



CONTRA COSTA COUNTY

AGENDA

Bethel Island Municipal Advisory Council

Tuesday, January 6, 2026

6:00 PM

3020 Ranch Lane Bethel Island, CA

- 1. Roll Call and Introductions**
 - Mark Whitlock, Chair
 - Pam Allen, Vice Chair: Honor and Recognize
 - Phil Kammerer, Member
 - Belinda Bittner, Member
 - Rob Brunham, Member
- 2. Pledge of Allegiance**
- 3. APPROVAL of this agenda.**
- 4. General Public comment on any item under the jurisdiction of the Committee and NOT on this agenda (speakers shall be limited to two minutes).**
- 5. BIMAC Council Member Reports**
 - 5a. Mark Whitlock, Chair
 - AED project status
 - Community Warning System (CWS) project update
 - Emergency Preparedness project update
 - 5b. Phil Kammerer, Member
 - Dumping Sign project update
 - 5c. Belinda Bittner, Member
 - 5d. Rob Brunham, Member
- 6. Agency Reports**
 - 6a. CCC Office of the Sheriff, Lt. White
 - 6b. CCC Fire Protection District, Michele Rinehart

- 6c. CCC Office of Supervisor Diane Burgis, Anna Cleese
- Council member 2025 Training status: Complete
- Measure X Parks & Recreation Fund Allocation Update: Bethel Island Chamber Update: MOU canceled after notification of dissolution of program, role and chamber announced and provided by Lori Castillo as the applicant, Chamber President, and MOU program and fund distribution oversight administrator.

7. Consent Items

- 7a. APPROVE Record of Action for BIMAC October 2025 meeting. [25-5425](#)
Attachments: [251216 BIMAC Oct Meeting Minutes 12-Dec-2025-04-52-13](#)
- 7b. RECEIVE flyer for Jan 8 Townhall Event [26-10](#)
Attachments: [260106 flyer oos Town Hall Flyer white](#)
- 7c. RECEIVE correspondence for October, November and December [26-11](#)
Attachments: [260106 Correspondence January 2026 - Zoning & Planning \(1\)](#)
- 7d. RECEIVE Annual 2025 BIMAC Report [25-5427](#)
Attachments: [251209 2025 Annual Report Bethel Island MAC](#)
- 7e. RECEIVE Public Works Press Release, Bethel Island Road Repair, Expect Delays [25-5428](#)
Attachments: [251212 press release Bethel Island Road Lane Closure Press Release](#)
- 7f. APPROVE reimbursement to Mark Whitlock in the amount of \$500 for expenses relating to 2025 Bethel Island Health and Safety Fair. Balance remaining: \$11.87.
- 8. Discussion Items**
- 8a. RECEIVE and CONSIDER Agency Comment Request Packet CDLP25-02028, 6201 Bethel Island Road [25-4275](#)
Attachments: [250828 packet 6201 Bethel island road restaurant bar vera cort CDLP25-02028 Agency Comment](#)
- 8b. RECEIVE and CONSIDER Agency Comment Request Packet CDMS25-00011, 0 Sandmound Blvd, Oakley [25-4276](#)
Attachments: [250828 0 sandmound CDMS25-00011 Agency Comment Packet](#)
- 8c. RECEIVE and CONSIDER Agency Comment request packet for 3910 Stone Road (no id # currently assigned) [26-09](#)
Attachments: [251211 agency comment request 3910 Stone Road CDVR25-01064 ACR](#)
- 8d. CONSIDER and APPROVE 2026 BIMAC seat appointments.
-

- 8e. CONSIDER and APPROVE adding public comment to agenda items after each agency report AND/OR each BIMAC council member report. Reminder: 2 minute public comment limits would apply.
- 8f. CONSIDER and APPROVE Future Agenda Items: REMINDER, appropriate staff subject matter experts will be contacted for material and/or presentations regarding future agenda items.
 - Stone Road work (Oct 2025 request)
 - BIMID engineer report (Oct 2025 request)
 - Canal Road repairs, and culverts (Oct 2025 request)
 - Additional?

9. Adjourn

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at 3020 Ranch Lane, Bethel Island, 24 hours/day. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

For Additional Information Contact: Anna Cleese, District Representative, 925-655-2336

The next meeting is currently scheduled for February 10, 2026 at 6:00pm.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-5425

Agenda Date: 1/6/2026

Agenda #: 7a.

Advisory Board: Bethel Island Municipal Advisory Council

Subject: APPROVE Record of Action for BIMAC October 2025 meeting

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us <<mailto:Anna.Cleese@bos.cccounty.us>>

Recommendation(s)/Next Step(s):

APPROVE Record of Action for October 2025 BIMAC meeting.

CONTRA COSTA COUNTY

*1025 ESCOBAR STREET
MARTINEZ, CA 94553*



Meeting Minutes

Tuesday, October 14, 2025

6:00 PM

3090 Ranch Lane, Bethel Island CA

Bethel Island Municipal Advisory Council

1. Roll Call and Introductions

- Mark Whitlock, Chair
- Pam Allen, Vice Chair
- Phil Kammerer, Member
- Belinda Bittner, Member
- Rob Brunham, Member

Mark Whitlock, Chair - Present

Pam Allen, Vice Chair - Absent

Phil Kammerer, Member - Present

Belinda Bittner, Member - Present

Rob Brunham, Member - Present

This was approved.

Present

Belinda Bittner, Bob Brunham, Phil Kammerer, and Mark Whitlock

Absent

Pam Allen

2. Pledge of Allegiance**3. APPROVAL of this agenda**

Motion to Approve: Belinda Bittner, Member

Second: Rob Brunham, Member

A motion was made that this was APPROVED. The motion carried by the following vote:

Motion: Bittner

Second: Brunham

Aye: Bittner, Brunham, Kammerer, and Whitlock

Aye: Bittner, Brunham, Kammerer, and Whitlock

Absent: Allen

Absent: Allen

4. General Public comment on any item under the jurisdiction of the Committee and NOT on this agenda (speakers shall be limited to two minutes).

Lori Castillo - Drainage

Bethi Carver - Drainage

Tommy Knorr via Lori Castillo - Property thefts in water

List Kirk, BIMID Drainage Committee Member - Request addition to BIMAC November agenda

5. BIMAC Council Member Reports, IF ANY

a. *Mark Whitlock, Chair*

- PG&E easement issues working on this project
- Health and Safety Fair: 30 vendors; 27 people with vision tests from Lions Club; Sydney and husband hard work, thank you; - - - Scout Hall roof coming, gutters look good
- Working on park no trespass order for parking improvement and individuals living on vacant space and trespassing
- NOAA radio update: recommendation of a good option on flyer provided at back table can contact whitlock for more information, these are CWS approved
- Flock camera fundraiser: w/Geri, Belinda, and several other groups
- Gateway Clean up: still working on it

b. *Pam Allen, Vice Chair*

c. *Phil Kammerer, Member: Dumping Signs*

d. *Belinda Bittner, Member*

- concern she did not receive the agenda prior to the meeting; D3 staff will troubleshoot

e. *Rob Brunham, Member*

6. Consent Items

1.

[25-4271](#)

Attachments: [251017 BIMAC MeetingMinutes 250812 Aug 2025](#)

Approved

A motion was made that this Consent Item was APPROVED.. The motion carried by the following vote:

Motion: Kammerer

Second: Whitlock

Aye: Bittner, Brunham, Kammerer, and Whitlock

Absent: Allen

Result: Passed

2.

[25-4272](#)

Attachments: [BIMAC AUG & SEPT corresp.](#)

Received

7. Agency Reports, IF ANY

a. Contra Costa Office of the Sheriff - Lt. White

- 171 calls for service
- 4 arrests
- 1 incident with builders at Delta Coves w/resident assistance and footage; property missing, 9 hours spent to recover

- Gateway Cleanup: ongoing progress w/code enforcement

Q Kammerer: Officer at clean up?

A Lt White: Yes

Q Brunham: Red car on taylor at 5am, wreckless driving, strategy?

A Lt. White: Will notify deputies, Plate information is helpful

Q Carver: Stop sign placement

A Cleese: D3 staff can connect, not relevant to SO

C Castillo: Video on facebook about red car might be helpful

b. Contra Costa County Fire Protection District 2025 Q3 Quarterly Update - Bethel Island

- Chief Xon Burris presenting
- Contact info provided with business cards
- FYI CERT: regional program as opposed to city programs (previous community comment item)
- Presentation (see agenda)

Q Kammerer: Narcan access?

A Burris: email and ask and we can figure it out

Q Whitlock: Helicopter co-funded by PG&E?

A Burris: not sure

Q Kirk: Evacuation plan walk off island? Fire boat locations

A Burris: Yes, Stations 95, 81, 85

C Cleese: Not on agenda, can be requested on a future item (evacuation plan)

Q Carver: 4th of July data exterior definition?

A Burris: typically outside, not multiple acres, small scale, not vegetation, this is 4th of july only data as related to fireworks

1. [25-4273](#)

Attachments: [251014 cccfpd Q3 Bethel Island](#)

Received

c. Contra Costa County Supervisor Diane Burgis - Anna Cleese, District Representative

2. [25-4274](#)

Attachments: [DISTRICT 3 NEWSLETTER SUBSCRIPTION QR CODE PDF instructions](#)

Received and discussed: Members and community requested additional sign up information for D3 newsletters and other county meeting sign-up information; will be presented at a future meeting by District 3 staff.

3.

[25-4262](#)

Attachments: [250807 flyer Bethel Island Cleanup 2025](#)

Received

Public Works - Willow Road "sinking"

- multiple comments about multiple locations with issues

A Cleese: Public Works has it on the list and will update when they have repaired

8. Discussion Items

1.

[25-4275](#)

Attachments: [250828 packet 6201 Bethel island road resturaunt bar vera cort](#)
[CDLP25-02028 Agency Comment](#)

Unanimous decision to move to the next meeting; more information needed; members were directed to contact staff.

2.

[25-4276](#)

Attachments: [250828 0 sandmound CDMS25-00011 Agency Comment Packet](#)

CONSIDER and APPROVE request to combine November 2025 and December 2025 meetings to be combined to a single meeting held on November 11, 2025. This will be the final meeting for 2025.

Approved

Motion: Whitlock

Second: Kammerer

Aye: Bittner, Brunham, Kammerer, and Whitlock

Absent: Allen

Result: Passed

9. Committee Reports

None

10. Adjourn

Also discussed Future Agenda Items prior to Adjournment:

- seats 2026

- BIMID engineer report

- Safety Fair receipt reimbursements

- Bethel Island Road repairs, Stone Road repairs, Canal Road repairs, and culverts

The Committee will provide reasonable accommodations for persons with disabilities planning to attend the Committee meetings. Contact the staff person listed below at least 72 hours before the meeting. Any disclosable public records related to an open session item on a regular meeting agenda and distributed by the County to a majority of members of the Committee less than 96 hours prior to that meeting are available for public inspection at _____, during normal business hours. Staff reports related to items on the agenda are also accessible online at www.contracosta.ca.gov. If the Zoom connection malfunctions for any reason, the meeting may be paused while a fix is attempted. If the connection is not reestablished, the committee will continue the meeting in person without remote access. Public comment may be submitted via electronic mail on agenda items at least one full work day prior to the published meeting time.

The next meeting is currently scheduled for November 11, 2025 at 6:00pm.

For Additional Information Contact:



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-10

Agenda Date: 1/6/2026

Agenda #: 7b.

COMMUNITY TOWN HALL

**MEET YOUR LOCAL
SHERIFF'S DEPUTIES AND
MARINE PATROL!**

**Q & A AND CRIME
PREVENTION TIPS**

DETAILS:

WHEN: January 8th, 2026

TIME: 7:00pm

LOCATION: Scout Hall

3090 Ranch Ln, Bethel Island



**Come prepared with any questions
or concerns that you would like to
address with the Sheriff's Office**



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-11

Agenda Date: 1/6/2026

Agenda #: 7c.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Planning Commission

Wednesday, November 12, 2025

6:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us, or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

- 2a. RYAN BYRKIT (Appellant) – RYAN BYRKIT (Applicant and Owner), County File CDVR23-01032: This is an appeal of the Zoning Administrator’s decision to deny a Variance Permit to allow a 585-square-foot metal carport (where 500 square feet is the maximum size allowed for an accessory building) that is 18-feet 2-inches in total height (where 15 feet is the maximum height allowed). The project site is located at 4486 Sandmound Boulevard in the Oakley area of unincorporated Contra Costa County. (Zoning: F-1 Water Recreation District) (Assessor’s Parcel Number: 032-240-045) GF [25-4532](#)

Attachments: [Attachment A CDVR23-01032 Findings CPC](#)
[Attachment B Letter of Appeal](#)
[Attachment C Maps](#)
[Attachment D Photos](#)
[Attachment E Project Plans](#)
[Attachment F CDVR23-01032 Staff Report and Findings ZA 04.07.2025](#)
[Attachment G CDVR23-01032 Staff Report ZA continued 04.21.2025](#)
[Attachment H Agency Comments](#)
[Attachment I PowerPoint Presentation CDVR23-01032 CPC Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON DECEMBER 10, 2025.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Planning Commission

Wednesday, October 22, 2025

6:30 PM

30 Muir Road, Martinez, California

Zoom: <https://cccouny-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us, or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

- 2a MICHAEL MILANI (Appellant) – CHERYL RAYMA GREEN (Applicant and Owner), County File CDVR25-01012: This is an appeal of the Zoning Administrator's decision to deny a Variance and Small Lot Design Review to allow a 6-foot front yard setback (where 25 feet is the minimum required) for two, 8-foot tall columns to support an entry gate. The project site is located at 10000 Morgan Territory Road in the Livermore area of unincorporated Contra Costa County. (Zoning: A-40 Exclusive Agricultural District) (Assessor's Parcel Number: 006-110-016) (Continued from 09.10.2025) AS [25-4306](#)

Attachments: [Attachment A Findings and Conditions of Approval](#)

- 2b SMOKE DEPOT (Business) & MATTHEW POURABEDIN & ROYA IRANPOUR (Owner), AHMED DUBAI (Business Owner), County File #CDSE22-00009: A hearing for an appeal of the Zoning Administrator's decision to revoke the legal non-conforming status of a tobacco retailing business, currently operating under the business name Smoke Depot, located at 3770 San Pablo Dam Road, in the El Sobrante area of Contra Costa County. (Zoning: P-1) (Assessor's Parcel number: 420-140-035). EL [25-4307](#)

Attachments: [Attachment A - Revocation Findings CDSE22-00009](#)
[Attachment B - CDSE22-00009 Determination Letter-signed](#)
[Attachment C - Zoning Administrator Statement of Decision](#)
[Attachment D - Contra Costa Health Notice of Suspension Hearing](#)
[Attachment E - Contra Costa Health Notice of Decision](#)
[Attachment F - Sheriff's Inspection Report](#)
[Attachment G - Administrative Notice Of Fine](#)
[Attachment H - County Health Department Timeline](#)
[Attachment I- Zoning Administrator Staff Report and attachments](#)
[Attachment J- CDSE22-00009 Appeal Letter](#)
[Attachment K - CPC Staff Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON WEDNESDAY, NOVEMBER 12, 2025.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, November 17, 2025

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccouny-us.zoom.us/j/83831039285>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. DEVELOPMENT PLAN: CONTINUED PUBLIC HEARING

- 2a.** CHRISTOPHER MILLS (Applicant & Owner), County File CDDP25-03019: The applicant requests approval of a Development Plan for a Small Lot Design Review to allow for an as-built 370-square-foot pergola on a substandard lot. The subject property is located at 4010 Wellington Place in the unincorporated area of Lafayette in Contra Costa County. (APN: 169-040-036, Zoning: R-20 Single-Family Residential District) CONTINUED FROM NOVEMBER 3, 2025 CP [25-4738](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, DECEMBER 1, 2025.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, November 3, 2025

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccouny-us.zoom.us/j/83831039285>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. MINOR SUBDIVISION: PUBLIC HEARING

- 2a. ZAKARIA ISMAIL (Applicant and Owner), County File CDMS23-00009: The applicant requests approval of a Vesting Tentative Parcel Map for a three-lot Minor Subdivision application to subdivide a 0.37-acre residential lot with three existing single-family residences into three parcels, including a 5,207 square-foot Parcel A, a 4,815 square-foot Parcel B, and a 6,282 square-foot Parcel C. Each parcel includes an existing residence and Parcels B and C also include existing detached garages. No new development is proposed with this application. As part of the application, deviations from the required 10-foot minimum front yard, 5-foot minimum side yard and 20-foot minimum rear yard setbacks of the Bay Point P-1 Planned Unit District are requested for Parcel C to allow the existing buildings to remain in their current locations. The applicant also requests authorization of Exceptions to the requirements and regulations of County Code Section 914-2.004 (Offsite Collect and Convey) to retain the current drainage flows, and of County Code Chapter 96-10 (Underground Utilities) to allow the existing utilities to remain. The subject property is located at 10-30 Roberts Street in the Bay Point area of unincorporated Contra Costa County. (Zoning: P-1 Planned Unit District) (Assessor's Parcel Number: 095-075-023) (Continued from 10.20.2025 and re-noticed) JL [25-4525](#)

Attachments: [Attachment A Findings and COAs final](#)
[Attachment B Maps](#)
[Attachment C Plans](#)
[Attachment D Agency Comments](#)

3. DEVELOPMENT PLAN: PUBLIC HEARING

- 3a. CHRISTOPHER MILLS (Applicant & Owner), County File CDDP25-03019: The applicant requests approval of a Development Plan for a Small Lot Design Review to allow for an as-built 370-square-foot pergola on a substandard lot. The subject property is located at 4010 Wellington Place in the unincorporated area of Lafayette in Contra Costa County. (APN: 169-040-036, Zoning: R-20 Single-Family Residential District) CP [25-4526](#)

Attachments: [1 CDDP25-03019 Findings and COAs](#)
[2 CDDP25-03019 Public Comments](#)
[3 CDDP25-03019 Maps](#)
[4 CDDP25-03019 Agency Comments](#)
[5 CDDP25-03019 Project Plans](#)
[6 CDDP25-03019 Site Visit Photographs](#)

4. VARIANCE: PUBLIC HEARING

- 4a. KIMBERLY SOWERS (Applicant and Owner), County File CDVR25-01004: [25-4527](#)
The applicant requests approval of a Variance to allow an approximately seven-foot three-inch secondary front yard setback (where 20 feet is the minimum required) for an existing unpermitted 300 square-foot accessory structure. The project site is located at 100 Valley Oaks Drive in the Alamo area of unincorporated Contra Costa County. (Zoning: R-20 Single-Family Residential District) (Assessor's Parcel Number: 197-301-002) WITHDRAWN MLL

Attachments: [Attachment A Findings](#)
[Attachment B Maps](#)
[Attachment C Photos](#)
[Attachment D Plans](#)
[Attachment E Agency Comments](#)
[Attachment F Public Comments](#)
[Attachment G Public Hearing Request](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, NOVEMBER 17, 2025.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, January 5, 2026

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/85491390617>

Webinar ID: 854 9139 0617 Call in: (855) 758-1310 or (408) 961-3928

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (855)758-1310 US Toll Free or (408) 961-3928. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccouny-us.zoom.us/j/85491390617> Webinar ID: 854 9139 0617.

Those participating via Zoom should indicate they wish to speak on an agenda item by using the “raise your hand” feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. VARIANCE: CONTINUED PUBLIC HEARING

- 2a. DARRIN DERITA (Applicant) - DARRIN DERITA & TINA M. STRAUB DERITA (Owners), County File #CDVR25-01036. The applicant requests approval of a Variance Permit to allow a 19-foot front setback (where 25 feet is required) and small lot design review for the construction of an approximately 106-square-foot addition to an existing garage and improvements to an approximately 200-square-foot living space addition constructed within the garage without permits. The applicant also requests approval of small lot design review for the construction of an approximately 1,255 square-foot living space addition on the eastern side of the home located on a substandard lot. The subject property is located at 236 Angela Avenue in the Alamo area of Contra Costa County. (Zoning: R-20, Single-Family Residential); (Assessor's Parcel Number: 192-090-007) (Continued from 12.15.2025 WRN) SS [25-5452](#)

Attachments: [Findings_COA VR25-1036](#)

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. ISABEL CHAVEZ FOR T MOBILE (Applicant) - TINA THOMAS TRUST (Property Owner); County File #CDLP25-02008: A request for approval of a Land Use Permit to allow the continued operation of an existing T Mobile wireless telecommunications facility that is located on a PG&E tower. The subject property is located at 4723 Suzanne Drive in the unincorporated Pittsburg area of Contra Costa County. Zoning: Agricultural Preserve (A-4) District; APN: 089-050-056 DV [25-5453](#)

Attachments: [Attachment 1 Findings and Conditions of Approval](#)
[Attachment 2 Maps](#)
[Attachment 3 Project Plans](#)

- 3b. JACLYN BELLICITTI, CENTERLINE COMMUNICATIONS (Applicant) - TINA M. THOMAS TRUST (Owner), County File # CDLP23-02030. The applicant requests approval of a Land Use Permit modification of file #CDLP25-02008 to allow an expansion of the lease area and a Variance to allow an approximately 10-foot side yard (where 50 feet is the minimum) for the installation of ground-level electrical equipment for an existing T-Mobile telecommunications facility. The project is located 4723 Suzanne Drive in the unincorporated Pittsburg area of the Contra Costa County. (Zoning: Agricultural Preserve, A-4); (Assessor's Parcel Number: 089-050-056) SS [25-5454](#)

Attachments: [Attachment 1 - Findings and COA CDLP23-02030](#)
[Attachment 2 - Maps CDLP23-02030](#)
[Attachment 3 - Agency Comments CDLP23-02030](#)
[Attachment 4 - Project Plans CDLP23-02030](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON WEDNESDAY, JANUARY 21, 2026.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, December 15, 2025

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/83831039285> Webinar ID: 838 3103 9285 Call in: (855) 758-1310 or (408)961-3928

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (855) 758-1310 US Toll Free or (408)961-3928 US. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccouny-us.zoom.us/j/83831039285> Webinar ID: 838 3103 9285. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. MINOR SUBDIVISION: PUBLIC HEARING

- 2a. SONJA BACHUS ON BEHALF OF INMAN LAW GROUP, LLP AND ERIC GIROD (Applicant) - RON ELVIDGE (Owner), County File #CDMS21-00012: [25-5237](#)
The applicant requests approval of a tentative parcel map for a one lot subdivision for condominium conversion to allow for the creation of two commercial condominium units and the remainder for parking and common area (Parcel A). Condominium Unit 1 will be approximately 14,903 square feet and Condominium Unit 2 will be approximately 4,728 square feet. Parcel A will be approximately 37,870 square feet. There is an existing commercial building on the property and there are no proposed improvements or modifications to the site. There are no changes to the two businesses currently occupying the commercial building. The project site is addressed as 100 1st Ave North, in the Pacheco area of the County. (Zoning: R-B, Retail Business District) (APN: 125-032-031) EL

Attachments: [Attachment A CDMS21-00012 Findings and COA](#)
[Attachment B CDMS21-00012 Condominium Documents](#)
[Attachment C CDMS21-00012 Building Inspection Report](#)
[Attachment D CDMS21-00012 Maps](#)
[Attachment E CDMS21-00012 Agency Comments](#)
[Attachment F CDMS21-00012 Plans final](#)

3. LAND USE PERMIT: PUBLIC HEARING

- 3a. SGI PACHECO LLC – DBA STIIZY (Applicant) - RON ELVIDGE (Owner), County File #CDLP25-02034: The applicant requests approval of a Land Use Permit to allow for a five-year renewal of a licensed cannabis retail and delivery operations “STIIZY” within an existing building that was previously approved under CDLP20-02003. There are no modifications or changes to the existing business proposed at this time. The project site is addressed as 5753 Pacheco Blvd in the Pacheco area of the County. (Zoning: R-B, Retail Business District) (APN: 125-032-031) EL [25-5238](#)

Attachments: [Attachment A CDLP25-02034 Findings and COA](#)
[Attachment B CDLP25-02034 maps](#)
[Attachment C CDLP25-02034 Current License](#)
[Attachment D CDLP25-02034 Agency Comments](#)

4. DEVELOPMENT PLAN: PUBLIC HEARING

- 4a. NUMAIR ALI (Applicant) - ALI SHAKIL AND ANITA A TRUST (Owner), County File #CDDP22-03021: The applicant requests approval of a Development Plan to construct eight townhome units within two separate three-story buildings and to install associated improvements (e.g. pavement, utilities, stormwater conveyance). Building 1 will be approximately 10,995 square feet and building 2 will be approximately 6,615 square feet. The project includes a Tree permit for the removal of five code-protected Trees, ranging in size from 7" to 30" DBH and consisting of a Deodar Cedar, a Douglas Fir, a Pear and two Olive Trees. The project includes grading approximately 200 cubic yards of cut and 750 cubic yards of fill. The project includes a request for a deviation to the El Sobrante P-1 development standards to allow for a 33'-6 1/2" height (where 27' is the maximum height allowed). The project also includes a request for an exception to Division 914, Collect and Convey requirements. The project site is addressed as 4301 Appian Way, in the El Sobrante area of the County. (Zoning: P-1, Planned Unit Development) (APN: 425-142-030) EL [25-5239](#)

Attachments: [Attachment A CDDP22-03031 Findings & Conditions](#)
[Attachment B CEQA Public Comments](#)
[Attachment C Initial Study,MND,MMRP](#)
[Attachment D Maps](#)
[Attachment E Agency Comment Packet](#)
[Attachment F Special Reports](#)
[Attachment G 4.22.2025 plans](#)

5. VARIANCE: PUBLIC HEARING

- 5a. DARRIN DERITA (Applicant) - DARRIN DERITA & TINA M. STRAUB DERITA (Owners), County File #CDVR25-01036. The applicant requests approval of a Variance Permit to allow a 19-foot front setback (where 25 feet is required) and small lot design review for the construction of an approximately 106-square-foot addition to an existing garage and improvements to an approximately 200-square-foot living space addition constructed within the garage without permits. The applicant also requests approval of small lot design review for the construction of an approximately 1,255 square-foot living space addition on the eastern side of the home located on a substandard lot. The subject property is located at 236 Angela Avenue in the Alamo area of Contra Costa County. (Zoning: R-20, Single-Family Residential); (Assessor's Parcel Number: 192-090-007) SS [25-5240](#)

Attachments: [Attachment 1 - Findings and COA CDVR25-01036](#)
[Attachment 2 - Maps CDVR25-01036](#)
[Attachment 3 - Agency Comments CDVR25-01036](#)
[Attachment 4 - Applicant Written Statement CDVR25-01036](#)
[Attachment 5 - Project Plans CDVR25-01036](#)

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, JANUARY 5, 2026.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Planning Commission

Wednesday, December 10, 2025

6:30 PM

30 Muir Road, Martinez, CA

Zoom: <https://cccouny-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us, or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860.

1. PLEDGE OF ALLEGIANCE

2. SUBDIVISION MAP EXTENSIONS

- 2a. PACIFIC WEST COMMUNITIES (Applicant) – CONTRA COSTA COUNTY (Owner), County Files CDMS21-00005 and CDLP21-02015. The applicant requests a three (3) year extension of the period of time for filing a parcel map, to December 14, 2028, for the Orbisonia Village Project, consisting of four new parcels, and a Land Use Permit – Development Plan Combination Permit for the development of a three-phase mixed-use project including up to 384 units, not to exceed 165 units in phase one, a 20,900 sq. ft. public library, and 10,900 sq. ft. of commercial space, that was approved under Minor Subdivision CDMS21-00005 and Land Use – Development Plan Combination Permit CDLP21-02015. The project site is bound by Bailey Road to the west, State Route 4 to the north, Ambrose Park to the east, and West Leland Road to the south in the Bay Point area of unincorporated Contra Costa County. (Zoning: Bay Point P-1 Planned Unit District) (Assessor's Parcel Number: 094-026-007 (Primary)) JL [25-5014](#)

Attachments: [Attachment A MS21-00005 CDLP21-02015 Plans 08.17.2022](#)
[Attachment B CDMS21-00005 CDLP21-02015 APPROVED PERMIT](#)

3. PUBLIC HEARINGS

- 3a.** BENOIT MCVEIGH, DK ENGINEERING (Applicant) - GEORGE M. MOORE (Owner), County File CDRZ23-03271, CDMS23-00005. The applicant requests approval of a rezone from an A-2, General Agricultural (A-2) District to R-40 Single-Family Residential (R-40) District, and a vesting tentative map to subdivide the subject 2-acre property into two lots, an approximately 0.95-acre Parcel A and an approximately 1.05-acre Parcel B. The applicant has requested variances to the requirements of the R-40 zoning district standards to allow a 0-foot front setback and an 8-foot side yard for the construction of retaining Wall #1 and to allow a 5-foot front setback for the construction of retaining Wall #3. The applicant also requests an exception to County Title 9 standards requiring the undergrounding of existing utilities along the Green Valley Road frontage. Site improvements include expanding the existing driveway where it connects to Green Valley Road, installing new utilities and infrastructure, and constructing stormwater and drainage infrastructure. The applicant also requests approval of a tree permit for the removal of eight code-protected trees and to allow work within the driplines of four code-protected trees for the demolition of an existing barn, grading including ±330 cubic yards (CYS) of cut and ±540 CYS of fill for a net 210 CYS, construction of retaining walls and site improvements, and construction of a new two-story residence on proposed Parcel B. An existing residence on proposed Parcel A would remain unchanged. The project is located at 1921 Green Valley Road in the Alamo area of Contra Costa County. (Zoning: A-2 General Agricultural District); (Assessor's Parcel Numbers: 194-070-015, 194-070-018) SS [25-5013](#)

Attachments: [Attachment 1 - Findings and COA CDRZ23-03271_CDMS23-00005](#)
[Attachment 2 - Proposed Zoning Map_PreOrdinance RZ233271](#)
[Attachment 3 - Maps CDRZ23-03271_CDMS23-00005](#)
[Attachment 4 - Agency Comments CDRZ23-03271_CDMS23-00005](#)
[Attachment 5 - CEQA Public Comments](#)
[CDRZ23-03271_CDMS23-00005](#)
[Attachment 6 - Initial Study-MND 11-17-25](#)
[CDRZ23-03271_CDMS23-00005](#)
[Attachment 7 - Applicant Acceptance of Mitigations](#)
[CDRZ23-03271_CDMS23-00005](#)
[Attachment 8 - MMRP 11-17-2025 CDRZ23-03271_CDMS23-00005](#)
[Attachment 9 - Project Plans CDRZ23-03271_CDMS23-00005](#)
[Attachment 10 - Presentation Slides CDRZ23-03271_CDMS23-00005](#)

- 3b.** ELLEN BULLA, SYCAMORE COURT HOME ASSOCIATION (Appellant), ROD SCHLENKER, INSURANCE AUTO AUCTIONS, INC. (Applicant), NGL SF BAY STORAGE & TRANSFER, LLC (Owner), County File CDDP18-03005. [25-5015](#)
- This is an appeal of the Zoning Administrator's decision to approve a development plan for the expansion of an existing Insurance Auto Auctions storage facility onto an adjacent vacant 10.35-acre property. The proposed expansion would allow the storage of an additional 1,136 vehicles bringing the total number of vehicles permitted to be stored at the facility to approximately 4,436 vehicles. The development plan approval includes approval of a deviation to the Bay Point P-1 Development Standards for 7.5% of the subject lot to be landscaped (where 10% of the site is required to be landscaped), approval of a tree permit for the removal of 41 code-protected trees ranging in size from 7" to 60" in diameter, and the granting of an exception to the collect and convey requirements of Division 914 of the County Code. The Commission will also consider a mitigated negative declaration prepared for the project under the California Environmental Quality Act. The project site is located at 2770 Willow Pass Road in the Bay Point area of unincorporated Contra Costa County. (Zoning: Bay Point P-1 Planned Unit District) (Assessor's Parcel Number: 098-240-031) (CONTINUED TO JANUARY 14, 2026) GF

Attachments: [Attachment A Findings and COAs](#)
[Attachment B Letter of Appeal](#)
[Attachment C Maps](#)
[Attachment D Project Plans](#)
[Attachment E Updated Landscaping Plan](#)
[Attachment F CDDP18-03005 Staff Report ZA 7 6 22](#)
[Attachment G CDDP18-03005 Staff Report ZA Continuation 11 17 22](#)
[Attachment H Agency Comments](#)
[Attachment I CDDP18-03005 MND](#)
[Attachment J CDDP18-03005 MMRP](#)
[Attachment K CDDP18-03005 CEQA Comments](#)

4. PUBLIC COMMENTS
5. STAFF REPORT
6. COMMISSIONERS' COMMENTS
7. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON WEDNESDAY, JANUARY 14, 2026.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Zoning Administrator

Monday, December 1, 2025

1:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/83831039285> Call in: (888) 278-0254 Access Code 198675

The Zoning Administrator meeting will be accessible in-person, via telephone, and via live-streaming to all members of the public. Zoning Administrator meetings can be viewed live online at: http://contra-costa.granicus.com/ViewPublisher.php?view_id=13.

Persons who wish to address the Zoning Administrator during public comment or with respect to an item on the agenda may comment in person or may call in during the meeting by dialing (888) 278-0254, followed by the access code 198675##. A caller should indicate they wish to speak on an agenda item, by pushing "#2" on their phone. Access via Zoom is also available using the following link <https://cccouny-us.zoom.us/j/83831039285>. Those participating via Zoom should indicate they wish to speak on an agenda item by using the "raise your hand" feature in the Zoom app. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us or by voicemail at (925) 655-2860.

Commenters will generally be limited to three (3) minutes each. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting. The Zoning Administrator may reduce the amount of time allotted per commenter at the beginning of each item or public comment period depending on the number of commenters and the business of the day. The Zoning Administrator may alter the order of agenda items at the meeting. Your patience is appreciated.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in Zoning Administrator meetings. Please contact Hiliana Li at least 48 hours before the meeting at (925) 655-2860.

1. PUBLIC COMMENTS
2. LAND USE PERMIT: PUBLIC HEARING

- 2a.** TOM LINN (Applicant) - VARMA, LLC (Owner), County File #CDLP25-02006: [25-4955](#)
The applicant is requesting a Land Use Permit modification amending Land Use Permit #CDLP94-02009 for the purpose of adding a 960-square-foot modular building to an existing childcare facility on the subject property. The existing facility provides care for children aged 2-6 years old within two existing buildings totaling 4,060 square feet in area. The proposed 960-square-foot modular building would be utilized to provide care for up to 12 additional infant-aged children. The project also includes a request for tree permit approval authorizing dripline encroachment for one (1) eucalyptus tree for the construction of retaining wall and stairway improvements shown on the site plan. Lastly, the project includes a request to legalize an existing 1,080-square-foot shade structure located adjacent to the existing childcare facility, as well as landscaping improvements along the property's Appian Way frontage. The subject property is located at 716 Appian Way in the El Sobrante Area of Unincorporated Contra Costa County. (Zoning: R-7 Single-Family Residential District) (APN: 430-181-006) AV
Attachments: [01 CDLP25-02006 Findings and COAs](#)
[02 Maps Plans](#)
[03 Agency Comments](#)
- 2b.** T-MOBILE (Applicant) - US Sprint (Property Owner), County File CDLP25-02026: [25-4956](#)
The applicant requests approval of a Land Use Permit application for the continued operation of an existing T-Mobile wireless telecommunications facility that was established under Land Use Permit CDLP83-02003. No modifications of the wireless facility are proposed. The project site is located at 8851 Manning Road in the Livermore area of unincorporated Contra Costa County. (Zoning: A-80 Exclusive Agricultural District) (Assessor's Parcel Number: 006-200-004) AS
Attachments: [Attachment A Findings and COAs](#)
[Attachment B Maps](#)
[Attachment C Project Plans](#)
[Attachment D Photos](#)
[Attachment E RF-EME Report](#)
[Attachment F Agency Comments](#)
- 2c.** U-HAUL (Applicant and Owner), County File #CDLP24-02007. [25-4957](#)
The applicant requests approval of a Land Use Permit to establish a new, 5,709-square-foot U-Haul retail business within an existing U-Haul warehouse and six exterior wall signs totaling 416 square feet to be installed on the front of the warehouse located in the unincorporated Bay Point area of Contra Costa County. (Zoning: L-I) (Assessor's Parcel Numbers: 099-160-026 and 099-160-027) (CANCELLED) NS

PLEASE NOTE: THE NEXT MEETING OF THE CONTRA COSTA COUNTY ZONING ADMINISTRATOR WILL BE HELD ON MONDAY, DECEMBER 15, 2025.



CONTRA COSTA COUNTY

AGENDA

Contra Costa County Planning Commission

Wednesday, November 12, 2025

6:30 PM

30 Muir Road, Martinez

Zoom: <https://cccouny-us.zoom.us/j/84769800896> | Call in: (888)278-0254 Access code: 198675

CHAIR: Kevin Van Buskirk

VICE-CHAIR: Bhupen Amin

COMMISSIONERS: Jeffrey Wright, Donna Allen, Bob Mankin, Ross Hillesheim, Sanjiv Bhandari

The public may attend this meeting in person at the above location. The public may also attend this meeting remotely via Zoom or call-in. Login information and call-in information is provided below. Persons wishing to view the meeting but not participate may view the meeting live online at: <https://www.contracosta.ca.gov/4314/County-Planning-Commission>.

Persons who wish to address the Commission during public comment on matters within the Commission's jurisdiction that are not on the agenda, or who wish to comment with respect to an item on the agenda, may comment in person, via Zoom, or via call-in. Those participating in person should come to the podium when called upon. Those participating via Zoom should indicate they wish to speak by using the "raise your hand" feature in the Zoom app. Those calling in should indicate they wish to speak by pushing "#2" on their phone.

All public comments will be limited to 3 minutes per speaker. Public comments may also be submitted before the meeting by email at planninghearing@dcd.cccounty.us, or by voicemail at (925) 655-2860. Comments submitted by email or voicemail will be included in the record of the meeting but will not be read or played aloud during the meeting.

For assistance with remote access, please contact County staff at (925) 494-4516

Any disclosable public records related to an item on a regular meeting agenda and distributed by County staff to a majority of the Planning Commissioners less than 96 hours prior to the meeting are available for inspection at 30 Muir Road, Martinez, CA 94553, during normal business hours.

The Community Development Division of the Department of Conservation and Development will provide reasonable accommodations to those persons needing translation services and for persons with disabilities who wish to participate in County Planning Commission meetings. Please contact County staff at least 48 hours before the meeting at (925) 655-2860

1. PLEDGE OF ALLEGIANCE

2. PUBLIC HEARINGS

- 2a. RYAN BYRKIT (Appellant) – RYAN BYRKIT (Applicant and Owner), County File CDVR23-01032: This is an appeal of the Zoning Administrator’s decision to deny a Variance Permit to allow a 585-square-foot metal carport (where 500 square feet is the maximum size allowed for an accessory building) that is 18-feet 2-inches in total height (where 15 feet is the maximum height allowed). The project site is located at 4486 Sandmound Boulevard in the Oakley area of unincorporated Contra Costa County. (Zoning: F-1 Water Recreation District) (Assessor’s Parcel Number: 032-240-045) GF [25-4532](#)

Attachments: [Attachment A CDVR23-01032 Findings CPC](#)
[Attachment B Letter of Appeal](#)
[Attachment C Maps](#)
[Attachment D Photos](#)
[Attachment E Project Plans](#)
[Attachment F CDVR23-01032 Staff Report and Findings ZA 04.07.2025](#)
[Attachment G CDVR23-01032 Staff Report ZA continued 04.21.2025](#)
[Attachment H Agency Comments](#)
[Attachment I PowerPoint Presentation CDVR23-01032 CPC Presentation](#)

3. PUBLIC COMMENTS

4. STAFF REPORT

5. COMMISSIONERS' COMMENTS

6. COMMUNICATIONS

THE NEXT MEETING OF THE CONTRA COSTA COUNTY PLANNING COMMISSION WILL BE HELD ON DECEMBER 10, 2025.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-5427

Agenda Date: 1/6/2026

Agenda #: 7d.

Advisory Board: Bethel Island Municipal Advisory Council

Subject: RECEIVE BIMAC Annual 2025 Report

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us <<mailto:Anna.Cleese@bos.cccounty.us>>

Recommendation(s)/Next Step(s):

RECEIVE BIMAC Annual 2025 Report



ADVISORY BODY ANNUAL REPORT

Advisory Body Name: _____
Advisory Body Meeting Time/Location: _____
Chair (during the reporting period): _____
Staff Person (during the reporting period): _____
Reporting Period: _____

I. Activities

(estimated response length: 1/2 page)

Describe the activities for the past year including areas of study, work, special events, collaborations, etc.

II. Accomplishments

(estimated response length: 1/2 page)

Describe the accomplishments for the past year, particularly in reference to your work plan and objectives.

III. Attendance/Representation

(estimated response length: 1/4 page)

Describe your membership in terms of seat vacancies, diversity, level of participation, and frequency of achieving a quorum at meetings.

IV. Training/Certification

(estimated response length: 1/4 page)

Describe any training that was provided or conducted, and any certifications received, either as a requirement or done on an elective basis by members. NOTE: Please forward copies of any training certifications to the Clerk of the Board.

V. Proposed Work Plan/Objectives for Next Year

(estimated response length: 1/2 page)

Describe the advisory body's workplan, including specific objectives to be achieved in the upcoming year.



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-5428

Agenda Date: 1/6/2026

Agenda #: 7e.

Advisory Board: Bethel Island Municipal Advisory Council

Subject: RECEIVE and DISCUSS Public Works Bethel Island Road Repair Memo

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us <<mailto:Anna.Cleese@bos.cccounty.us>>

Recommendation(s)/Next Step(s):

RECEIVE and DISCUSS Public Works Bethel Island Road Repair Memo



FOR IMMEDIATE RELEASE

Contra Costa County Public Works to Close One Lane of Bethel Island Road

October 27, 2025, Bethel Island, CA- The Contra Costa County Public Works Department is closing one lane of Bethel Island Road approximately 3,000 feet north of Gateway Road due to a failing pipe under the roadway. The section of road that is closed to one lane will be controlled with stop signs on both sides of the lane closure.

The Public Works Department is currently in the design phase of a project to replace the pipe. For more information visit: <https://www.contracosta.ca.gov/9933/Bethel-Island-Road-Sinkhole-and-Culvert->

Lane Closure Map





Contra Costa County Public Works Department

Warren Lai, Director
Deputy Directors
Stephen Kowalewski, Chief
Allison Knapp
Sarah Price
Carrie Ricci
Joe Yee

About Contra Costa County Public Works Department:

Contra Costa County Public Works Department (CCCPWD) maintains over 660 miles of roads, 150 miles of streams, channels, and other drainage and over 150 County buildings throughout Contra Costa County. CCCPWD provides services such as Parks and Recreation, Sandbag Distribution and Flood Control throughout unincorporated areas of Contra Costa County. CCCPWD operates two airports, Buchanan Field Airport in Concord, and Byron Airport in Byron. For more information about CCCPWD, please visit us at: www.cccpublicworks.org

CONTACT: Mike Stevens 925.313.7038; Media Inquiries: 925.313.2000
####



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-4275

Agenda Date: 1/6/2026

Agenda #: 8a.

Advisory Board: Bethel Island Municipal Advisory Council

Subject: Agency Comment Request Packet CDLP25-02028, 6201 Bethel Island Road

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us <<mailto:Anna.Cleese@bos.cccounty.us>>

Information:

Questions and information requests can be made by contacting Joseph Lawlor; 925-655-2872;
joseph.lawlor@dcd.cccounty.us

Recommendation(s)/Next Step(s):

RECEIVE and CONSIDER Agency Comment Request Packet CDLP25-02028, 6201 Bethel Island Road



AGENCY COMMENT REQUEST

Date 08/28/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
Advance Planning Housing Programs
Trans. Planning Telecom Planner
ALUC Staff HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

☒ Engineering Services Special Districts
Traffic
☒ Flood Control (Full-size)

LOCAL

☒ Fire District _____
San Ramon Valley – (email) rwendel@srvfire.ca.gov
☒ Consolidated – (email) fire@cccfdpd.org

☒ Sanitary District Ironhouse Sanitary District

☒ Water District Bethel Island Municipal Improvement District (BIMID)
City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Bethel Island MAC
Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

BIMID

ABC/Historic Planner - D. Vogelpohl

Please submit your comments to:

Project Planner Joseph Lawlor
Phone # 925-655-2872
E-mail joseph.lawlor@dcd.cccounty.us
County File # CDLP25-02028
Prior to 09/26/2025

We have found the following special programs apply to this application:

Landslide Active Fault Zone (A-P)
☒ Liquefaction ☒ Flood Hazard Area - **AE**
☒ 60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDLP25-02028

File Date: 8/27/2025

Applicant:

Debra Fromme Choice Plans and Permit
Services
1021 Vineyard Drive
Oakley, CA 94561

choicepps@yahoo.com
(925) 783-1858

Property Owner:

VERA TRE CORT
757 3RD AVE
SAN FRANCISCO, CA 941183908

cortproperty@gmail.com
(415) 573-7443

Project Description:

The applicant seeks approval of a Land Use / Development Plan combination to establish a restaurant/bar. Scope of work includes both internal and external changes to existing building.

Project Location: (Address: 6201 BETHEL ISLAND RD, BETHEL ISLAND, CA 94511), (APN: 031031020)

Additional APNs:

General Plan Designation(s): CO

Zoning District(s): "R-B, -CE -FH"

Flood Hazard Areas: AE

AP Fault Zone: n/a

60-dBA Noise Control: X

MAC/TAC: Bethel Island MAC

Sphere of Influence:

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

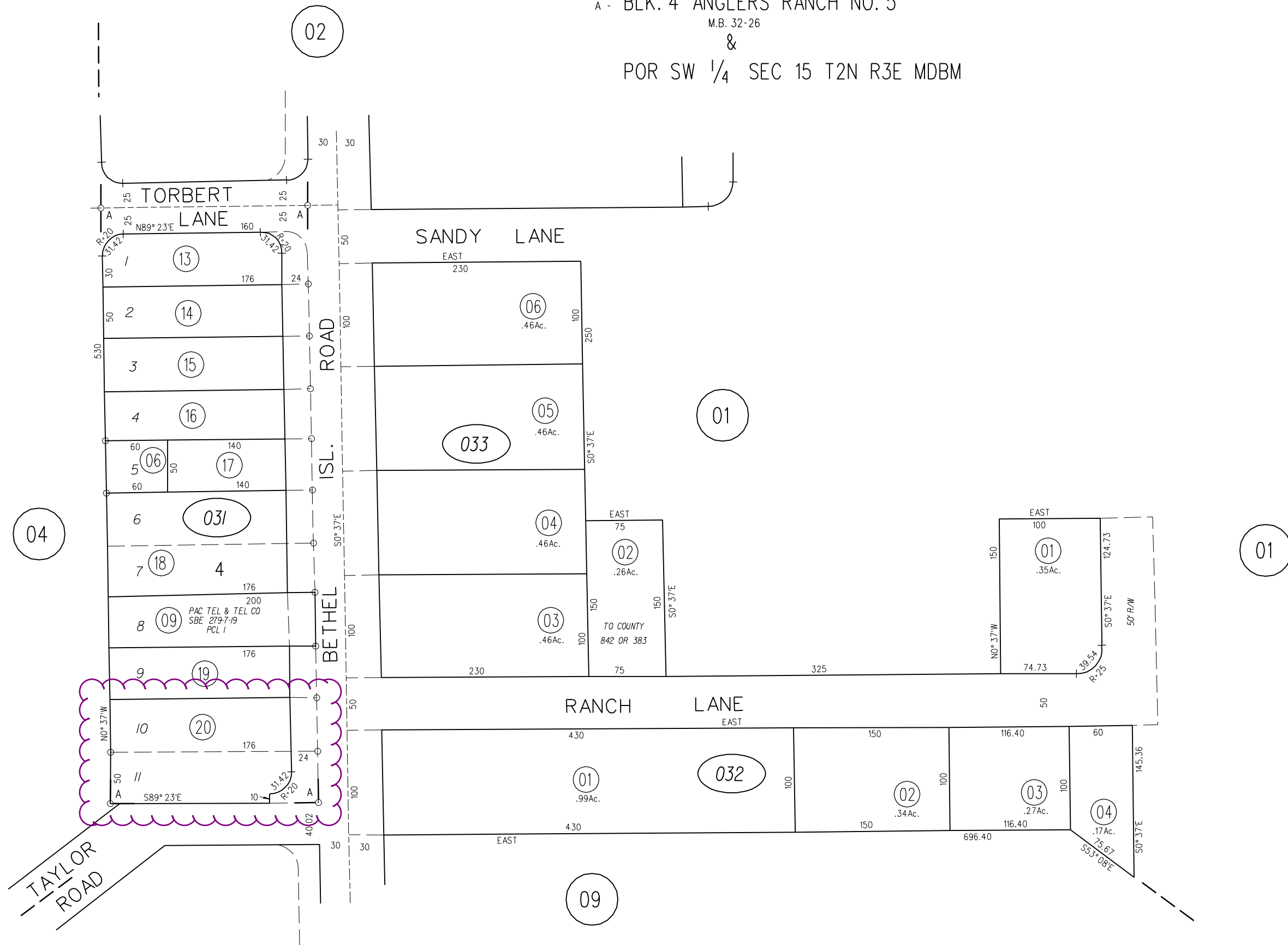
Housing Inventory Site: NO

Specific Plan:

Fees:

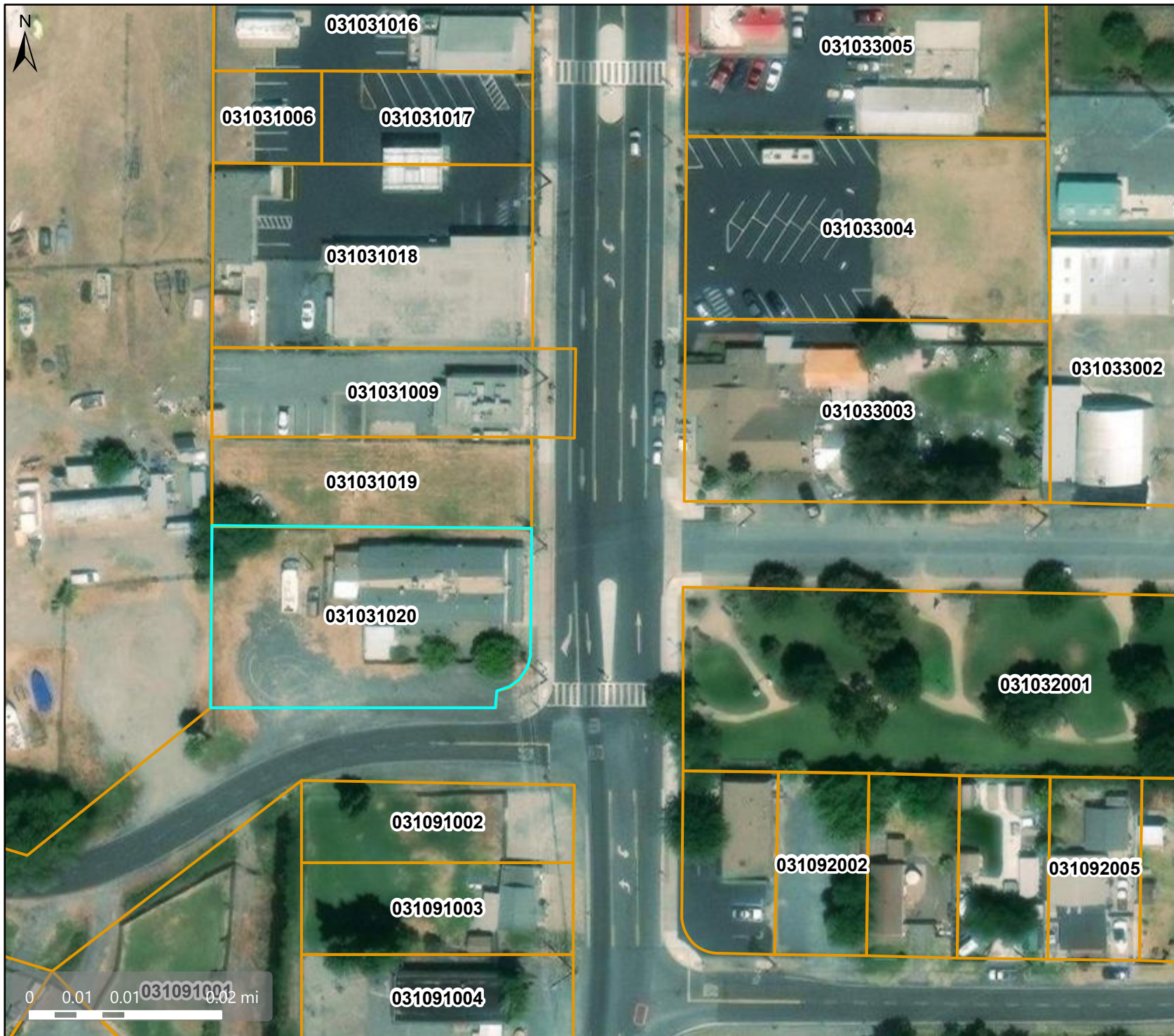
Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
LPS0016	Development Plan Rvw-Administrative	002606-9660-REV-000-5B0016	3000.00	3000.00
LPS028A	LUP/DP Combo	002606-9660-REV-000-5B028A	6000.00	6000.00
Total:			9162.00	9162.00

A - BLK. 4 ANGLERS RANCH NO. 5
M.B. 32-26
&
POR SW 1/4 SEC 15 T2N R3E MDBM



- 031
- 032
- 033

Aerial



Map Legend

- County Border
- Assessment
- Parcels

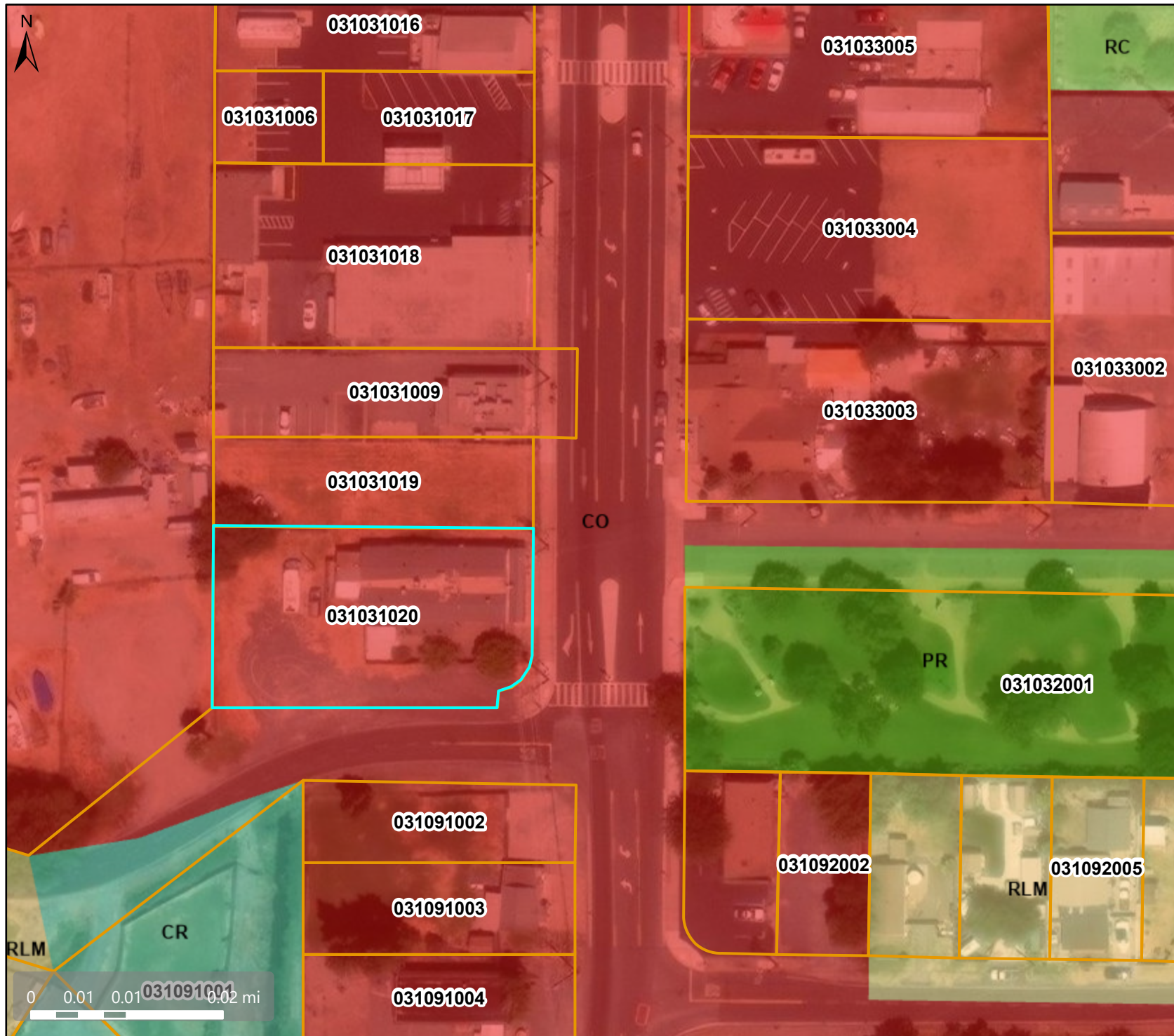
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary S
 Datum: WGS 1984

General Plan



Map Legend

- County Border
- Assessment Parcels

Planning Layers (DCD)

General Plan

- RLM (Residential)
- Low-Medium Density (3-7 du/na)
- CO (Commercial and Office) (C: 1.0 FAR O: 2.75 FAR)
- CR (Commercial Recreation)
- PR (Park and Recreation)
- RC (Resource Conservation)

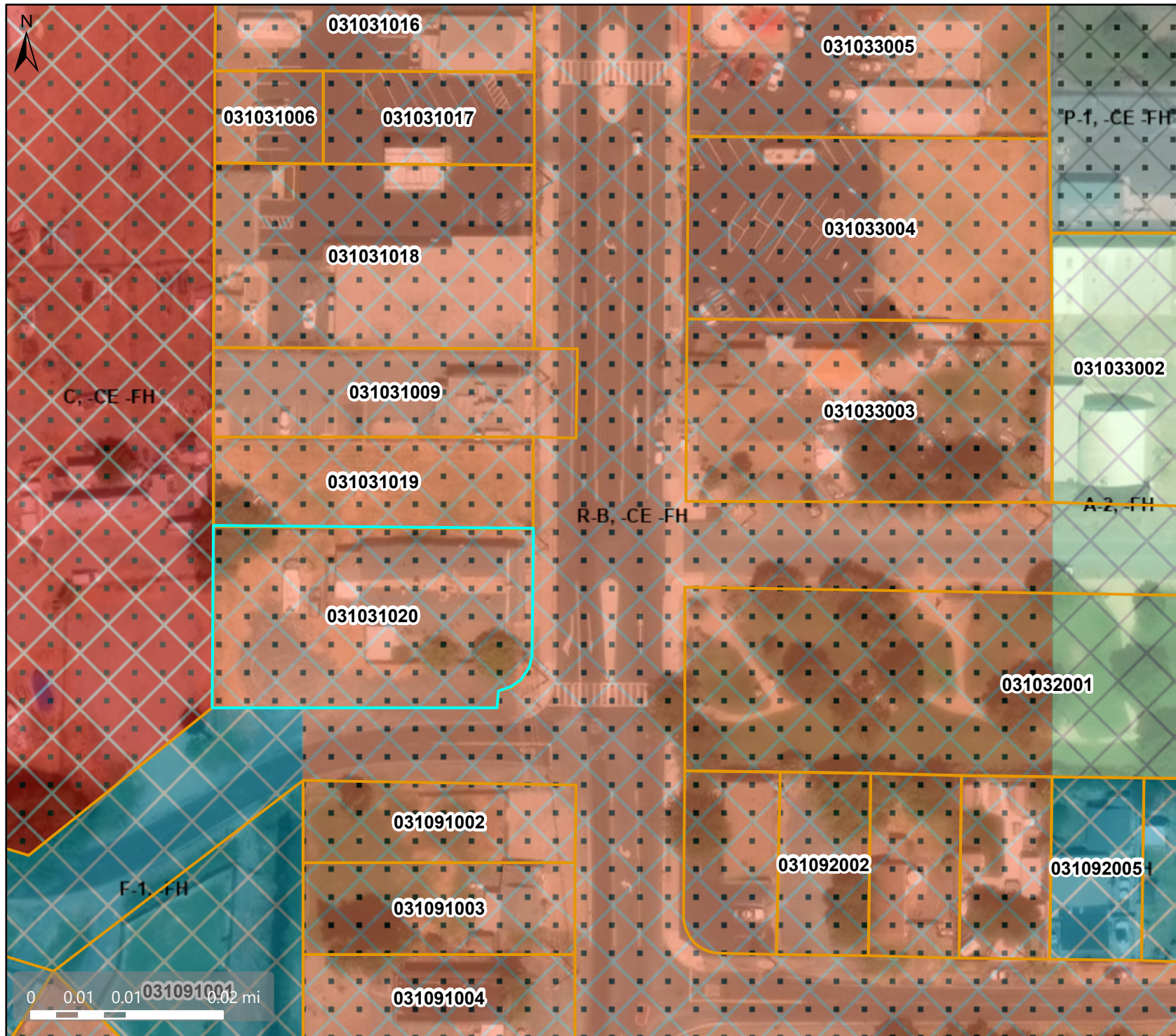
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

Zoning



Map Legend

- County Border
- Assessment Parcels

Planning Layers (DCD)

Zoning

ZONE_OVER

- F-1 -FH (Flood Hazard Combining District)
- A-2 -FH (Flood Hazard Combining District)
- R-B -CE -FH (Cannabis Exclusion and Flood Hazard)
- C -CE -FH (Cannabis Exclusion and Flood Hazard)
- P-1, -CE -FH (Cannabis Exclusion and Flood Hazard)

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

GENERAL NOTES

- GENERAL NOTES
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, ZONING CODES, THE NATIONAL ELECTRICAL CODE, N.E.P.A., AND ALL OTHER APPLICABLE CODES, RULES, AND REGULATION IN THEIR LATEST ADOPTED EDITION. THE CONTRACTOR IS RESPONSIBLE TO ENFORCE THESE REQUIREMENTS WITH ALL SUBCONTRACTORS.
2. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE PROJECT AS IT RELATES TO THE PLANS AND SPECIFICATIONS AND ALL SCOPE OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR DISCREPANCIES THAT MAY AFFECT THE WORK. THE ARCHITECT WILL PROVIDE APPROPRIATE CLARIFICATIONS AS NECESSARY. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ARCHITECT.
3. DETAILS ARE USUALLY KEYED ONCE ON THE PLANS OR ELEVATIONS, AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT.
4. ALL WORK SHALL BE PROPERLY PROTECTED AT ALL TIMES. THE CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR BY THE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTIONS AND APPROVALS OF THE WORK.
6. BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL SEND THE OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNT REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE.
7. THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. SHOP DRAWINGS ARE REQUIRED FOR ALL CUSTOM OR SEMI-CUSTOM ASSEMBLIES, U.N.O.
8. ALL THERMAL AND ACOUSTIC INSULATION SHALL COMPLY WITH THE APPLICABLE CODE.
9. THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT AT ALL TIMES. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE REMOVED AS DIRECTED BY THE ARCHITECT, AND RECONSTRUCTED TO MEET THE ARCHITECT'S APPROVAL.
10. A COPY OF THE AGENCY APPROVED CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE AT ALL TIMES FOR REVIEW BY THE ARCHITECT.
11. THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIAL, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO COST TO THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES AND PROMPTLY CLEAN UNKEMPT AREAS WHEN DIRECTED BY THE OWNER OR THE ARCHITECT.
13. ALL FURNITURE IS SHOWN FOR REFERENCE ONLY, U.N.O.
14. COORDINATE THE TRADES, CRAFTS, AND SUBCONTRACTS AS REQUIRED TO PROVIDE CORRECT AND ACCURATE CONNECTION OF ABUTTING, ADJOINING, OVERLAPPING AND RELATED WORK. PROVIDE ANCHORS, FASTENERS, BLOCKING, ACCESSORIES, APPURTENANCES, CAULKING AND SEALING AND INCIDENTAL ITEMS AS REQUIRED TO COMPLETE THE WORK PROPERLY, FULLY, AND CORRECTLY IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL BE IN CHARGE OF THIS CONTRACT WITHIN THE LIMITS OF THE SITE AND ACCESS TO AND ROM THE SITE. HE SHALL DIRECT, SCHEDULE AND MONITOR THE WORK. FINAL RESPONSIBILITY FOR PERFORMANCE, INTERFACE AND COMPLETION OF THE WORK AND THE PROJECT SHALL BE THE CONTRACTOR'S.
16. ALL MATERIALS AND FINISHES USED ON THE PROJECT SHALL BE NEW AND FREE OF DEFECTS OR DAMAGE. U.N.O.
17. ITEMS OF EQUIPMENT, FIXTURES, SIZE, CAPACITY, MODEL, STYLE AND MATERIALS NOT DEFINITELY SPECIFIED HEREBIN OR INDICATED ON THE DRAWINGS, BUT NECESSARY FOR THE COMPLETION OF THE WORK, SHALL BE PROVIDED. SUCH ITEMS SHALL MEET APPLICABLE CODE REQUIREMENTS AND BE THE TYPE AND QUALITY SUITABLE FOR THE SERVICE REQUIRED AND COMPARABLE TO ADJACENT OR SIMILAR ITEMS IN THE PROJECT. WHERE THESE ARE VISIBLE IN THE FINAL WORK, OBTAIN ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH THE WORK.
18. DIMENSIONING STANDARDS:
- A. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF WALL AND DO NOT INCLUDE FINISH MATERIALS, U.N.O.
- B. DIMENSIONS NOTED AS CLEAR OR "CLR" MUST BE PRECISELY MAINTAINED AND SHALL INCLUDE APPLIED FINISH MATERIALS.
- C. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ACCEPTANCE BY THE ARCHITECT, UNLESS NOTED AS +/-.
- D. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR SLAB DATUM LINE, ESTABLISHED BY THE CONTRACTOR SUBJECT TO THE ACCEPTANCE OF THE OWNER OR ARCHITECT, U.N.O.
- E. DIMENSIONS MARKED AS "A.F.F.:" ARE ABOVE FINISHED FLOOR MATERIALS. IN CARPETED AREAS, THE TOP OF SLAB IS CONSIDERED TO BE THE FINISHED FLOOR.
- F. DO NOT SCALE DRAWINGS, IF DIMENSIONS, LAYOUT, OR ITEMS OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK WITHOUT THE CLARIFICATION AND CONSENT OF THE ARCHITECT.
19. THE CONTRACTOR IS RESPONSIBLE FOR COOPERATING AND COORDINATING WITH OTHERS AS IT EFFECTS THE PROJECT.
20. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND CLARANCES SHALL BE VERIFIED BY THE CONTRACTOR. CHECK LEVELS AND LINES INDICATED BEFORE COMMENCING WITH THE WORK. THE ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENTS, CORRECTIONS OR CLARIFICATIONS.
21. INSTALL WORK PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. PERFORM ALL THE WORK IN A WORKMANLIKE AND WELL MANNER.
22. DO NOT SUBSTITUTE, REVISE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
23. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL AND CEILING MOUNTED ACCESSORIES AND HARDWARE.
24. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW PRIOR TO PURCHASING ANY EQUIPMENT, FIXTURES, OR FINISH MATERIALS, UNO.

VICINITY MAP



ABBREVIATIONS

#	-	NUMBER OR POUND	INSUL	-	INSULATION
&	-	AND	INT	-	INTERIOR
(E)	-	EXISTING	ISO	-	ISOLATION
@	-	AT	JAN	-	JANITOR
+/-	-	PLUS OR MINUS	JB	-	JUNCTION BOX
<	-	LESS THAN	JST	-	JOIST
>	-	GREATER THAN	JO	-	JOINT
AB	-	ANCHOR BOLT	LAV	-	LAVATORY
ABV	-	ABOVE	LB	-	POUND
AC	-	ASPHALTED CONCRETE	LBS	-	POUNDS (WEIGHT)
ACF	-	ACOUSTICAL CLIG TILE	LINEAR	-	LINEAR
AD	-	AREA DRAIN	LOC	-	LOCATION OR LOCATE
ADD	-	ADDENDUM	LT	-	LIGHT
ADJ	-	ADDITIONAL	LTG	-	LIGHTING
ADJ	-	ADJUSTABLE	M	-	MIDDLE
ADJ	-	ADJACENT	MAN	-	MANUAL
ADMIN	-	ADMINISTRATION	MATL	-	MATERIAL
AFT	-	ABOVE FINISH FLOOR	MAX	-	MAXIMUM
ALT	-	ALTERNATE	MECH	-	MECHANICAL
ALUM	-	ALUMINUM	MEMB	-	MEMBRANE
AMEND	-	AMENDMENT	MEZZ	-	MEZZANINE
AP	-	ACCESS PANEL	MFR	-	MANUFACTURER
APPROX	-	APPROXIMATE	MIN	-	MINIMUM
ARCH	-	ARCHITECT	MISC	-	MISCELLANEOUS
AUTO	-	AUTOMATIC	MONO	-	MONOULTHIC
BFE	-	BOTTOM FOOTING ELEV	MTD	-	MOUNTED
BIT	-	BITUMINIOUS	MTL	-	METAL
BRK	-	BRACKET	MULL	-	MULLION
BLDG	-	BUILDING	NAL	-	NOT APPLICABLE
BLKG	-	BLOCKING	NIC	-	NOT IN CONTRACT
BLW	-	BELOW	NO	-	NUMBER
BM	-	BEAM	NOM	-	NOMINAL
BO	-	BY OWNER	NRC	-	NOISE REDUCTION COEF.
BOT	-	BOTTOM	NT	-	NOTE
BSMT	-	BASEMENT	NTS	-	NOT TO SCALE
BWN	-	BETWEEN	OC	-	ON CENTER
CAB	-	CABINET	OD	-	OUTSIDE DIAMETER
CANTIL	-	CANTILEVER	OFF	-	OFFICE
CCTV	-	CLOSED CIRCUIT TV	OH	-	OVERHEAD
CJT	-	CONTROL JOINT	OPP	-	OPPOSITE
CL	-	CENTER LINE	PART	-	PARTITION
CLG	-	CEILING	PED	-	PEDESTAL
CLR	-	CLEAR	PL	-	PROPERTY LINE
CO	-	CASED OPENING	PLAM	-	PLASTIC LAMINATE
COL	-	COLUMN	PLT	-	PLATE
CONC	-	CONCRETE	PLWD	-	PLYWOOD
CONF	-	CONFERENCE	PRELIM	-	PRELIMINARY
CONST	-	CONSTRUCTION	PRESS	-	PRESSURE
CONT	-	CONTINUE/OUS	PT	-	PAIN
CONTR	-	CONTRACTOR	PVC	-	POLYVINYL CHLORIDE
COORD	-	COORDINATE	R	-	RADIUS
CPT	-	CARPET	REC	-	RECESSED
CT	-	CERAMIC TILE	REF	-	REFERENCE
CTR	-	CENTER	REFR	-	REFRIGERATOR
CISK	-	COUNTER-SUNK/SINK	REG	-	REGISTER
CW	-	COLD WATER	REINF	-	REINFORCE/ED-/ING
D	-	DEPTH OR DEEP	REM	-	REMOVE
DEG	-	DEGREE(S)	REQD	-	REQUIRED
DEMO	-	DEMOLITION	RET	-	RETAINING
DEPT	-	DEPARTMENT	REV	-	REVISE/ REVISION
DF	-	DRINKING FOUNTAIN	RH	-	ROOF HATCH
DIA	-	DIAMETER	RM	-	ROOM
DIAG	-	DIAGONAL	RO	-	ROUGH OPENING
DIM	-	DIMENSION	RS	-	RISER
DIST	-	DISTRIBUTION	RWL	-	RAIN WATER LEADER
DN	-	DOWN	SCHED	-	SCHEDULE
DR	-	DOOR	SD	-	SHOWER DRAIN
DS	-	DOWNSPOUT	SECT	-	SECTION
DW	-	DISHWASHER	SECY	-	SECRETARY
DWG	-	DRAWING	SF	-	SQUARE FOOT
EA	-	EACH	SHT	-	SHEET
EJ	-	EXPANSION JOINT	SHTG	-	SHEATHING
ELEC	-	ELECTRICAL	SHWR	-	SHOWER
ELEV	-	ELEVATION	SIM	-	SIMILAR
EMERG	-	EMERGENCY	SLMT	-	SEALANT
EQ	-	EQUAL	SM	-	SURFACE MOUNTED
EQUIP	-	EQUIPMENT	SPEC	-	SPECIFICATIONS
EXT	-	EXTERIOR	SQ	-	SQUARE
FA	-	FIRE ALARM	SS	-	STAINLESS STEEL
FD	-	FLOOR DRAIN	ST	-	STREET
FDN	-	FOUNDATION	STC	-	SOUND TRANSMISSION
FE	-	FIRE EXTINGUISHER	STD	-	STANDARD
FI	-	FIRE HOSE	STL	-	STEEL
FIN	-	FINISH	STN	-	STONE
FIXT	-	FIXTURE	STCR	-	STORAGE
FL	-	FLOOR	STRUCT	-	STRUCTURAL
FLASH	-	FLASHING	SUPV	-	SUPERVISOR
FLUOR	-	FLUORESCENT	SUSP	-	SUSPENDED
FO	-	FACE OF	SW	-	SWITCH
FRMG	-	FRAMING	SWD	-	SOFTWOOD
FRN	-	FURNACE	SYM	-	SYMMETRICAL
FT	-	FOOT/FEET	TAN	-	TANGENT
FTG	-	FOOTING	TEL	-	TELEPHONE
FURN	-	FURNITURE	TEMP	-	TEMPERATURE
FURR	-	FURRING	TG	-	TONGUE & GROOVE
FUTR	-	FUTURE	THRES	-	THRESHOLD
GA	-	GAUGE	TR	-	TREAD
GAL	-	GALLONS	TRANS	-	TRANSFORMER
GALV	-	GALVANIZED	TV	-	TELEVISION
GB	-	GRAB BAR	TYP	-	TYPICAL
GEN	-	GENERAL	UNO	-	UNLESS NOTED OTHERWISE
GL	-	GLASS	UTIL	-	UTILITY
GRG	-	GUARD RAIL	VENT	-	VENTILATION
GWB	-	GYPSSUM WALL BOARD	VERT	-	VERTICAL
H	-	HEIGHT/HIGH	VEST	-	VESTIBULE
HB	-	HOSE BIB	W	-	WIDTH/WIDE
HOLLOW	-	HOLLOW CORE	WI	-	WROUGHT IRON
HDCP	-	HANDICAP	W/O	-	WITHOUT
HDR	-	HEADER	WC	-	WATER CLOSET
HDW	-	HARDWARE	WD	-	WOOD
HM	-	HOLLOW METAL	WH	-	WATER HEATER
HORIZ	-	HORIZONTAL	WIN	-	WINDOW
HR	-	HANDRAIL	WT	-	WEIGHT
HT	-	HEIGHT	YD	-	YARD
HTR	-	HEATER			
HVAC	-	HEATING/ VENTILATING			
HW	-	HOT WATER			
HWD	-	HARDWOOD			
ID	-	INSIDE DIAMETER			
IN	-	INCH			

LEGEND

	WALL TO REMAIN
	WALL TO BE DEMOISHED
	NEW WALL
	DOOR TO REMAIN
	DOOR TO BE REMOVED
	NEW DOOR OPENING
	WINDOW TO REMAIN
	WINDOW TO BE REMOVED
	NEW WINDOW OPENING

SYMBOLS

	DETAIL REFERENCE
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	BUILDING/ WALL SECTION
	ROOM DESCRIPTION
	PARTITION TYPE
	ENLARGED REFERENCE
	WINDOW TYPE
	REVISION
	DOOR NUMBER
	ELEVATION ABOVE DATUM
	SHEET NOTE
	KEY NOTE
	GRID LINES
	FINISH TAG
	LEVEL CHANGE

CONTACT INFO

ARCHITECT:
Boor Projects
999 Chenery St.
San Francisco, CA 94131
Seth Boor - 415-644-8877
seth@boorprojects.com

CLIENT:
Robert Cort:
2601 Mission St.
San Francisco, CA 94110
Primary Client Contact:
Robert Cort, 415-573-7443
robert@cortsf.com

PARKING INFORMATION

EXISTING:
8 STRIPED STANDARD SPACES
~4,700 SF UNSTRIPED GRAVEL LOT

PROPOSED:
23 STRIPED STANDARD SPACES
1 STANDARD ADA SPACE
1 VAN ADA SPACE
25 TOTAL

APPLICABLE CODES

CA BUILDING CODE 2022 (PART 2)
CA ELECTRICAL CODE 2022 (PART 3)
CA MECHANICAL CODE 2022 (PART 4)
CA PLUMBING CODE 2022 (PART 5)
CA ENERGY CODE 2022 (PART 6)
CA REFERENCE STANDARDS CODE 2022 (PART 11)

FEDERAL AMERICANS WITH DISABILITIES ACT (ADA) TITLE ii OR TITLE iii ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

SCOPE OF WORK

PLANNING REVIEW ONLY.
SHELL IMPROVEMENTS TO EXISTING BAR/RESTAURANT. NO CHANGES TO PREVIOUSLY APPROVED USE OR SQUARE FOOTAGE.

PROJECT INFORMATION

SITE: 6201 BETHEL ISLAND RD
BETHEL ISLAN CA, 94511-0119

BLOCK/LOT: 031-031-020-6

PARCEL AREA: 17,600 S.F.

ZONING: RH-2-RESIDENTIAL - HOUSE

HEIGHT BULK: EXISTING: 40-X
PROPOSED: NO CHANGE

YEAR BUILT: YEAR BUILT:

BUILDING AREA: EXISTING: 3,653 GSF
PROPOSED: NO CHANGE

PARKING AREA EXISTING: 2,141 SF
PROPOSED: NO CHANGE

AREA OF WORK: AREA OF WORK:

STORIES: 1

HEIGHT: EXISTING: 12'
PROPOSED: NO CHANGE

CONSTR. TYPE: EXISTING: V-B
PROPOSED: NO CHANGE

BASEMENT: NO

BUILDING USE: EXISTING: RESTAURANT/BAR
PROPOSED: NO CHANGE

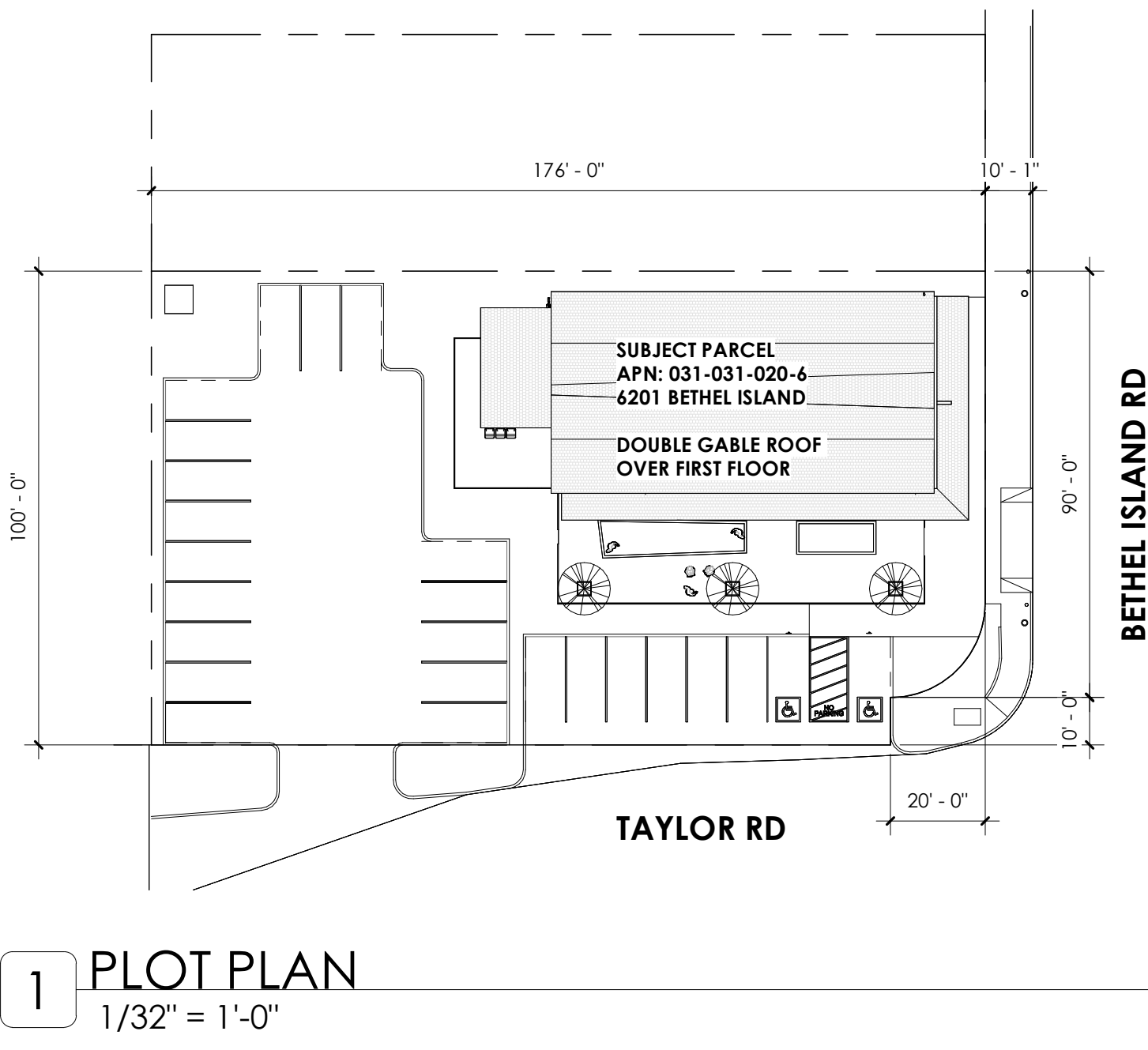
OCCUPANCY: EXISTING: M/B
PROPOSED: NO CHANGE

DWELLING UNITS: EXISTING: NONE
PROPOSED: NO CHANGE

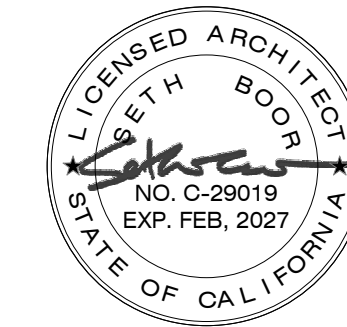
SPRINKLERS: EXISTING: NONE
PROPOSED: NO CHANGE

INDEX

ARCHITECTURAL	
A0	COVER - PLANNING
A0.1	EXISTING/DEMO SITE PLAN
A0.2	NEW SITE PLAN
A2.1	EXISTING & DEMO PLAN - LEVEL 1
A2.3	NEW PLAN - LEVEL 1
A2.4	NEW ROOF PLAN
A4.1	EXISTING & NEW - ELEVATIONS
A4.5	NEW SECTIONS
SHEET COUNT:	8



6201 BETHEL ISLAND
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA, 94511



RECEIVED on 8/27/2025 **CDLP25-02028**
By Contra Costa County
Department of Conservation and Development

BOOR
PROJECTS

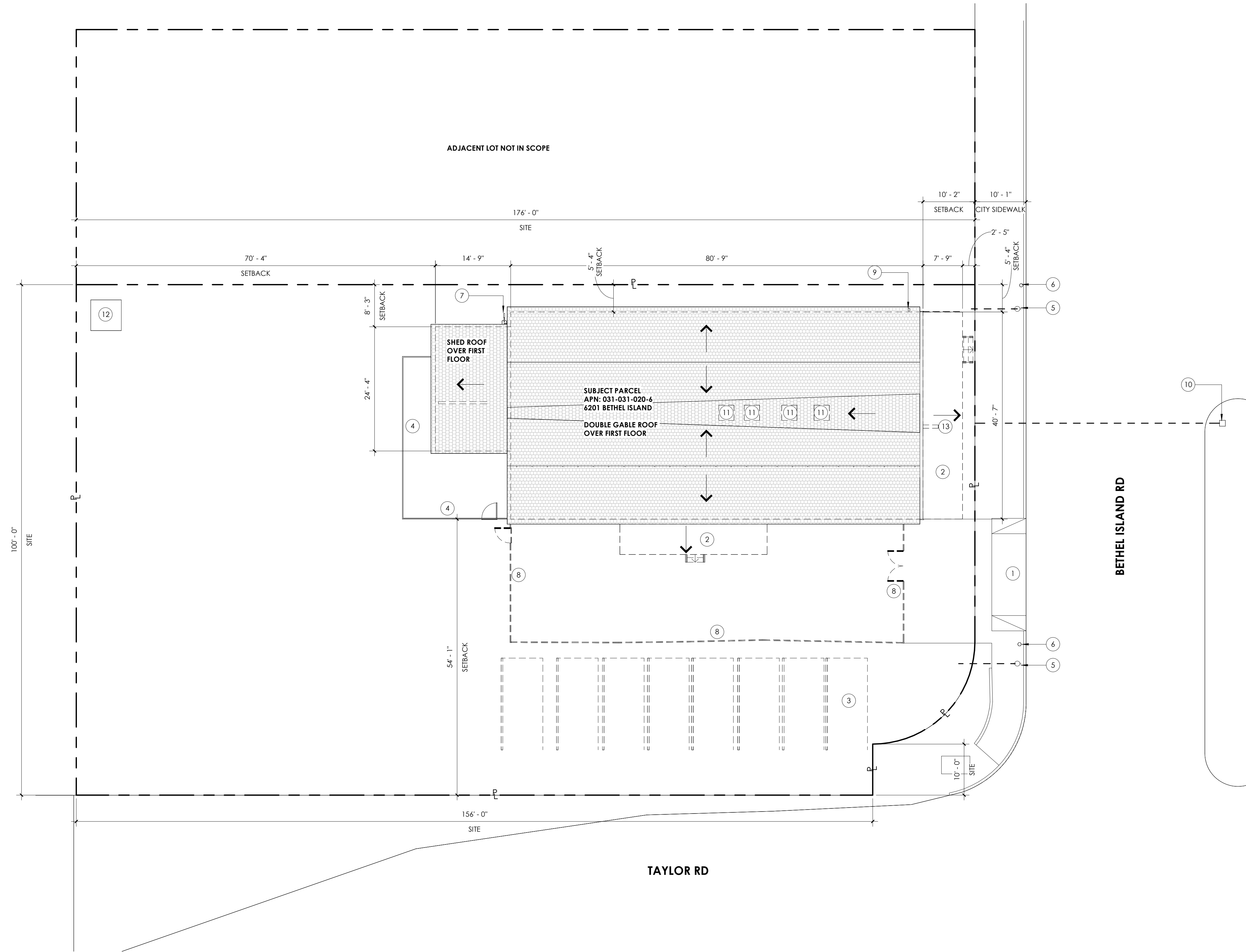
© Boor Projects - San Francisco,
California - 415-644-8877
Seth Boor - seth@boorprojects.com

2025-06-19 PLANNING SUBMITTAL

6201 BETHEL
ISLAND
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA, 94511

COVER - PLANNING

A0



1 SITE PLAN - DEMO
3/32" = 1'-0"

SHEET NOTES - EXISTING/DEMO SITE	
NO.	NOTE
1	(E) CURB CUT TO REMAIN
2	(E) OVERHANG TO BE REMOVED, PREP FOR (N) OVERHANG
3	(E) PARKING SPACES TO BE RESTRIPTED FOR ACCESSIBLE SPACES
4	(E) FENCE TO REMAIN
5	(E) ELECTRICAL POLE WITH GUY WIRE
6	(E) TRAFFIC SIGNAL
7	(E) GAS VALVE
8	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
9	(E) ELECTRICAL POWER WEATHER HEAD
10	(E) SEWER VENT
11	(E) ROOFTOP MECHANICAL TO BE REMOVED
12	(E) WELL
13	(E) BLADE SIGN TO BE REPLACED IN-KIND

BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
seth.boor - seth@boorprojects.com

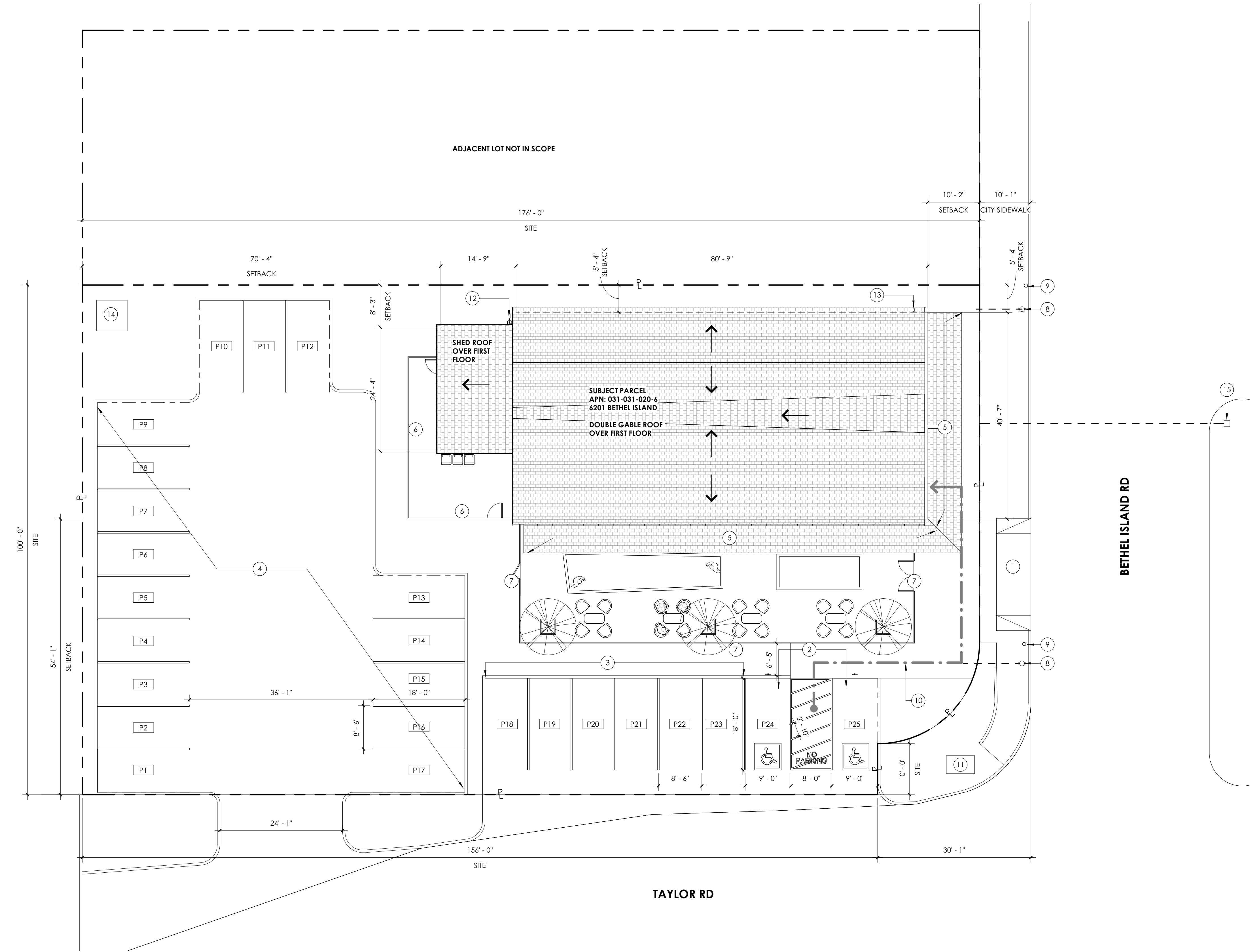
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

EXISTING/DEMO
SITE PLAN

A0.1



1 SITE PLAN - NEW
3/32" = 1'-0"

SHEET NOTES - NEW SITE	
NO.	NOTE
1	(E) CURB CUT TO REMAIN
2	RESTRIPED ADA PARKING SPACES, 1 VAN, 1 STANDARD
3	RESTRIPED STANDARD PARKING SPACES
4	NEW PAVED PARKING LOT
5	NEW CONTINUOUS OVERHANG
6	(E) FENCE
7	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
8	(E) ELECTRICAL POLE WITH GUY WIRE
9	(E) TRAFFIC SIGNAL
10	NEW ADA COMPLIANT PATH OF TRAVEL AND ENTRY
11	(E) TELEPHONE BOX
12	(E) GAS METER
13	(E) ELECTRICAL POWER WEATHER HEAD
14	(E) WELL
15	(E) SEWER VENT

BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
seth.boor@boorprojects.com

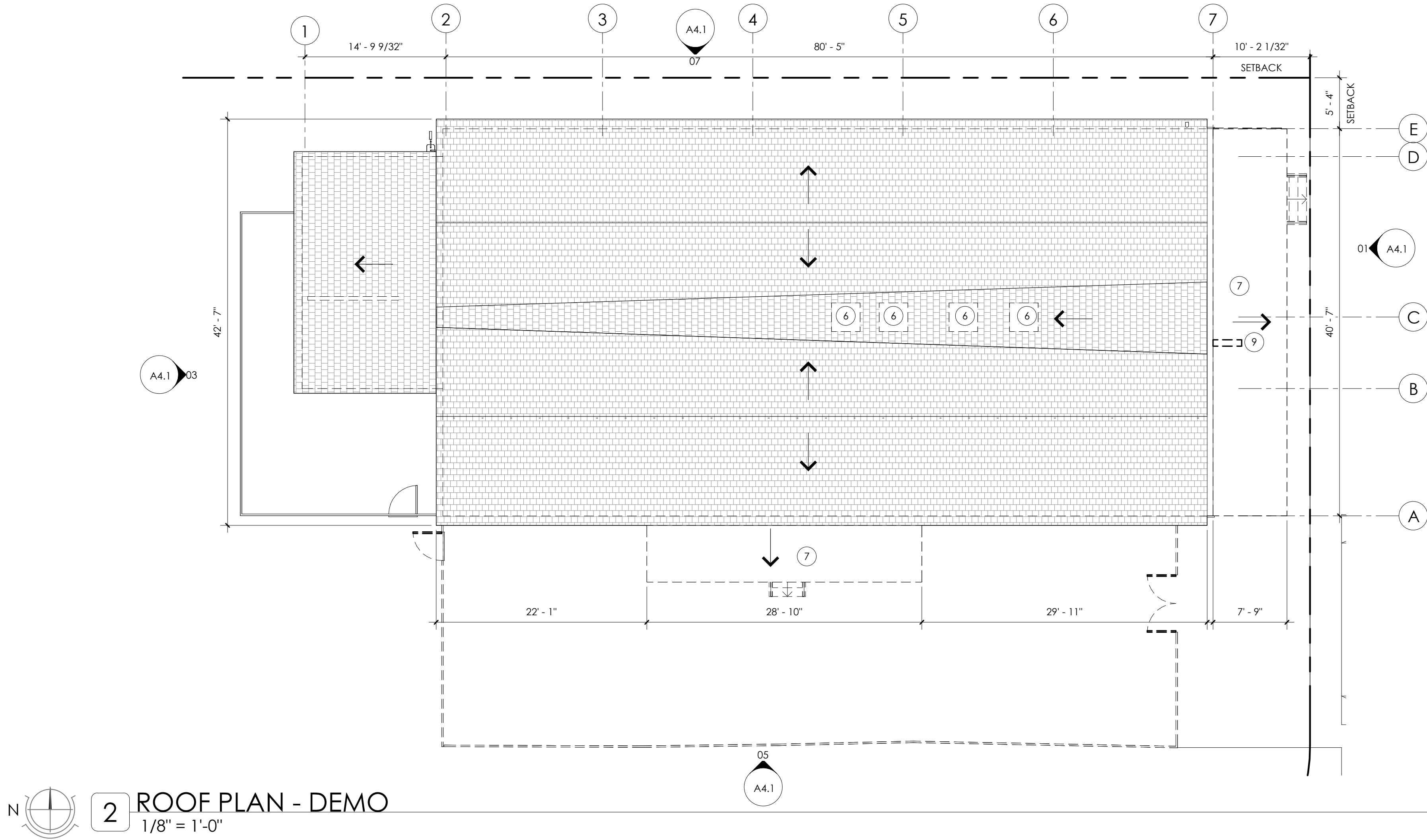
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

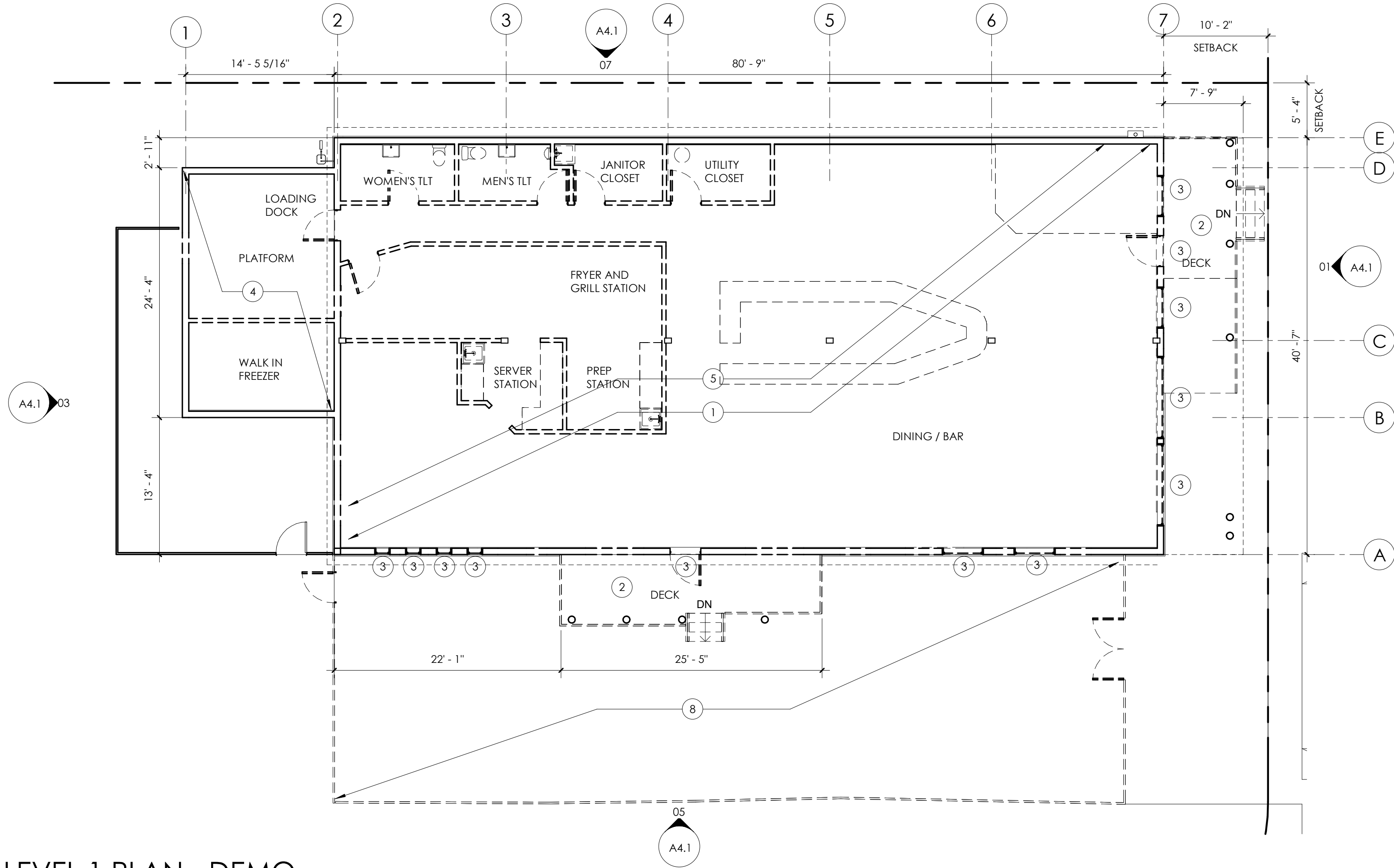
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

NEW SITE PLAN

A0.2



2 ROOF PLAN - DEMO
1/8" = 1'-0"



1 LEVEL 1 PLAN - DEMO
1/8" = 1'-0"

SHEET NOTES - EXISTING/DEMO PLAN

NO.	NOTE
1	DEMO EXISTING FLOOR AND PREPARE FOR NEW SLAB ON GRADE
2	(E) DECK, RAMP, RAILINGS, POSTS, AND STEPS TO BE REMOVED
3	(E) DOOR OR WINDOW TO BE REMOVED. PREPARE FOR NEW OPENING OR INFILL PER PLANS.
4	DEMO (E) REAR SHED FLOOR AND PREPARE FOR NEW SLAB ON GRADE
5	REMOVE ALL (E) INTERIOR NON STRUCTURAL PARTITIONS, FINISHES, DOORS, CEILINGS, FIXTURES AND MILLWORK
6	(E) ROOFTOP MECHANICAL TO BE REMOVED
7	(E) OVERHANG TO BE REMOVED. PREP FOR (N) OVERHANG
8	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
9	(E) BLADE SIGN TO BE REPLACED IN-KIND

BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
Seth Boor - seth@boorprojects.com

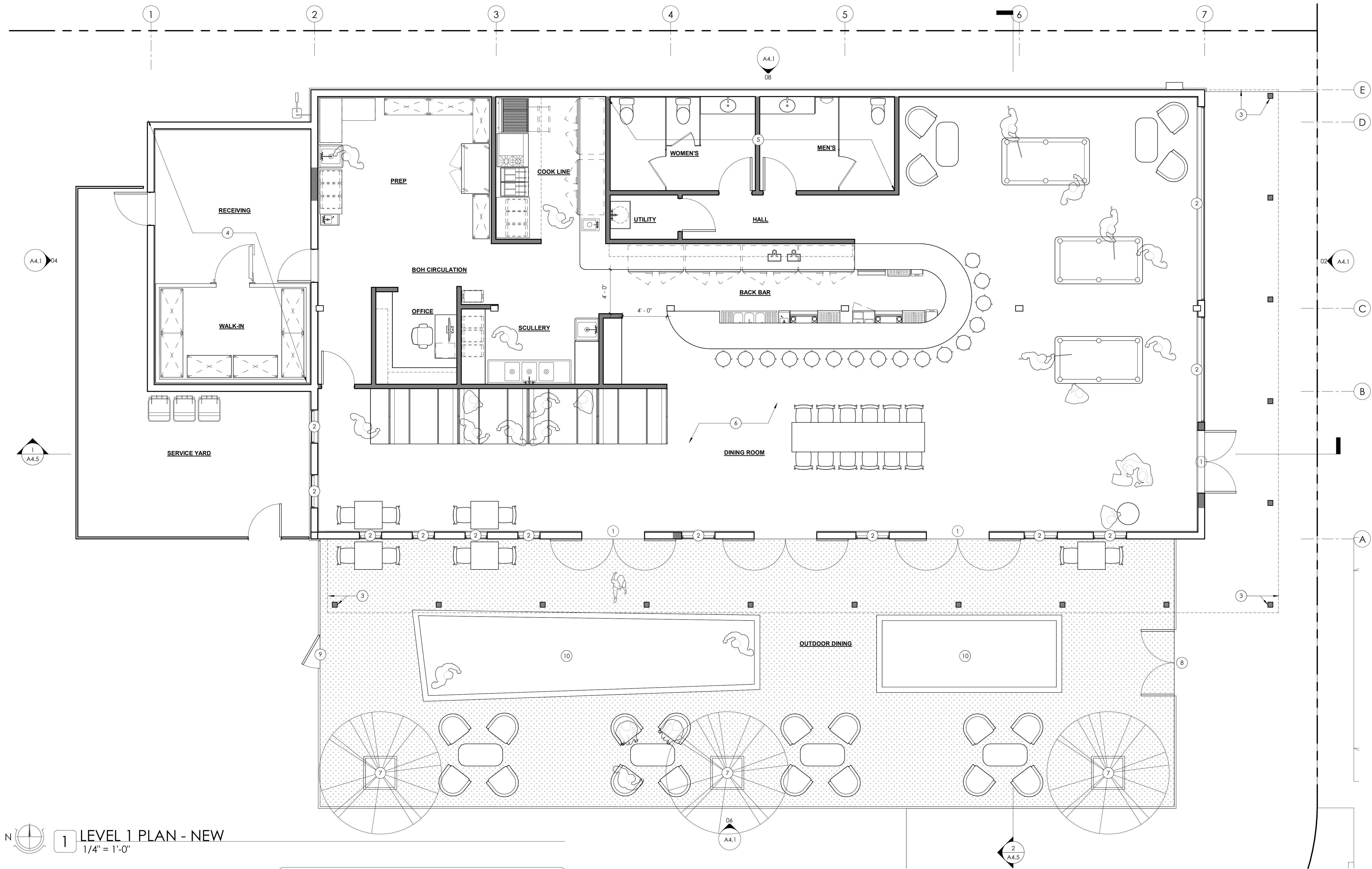
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

EXISTING &
DEMO PLAN -
LEVEL 1

A2.1



BOOR PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
seth.boor - seth@boorprojects.com

2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

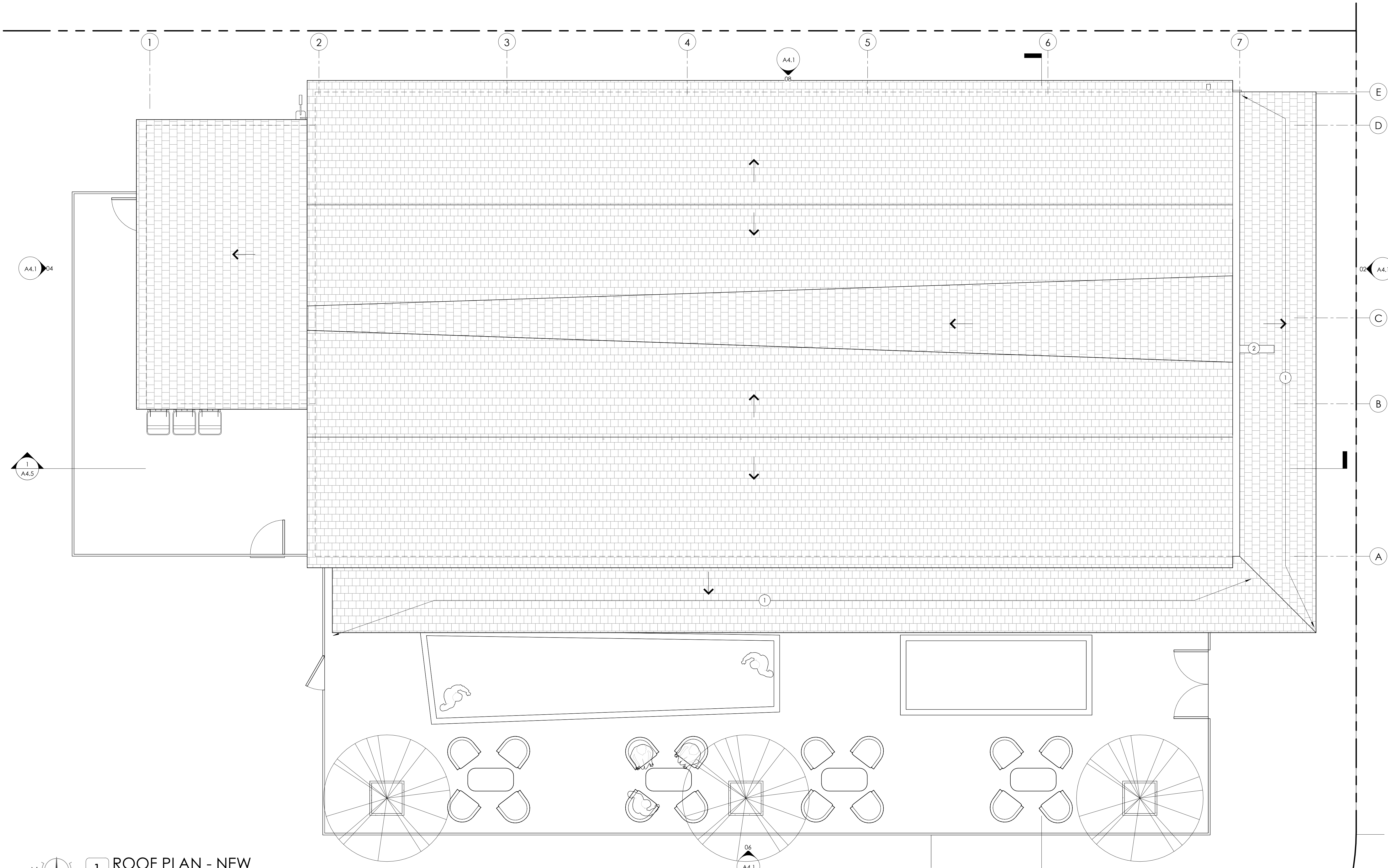
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA. 94511

NEW PLAN -
LEVEL 1

A2.3

SHEET NOTES - NEW PLAN

NO.	NOTE
1	NEW DOOR
2	NEW WINDOW
3	NEW OVERHANG AND SUPPORTS
4	NEW SLAB ON GRADE
5	NEW ACCESSIBLE RESTROOMS
6	NEW SLAB ON GRADE
7	NEW TREE
8	NEW GATE FOR OUTDOOR ASSEMBLY AREA, REMAINS OPEN DURING BUSINES HOURS, OR ADD PANIC HARDWARE AND OUTSWING
9	NEW GATE WITH PANIC HARDWARE
10	OUTDOOR GAME AREA



1 ROOF PLAN - NEW
1/4" = 1'-0"

SHEET NOTES - NEW ROOF PLAN

NO.	NOTE
1	NEW CONTINUOUS OVERHANG
2	(E) BLADE SIGN TO BE REMOVED AND REPLACED



BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
Seth Boor - seth@boorprojects.com

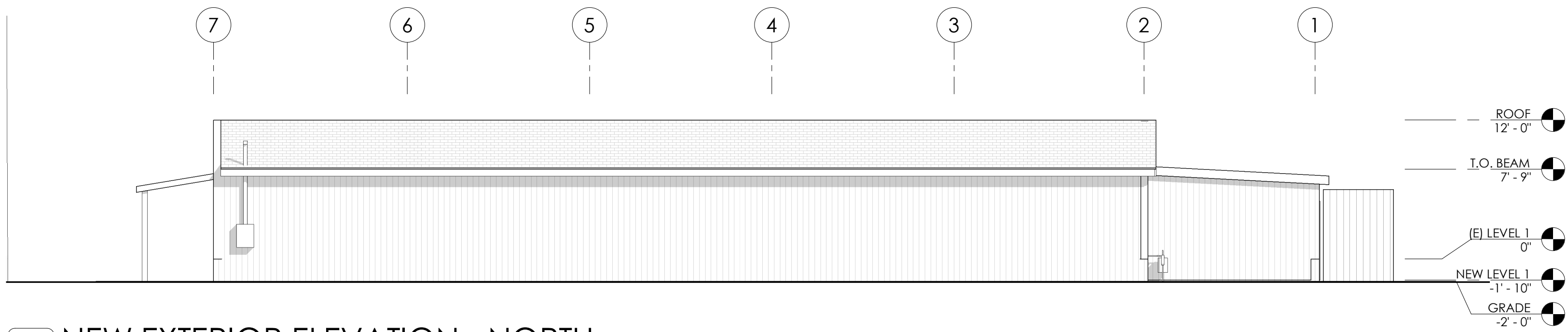
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

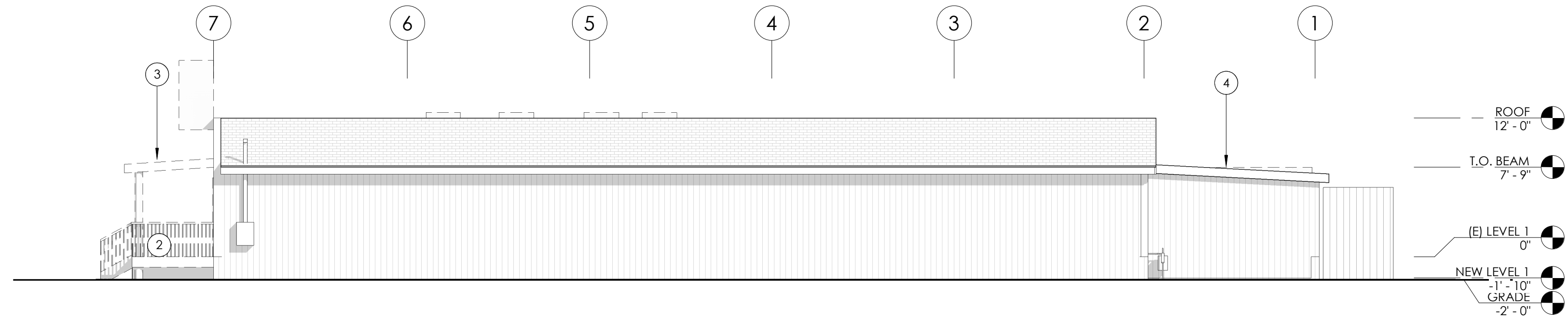
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

NEW ROOF PLAN

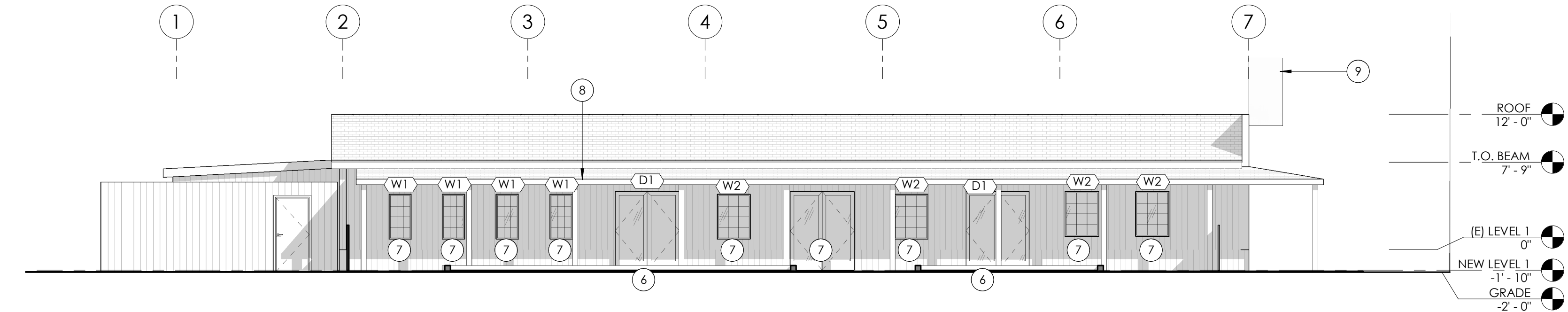
A2.4



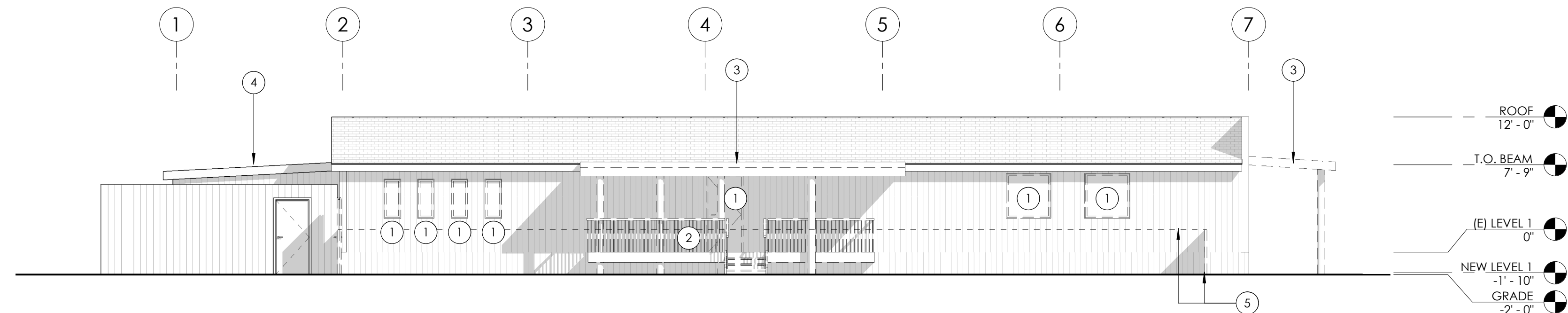
08 NEW EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



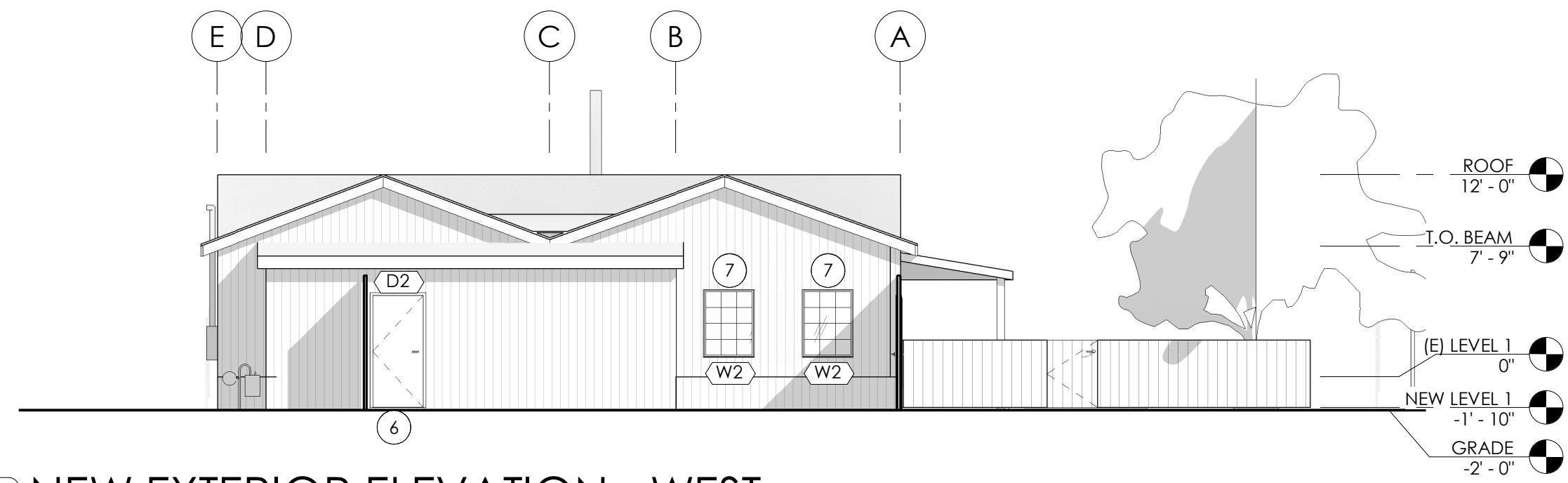
07 DEMO EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



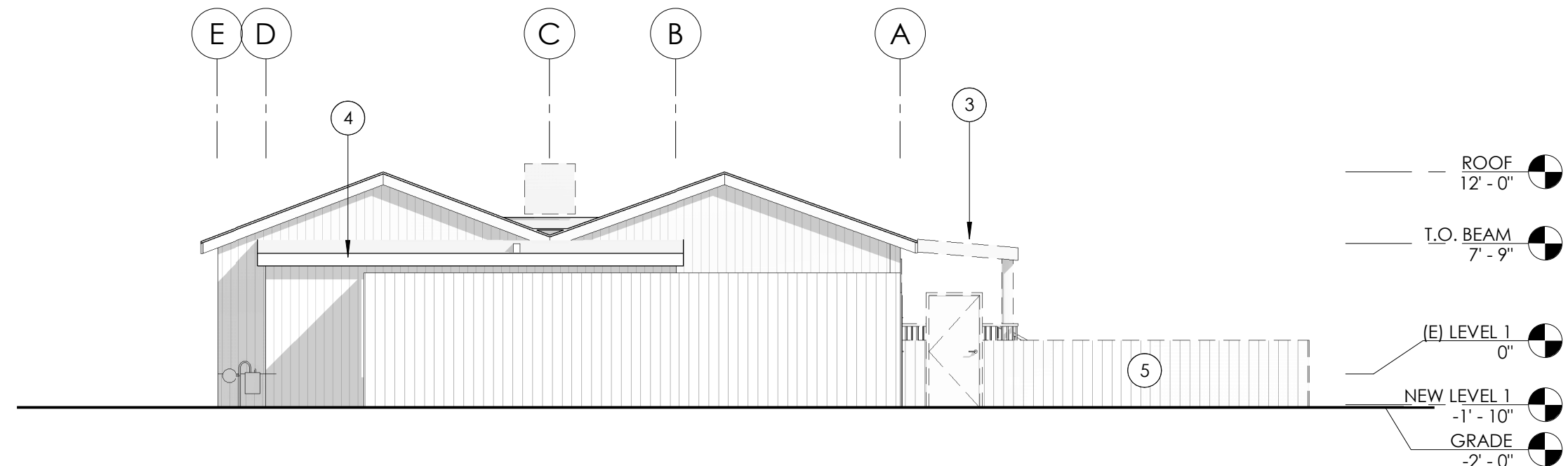
06 NEW EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



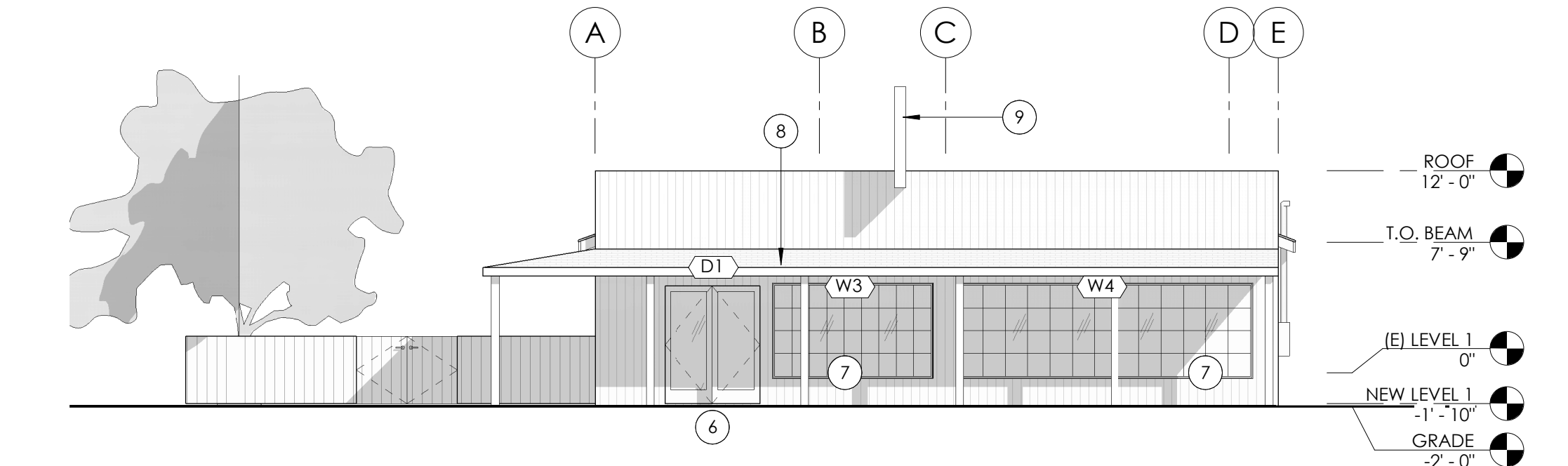
05 DEMO EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



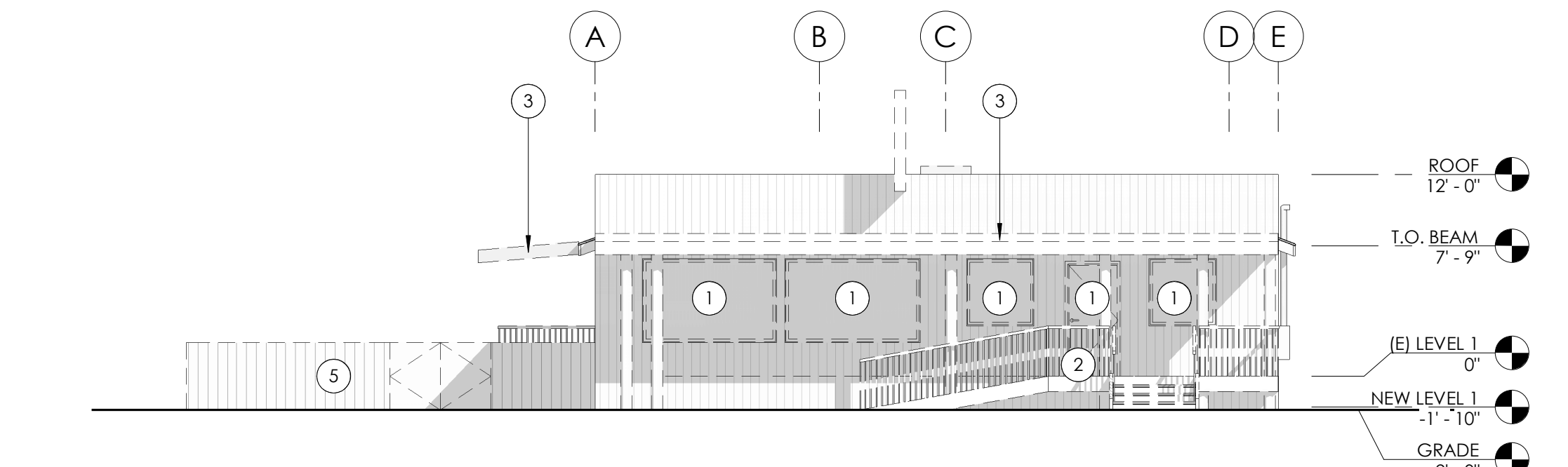
04 NEW EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



03 DEMO EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



02 NEW EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



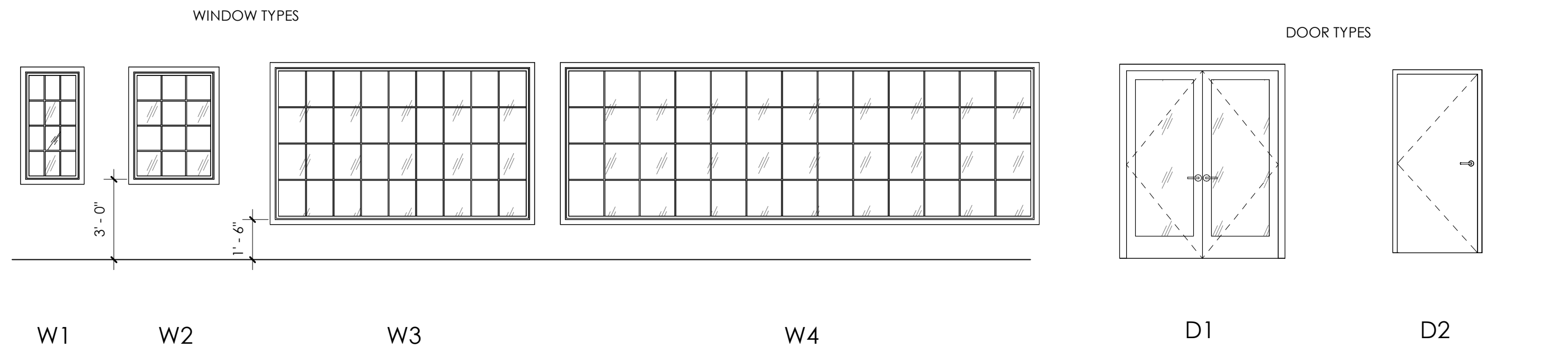
01 DEMO EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

SHEET NOTES - EXTERIOR ELEVATIONS

NO.	NOTE
1	(E) DOOR OR WINDOW TO BE REMOVED. PREPARE FOR NEW OPENING OR INFILL PER PLANS.
2	(E) DECK, RAMP, RAILINGS, AND STEPS TO BE REMOVED
3	(E) OVERHANGS AND POSTS TO BE REMOVED
4	(E) REAR SHED WALLS AND ROOF TO BE REPAIRED
5	(E) FENCE AND GATES TO BE REPAIRED / REPLACED IN-KIND
6	NEW DOOR
7	NEW WINDOW
8	NEW ROOF OVERHANG
9	(E) BLADE SIGN TO BE REPLACED IN-KIND

EXTERIOR OPENING SCHEDULE AND TYPES

WINDOW SCHEDULE									
OPENING				WINDOW			COMMENTS		
TYPE	W.	HT.	QTY.	OPERATION	GLAZING	FRAME			
W1	2'-0"	4'-0"	4	FIXED	DOUBLE PANE INSULATED	MTL	-	-	-
W2	3'-0"	4'-0"	6	FIXED	DOUBLE PANE INSULATED	MTL	-	-	-
W3	9'-6"	5'-8"	1	FIXED	DOUBLE PANE INSULATED	MTL	-	-	-
W4	17'-6"	5'-8"	1	FIXED	DOUBLE PANE INSULATED	MTL	-	-	-
DOOR SCHEDULE									
OPENING				DOOR		FRAME		COMMENTS	
TYPE	W.	HT.	FIRE	QTY.	THCK.	MTRL.	FIN.		
D1	5'-8"	7'-0"	N/A	4	2"	MTL / GL	PT	MTL	PT -
D2	3'-0"	6'-8"	N/A	1	2"	MTL	PT	MTL	PT -



BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
Seth Boor - seth@boorprojects.com

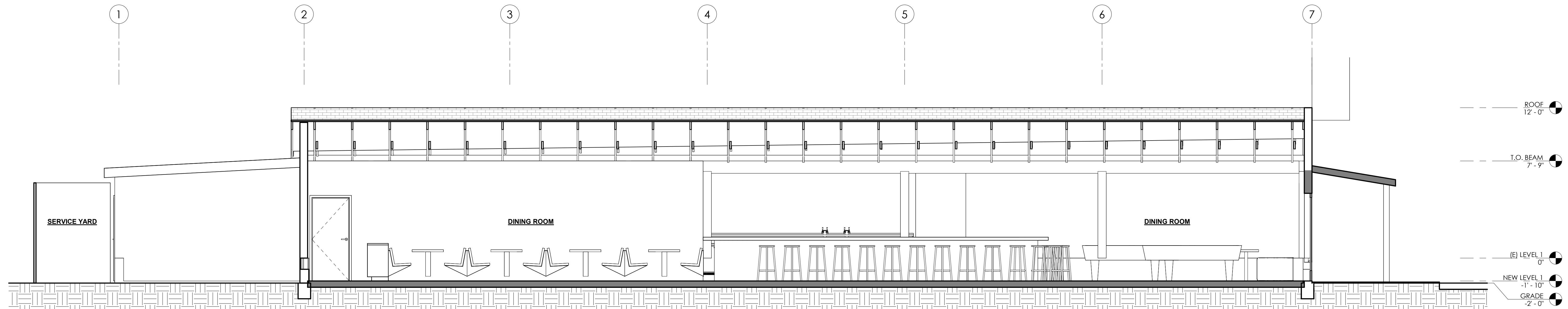
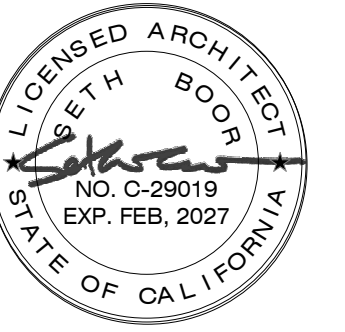
2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

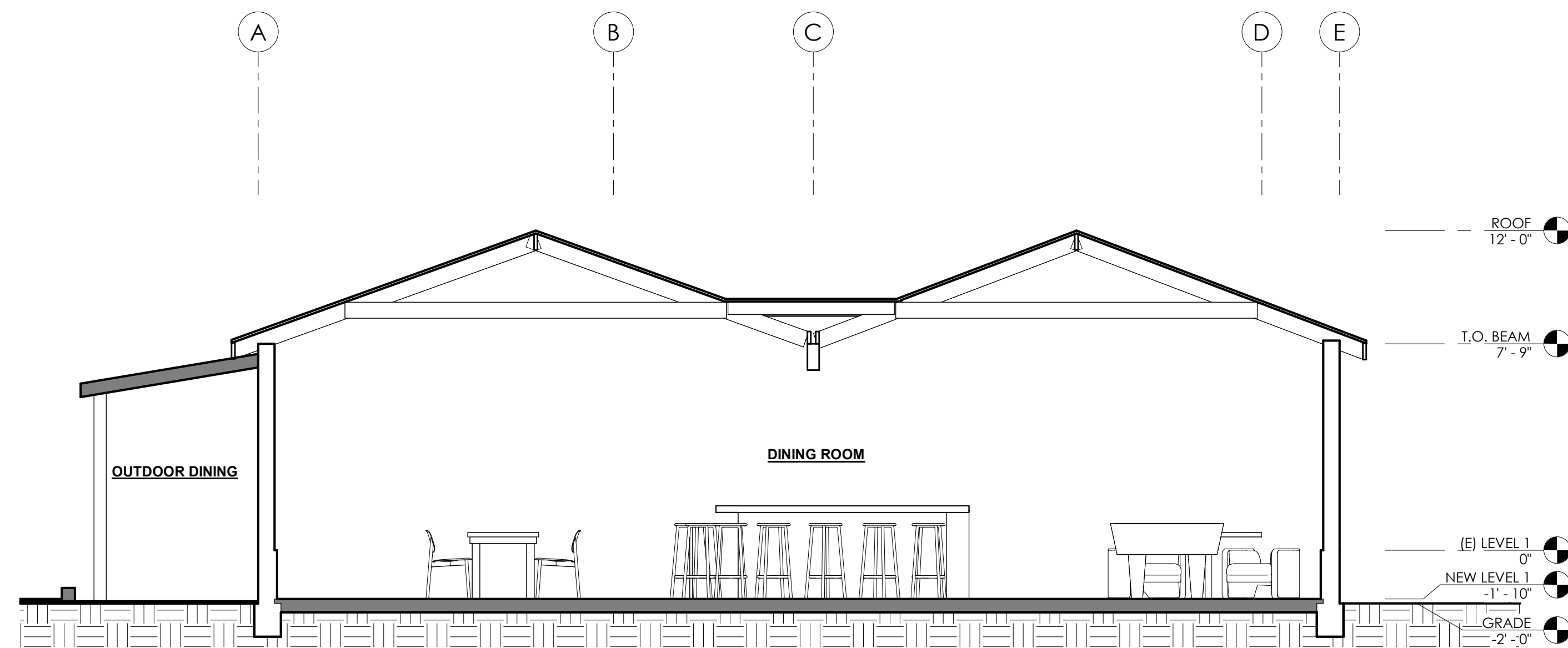
6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

EXISTING & NEW -
ELEVATIONS

A4.1



1 NEW LONG SECTION
1/4" = 1'-0"



2 NEW CROSS SECTION
1/4" = 1'-0"

BOOR
PROJECTS

© Boor Projects - San Francisco,
California - 415-644-8877
seth.boor - seth@boorprojects.com

2025-06-19 PLANNING SUBMITTAL

6201 BETHEL ISLAND

6201 BETHEL ISLAND ROAD
BETHEL ISLAND, CA 94511

NEW SECTIONS

A4.5



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 25-4276

Agenda Date: 12/16/2025

Agenda #: 8b.

Advisory Board: Bethel Island Municipal Advisory Council

Subject: Agency Comment Request Packet CDMS25-00011, 0 Sandmound Blvd, Oakley

Presenter: Anna Cleese, District Representative Supervisor Diane Burgis

Contact: Anna.Cleese@bos.cccounty.us

Information:

Questions and information requests can be made by contacting Grant Farrington; 925-655-2868;
Grant.Farrington@dcd.cccounty.us

Referral History and Update:

Recommendation(s)/Next Step(s):

RECEIVE and CONSIDER Agency Comment Request Packet CDMS25-00011, 0 Sandmound Blvd, Oakley



AGENCY COMMENT REQUEST

Date 08/28/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
 Advance Planning Housing Programs
 Trans. Planning Telecom Planner
 ALUC Staff ☒ HCP/NCCP Staff
 County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

☒ Engineering Services Special Districts
 Traffic
☒ Flood Control (Full-size)

LOCAL

☒ Fire District _____
 San Ramon Valley – (email) rwendel@srvfire.ca.gov
☒ Consolidated – (email) fire@cccfdpd.org

☒ Sanitary District Ironhouse
 Water District _____

☒ City of Oakley
 School District(s) _____
 LAFCO

☒ Reclamation District # 799
 East Bay Regional Park District
 Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Bethel Island MAC
 Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

☒ CHRIS (email only: nwic@sonoma.edu)
☒ CA Fish and Wildlife, Region 3 – Bay Delta
 Native American Tribes

ADDITIONAL RECIPIENTS

Delta Stewardship Council
 Delta Protection Committee

Please submit your comments to:

Project Planner Grant Farrington
 Phone # 925-655-2868
 E-mail grant.farrington@dcd.cccounty.us
 County File # CDMS25-00011

Prior to 09/26/2025

We have found the following special programs apply to this application:

☐ Landslide ☐ Active Fault Zone (A-P)
☒ Liquefaction ☒ Flood Hazard Area
 60-dBA Noise Control
 CA EPA Hazardous Waste Site
 High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDMS25-00011

File Date: 8/28/2025

Applicant:

JIAN HAO HUANG HUANG JIAN HAO
530 PECAN DR
RIPON, CA 953669242

HAO.ENGR@GMAIL.COM
(415) 889-7173

Property Owner:

JIAN HAO HUANG
530 PECAN DR
RIPON, CA 953669242

HAO.ENGR@GMAIL.COM
(415) 889-7173

Project Description:

Applicant requests approval of a minor subdivision application to subdivide an existing 49,698-square-foot lot into three new parcels that are to be 15,448 square feet, 16,323 square feet and 17,538 square feet. No development is proposed as part of the subdivision.

Project Location: (Address: 0 SANDMOUND BLVD, OAKLEY, CA 94561), (APN: 032311004)

Additional APNs:

General Plan Designation(s): RLM

Zoning District(s): F-1

Flood Hazard Areas: AE

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence: Oakley

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
83PW	Planning Application Requiring PW Review and Comment	000651-9660-REV-000-6L83PW	1000.00	1000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
MSS0034	Tentative Subdiv Map Rvw-Minor	000350-9665-000-000-5B0034	7500.00	7500.00
Total:			8662.00	8662.00

1- 197PM14 6/30/06

Project Site

P.B.
23

SANDMOUND

SLOUGH

1"=100'

P.B.
20

SEE PAGE 25 FOR
MINERAL RIGHTS
ASSESSMENTS

30

SANDMOUND

BLVD

312

311

197
PM14

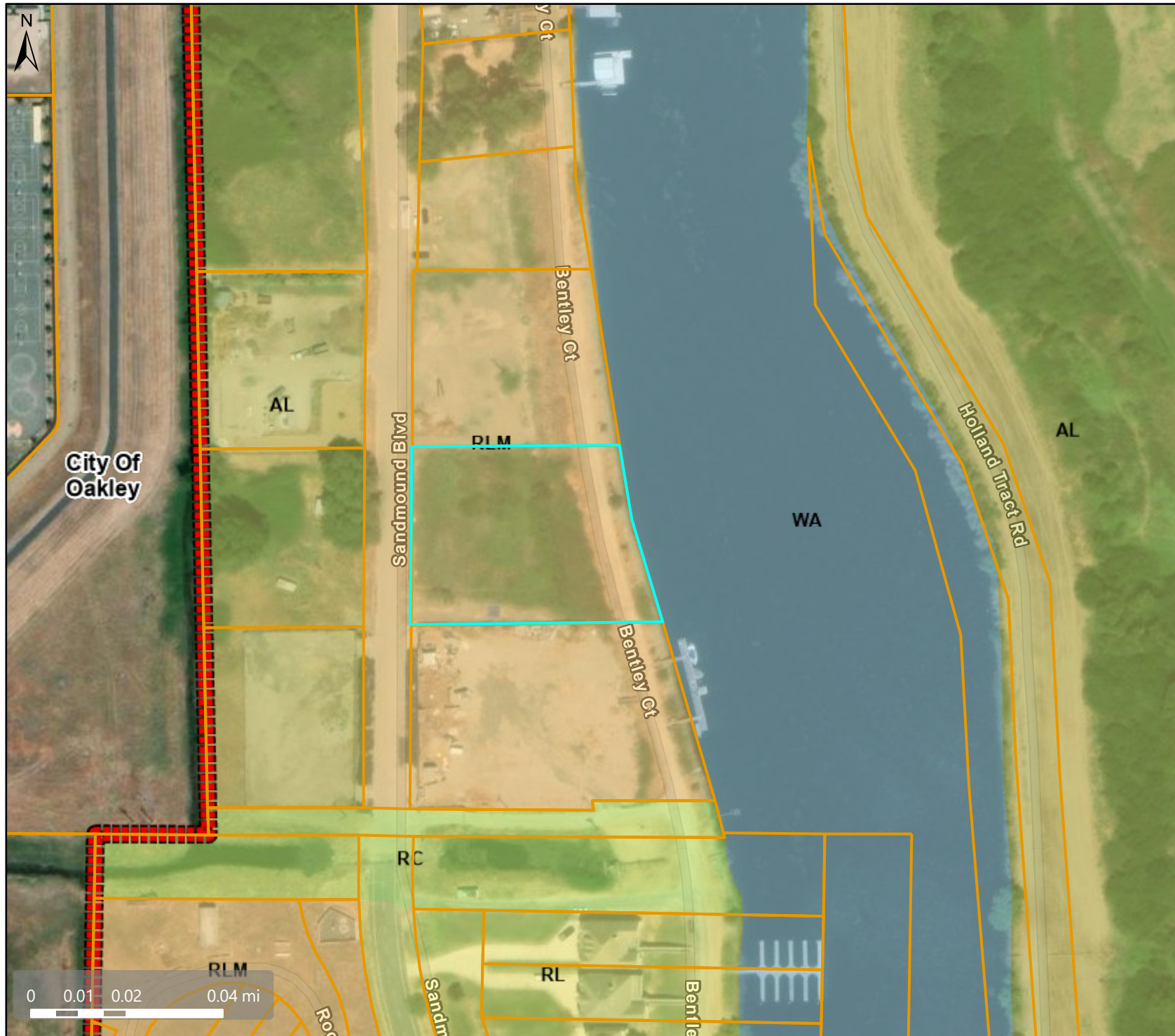
16/07

312

05

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON, ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

General Plan: Residential Low-Medium Density



Map Legend

Assessment
Parcels

Planning

General Plan

RL (Residential
Low Density)
(1-3 du/na)

RLM
(Residential
Low-Medium
Density) (3-7
du/na)

RC (Resource
Conservation)

AL (Agricultural
Lands) (1 du/10
ac) (1 du/20 ac
in DPZ)

WA (Water)

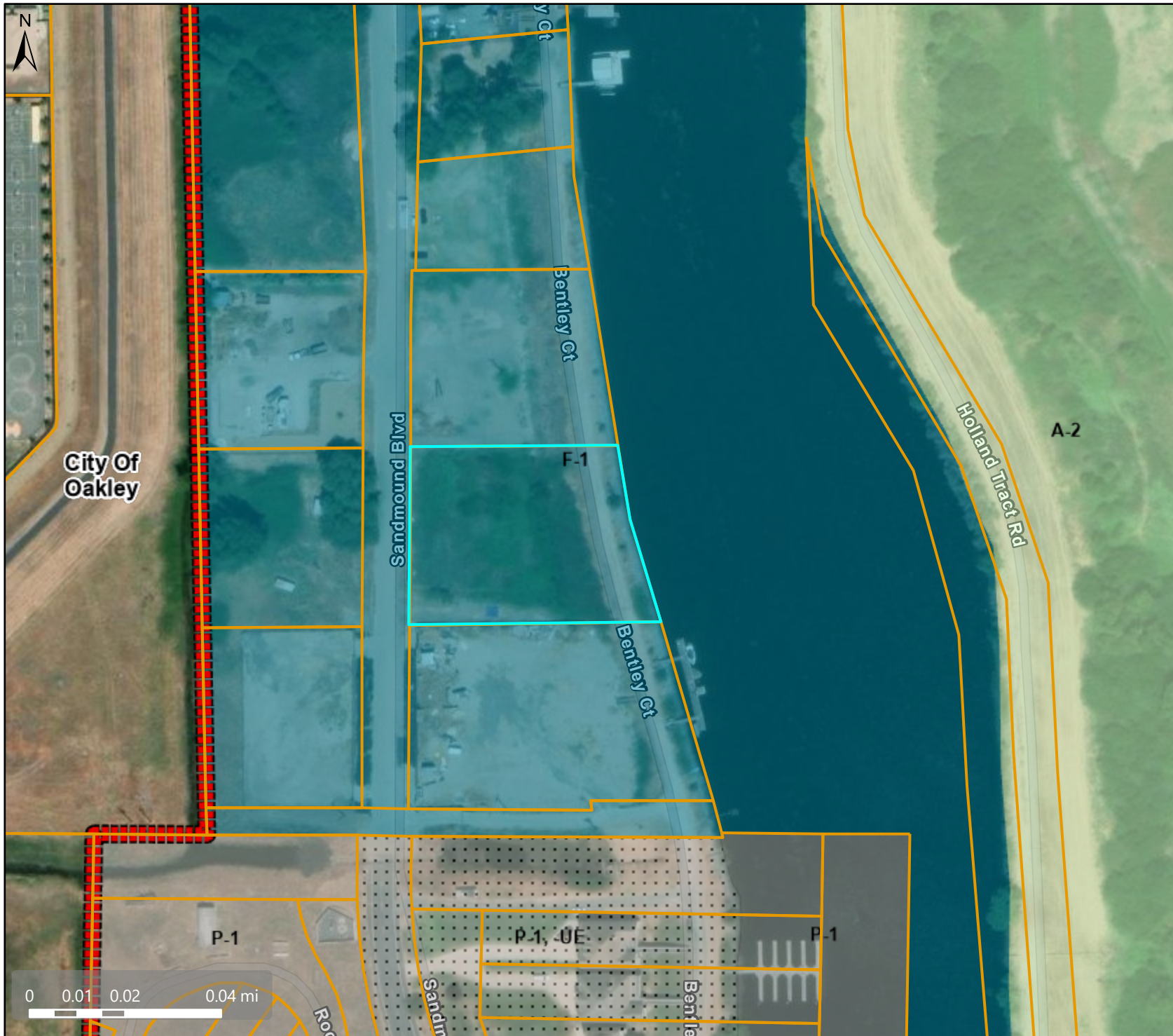
City Limits

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

Zoning: F-1



Map Legend

Assessment
Parcels

Planning

Zoning

ZONE_OVER

F-1 (Water
Recreational)

A-2 (General
Agriculture)

P-1 (Planned
Unit)

P-1 -UE (Urban
Exclusion)

City Limits

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMAP is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMAP application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

Orthophotography



Map Legend

Assessment
Parcels

Planning

City Limits

2019 Aerial
Imagery

Aerials 2019

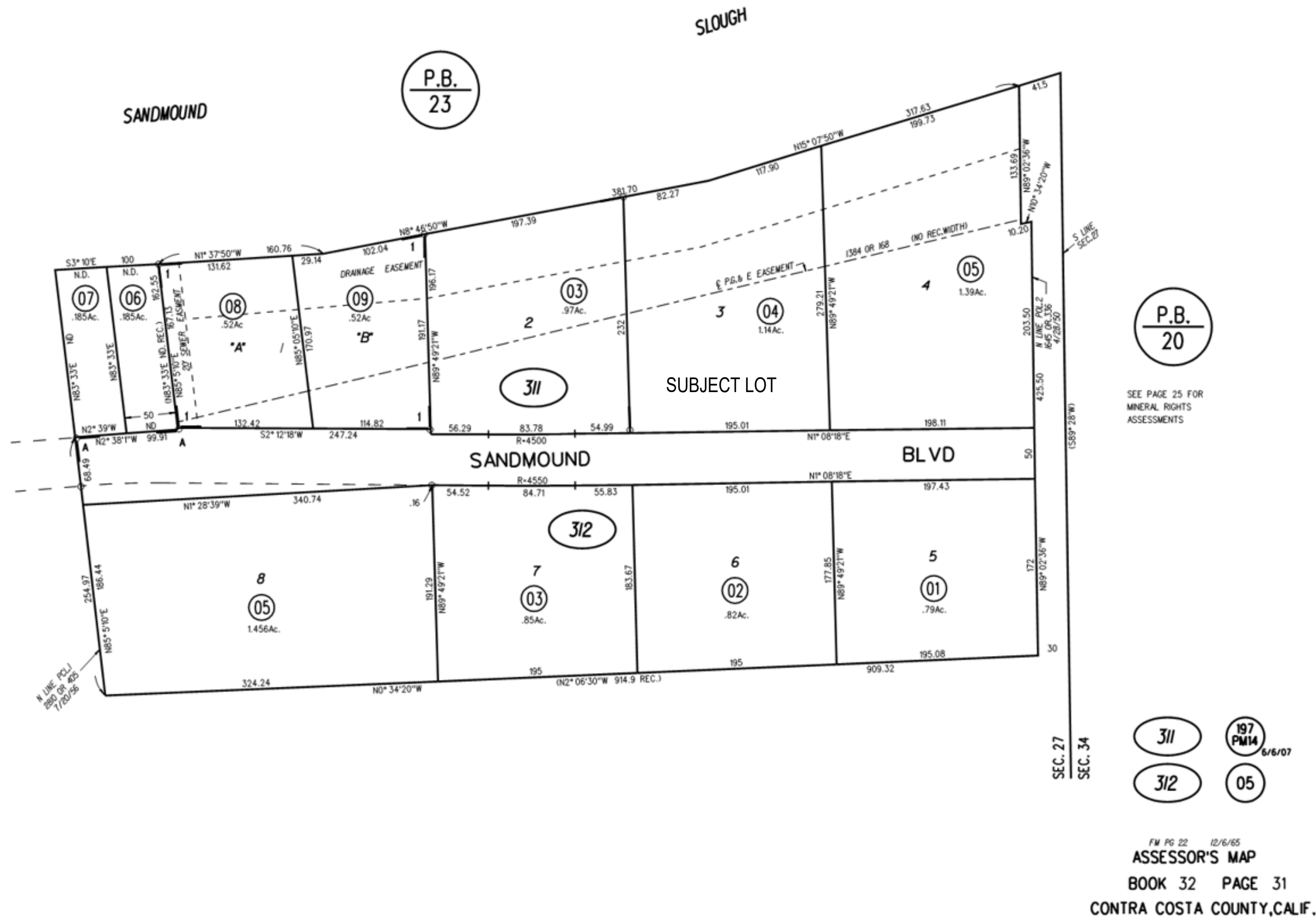
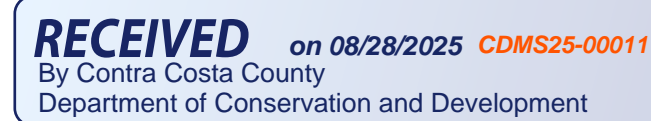
RGB

Red: Band_1
 Green: Band_2
 Blue: Band_3

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary S
Datum: WGS 1984

ASSESSOR'S MAP



SCOPE OF WORK

- SUBDIVIDING A VACANT RESIDENTIAL LOT TO CREATE THREE ROUGHLY EQUAL RESIDENTIAL LOTS

OWNER INFORMATION

JIAN HAO, HUANG
530 PECAN DRIVE
RIPON, CA 95366
PHONE: 415-889-7173

ZONING SUMMARY (F-1)

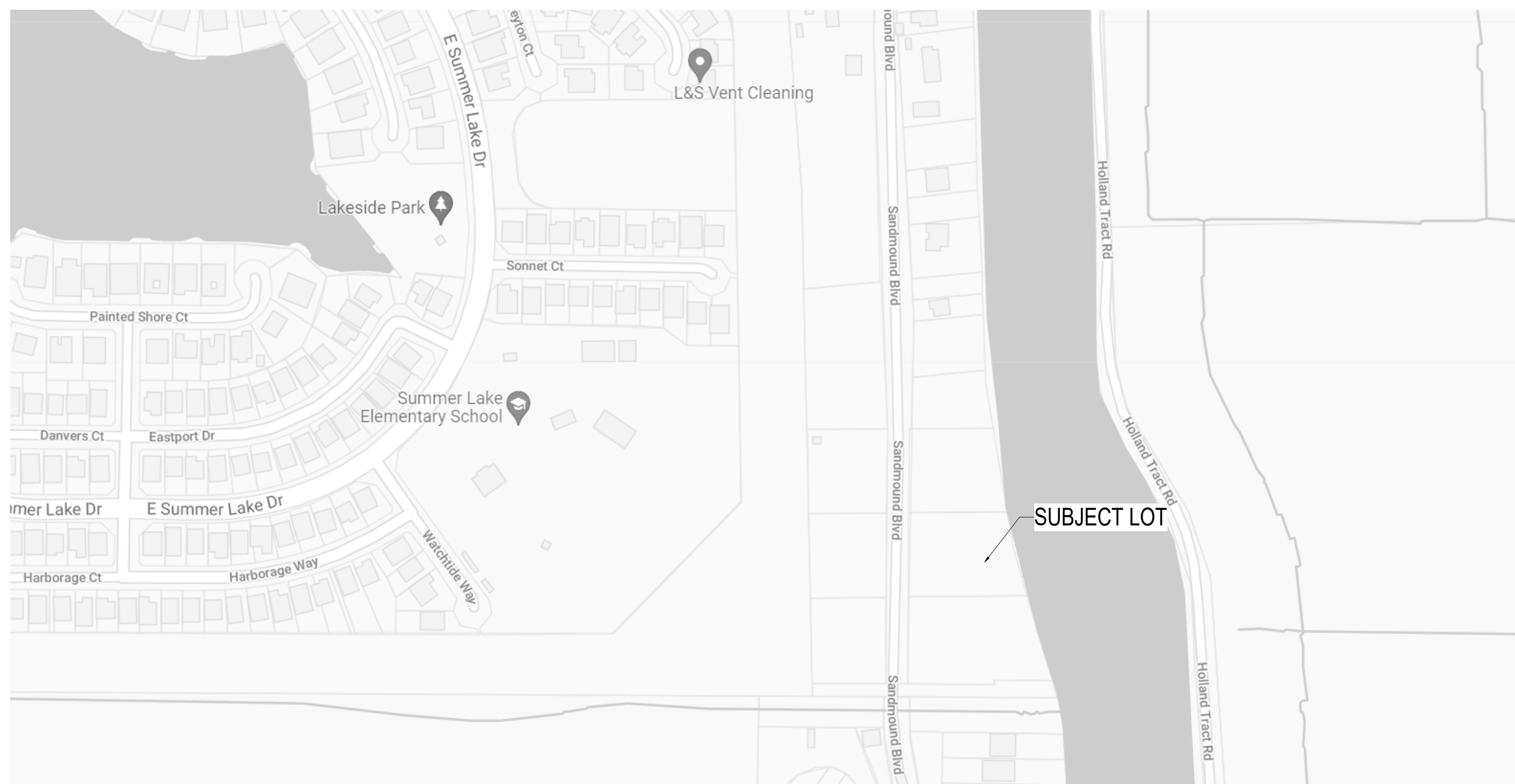
PARCELS (APN): 032-311-004
LEGAL DESCRIPTION: TRACT 3561 LOT 3
ADDRESS: 4130 SANDMOUND BLVD, OAKLEY, CA 94561
LOT AREA: 1.14 ACRE
ZONING: F-1 (WATER RECREATIONAL DISTRICT)
ALL THE USES DESIGNATED FOR THE R-6 DISTRICT IN SECTION 84-4.404 EXCEPT FOR THE DELETION
OF "COMMERCIAL NURSERIES, ECT." (2) COMMERCIAL BOAT HARBORS.

OCCUPANCY	R3
TYPE OF CONSTRUCTION	VACANT LOT
MAX HEIGHT	35 FEET
MAX NO. STORIES	TWO AND ONE-HALF
MIN OFF STREET PARKING	2 SPACE
FRONT SETBACK	20 FEET
SIDE SETBACK	5 FEET
REAR SETBACK	15 FEET

SHEET INDEX

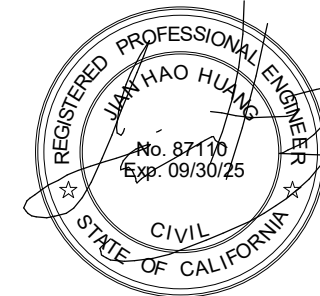
0.0	COVER SHEET
0.1	SITE PLANS

JOB LOCATION



JIAN HUANG
HAO.ENGR@GMAIL.COM
T 415.889.7173

STAMP



JIAN HAO HUANG C-87110

JOB ADDRESS:

4130 SANDMOUND BLVD
OAKLEY, CA 94561

MINOR SUBDIVISION
4120 SANDMOUND BLVD
OAKLEY, CA 94561
APN: 032-311-005-9

APPROVAL STAMP

Issue History

[illegible]

Sheet Title

COVER SHEET

SHEET SIZE: 24"x36"

SIZE CHECK

Project number 4130 SANDMOUND

Date	Issue Date
------	------------

Drawn by	JHH
----------	-----

Sheet Number

0.0

Scale	AS SHOWN
-------	----------



Engineering & Construction

JIAN HUANG
HAO.ENGR@GMAIL.COM
T 415.889.7173



JIAN HAO HUANG C-87110

JOB ADDRESS:

4130 SANDMOUND BLVD
OAKLEY, CA 94561

MINOR SUBDIVISION
4120 SANDMOUND BLVD
OAKLEY, CA 94561
APN: 032-311-005-9

APPROVAL STAMP

Issue History

No.	Description	Date

Sheet Title

SITE PLANS

SHEET SIZE: 24"x36"

SIZE CHECK

0" 1" 2"

Project number 4130 SANDMOUND

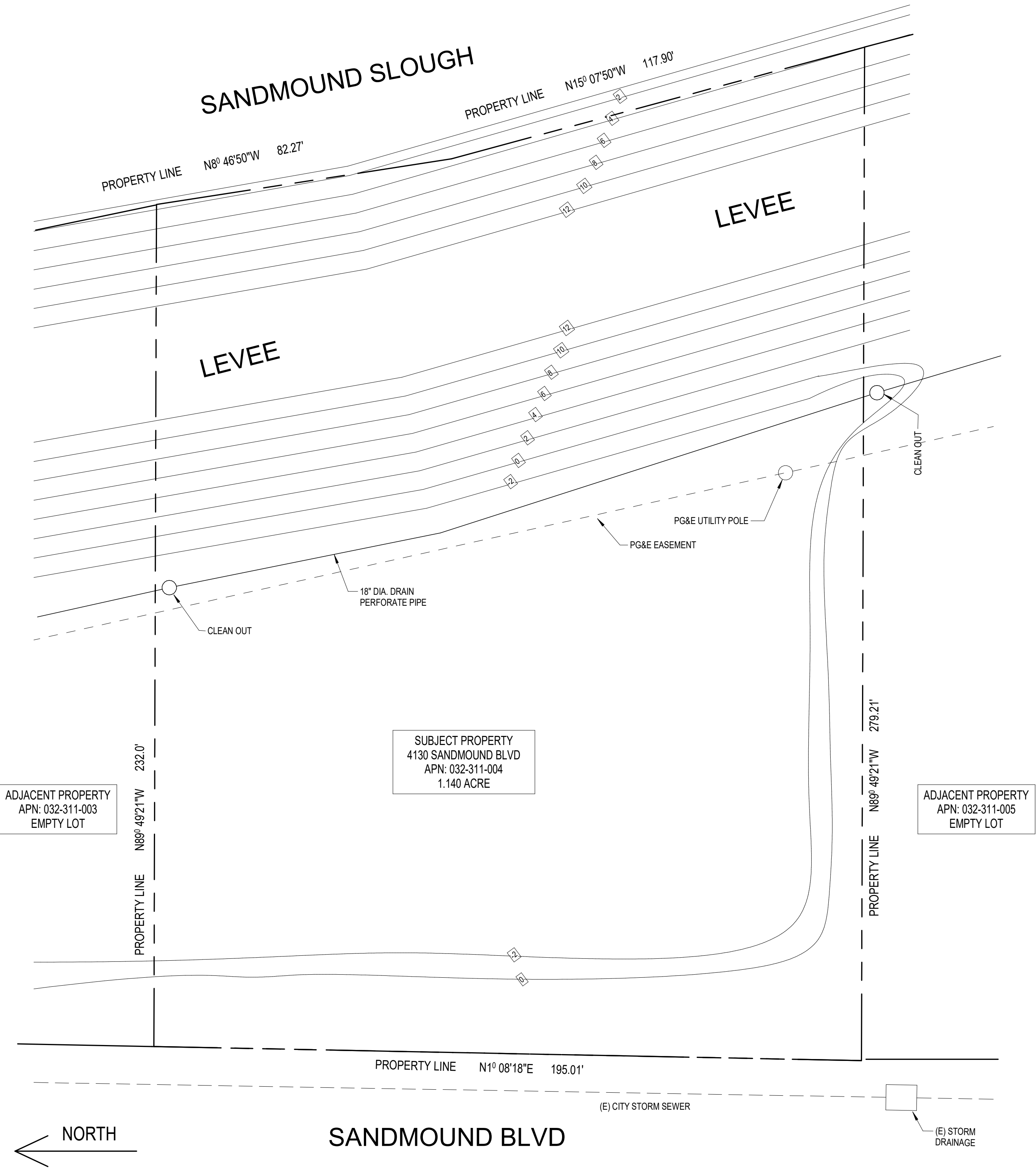
Date Issue Date

Drawn by JHH

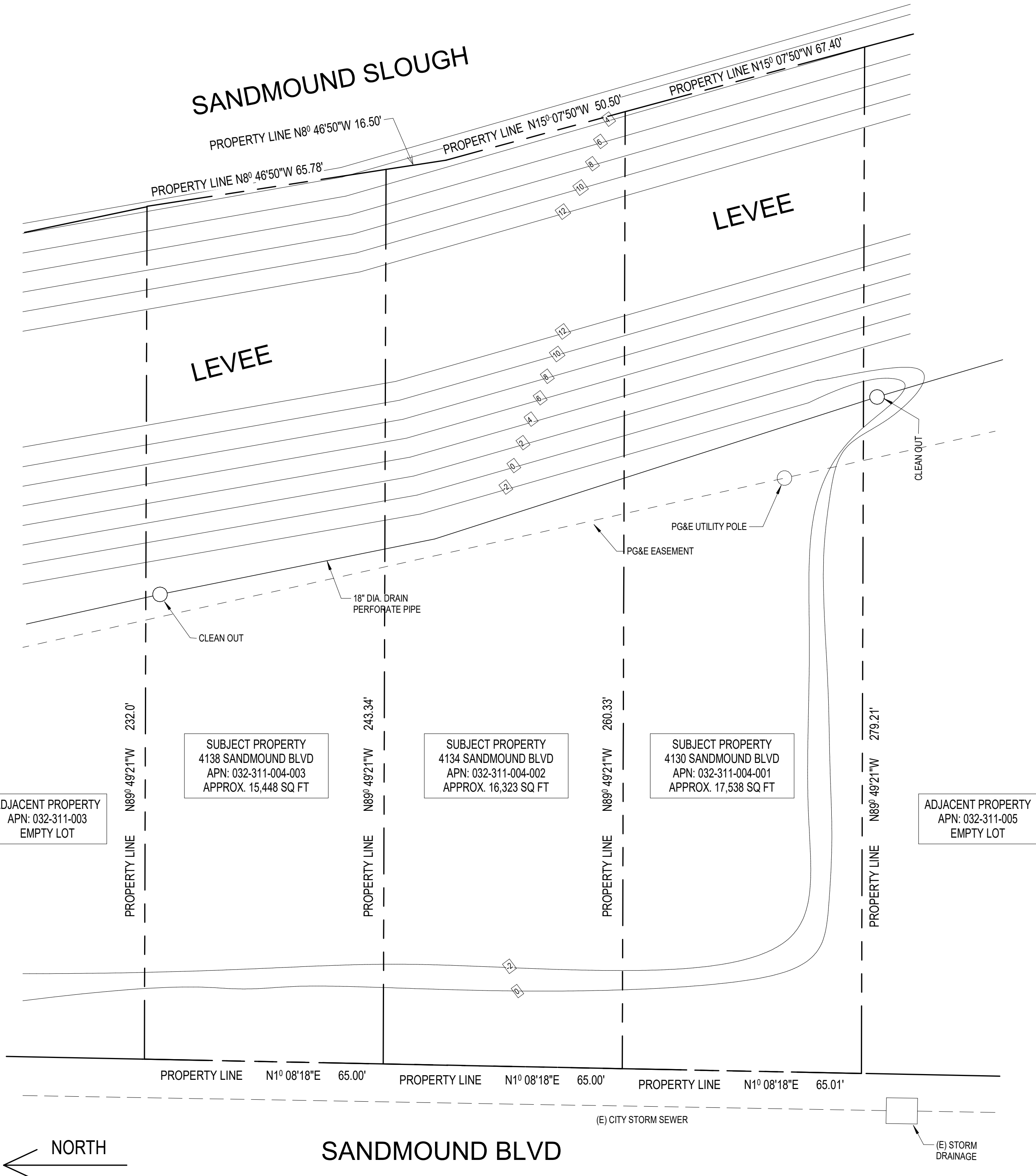
Sheet Number

0.1

Scale AS SHOWN



2 EXISTING SITE PLAN & GRADING PLAN



1 PROPOSED SITE PLAN



CONTRA COSTA COUNTY

1025 ESCOBAR STREET
MARTINEZ, CA 94553

Staff Report

File #: 26-09

Agenda Date: 1/6/2026

Agenda #: 8c.



AGENCY COMMENT REQUEST

Date 12/11/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
Advance Planning Housing Programs
Trans. Planning Telecom Planner
ALUC Staff HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services Special Districts
Traffic

☒ Flood Control (Full-size)

LOCAL

☒ Fire District _____
San Ramon Valley – (email) rwendel@srvfire.ca.gov
☒ Consolidated – (email) fire@cccfd.org

☒ Sanitary District _____ iron house
Water District _____
City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC _____ Bethel Island

☒ Improvement/Community Association
CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

Bethel Island Municipal Improvement District

Please submit your comments to:

Project Planner Everett Louie
Phone # 925-655-2873
E-mail everett.louie@dcd.cccounty.us
County File # CDVR25-01064
Prior to 01/09/2026

We have found the following special programs apply to this application:

☒ Landslide ☒ Active Fault Zone (A-P)
☒ Liquefaction ☒ Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01064

File Date: 12/11/2025

Applicant:

JUAN SILVA HOMETOWN ELITE PRO
BUILDER
200 ROSSI AVENUE
ANTIOCH, CA 94509

hometownelitepro@gmail.com
510-804-6644

Property Owner:

JUAN SILVA
200 ROSSI AVENUE
ANTIOCH, CA 94509

lilibeth@hometownelitepro.com
(510) 804-6644

Project Description:

The applicant requests approval of a Variance and Small Lot Design Review to allow a 10" aggregate side yard setback (where 15' is the required minimum) for the construction of a new three-story, 3,460 square-foot single-family residence with an 1,380 square-foot elevated deck in the Flood Hazard (-FH) Combining District, on a lot of substandard average width.

Project Location: (Address: 3910 STONE RD, BETHEL ISLAND, CA 94511 053), (APN: 031140072)

Additional APNs: 031-140-036

General Plan Designation(s): RLM:WA

Zoning District(s): "F-1 : F-1, -FH"

Flood Hazard Areas: AE

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
VRS0044P	Zone Variance - PW	000651-9660-REV-000-6L0044	1000.00	1000.00
Total:			4337.00	4337.00

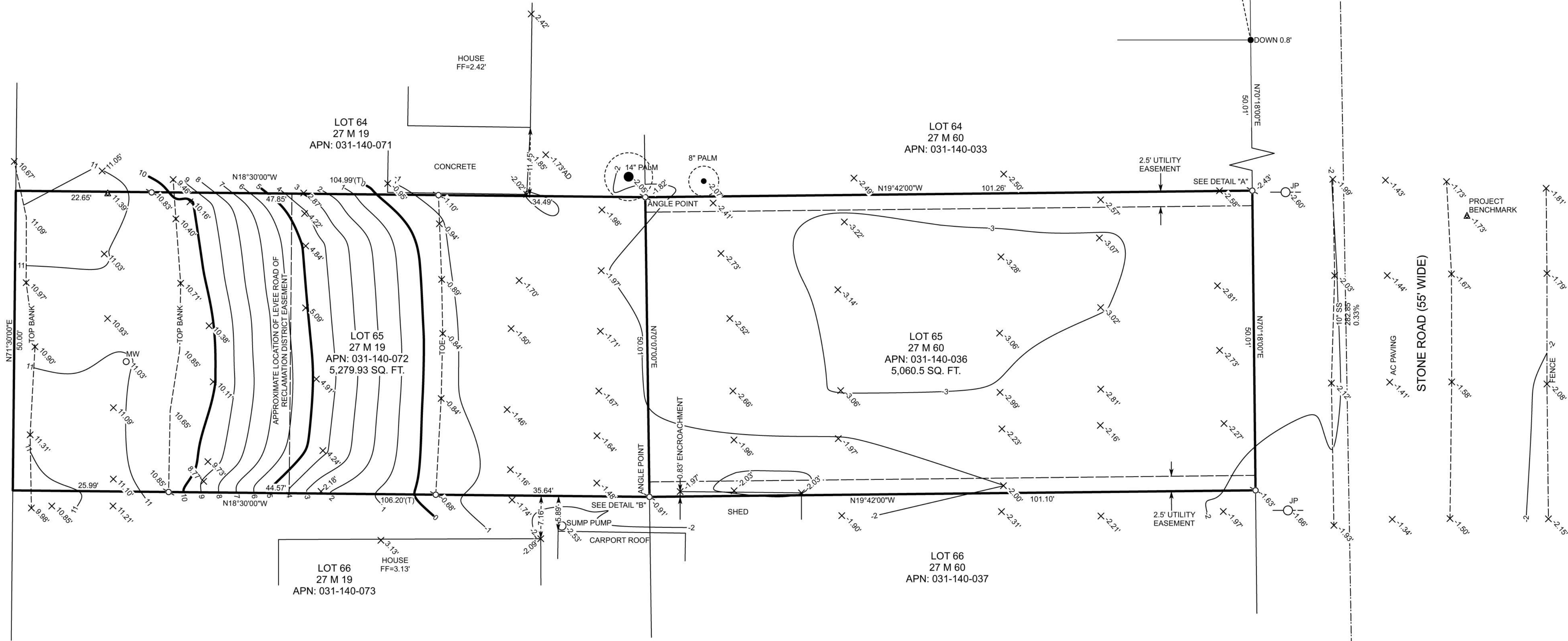
3910 STONE RD, BETHEL ISLAND, CA 94511

EVA ARCHITECTS
1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

70

SANDMOUND SLOUGH

WATERS EDGE



EASEMENT NOTE
EASEMENT DESCRIBED IN BOOK 749 OF OFFICIAL RECORDS PAGE 352
AS CALLED FOR IN PRELIMINARY REPORT BY OLD REPUBLIC TITLE
COMPANY (ORDER# 0132011154-AH) DOES NOT AFFECT EITHER OF
THESE LOTS. THE EASEMENT'S PLOTTED LOCATION IS APPROXIMATELY
3000' TO THE WEST OF BOTH LOTS 65 AS SHOWN ON THIS SURVEY.

LEGEND

- SET 5/8" REBAR & CAP PLS 7271
- SET 5/8" REBAR WITH CAP CONTROL POINT
- FOUND 3/4" IRON PIPE MONUMENT, RCE 18876, NO RECORD
- FOUND REBAR MONUMENT AS NOTED, NO RECORD
- SS MH SANITARY SEWER MANHOLE
- FF FINISH FLOOR
- MW MONITORING WELL
- AD AREA DRAIN
- (T) TOTAL MEASUREMENT
- JP JOINT UTILITY POLE
- FL FLOW LINE

FEMA INFORMATION

CONTRA COSTA COUNTY UNINCORPORATED AREA: 060025
PANEL: 06013C0200F
DATE: 6/16/2009
FLOOD ZONE: AE
BFE: 9'

ELEVATIONS ARE BASED ON NAVD83 DATUM ESTABLISHED BY GPS OBSERVATION



BOUNDARY & TOPOGRAPHIC SURVEY

LOT 65, 27 M 19 & LOT 65, 27 M 60
CONTRA COSTA COUNTY RECORDS
3910 STONE RD., BETHEL ISLAND CA, 94511

NIERHAKE SURVEYING

140 VIA VAQUEROS
MARTINEZ, CA 94553
PHONE: (925) 681-9853
EMAIL: mnierrake@gmail.com
HOMETOWN ELITE PRO BUILDERS
ATTN: JUAN SILVA
PREPARED FOR: 200 ROSS AVE, ANTIOCH, CA 94509

CONTOUR INTERVAL
1'
SCALE:
1" = 10'
DATE OF SURVEY:
3/23/24
SHEET:
1 OF 1
JOB NO.
2408
FILE NAME:
2408.vwx

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

SITE PLAN

PROPOSED SITE PLAN

1" = 10'-0"

1

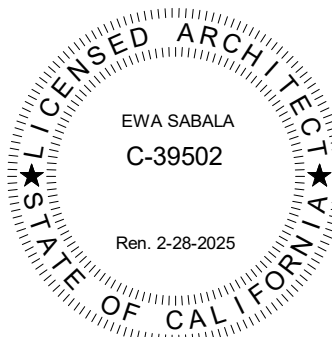
LOT COVERAGE CALCULATIONS

LOT SIZE: 13,685 SF
PROPOSED AREAS:
PAVERS: 2,781 SF
STRUCTURES/ ROOFS: 1,807 SF
PROPOSED IMPERVIOUS COVERAGE: 4,568 SF (33.3%)
PROPOSED LANDSAPED AREA: 9,117 SF

GRAPHIC KEY

- (E) ELEMENTS
- NEW ELEMENTS
- EASEMENTS & OTHER
- PROPERTY LINE
- BUILDING WALL
- NEW RETAINING WALL
- NEW CONCRETE PAVING
REFER TO CIVIL
- (E) STRUCTURES

ARCHITECT STAMP



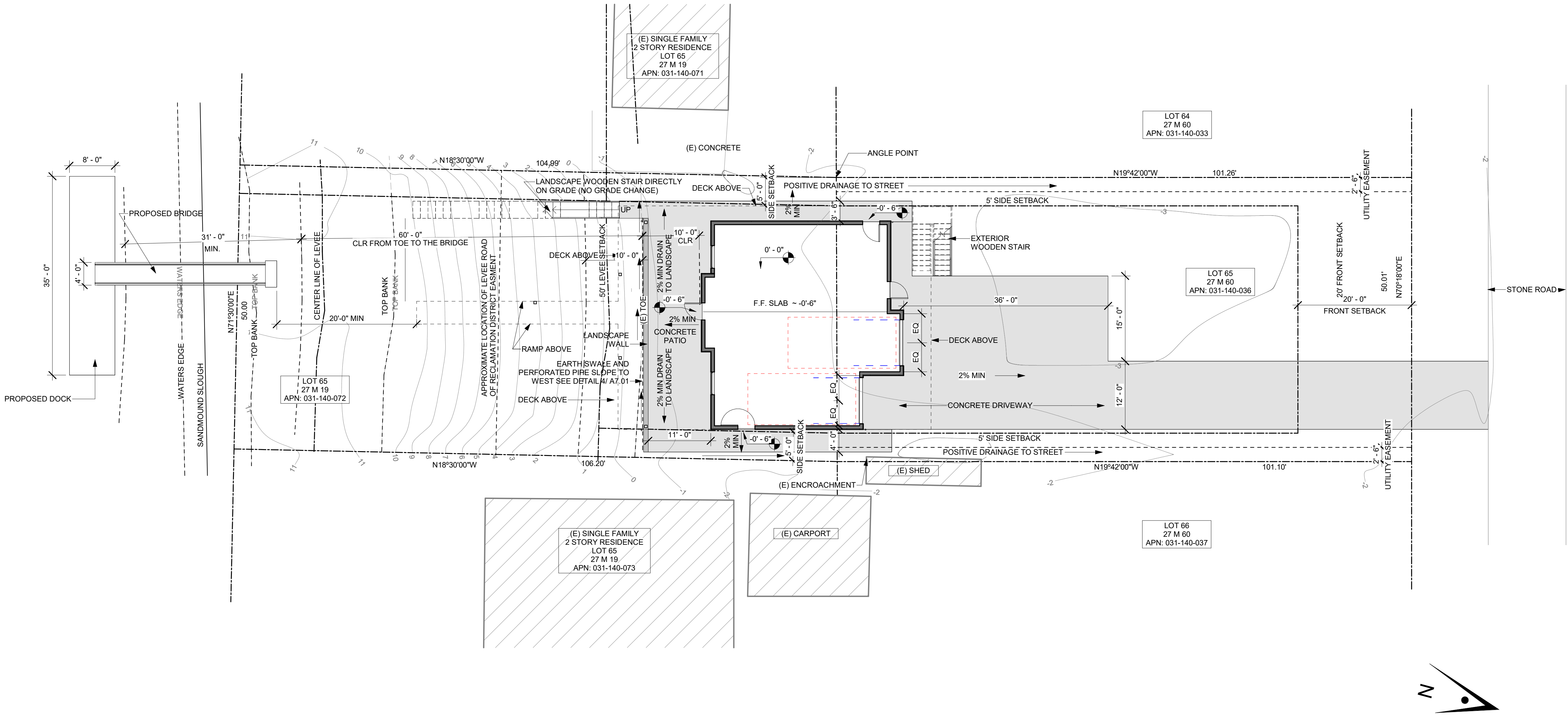
APPLICATION NUMBER

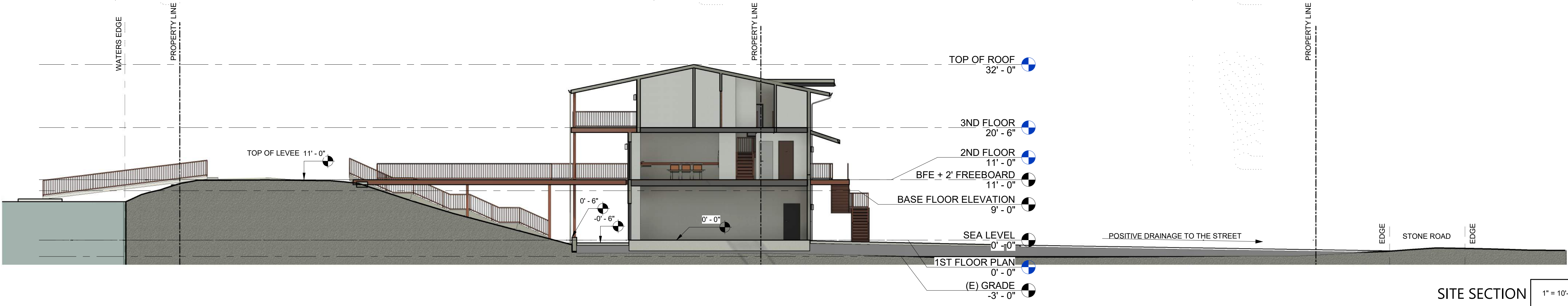
DATE

PROJECT NUMBER

DRAWING NUMBER

A1.01





EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

SITE SECTION

1" = 10'-0"

3

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

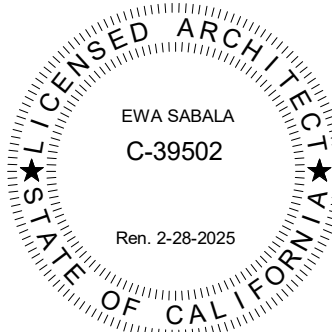
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

PROPOSED SITE SECTION
& PERSPECTIVES

ARCHITECT STAMP



APPLICATION NUMBER

DATE

PROJECT NUMBER

DRAWING NUMBER

A1.03

3D PERSPECTIVE 1

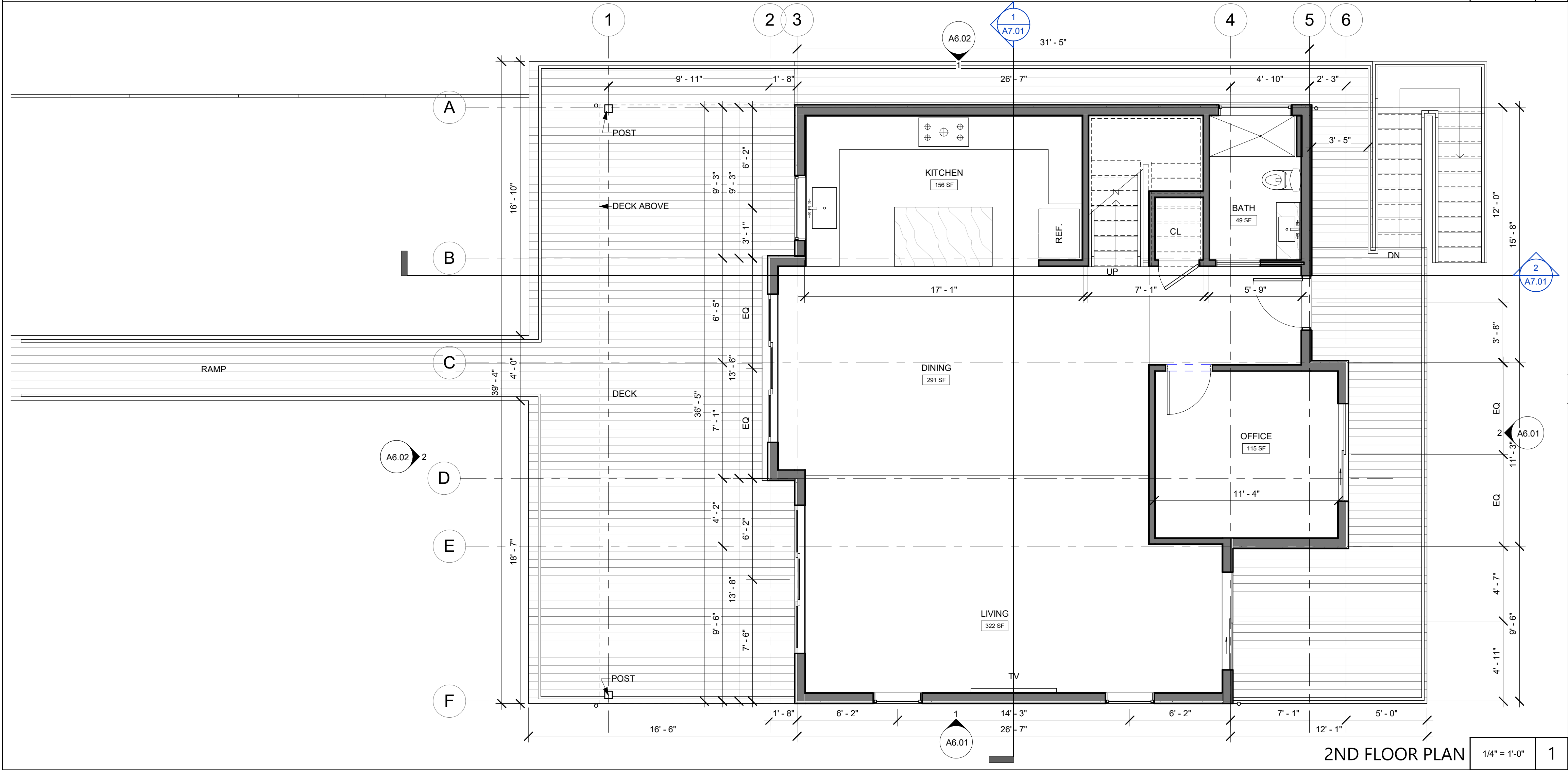
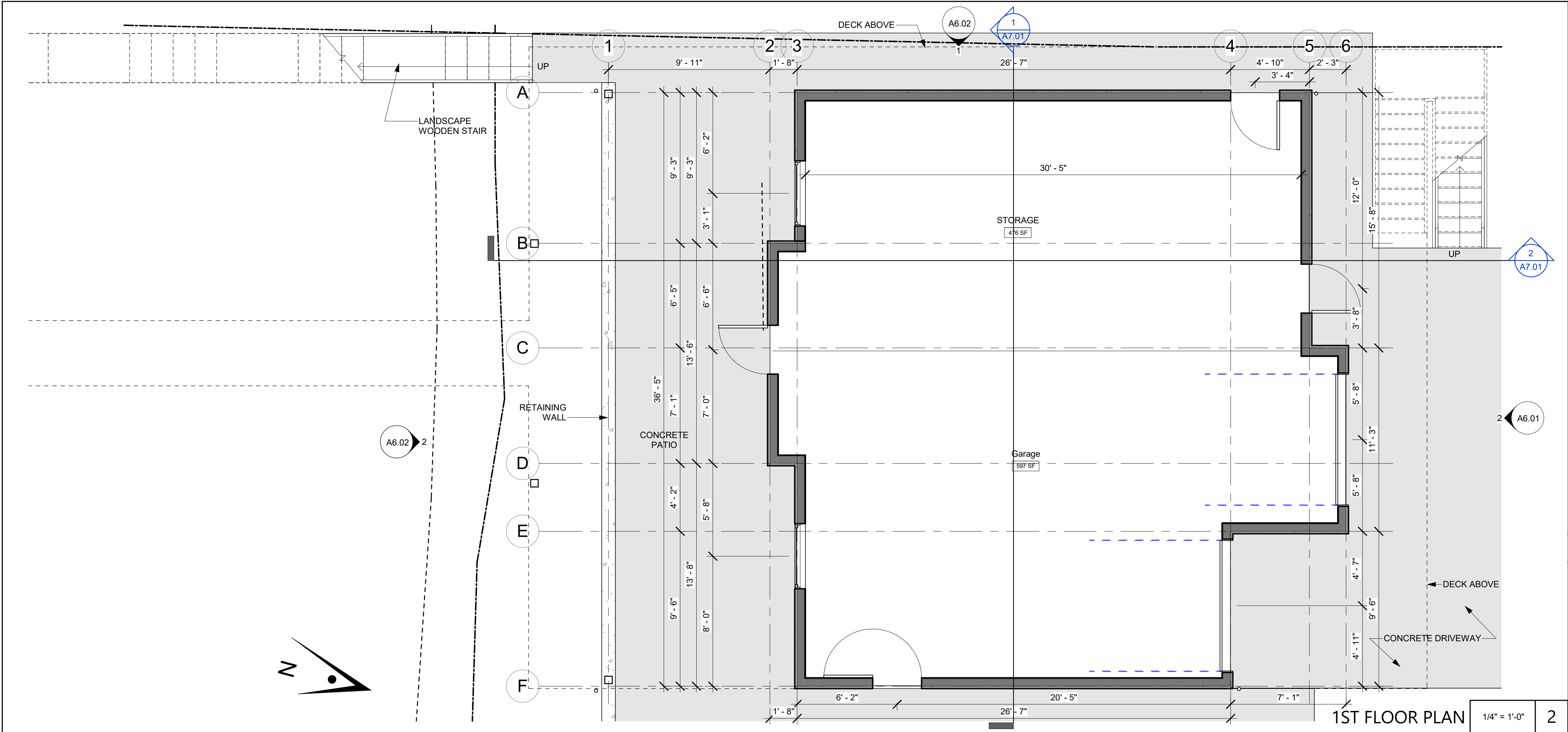
2



3D PERSPECTIVE 2

1





KEYNOTES

GRAPHIC KEY

- PARTITION WALL, REFER TO A12.30
- WALL TYPES, REFER TO A12.30
- DOOR TYPE, SEE DOOR SCHEDULE
- WINDOW TYPE, SEE WINDOW SCHEDULE
- CONCRETE PAVING
- DECK
- ASPHALT SHINGLE ROOFING

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

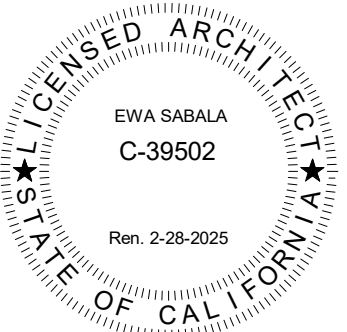
3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

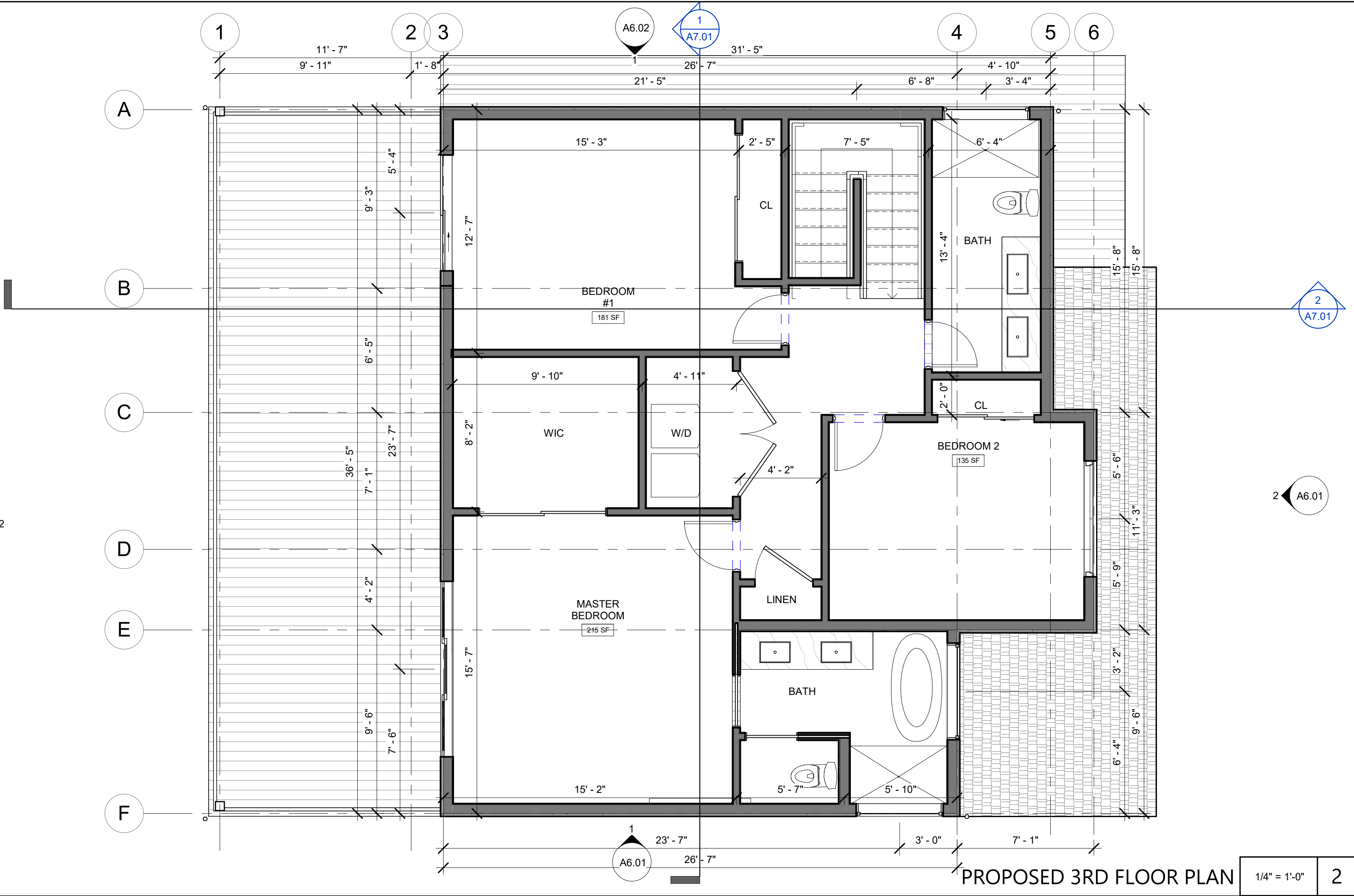
No.	Description	Date
	Planning set	7/01/25

TITLE 1ST & 2ND FLOOR PLAN

ARCHITECT STAMP



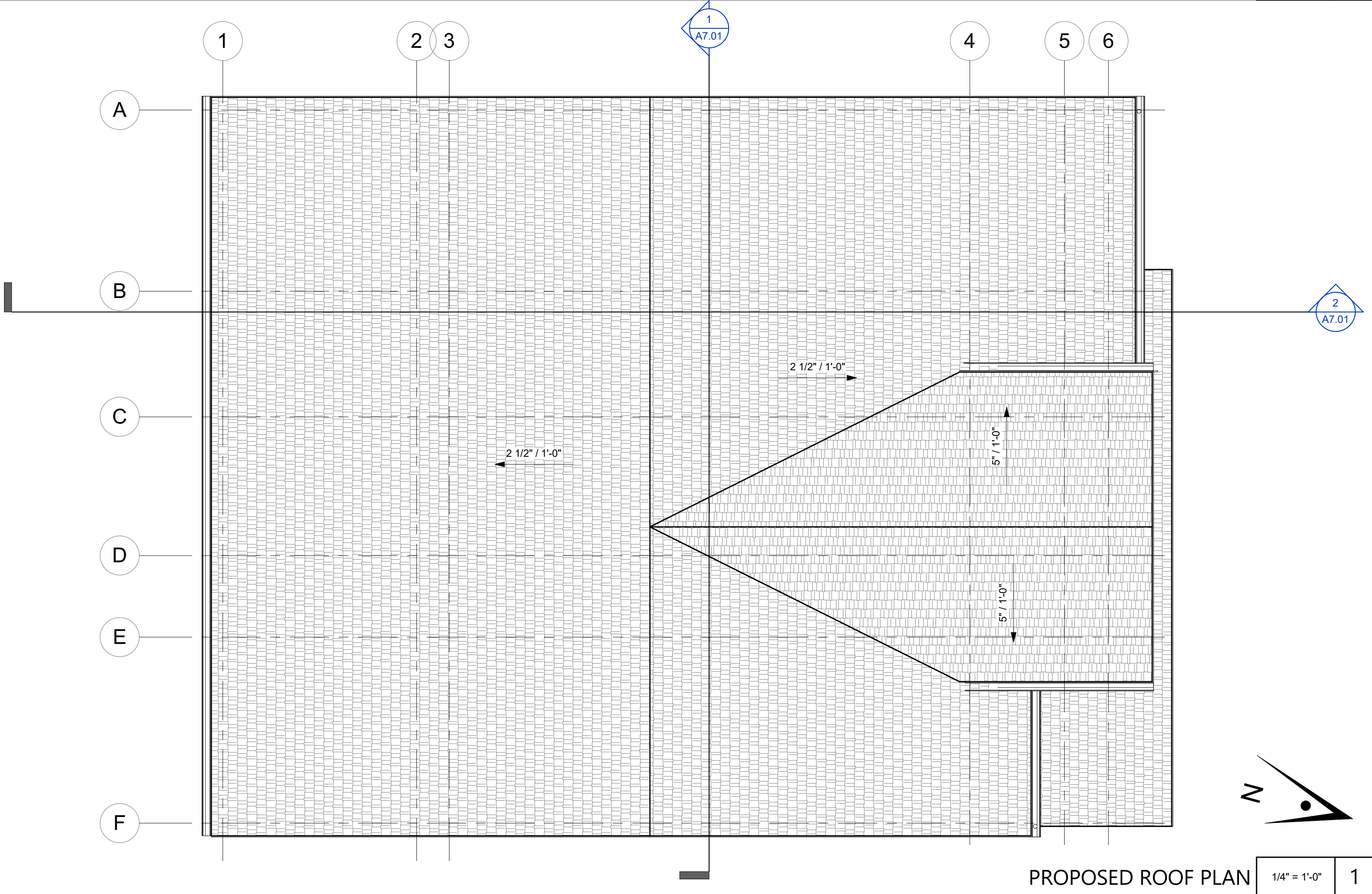
APPLICATION NUMBER	DRAWING NUMBER
DATE 10/13/2025	A3.01
PROJECT NUMBER 25007	



PROPOSED 3RD FLOOR PLAN

1/4" = 1'-0"

2



PROPOSED ROOF PLAN

1/4" = 1'-0"

1

KEYNOTES

GRAPHIC KEY

- PARTITION WALL, REFER TO A12.30
- WALL TYPES, REFER TO A12.30
- DOOR TYPE, SEE DOOR SCHEDULE
- WINDOW TYPE, SEE WINDOW SCHEDULE
- CONCRETE PAVING
- DECK
- ASPHALT SHINGLE ROOFING

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

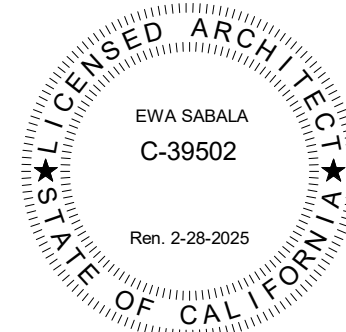
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

3ND FLOOR PLAN &
ROOF PLAN

ARCHITECT STAMP



APPLICATION NUMBER

DATE

10/13/2025

PROJECT NUMBER

25007

DRAWING NUMBER

A3.02



NORTH ELEVATION

1/4" = 1'-0"

2

EXTERIOR WALL FINISH

- 

STUCCO
LAHABRA OR EQUAL
COLOR: DOVE GRAY OR SIM
- 

HARDIE PANEL
CA FIRE BUILDING MATERIAL LISTING
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR 1: ARTIC WHITE OR SIM
COLOR 2: PEARL GRAY OR SIM
- 

HARDIE TRIM & BATTEN BOARDS
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR: IRON GRAY OR SIM
SPACING: 12" (4 PER PANEL) or 9 5/8" (5 PER PANEL)
- 

ASPHALT SHINGLE ROOFING
CERTAINTED RESIDENTIAL ROOFING SHINGLES
FIRE RESISTANT, UL 790 CLASS A
COLOR: MOIRE BLACK OR PEWTER, OR EQUAL
- DECK STRUCTURE:**
FIRE-RETARDANT TREATED WOOD POST SIZE: 6X6
JOIST SIZE: TBD
SPECIES: DOUGLAS FIR, STANDARD GRADE
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- DECKING & STAIR TREADS**
FIRE-RETARDANT TREATED WOOD DECKING SIZE: 2X6
STAIR TREADS: USE DECKING BOARDS SPECIES: WESTERN RED CEDAR
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- GUARDRAILS**
FIRE-RETARDANT TREATED WOOD
- GUARDRAIL POSTS SIZE 4X4, SPACING 4'-0" O.C. MAX
SPECIES: DOUGLAS FIR
- GUARDRAIL BOARDS SIZE 1X4, SPACING B/W BOARDS 3" MAX SPECIES:
WESTERN RED CEDAR
- FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- SITE RETAINING WALL**
POURED IN-PLACE CONCRETE COLOR:NATURAL
- 

EXTERIOR WALL LIGHTS:
PARPHONER OUTDOOR SCONCE OR EUQAL
FINISH: BLACK
- 

LUTEC
2000 LUMEN 18 WATT 28 LEED DUAL HEAD FLOOD LIGHT OUTDOOR,
WATERPROOF EXTERIOR SECURITY LIGHT ON SENSOR, OR EQUAL
FINISH: BLACK

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

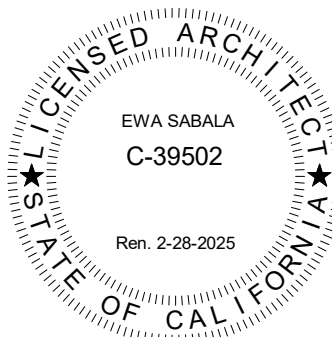
3910 STONE RD, BETHEL ISLAND, CA
94511

No.	Description	Date
	Planning set	7/01/25

TITLE

ELEVATIONS

ARCHITECT STAMP



APPLICATION NUMBER

DATE

PROJECT NUMBER

DRAWING NUMBER

A6.01



EAST ELEVATION

1/4" = 1'-0"

1



SOUTH ELEVATION

1/4" = 1'-0" 2

EXTERIOR WALL FINISH

- STUCCO**
LAHABRA OR EQUAL
COLOR: DOVE GRAY OR SIM
- HARDIE PANEL**
CA FIRE BUILDING MATERIAL LISTING
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR 1: ARTIC WHITE OR SIM
COLOR 2: PEARL GRAY OR SIM
- HARDIE TRIUM & BATTEN BOARDS**
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR: IRON GRAY OR SIM
SPACING: 12" (4 PER PANEL) or 9 5/8" (5 PER PANEL)
- ASPHALT SHINGLE ROOFING**
CERTAINTED RESIDENTIAL ROOFING SHINGLES
FIRE RESISTANT, UL 790 CLASS A
COLOR: MOIRE BLACK OR PEWTER, OR EQUAL

- DECK STRUCTURE:**
FIRE-RETARDANT TREATED WOOD POST SIZE: 6X6
JOIST SIZE: TBD
SPECIES: DOUGLAS FIR, STANDARD GRADE
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- DECKING & STAIR TREADS**
FIRE-RETARDANT TREATED WOOD DECKING SIZE: 2X6
STAIR TREADS: USE DECKING BOARDS SPECIES: WESTERN RED CEDAR
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- GUARDRAILS**
FIRE-RETARDANT TREATED WOOD
- GUARDRAIL POSTS** SIZE 4X4, SPACING 4'-0" O.C. MAX
SPECIES: DOUGLAS FIR
- GUARDRAIL BOARDS** SIZE 1X4, SPACING B/W BOARDS 3" MAX SPECIES:
WESTERN RED CEDAR
- FIRE-RETARDANT TREATED**
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- SITE RETAINING WALL**
POURED IN-PLACE CONCRETE COLOR:NATURAL

- EXTERIOR WALL LIGHTS:**
PARPHONER OUTDOOR SCONCE OR EUQAL
FINISH: BLACK
- LUTEC**
2000 LUMEN 18 WATT 28 LEED DUAL HEAD FLOOD LIGHT OUTDOOR,
WATERPROOF EXTERIOR SECURITY LIGHT ON SENSOR, OR EQUAL
FINISH: BLACK

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

ELEVATIONS

ARCHITECT STAMP

EWA SABALA
C-39502
Rtn. 2-28-2025
STATE OF CALIFORNIA

APPLICATION NUMBER	DRAWING NUMBER
DATE	A6.02
PROJECT NUMBER	
10/13/2025	
25007	



WEST ELEVATION

1/4" = 1'-0" 1

EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

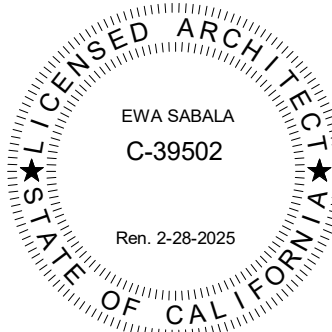
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

BUILDING SECTIONS

ARCHITECT STAMP



APPLICATION NUMBER

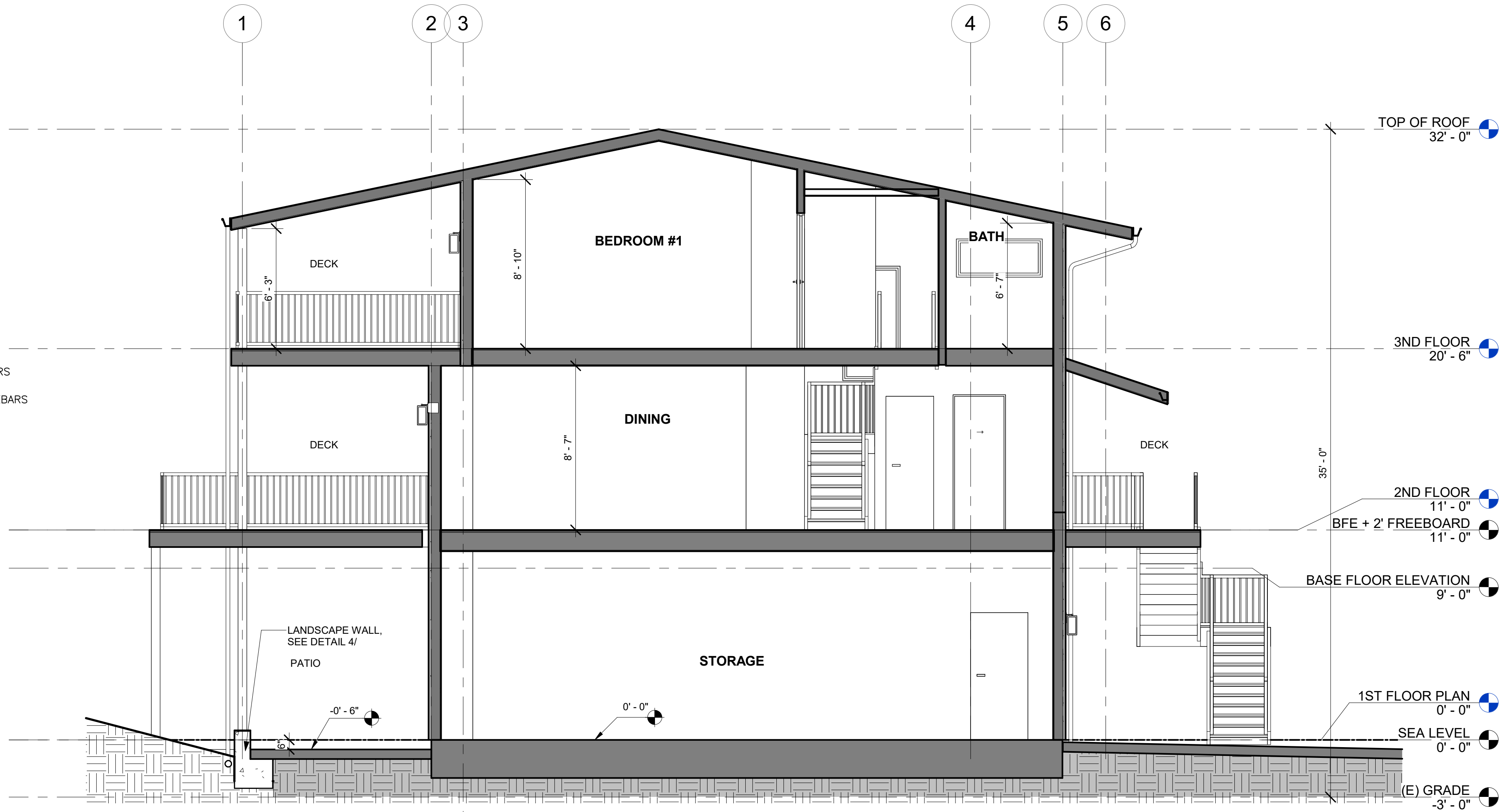
DATE

PROJECT NUMBER

DRAWING NUMBER

A7.01

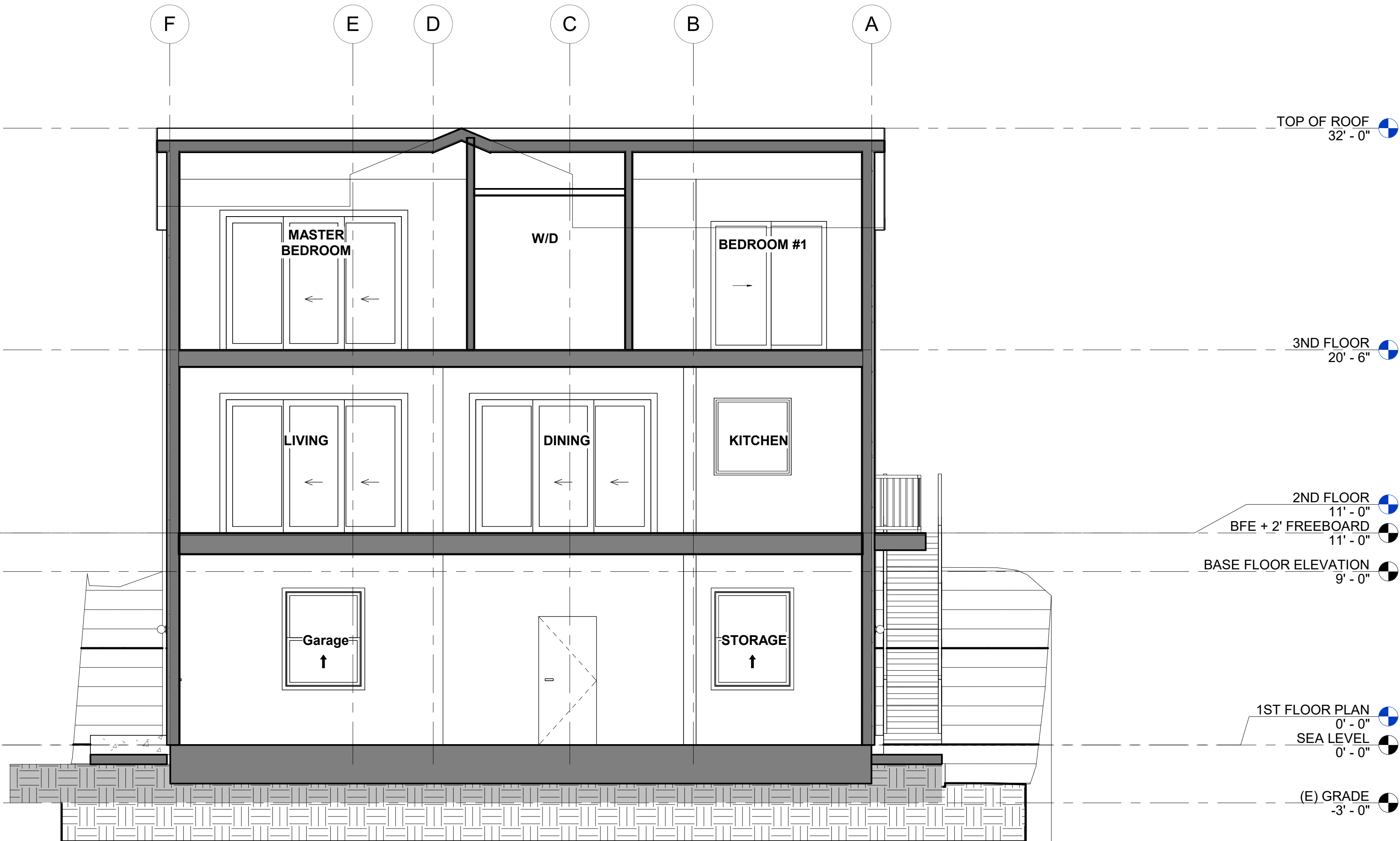
25007



SECTION

1/4" = 1'-0"

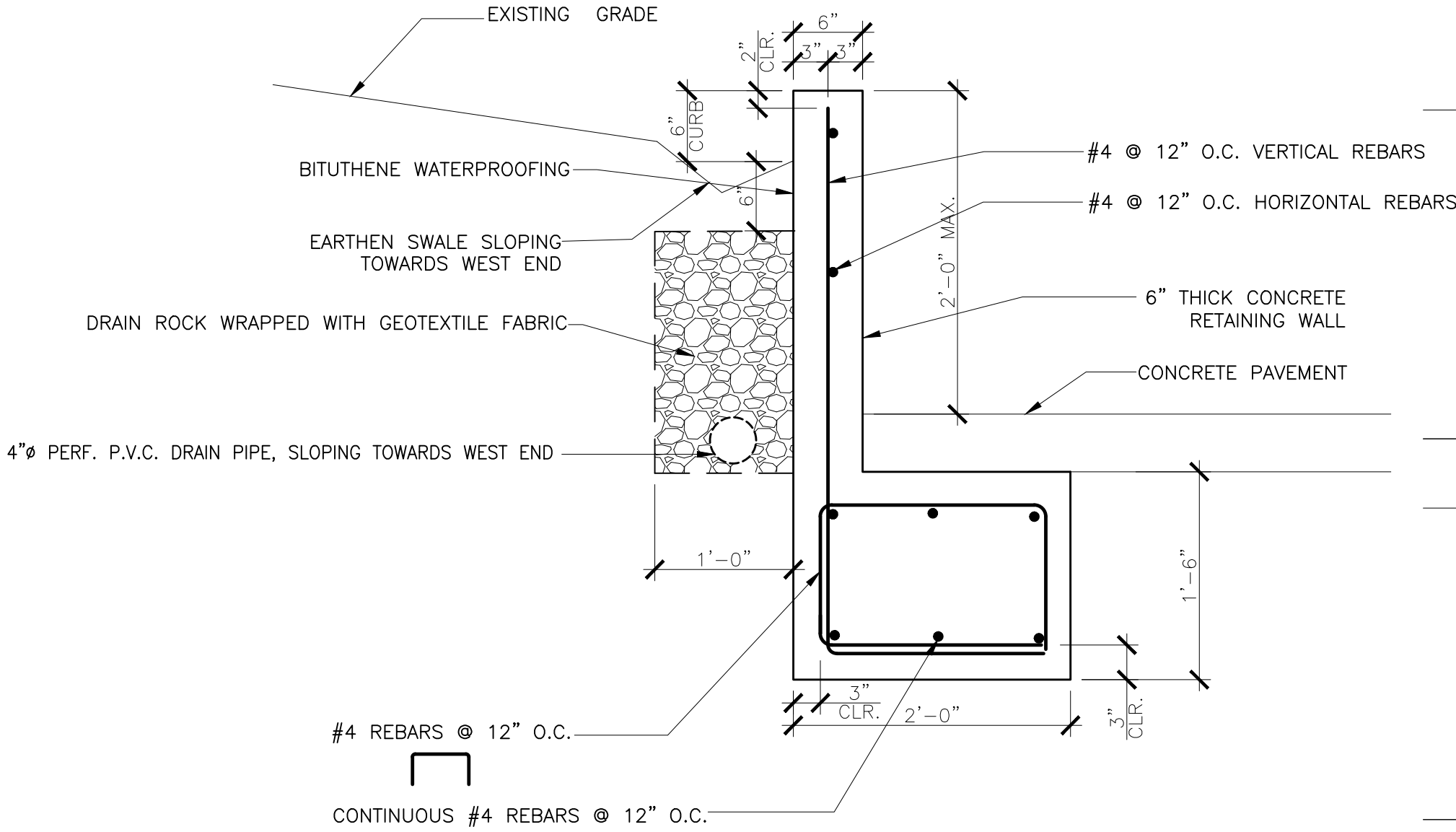
2



SECTION

1/4" = 1'-0"

1



4 2'-0" HIGH CONCRETE RETAINING WALL SECTION

SCALE: 1"=1'-0"

LOCATION MAP



LEGEND

- (N) OPEN DECKING OR WOOD STAIRS
- (N) RETAINING WALL
- (N) CONC. PAVEMENT
- POST CONSTRUCTION CONTOUR LINES
- BUILDING OUTLINE
- PROPERTY LINE
- GRADE SLOPE
- EARTHEN SWALE
- DOWNSPOUT LOCATIONS (SUBJECT TO ARCHITECT CONFIRMATION)

NOTES

- ALL TOPOGRAPHIC AND BOUNDARY INFORMATION WERE PROVIDED BY OWNER AND ARE BASED ON SURVEY BY NIERHAKE SURVEYING, DATED 3/23/2024.
- FOR BUILDING PLAN DRAWINGS SEE ARCHITECTURAL DRAWINGS.
- ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, UPLIFTED OR DEPRESSED DURING THE COURSE OF CONSTRUCTION, OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION, SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- A SEPARATE PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE APPLICANT/CONTRACTOR SHALL OBTAIN THE PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.
- RUNOFF SHALL NOT BE DIRECTED TO NEIGHBORING PROPERTIES

CUT AND FILL VOLUME [C.YD.]

	CUT [C.Y.]	FILL [C.Y.]
CUT AT LANDSCAPING WALL	3	0
FILL AT HOUSE PAD AND YARD GRADE	0	150
APPROXIMATE TOTAL FILL = 150-3=147 C.Y.		

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

IMPERVIOUS AREA [SF]

	PRE AREA [S.F.]	POST AREA [S.F.]
IMPERVIOUS AREA - BUILDING	0	1167
- DRIVEWAY	0	1728
- PATIOS, WALKWAYS	0	726
TOTAL IMPERVIOUS AREA	0	3621

	PRE AREA [S.F.]	POST AREA [S.F.]
PERVIOUS AREA - LANDSCAPING	10193	6572
TOTAL PERVIOUS AREA	10193	6572
LOT AREA	10193 SF	

ABBREVIATIONS

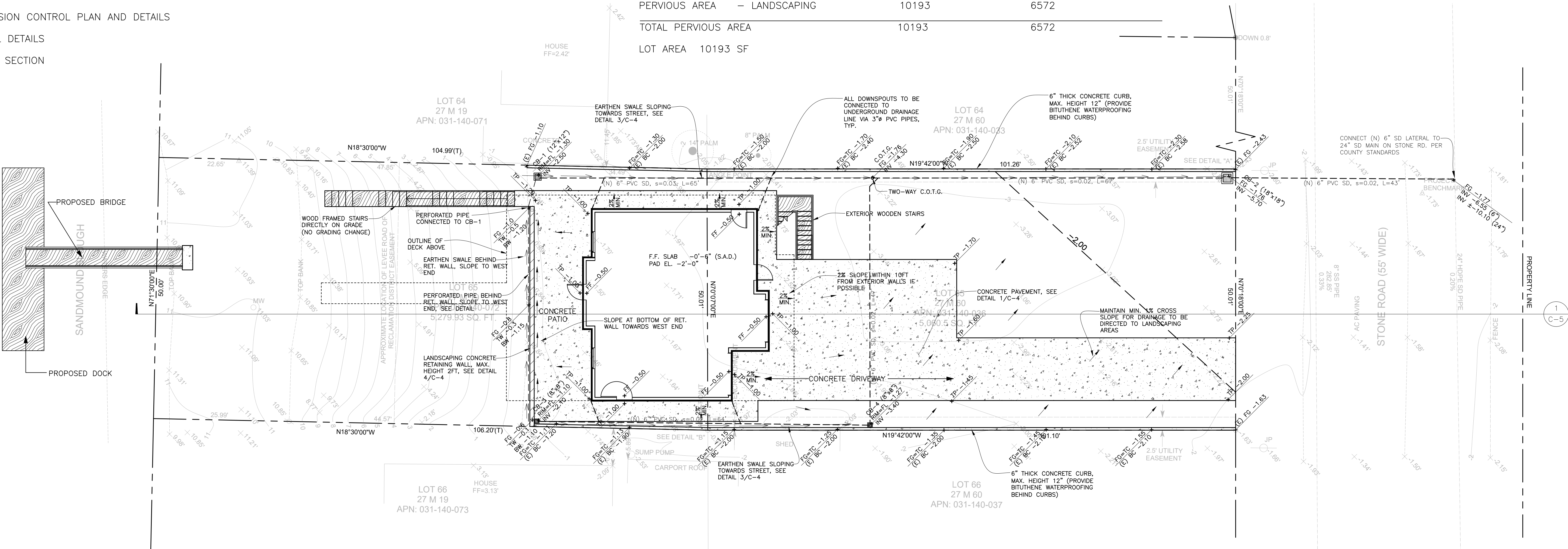
AB	AGGREGATE BASE	OPT	OPTION
AC	ASPHALTIC CONCRETE	OVE	OVERHEAD ELECTRIC
BFPD	BACKFLOW PREVENTION DEVICE	PC	POINT OF CURVATURE
BLDG	BUILDING	PL	PROPERTY LINE
BOP	BOTTOM OF PIPE	POC	POINT OF CONNECTION
BSMT	BASEMENT	PP	POWER POLE
BW	BACK OF WALK	PRK	PARKING
CB	CATCH BASIN	PT	POINT OF TANGENCY
C&G	CURB & GUTTER	PVC	POLYVINYL CHLORIDE
CI	CAST IRON PIPE	PVMT	PAVEMENT
CIP	CHAIN LINK FENCE	RCP	REINFORCED CONCRETE PIPE
CLF	CONCRETE	RPBPD	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
CONC	CITY OF OAKLAND CORNER	S	SLOPE OR SOUTH
COO	CUBIC YARDS	SAP	SEE ARCHITECTURAL PLANS
COR	DRAINAGE INLET	SD	STORM DRAIN
C.Y.	DUCTILE IRON PIPE	SDCB	STORM DRAIN CATCH BASIN
DI	DOMESTIC WATER	SDCO	STORM DRAIN CLEANOUT
DIP	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
DW	EAST	SE	SOUTH EAST
D/W	EXISTING	SEP	SEE ELECTRICAL PLANS
E	EAST BAY MUD	SERV	SERVICE
(E) EX	EXISTING FINISH GRADE	SF	SQUARE FEET
EBMUD	ELECTRICAL	SFPF	SEE FIRE PROTECTION PLANS
EFG	EDGE OF PAVEMENT	SGR	SEE GEOTECHNICAL REPORT
ELEC	FACE OF CURB	SHT	SHEET
EP	FINISHED FLOOR	SJTP	SEE JOINT TRENCH PLANS
FC	FINISH GRADE	SL	STREET LIGHT
FG	FLOW LINE	SLP	SEE LANDSCAPE PLANS
FL	FLOOR	SMP	SEE MECHANICAL PLANS
FLR	FOUND	SPP	SEE PLUMBING PLANS
FND	FIRE SERVICE OR FINISHED SURFACE ELEVATION	SS	SANITARY SEWER
FS	GAS	SSCO	SANITARY SEWER CLEANOUT
C	GRADE BREAK	SSLP	SEE STREET LIGHT PLAN
GB	GROUND SURFACE ELEVATION	SML	SANITARY SEWER MANHOLE
GS	GAS VALVE	SSP	SEE STRUCTURAL PLAN
GV	HANDICAP	STA	STATION
HC	HANDICAP RAMP	STD	STANDART
HCR	HIGH POINT	SW	SOUTH WEST
HP	INVERT ELEVATION	S/W	SIDEWALK
INV	IRRIGATION	TC	TOP OF CURB
IRR	JOINT POLE	TP	TOP OF PAVEMENT
JP	JOINT TRENCH	THK	THICK
JT	LATERAL	THRU	THROUGH
LAT	LIP OF GUTTER	TOP	TOP OF PIPE
LP	LOW POINT	TRANS	TRANSFORMER
M.M	MONUMENT TO MONUMENT	TW	TOP OF WALL
(N)	NEW	TYP	TYPICAL
N	NORTH	VCP	VITRIFIED CLAY PIPE
NE	NORTH EAST	W/	WITH
NO	NUMBER	W	WATER
NW	NORTH WEST	WM	WATER METER
		W	WEST
		WV	WATER VALVE

STORMWATER MANAGEMENT NOTES

- RUNOFF FROM FRONT YARD CONCRETE DRIVEWAY IS DIRECTED TO LANDSCAPED AREA AT FRONT YARD.
- RUNOFF FROM ALL CONCRETE PORCHES, PATIOS, WALKWAYS AND LANDINGS IS DIRECTED TO LANDSCAPED AREA.

SHEET INDEX

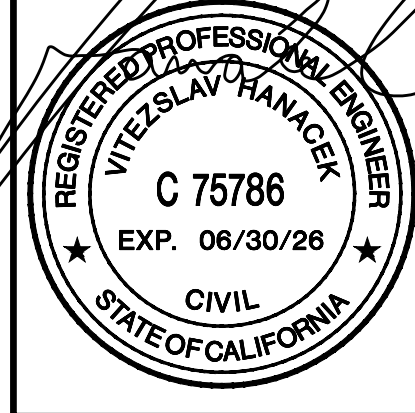
- C-1 SITE GRADING AND DRAINAGE PLAN
- C-2 SITE UTILITIES PLAN
- C-3 EROSION CONTROL PLAN AND DETAILS
- C-4 CIVIL DETAILS
- C-5 SITE SECTION



SITE GRADING AND DRAINAGE PLAN

SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

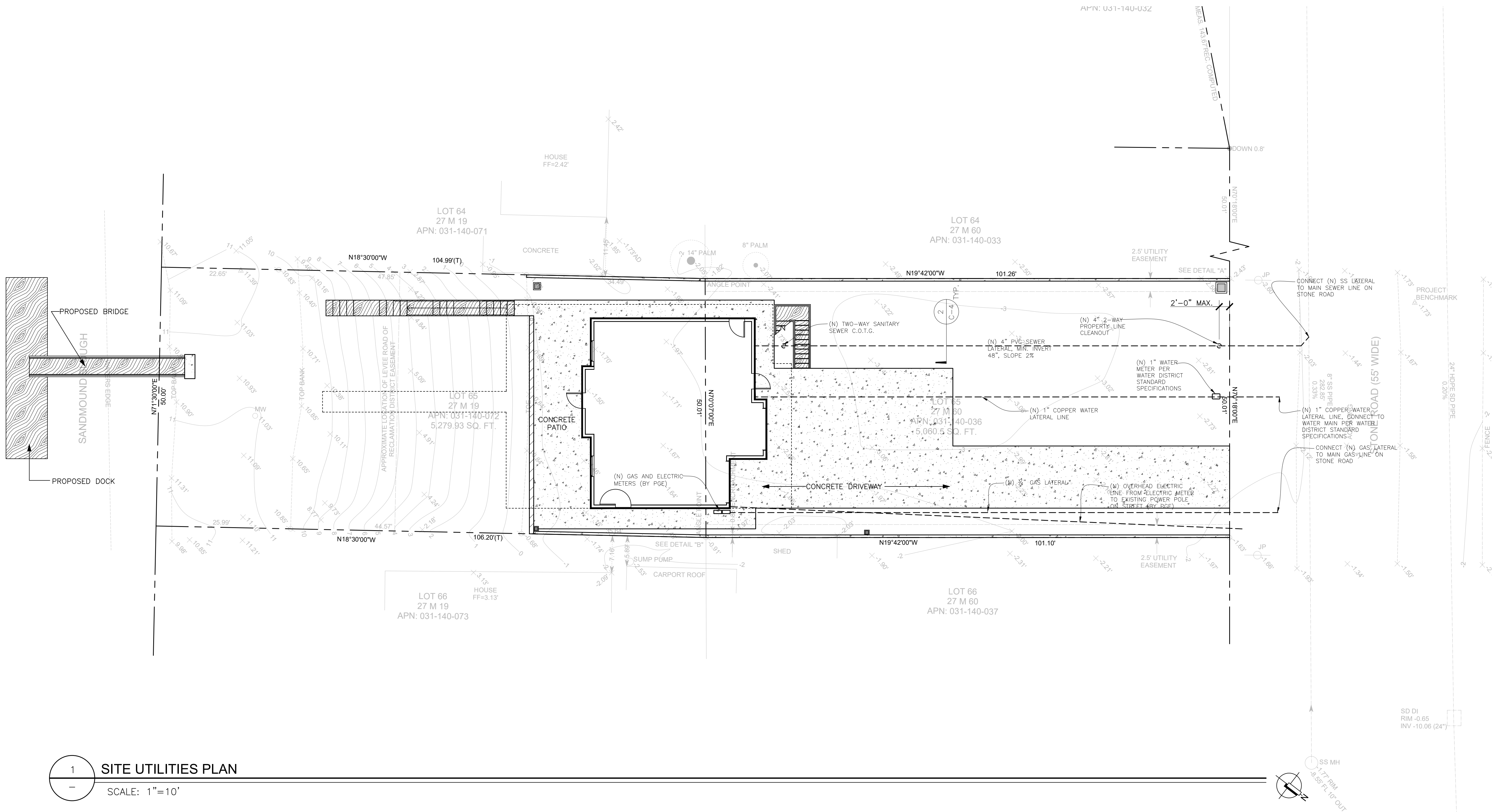


ISSUANCE AND REVISIONS:	NO.	DATE	DESCRIPTION
	1	10/16/2025	PERMIT SET

SINGLE FAMILY
RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

SHEET TITLE:
SITE GRADING AND DRAINAGE PLAN

SHEET NO.:
C-1
PROJECT: 25-0665



1 SITE UTILITIES PLAN
SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

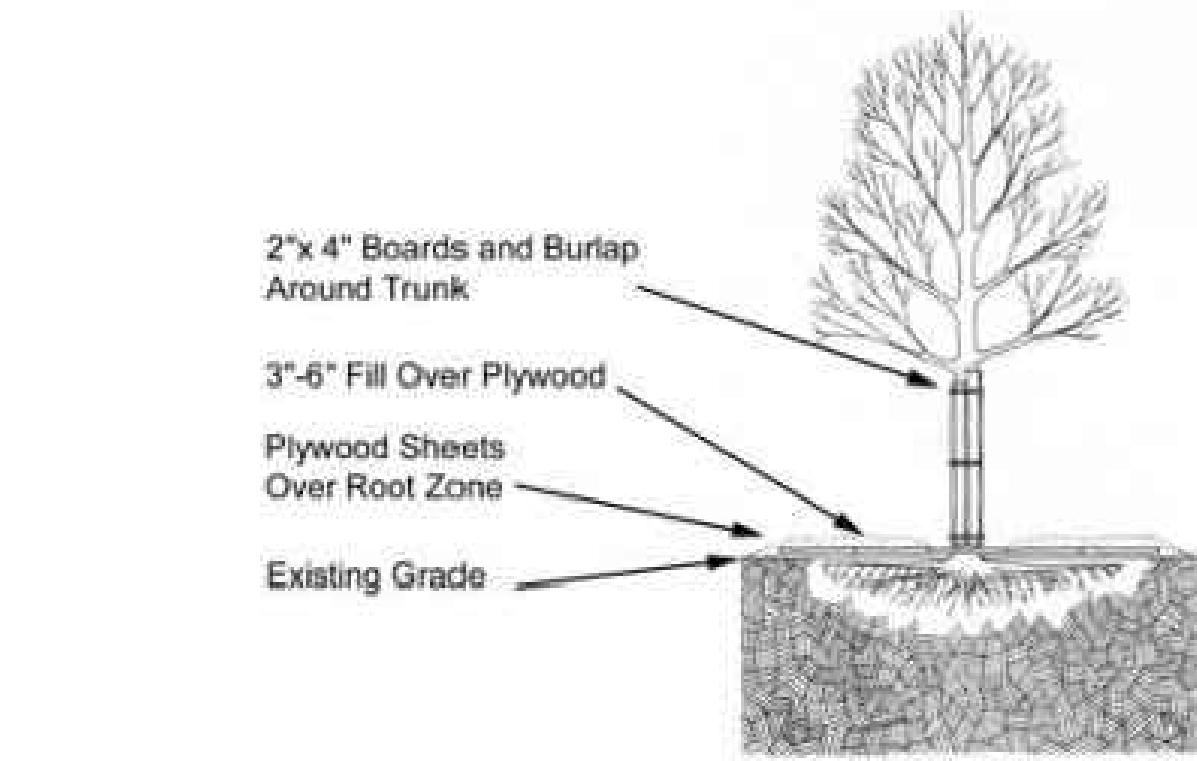
REGISTERED PROFESSIONAL ENGINEER
VITSLAV HANACEK
C 75786
EXP. 06/30/26
CIVIL
STATE OF CALIFORNIA

ISSUANCE AND REVISIONS		
NO.	DATE	DESCRIPTION
1	10/16/2025	PERMIT SET

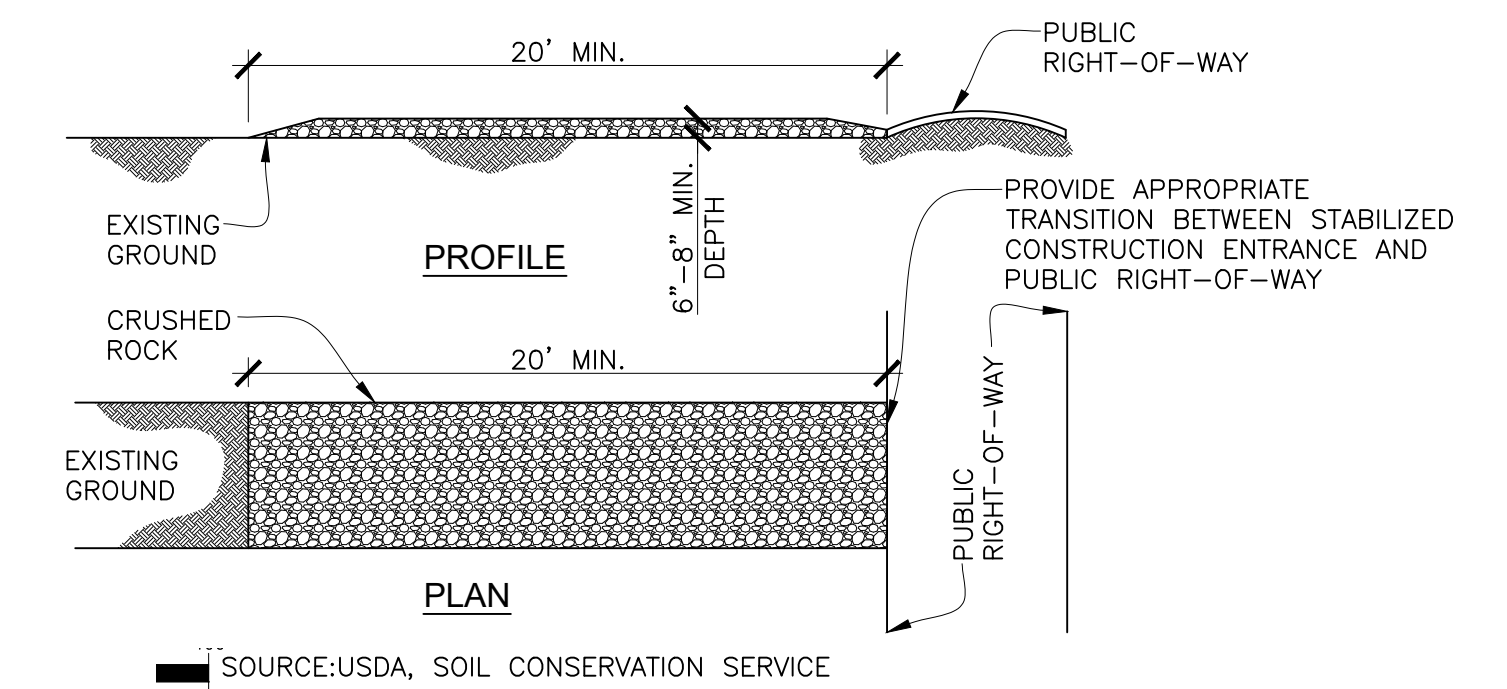
PROJECT NAME:
SINGLE FAMILY RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

SHEET TITLE:
SITE UTILITIES PLAN

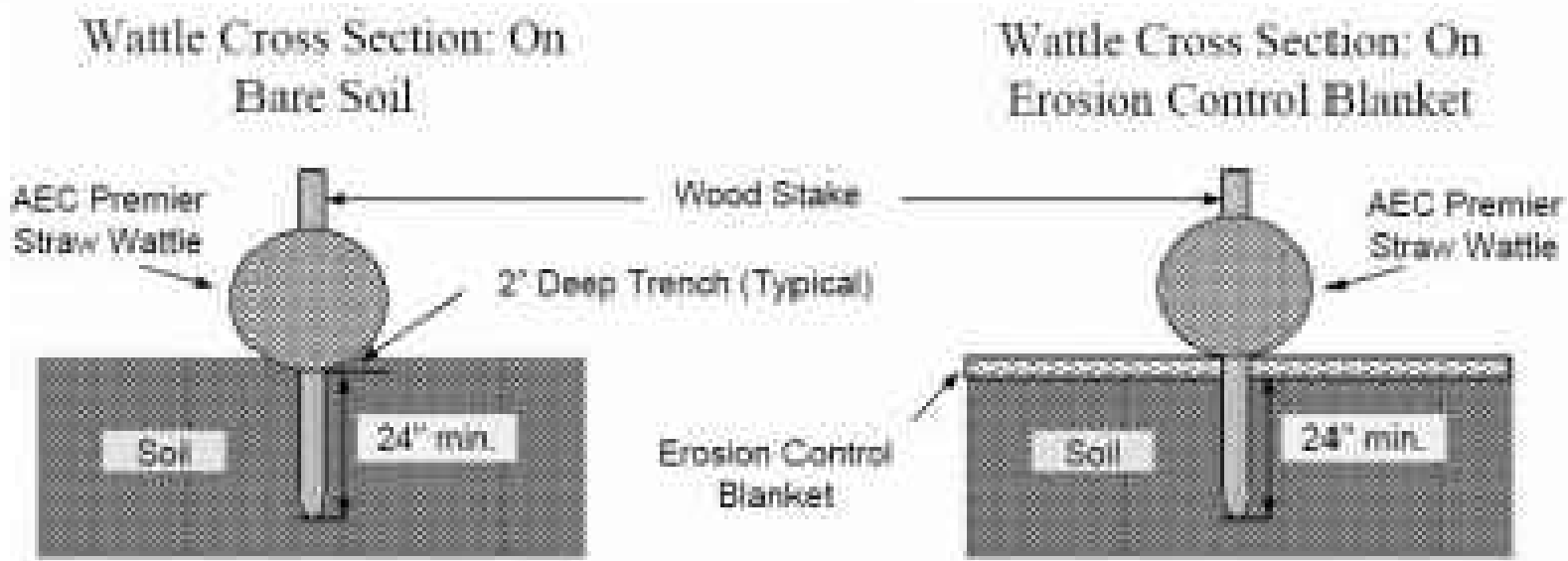
SHEET NO.:
C-2
PROJECT: 25-0665



5 TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE



2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



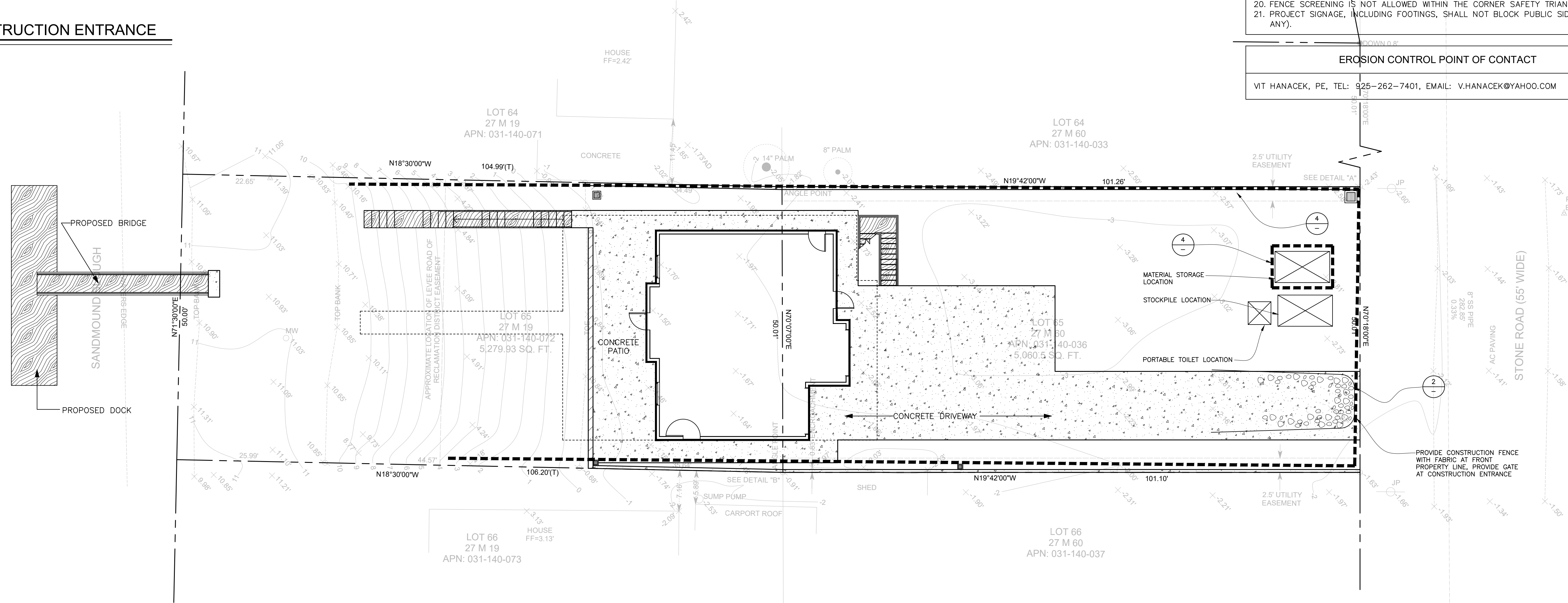
Notes:
1. Drawings are not to scale.
2. Ends of Wattles shall be turned slightly up slope.
3. Recommended stakes are 1 1/8" wide x 1 1/8" thick x 30" long.
Stakes shall not extend above the straw wattle more than 2".

4 STRAW WATTLE SECTION
NOT TO SCALE

LEGEND	
	STABILIZED CONSTRUCTION ENTRANCE
	STRAW BALE DIKE
	CONSTRUCTION FENCE
	DIKE
	UNLINED SWALE
	PAVED SWALE
	ROCK-LINED SWALE
	UNLINED WATERWAY
	GRASSED WATERWAY
	PAVED WATERWAY
	ROCK-LINED WATERWAY
	SEDIMENT TRAP
	SEDIMENT BASIN
	PIPE SLOPE DRAIN
	PAVED FLUME
	STORM DRAIN OUTLET PROTECTION
	RIPRAP
	CHECK DAM
	SUBSURFACE DRAIN
	SEEDING
	STRAW MULCHING
	HYDRAULIC SEEDING AND MULCHING
	PUNCHED STRAW
	LIMITS OF CLEARING AND GRADING
	STRAW WATTLES

- ### EROSION PREVENTION AND SEDIMENT CONTROL NOTES
- PHASE GRADING OPERATIONS TO REDUCE DISTURBED AREAS AND TIME OF EXPOSURE.
 - NO SITE GRADING SHALL BE ALLOWED BETWEEN OCTOBER 15TH AND APRIL 15TH UNLESS APPROVED EROSION CONTROL MEASURES ARE IN PLACE.
 - LIMIT ON-SITE CONSTRUCTION ROUTES AND STABILIZE CONSTRUCTION ENTRANCE(S). SEE DETAIL 2.
 - NOT USED.
 - THE APPLICANT SHALL GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER, WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER POLLUTION.
 - ALL DIRT, GRAVEL, RUBBISH, REFUSES AND GREEN WASTE FROM THE SIDEWALK, STREET PAVEMENT, AND STORM DRAINS ADJOINING THE PROJECT SITE SHALL BE REMOVED. DURING WET WEATHER, THE APPLICANT SHOULD AVOID DRIVING VEHICLES OFF PAVED AREAS AND OTHER OUTDOOR WORK.
 - THE SIDEWALK AND PUBLIC STREET PAVEMENT ADJOINING THE PROJECT SITE SHALL BE BROOM SWEEPED ON A DAILY BASIS. CAKED ON MUD OR DIRT OR DIRT SHALL BE SCRAPPED FROM THESE AREAS BEFORE SWEEPING.
 - THE APPLICANT SHALL INSTALL FILTER MATERIALS (SUCH AS SANDBAGS, FILTER FABRIC, ETC.) AT THE STORM DRAIN INLET NEAREST THE DOWNSTREAM SIDE OF THE PROJECT SITE PRIOR TO: 1) START OF THE RAINY SEASON (OCTOBER 15), 2) SITE DEWATERING ACTIVITIES, OR 3) STREET WASHING ACTIVITIES, 4) SAW CUTTING ASPHALT OR CONCRETE, IN ORDER TO RETAIN ANY DEBRIS OR DIRT FLOWING INTO THE CITY STORM DRAIN SYSTEM. FILTER MATERIALS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY TO ENSURE EFFECTIVENESS AND PREVENT STREET FLOODING. FILTERED PARTICLES SHALL BE DISPOSED OF IN THE TRASH.
 - PROVIDE 2 FT. DEEP TEMPORARY SEDIMENT TRAPS AS SHOWN; SEE DETAIL 3.
 - COVER STOCKPILED SOIL AND LANDSCAPING MATERIALS WITH SECURED PLASTIC SHEETING AND DIVERT RUNOFF AROUND THEM.
 - ONCE GRADING IS COMPLETED, STABILIZE THE DISTURBED AREAS USING PERMANENT VEGETATION AS SOON AS POSSIBLE. (HAND SEEDING)
 - CONDUCT ROUTINE INSPECTIONS OF EROSION CONTROL MEASURES ESPECIALLY BEFORE AND IMMEDIATELY AFTER RAINSTORMS, AND REPAIR IF NECESSARY.
 - PROTECT STORM DRAIN INLETS FROM SEDIMENT-LADEN RUNOFF. STORM DRAIN INLET PROTECTION DEVICES INCLUDE SAND BAG BARRIERS, FILTER FABRIC FENCES, BLOCK AND GRAVEL FILTERS, AND EXCAVATED DROP INLET SEDIMENT TRAPS.
 - WHEN CLEANING SEDIMENTS FROM STREETS, DRIVEWAYS AND PAVED AREAS ON CONSTRUCTION SITES, USE DRY SWEEPING METHODS WHERE POSSIBLE. IF WATER MUST BE USED TO FLUSH PAVEMENT, COLLECT RUNOFF TO SETTLE OUT SEDIMENTS AND PROTECT STORM DRAIN INLETS.
 - USE EROSION CONTROL BLANKETS FOR TEMPORARY SLOPE PROTECTION.
 - EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT RAINY SEASON (OCT. 1 - APR. 30).
 - ALL CONSTRUCTION VEHICLES/EQUIPMENT AND TRAILER SHALL BE LOCATED ON-SITE OR AT A SITE NEARBY (NOT ON A PUBLIC STREET OR PUBLIC PARKING) ARRANGED BY THE CONTRACTOR. NO CONSTRUCTION EQUIPMENT OR VEHICLES SHALL BE STORED OR PARKED ON RESIDENTIAL STREETS OR PUBLIC PARKING LOTS. CONSTRUCTION CONTRACTORS/WORKERS ARE REQUIRED TO PARK ON-SITE OR AT A PRIVATE PROPERTY ARRANGED BY THE CONTRACTOR AND SHALL NOT BE ALLOWED TO USE NEIGHBORING RESIDENTIAL/PUBLIC STREETS FOR PARKING OR STORAGE. ON-SITE/PRIVATE PARKING SHALL NOT AFFECT OR IMPACT EXISTING BUSINESSES.
 - SIDEWALK CLOSURE OR NARROWING IS NOT ALLOWED DURING ANY ON-SITE CONSTRUCTION ACTIVITIES.
 - ALL FENCING (INCLUDING FOOTINGS AND GATE SWING) SHALL NOT ENCR OACH INTO THE PUBLIC RIGHT-OF-WAY, NOR BLOCK SIDEWALKS AND DRIVEWAYS.
 - FENCE SCREENING IS NOT ALLOWED WITHIN THE CORNER SAFETY TRIANGLES.
 - PROJECT SIGNAGE, INCLUDING FOOTINGS, SHALL NOT BLOCK PUBLIC SIDEWALK (IF ANY).

EROSION CONTROL POINT OF CONTACT
VIT HANACEK, PE, TEL: 925-262-7401, EMAIL: V.HANACEK@YAHOO.COM



1 EROSION CONTROL PLAN
SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

REGISTERED PROFESSIONAL ENGINEER
VITSLAV HANACEK
C 75786
EXP. 06/30/26
CIVIL
STATE OF CALIFORNIA

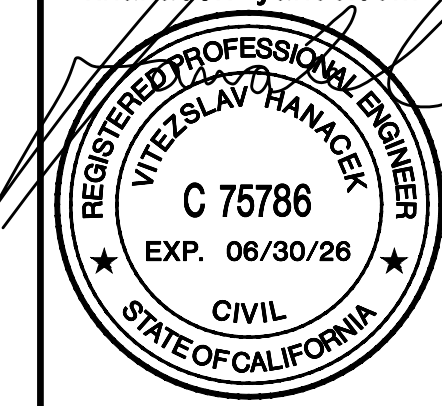
ISSUANCE AND REVISIONS	
NO.	DESCRIPTION
1	PERMIT SET

SINGLE FAMILY
RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

EROSION CONTROL PLAN AND DETAILS

SHEET NO.:
C-3
PROJECT: 25-0665

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

[illegible]

**SINGLE FAMILY
RESIDENCE**
3910 STONE RD.
BETHEL ISLAND, CA

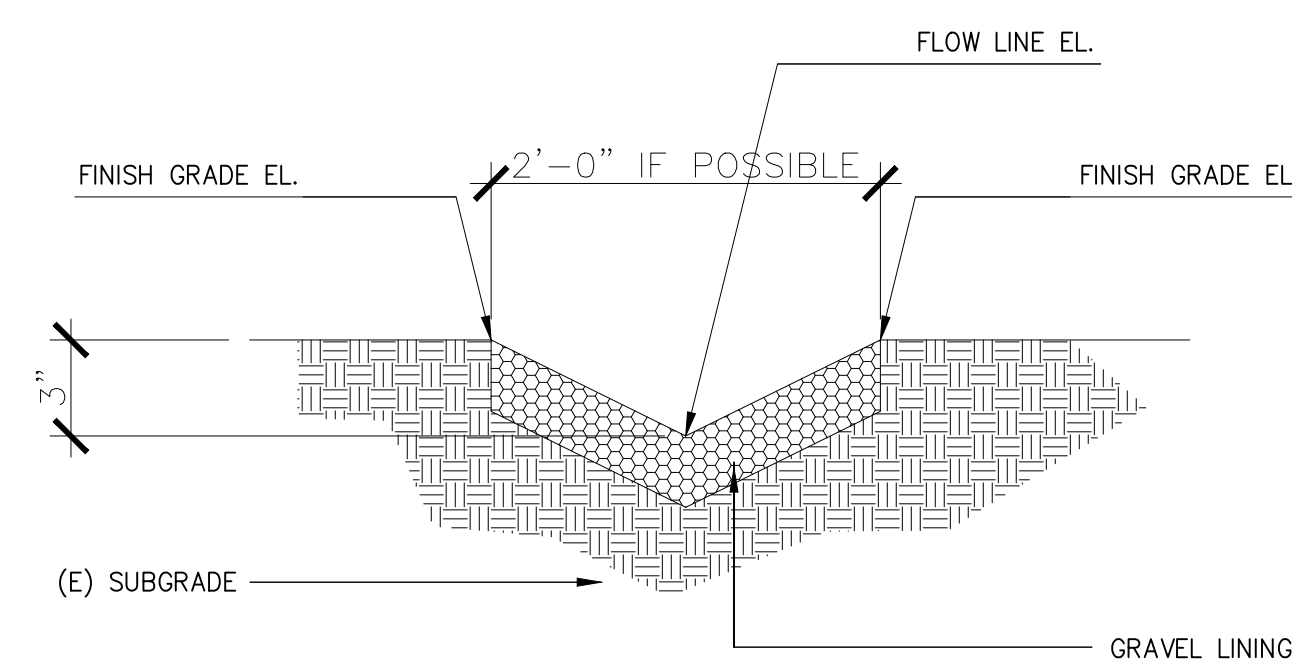
PROJECT NAME:

EET TITLE:
CIVIL DETAILS

SHEET NO.:

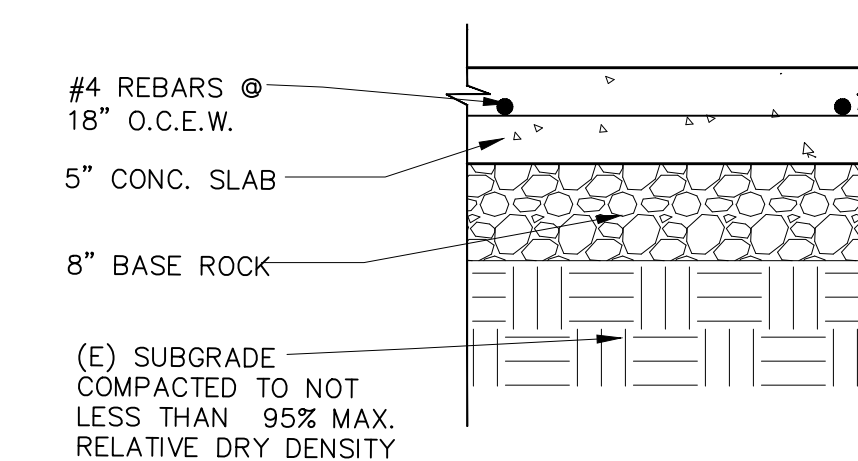
C-4

PROJECT: 25-0665



3 TYPICAL VEGETATED SWALE

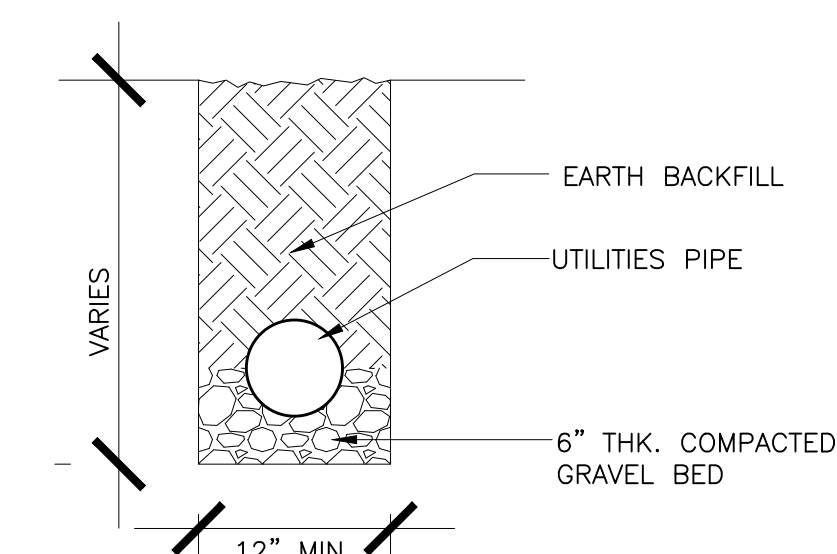
NOT TO SCALE



5" CONCRETE DRIVEWAY

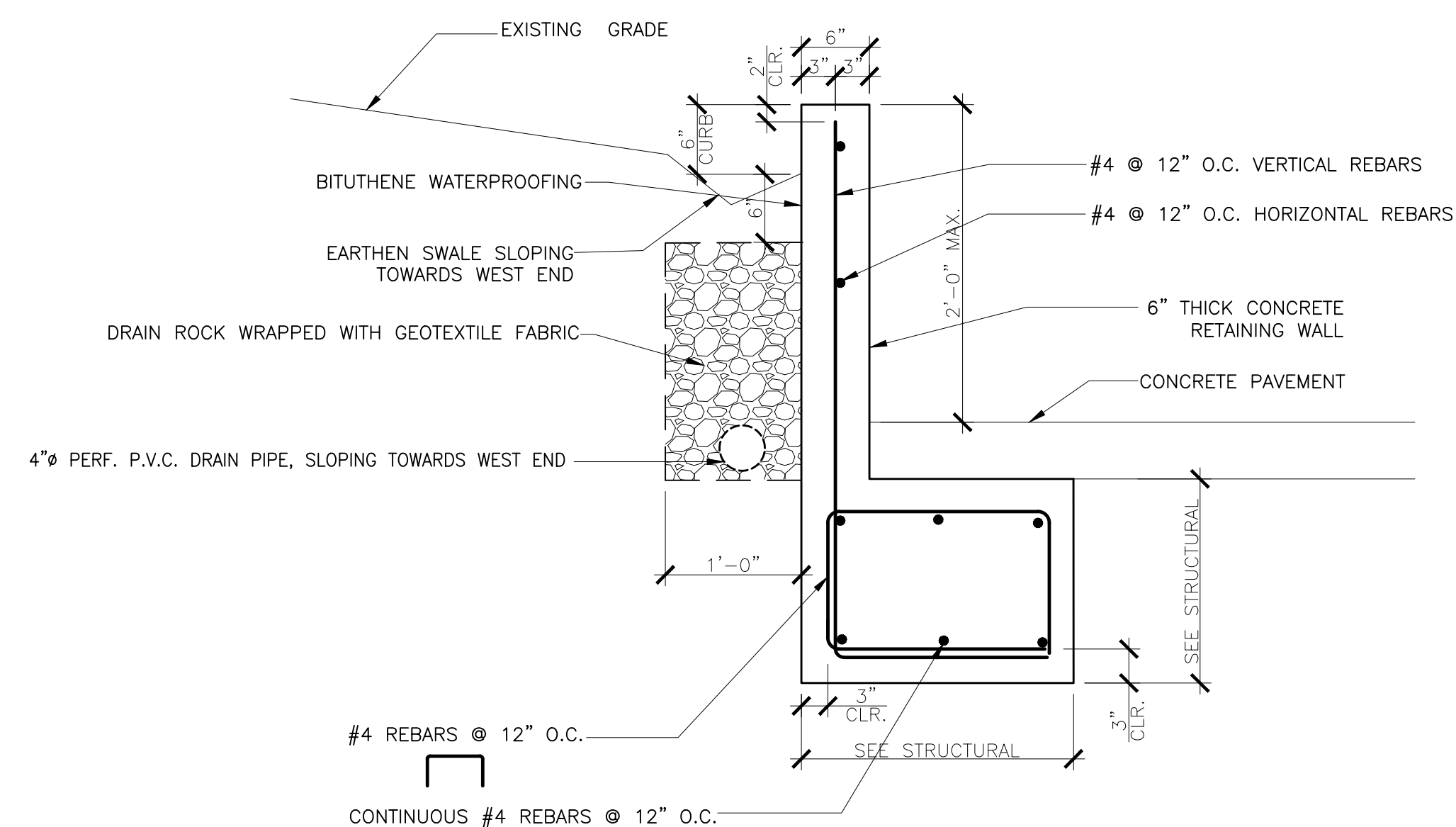
1 DRIVEWAY PAVEMENT SECTION

NOT TO SCALE



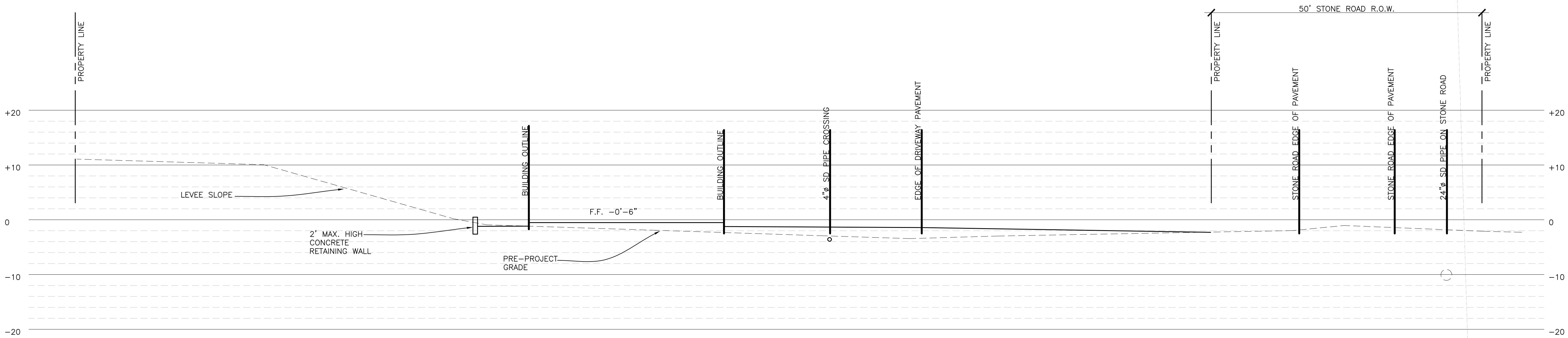
2 TYPICAL UTILITIES TRENCH
(ON PRIVATE PROPERTY ONLY)

NOT TO SCALE



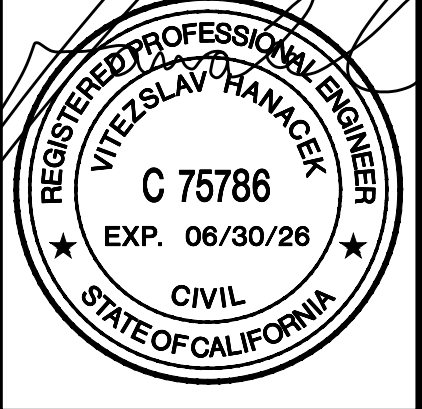
4 2'-0" HIGH CONCRETE RETAINING WALL SECTION

SCALE: 1"=1'-0"



1 SITE SECTION
— SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

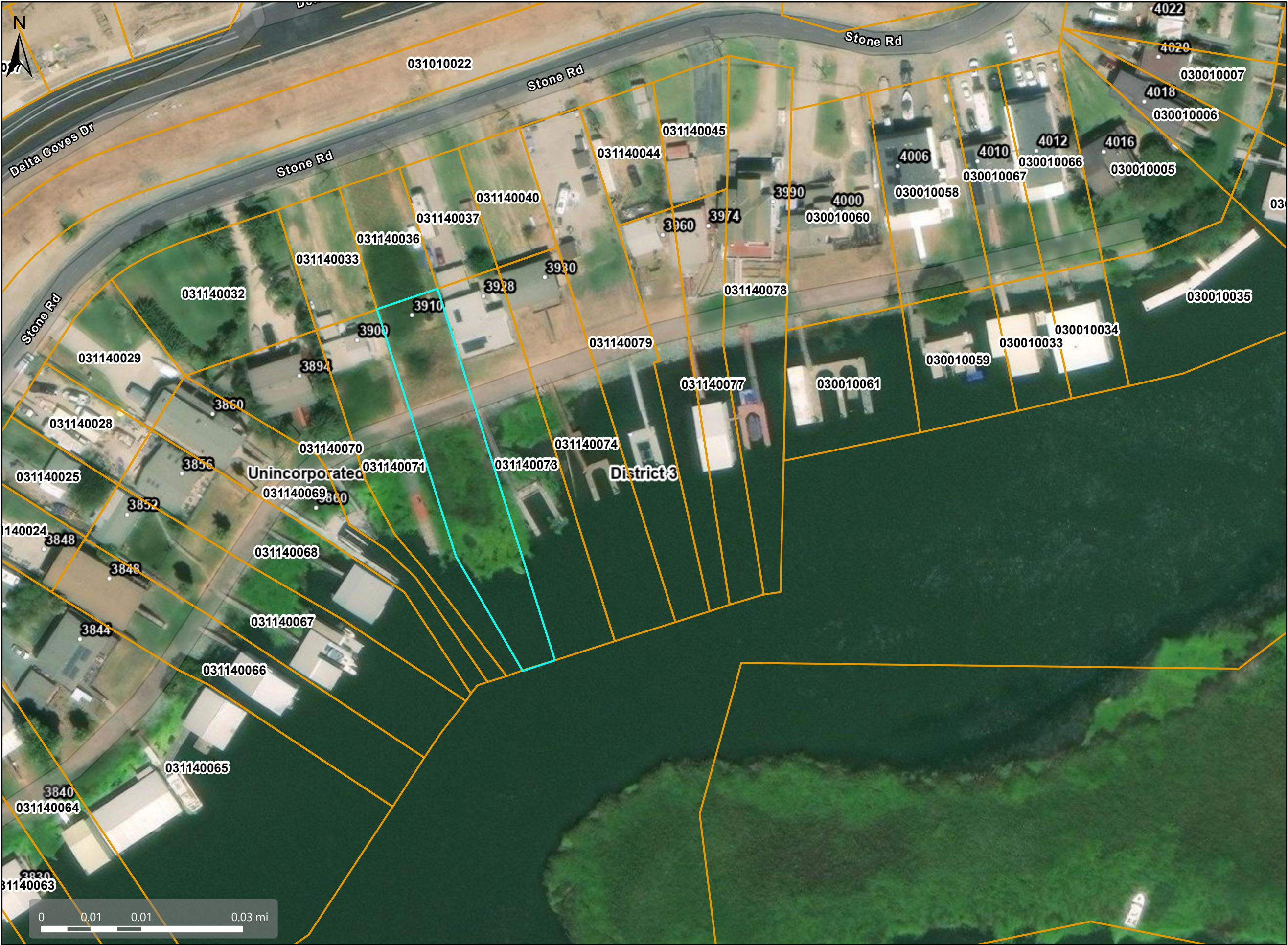


ISSUANCE AND REVISIONS:	
NO.	DATE
1	10/16/2025
	DESCRIPTION
	PERMIT SET

SINGLE FAMILY RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

SHEET TITLE:
SITE SECTION

SHEET NO.:
C-5
PROJECT: 25-0665



Map Legend

- County Border
- Assessment
Parcels
- Unincorporated
Board of
Supervisors'
Districts
- Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION.
CCMap is maintained by Contra Costa County Department of Information Technology, County GIS.
Data layers contained within the CCMap application are provided by various Contra Costa County Departments.
Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan -WA and RLM

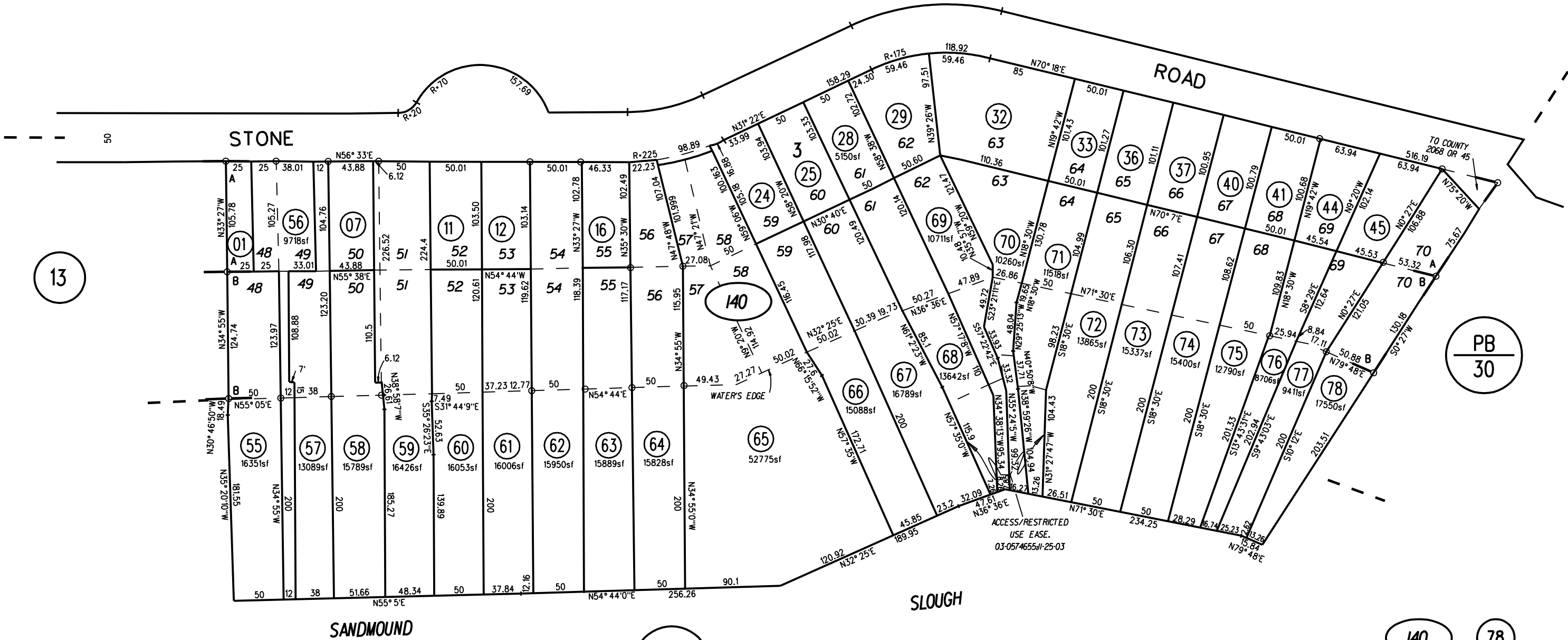
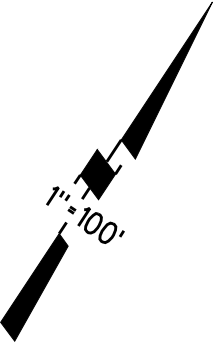


Map Legend

- County Border
- Assessment Parcels
- General Plan**
 - RLM (Residential Low-Medium Density) (3-7 du/na)
 - RM (Residential Medium Density) (7-17 du/na)
 - RC (Resource Conservation)
 - WA (Water)
 - Unincorporated
- Board of Supervisors' Districts
- Address Points

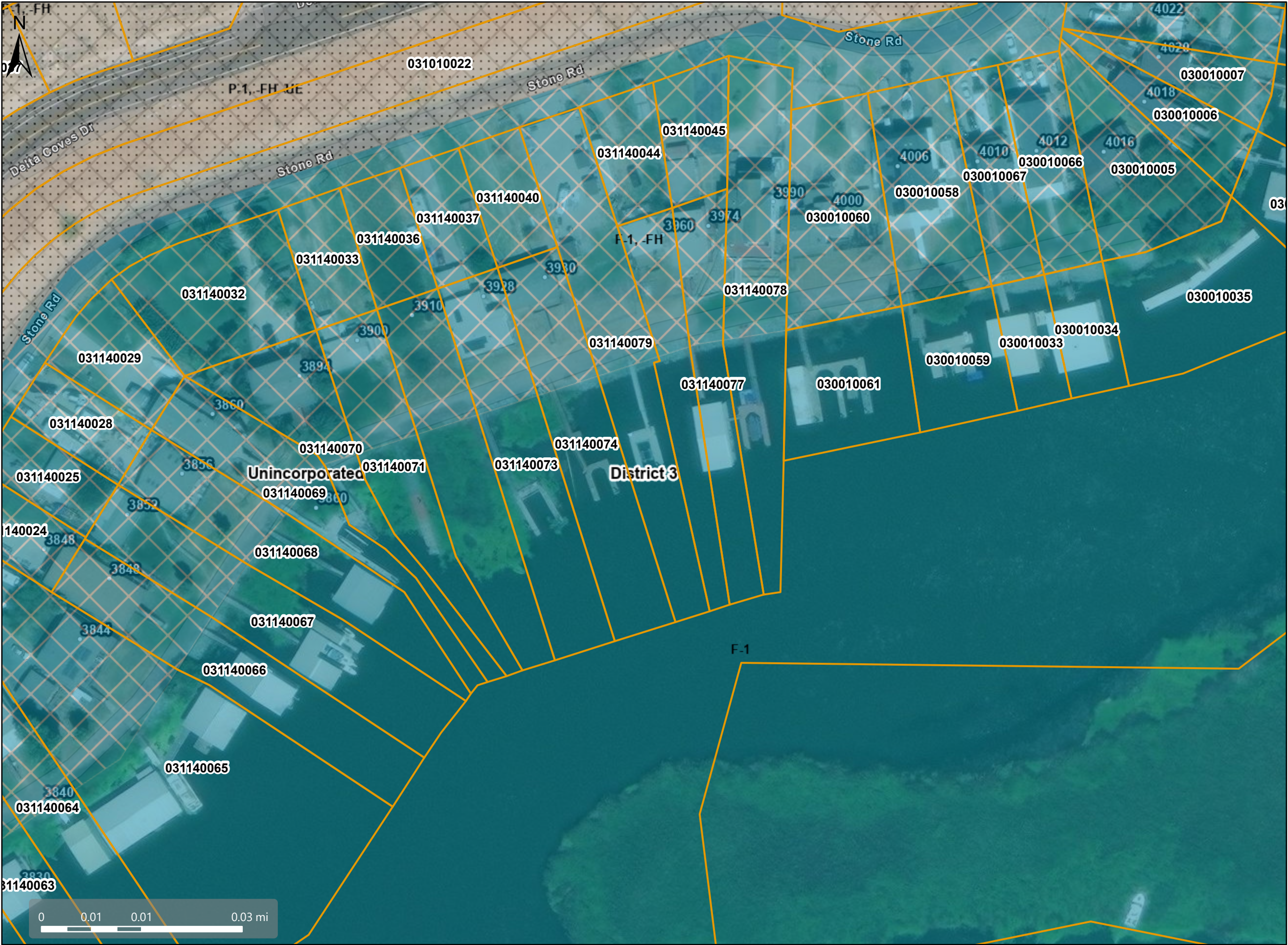
This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department. Spatial Reference PCS: WGS 1984 Web Mercator Auxiliary Sphere Datum: WGS 1984

A - BLK. 3, BETHEL SUB'N. M.B.27-60
B - SANDMOUND PARK M.B.27-19



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

Zoning - F-1, FH



Map Legend

County Border

Assessment
Parcels

Zoning

ZONE_OVER

F-1 (Water
Recreational)

F-1 -FH (Flood
Hazard
Combining
District)

P-1 -FH (Flood
Hazard
Combining
District)

P-1 -FH -UE
(Flood Hazard
and Animal
Exclusion)

Unincorporated

Board of
Supervisors'
Districts

Address Points