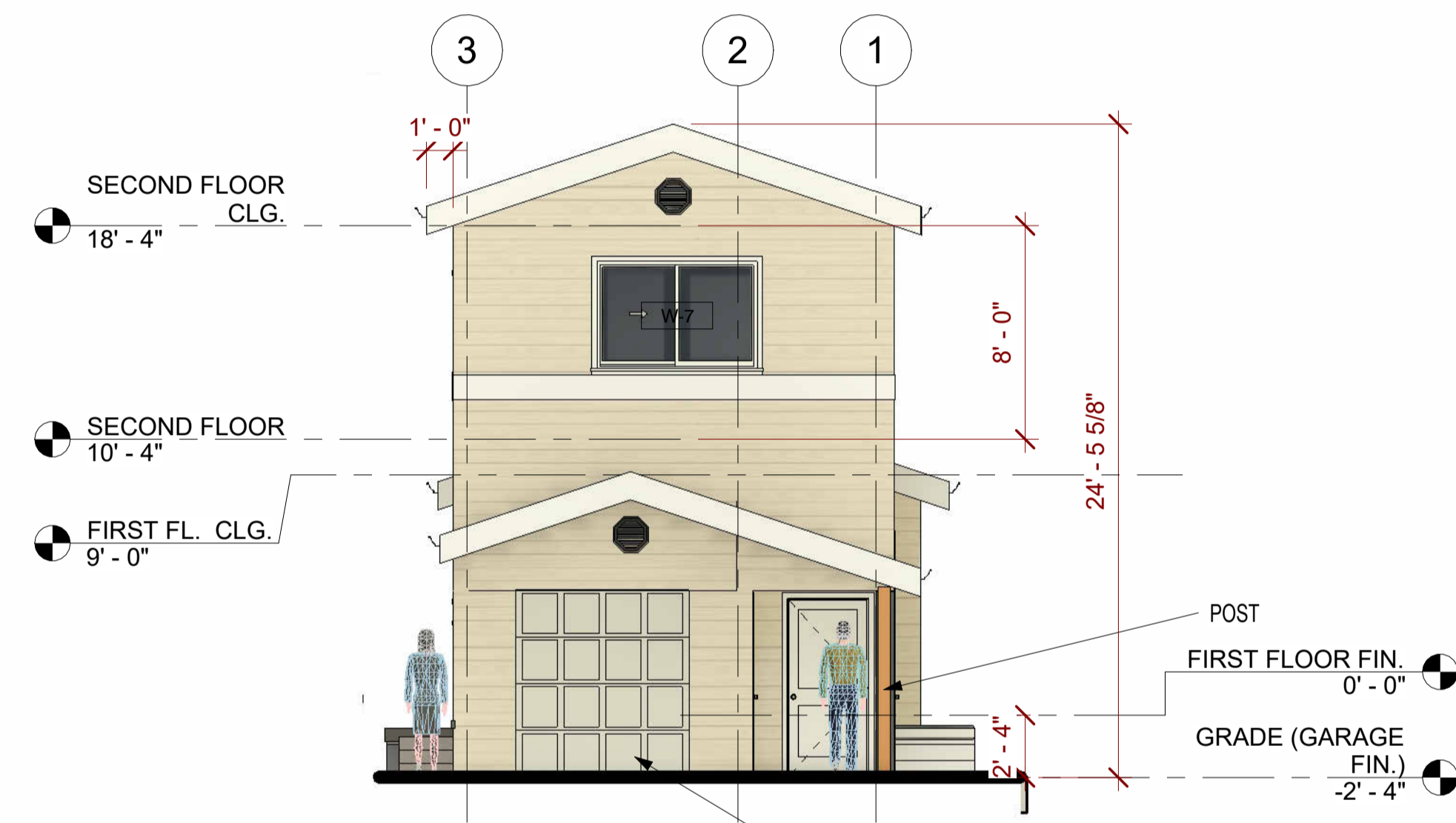
PROPOSED
EXTERIOR
ELEVATIONS

SHEET NO:
A2.0

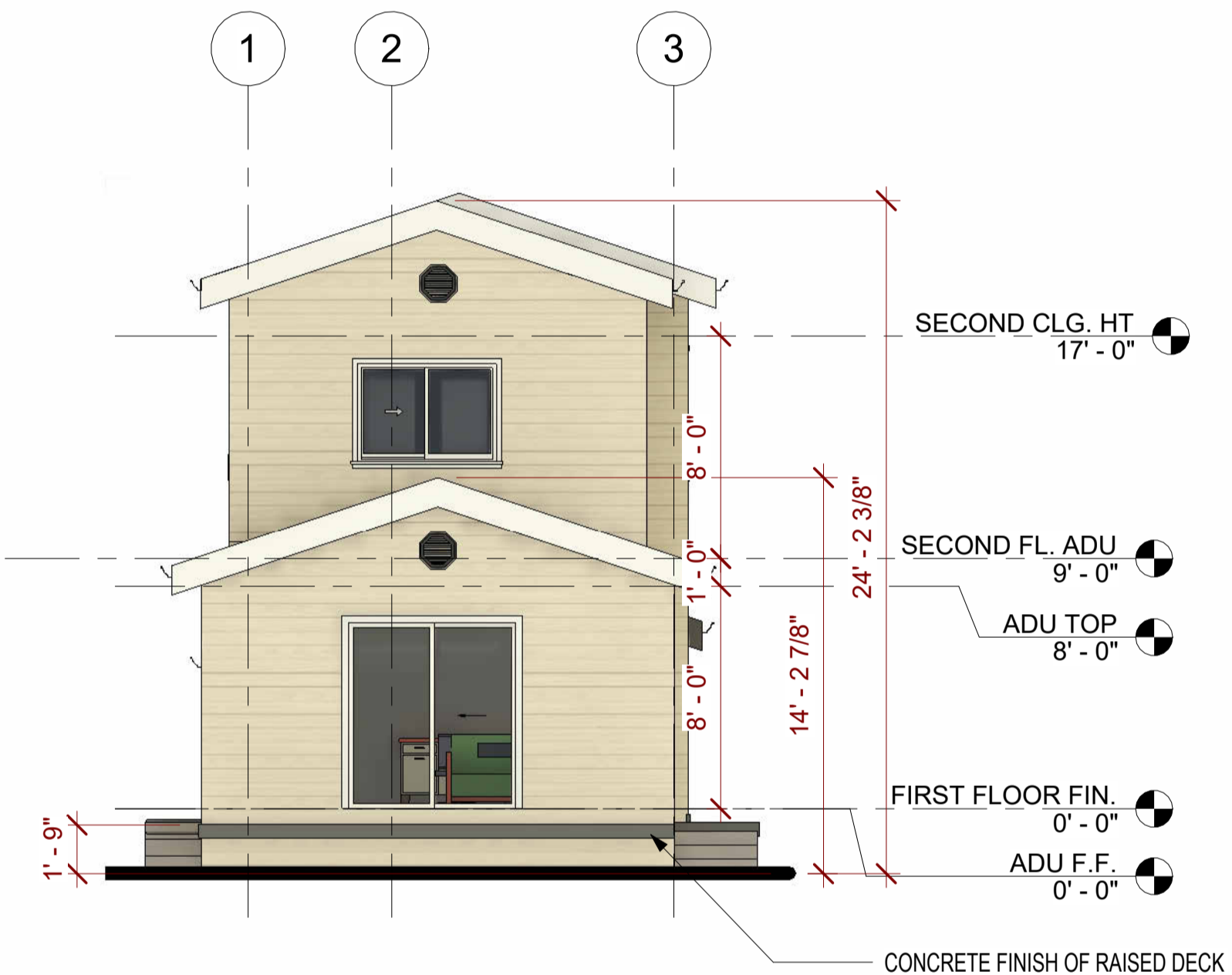
© COPYRIGHT 2024



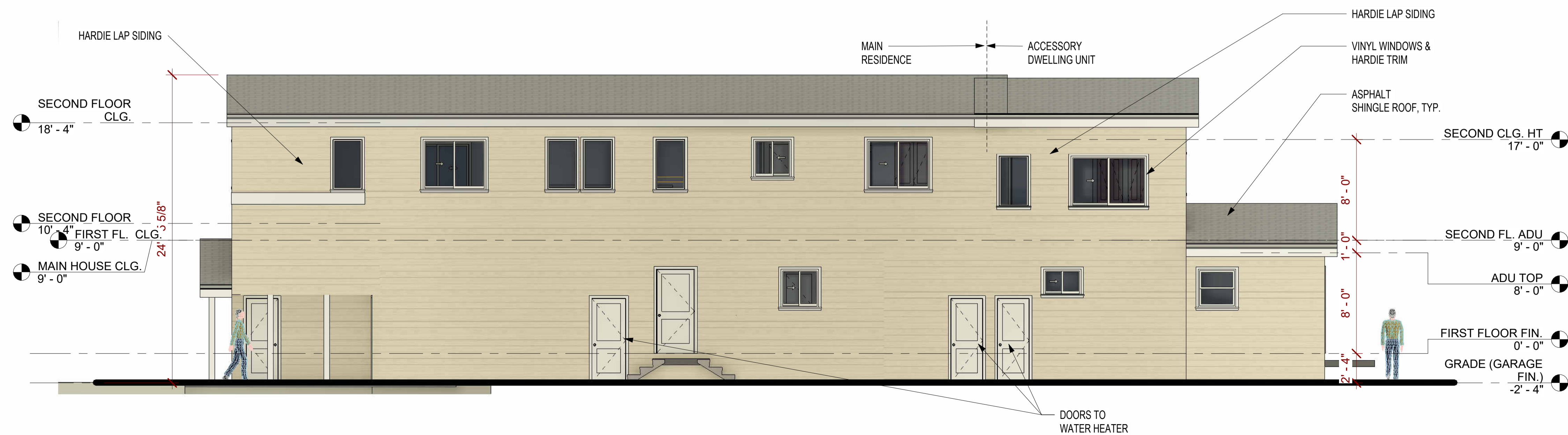
3 EAST ELEVATION
3/16" = 1'-0"



4 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION FACING VACANT LOT
3/16" = 1'-0"



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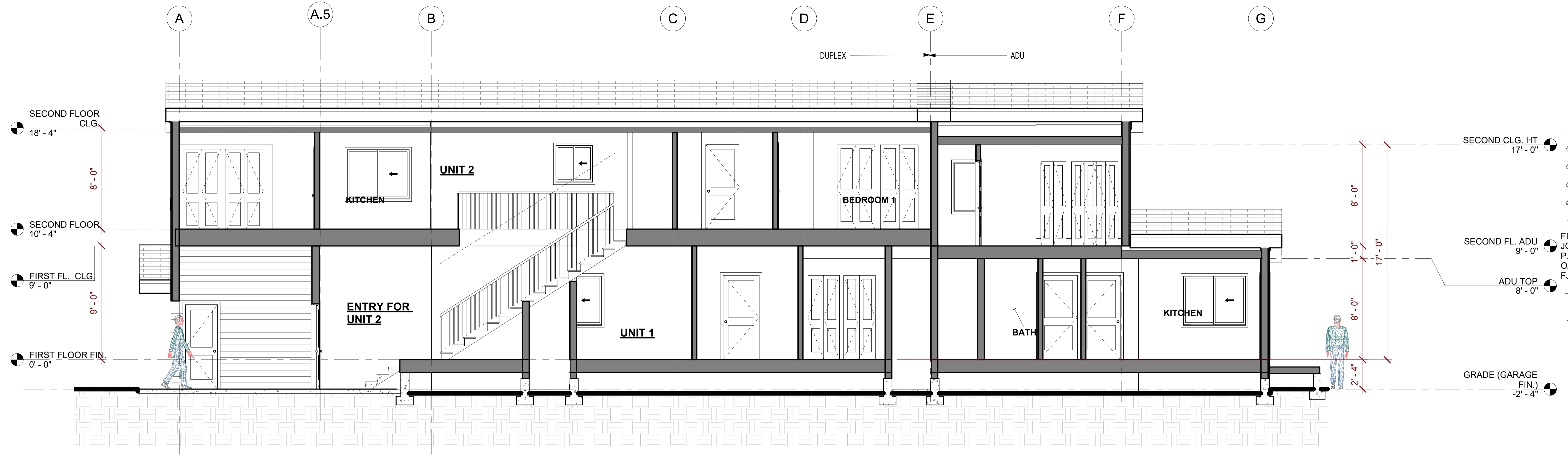


SHEET TITLE:

PROPOSED SECTION

SHEET NO:
A3.0

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1 SECTION #1
1/4" = 1'-0"

**Goodrick Ave Electric
Vehicle Charging Station**

**North Richmond Municipal
Advisory Committee
Contra Costa County, CA**

November 5, 2024



**RENEWABLE
PROPERTIES**



Renewable Properties

- **Renewable Properties is a national developer, financier, owner and operator of small-scale solar PV**
 - Headquartered in San Francisco
 - 50+ employees
- **Development Pipeline** - in excess of 1 GW across 15 states
 - **CA pipeline**
 - 10 operational assets
 - 2 under construction
 - 72 projects under development
- **Operational Projects** – 29 projects, 92 MWac in 7 states
- Principals have a combined 40+ years of solar development and finance experience across 1,000 MWs of solar facilities
- Work closely with communities, landowners, and utilities

RP – Contra Costa County Solar Projects



- Byron Hot Springs
- 1.39 MW

- Byron Highway
- 7 MW

Renewable Properties EV Depots

- Renewable Properties expanded into EV charging in 2022 by leveraging its core competencies as a developer, owner and operator of electrical infrastructure projects to own and operate charging depots for fleet vehicles.
- RP brings the following expertise to EV charging;
 - An ability to navigate energy markets, policies and incentives
 - Experience in developing electrical infrastructure of 1-10 MW
 - Expertise in identifying and securing advantageous sites
 - Long-term ownership and investment philosophy
 - Structured financing with the means to monetize incentives

Renewable Properties – EV Fleet Charging

- **RP EV Charging Depots**

- Charging service for medium and heavy-duty EV trucks.
- Tailored for fleet managers with secure yards, dedicated parking and reserved electrical capacity.
- Backup solutions for resiliency.

- **Charging Options**

- Level 2 chargers for extended parking.
- Level 3 fast chargers for on-demand charging.

- **Fleet Manager Benefits**

- Expertise in siting, permitting, and interconnection.
- RP handles charging infrastructure development, saving time and capital.

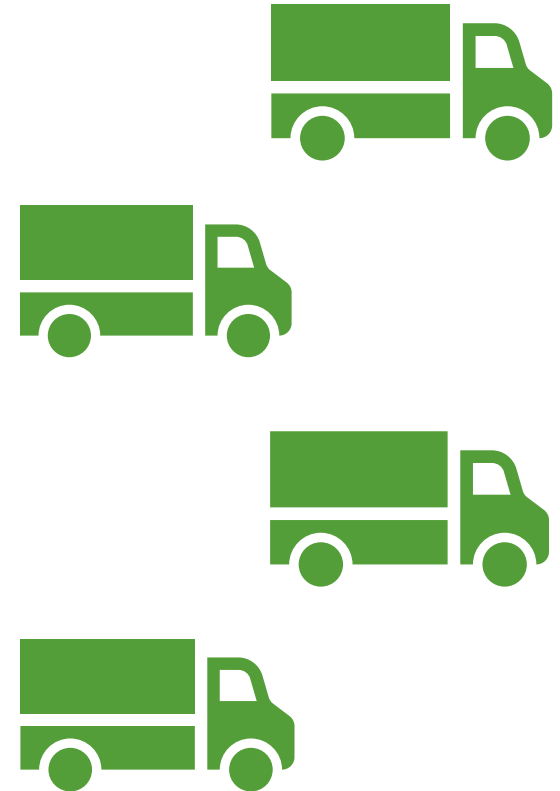
- **Focus on Fleet Operations**

- Fleet managers focus on transitioning to zero-emission vehicles.
- RP manages long-term operations and maintenance to ensure uptime.



Advanced Clean Fleets

- CARB adopted the Advanced Clean Fleets regulations in April 2023 with implementation beginning Jan 1, 2024
- Fleets have EV target milestones of 10 percent by 2025, 25 percent by 2028, 50 percent by 2031 and up to 100 percent past 2035 (varies by truck type)
- Starting in 2024, ACF applies to;
 - Drayage
 - Local, state and federal government agency fleets
 - High-priority fleets – entities that own, operate or direct at least one vehicle in California and have more than \$50 million in revenue or control of at least 50 vehicles
 - Off-road yard tractors, light duty mail and package delivery vehicles



Goodrick Ave EVCS Project Location



Goodrick Avenue EVCS Project Details

- **Parcel APN:** 408-090-035-2
- **Zoning Classification**
 - (P1-HI)
 - North Richmond P-1 Planned Unit District, and Heavy Industry (HI) General Plan Land Use designation
- **Use determination:** Trucking Yard (P)
- **Site Area Inside Fence:** 3.28ac
- **Project Size:** up-to 5 MWac
- **Utility:** PG&E



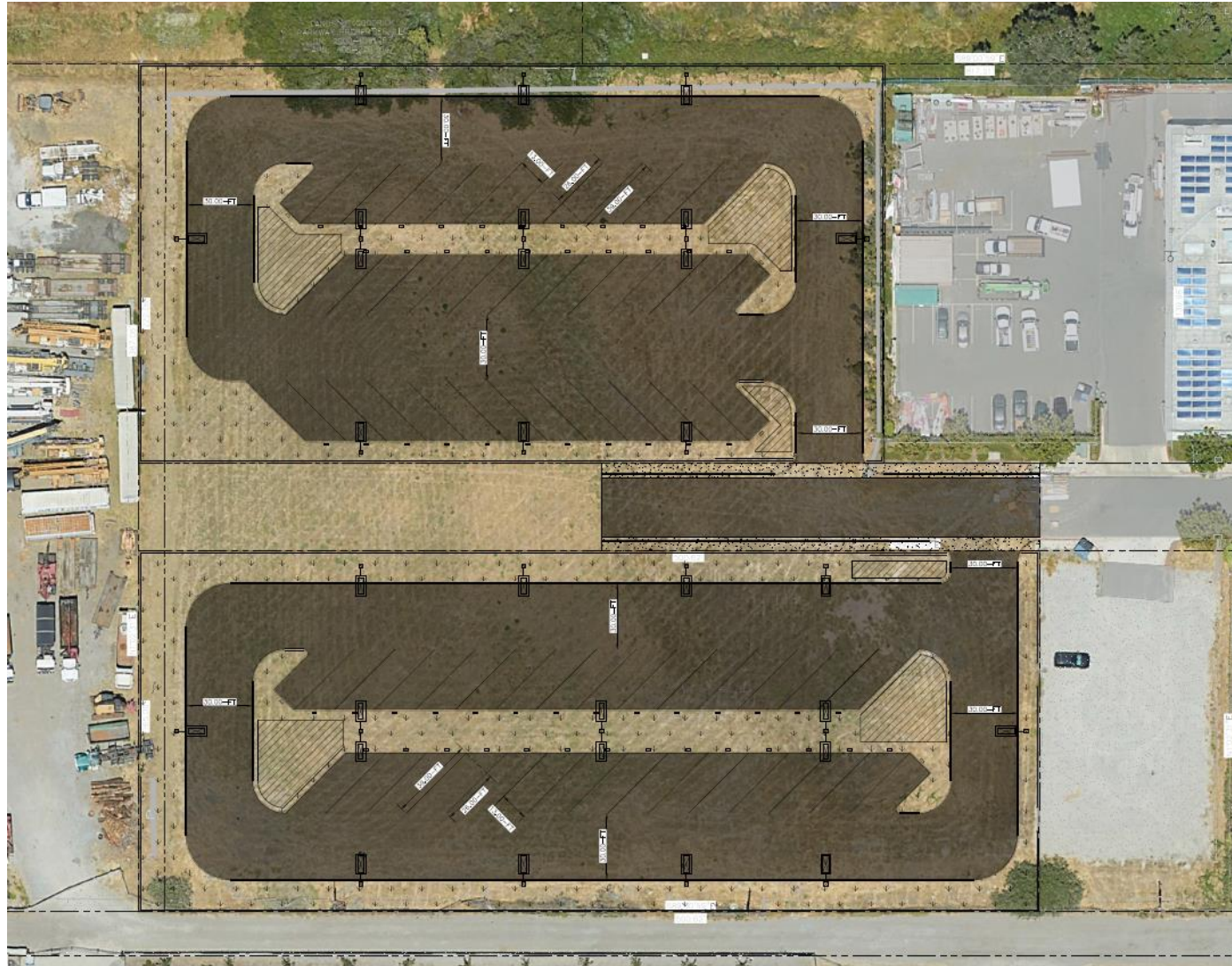
Project Overview

16 Level 2 Chargers

50 Level 3 Chargers

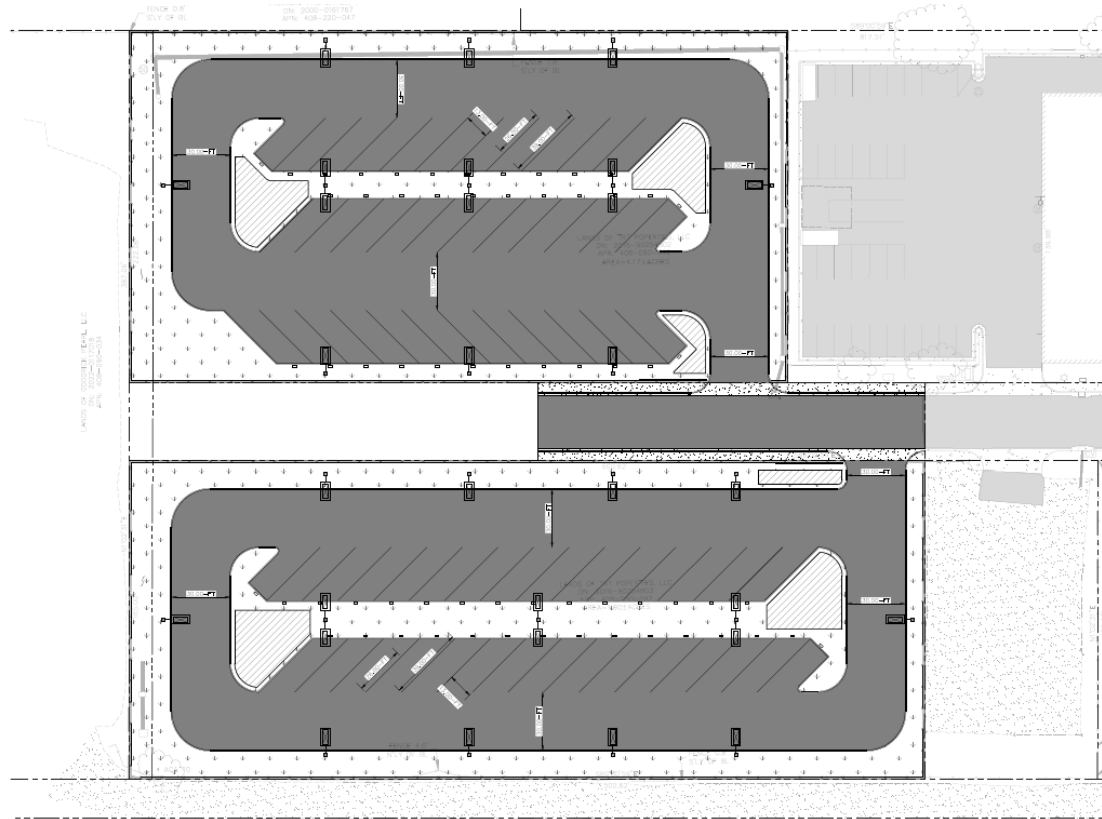
- Job creation
- Improvements to vacant land in PUD
- Energy independence/ grid reliability.
- Fleet solutions for nearby companies such as:

- Richmond City Streets Division
- UC Berkeley Central Distribution and Fleet Services
- FedEx
- American Tire Distributors
- Amazon Distribution Center
- Whole Foods Distribution Center
- UPS North Bay
- Enterprise Truck Rental.



Project Overview

Bay Area Air Quality Management District ranked this site for \$3.1 million in grant funding to address the infrastructure needed for California's Advanced Clean Fleet Regulations



	GHGs	CO	NOx	PM10	PM2.5	VOC	SOx	Fuel Dispensed	Fuel
AFV Fueling Infrastructure	(short tons)	(lb)	(lb)	(lb)	(lb)	(lb)	(lb)	(fuel unit)	Unit
Level 2 EVSE	954.7	4,286.2	4,770.2	46.2	40.3	342.8	4.7	1,210,000	kWh
DCFC EVSE	3,645	18,748	18,119	183.9	157.6	1,556	17.0	4,432,000	kWh

Questions?

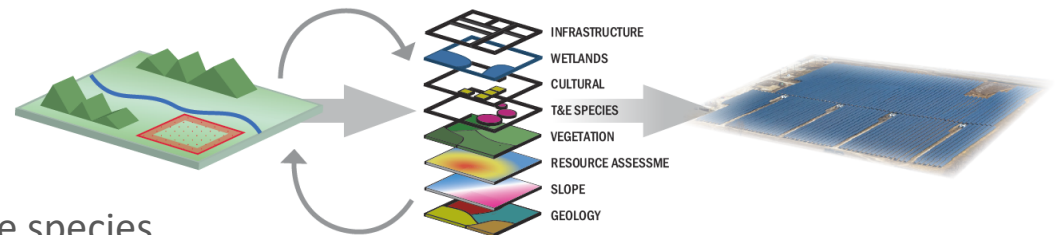


RENEWABLE PROPERTIES

www.renewprop.com

Solar Site Selection Process

- **Market strategy and entry analysis**
- **Site specific characteristics**
 - No flood zones
 - Topography / Aspect
 - Existing visual screens
 - Site access
 - Known critical habitat / Sensitive species
 - Proximity to the grid
 - Wetlands
- **Interconnection viability**
- **Path to permitting**
- **Willing landowners**
- **Significant amount of time, energy and resources invested in early due diligence**





CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 24-3755

Agenda Date: 11/5/2024

Agenda #:

Advisory Board: North Richmond Municipal Advisory Council
Subject: CCC Public Works Updates on Street Lighting

Information: CCC Public Works Updates on Street Lighting