



# CONTRA COSTA COUNTY

## AGENDA

### Bethel Island Municipal Advisory Council

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**Tuesday, January 6, 2026**

**6:00 PM**

**3020 Ranch Lane Bethel Island, CA**

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**1. Roll Call and Introductions**

- Mark Whitlock, Chair
- Pam Allen, Vice Chair: Honor and Recognize
- Phil Kammerer, Member
- Belinda Bittner, Member
- Rob Brunham, Member

**2. Pledge of Allegiance**

**3. APPROVAL of this agenda.**

**4. General Public comment on any item under the jurisdiction of the Committee and NOT on this agenda (speakers shall be limited to two minutes).**

**5. BIMAC Council Member Reports**

5a. Mark Whitlock, Chair

- AED project status
- Community Warning System (CWS) project update
- Emergency Preparedness project update

5b. Phil Kammerer, Member

- Dumping Sign project update

5c. Belinda Bittner, Member

5d. Rob Brunham, Member

**6. Agency Reports**

6a. CCC Office of the Sheriff, Lt. White

6b. CCC Fire Protection District, Michele Rinehart

6c. CCC Office of Supervisor Diane Burgis, Anna Cleese  
- Council member 2025 Training status: Complete  
- Measure X Parks & Recreation Fund Allocation Update: Bethel Island Chamber  
Update: MOU canceled after notification of dissolution of program, role and chamber  
announced and provided by Lori Castillo as the applicant, Chamber President, and MOU  
program and fund distribution oversight administrator.

**7. Consent Items**

7a. APPROVE Record of Action for BIMAC October 2025 meeting. [25-5425](#)

**Attachments:** [251216 BIMAC Oct MeetingMinutes12-Dec-2025-04-52-13](#)

7b. RECEIVE flyer for Jan 8 Townhall Event [26-10](#)

**Attachments:** [260106 flyer oos Town Hall Flyer white](#)

7c. RECEIVE correspondence for October, November and December [26-11](#)

**Attachments:** [260106 Correspondence January 2026 - Zoning & Planning \(1\)](#)

7d. RECEIVE Annual 2025 BIMAC Report [25-5427](#)

**Attachments:** [251209 2025 Annual Report Bethel Island MAC](#)

7e. RECEIVE Public Works Press Release, Bethel Island Road Repair, Expect Delays [25-5428](#)

**Attachments:** [251212 press release Bethel Island Road Lane Closure Press Release](#)

7f. APPROVE reimbursement to Mark Whitlock in the amount of \$500 for expenses  
relating to 2025 Bethel Island Health and Safety Fair. Balance remaining: \$11.87.

**8. Discussion Items**

8a. RECEIVE and CONSIDER Agency Comment Request Packet CDLP25-02028,  
6201 Bethel Island Road [25-4275](#)

**Attachments:** [250828 packet 6201 Bethel island road restauraunt bar vera cort](#)  
[CDLP25-02028 Agency Comment](#)

8b. RECEIVE and CONSIDER Agency Comment Request Packet CDMS25-00011, 0  
Sandmound Blvd, Oakley [25-4276](#)

**Attachments:** [250828 0 sandmound CDMS25-00011 Agency Comment Packet](#)

8c. RECEIVE and CONSIDER Agency Comment request packet for 3910 Stone  
Road (no id # currently assigned) [26-09](#)

**Attachments:** [251211 agency comment request 3910 Stone Road CDVR25-01064](#)  
[ACR](#)

8d. CONSIDER and APPROVE 2026 BIMAC seat appointments.

- 8e. CONSIDER and APPROVE adding public comment to agenda items after each agency report AND/OR each BIMAC council member report. Reminder: 2 minute public comment limits would apply.
- 8f. CONSIDER and APPROVE Future Agenda Items: REMINDER, appropriate staff subject matter experts will be contacted for material and/or presentations regarding future agenda items.
  - Stone Road work (Oct 2025 request)
  - BIMID engineer report (Oct 2025 request)
  - Canal Road repairs, and culverts (Oct 2025 request)
  - Additional?

**9. Adjourn**

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 3020 Ranch Lane, Bethel Island, 24 hours/day. Staff reports related to items on the agenda are also accessible online at [www.contracosta.ca.gov](http://www.contracosta.ca.gov). If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Anna Cleese, District Representative, 925-655-2336

*The next meeting is currently scheduled for February 10, 2026 at 6:00pm.*



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-5425

**Agenda Date:** 1/6/2026

**Agenda #:** 7a.

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Advisory Board: Bethel Island Municipal Advisory Council

Subject: APPROVE Record of Action for BIMAC October 2025 meeting

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: [Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us) <mailto:[Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us)>

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Recommendation(s)/Next Step(s):

APPROVE Record of Action for October 2025 BIMAC meeting.

# CONTRA COSTA COUNTY

*1025 ESCOBAR STREET  
MARTINEZ, CA 94553*



## Meeting Minutes

**Tuesday, October 14, 2025**

**6:00 PM**

**3090 Ranch Lane, Bethel Island CA**

**Bethel Island Municipal Advisory Council**

**1. Roll Call and Introductions**

- **Mark Whitlock, Chair**
- **Pam Allen, Vice Chair**
- **Phil Kammerer, Member**
- **Belinda Bittner, Member**
- **Rob Brunham, Member**

Mark Whitlock, Chair - Present

Pam Allen, Vice Chair - Absent

Phil Kammerer, Member - Present

Belinda Bittner, Member - Present

Rob Brunham, Member - Present

**This was approved.**

<b>Present</b>	Belinda Bittner, Bob Brunham, Phil Kammerer, and Mark Whitlock
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<b>Absent</b>	Pam Allen
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**2. Pledge of Allegiance****3. APPROVAL of this agenda**

Motion to Approve: Belinda Bittner, Member

Second: Rob Brunham, Member

**A motion was made that this was APPROVED. The motion carried by the following vote:**

<b>Motion:</b>	<b>Bittner</b>
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<b>Second:</b>	<b>Brunham</b>
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<b>Aye:</b>	Bittner, Brunham, Kammerer, and Whitlock
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<b>Aye:</b>	<b>Bittner, Brunham, Kammerer, and Whitlock</b>
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<b>Absent:</b>	Allen
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<b>Absent:</b>	Allen
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**4. General Public comment on any item under the jurisdiction of the Committee and NOT on this agenda (speakers shall be limited to two minutes).**

Lori Castillo - Drainage

Bethi Carver - Drainage

Tommy Knorr via Lori Castillo - Property thefts in water

List Kirk, BIMID Drainage Committee Member - Request addition to BIMAC November agenda

**5. BIMAC Council Member Reports, IF ANY**

*a. Mark Whitlock, Chair*

- PG&E easement issues working on this project
- Health and Safety Fair: 30 vendors; 27 people with vision tests from Lions Club; Sydney and husband hard work, thank you; - - - Scout Hall roof coming, gutters look good
- Working on park no trespass order for parking improvement and individuals living on vacant space and trespassing
- NOAA radio update: recommendation of a good option on flyer provided at back table can contact whitlock for more information, these are CWS approved
- Flock camera fundraiser: w/Geri, Belinda, and several other groups
- Gateway Clean up: still working on it

*b. Pam Allen, Vice Chair**c. Phil Kammerer, Member: Dumping Signs**d. Belinda Bittner, Member*

- concern she did not receive the agenda prior to the meeting; D3 staff will troubleshoot

*e. Rob Brunham, Member***6. Consent Items****1.****25-4271****Attachments:** [251017 BIMAC MeetingMinutes 250812 Aug 2025](#)**Approved**

**A motion was made that this Consent Item was APPROVED.. The motion carried by the following vote:**

**Motion:** Kammerer**Second:** Whitlock**Aye:** Bittner, Brunham, Kammerer, and Whitlock**Absent:** Allen**Result:** Passed**2.****25-4272****Attachments:** [BIMAC AUG & SEPT corresp.](#)**Received****7. Agency Reports, IF ANY**

**a. Contra Costa Office of the Sheriff - Lt. White**

- 171 calls for service
- 4 arrests
- 1 incident with builders at Delta Coves w/resident assistance and footage; property missing, 9 hours spent to recover
- Gateway Cleanup: ongoing progress w/code enforcement

Q Kammerer: Officer at clean up?

A Lt White: Yes

Q Brunham: Red car on taylor at 5am, reckless driving, strategy?

A Lt. White: Will notify deputies, Plate information is helpful

Q Carver: Stop sign placement

A Cleese: D3 staff can connect, not relevant to SO

C Castillo: Video on facebook about red car might be helpful

**b. Contra Costa County Fire Protection District 2025 Q3 Quarterly Update - Bethel Island**

- Chief Xon Burris presenting
- Contact info provided with business cards
- FYI CERT: regional program as opposed to city programs (previous community comment item)
- Presentation (see agenda)

Q Kammerer: Narcan access?

A Burris: email and ask and we can figure it out

Q Whitlock: Helicopter co-funded by PG&E?

A Burris: not sure

Q Kirk: Evacuation plan walk off island? Fire boat locations

A Burris: Yes, Stations 95, 81, 85

C Cleese: Not on agenda, can be requested on a future item (evacuation plan)

Q Carver: 4th of July data exterior definition?

A Burris: typically outside, not multiple acres, small scale, not vegetation, this is 4th of july only data as related to fireworks

1.

[25-4273](#)

Attachments: [251014 cccfpd Q3 Bethel Island](#)

Received

**c. Contra Costa County Supervisor Diane Burgis - Anna Cleese, District Representative**

2.

[25-4274](#)

Attachments: [DISTRICT 3 NEWSLETTER SUBSCRIPTION QR CODE PDF instructions](#)

Received and discussed: Members and community requested additional sign up information for D3 newsletters and other county meeting sign-up information; will be presented at a future meeting by District 3 staff.

3.

25-4262**Attachments:** [250807 flyer Bethel Island Cleanup 2025](#)

Received

Public Works - Willow Road "sinking"

- multiple comments about multiple locations with issues

A Cleese: Public Works has it on the list and will update when they have repaired

**8. Discussion Items**

1.

25-4275**Attachments:** [250828 packet 6201 Bethel island road restauraunt bar vera cort](#)  
[CDLP25-02028 Agency Comment](#)

Unanimous decision to move to the next meeting; more information needed; members were directed to contact staff.

2.

25-4276**Attachments:** [250828 0 sandmound CDMS25-00011 Agency Comment Packet](#)*CONSIDER and APPROVE request to combine November 2025 and December 2025 meetings to be combined to a single meeting held on November 11, 2025. This will be the final meeting for 2025.*

Approved

<b>Motion:</b>	<b>Whitlock</b>
<b>Second:</b>	<b>Kammerer</b>
<b>Aye:</b>	<b>Bittner, Brunham, Kammerer, and Whitlock</b>
<b>Absent:</b>	<b>Allen</b>
<b>Result:</b>	<b>Passed</b>

**9. Committee Reports**

None

**10. Adjourn**

Also discussed Future Agenda Items prior to Adjournment:

- seats 2026
- BIMID engineer report
- Safety Fair receipt reimbursements
- Bethel Island Road repairs, Stone Road repairs, Canal Road repairs, and culverts

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**The next meeting is currently scheduled for November 11, 2025 at 6:00pm.**

For Additional Information Contact:



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-10

**Agenda Date:** 1/6/2026

**Agenda #:** 7b.

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# COMMUNITY TOWN HALL

**MEET YOUR LOCAL  
SHERIFF'S DEPUTIES AND  
MARINE PATROL!**

**Q & A AND CRIME  
PREVENTION TIPS**

## DETAILS:

WHEN: January 8<sup>th</sup>, 2026

TIME: 7:00pm

LOCATION: Scout Hall  
3090 Ranch Ln, Bethel Island



Come prepared with any questions  
or concerns that you would like to  
address with the Sheriff's Office



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-11

**Agenda Date:** 1/6/2026

**Agenda #:** 7c.

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# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Planning Commission

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**Wednesday, November 12, 2025**

**6:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675**

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us), or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

2a. RYAN BYRKIT (Appellant) – RYAN BYRKIT (Applicant and Owner), County File CDVR23-01032: This is an appeal of the Zoning Administrator's decision to deny a Variance Permit to allow a 585-square-foot metal carport (where 500 square feet is the maximum size allowed for an accessory building) that is 18-feet 2-inches in total height (where 15 feet is the maximum height allowed). The project site is located at 4486 Sandmound Boulevard in the Oakley area of unincorporated Contra Costa County. (Zoning: F-1 Water Recreation District) (Assessor's Parcel Number: 032-240-045) GF

25-4532

**Attachments:** [Attachment A CDVR23-01032 Findings CPC](#)

[Attachment B Letter of Appeal](#)

[Attachment C Maps](#)

[Attachment D Photos](#)

[Attachment E Project Plans](#)

[Attachment F CDVR23-01032 Staff Report and Findings ZA  
04.07.2025](#)

[Attachment G CDVR23-01032 Staff Report ZA continued 04.21.2025](#)

[Attachment H Agency Comments](#)

[Attachment I PowerPoint Presentation](#)

[CDVR23-01032 CPC Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON DECEMBER 10, 2025.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Planning Commission

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**Wednesday, October 22, 2025**

**6:30 PM**

**30 Muir Road, Martinez, California**

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**Zoom: <https://cccounty-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675**

**CHAIR:** Kevin Van Buskirk

**VICE-CHAIR:** Bhupen Amin

**COMMISSIONERS:** Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

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The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

**2a** MICHAEL MILANI (Appellant) – CHERYL RAYMA GREEN (Applicant and Owner), County File CDVR25-01012: This is an appeal of the Zoning Administrator's decision to deny a Variance and Small Lot Design Review to allow a 6-foot front yard setback (where 25 feet is the minimum required) for two, 8-foot tall columns to support an entry gate. The project site is located at 10000 Morgan Territory Road in the Livermore area of unincorporated Contra Costa County. (Zoning: A-40 Exclusive Agricultural District) (Assessor's Parcel Number: 006-110-016) (Continued from 09.10.2025) AS

[25-4306](#)

**2b** SMOKE DEPOT (Business) & MATTHEW POURABEDIN & ROYA IRANPOUR (Owner), AHMED DUBAI (Business Owner), County File #CDSE22-00009: A hearing for an appeal of the Zoning Administrator's decision to revoke the legal non-conforming status of a tobacco retailing business, currently operating under the business name Smoke Depot, located at 3770 San Pablo Dam Road, in the El Sobrante area of Contra Costa County. (Zoning: P-1) (Assessor's Parcel number: 420-140-035). EL

[25-4307](#)

**Attachments:** [Attachment A - Revocation Findings CDSE22-00009](#)  
[Attachment B - CDSE22-00009 Determination Letter-signed](#)  
[Attachment C - Zoning Administrator Statement of Decision](#)  
[Attachment D - Contra Costa Health Notice of Suspension Hearing](#)  
[Attachment E - Contra Costa Health Notice of Decision](#)  
[Attachment F - Sheriff's Inspection Report](#)  
[Attachment G - Administrative Notice Of Fine](#)  
[Attachment H - County Health Department Timeline](#)  
[Attachment I- Zoning Administrator Staff Report and attachments](#)  
[Attachment J- CDSE22-00009 Appeal Letter](#)  
[Attachment K - CPC Staff Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON WEDNESDAY, NOVEMBER 12, 2025.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, November 17, 2025**

**1:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675**

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: [http://contra-costa.granicus.com/ViewPublisher.php?view\\_id=13](http://contra-costa.granicus.com/ViewPublisher.php?view_id=13).

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccounty-us.zoom.us/j/83831039285>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us) or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. DEVELOPMENT PLAN: CONTINUED PUBLIC HEARING

2a. CHRISTOPHER MILLS (Applicant & Owner), County File CDDP25-03019: The applicant requests approval of a Development Plan for a Small Lot Design Review to allow for an as-built 370-square-foot pergola on a substandard lot. The subject property is located at 4010 Wellington Place in the unincorporated area of Lafayette in Contra Costa County. (APN: 169-040-036, Zoning: R-20 Single-Family Residential District) CONTINUED FROM NOVEMBER 3, 2025 CP

[25-4738](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, DECEMBER 1, 2025.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, November 3, 2025**

**1:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675**

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: [http://contra-costa.granicus.com/ViewPublisher.php?view\\_id=13](http://contra-costa.granicus.com/ViewPublisher.php?view_id=13).

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccounty-us.zoom.us/j/83831039285>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us) or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. MINOR SUBDIVISION: PUBLIC HEARING

2a. ZAKARIA ISMAIL (Applicant and Owner), County File CDMS23-00009: The applicant requests approval of a Vesting Tentative Parcel Map for a three-lot Minor Subdivision application to subdivide a 0.37-acre residential lot with three existing single-family residences into three parcels, including a 5,207 square-foot Parcel A, a 4,815 square-foot Parcel B, and a 6,282 square-foot Parcel C. Each parcel includes an existing residence and Parcels B and C also include existing detached garages. No new development is proposed with this application. As part of the application, deviations from the required 10-foot minimum front yard, 5-foot minimum side yard and 20-foot minimum rear yard setbacks of the Bay Point P-1 Planned Unit District are requested for Parcel C to allow the existing buildings to remain in their current locations. The applicant also requests authorization of Exceptions to the requirements and regulations of County Code Section 914-2.004 (Offsite Collect and Convey) to retain the current drainage flows, and of County Code Chapter 96-10 (Underground Utilities) to allow the existing utilities to remain. The subject property is located at 10-30 Roberts Street in the Bay Point area of unincorporated Contra Costa County. (Zoning: P-1 Planned Unit District) (Assessor's Parcel Number: 095-075-023) (Continued from 10.20.2025 and re-noticed) JL [25-4525](#)

**Attachments:** [Attachment A Findings and COAs final](#)  
[Attachment B Maps](#)  
[Attachment C Plans](#)  
[Attachment D Agency Comments](#)

3. DEVELOPMENT PLAN: PUBLIC HEARING

3a. CHRISTOPHER MILLS (Applicant & Owner), County File CDDP25-03019: The applicant requests approval of a Development Plan for a Small Lot Design Review to allow for an as-built 370-square-foot pergola on a substandard lot. The subject property is located at 4010 Wellington Place in the unincorporated area of Lafayette in Contra Costa County. (APN: 169-040-036, Zoning: R-20 Single-Family Residential District) CP [25-4526](#)

**Attachments:** [1 CDDP25-03019 Findings and COAs](#)  
[2 CDDP25-03019 Public Comments](#)  
[3 CDDP25-03019 Maps](#)  
[4 CDDP25-03019 Agency Comments](#)  
[5 CDDP25-03019 Project Plans](#)  
[6 CDDP25-03019 Site Visit Photographs](#)

4. VARIANCE: PUBLIC HEARING

**4a.** KIMBERLY SOWERS (Applicant and Owner), County File CDVR25-01004: [25-4527](#)  
The applicant requests approval of a Variance to allow an approximately seven-foot three-inch secondary front yard setback (where 20 feet is the minimum required) for an existing unpermitted 300 square-foot accessory structure. The project site is located at 100 Valley Oaks Drive in the Alamo area of unincorporated Contra Costa County. (Zoning: R-20 Single-Family Residential District) (Assessor's Parcel Number: 197-301-002) WITHDRAWN MLL

**Attachments:** [Attachment A Findings](#)

[Attachment B Maps](#)

[Attachment C Photos](#)

[Attachment D Plans](#)

[Attachment E Agency Comments](#)

[Attachment F Public Comments](#)

[Attachment G Public Hearing Request](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, NOVEMBER 17, 2025.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, January 5, 2026**

**1:30 PM**

**30 Muir Road, Martinez**

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**Zoom: <https://cccounty-us.zoom.us/j/85491390617>**

**Webinar ID: 854 9139 0617 Call in: (855) 758-1310 or (408) 961-3928**

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: [http://contra-costa.granicus.com/ViewPublisher.php?view\\_id=13](http://contra-costa.granicus.com/ViewPublisher.php?view_id=13).

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (855)758-1310 US Toll Free or (408) 961-3928. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccounty-us.zoom.us/j/85491390617> Webinar ID: 854 9139 0617.

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Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS

2. VARIANCE: CONTINUED PUBLIC HEARING

2a. DARRIN DERITA (Applicant) - DARRIN DERITA & TINA M. STRAUB DERITA (Owners), County File #CDVR25-01036. The applicant requests approval of a Variance Permit to allow a 19-foot front setback (where 25 feet is required) and small lot design review for the construction of an approximately 106-square-foot addition to an existing garage and improvements to an approximately 200-square-foot living space addition constructed within the garage without permits. The applicant also requests approval of small lot design review for the construction of an approximately 1,255 square-foot living space addition on the eastern side of the home located on a substandard lot. The subject property is located at 236 Angela Avenue in the Alamo area of Contra Costa County. (Zoning: R-20, Single-Family Residential); (Assessor's Parcel Number: 192-090-007) (Continued from 12.15.2025 WRN) SS [25-5452](#)

**Attachments:** [Findings COA VR25-1036](#)

3. LAND USE PERMIT: PUBLIC HEARING

3a. ISABEL CHAVEZ FOR T MOBILE (Applicant) - TINA THOMAS TRUST (Property Owner); County File #CDLP25-02008: A request for approval of a Land Use Permit to allow the continued operation of an existing T Mobile wireless telecommunications facility that is located on a PG&E tower. The subject property is located at 4723 Suzanne Drive in the unincorporated Pittsburg area of Contra Costa County. Zoning: Agricultural Preserve (A-4) District; APN: 089-050-056 DV [25-5453](#)

**Attachments:** [Attachment 1 Findings and Conditions of Approval](#)

[Attachment 2 Maps](#)

[Attachment 3 Project Plans](#)

3b. JACLYN BELLICITTI, CENTERLINE COMMUNICATIONS (Applicant) - TINA M. THOMAS TRUST (Owner), County File # CDLP23-02030. The applicant requests approval of a Land Use Permit modification of file #CDLP25-02008 to allow an expansion of the lease area and a Variance to allow an approximately 10-foot side yard (where 50 feet is the minimum) for the installation of ground-level electrical equipment for an existing T-Mobile telecommunications facility. The project is located 4723 Suzanne Drive in the unincorporated Pittsburg area of the Contra Costa County. (Zoning: Agricultural Preserve, A-4); (Assessor's Parcel Number: 089-050-056) SS [25-5454](#)

**Attachments:** [Attachment 1 - Findings and COA CDLP23-02030](#)

[Attachment 2 - Maps CDLP23-02030](#)

[Attachment 3 - Agency Comments CDLP23-02030](#)

[Attachment 4 - Project Plans CDLP23-02030](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON WEDNESDAY, JANUARY 21, 2026.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, December 15, 2025**

**1:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/83831039285> Webinar ID: 838 3103 9285 Call in: (855) 758-1310 or (408)961-3928**

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1. PUBLIC COMMENTS
2. MINOR SUBDIVISION: PUBLIC HEARING

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2a. SONJA BACHUS ON BEHALF OF INMAN LAW GROUP, LLP AND ERIC GIROD (Applicant) - RON ELVIDGE (Owner), County File #CDMS21-00012: The applicant requests approval of a tentative parcel map for a one lot subdivision for condominium conversion to allow for the creation of two commercial condominium units and the remainder for parking and common area (Parcel A). Condominium Unit 1 will be approximately 14,903 square feet and Condominium Unit 2 will be approximately 4,728 square feet. Parcel A will be approximately 37,870 square feet. There is an existing commercial building on the property and there are no proposed improvements or modifications to the site. There are no changes to the two businesses currently occupying the commercial building. The project site is addressed as 100 1st Ave North, in the Pacheco area of the County. (Zoning: R-B, Retail Business District) (APN: 125-032-031) EL [25-5237](#)

**Attachments:** [Attachment A CDMS21-00012 Findings and COA](#)

[Attachment B CDMS21-00012 Condominium Documents](#)

[Attachment C CDMS21-00012 Building Inspection Report](#)

[Attachment D CDMS21-00012 Maps](#)

[Attachment E CDMS21-00012 Agency Comments](#)

[Attachment F CDMS21-00012 Plans final](#)

3. LAND USE PERMIT: PUBLIC HEARING

3a. SGI PACHECO LLC – DBA STIIZY (Applicant) - RON ELVIDGE (Owner), County File #CDLP25-02034: The applicant requests approval of a Land Use Permit to allow for a five-year renewal of a licensed cannabis retail and delivery operations “STIIZY” within an existing building that was previously approved under CDLP20-02003. There are no modifications or changes to the existing business proposed at this time. The project site is addressed as 5753 Pacheco Blvd in the Pacheco area of the County. (Zoning: R-B, Retail Business District) (APN: 125-032-031) EL [25-5238](#)

**Attachments:** [Attachment A CDLP25-02034 Findings and COA](#)

[Attachment B CDLP25-02034 maps](#)

[Attachment C CDLP25-02034 Current License](#)

[Attachment D CDLP25-02034 Agency Comments](#)

4. DEVELOPMENT PLAN: PUBLIC HEARING

4a. NUMAIR ALI (Applicant) - ALI SHAKIL AND ANITA A TRUST (Owner), County File #CDDP22-03021: The applicant requests approval of a Development Plan to construct eight townhome units within two separate three-story buildings and to install associated improvements (e.g. pavement, utilities, stormwater conveyance). Building 1 will be approximately 10,995 square feet and building 2 will be approximately 6,615 square feet. The project includes a Tree permit for the removal of five code-protected Trees, ranging in size from 7" to 30" DBH and consisting of a Deodar Cedar, a Douglas Fir, a Pear and two Olive Trees. The project includes grading approximately 200 cubic yards of cut and 750 cubic yards of fill. The project includes a request for a deviation to the El Sobrante P-1 development standards to allow for a 33'-6 1/2" height (where 27' is the maximum height allowed). The project also includes a request for an exception to Division 914, Collect and Convey requirements. The project site is addressed as 4301 Appian Way, in the El Sobrante area of the County. (Zoning: P-1, Planned Unit Development) (APN: 425-142-030) EL [25-5239](#)

**Attachments:** [Attachment A CDDP22-03031 Findings & Conditions](#)  
[Attachment B CEQA Public Comments](#)  
[Attachment C Initial Study,MND,MMRP](#)  
[Attachment D Maps](#)  
[Attachment E Agency Comment Packet](#)  
[Attachment F Special Reports](#)  
[Attachment G 4.22.2025 plans](#)

5. VARIANCE: PUBLIC HEARING

5a. DARRIN DERITA (Applicant) - DARRIN DERITA & TINA M. STRAUB DERITA (Owners), County File #CDVR25-01036. The applicant requests approval of a Variance Permit to allow a 19-foot front setback (where 25 feet is required) and small lot design review for the construction of an approximately 106-square-foot addition to an existing garage and improvements to an approximately 200-square-foot living space addition constructed within the garage without permits. The applicant also requests approval of small lot design review for the construction of an approximately 1,255 square-foot living space addition on the eastern side of the home located on a substandard lot. The subject property is located at 236 Angela Avenue in the Alamo area of Contra Costa County. (Zoning: R-20, Single-Family Residential); (Assessor's Parcel Number: 192-090-007) SS [25-5240](#)

**Attachments:** [Attachment 1 - Findings and COA CDVR25-01036](#)  
[Attachment 2 - Maps CDVR25-01036](#)  
[Attachment 3 - Agency Comments CDVR25-01036](#)  
[Attachment 4 - Applicant Written Statement CDVR25-01036](#)  
[Attachment 5 - Project Plans CDVR25-01036](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, JANUARY 5, 2026.



## CONTRA COSTA COUNTY

### AGENDA

### Contra Costa County Planning Commission

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**Wednesday, December 10, 2025**

**6:30 PM**

**30 Muir Road, Martinez, CA**

**Zoom: <https://cccounty-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675**

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at [planninghearing@dcd.cccounty.us](mailto:planninghearing@dcd.cccounty.us), or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

1. PLEDGE OF ALLEGIANCE

2. SUBDIVISION MAP EXTENSIONS

**2a.** PACIFIC WEST COMMUNITIES (Applicant) – CONTRA COSTA COUNTY (Owner), County Files CDMS21-00005 and CDLP21-02015. The applicant requests a three (3) year extension of the period of time for filing a parcel map, to December 14, 2028, for the Orbisonia Village Project, consisting of four new parcels, and a Land Use Permit – Development Plan Combination Permit for the development of a three-phase mixed-use project including up to 384 units, not to exceed 165 units in phase one, a 20,900 sq. ft. public library, and 10,900 sq. ft. of commercial space, that was approved under Minor Subdivision CDMS21-00005 and Land Use – Development Plan Combination Permit CDLP21-02015. The project site is bound by Bailey Road to the west, State Route 4 to the north, Ambrose Park to the east, and West Leland Road to the south in the Bay Point area of unincorporated Contra Costa County. (Zoning: Bay Point P-1 Planned Unit District) (Assessor's Parcel Number: 094-026-007 (Primary)) JL

[25-5014](#)

**Attachments:** [Attachment A MS21-00005 CDLP21-02015 Plans 08.17.2022](#)

[Attachment B CDMS21-00005 CDLP21-02015 APPROVED PERMIT](#)

3. PUBLIC HEARINGS

3a. BENOIT MCVEIGH, DK ENGINEERING (Applicant) - GEORGE M. MOORE (Owner), County File CDRZ23-03271, CDMS23-00005. The applicant requests approval of a rezone from an A-2, General Agricultural (A-2) District to R-40 Single-Family Residential (R-40) District, and a vesting tentative map to subdivide the subject 2-acre property into two lots, an approximately 0.95-acre Parcel A and an approximately 1.05-acre Parcel B. The applicant has requested variances to the requirements of the R-40 zoning district standards to allow a 0-foot front setback and an 8-foot side yard for the construction of retaining Wall #1 and to allow a 5-foot front setback for the construction of retaining Wall #3. The applicant also requests an exception to County Title 9 standards requiring the undergrounding of existing utilities along the Green Valley Road frontage. Site improvements include expanding the existing driveway where it connects to Green Valley Road, installing new utilities and infrastructure, and constructing stormwater and drainage infrastructure. The applicant also requests approval of a tree permit for the removal of eight code-protected trees and to allow work within the driplines of four code-protected trees for the demolition of an existing barn, grading including  $\pm 330$  cubic yards (CYS) of cut and  $\pm 540$  CYS of fill for a net 210 CYS, construction of retaining walls and site improvements, and construction of a new two-story residence on proposed Parcel B. An existing residence on proposed Parcel A would remain unchanged. The project is located at 1921 Green Valley Road in the Alamo area of Contra Costa County. (Zoning: A-2 General Agricultural District); (Assessor's Parcel Numbers: 194-070-015, 194-070-018) SS

[25-5013](#)

**Attachments:** [Attachment 1 - Findings and COA CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 2 - Proposed Zoning Map\\_PreOrdinance RZ233271](#)  
[Attachment 3 - Maps CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 4 - Agency Comments CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 5 - CEQA Public Comments](#)  
[CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 6 - Initial Study-MND 11-17-25](#)  
[CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 7 - Applicant Acceptance of Mitigations](#)  
[CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 8 - MMRP\\_11-17-2025 CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 9 - Project Plans CDRZ23-03271\\_CDMS23-00005](#)  
[Attachment 10 - Presentation Slides CDRZ23-03271\\_CDMS23-00005](#)

3b. ELLEN BULLA, Sycamore Court Home Association (Appellant), ROD SCHLENKER, Insurance Auto Auctions, Inc. (Applicant), NGL SF Bay Storage & Transfer, LLC (Owner), County File CDDP18-03005. This is an appeal of the Zoning Administrator's decision to approve a development plan for the expansion of an existing Insurance Auto Auctions storage facility onto an adjacent vacant 10.35-acre property. The proposed expansion would allow the storage of an additional 1,136 vehicles bringing the total number of vehicles permitted to be stored at the facility to approximately 4,436 vehicles. The development plan approval includes approval of a deviation to the Bay Point P-1 Development Standards for 7.5% of the subject lot to be landscaped (where 10% of the site is required to be landscaped), approval of a tree permit for the removal of 41 code-protected trees ranging in size from 7" to 60" in diameter, and the granting of an exception to the collect and convey requirements of Division 914 of the County Code. The Commission will also consider a mitigated negative declaration prepared for the project under the California Environmental Quality Act. The project site is located at 2770 Willow Pass Road in the Bay Point area of unincorporated Contra Costa County. (Zoning: Bay Point P-1 Planned Unit District) (Assessor's Parcel Number: 098-240-031) (CONTINUED TO JANUARY 14, 2026) GF

**Attachments:** [Attachment A Findings and COAs](#)  
[Attachment B Letter of Appeal](#)  
[Attachment C Maps](#)  
[Attachment D Project Plans](#)  
[Attachment E Updated Landscaping Plan](#)  
[Attachment F CDDP18-03005 Staff Report ZA 7\\_6\\_22](#)  
[Attachment G CDDP18-03005 Staff Report ZA Continuation 11\\_17\\_22](#)  
[Attachment H Agency Comments](#)  
[Attachment I CDDP18-03005 MND](#)  
[Attachment J CDDP18-03005 MMRP](#)  
[Attachment K CDDP18-03005 CEQA Comments](#)

4. PUBLIC COMMENTS

5. STAFF REPORT

6. COMMISSIONERS' COMMENTS

7. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON WEDNESDAY, JANUARY 14, 2026.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Zoning Administrator

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**Monday, December 1, 2025**

**1:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675**

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: [http://contra-costa.granicus.com/ViewPublisher.php?view\\_id=13](http://contra-costa.granicus.com/ViewPublisher.php?view_id=13).

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1. PUBLIC COMMENTS
2. LAND USE PERMIT: PUBLIC HEARING

2a. TOM LINN (Applicant) - VARMA, LLC (Owner), County File #CDLP25-02006: [25-4955](#)  
The applicant is requesting a Land Use Permit modification amending Land Use Permit #CDLP94-02009 for the purpose of adding a 960-square-foot modular building to an existing childcare facility on the subject property. The existing facility provides care for children aged 2-6 years old within two existing buildings totaling 4,060 square feet in area. The proposed 960-square-foot modular building would be utilized to provide care for up to 12 additional infant-aged children. The project also includes a request for tree permit approval authorizing dripline encroachment for one (1) eucalyptus tree for the construction of retaining wall and stairway improvements shown on the site plan. Lastly, the project includes a request to legalize an existing 1,080-square-foot shade structure located adjacent to the existing childcare facility, as well as landscaping improvements along the property's Appian Way frontage. The subject property is located at 716 Appian Way in the El Sobrante Area of Unincorporated Contra Costa County. (Zoning: R-7 Single-Family Residential District) (APN: 430-181-006) AV

**Attachments:** [01 CDLP25-02006 Findings and COAs](#)  
[02 Maps Plans](#)  
[03 Agency Comments](#)

2b. T-MOBILE (Applicant) - US Sprint (Property Owner), County File CDLP25-02026: The applicant requests approval of a Land Use Permit application for the continued operation of an existing T-Mobile wireless telecommunications facility that was established under Land Use Permit CDLP83-02003. No modifications of the wireless facility are proposed. The project site is located at 8851 Manning Road in the Livermore area of unincorporated Contra Costa County. (Zoning: A-80 Exclusive Agricultural District) (Assessor's Parcel Number: 006-200-004) AS [25-4956](#)

**Attachments:** [Attachment A Findings and COAs](#)  
[Attachment B Maps](#)  
[Attachment C Project Plans](#)  
[Attachment D Photos](#)  
[Attachment E RF-EME Report](#)  
[Attachment F Agency Comments](#)

2c. U-HAUL (Applicant and Owner), County File #CDLP24-02007. The applicant requests approval of a Land Use Permit to establish a new, 5,709-square-foot U-Haul retail business within an existing U-Haul warehouse and six exterior wall signs totaling 416 square feet to be installed on the front of the warehouse located in the unincorporated Bay Point area of Contra Costa County. (Zoning: L-I) (Assessor's Parcel Numbers: 099-160-026 and 099-160-027) (CANCELLED) NS [25-4957](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, DECEMBER 15, 2025.



# CONTRA COSTA COUNTY

## AGENDA

### Contra Costa County Planning Commission

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**Wednesday, November 12, 2025**

**6:30 PM**

**30 Muir Road, Martinez**

**Zoom: <https://cccounty-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675**

**CHAIR:** Kevin Van Buskirk

**VICE-CHAIR:** Bhupen Amin

**COMMISSIONERS:** Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

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1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

2a. RYAN BYRKIT (Appellant) – RYAN BYRKIT (Applicant and Owner), County File CDVR23-01032: This is an appeal of the Zoning Administrator's decision to deny a Variance Permit to allow a 585-square-foot metal carport (where 500 square feet is the maximum size allowed for an accessory building) that is 18-feet 2-inches in total height (where 15 feet is the maximum height allowed). The project site is located at 4486 Sandmound Boulevard in the Oakley area of unincorporated Contra Costa County. (Zoning: F-1 Water Recreation District) (Assessor's Parcel Number: 032-240-045) GF

25-4532

**Attachments:** [Attachment A CDVR23-01032 Findings CPC](#)

[Attachment B Letter of Appeal](#)

[Attachment C Maps](#)

[Attachment D Photos](#)

[Attachment E Project Plans](#)

[Attachment F CDVR23-01032 Staff Report and Findings ZA  
04.07.2025](#)

[Attachment G CDVR23-01032 Staff Report ZA continued 04.21.2025](#)

[Attachment H Agency Comments](#)

[Attachment I PowerPoint Presentation](#)

[CDVR23-01032 CPC Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON DECEMBER 10, 2025.



# CONTRA COSTA COUNTY

## Staff Report

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

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**File #:** 25-5427

**Agenda Date:** 1/6/2026

**Agenda #:** 7d.

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Advisory Board: Bethel Island Municipal Advisory Council

Subject: RECEIVE BIMAC Annual 2025 Report

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: [Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us) <mailto:[Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us)>

Recommendation(s)/Next Step(s):

RECEIVE BIMAC Annual 2025 Report



## **ADVISORY BODY ANNUAL REPORT**

Advisory Body Name: \_\_\_\_\_

Advisory Body Meeting Time/Location: \_\_\_\_\_

Chair (during the reporting period): \_\_\_\_\_

Staff Person (during the reporting period): \_\_\_\_\_

Reporting Period: \_\_\_\_\_

### **I. Activities** (estimated response length: 1/2 page)

*Describe the activities for the past year including areas of study, work, special events, collaborations, etc.*

### **II. Accomplishments** (estimated response length: 1/2 page)

*Describe the accomplishments for the past year, particularly in reference to your work plan and objectives.*

III. Attendance/Representation

(estimated response length: 1/4 page)

*Describe your membership in terms of seat vacancies, diversity, level of participation, and frequency of achieving a quorum at meetings.*

IV. Training/Certification

(estimated response length: 1/4 page)

*Describe any training that was provided or conducted, and any certifications received, either as a requirement or done on an elective basis by members. NOTE: Please forward copies of any training certifications to the Clerk of the Board.*

V. Proposed Work Plan/Objectives for Next Year

(estimated response length: 1/2 page)

*Describe the advisory body's workplan, including specific objectives to be achieved in the upcoming year.*



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-5428

**Agenda Date:** 1/6/2026

**Agenda #:** 7e.

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Advisory Board: Bethel Island Municipal Advisory Council

Subject: RECEIVE and DISCUSS Public Works Bethel Island Road Repair Memo

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: [Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us) <mailto:[Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us)>

Recommendation(s)/Next Step(s):

RECEIVE and DISCUSS Public Works Bethel Island Road Repair Memo



# Contra Costa County Public Works Department

Warren Lai, Director  
Deputy Directors  
Stephen Kowalewski, Chief  
Allison Knapp  
Sarah Price  
Carrie Ricci  
Joe Yee

## FOR IMMEDIATE RELEASE

### ***Contra Costa County Public Works to Close One Lane of Bethel Island Road***

October 27, 2025, Bethel Island, CA- The Contra Costa County Public Works Department is closing one lane of Bethel Island Road approximately 3,000 feet north of Gateway Road due to a failing pipe under the roadway. The section of road that is closed to one lane will be controlled with stop signs on both sides of the lane closure.

The Public Works Department is currently in the design phase of a project to replace the pipe. For more information visit: <https://www.contracosta.ca.gov/9933/Bethel-Island-Road-Sinkhole-and-Culvert->

#### **Lane Closure Map**



*"Accredited by the American Public Works Association"*

255 Glacier Drive Martinez, CA 94553-4825

TEL: (925) 313-2000 • FAX: (925) 313-2333

[www.cccpublicworks.org](http://www.cccpublicworks.org)



# Contra Costa County Public Works Department

Warren Lai, Director

Deputy Directors

Stephen Kowalewski, Chief

Allison Knapp

Sarah Price

Carrie Ricci

Joe Yee

## **About Contra Costa County Public Works Department:**

Contra Costa County Public Works Department (CCCPWD) maintains over 660 miles of roads, 150 miles of streams, channels, and other drainage and over 150 County buildings throughout Contra Costa County. CCCPWD provides services such as Parks and Recreation, Sandbag Distribution and Flood Control throughout unincorporated areas of Contra Costa County. CCCPWD operates two airports, Buchanan Field Airport in Concord, and Byron Airport in Byron. For more information about CCCPWD, please visit us at: [www.cccpublicworks.org](http://www.cccpublicworks.org)

**CONTACT:** Mike Stevens 925.313.7038; Media Inquiries: 925.313.2000

# # # #

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# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-4275

**Agenda Date:** 1/6/2026

**Agenda #:** 8a.

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Advisory Board: Bethel Island Municipal Advisory Council

Subject: Agency Comment Request Packet CDLP25-02028, 6201 Bethel Island Road

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: [Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us) <mailto:[Anna.Cleese@bos.cccounty.us](mailto:Anna.Cleese@bos.cccounty.us)>

Information:

Questions and information requests can be made by contacting Joseph Lawlor; 925-655-2872; [Joseph.lawlor@dcd.cccounty.us](mailto:Joseph.lawlor@dcd.cccounty.us)

Recommendation(s)/Next Step(s):

RECEIVE and CONSIDER Agency Comment Request Packet CDLP25-02028, 6201 Bethel Island Road



## AGENCY COMMENT REQUEST

Date 08/28/2025

We request your comments regarding the attached application currently under review.

<p><b>DISTRIBUTION</b></p> <p><b>INTERNAL</b></p> <p><input checked="" type="checkbox"/> Building Inspection      Grading Inspection</p> <p><input type="checkbox"/> Advance Planning      Housing Programs</p> <p><input type="checkbox"/> Trans. Planning      Telecom Planner</p> <p><input type="checkbox"/> ALUC Staff      HCP/NCCP Staff</p> <p><input type="checkbox"/> County Geologist</p> <p><b>HEALTH SERVICES DEPARTMENT</b></p> <p><input checked="" type="checkbox"/> Environmental Health      Hazardous Materials</p> <p><b>PUBLIC WORKS DEPARTMENT</b></p> <p><input checked="" type="checkbox"/> Engineering Services      Special Districts</p> <p>Traffic</p> <p><input checked="" type="checkbox"/> Flood Control (Full-size)</p> <p><b>LOCAL</b></p> <p><input checked="" type="checkbox"/> Fire District _____          San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>  <input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfpd.org">fire@cccfpd.org</a></p> <p><input checked="" type="checkbox"/> Sanitary District Ironhouse Sanitary District</p> <p><input checked="" type="checkbox"/> Water District <small>Bethel Island Municipal Improvement District (BIMID)</small>          City of _____          School District(s) _____          LAFCO          Reclamation District # _____          East Bay Regional Park District          Diablo/Discovery Bay/Crockett CSD  <input checked="" type="checkbox"/> MAC/TAC <small>Bethel Island MAC</small>          Improvement/Community Association  <input checked="" type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)</p> <p><b>OTHERS/NON-LOCAL</b></p> <p>CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)          CA Fish and Wildlife, Region 3 – Bay Delta          Native American Tribes</p> <p><b>ADDITIONAL RECIPIENTS</b></p> <p>BIMID          ABC/Historic Planner - D. Vogelpohl</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Joseph Lawlor</u></p> <p>Phone # <u>925-655-2872</u></p> <p>E-mail <u>joseph.lawlor@dcd.cccounty.us</u></p> <p>County File # <u>CDLP25-02028</u></p> <p>Prior to <u>09/26/2025</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Landslide</td> <td style="width: 50%;">Active Fault Zone (A-P)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Liquefaction</td> <td><input checked="" type="checkbox"/> Flood Hazard Area - <b>AE</b></td> </tr> <tr> <td colspan="2"><input checked="" type="checkbox"/> 60-dBA Noise Control</td> </tr> <tr> <td colspan="2">CA EPA Hazardous Waste Site</td> </tr> <tr> <td colspan="2">High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments:      None      Below      Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	Landslide	Active Fault Zone (A-P)	<input checked="" type="checkbox"/> Liquefaction	<input checked="" type="checkbox"/> Flood Hazard Area - <b>AE</b>	<input checked="" type="checkbox"/> 60-dBA Noise Control		CA EPA Hazardous Waste Site		High or Very High FHSZ	
Landslide	Active Fault Zone (A-P)										
<input checked="" type="checkbox"/> Liquefaction	<input checked="" type="checkbox"/> Flood Hazard Area - <b>AE</b>										
<input checked="" type="checkbox"/> 60-dBA Noise Control											
CA EPA Hazardous Waste Site											
High or Very High FHSZ											



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number:** CDLP25-02028

**File Date:** 8/27/2025

**Applicant:**

Debra Fromme Choice Plans and Permit Services  
1021 Vineyard Drive  
Oakley, CA 94561

choicepps@yahoo.com  
(925) 783-1858

**Property Owner:**

VERA TRE CORT  
757 3RD AVE  
SAN FRANCISCO, CA 941183908

cortproperty@gmail.com  
(415) 573-7443

**Project Description:**

The applicant seeks approval of a Land Use / Development Plan combination to establish a restaurant/bar. Scope of work includes both internal and external changes to existing building.

**Project Location: (Address: 6201 BETHEL ISLAND RD, BETHEL ISLAND, CA 94511), (APN: 031031020)**

**Additional APNs:**

**General Plan Designation(s):** CO

**Zoning District(s):** "R-B, -CE -FH"

**Flood Hazard Areas:** AE

**AP Fault Zone:** n/a

**60-dBA Noise Control:** X

**MAC/TAC:** Bethel Island MAC

**Sphere of Influence:**

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

**Housing Inventory Site:** NO

**Specific Plan:**

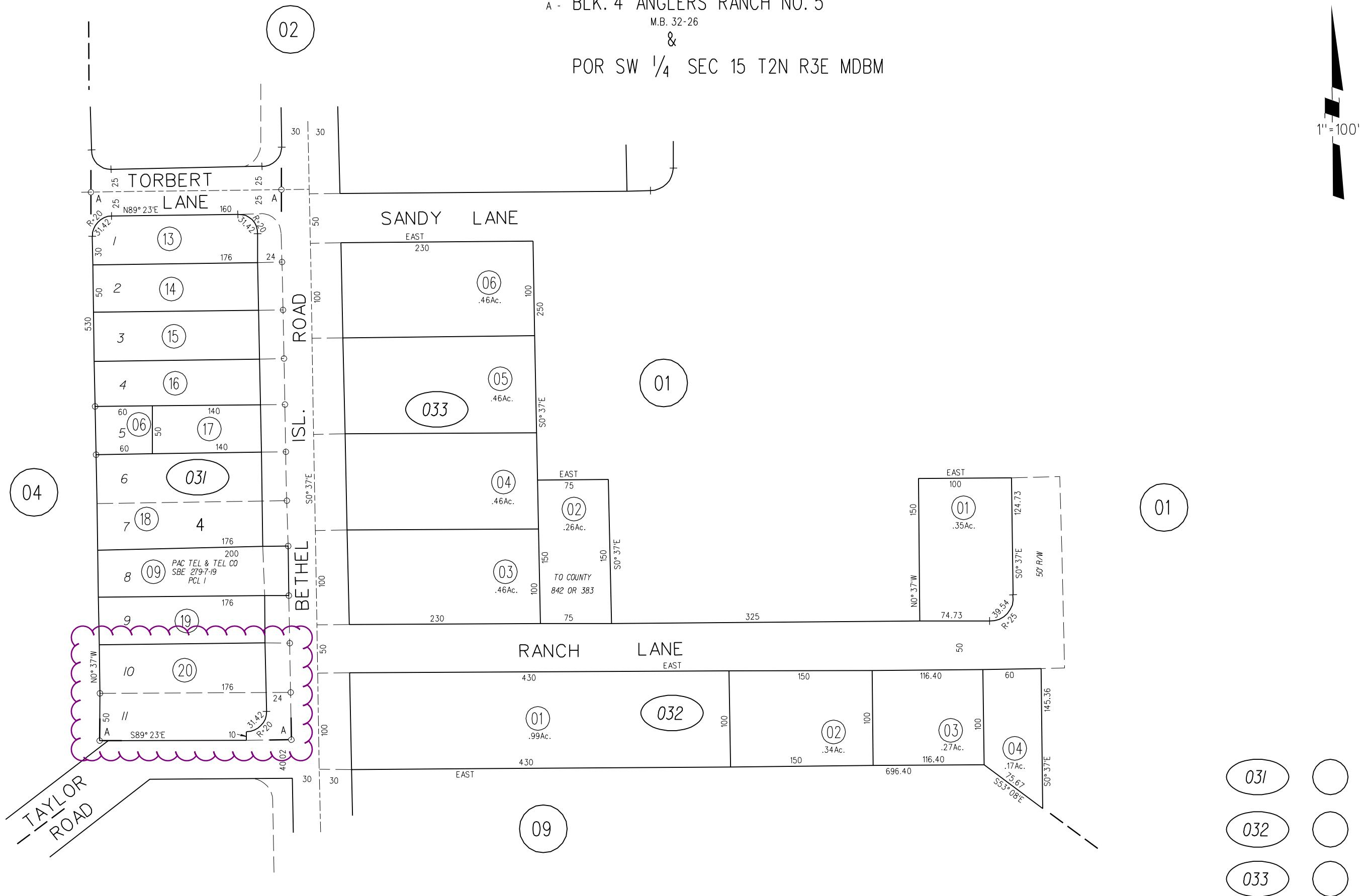
**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
LPS0016	Development Plan Rvw-Administrative	002606-9660-REV-000-5B0016	3000.00	3000.00
LPS028A	LUP/DP Combo	002606-9660-REV-000-5B028A	6000.00	6000.00
<b>Total:</b>			<b>9162.00</b>	<b>9162.00</b>

## A - BLK. 4 ANGLERS RANCH NO. 5

M.B. 32-26

&amp;

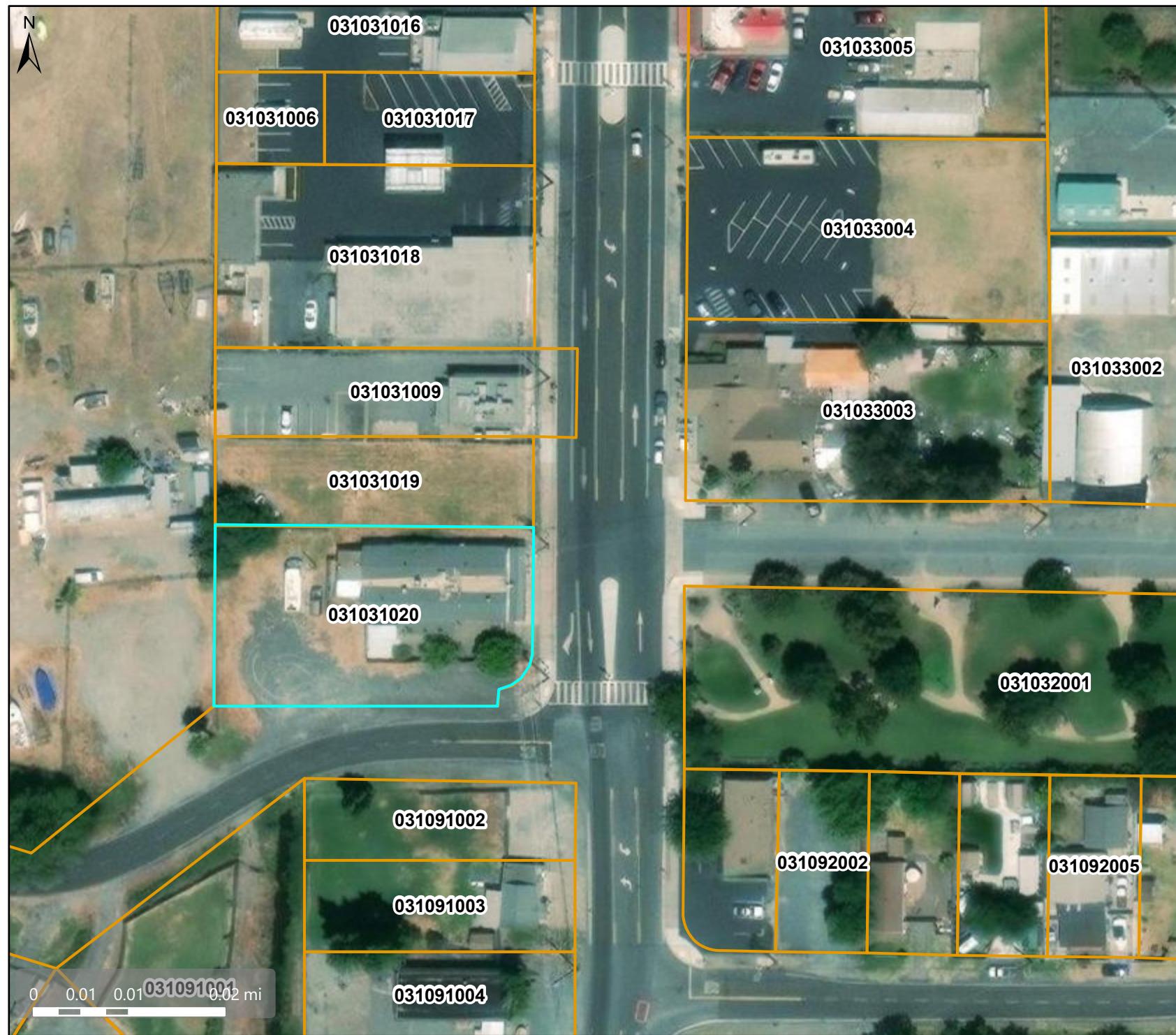
POR SW  $\frac{1}{4}$  SEC 15 T2N R3E MDBM107-19  
ASSESSOR'S MAP

BOOK 31 PAGE 03

CONTRA COSTA COUNTY, CA 46

031  
032  
033

# Aerial



## Map Legend

- County Border
- Assessment Parcels
- Parcels

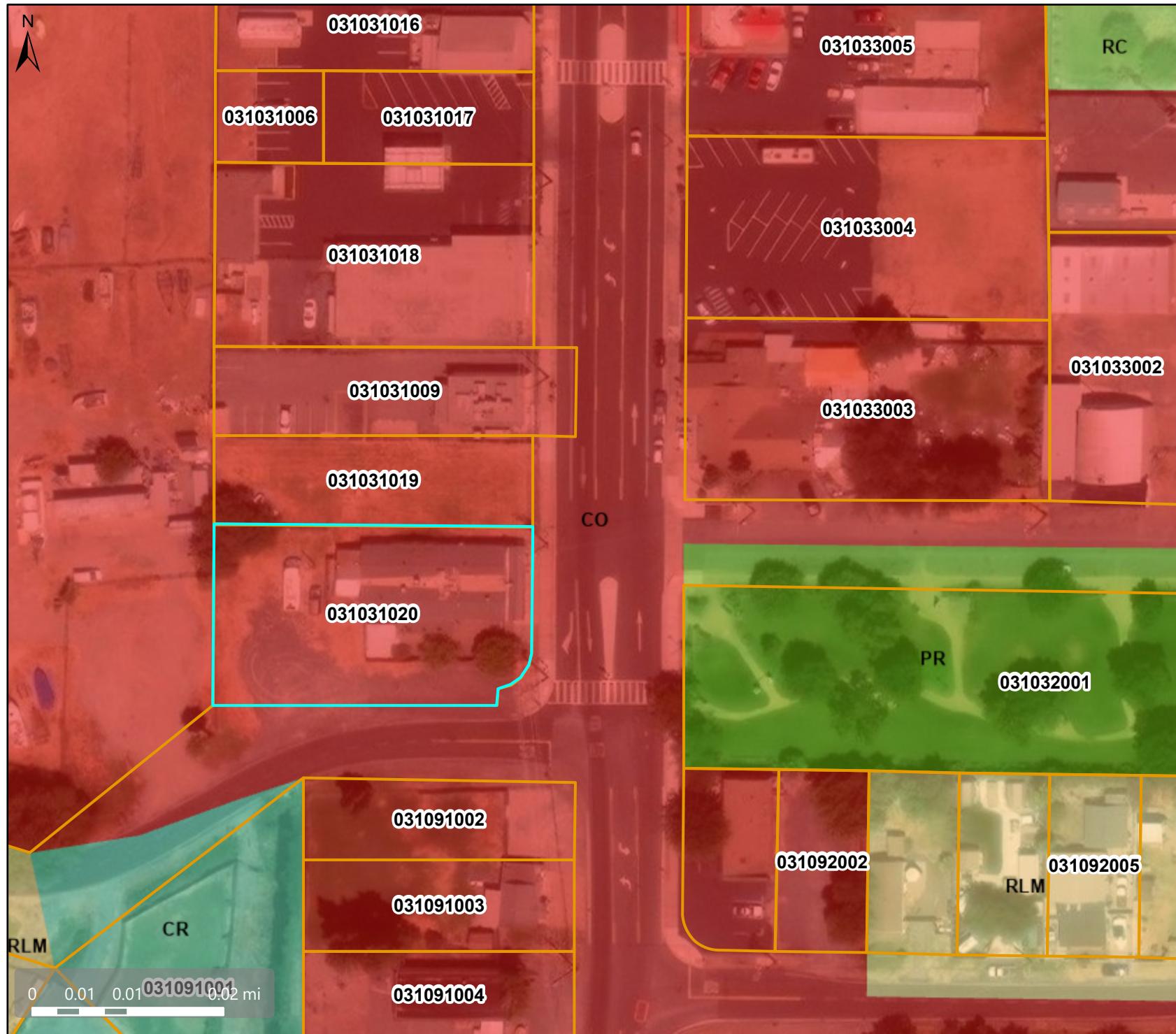
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# General Plan



Map Legend	
County Border	
Assessment Parcels	
Planning Layers (DCD)	
General Plan	
RLM (Residential)	
Low-Medium Density (3-7 du/na)	
CO (Commercial and Office) (C: 1.0 FAR O: 2.75 FAR)	
CR (Commercial Recreation)	
PR (Park and Recreation)	
RC (Resource Conservation)	

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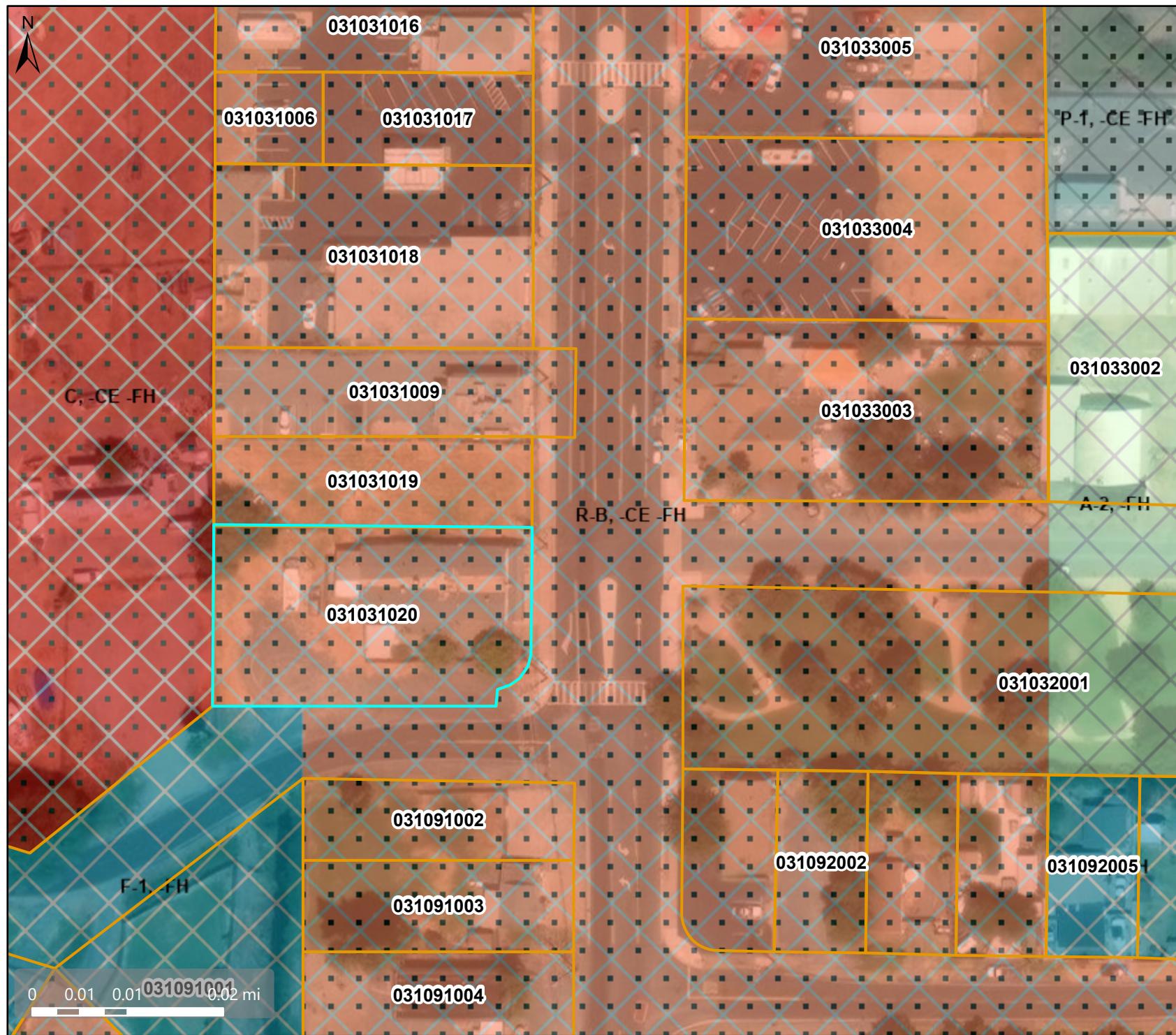
Data layers contained within the CCMap application

are provided by various Contra Costa County Departments.

Please direct all data inquires to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# Zoning



## Map Legend

County Border
Assessment Parcels
Planning Layers (DCD)
Zoning
ZONE_OVER
F-1 -FH (Flood Hazard Combining District)
A-2 -FH (Flood Hazard Combining District)
R-B -CE -FH (Cannabis Exclusion and Flood Hazard)
C -CE -FH (Cannabis Exclusion and Flood Hazard)
P-1, -CE -FH (Cannabis Exclusion and Flood Hazard)

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

## GENERAL NOTES

GENERAL NOTES  
 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELECTRICAL CODE, N.F.P.A., AND ALL OTHER APPLICABLE CODES, RULES, AND REGULATION IN THEIR LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQUIREMENTS WITH ALL SUBCONTRACTORS.

2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO THE PLANS AND SPECIFICATIONS AND ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR MISCONSTRUCTIONS. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.

3. DETAILS ARE USUALLY KEYED ONCE ON THE PLANS OR ELEVATIONS, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.

4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.

5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF THE WORK.

6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE.

7. THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. SHOP DRAWINGS ARE REQUIRED FOR ALL CUSTOM OR SEMI-CUSTOM ASSEMBLIES, U.N.O.

8. ALL THERMAL AND ACOUSTIC INSULATION SHALL COMPLY WITH THE APPLICABLE CODE.

9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, AND RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.

10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOBSITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.

11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.

12. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.

13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.

14. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT AND ACCURATE CONNECTION OF BUTTING, ADJOINING, OVERLAPPING AND RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, TURNTURNS, CAULKING AND SEALING AND INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, AND CORRECTLY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE. ACCORDINGLY, THE CONTRACTOR SHALL SCHEDULE AND MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFACE AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.

16. ALL MATERIALS AND FINISHES USED ON THE PROJECT SHALL BE NEW AND FREE OF DEFECTS OR DAMAGE, U.N.O.

17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE AND MATERIALS NOT DEFINITELY SPECIFIED HERIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS AND BE THE TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE ARE VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECTS APPROVAL BEFORE PROCEEDING WITH THE WORK.

18. DIMENSIONING STANDARDS  
 A. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL AND DO NOT INCLUDE EXTRAS MATERIAL.  
 B. DIMENSIONS NOTED AS "CLEAR" OR "CL." MUST BE PRECISELY MAINTAINED AND SHALL INCLUDE APPLIED FINISH MATERIALS.  
 C. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-.  
 D. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, EXCLUDING EXTRAS, SUBJECT TO THE ACCEPTANCE OF THE OWNER OR THE ARCHITECT, U.N.O.  
 E. DIMENSIONS MARKED AS "A.F." ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.  
 F. DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CLARIFICATION AND CONSENT OF THE ARCHITECT.

19. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING AND COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.

20. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND CLEARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WITH THE WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTION OR CLARIFICATIONS.

21. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE AND WELL MANNER.

22. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

23. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL AND CEILING MOUNTED ACCESSORIES AND HARDWARE.

24. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PURCHASING ANY EQUIPMENT, FIXTURES, OR FINISH MATERIALS, U.N.O.

## VICINITY MAP

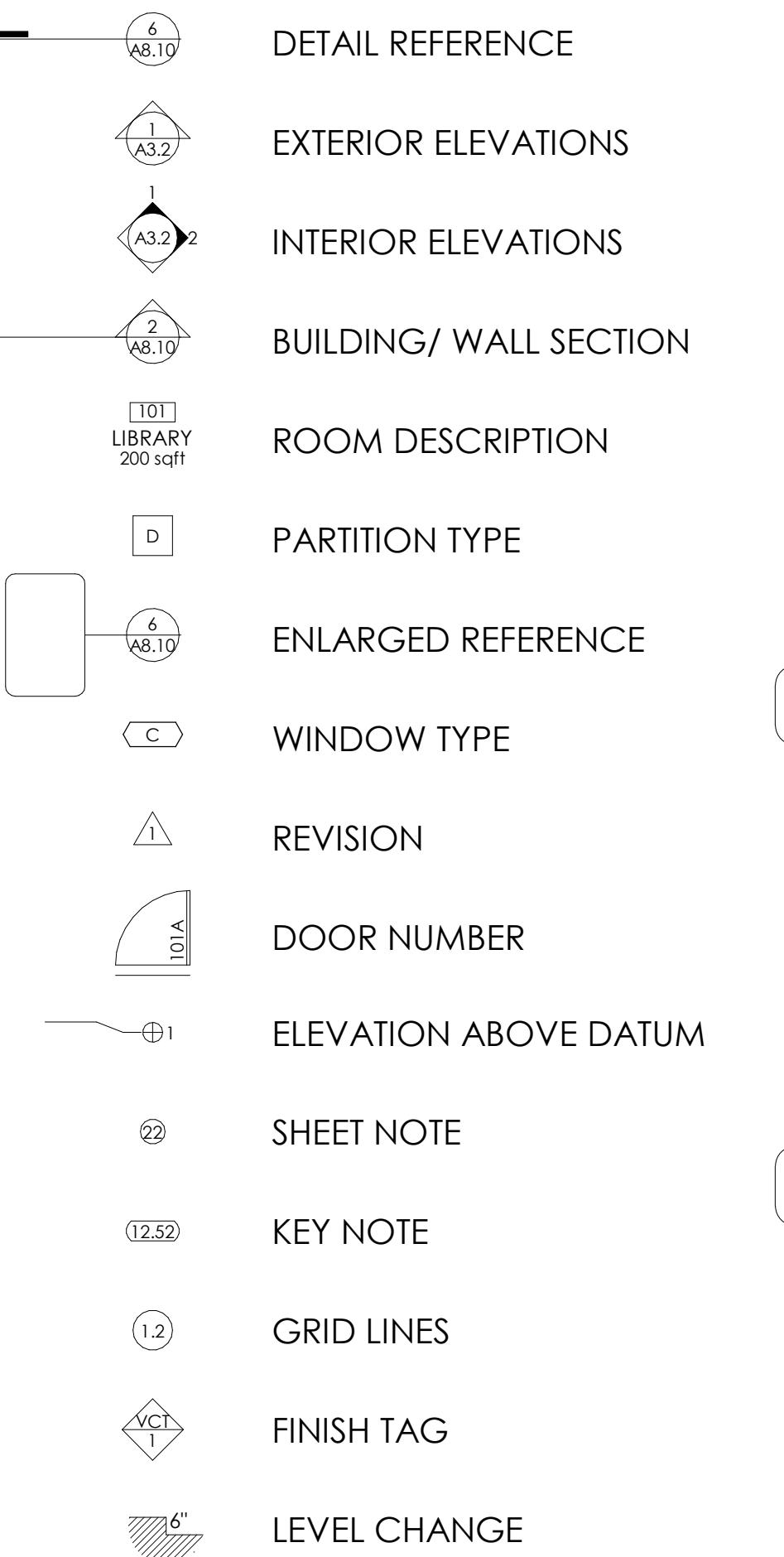


## ABBREVIATIONS

# - NUMBER OR POUND  
 & - AND  
 (E) - EXISTING  
 @ - PLUS OR MINUS  
 < - LESS THAN  
 > - GREATER THAN  
 A - ANCHOR BOLT  
 ABV - ABOVE  
 AC - ASPHALTED CONCRETE  
 ACT - ACOUSTICAL CLG TILE  
 AD - AREA DRAIN  
 ADD - ADDENDUM  
 ADDL - ADDITIONAL  
 ADJ - ADJUSTABLE  
 ADJ. - ADJACENT  
 ADMIN - ADMINISTRATION  
 AFF - ABOVE FINISH FLOOR  
 ALT - ALTERNATE  
 AM - AMOUNT  
 AMEND - AMENDMENT  
 AP - APPROXIMATE  
 APPROX - APPROXIMATE  
 ARCH - ARCHITECT  
 AUTO - AUTOMATIC  
 BFT - BOTTOM FOOTING ELEV  
 BIT - BITUMINOUS  
 BKT - BRACKET  
 BLDG - BUILDING  
 BLKG - BLOCKING  
 BM - BEAM  
 BO - BY OWNER  
 BOT - BOTTOM  
 BSMT - BASEMENT  
 BTWN - BETWEEN  
 C&A - CONTRACTOR  
 CANTL - CANTILEVER  
 CCTV - CLOSED CIRCUIT TV  
 CJT - CONTROL JOINT  
 CL - CENTER LINE  
 CLG - CLAW  
 CO - CASED OPENING  
 COL - COLUMN  
 CONC - CONCRETE  
 CONF - CONFERENCE  
 CONST - CONSTRUCTION  
 COOP - COOPERATIVE  
 CONTR - CONTRACTOR  
 COORD - COORDINATE  
 CPT - CARPET  
 CT - CERAMIC TILE  
 CTR - CENTER  
 CTSK - COUNTER-SUNK/SINK  
 CW - COLD WATER  
 D - DEPTH OR DEEP  
 DEG - DEGREE(S)  
 DEMO - DEMOLITION  
 DENT - DENT  
 DF - DRINKING FOUNTAIN  
 DIA - DIAMETER  
 DIM - DIMENSION  
 DIST - DISTANCE  
 DN - DOWN  
 DR - DOOR  
 DS - DOWNSPOUT  
 DW - DISHWASHER  
 DWG - DRAWING  
 EA - Elevation  
 EJ - EXPANSION JOINT  
 ELEC - ELECTRICAL  
 ELEV - ELEVATION  
 EMERG - EMERGENCY  
 EOC - EOC  
 EQUIP - EQUIPMENT  
 EXT - EXTERIOR  
 FA - FIRE ALARM  
 FD - FLOOR DRAIN  
 FDN - FOUNDATION  
 FE - FIRE EXTINGUISHER  
 FH - FIRE HOSE  
 FIN - FINISH  
 FIXT - FIXTURE  
 FL - FLOOR  
 FLASH - FLASHING  
 FLUOR - FLUORESCENT  
 FO - FACE-OF  
 FRMG - FRAMING  
 FRN - FURNACE  
 FT - FOOT/FEET  
 Ftg - FOUNT  
 FURN - FURNITURE  
 FURR - FURRING  
 FUTR - FUTURE  
 GA - GAUGE  
 GAL - GALLONS  
 GALV - GALVANIZED  
 GB - GROUND BAR  
 GEN - GENERAL  
 GL - GLASS  
 GRL - GUARD RAIL  
 GWB - GYPSUM WALL BOARD  
 H - HEIGHT  
 HB - HOSE BIB  
 HC - HOLLOW CORE  
 HDCP - HANDICAP  
 HDR - HEADER  
 HDW - HARDWARE  
 HM - HOLLOW METAL  
 HORIZ - HORIZONTAL  
 HR - HANDRAIL  
 HT - HEIGHT  
 HTR - HEATER  
 HVAC - HVAC/VENTILATING  
 HW - HOT WATER  
 HWD - HARDWOOD  
 ID - INSIDE DIAMETER  
 IN - INCH

INSUL - INSULATION  
 INT - INTERIOR  
 ISO - ISOLATION  
 JAN - JANITOR  
 JB - JUNCTION BOX  
 JST - JOIST  
 JT - JOINT  
 LAV - LAVATORY  
 LB - POUNDS (WEIGHT)  
 LIN - LINEAR  
 LOC - LOCATION OR LOCATE  
 LT - LIGHT  
 LG - LIGHTING  
 M - MODULE  
 MAN - MANUAL  
 MATL - MATERIAL  
 MAX - MAXIMUM  
 MECH - MECHANICAL  
 MEMB - MEMBRANE  
 MFR - MANUFACTURER  
 MIN - MINIMUM  
 MIR - MIRROR  
 MISC - MISCELLANEOUS  
 MONO - MONOLITHIC  
 MTD - MOUNTED  
 MTL - METAL  
 MULL - MULLION  
 NA - NOT APPLICABLE  
 NIC - NOT IN CONTRACT  
 NO - NUMBER  
 NOM - NOMINAL  
 NRC - NOISE REDUCTION COEF.  
 NT - NOTE  
 NTS - NOT TO SCALE  
 OC - ON CENTER  
 OD - OUTSIDE DIAMETER  
 OFF - OFFICE  
 OH - OVERHEAD  
 OPP - OPPOSITE  
 PART - PARTITION  
 PED - PEDESTAL  
 PL - PLATE  
 PLAM - PLASTIC LAMINATE  
 PLT - PLATE  
 PLWD - PLYWOOD  
 PRELIM - PRELIMINARY  
 PRESS - PRESSURE  
 PT - PART  
 PVC - POLYVINYL CHLORIDE  
 R - RADIUS  
 REC - RECESSED  
 REF - REFERENCE  
 REG - REGULATOR  
 REG - REGISTER  
 REINF - REINFORCE/ED/-ING  
 REM - REMOVE  
 REQD - REQUIRED  
 RET - RETAINING  
 REV - REVISION  
 REV - REVISION  
 RH - ROOF-HATCH  
 RM - ROOM  
 RO - ROUGH OPENING  
 RS - RISER  
 SWL - SWING WATER LEADER  
 SCHED - SCHEDULE  
 SD - SHOWER DRAIN  
 SECT - SECTION  
 SECY - SECRETARY  
 SF - SQUARE FOOT  
 SH - SHEET  
 SHTG - SHEATHING  
 SHWR - SHOWER  
 SIM - SIMILAR  
 SLNT - SEALANT  
 SM - SMALL MOUNTED  
 SPEC - SPECIFICATIONS  
 SQ - SQUARE  
 SS - STAINLESS STEEL  
 ST - STREET  
 STC - SOUND TRANSMISSION  
 STD - STANDARD  
 STL - STEEL  
 STN - STONE  
 STOR - STORAGE  
 STRUCT - STRUCTURAL  
 SUPV - SUPERVISOR  
 SUSP - SUSPENDED  
 SW - SWITCH  
 SWD - SWOOF  
 SYM - SYMMETRICAL  
 TAN - TANGENT  
 TEL - TELEPHONE  
 TEMP - TEMPERATURE  
 TG - TONGUE & GROOVE  
 THRES - THRESHOLD  
 TR - TREAD  
 TRANS - TRANSFORMER  
 TTEL - TELETON  
 TYP - TYPICAL  
 UNO - UNLESS NOTED OTHERWISE  
 UTIL - UTILITY  
 VENT - VENTILATION  
 VERT - VERTICAL  
 VEST - VESTI  
 W - WIDTH/WIDE  
 WI - WROUGHT IRON  
 W/O - WITHOUT  
 WC - WATER CLOSET  
 WD - WATER  
 WH - WATER HEATER  
 WIN - WINDOW  
 WT - WEIGHT  
 YD - YARD

## SYMBOLS



## APPLICABLE CODES

CA BUILDING CODE 2022 (PART 2)  
 CA ELECTRICAL CODE 2022 (PART 3)  
 CA MECHANICAL CODE 2022 (PART 4)  
 CA PLUMBING CODE 2022 (PART 5)  
 CA ENERGY CODE 2022 (PART 6)  
 CA REFERENCE STANDARDS CODE 2022 (PART 11)

FEDERAL AMERICANS WITH DISABILITIES ACT (ADA) TITLE ii OR TITLE iii ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

## INDEX

ARCHITECTURAL  
 A0 COVER - PLANNING  
 A0.1 EXISTING/DEMO SITE PLAN  
 A0.2 NEW SITE PLAN  
 A2.1 EXISTING & DEMO PLAN - LEVEL 1  
 A2.3 NEW PLAN - LEVEL 1  
 A2.4 NEW ROOF PLAN  
 A4.1 EXISTING & NEW - ELEVATIONS  
 A4.5 NEW SECTIONS  
 SHEET COUNT: 8



RECEIVED on 8/27/2025 CDLP25-02028  
 By Contra Costa County  
 Department of Conservation and Development

## CONTACT INFO

ARCHITECT:  
 Boor Projects  
 999 Cherrry St.  
 San Francisco, CA 94131  
 Seth Boor - 415-644-8877  
 seth@boorprojects.com

CLIENT:  
 Robert Cort:  
 2601 Mission St.  
 San Francisco, CA 94110  
 Primary Client Contact:  
 Robert Cort, 415-573-7443  
 robert@corlts.com

## PARKING INFORMATION

EXISTING:  
 8 STRIPED STANDARD SPACES  
 ~4,700 SF UNSTRIPED GRAVEL LOT

PROPOSED:  
 23 STRIPED STANDARD SPACES  
 1 STANDARD ADA SPACE  
 1 VAN ADA SPACE  
 25 TOTAL

## PROJECT INFORMATION

SITE: 6201 BETHEL ISLAND RD  
 BETHEL ISLAND CA, 94511-0119

BLOCK/LOT: 031-031-020-6

PARCEL AREA: 17,600 S.F.

ZONING: RH-2-RESIDENTIAL - HOUSE

HEIGHT BULK: EXISTING: 40-X  
 PROPOSED: NO CHANGE

YEAR BUILT: YEAR BUILT:

BUILDING AREA: EXISTING: 3,653 GSF  
 PROPOSED: NO CHANGE

PARKING AREA: EXISTING: 2,141 SF  
 PROPOSED: NO CHANGE

AREA OF WORK: AREA OF WORK:

STORIES: 1

HEIGHT: EXISTING: 12'  
 PROPOSED: NO CHANGE

CONSTR. TYPE: EXISTING: V-B  
 PROPOSED: NO CHANGE

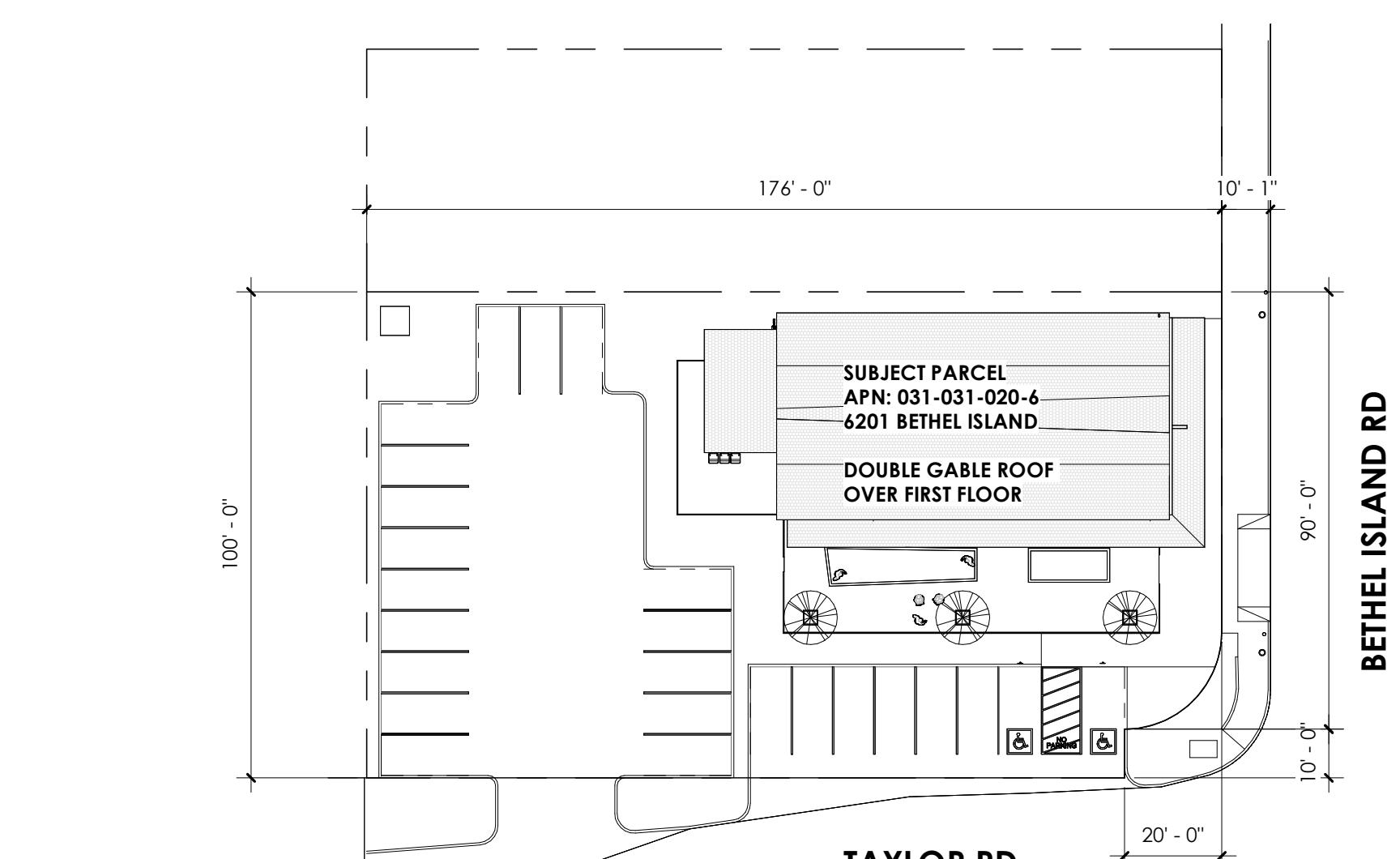
BASEMENT: NO

BUILDING USE: EXISTING: RESTAURANT/BAR  
 PROPOSED: NO CHANGE

OCCUPANCY: EXISTING: M/B  
 PROPOSED: NO CHANGE

DWELLING UNITS: EXISTING: NONE  
 PROPOSED: NO CHANGE

SPRINKLERS: EXISTING: NONE  
 PROPOSED: NO CHANGE



N 1 PLOT PLAN  
 1/32" = 1'-0"

6201 BETHEL ISLAND  
 6201 BETHEL ISLAND ROAD  
 BETHEL ISLAND, CA, 94511

BOOR  
 PROJECTS

© Boor Projects - San Francisco,  
 California - 415-644-8877  
 Seth Boor - seth@boorprojects.com

2025-01-19 PLANNING SUBMITTAL

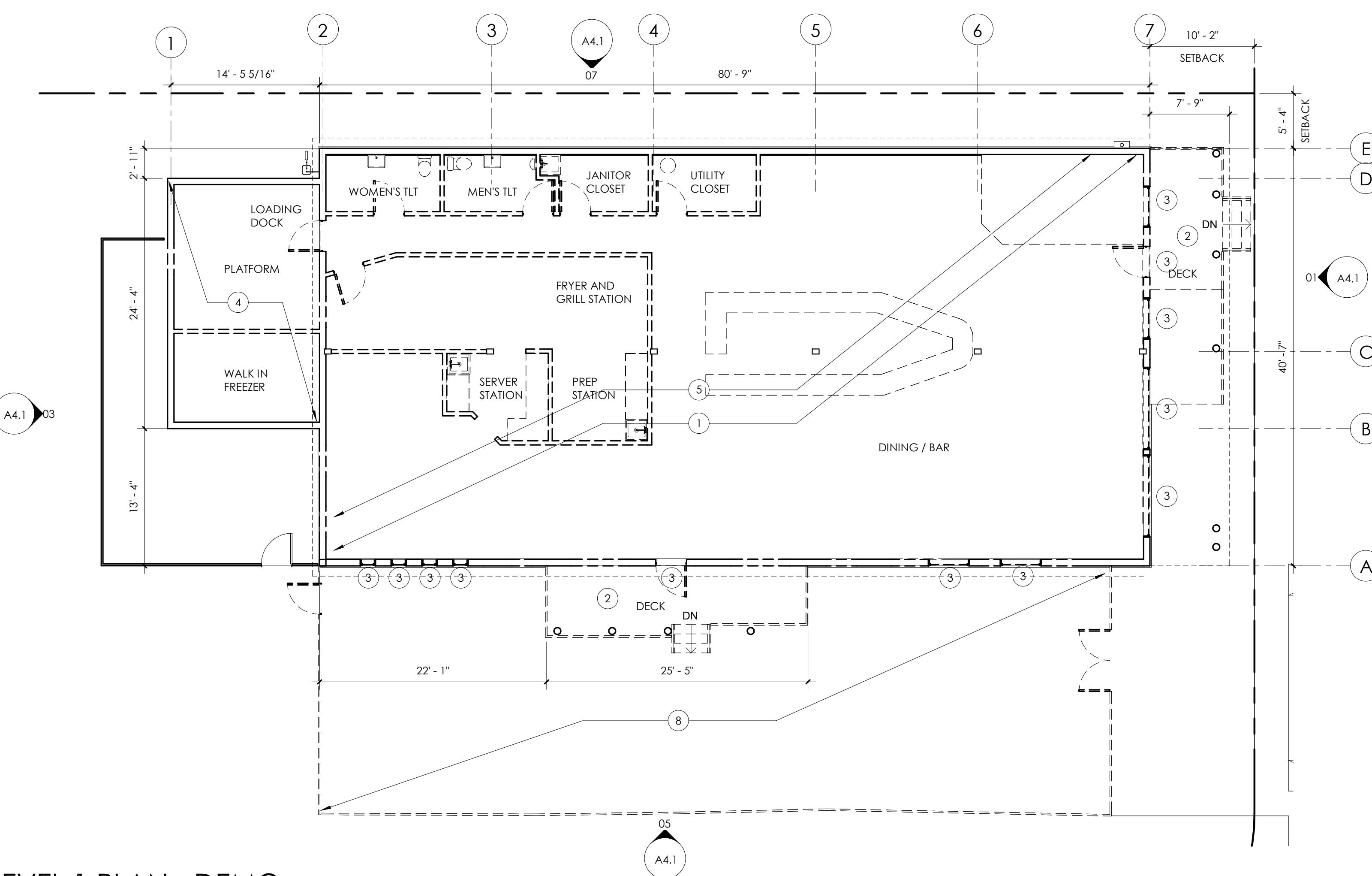
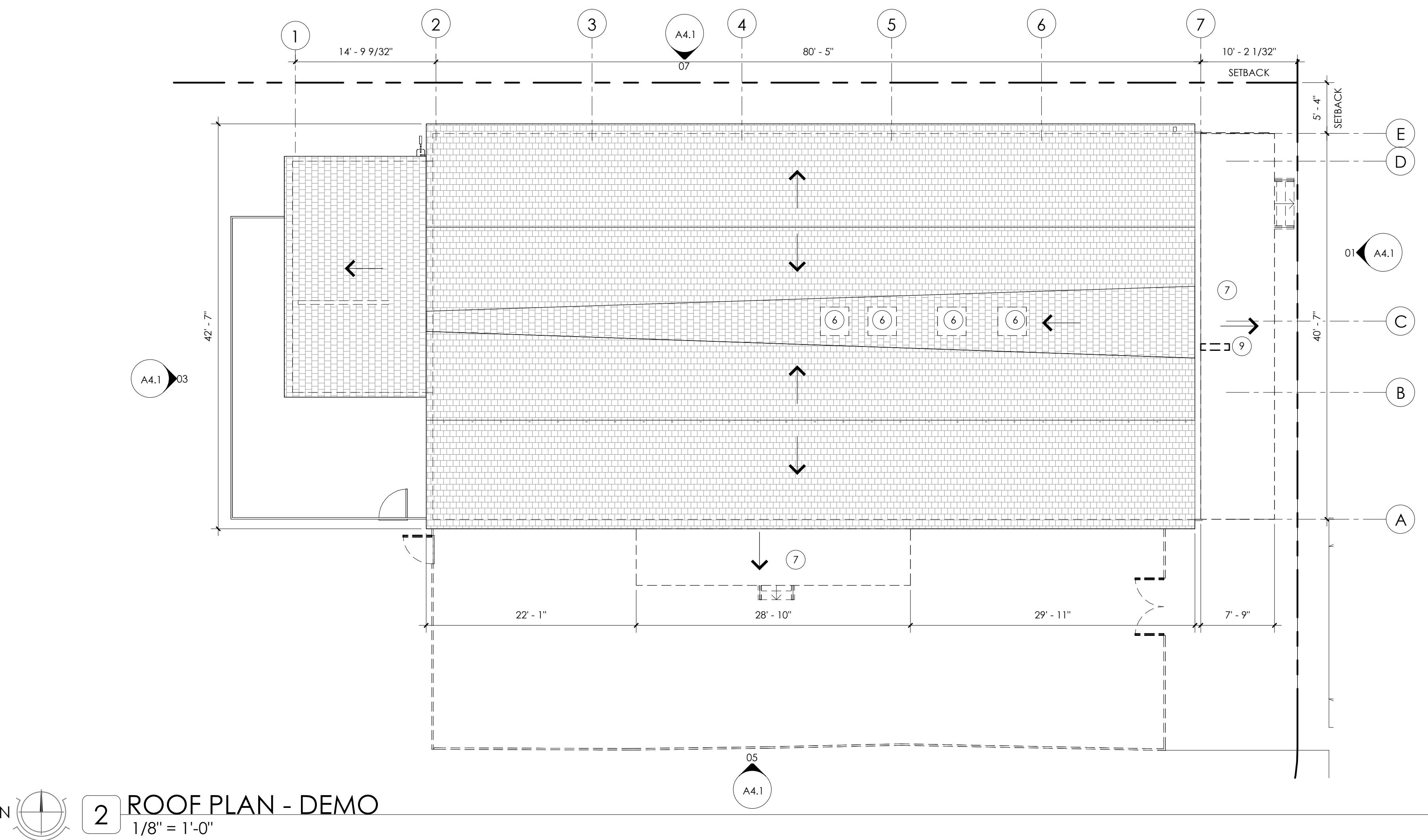
6201 BETHEL  
 ISLAND  
 6201 BETHEL ISLAND ROAD  
 BETHEL ISLAND, CA, 94511

COVER - PLANNING

A0







### SHEET NOTES - EXISTING/DEMO PLAN

NO.	NOTE
1	DEMO EXISTING FLOOR AND PREPARE FOR NEW SLAB ON GRADE
2	(E) DECK, RAMP, RAILINGS, POSTS, AND STEPS TO BE REMOVED
3	(E) DOOR OR WINDOW TO BE REMOVED. PREPARE FOR NEW OPENING OR INFILL PER PLANS.
4	DEMO (E) REAR SHED FLOOR AND PREPARE FOR NEW SLAB ON GRADE
5	REMOVE ALL (E) INTERIOR NON STRUCTURAL PARTITIONS, FINISHES, DOORS, CEILINGS, FIXTURES AND MILLWORK
6	(E) ROOFTOP MECHANICAL TO BE REMOVED
7	(E) OVERHANG TO BE REMOVED. PREP FOR (N) OVERHANG
8	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
9	(E) BLADE SIGN TO BE REPLACED IN-KIND

**BOOR**  
PROJECTS

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Seth Boor - seth@boorprojects.com

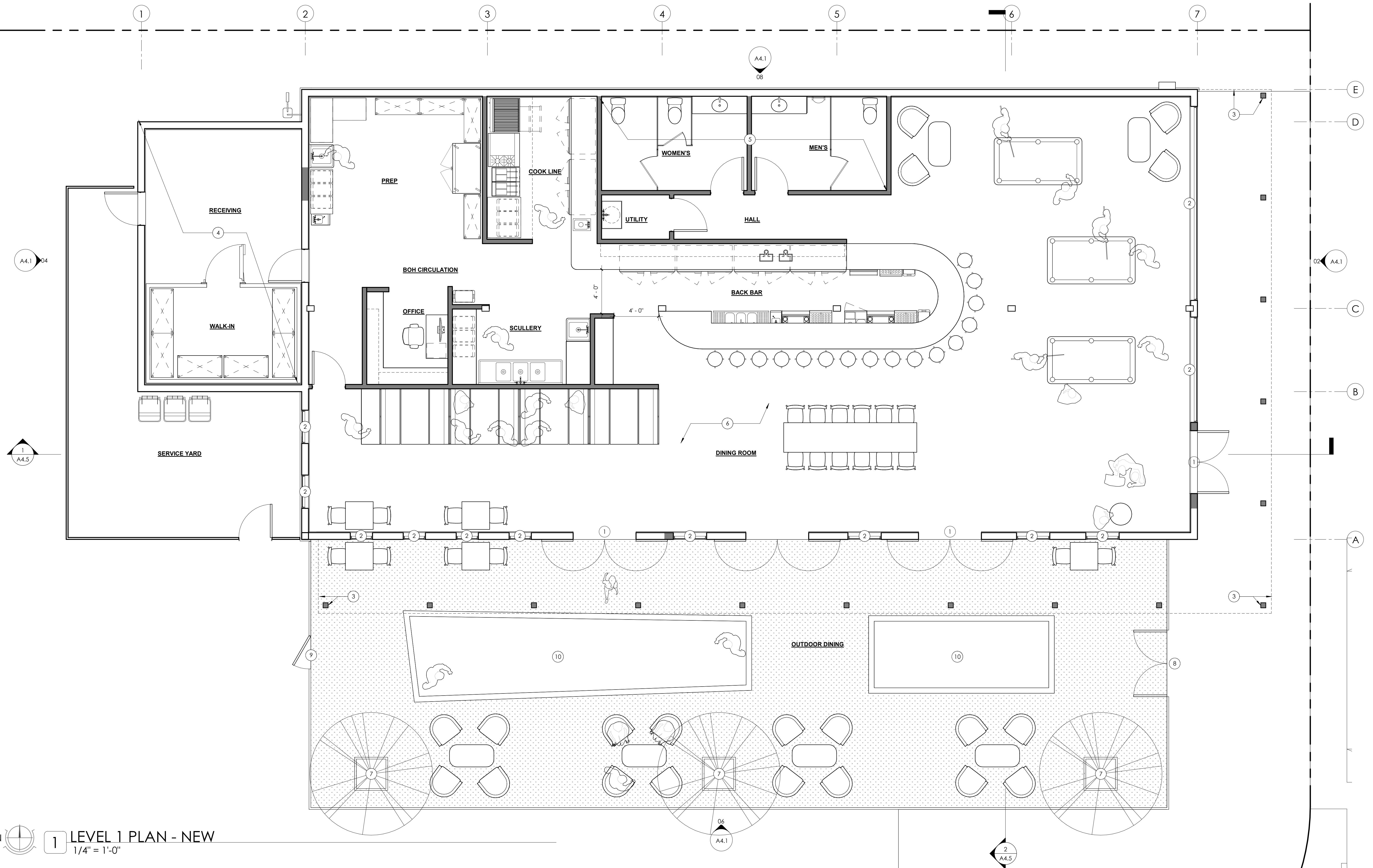
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD  
BETHEL ISLAND, CA 94511

EXISTING &  
DEMO PLAN -  
LEVEL 1

**A2.1**



1 LEVEL 1 PLAN - NEW  
1/4" = 1'-0"

SHEET NOTES - NEW PLAN

NO.	NOTE
1	NEW DOOR
2	NEW WINDOW
3	NEW OVERHANG AND SUPPORTS
4	NEW SLAB ON GRADE
5	NEW ACCESSIBLE RESTROOMS
6	NEW SLAB ON GRADE
7	NEW TREE
8	NEW GATE FOR OUTDOOR ASSEMBLY AREA. REMAINS OPEN DURING BUSINESS HOURS, OR ADD PANIC HARDWARE AND OUTSWING
9	NEW GATE WITH PANIC HARDWARE
10	OUTDOOR GAME AREA

**BOOR**  
PROJECTS

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California - 415-644-8877  
Seth Boor - seth@boorprojects.com

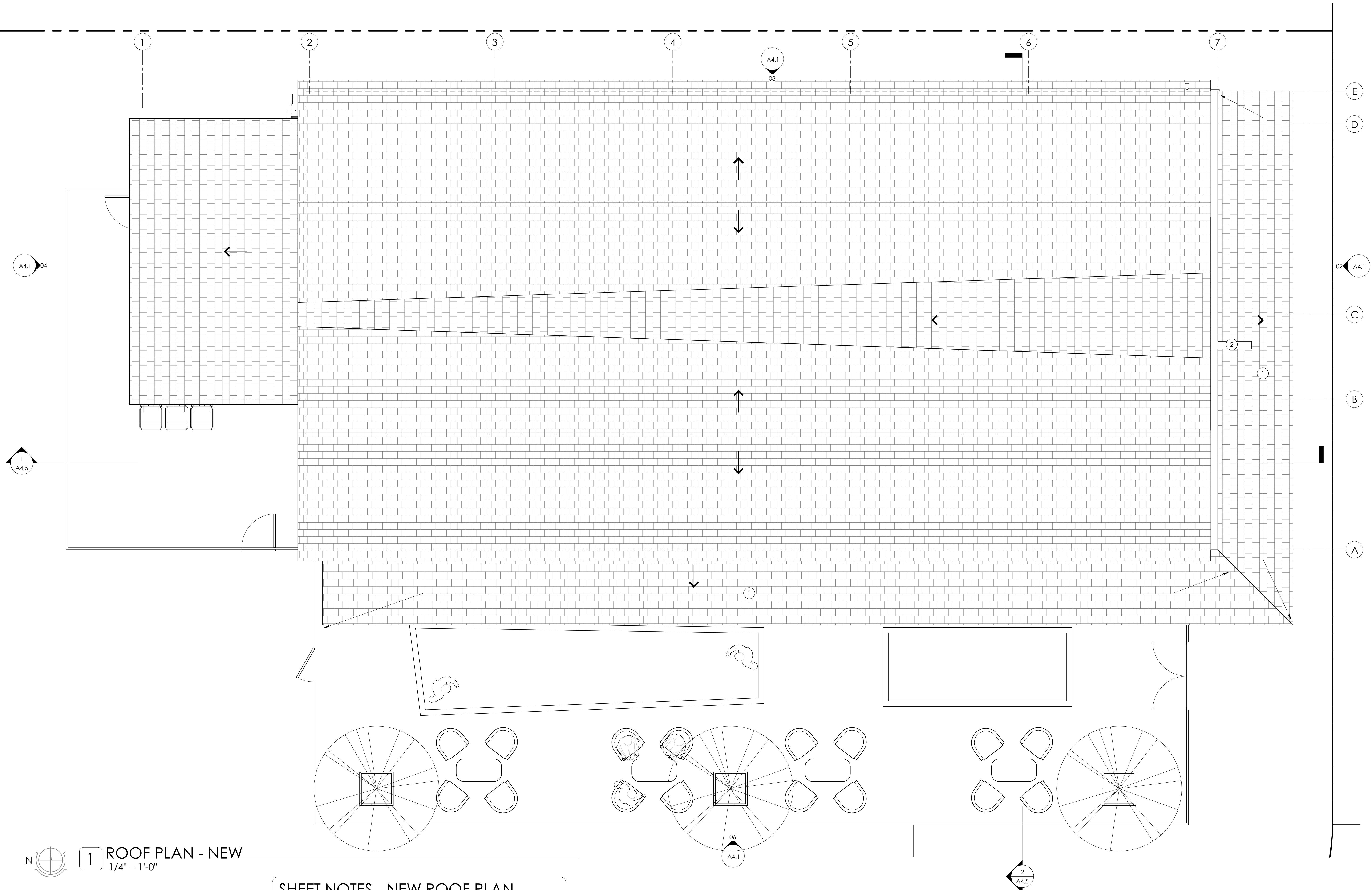
2025-019 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD  
BETHEL ISLAND, CA. 94511

NEW PLAN -  
LEVEL 1

A2.3



**BOOR**  
PROJECTS

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California - 415-644-8877  
Seth Boor - seth@boorprojects.com

2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

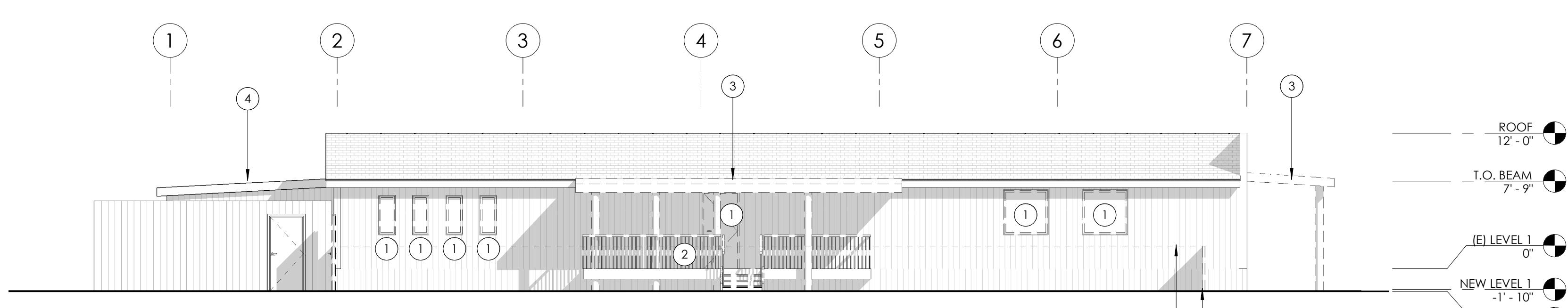
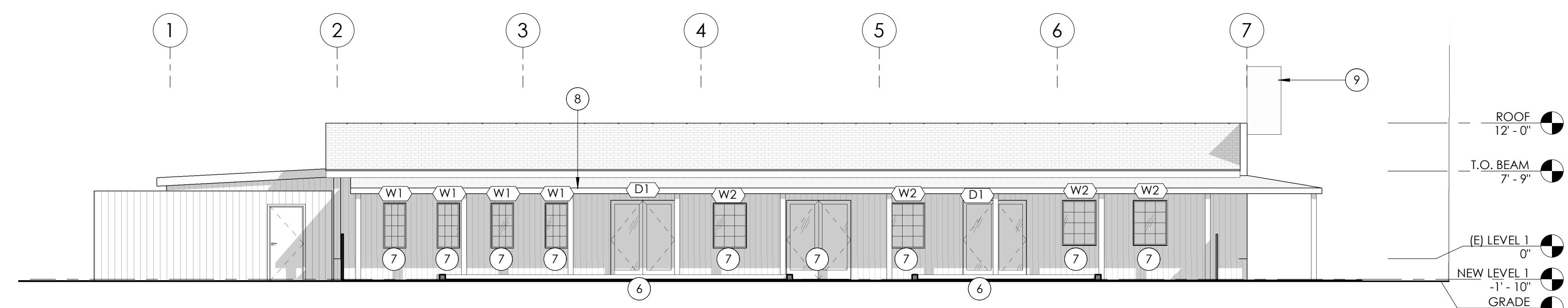
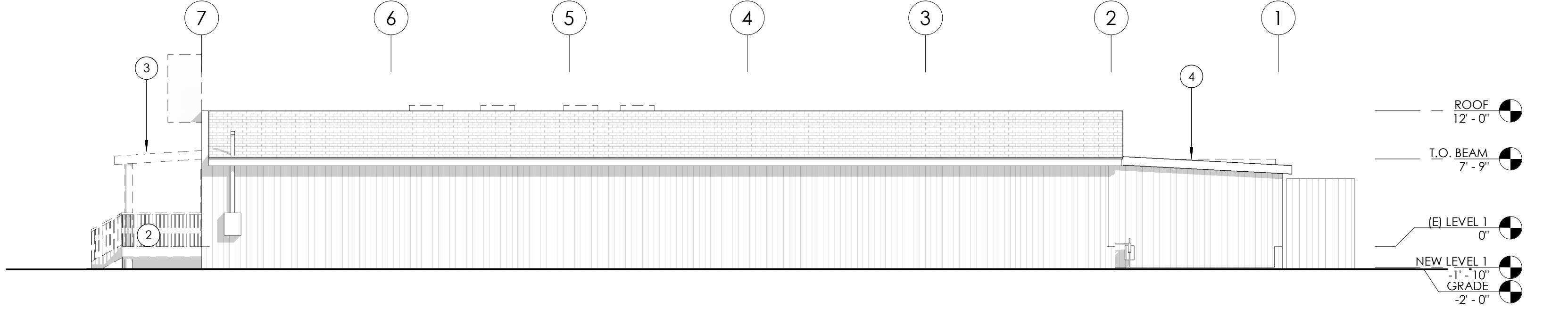
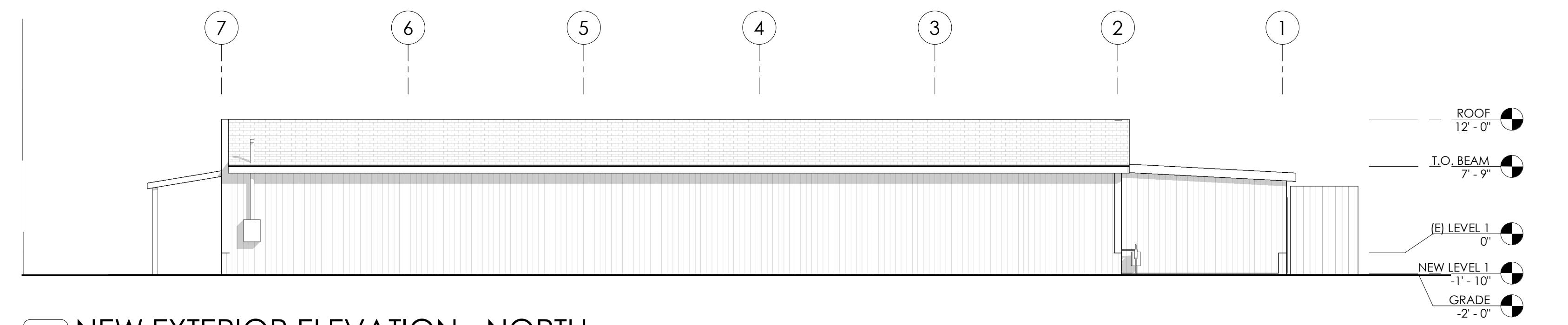
6201 BETHEL ISLAND ROAD

BETHEL ISLAND, CA 94511

NEW ROOF PLAN

A2.4





#### SHEET NOTES - EXTERIOR ELEVATIONS

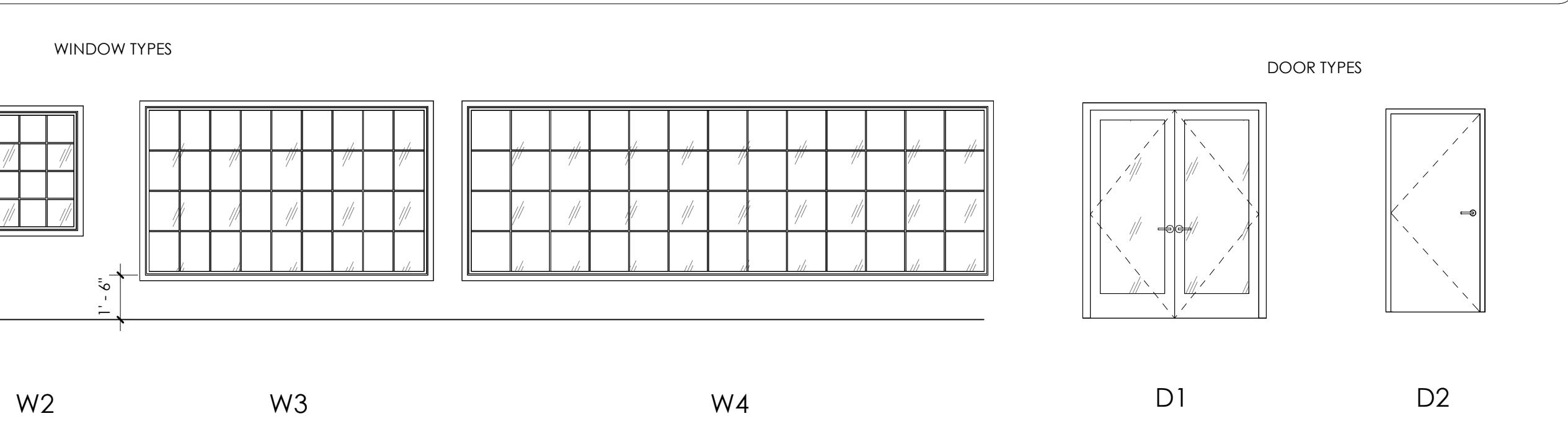
NO.	NOTE
1	(E) DOOR OR WINDOW TO BE REMOVED. PREPARE FOR NEW OPENING OR INFILL PER PLANS.
2	(E) DECK, RAMP, RAILINGS, AND STEPS TO BE REMOVED
3	(E) OVERHANGS AND POSTS TO BE REMOVED
4	(E) REAR SHED WALLS AND ROOF TO BE REPAIRED
5	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
6	NEW DOOR
7	NEW WINDOW
8	NEW ROOF OVERHANG
9	(E) BLADE SIGN TO BE REPLACED IN-KIND

#### EXTERIOR OPENING SCHEDULE AND TYPES

WINDOW SCHEDULE					
TYPE	W.	HT.	QTY.	OPERATION	GLAZING
W1	2'- 0"	4'- 0"	4	FIXED	DOUBLE PANE INSULATED MTL
W2	3'- 0"	4'- 0"	6	FIXED	DOUBLE PANE INSULATED MTL
W3	9'- 6"	5'- 8"	1	FIXED	DOUBLE PANE INSULATED MTL
W4	17'- 6"	5'- 8"	1	FIXED	DOUBLE PANE INSULATED MTL

DOOR SCHEDULE					
TYPE	OPENING	DOOR	FRAME	COMMENTS	
D1	5'- 8" 7'- 0" N/A	4	2"	MTL / GL	PT
D2	3'- 0" 6'- 8" N/A	1	2"	MTL	PT



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PROJECTS

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Seth Boor - seth@boorprojects.com

2025-019 PLANNING SUBMITTAL

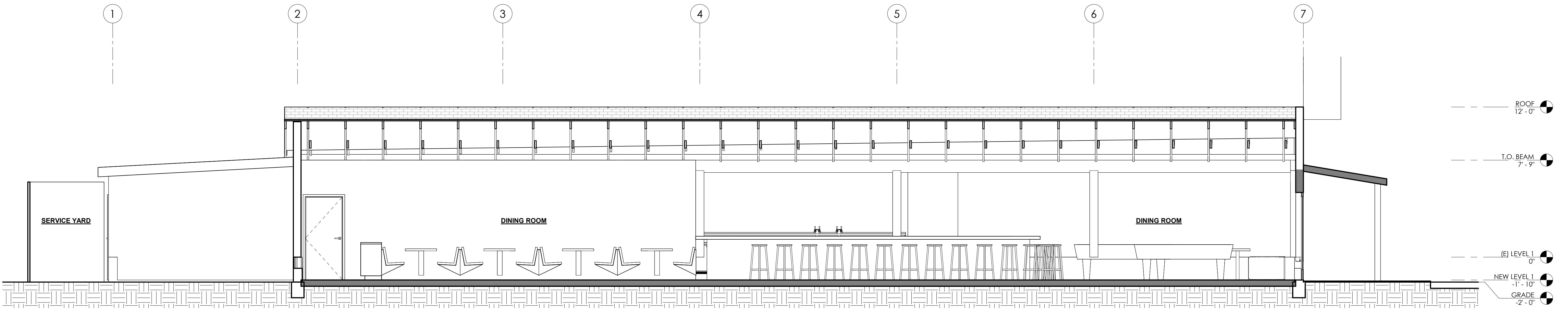
6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD  
BETHEL ISLAND, CA. 94511

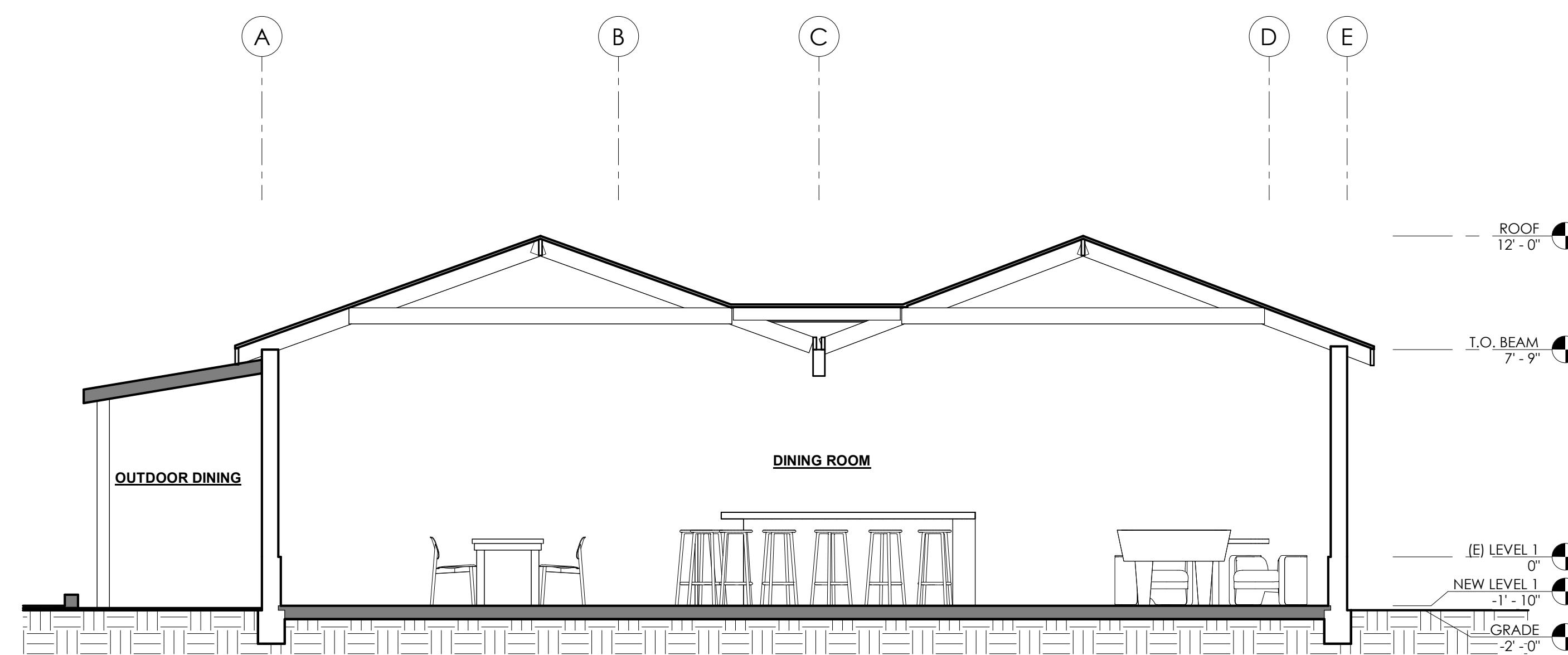
EXISTING & NEW -  
ELEVATIONS

A4.1





1 NEW LONG SECTION  
1/4" = 1'-0"



2 NEW CROSS SECTION  
1/4" = 1'-0"

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2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD  
BETHEL ISLAND, CA 94511

NEW SECTIONS

A4.5



# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 25-4276

**Agenda Date:** 12/16/2025

**Agenda #:** 8b.

---

Advisory Board: Bethel Island Municipal Advisory Council

Subject: Agency Comment Request Packet CDMS25-00011, 0 Sandmound Blvd, Oakley

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us

### Information:

Questions and information requests can be made by contacting Grant Farrington; 925-655-2868;  
Grant.Farrington@dcd.cccounty.us

### Referral History and Update:

### Recommendation(s)/Next Step(s):

RECEIVE and CONSIDER Agency Comment Request Packet CDMS25-00011, 0 Sandmound Blvd, Oakley



## AGENCY COMMENT REQUEST

Date 08/28/2025

We request your comments regarding the attached application currently under review.

<p><b>DISTRIBUTION</b></p> <p><b>INTERNAL</b></p> <p><input checked="" type="checkbox"/> Building Inspection      Grading Inspection</p> <p><input type="checkbox"/> Advance Planning      Housing Programs</p> <p><input type="checkbox"/> Trans. Planning      Telecom Planner</p> <p><input type="checkbox"/> ALUC Staff      <input checked="" type="checkbox"/> HCP/NCCP Staff</p> <p><input type="checkbox"/> County Geologist</p> <p><b>HEALTH SERVICES DEPARTMENT</b></p> <p><input checked="" type="checkbox"/> Environmental Health      Hazardous Materials</p> <p><b>PUBLIC WORKS DEPARTMENT</b></p> <p><input checked="" type="checkbox"/> Engineering Services      Special Districts</p> <p>Traffic</p> <p><input checked="" type="checkbox"/> Flood Control (Full-size)</p> <p><b>LOCAL</b></p> <p><input checked="" type="checkbox"/> Fire District _____          San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>  <input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfpd.org">fire@cccfpd.org</a></p> <p><input checked="" type="checkbox"/> Sanitary District <u>Ironhouse</u></p> <p>Water District _____</p> <p><input checked="" type="checkbox"/> City of <u>Oakley</u></p> <p>School District(s) _____</p> <p>LAFCO</p> <p><input checked="" type="checkbox"/> Reclamation District # <u>799</u></p> <p>East Bay Regional Park District</p> <p>Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>Bethel Island MAC</u></p> <p>Improvement/Community Association</p> <p><input checked="" type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)</p> <p><b>OTHERS/NON-LOCAL</b></p> <p><input checked="" type="checkbox"/> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)</p> <p><input checked="" type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>Native American Tribes</p> <p><b>ADDITIONAL RECIPIENTS</b></p> <p>Delta Stewardship Council</p> <p>Delta Protection Committee</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Grant Farrington</u></p> <p>Phone # <u>925-655-2868</u></p> <p>E-mail <u>grant.farrington@dcd.cccounty.us</u></p> <p>County File # <u>CDMS25-00011</u></p> <p>Prior to <u>09/26/2025</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; text-align: center;"><input checked="" type="checkbox"/> Landslide</td> <td style="width: 50%; text-align: center;">Active Fault Zone (A-P)</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/> Liquefaction</td> <td style="text-align: center;"><input checked="" type="checkbox"/> Flood Hazard Area</td> </tr> <tr> <td colspan="2" style="text-align: center;">60-dBA Noise Control</td> </tr> <tr> <td colspan="2" style="text-align: center;">CA EPA Hazardous Waste Site</td> </tr> <tr> <td colspan="2" style="text-align: center;">High or Very High FHSZ</td> </tr> </table> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments:      None      Below      Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>	<input checked="" type="checkbox"/> Landslide	Active Fault Zone (A-P)	<input checked="" type="checkbox"/> Liquefaction	<input checked="" type="checkbox"/> Flood Hazard Area	60-dBA Noise Control		CA EPA Hazardous Waste Site		High or Very High FHSZ	
<input checked="" type="checkbox"/> Landslide	Active Fault Zone (A-P)										
<input checked="" type="checkbox"/> Liquefaction	<input checked="" type="checkbox"/> Flood Hazard Area										
60-dBA Noise Control											
CA EPA Hazardous Waste Site											
High or Very High FHSZ											



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number:** CDMS25-00011

**File Date:** 8/28/2025

**Applicant:**

JIAN HAO HUANG HUANG JIAN HAO  
530 PECAN DR  
RIPON, CA 953669242  
HAO.ENGR@GMAIL.COM  
(415) 889-7173

**Property Owner:**

JIAN HAO HUANG  
530 PECAN DR  
RIPON, CA 953669242  
HAO.ENGR@GMAIL.COM  
(415) 889-7173

**Project Description:**

Applicant requests approval of a minor subdivision application to subdivide an existing 49,698-square-foot lot into three new parcels that are to be 15,448 square feet, 16,323 square feet and 17,538 square feet. No development is proposed as part of the subdivision.

**Project Location:** (Address: 0 SANDMOUND BLVD, OAKLEY, CA 94561), (APN: 032311004)

**Additional APNs:**

**General Plan Designation(s):** RLM

**Zoning District(s):** F-1

**Flood Hazard Areas:** AE

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:** Oakley

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

**Housing Inventory Site:** NO

**Specific Plan:**

**Fees:**

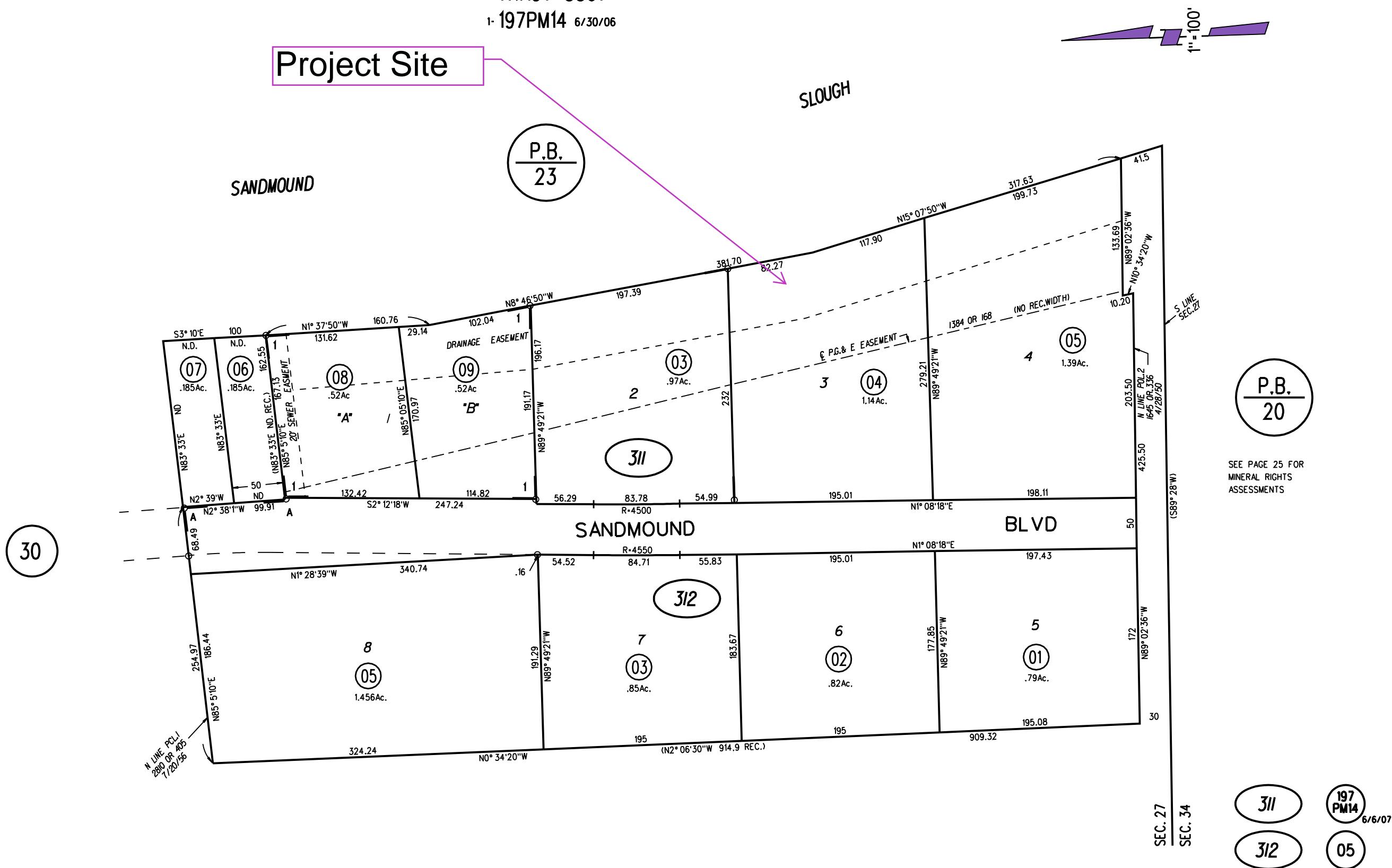
Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
MSS0034	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
<b>Total:</b>			<b>8662.00</b>	<b>8662.00</b>

POR SE QR SEC 27 T2N R3E MDB&M

A-1968 ROLL - TRACT 3561 MB 117-43 (BARBIERI SUB)

1- 197PM14 6/30/06

Project Site



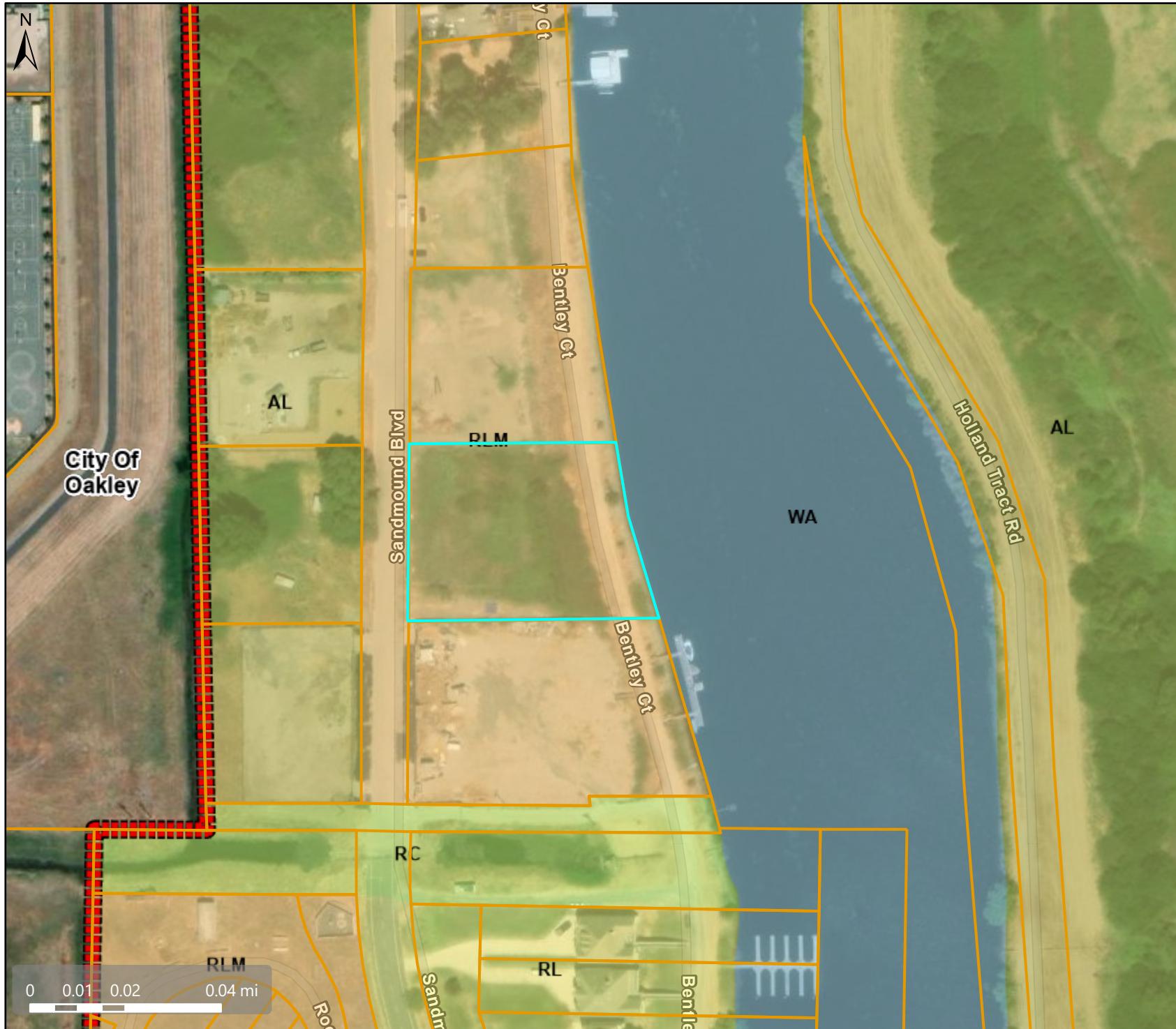
NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

FM PG 22 12/6/65  
ASSESSOR'S MAP

BOOK 32 PAGE 31

CONTRA COSTA COUNTY, CA 61

# General Plan: Residential Low-Medium Density



Map Legend	
Assessment	Parcels
Planning	
General Plan	
RL (Residential Low Density) (1-3 du/ha)	
RLM (Residential Low-Medium Density) (3-7 du/ha)	
RC (Resource Conservation)	
AL (Agricultural Lands) (1 du/10 ac) (1 du/20 ac in DPZ)	
WA (Water)	
City Limits	

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers contained within the CCMap application may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

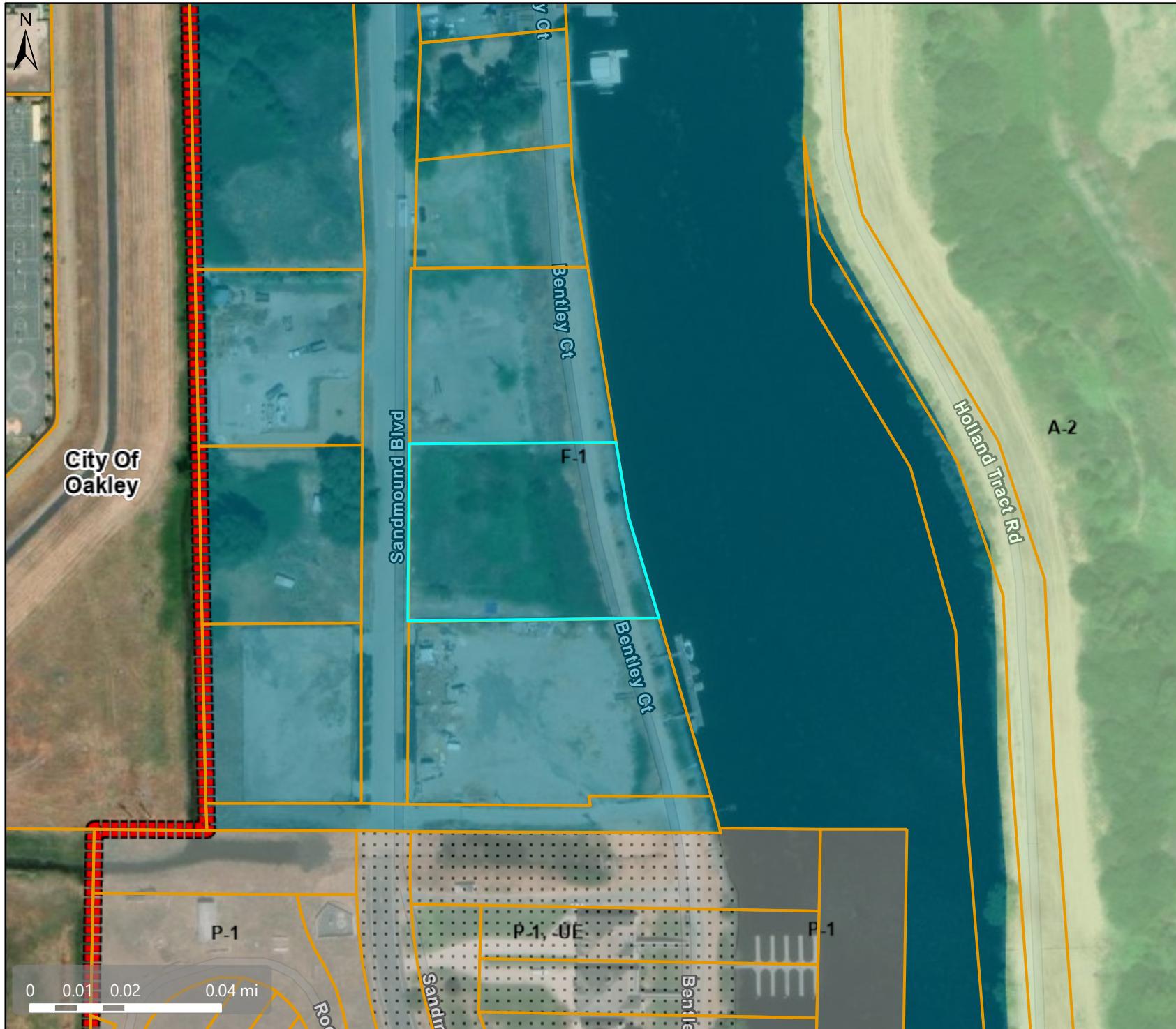
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Department of Information Technology, County GIS.

Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquires to the appropriate department.

Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# Zoning: F-1



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**Spatial Reference**  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

# Orthophotography



Map Legend	
Assessment	Orange outline
Parcels	Red dashed line
Planning	
City Limits	Red dashed line
2019 Aerial Imagery	
Aerials 2019	
RGB	
Red: Band_1	Red line
Green: Band_2	Green line
Blue: Band_3	Blue line

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers contained within the CCMap application may or may not be accurate, current, or otherwise reliable.

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Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary S  
Datum: WGS 1984

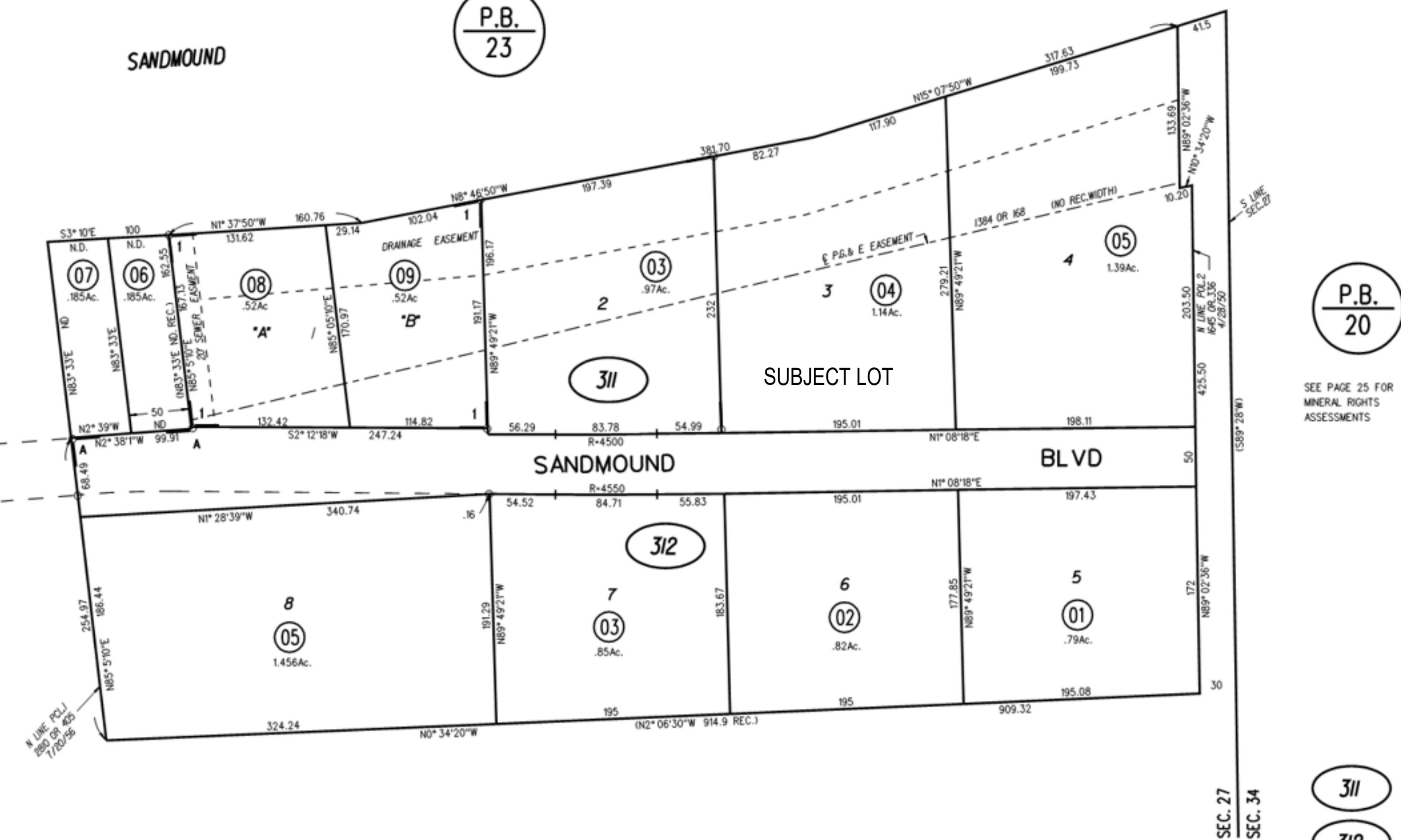
**RECEIVED** on 08/28/2025 CDMS25-00011  
By Contra Costa County  
Department of Conservation and Development

# ASSESSOR'S MAP

## SANDMOUND

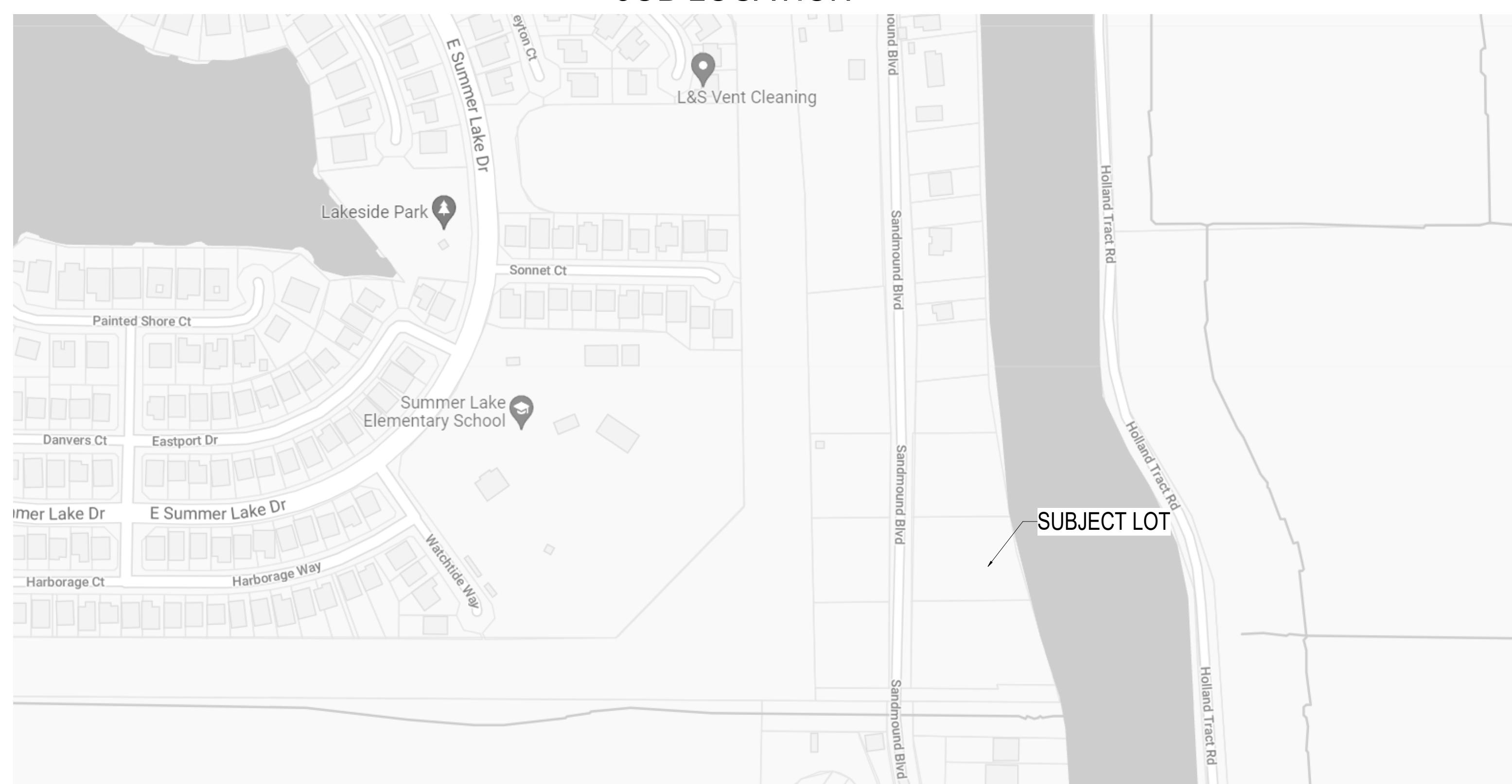
P.B.  
23

## SLOUGH



FM PG 22 12/6/65  
**ASSESSOR'S MAP**  
BOOK 32 PAGE 31  
CONTRA COSTA COUNTY, CALIF.

## JOB LOCATION



## SCOPE OF WORK

- SUBDIVIDING A VACANT RESIDENTIAL LOT TO CREATE THREE ROUGHLY EQUAL RESIDENTIAL LOTS

## OWNER INFORMATION

JIAN HAO, HUANG  
530 PECAN DRIVE  
RIPON, CA 95366  
PHONE: 415-889-7173

## ZONING SUMMARY (F-1)

PARCELS (APN): 032-311-004  
LEGAL DESCRIPTION: TRACT 3561 LOT 3  
ADDRESS: 4130 SANDMOUND BLVD, OAKLEY, CA 94561  
LOT AREA: 1.14 ACRE  
ZONING: F-1 (WATER RECREATIONAL DISTRICT)  
ALL THE USES DESIGNATED FOR THE R-6 DISTRICT IN SECTION 84-4.404 EXCEPT FOR THE DELETION  
OF "COMMERCIAL NURSERIES, ECT." (2) COMMERCIAL BOAT HARBORS.

OCCUPANCY	R3
TYPE OF CONSTRUCTION	VACANT LOT
MAX HEIGHT	35 FEET
MAX NO. STORIES	TWO AND ONE-HALF
MIN OFF STREET PARKING	2 SPACE
FRONT SETBACK	20 FEET
SIDE SETBACK	5 FEET
REAR SETBACK	15 FEET

## SHEET INDEX

0.0	COVER SHEET
0.1	SITE PLANS

MINOR SUBDIVISION  
4120 SANDMOUND BLVD  
OAKLEY, CA 94561  
APN: 032-311-005-9

---

## APPROVAL STAMP

#### Issue History

## Sheet Title

<b>SHEET SIZE: 24"x36"</b>		
<b>SIZE CHECK</b>		
<b>0"</b>	<b>1"</b>	<b>2"</b>
<b>Project number 4130 SANDMOUND</b>		
<b>Date</b>	<b>Issue Date</b>	
<b>Drawn by</b>	<b>JH</b>	
<b>Sheet Number</b>		
<b>0.0</b>		
<b>Scale</b>	<b>AS SHOWN</b>	





# CONTRA COSTA COUNTY

1025 ESCOBAR STREET  
MARTINEZ, CA 94553

## Staff Report

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**File #:** 26-09

**Agenda Date:** 1/6/2026

**Agenda #:** 8c.

---



## AGENCY COMMENT REQUEST

Date 12/11/2025

We request your comments regarding the attached application currently under review.

<p><b>DISTRIBUTION</b></p> <p><b>INTERNAL</b></p> <p><input checked="" type="checkbox"/> Building Inspection      Grading Inspection</p> <p><input type="checkbox"/> Advance Planning      Housing Programs</p> <p><input type="checkbox"/> Trans. Planning      Telecom Planner</p> <p><input type="checkbox"/> ALUC Staff      HCP/NCCP Staff</p> <p><input type="checkbox"/> County Geologist</p> <p><b>HEALTH SERVICES DEPARTMENT</b></p> <p><input checked="" type="checkbox"/> Environmental Health      Hazardous Materials</p> <p><b>PUBLIC WORKS DEPARTMENT</b></p> <p>Engineering Services      Special Districts</p> <p>Traffic</p> <p><input checked="" type="checkbox"/> Flood Control (Full-size)</p> <p><b>LOCAL</b></p> <p><input checked="" type="checkbox"/> Fire District _____          San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>  <input checked="" type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfpd.org">fire@cccfpd.org</a></p> <p><input checked="" type="checkbox"/> Sanitary District <u>iron house</u></p> <p>Water District _____</p> <p>City of _____</p> <p>School District(s) _____</p> <p>LAFCO</p> <p>Reclamation District # _____</p> <p>East Bay Regional Park District</p> <p>Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>Bethel Island</u></p> <p><input checked="" type="checkbox"/> Improvement/Community Association</p> <p>CC Mosquito &amp; Vector Control Dist (email) _____</p> <p><b>OTHERS/NON-LOCAL</b></p> <p>CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)</p> <p>CA Fish and Wildlife, Region 3 – Bay Delta</p> <p>Native American Tribes</p> <p><b>ADDITIONAL RECIPIENTS</b></p> <p>Bethel Island Municipal Improvement District</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Everett Louie</u></p> <p>Phone # <u>925-655-2873</u></p> <p>E-mail <u><a href="mailto:everett.louie@dcd.cccounty.us">everett.louie@dcd.cccounty.us</a></u></p> <p>County File # <u>CDVR25-01064</u></p> <p>Prior to <u>01/09/2026</u></p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p style="text-align: center;">Landslide      Active Fault Zone (A-P)</p> <p><input checked="" type="checkbox"/> Liquefaction      <input checked="" type="checkbox"/> Flood Hazard Area</p> <p>60-dBA Noise Control</p> <p>CA EPA Hazardous Waste Site</p> <p>High or Very High FHSZ</p> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments:      None      Below      Attached</p> <p>Print Name _____</p> <p>Signature _____      DATE _____</p> <p>Agency phone # _____</p>
--	--



# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number:** CDVR25-01064

**File Date:** 12/11/2025

**Applicant:**

JUAN SILVA HOMETOWN ELITE PRO  
BUILDER  
200 ROSSI AVENUE  
ANTIOCH, CA 94509

hometownelitepro@gmail.com  
510-804-6644

**Property Owner:**

JUAN SILVA  
200 ROSSI AVENUE  
ANTIOCH, CA 94509

lilibeth@hometownelitepro.com  
(510) 804-6644

**Project Description:**

The applicant requests approval of a Variance and Small Lot Design Review to allow a 10" aggregate side yard setback (where 15' is the required minimum) for the construction of a new three-story, 3,460 square-foot single-family residence with an 1,380 square-foot elevated deck in the Flood Hazard (-FH) Combining District, on a lot of substandard average width.

**Project Location:** (Address: 3910 STONE RD, BETHEL ISLAND, CA 94511 053), (APN: 031140072)

**Additional APNs:** 031-140-036

**General Plan Designation(s):** RLM:WA

**Zoning District(s):** "F-1 : F-1, -FH"

**Flood Hazard Areas:** AE

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:**

**Fire District:** CONSOLIDATED FIRE Former ECC

**Sanitary District:** IRONHOUSE SANITARY

**Housing Inventory Site:** NO

**Specific Plan:**

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
VRS0044P	Zone Variance - PW	000651-9660-REV-000-6L0044	1000.00	1000.00
		<b>Total:</b>	<b>4337.00</b>	<b>4337.00</b>

# 3 STORY SINGLE FAMILY RESIDENCE

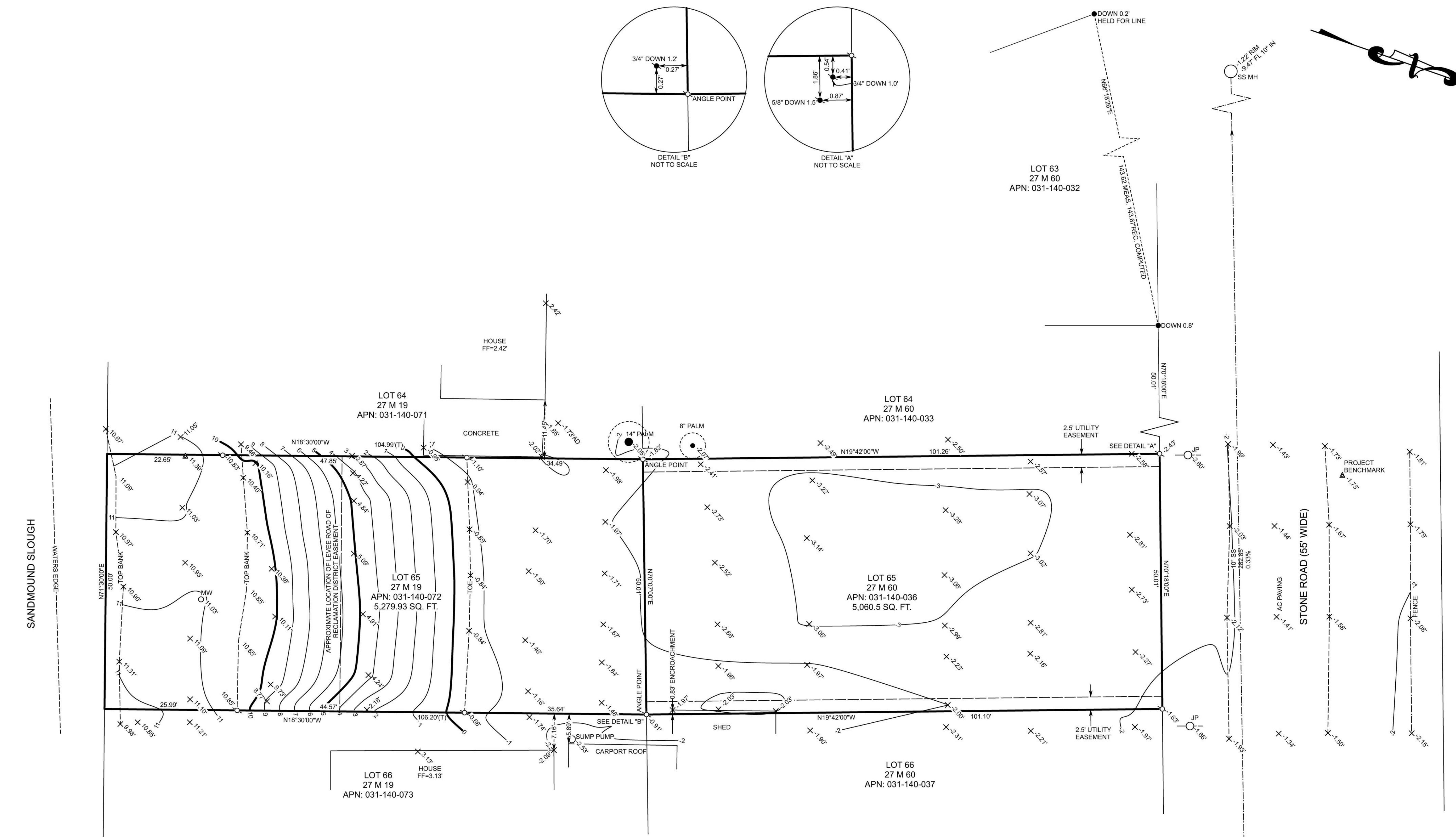
PLANNING SET APN # 031-140-072 & 031-140-036

3910 STONE RD, BETHEL ISLAND, CA 94511

RECEIVED on 12/11/2025 CDVR25-01064  
By Contra Costa County  
Department of Conservation and Development

EVA ARCHITECTS  
1248 SPENCER AVE  
SAN JOSE, CA 95125  
408-874-5304  
www.eva-architects.com

SYMBOL LEGEND		SHEET INDEX		PROJECT DATA		3D PERSPECTIVE VIEW	
				<b>SITE DATA:</b> <b>PROJECT NAME:</b> THREE STORY SINGLE FAMILY RESIDENCE <b>PROJECT TYPE:</b> SINGLE FAMILY RESIDENCE <b>PROJECT ADDRESS:</b> 3910 STONE RD, BETHEL ISLAND, CA 94511 <b>ZONING DATA:</b> <b>ASSESSOR'S PARCEL NUMBER:</b> 031-140-072 & 031-140-036 <b>ASSESSOR'S BLOCK / LOT:</b> 140/65 <b>ZONING DISTRICT:</b> F-1 & FH <b>LOT AREA:</b> 13,685 SF <b>MAX HEIGHT:</b> 35' <b>SETBACKS:</b> <b>FRONT:</b> 20' <b>SIDE:</b> 5' <b>REAR:</b> 50' FROM C.L. OF LEVEE <b>BUILDING DATA:</b> <b>TYPE OF CONSTRUCTION:</b> V-B <b>OCCUPANCY TYPE / USE:</b> R-3 <b>FIRE SPRINKLER:</b> YES <b>NO. OF STORIES:</b> 3 <b>HABITABLE AREA:</b> <b>2ND FLOOR:</b> 1,160 SF <b>3RD FLOOR:</b> 1,140 SF <b>TOTAL HABITABLE AREA:</b> 2,300 SF <b>NON-HABITABLE</b> <b>1ST FLOOR (GARAGE/ STORAGE AREA):</b> 1,160 SF <b>DECK AREA:</b> 1,380 SF <b>TOTAL BUILDING AREA:</b> 3,460 SF <b>(WITH DECK):</b> 4,840 SF			
<b>PROJECT DIRECTORY</b>		<b>CLIENT</b> HOMETOWN ELITE PRO BUILDER 200 ROSSI AVENUE ANTIOCH, CA 94509 (888) 869-6770 JUAN SILVA INFO@HOMETOWNELITEPRO.COM		<b>ARCHITECT</b> EVA ARCHITECTS 1248 SPENCER AVE SAN JOSE CA 95125 (408) 874-5304 EVA SABALA, PRINCIPAL EVA@EVA-ARCHITECTS.COM		<b>PROJECT TITLE</b> <b>3 STORY SINGLE FAMILY RESIDENCE</b> <b>3910 STONE RD, BETHEL ISLAND, CA 94511</b>	
<b>ABBREVIATIONS</b>		<b>GOVERNING CODES</b>		<b>VICINITY MAP</b>		<b>PARCEL MAP</b>	
A.C. ASPHALT CONCRETE ACCESS. ACCESSIBLE A.F.F. ABOVE FINISH FLOOR ARCH. ARCHITECTURAL ASSEM. ASSEMBLY BD. BOARD BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC CI. CAST IRON C.J. CONTROL JOINT CL. CENTER LINE CLR. CLEAR CLKG. CAULKING COL. COLUMN CONC. CONCRETE CONF. CONFERENCE CONN. CONNECTION CONT. CONTINUOUS CORRIDOR C.P.F. CEMENT PLASTER FINISH CTSK. COUNTERSINK CTR. CENTER C.W. COLD WATER DBL. DOUBLE D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DIM. DIMENSION DN. DOWN DR. DOOR DS. DOWNSPOUT DWG. DRAWING EA. EACH E.J. EXPANSION JOINT ELEV. ELEVATION ELEC. ELECTRICAL EQ. EQUAL (E) EXISTING EXT. EXTERIOR EXP. EXPANSION F.A. FIRE ALARM F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.H. FIRE HYDRANT FHWS. FLAT HEAD WOOD SCREW FIN. FINISH F.F. FIRE FLOOR F.P. FIRE PROTECTION FT. FOOT GA. GAUGE GALV. GALVANIZED C.B. GRAB BAR G.I. GALVANIZED IRON G.W.B. GYPSUM WALL BOARD		GYP. GYPSUM H.B. HOSE BIB I.D. INSIDE DIAMETER IN. INCH INFO. INFORMATION INSUL. INSULATION LAV. LAVATORY MAX. MAXIMUM MTL. METAL MFR. MANUFACTURER M.H. MAN HOLE MIN. MINIMUM MISC. MISCELLANEOUS (N) NEW N/A. NOT APPLICABLE N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFCI. OWNER FURNISHED CONTRACTOR INSTALLED OPP. OPPOSITE PAV. PAVING P.D.F. POWDER DRIVEN FASTENER PL. PLATE P.T.D. PAPER TOWEL DISPENSER RAD. RADIUS REF. REFRIGERATOR RM. ROOM R.D. ROOF DRAIN R.C.P. REFLECTED CEILING PLAN R.VL. REVEAL R.W.L. RAIN WATER LEADER R.S.D. SEE ARCHITECTURAL DWG. S.C. SOLID CORE S.D. SOAP DISPENSER SEC. SECTION SHT. SQUARE FOOT SIM. SHEET SIMILAR S.M.S. SHEET METAL SCREW SPEC. SPECIFICATION STD. STANDARD STL. STEEL STRUCT. STRUCTURAL T.C. TOP OF CURB TEL. TELEPHONE T.O.P. TOP OF PARAPET T.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER T.W. TOP OF WALL TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.I.F. VERIFY IN FIELD W/ WITH W.C. WATER CLOSET WD. WOOD W/ O WITHOUT W.P. WATERPROOF W.R. WATER RESISTANT W.S. WEATHER STRIPPING					
<b>FLOOD ZONE NOTES</b> <p>THIS BUILDING IS LOCATED WITHIN FLOOD HAZARD ZONE "AE". THE BASE FLOOD ELEVATION (BFE) IS 9'-0". ALL WORK UP TO THE BFE PLUS 2'-0" FREEBOARD (ELEVATION 11'-0") WILL BE CONSTRUCTED USING FLOOD-RESISTANT MATERIALS IN COMPLIANCE WITH APPLICABLE FEMA AND LOCAL JURISDICTION REQUIREMENTS.</p>		<b>WUI STATUS</b> <p>THIS BUILDING IS NOT LOCATED IN THE WILDLAND URBAN INTERFACE (WUI) ZONE AND IS NOT SUBJECT TO THE PROVISION OF THE 2022 CBC CHAPTER 7A</p>				<b>ARCHITECT STAMP</b> 	
						<b>APPLICATION NUMBER</b> <b>DRAWING NUMBER</b> <b>DATE</b> <b>PROJECT NUMBER</b>	
						<b>A0.01</b> <b>10/13/2025</b> <b>25007</b>	



## BOUNDARY & TOPOGRAPHIC SURVEY

LOT 65, 27 M 19 & LOT 65, 27 M 60  
CONTRA COSTA COUNTY RECORDS  
3910 STONE RD., BETHEL ISLAND CA, 94511

**NIERHAK SURVEYING**  
140 VIA VACUEROS  
MARTINEZ, CA 94553  
EMAIL: [nierhak@gmail.com](mailto:nierhak@gmail.com)

THIS MAP  
PREPARED FOR:  
HOMETOWN ELITE PRO BUILDERS  
ATT: JUAN SILVA  
200 ROSS AVE, ANTIOCH, CA 94509

CONTOUR INTERVAL  
1'  
SCALE:  
1" = 10'  
DATE OF SURVEY:  
3/23/24  
SHEET:  
1 OF 1  
JOB NO.  
2408  
FILE NAME:  
2408.vwx

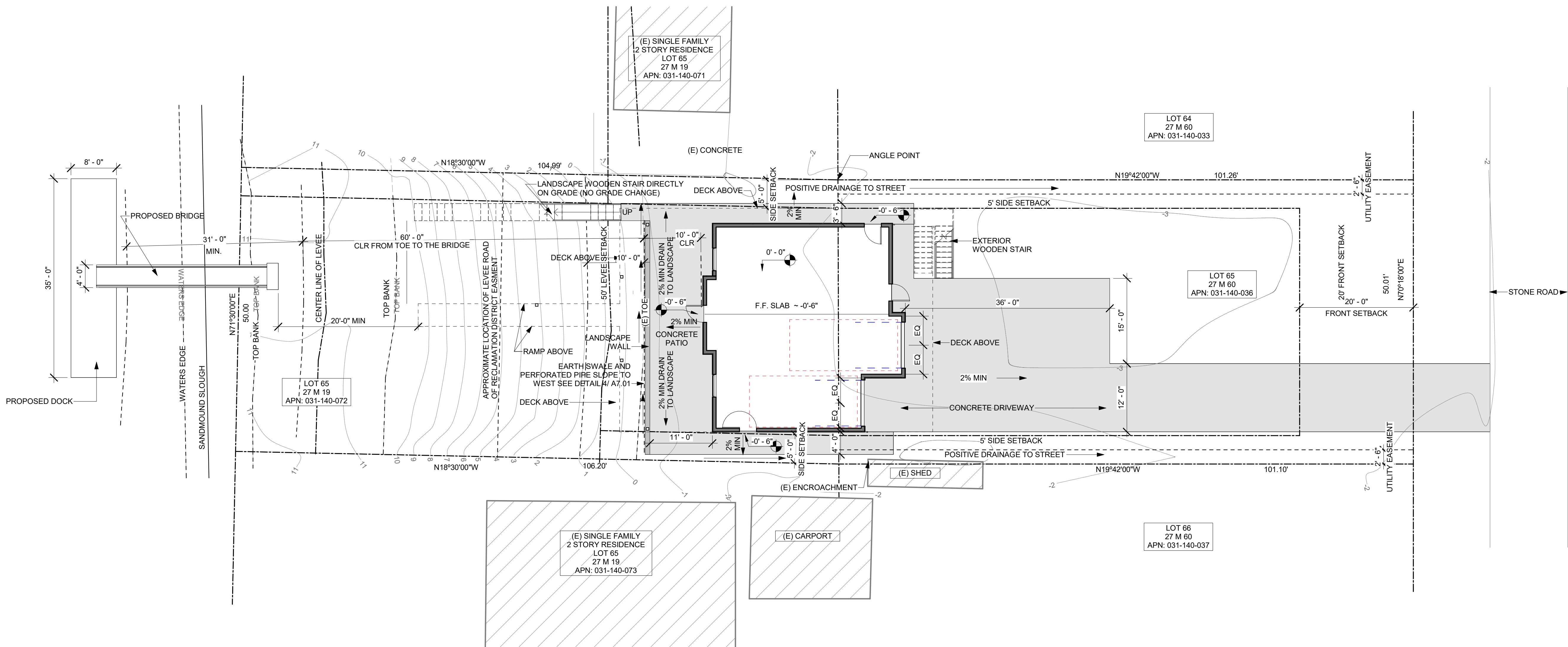


140 VIA VACUEROS  
MARTINEZ, CA 94553  
EMAIL: [nierhak@gmail.com](mailto:nierhak@gmail.com)

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PREPARED FOR:  
HOMETOWN ELITE PRO BUILDERS  
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200 ROSS AVE, ANTIOCH, CA 94509

**NIERHAK SURVEYING**  
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EMAIL: [nierhak@gmail.com](mailto:nierhak@gmail.com)

THIS MAP  
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ATT: JUAN SILVA  
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### 3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

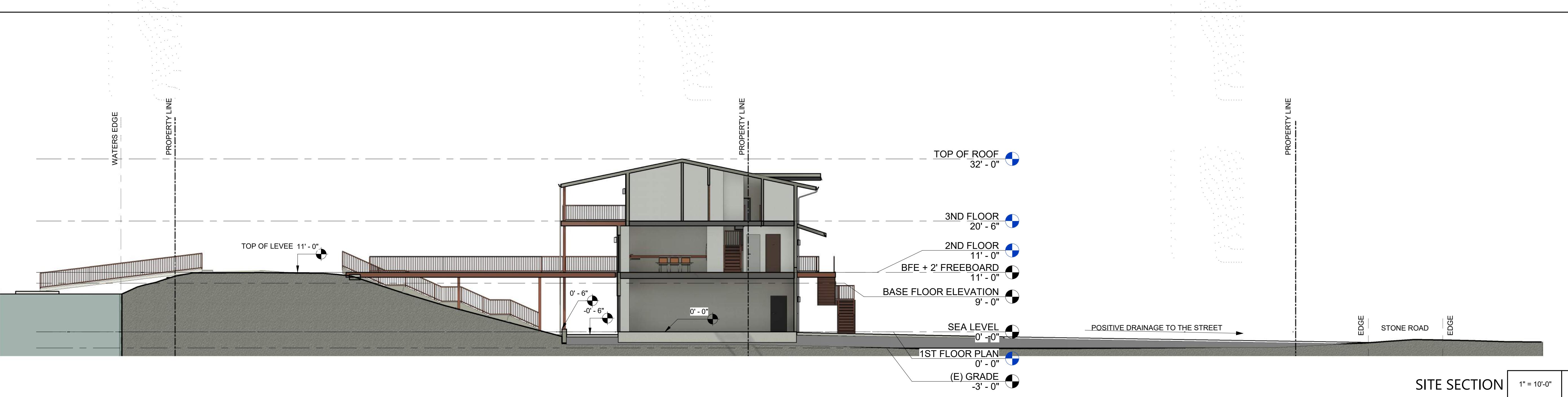
TITLE

### SITE PLAN

PROPOSED SITE PLAN 1" = 10'-0" | 1

LOT COVERAGE CALCULATIONS		GRAPHIC KEY
LOT SIZE: 13,685 SF <b>PROPOSED AREAS:</b> PAVERS: 2,761 SF STRUCTURES/ ROOFS: 1,807 SF <b>PROPOSED IMPERVIOUS COVERAGE:</b> 4,568 SF (33.3%) <b>PROPOSED LANDSCAPED AREA:</b> 9,117 SF		
		ARCHITECT STAMP
APPLICATION NUMBER DATE PROJECT NUMBER		DRAWING NUMBER  <b>A1.01</b>
10/13/2025 25007		

**EVA ARCHITECTS**  
1248 SPENCER AVE  
SAN JOSE, CA 92125  
408-874-5304  
www.eva-architects.com



CONSULTANT'S STAMP

PROJECT TITLE

### 3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

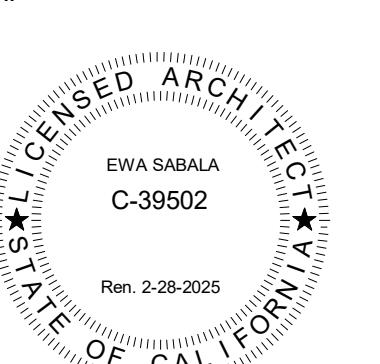
No.	Description	Date
	Planning set	7/01/25

3D PERSPECTIVE 1 2

TITLE

### PROPOSED SITE SECTION & PERSPECTIVES

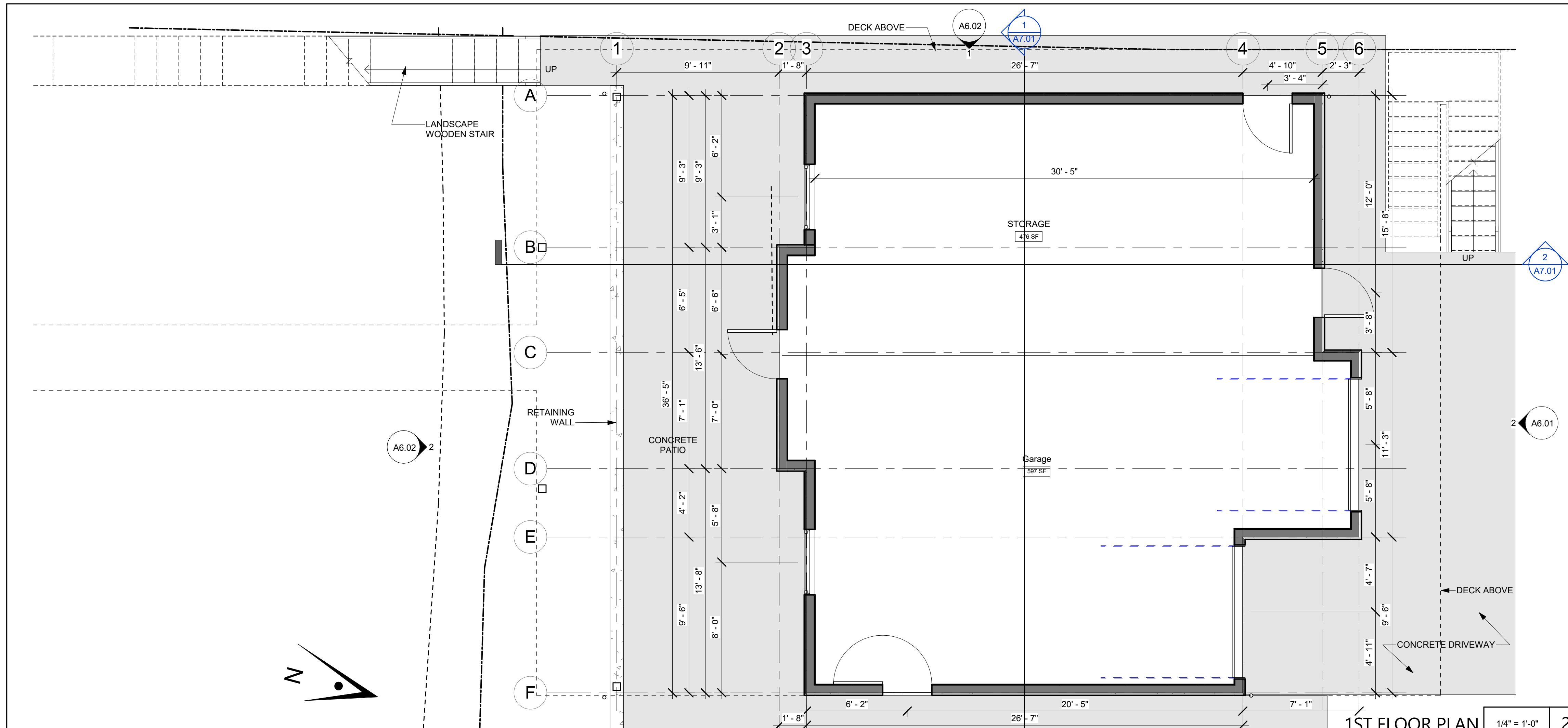
ARCHITECT STAMP



APPLICATION NUMBER	DRAWING NUMBER
DATE 10/13/2025	
PROJECT NUMBER 25007	A1.03

3D PERSPECTIVE 2 1





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**CONSULTANT'S STAMP**

## KEYNOTES

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## PROJECT TITLE

# 3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

	<b>Description</b>	<b>Date</b>
	Planning set	7/01/25

## ST & 2ND FLOOR PLAN

## GRAPHIC KEY

PARTITION WALL, REFER TO A12.30

WALL TYPES, REFER TO A12.30

DOOR TYPE, SEE DOOR SCHEDULE

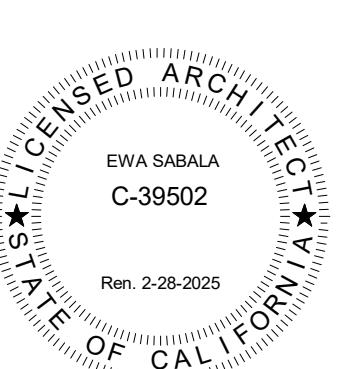
WINDOW TYPE, SEE WINDOW SCHEDULE

CONCRETE PAVING

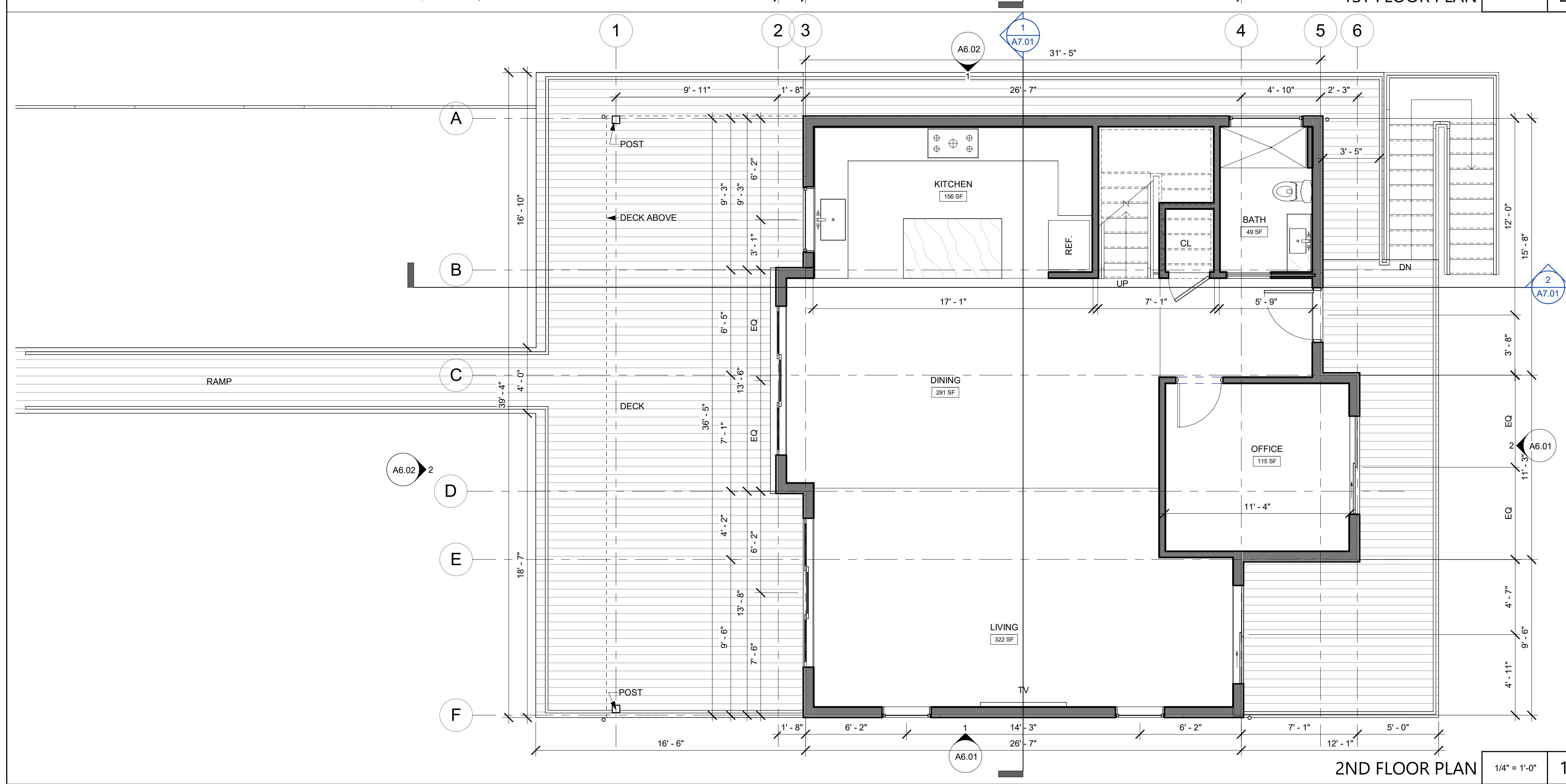
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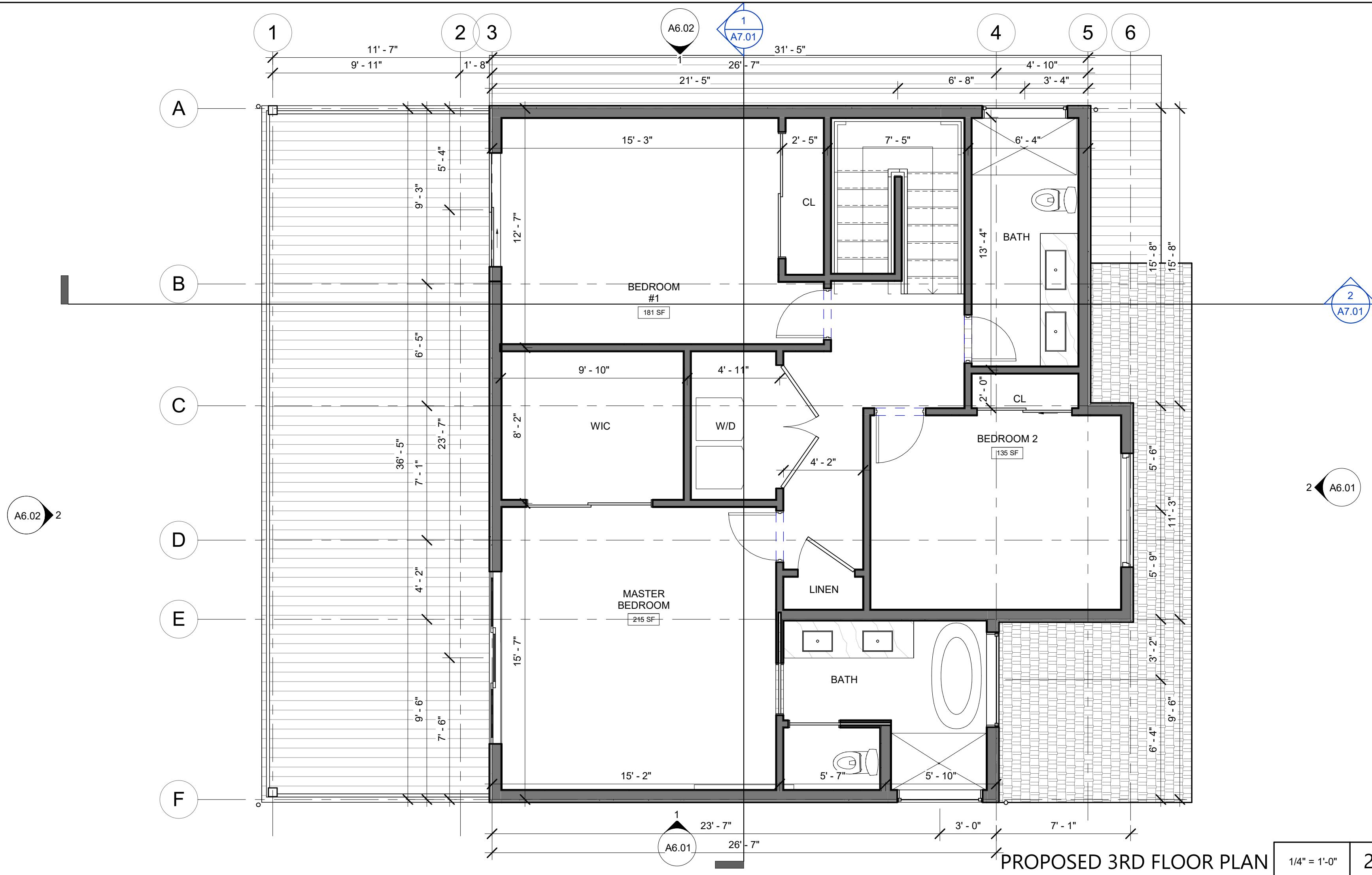
ASPHALT SHINGLE ROOFING

PROTECT STAMP



LOCATION NUMBER	DRAWING NUMBER
10/13/2025	<b>A3.01</b>
JECT NUMBER	
25007	





# EVA ARCHITECTS

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**CONSULTANT'S STAMP**

## KEYNOTES

# PROJECT TITLE

# 3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

## TITLE

# 3ND FLOOR PLAN & ROOF PLAN

## GRAPHIC KEY

PARTITION WALL, REFER TO A12.30

WALL TYPES, REFER TO A12.30

DOOR TYPE, SEE DOOR SCHEDULE

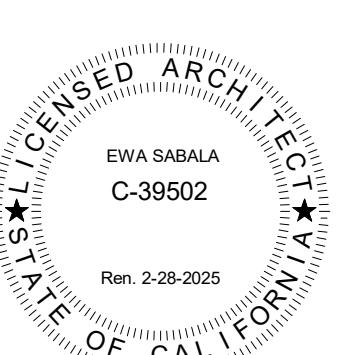
WINDOW TYPE, SEE WINDOW SCHEDULE

CONCRETE PAVING

DECK

ASPHALT SHINGLE ROOFING

ARCHITECT STAMP

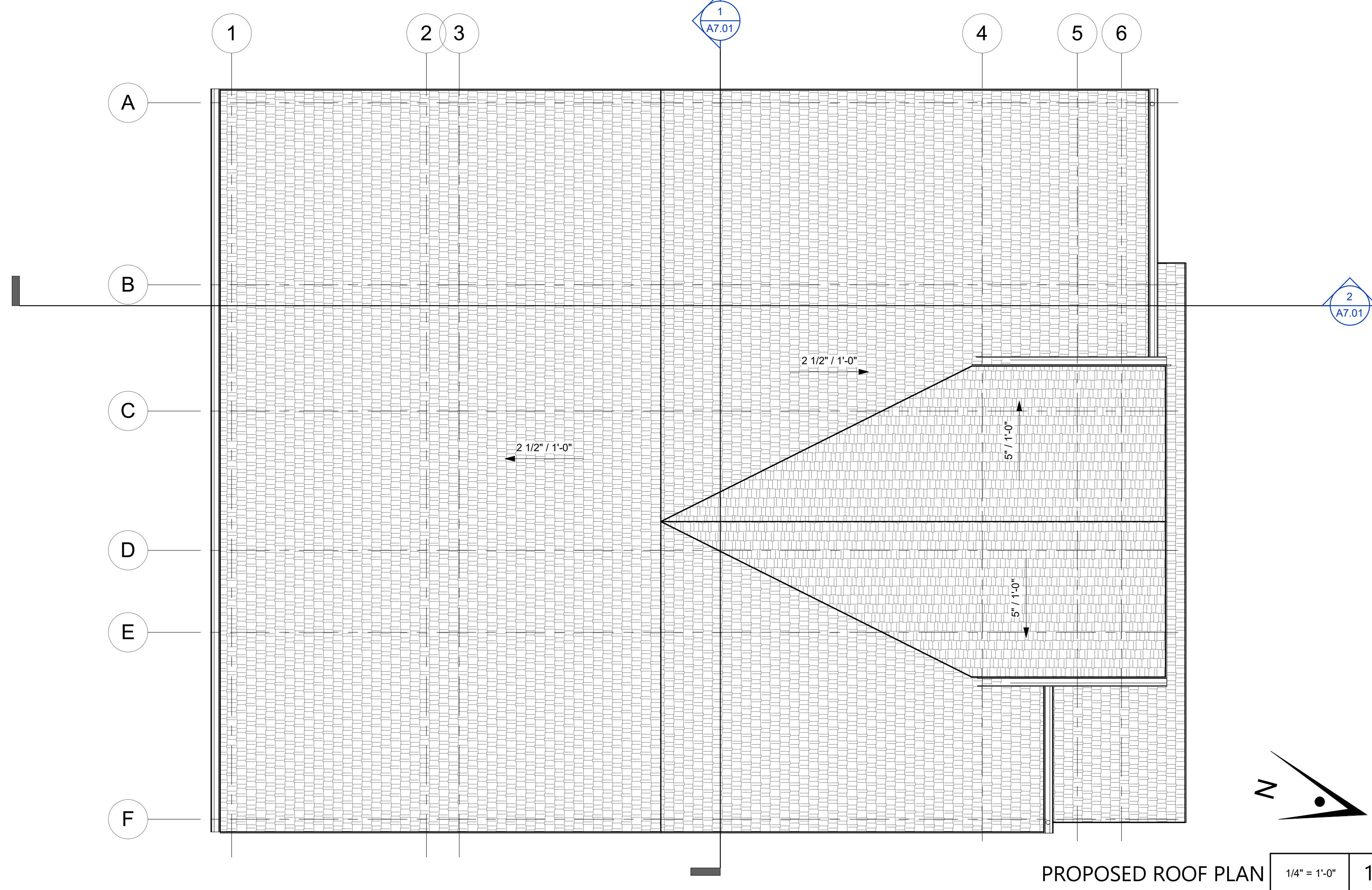


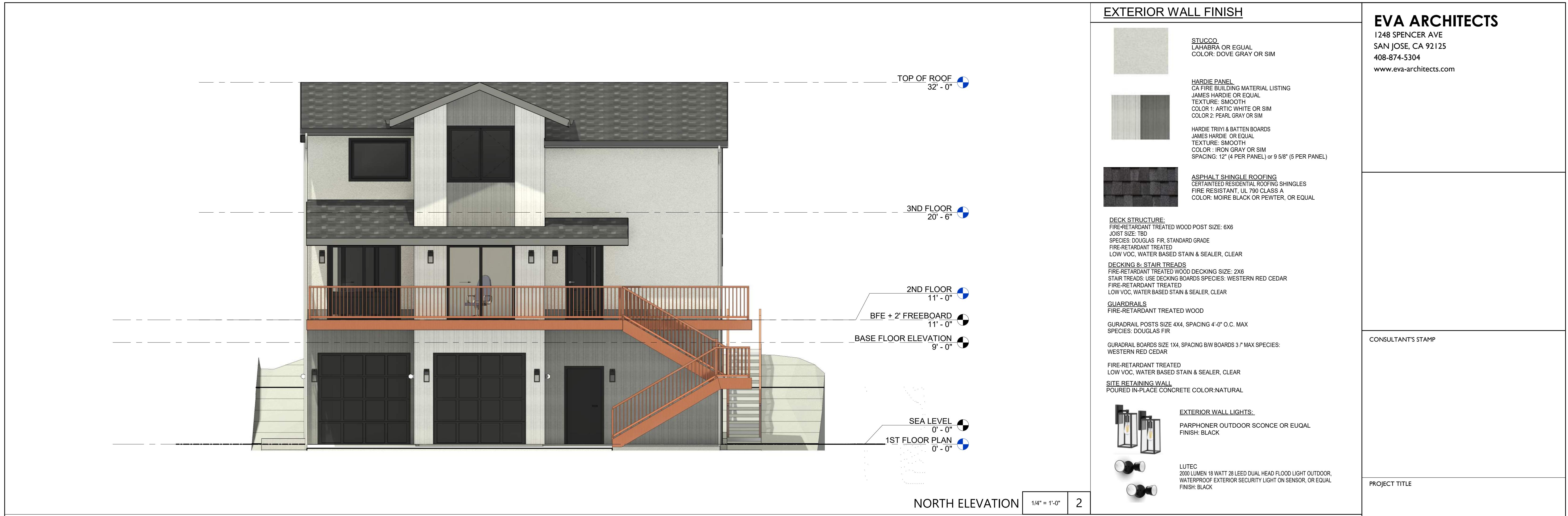
APPLICATION NUMBER

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10/13/2021

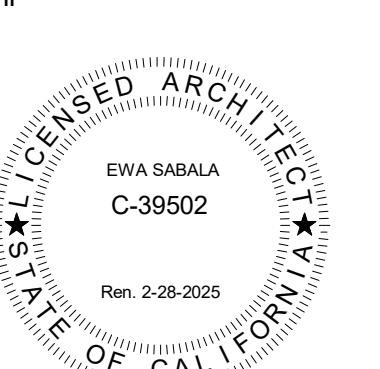
A3.02





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408-874-5304  
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### 3 STORY SINGLE FAMILY RESIDENCE



**A6.01**



#### EXTERIOR WALL FINISH



STUCCO  
LAHABRA OR EQUAL  
COLOR: DOVE GRAY OR SIM



HARDIE PANEL  
CA FIRE BUILDING MATERIAL LISTING  
JAMES HARDIE OR EQUAL  
TEXTURE: SMOOTH  
COLOR 1: ARTIC WHITE OR SIM  
COLOR 2: PEARL GRAY OR SIM



ASPHALT SHINGLE ROOFING  
CERTAINTEED RESIDENTIAL ROOFING SHINGLES  
FIRE RESISTANT, UL 790 CLASS A  
COLOR: MOIRE BLACK OR PEWTER, OR EQUAL



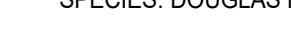
DECK STRUCTURE:  
FIRE-RETARDANT TREATED WOOD POST SIZE: 6X6  
JOIST SIZE: 2X6  
SPECIES: DOUGLAS FIR, STANDARD GRADE  
FIRE-RETARDANT TREATED  
LOW VOC, WATER BASED STAIN & SEALER, CLEAR



DECKING & STAIR TREADS:  
FIRE-RETARDANT TREATED WOOD DECKING SIZE: 2X6  
STAIR TREADS: USE DECKING BOARDS SPECIES: WESTERN RED CEDAR  
FIRE-RETARDANT TREATED  
LOW VOC, WATER-BASED STAIN & SEALER, CLEAR



GUARDRAILS:  
FIRE-RETARDANT TREATED WOOD  
GUARDRAIL POSTS SIZE 4X4, SPACING 4'-0" O.C. MAX  
SPECIES: DOUGLAS FIR



GUARDRAIL BOARDS SIZE 1X4, SPACING B/W BOARDS 3/8" MAX SPECIES:  
WESTERN RED CEDAR



SITE RETAINING WALL:  
POURED IN-PLACE CONCRETE COLOR:NATURAL



EXTERIOR WALL LIGHTS:  
PARPHONER OUTDOOR SCONCE OR EQUAL  
FINISH: BLACK



LUTEC  
2000 LUMEN 18 WATT 28 LEED DUAL HEAD FLOOD LIGHT OUTDOOR,  
WATERPROOF EXTERIOR SECURITY LIGHT ON SENSOR, OR EQUAL  
FINISH: BLACK

#### EVA ARCHITECTS

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CONSULTANT'S STAMP

PROJECT TITLE

### 3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

TOP OF ROOF  
32'-0"

3RD FLOOR  
20'-6"

BFE + 2' FREEBOARD  
11'-0"

2ND FLOOR  
11'-0"

BASE FLOOR ELEVATION  
9'-0"

SEA LEVEL  
0'-0"

1ST FLOOR PLAN  
0'-0"

(E) GRADE  
-3'-0"

WEST ELEVATION

1/4" = 1'-0"

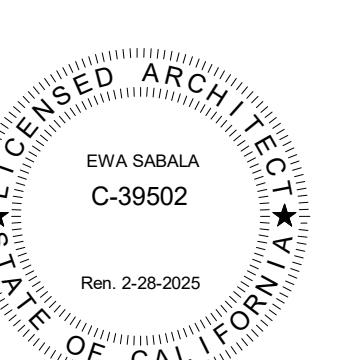
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No.	Description	Date
	Planning set	7/01/25

TITLE

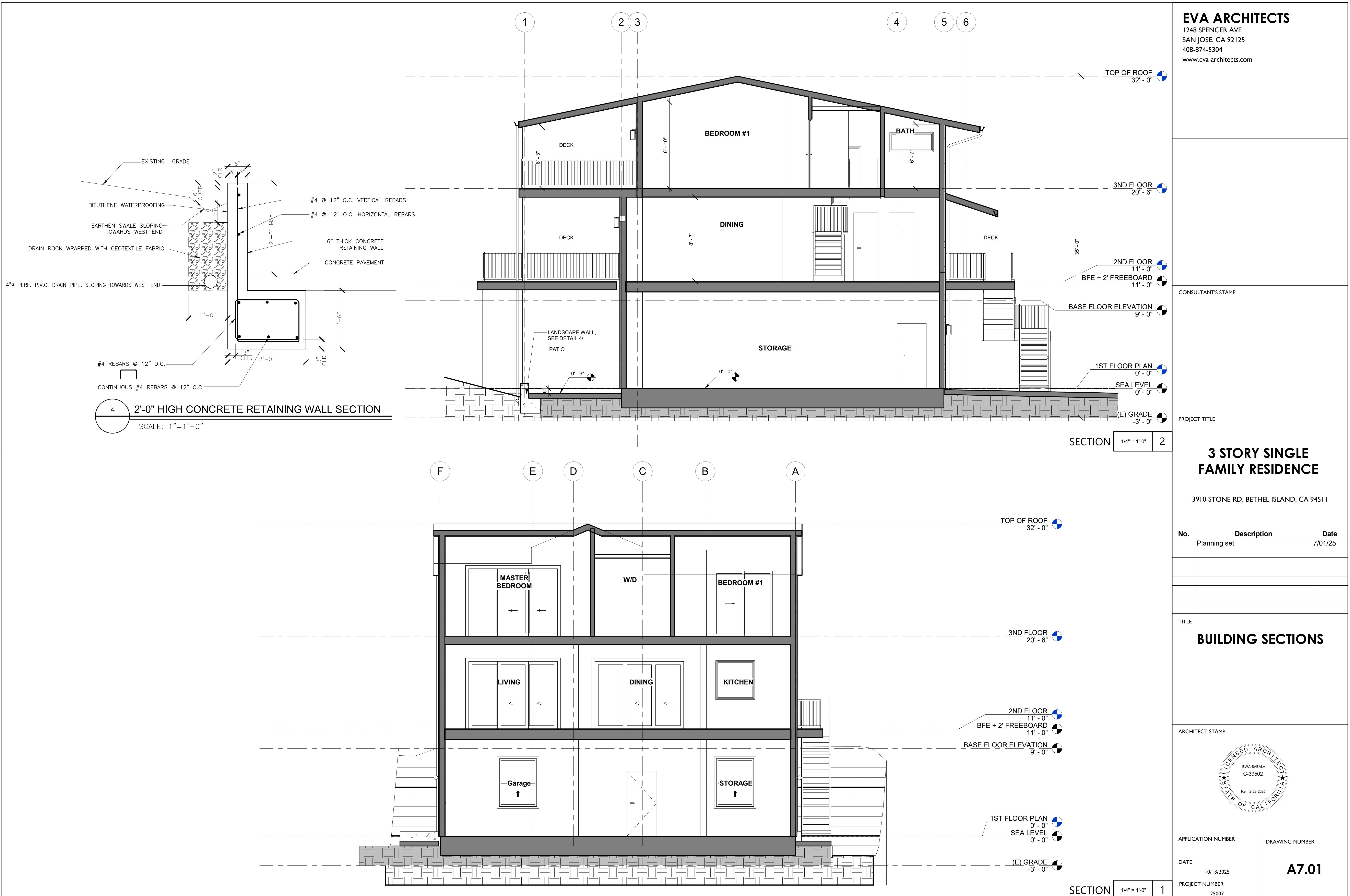
### ELEVATIONS

ARCHITECT STAMP



APPLICATION NUMBER	DRAWING NUMBER
DATE	10/13/2025
PROJECT NUMBER	25007

A6.02



# LOCATION MAP



# LEGEND

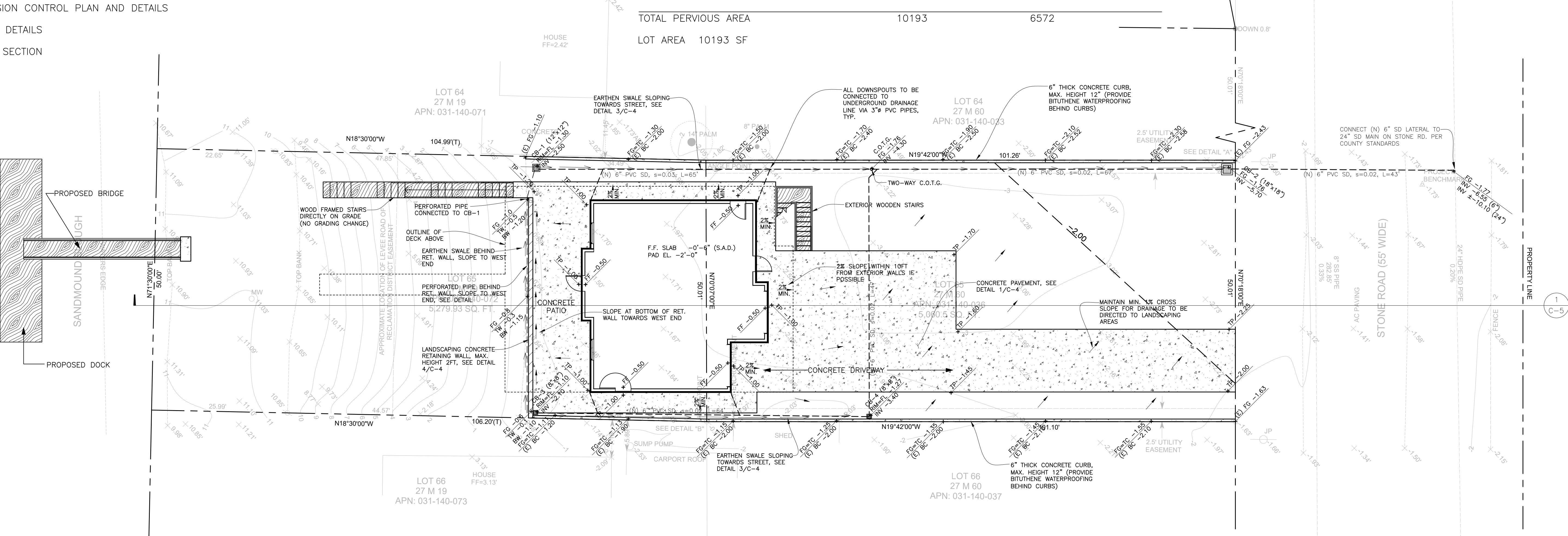


# STORMWATER MANAGEMENT NOTES

1. RUNOFF FROM FRONT YARD CONCRETE DRIVEWAY IS DIRECTED TO LANDSCAPED AREA AT FRONT YARD.
2. RUNOFF FROM ALL CONCRETE PORCHES, PATIOS, WALKWAYS AND LANDINGS IS DIRECTED TO LANDSCAPED AREA.

# SHEET INDEX

- C-1 SITE GRADING AND DRAINAGE PLAN
- C-2 SITE UTILITIES PLAN
- C-3 EROSION CONTROL PLAN AND DETAILS
- C-4 CIVIL DETAILS
- C-5 SITE SECTION



## NOTES

1. ALL TOPOGRAPHIC AND BOUNDARY INFORMATION WERE PROVIDED BY OWNER AND ARE BASED ON SURVEY BY NIERHAK SURVEYING, DATED 3/23/2024.
2. FOR BUILDING PLAN DRAWINGS SEE ARCHITECTURAL DRAWINGS.
3. ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, UPLIFTED OR DEPRESSED DURING THE COURSE OF CONSTRUCTION, OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION, SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
4. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
5. A SEPARATE PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE APPLICANT/CONTRACTOR SHALL OBTAIN THE PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.
6. RUNOFF SHALL NOT BE DIRECTED TO NEIGHBORING PROPERTIES

# ABBREVIATIONS

AB	AGGREGATE BASE	OPT	OPTION
AC	ASPHALTIC CONCRETE	OVE	OVERHEAD ELECTRIC
BFPD	BACKFLOW PREVENTION DEVICE	PC	POINT OF CURVATURE
BLDG	BUILDING	PL	PROPERTY LINE
BOP	BOTTOM OF PIPE	POC	POINT OF CONNECTION
BSMT	BASEMENT	PP	POWER POLE
BW	BACK OF WALK	PRK	PARKING
CB	CATCH BASIN	PT	POINT OF TANGENCY
C&G	CURB & GUTTER	PVC	POLYVINYL CHLORIDE
CI	CURB INLET	PVMT	PAVEMENT
CIP	CAST IRON PIPE	RCP	REINFORCED CONCRETE PIPE
CLF	CHAIN LINK FENCE	RPBPD	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
CONC	CONCRETE	S	SLOPE OR SOUTH
COO	CITY OF OAKLAND	SAP	SEE ARCHITECTURAL PLANS
COR	CORNER	SD	STORM DRAIN
C.Y.	CUBIC YARDS	SDCB	STORM DRAIN CATCH BASIN
DI	DRAINAGE INLET	SDCO	STORM DRAIN CLEANOUT
DIP	DUCTILE IRON PIPE	SDMH	STORM DRAIN MANHOLE
DW	DOMESTIC WATER	SE	SOUTH EAST
D/W	DRIVEWAY	SEP	SEE ELECTRICAL PLANS
E	EAST	SERV	SERVICE
(E) EX	EXISTING	SF	SQUARE FEET
EBMUD	EAST BAY MUD	SFPP	SEE FIRE PROTECTION PLANS
EFG	EXISTING FINISH GRADE	SGR	SEE GEOTECHNICAL REPORT
ELEC	ELECTRICAL	SHT	SHEET
EP	EDGE OF PAVEMENT	SJTP	SEE JOINT TRENCH PLANS
FC	FACE OF CURB	SL	STREET LIGHT
FF	FINISHED FLOOR	SLP	SEE LANDSCAPE PLANS
FG	FINISH GRADE	SMP	SEE MECHANICAL PLANS
FL	FLOW LINE	SPP	SEE PLUMBING PLANS
FLR	FLOOR	SS	SANITARY SEWER
FND	FOUND	SSCO	SANITARY SEWER CLEANOUT
FS	FIRE SERVICE OR FINISHED SURFACE ELEVATION	SSLP	SEE STREET LIGHT PLAN
G	GAS	SSML	SANITARY SEWER MANHOLE
GB	GRADE BREAK	SSP	SEE STRUCTURAL PLAN
GS	GROUND SURFACE ELEVATION	STA	STATION
GV	GAS VALVE	STD	STANDART
HC	HANDICAP	SW	SOUTH WEST
HCR	HANDICAP RAMP	S/W	SIDEWALK
HP	HIGH POINT	TC	TOP OF CURB
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
IRR	IRRIGATION	THK	THICK
JP	JOINT POLE	THRU	THROUGH
JT	JOINT TRENCH	TOP	TOP OF PIPE
LAT	LATERAL	TRANS	TRANSFORMER
LG	LIP OF GUTTER	TW	TOP OF WALL
LP	LOW POINT	Typ	TYPICAL
M..M	MONUMENT TO MONUMENT	VCP	VITRIFIED CLAY PIPE
(N)	NEW	W/	WITH
N	NORTH	W	WATER
NE	NORTH EAST	WM	WATER METER
NO	NUMBER	W	WEST
NW	NORTH WEST	WV	WATER VALVE

# CUT AND FILL VOLUME [C.YD.]

	CUT [C.Y.]	FILL [C.Y.]
CUT AT LANDSCAPING WALL	3	0
FILL AT HOUSE PAD AND YARD GRADE	0	150
APPROXIMATE TOTAL FILL = 150 - 3 = 147 C.Y.		

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY.  
CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE  
PURPOSE OF CONSTRUCTION QUANTITIES.

# IMPERVIOUS AREA [SF]

		PRE AREA [S.F.]	POST AREA [S.F.]
IMPERVIOUS AREA	– BUILDING	0	1167
	– DRIVEWAY	0	1728
	– PATIOS,WALKWAYS	0	726
TOTAL IMPERVIOUS AREA		0	3621

		PRE AREA [S.F.]	POST AREA [S.F.]
PERVIOUS AREA	- LANDSCAPING	10193	6572
TOTAL PERVIOUS AREA		10193	6572
LOT AREA	10193 SF		

# **SINGLE FAMILY RESIDENCE**

**3910 STONE RD.  
BETHEL ISLAND, CA**

# SITE GRADING AND DRAINAGE PLAN

44 FET

# CHI

PROJECT: 25-0665

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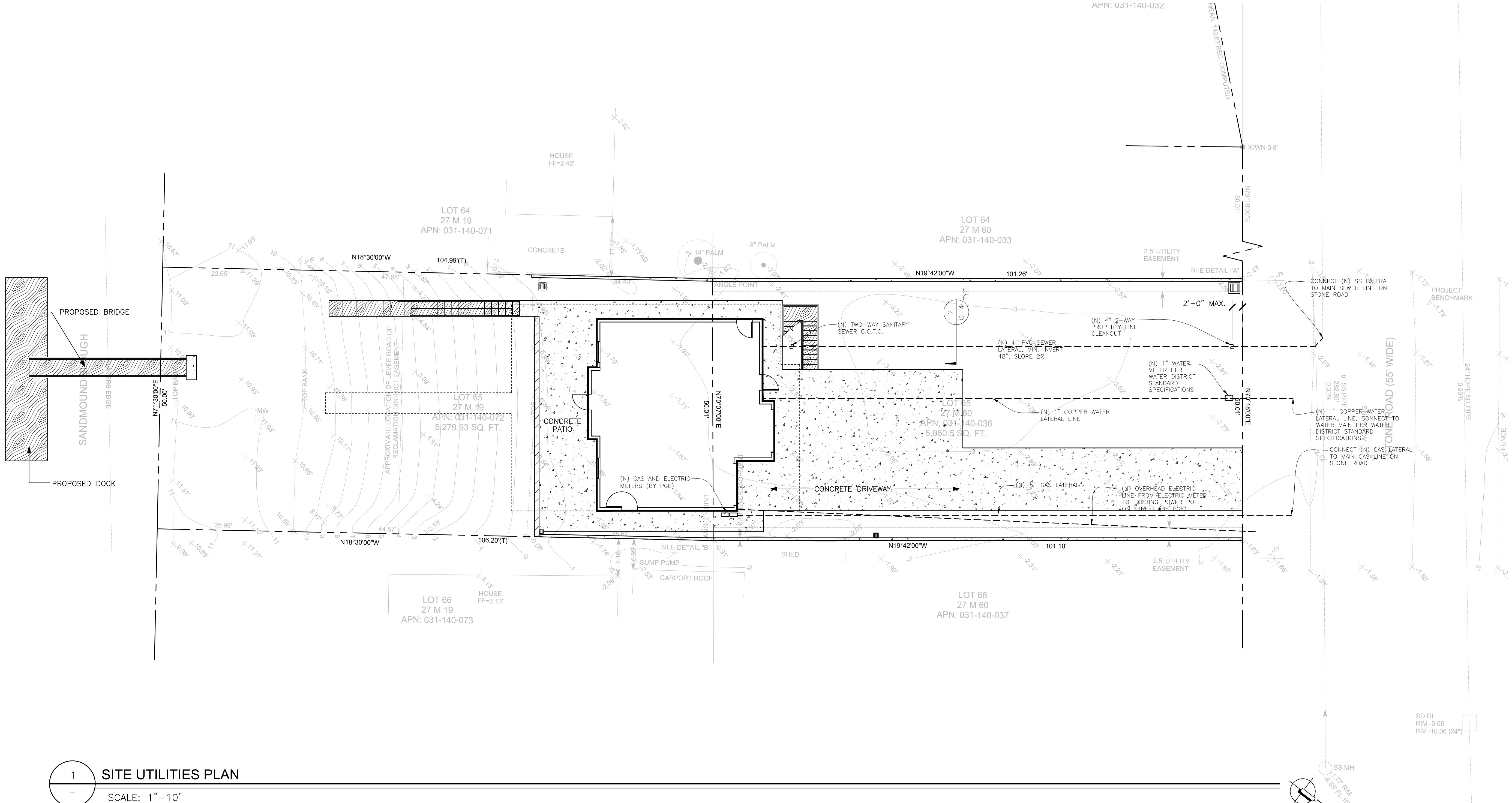
it Hanacek Engineering  
209 Powell Ave.  
leasant Hill, CA 94523  
Tel. (925) 262-7401  
Fax. (925) 952-7812  
[v.hanacek@yahoo.com](mailto:v.hanacek@yahoo.com)

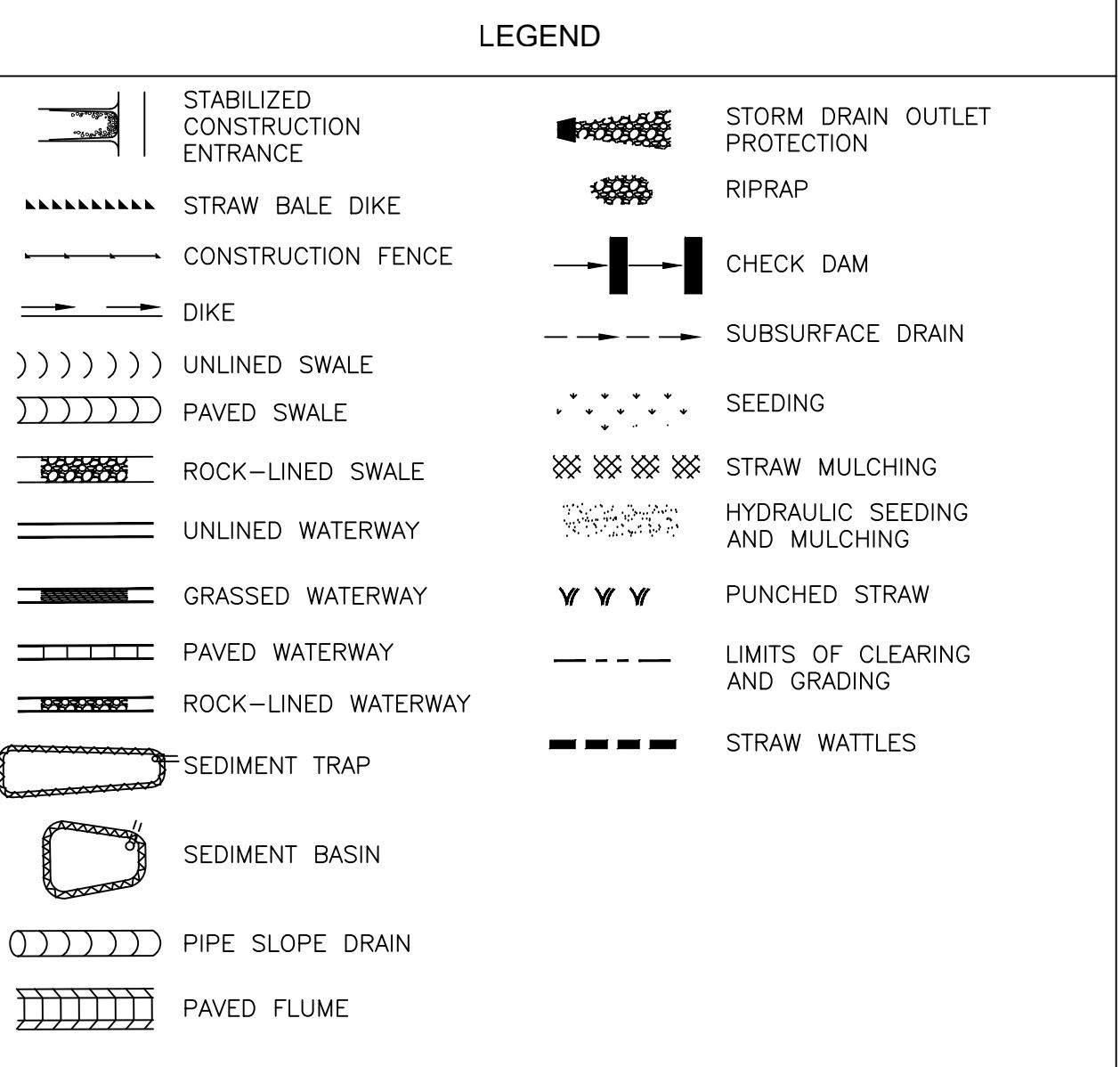
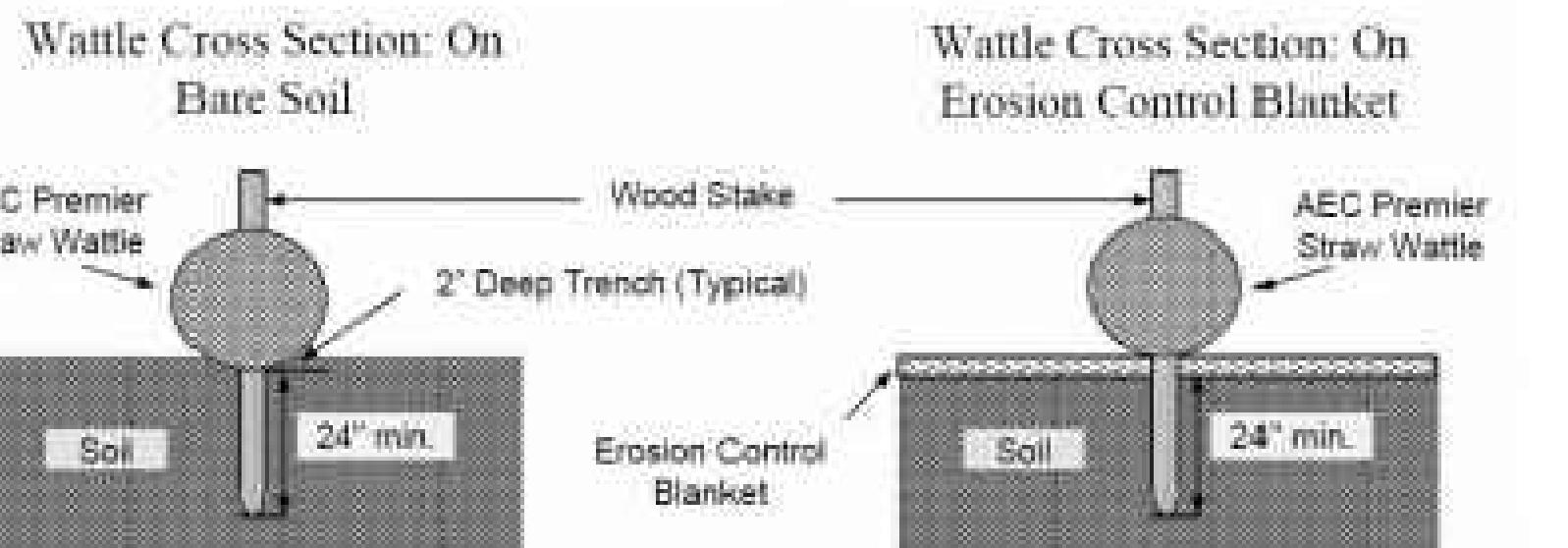
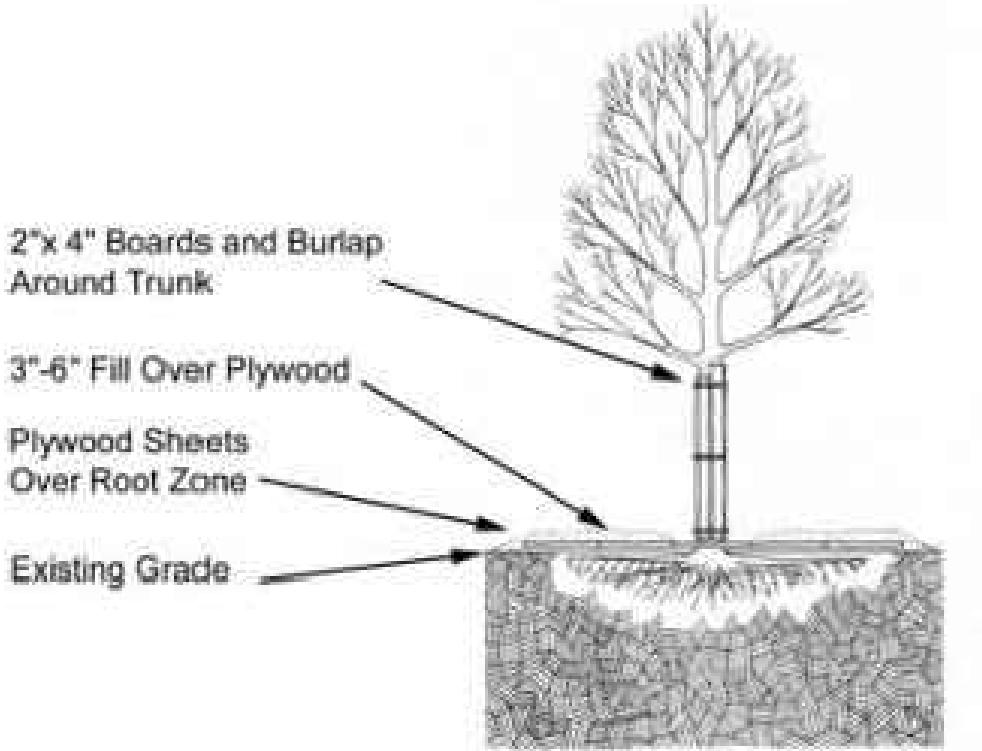


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REGISTERED PROFESSIONAL ENGINEER  
VITEZSLAV HANACEK  
C 75786  
EXP. 06/30/26  
CIVIL  
STATE OF CALIFORNIA

AMN: US1-140-032





#### EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. PHASE GRADING OPERATIONS TO REDUCE DISTURBED AREAS AND TIME OF EXPOSURE.
2. NO SITE GRADING SHALL BE ALLOWED BETWEEN OCTOBER 15TH AND APRIL 15TH UNLESS APPROVED EROSION CONTROL MEASURES ARE IN PLACE.
3. LIMIT ON-SITE CONSTRUCTION ROUTES AND STABILIZE CONSTRUCTION ENTRANCE(S). SEE DETAIL 2.
4. NOT USED.
5. THE APPLICANT SHALL GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER, WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER POLLUTION.
6. ALL DIRT, GRAVEL, RUBBISH, REFUSES AND GREEN WASTE FROM THE SIDEWALK, STREET PAVEMENT, AND STORM DRAINS ADJOINING THE PROJECT SITE SHALL BE REMOVED, DURING WET WEATHER, THE APPLICANT SHOULD AVOID DRIVING VEHICLES OFF PAVED AREAS AND OTHER OUTDOOR WORK.
7. THE SIDEWALK AND PUBLIC STREET PAVEMENT ADJOINING THE PROJECT SITE SHALL BE BROOM SWEEP ON A DAILY BASIS. CAKED ON MUD OR DIRT OR DIRT SHALL BE SCRAPED FROM THESE AREAS BEFORE SWEEPING.
8. THE APPLICANT SHALL INSTALL FILTER MATERIALS (SUCH AS SANDBAGS, FILTER FABRIC, ETC.) AT THE STORM DRAIN INLET NEAREST THE DOWNSTREAM SIDE OF THE PROJECT SITE PRIOR TO: 1) START OF THE RAINY SEASON (OCTOBER 15), 2) SITE DEWATERING ACTIVITIES, OR 3) STREET WASHING ACTIVITIES. 4) SAW CUTTING ASPHALT OR CONCRETE, IN ORDER TO RETAIN ANY DEBRIS OR DIRT FLOWING INTO THE CITY STORM DRAIN SYSTEM. FILTER MATERIALS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY TO ENSURE EFFECTIVENESS AND PREVENT STREET FLOODING. FILTERED PARTICLES SHALL BE DISPOSED OF IN THE TRASH.
9. PROVIDE 2 FT. DEEP TEMPORARY SEDIMENT TRAPS AS SHOWN; SEE DETAIL 3.
10. COVER STOCKPILED SOIL AND LANDSCAPING MATERIALS WITH SECURED PLASTIC SHEETING AND DIVERT RUNOFF AROUND THEM.
11. ONCE GRADING IS COMPLETED, STABILIZE THE DISTURBED AREAS USING PERMANENT VEGETATION AS SOON AS POSSIBLE (HAND SEEDING).
12. CONDUCT ROUTINE INSPECTIONS OF EROSION CONTROL MEASURES ESPECIALLY BEFORE AND IMMEDIATELY AFTER RAINSTORMS, AND REPAIR IF NECESSARY.
13. PROTECTED STORM DRAIN INLETS FROM SEDIMENT-laden RUNOFF. STORM DRAIN INLET PROTECTION DEVICES INCLUDE SANDBAG BARRIERS, FILTER FABRIC FENCES, BLOCK AND GRAVEL FILTERS, AND EXCAVATED DROP INLET SEDIMENT TRAPS.
14. WHEN CLEANING SEDIMENTS FROM STREETS, DRIVEWAYS AND PAVED AREAS ON CONSTRUCTION SITES, USE DRY SWEEPING METHODS WHERE POSSIBLE. IF WATER MUST BE USED TO FLUSH PAVEMENT, COLLECT RUNOFF TO SETTLE OUT SEDIMENTS AND PROTECT STORM DRAIN INLETS.
15. USE EROSION CONTROL BLANKETS FOR TEMPORARY SLOPE PROTECTION.
16. EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT RAINY SEASON (OCT. 1 - APR. 30).
17. ALL CONSTRUCTION VEHICLES/EQUIPMENT AND TRAILER SHALL BE LOCATED ON-SITE OR AT A SITE NEARBY (NOT ON A PUBLIC STREET OR PUBLIC PARKING) ARRANGED BY THE CONTRACTOR. NO CONSTRUCTION EQUIPMENT OR VEHICLES SHALL BE STORED OR PARKED ON RESIDENTIAL STREETS OR PUBLIC PARKING LOTS.
18. CONSTRUCTION CONTRACTORS/WORKERS ARE REQUIRED TO PARK ON-SITE OR AT A PRIVATE PROPERTY ARRANGED BY THE CONTRACTOR AND SHALL NOT BE ALLOWED TO USE NEIGHBORING RESIDENTIAL/PUBLIC STREETS FOR PARKING OR STORAGE. ONLY SITE/PRIVATE PARKING SHALL NOT AFFECT OR IMPACT EXISTING BUSINESSES.
19. ALL FENCING (INCLUDING FOOTINGS AND GATE SWING) SHALL NOT ENCROACH INTO THE PUBLIC RIGHT-OF-WAY, NOR BLOCK SIDEWALKS AND DRIVEWAYS.
20. FENCE SCREENING IS NOT ALLOWED WITHIN THE CORNER SAFETY TRIANGLES.
21. PROJECT SIGNAGE, INCLUDING FOOTINGS, SHALL NOT BLOCK PUBLIC SIDEWALK (IF ANY).

ISSUANCE AND REVISIONS:	DESCRIPTION:
NO. DATE	PERMIT SET
10/16/2025	1

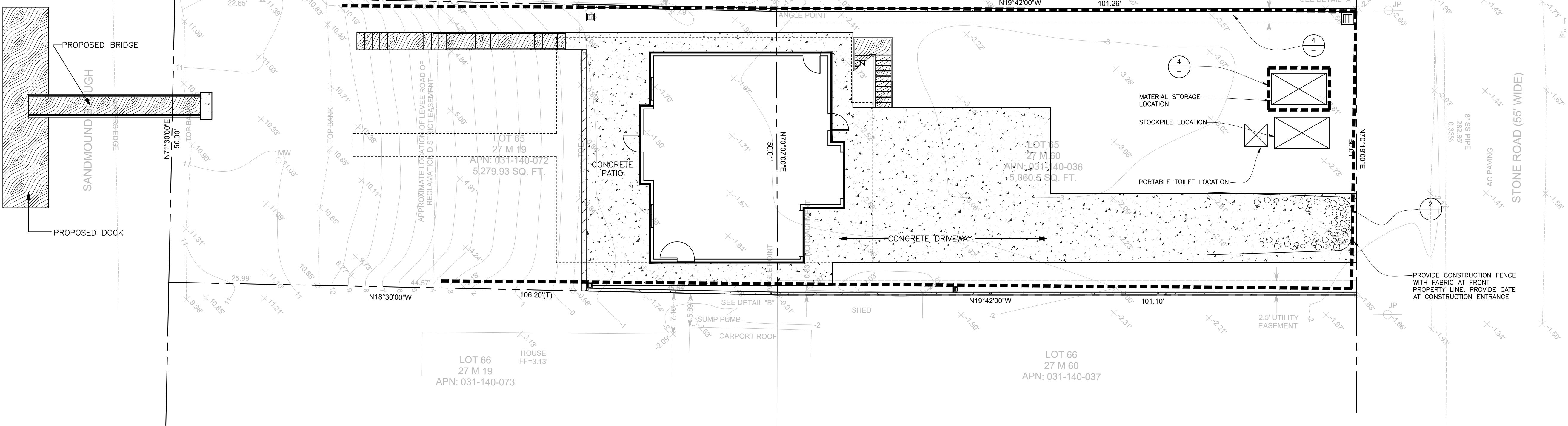
#### SINGLE FAMILY RESIDENCE

3910 STONE RD.  
BETHEL ISLAND, CA

PROJECT NAME:
---------------

#### EROSION CONTROL PLAN AND DETAILS

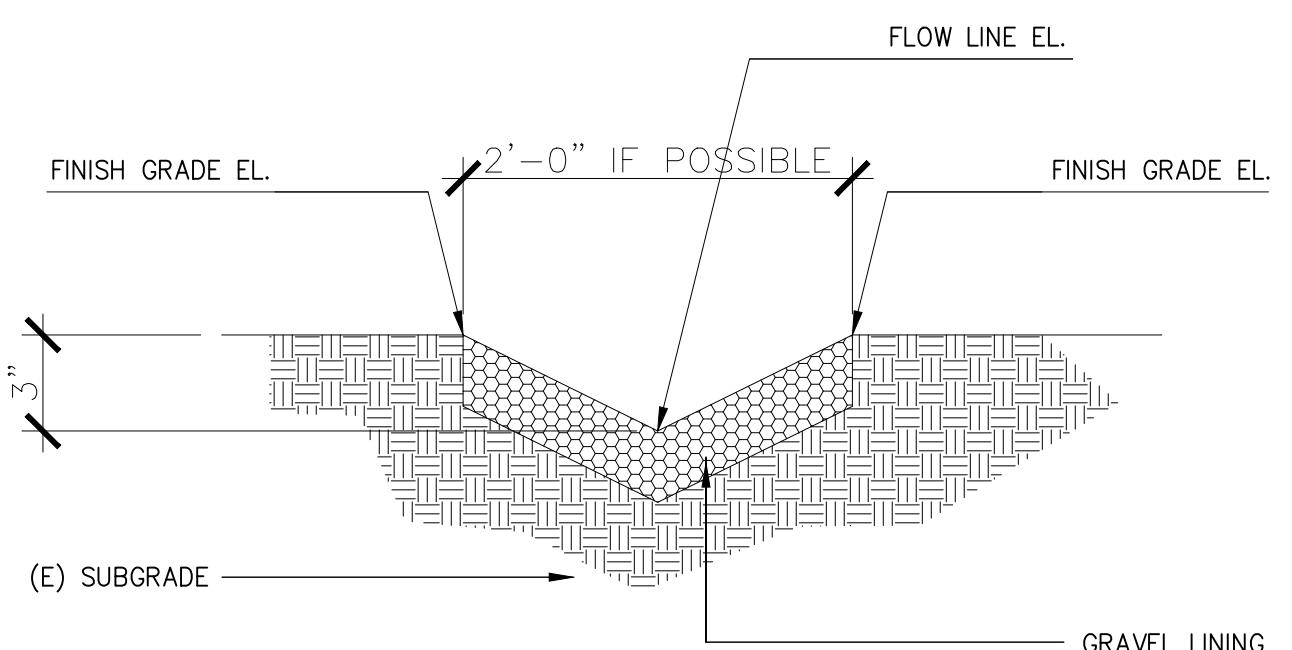
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SHEET NO.:	25-0665
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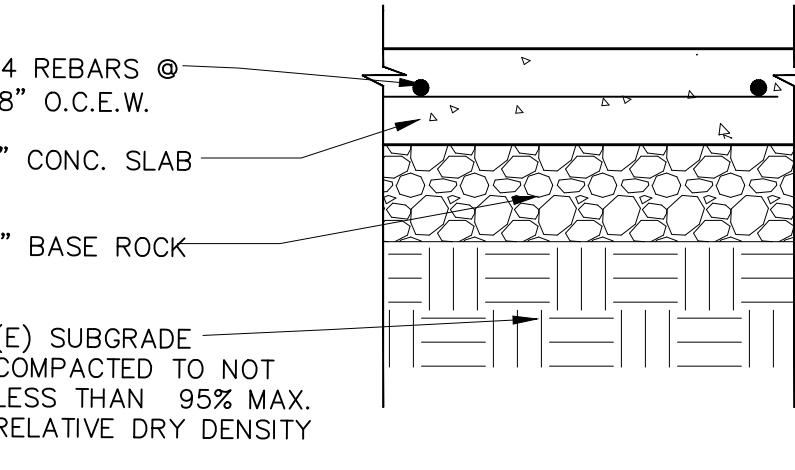
1  
EROSION CONTROL PLAN  
SCALE: 1"=10'

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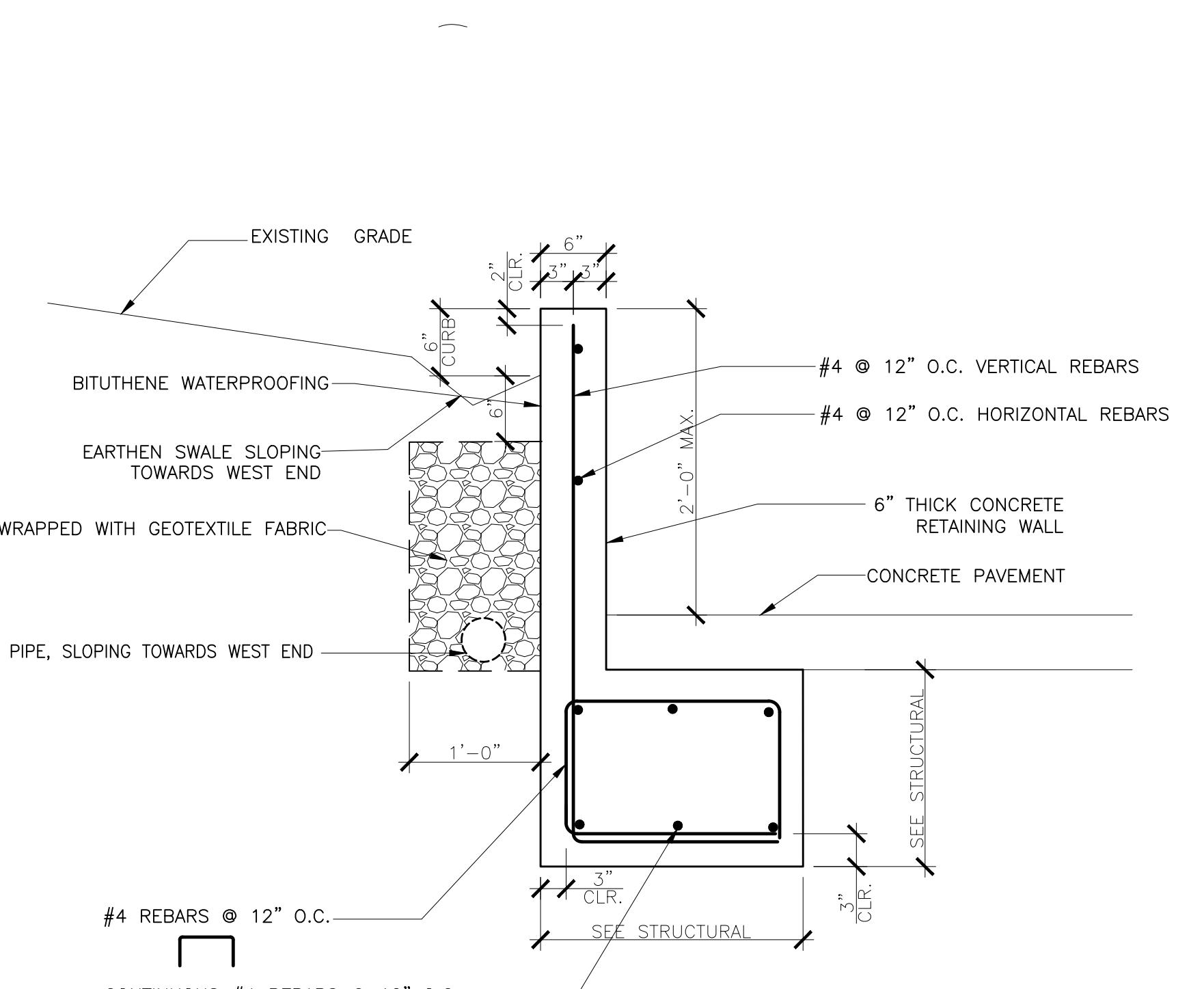
REGISTERED PROFESSIONAL ENGINEER  
VITESHAN HANACEK  
C 75786  
EXP. 06/30/26  
CIVIL  
STATE OF CALIFORNIA



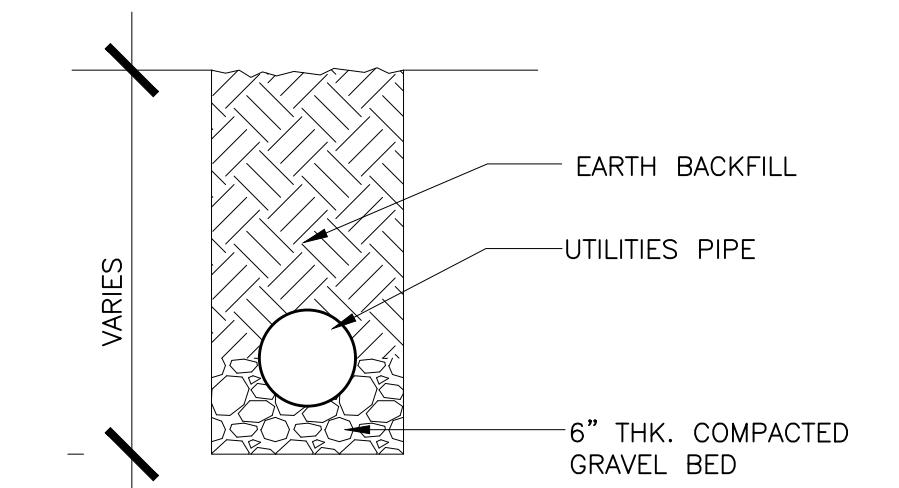
3 TYPICAL VEGETATED SWALE  
NOT TO SCALE



1 DRIVEWAY PAVEMENT SECTION  
NOT TO SCALE



4 2'-0" HIGH CONCRETE RETAINING WALL SECTION  
SCALE: 1"=1'-0"



2 TYPICAL UTILITIES TRENCH  
(ON PRIVATE PROPERTY ONLY)  
NOT TO SCALE

SINGLE FAMILY  
RESIDENCE  
3910 STONE RD.  
BETHEL ISLAND, CA

PROJECT NAME:  
CIVIL DETAILS

SHEET TITLE:  
CIVIL DETAILS

SHEET NO.:

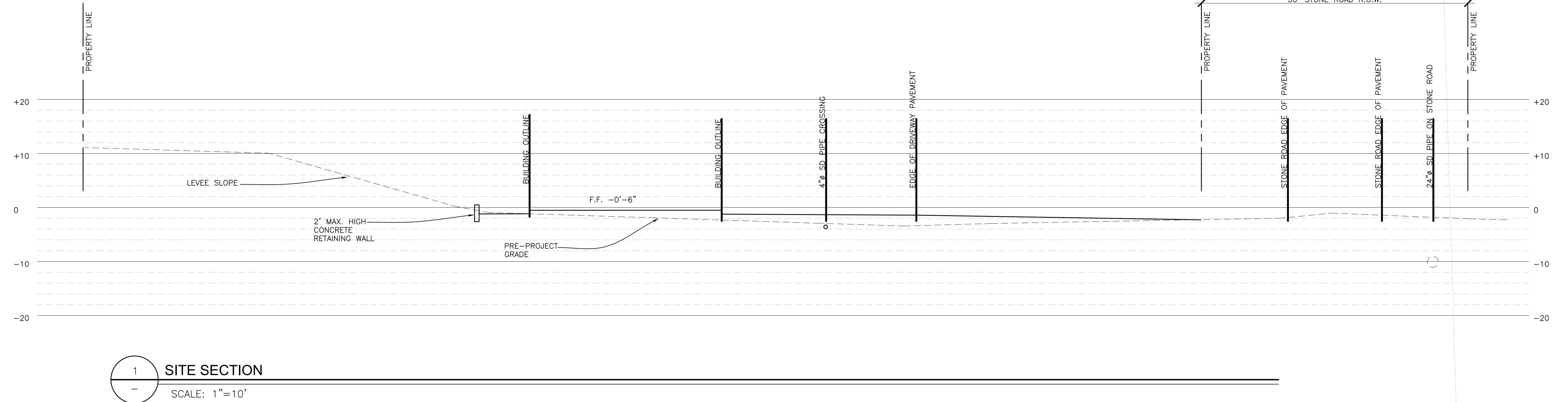
C-4

PROJECT: 25-0665

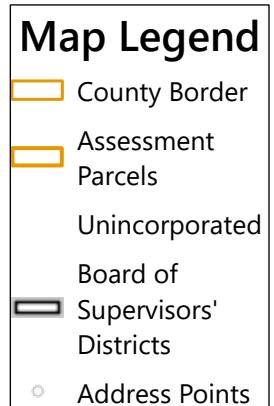
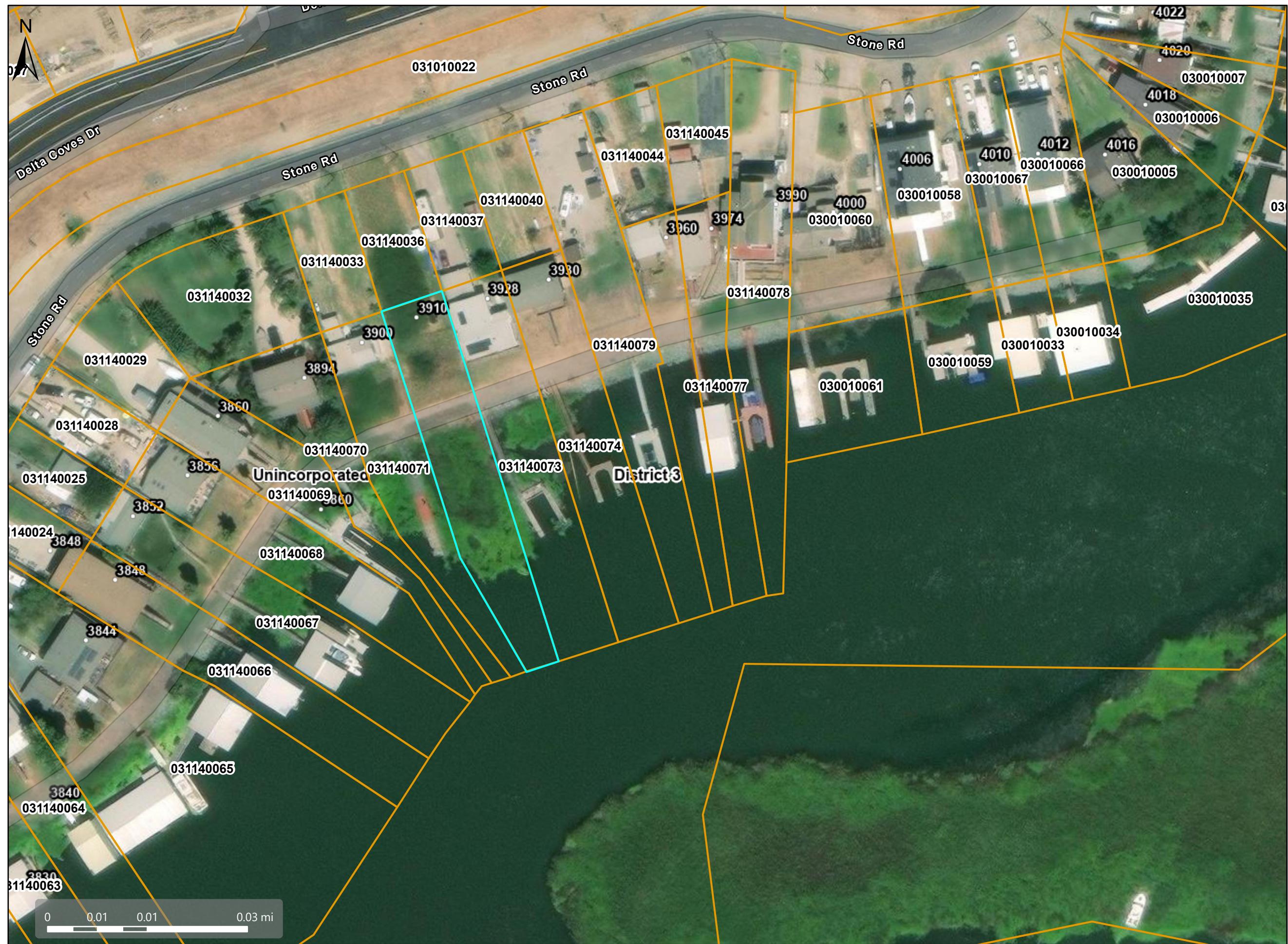
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v.hanacek@yahoo.com

<u>PROJECT NAME:</u>	
<u> SHEET TITLE:</u>	
<b>SITE SECTION</b>	

SHEET NO.: **C-5**  
PROJECT: **25-0665**

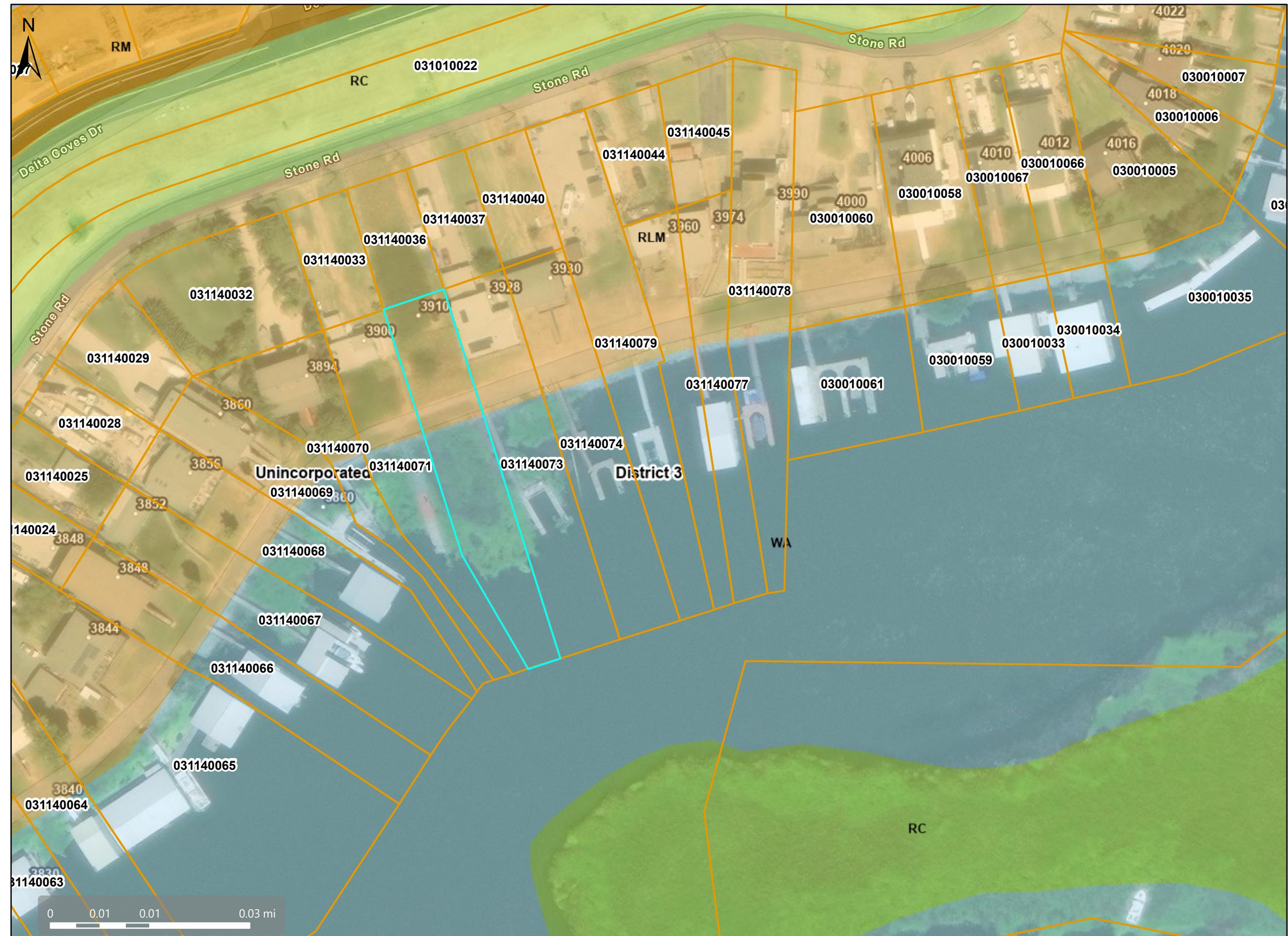


# Aerial



This map is a user generated, static output from an internet mapping application and is intended for reference use only.  
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION.  
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.  
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.  
Please direct all data inquires to the appropriate department.  
Spatial Reference  
PCS: WGS 1984 Web Mercator Auxiliary Sphere  
Datum: WGS 1984

## General Plan -WA and RLM



## Map Legend

- County Border
- Assessment Parcels
- General Plan
  - RLM (Residential Low-Medium Density) (3-7 du/na)
  - RM (Residential Medium Density) (7-17 du/na)
  - RC (Resource Conservation)
  - WA (Water)
  - Unincorporated
- Board of Supervisors' Districts
- Address Points

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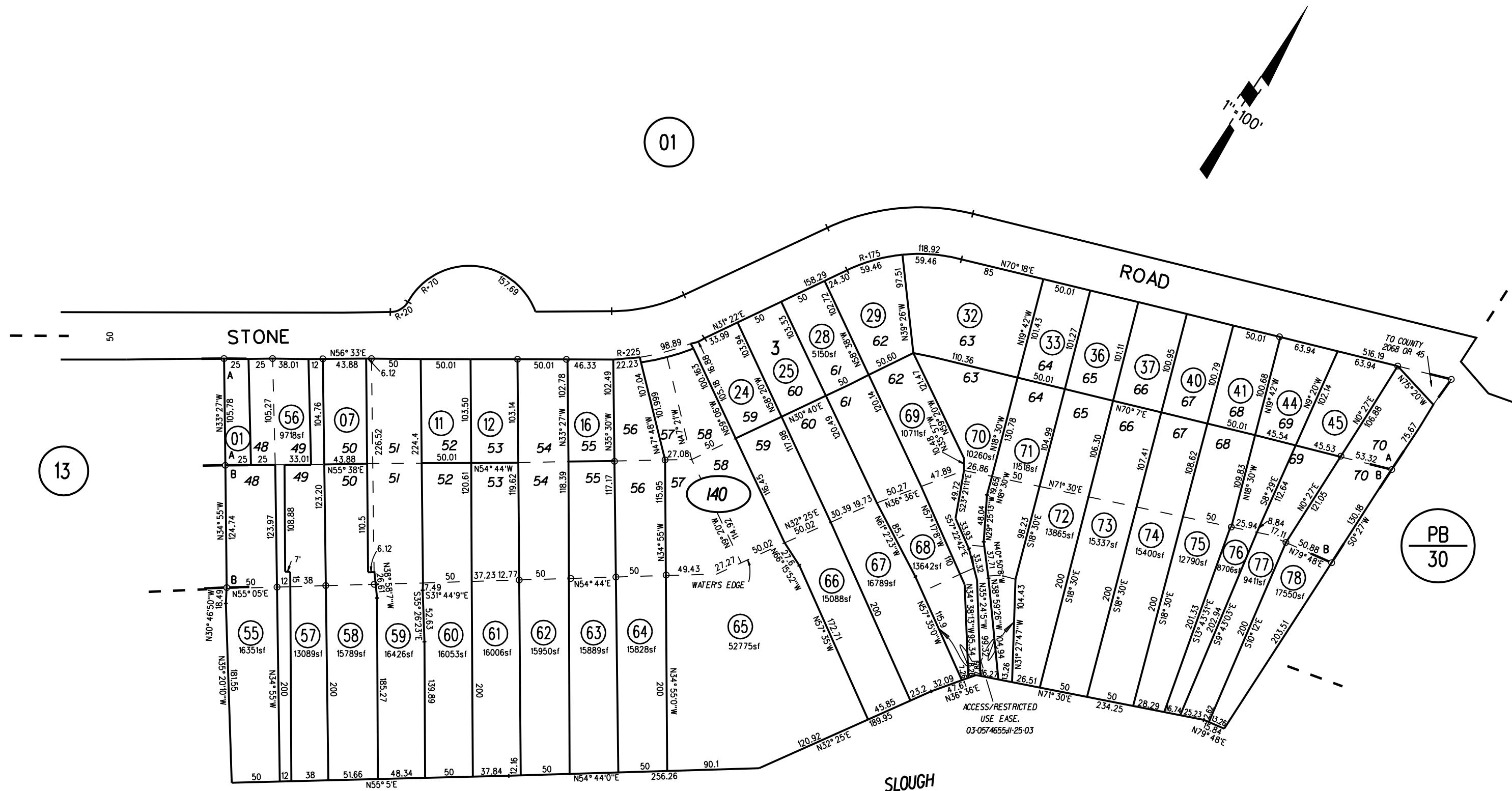
Please direct all data inquiries to the appropriate department.

1984 Web Mercator Auxiliary Sphere 85

1504 WEB Mercator Auxiliary Sphere  
GS 1984 85

A - BLK. 3, BETHEL SUB'N. M.B.27-60

B - SANDMOUND PARK M.B.27-19



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

PB

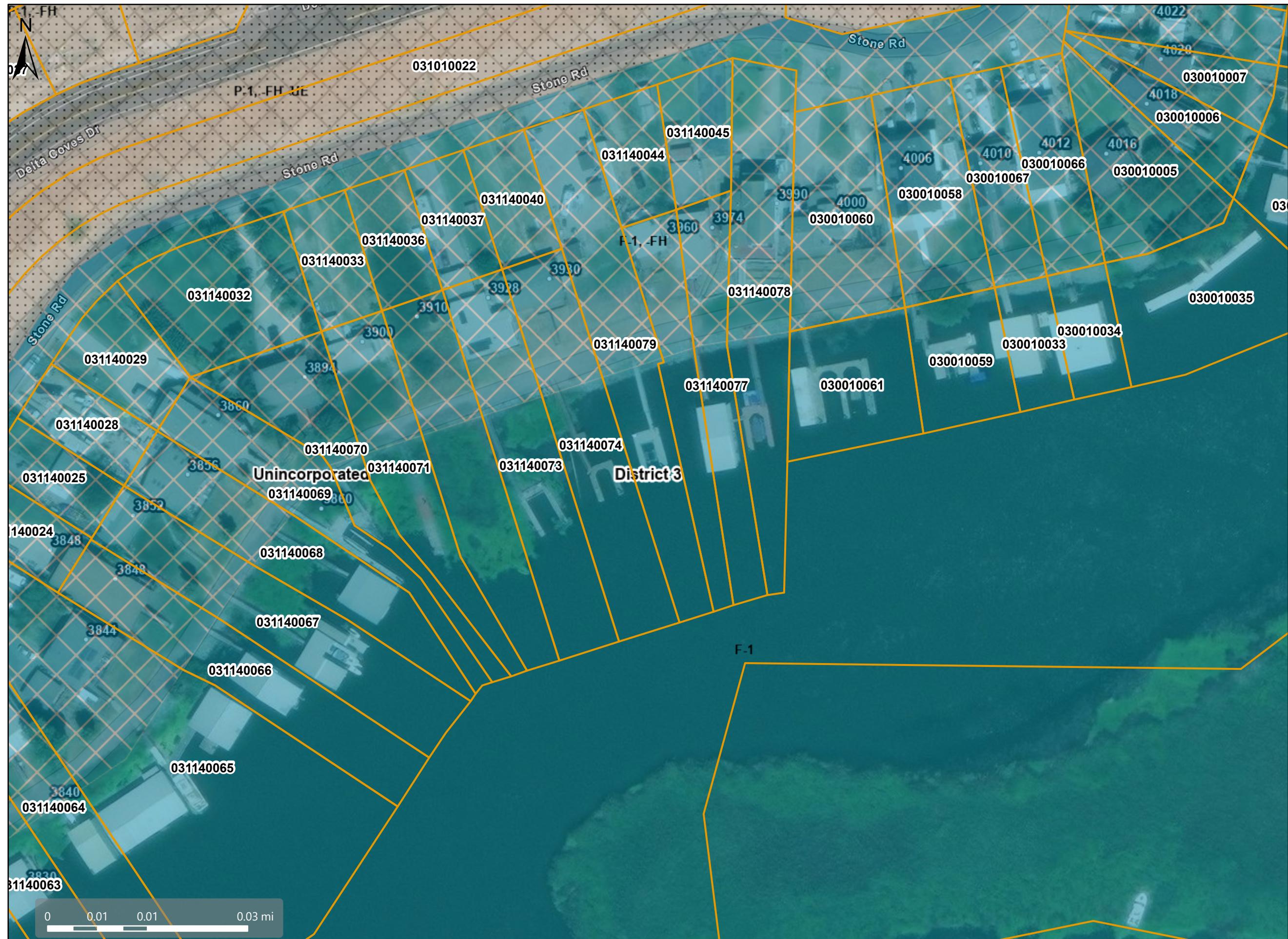
23

107-39  
ASSESSOR'S MAP

BOOK 31 PAGE 14

CONTRA COSTA COUNTY, CA 86

# Zoning - F-1, FH



Map Legend	
County Border	
Assessment	
Parcels	
Zoning	
ZONE_OVER	
F-1 (Water Recreational)	
F-1 - FH (Flood Hazard)	
Combining District	
P-1 - FH (Flood Hazard)	
Combining District	
P-1 - FH - UE (Flood Hazard and Animal Exclusion)	
Unincorporated	
Board of Supervisors' Districts	
Address Points	

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Datum: WGS 1984