

# WINDHOVER TERRACE APARTMENTS PROJECT COUNTY FILE #CDDP21-03031



County Board of  
Supervisors

March 26, 2024

# PARCEL OVERVIEW

**Aerial Photograph APN: 380-220-066**



0 15 30 60  
Feet

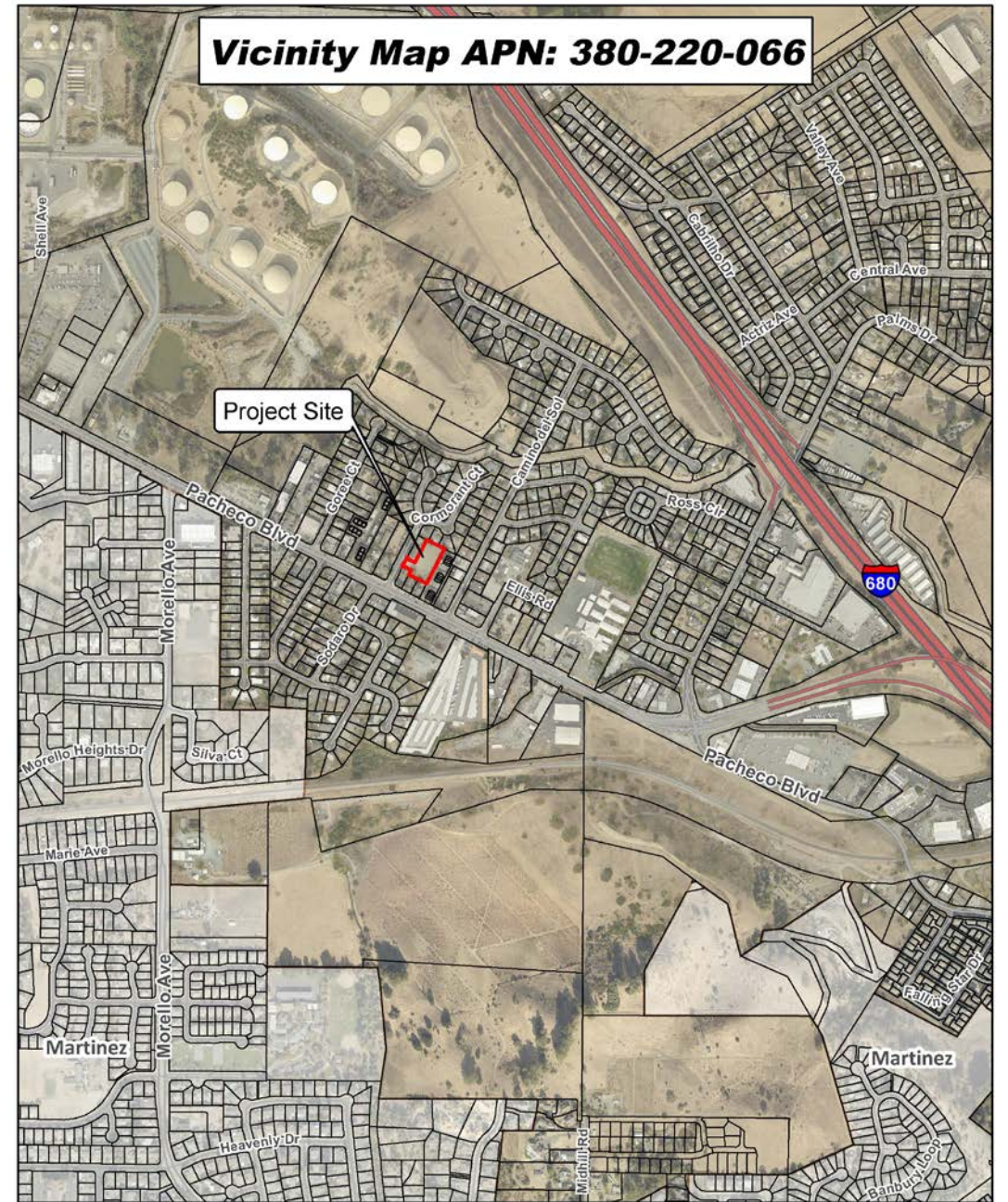
Aerial Photo: 2019

Map Created 3/13/2024  
by Contra Costa County Department of  
Conservation and Development, GIS Group  
30 Muir Road, Martinez, CA 94553  
37.59:41.791N 122.07:03.756W

This map was created by the Contra Costa County Department of Conservation and Development with data from the Contra Costa County GIS Program. Some base data, primarily City Limits, is derived from the CA State Board of Equalization's tax rate areas. While obligated to use this data the County assumes no responsibility for its accuracy. This map contains copyrighted information and may not be altered. It may be reproduced in its current state if the source is cited. Users of this map agree to read and accept the County of Contra Costa disclaimer of liability for geographic information.



**Vicinity Map APN: 380-220-066**



0 190 380 760  
Feet

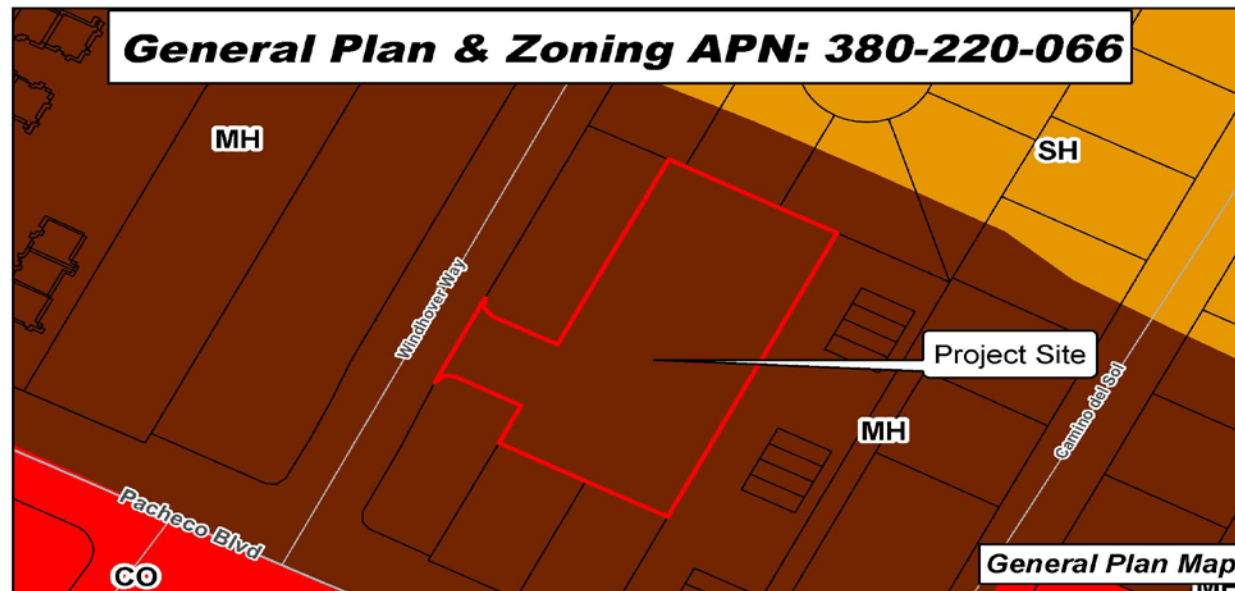
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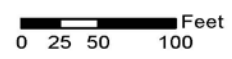
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# PARCEL OVERVIEW



Legend	General Plan Designations	Zoning
Project Site	SH (Single Family Residential - High)	R-6 (Single Family Residential)
Parcels	CO (Commercial)	M-12 (Multiple Family Residential)
	MH (Multiple Family Residential - High)	M-29 (Multiple Family Residential)
		R-B (Retail Business)



Map Created 3/13/2024  
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30 Muir Road, Martinez, CA 94553  
37.5941 78.98 122.67.03 756V

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# SITE PHOTOS

# Project Description

## Development Plan:

- Approximately 22,247-square-foot, 24-unit apartment building
- Covered carports
- Site improvements – pavement, utilities, stormwater conveyance, landscaping. etc
- Two units for low-income households
- One unit for very low-income households

## Tree Permit for the removal of four (4) code-protected trees:

- London Plane, Carolina Cherry Laurel, California Black Walnut, Glossy Privet

## Variance Requests:

- 34.25' height (where 30' is the maximum)
- 24.5' driveway aisle width (where 25' is the minimum)

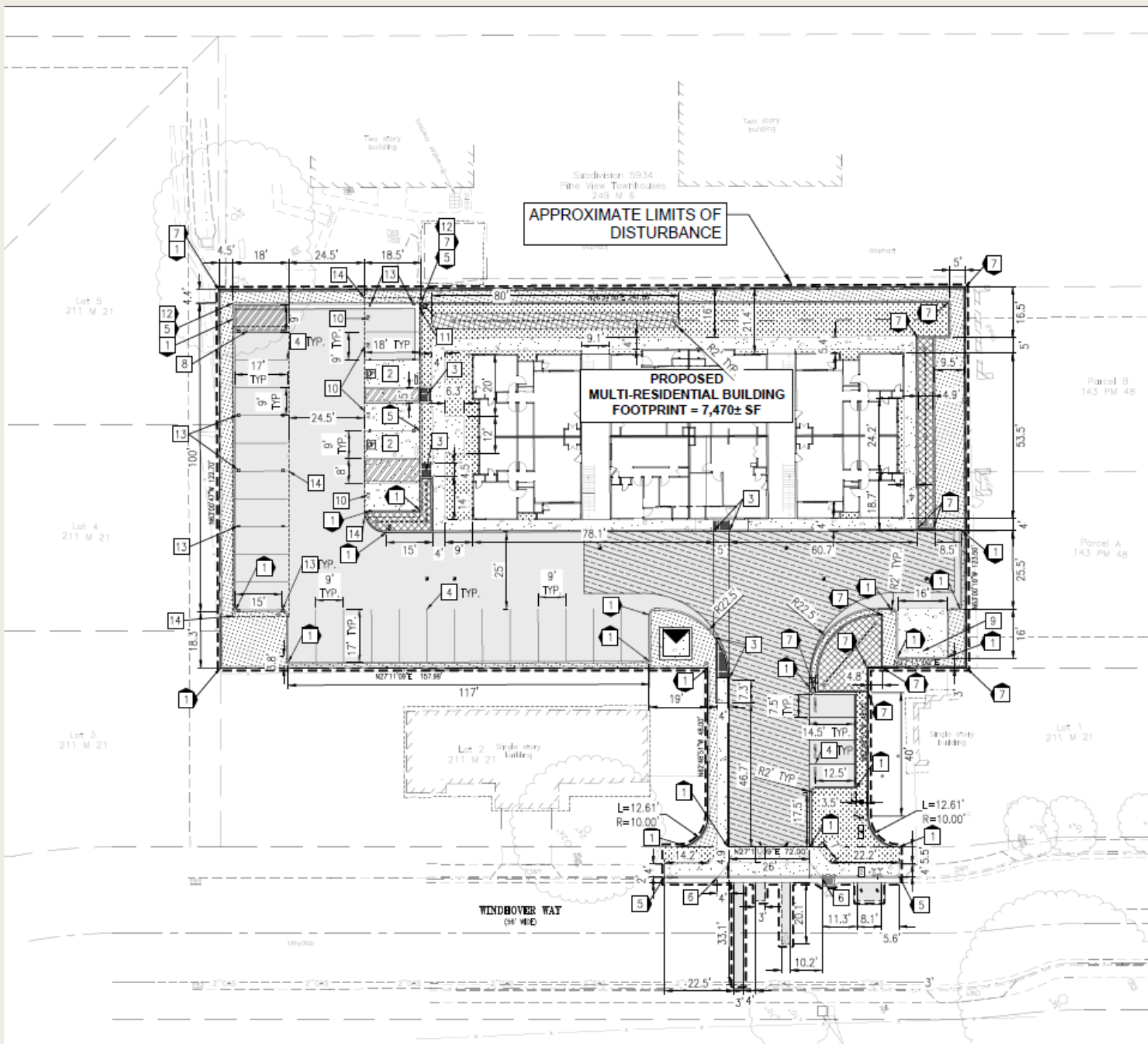
## Other Requests:

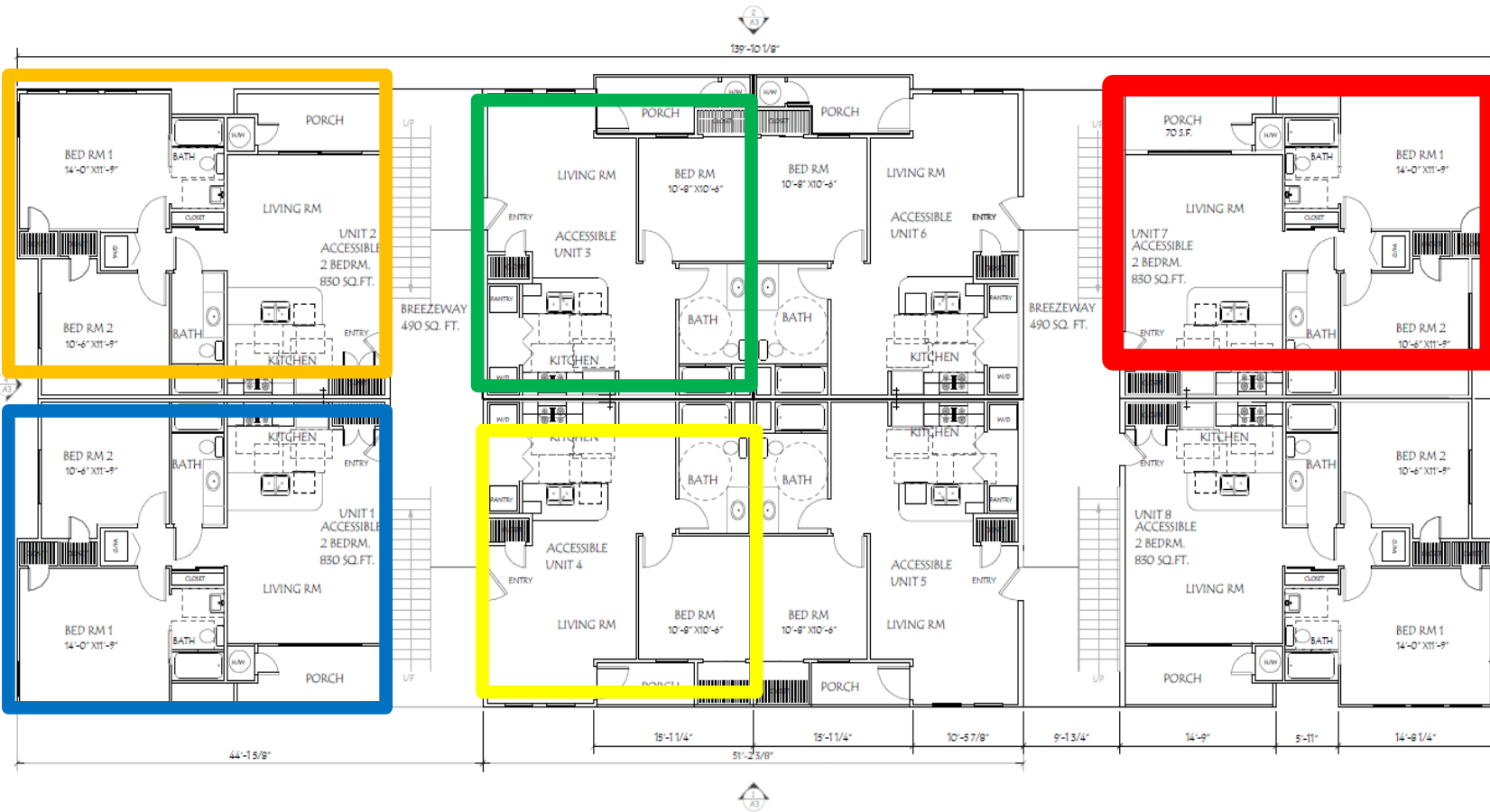
- Density Bonus of 2 additional units
- Concession to reduce Open Space requirement
- Parking ratios per Government Code 65915(p)
- Reduced parking stall size, parking setbacks, and total number of covered parking spaces per Government Code 65915(e)
- Exception to Division 914, Collect and Convey



# PROJECT DRAWINGS

# Site Plan:





# Floor Plan

Two-bedroom unit	4 units	830 sq ft
One-bedroom unit	4 units	650 sq ft

Red Box	Inclusionary Housing Unit
Green Box	One Bedroom Unit
Blue Box	Two Bedroom Unit
Yellow Box	Inclusionary Housing Unit (Floor 2)
Orange Box	Inclusionary Housing Unit (Floor 3)



# Elevations: Proposed

④ LEFT ELEVATION (NORTH) SCALE 1/8" = 1'-0"

② REAR ELEVATION (EAST) SCALE 1/8" = 1'-0"

③ RIGHT ELEVATION (SOUTH) SCALE 1/8" = 1'-0"

① FRONT ELEVATION (WEST) SCALE 1/8" = 1'-0"

⑥ COVERED PARKING CANOPY & TRASH ENCLOSURE SCALE 1/8" = 1'-0"

⑤ PARTY WALL SCALE 1/8" = 1'-0"

2X4 WOOD STUDS AT 16" O.C. ATTACH TO TAB PLATES W/ 16" NAILS OR 2-12" #16 WOOD SCREWS

1" SEPARATION BETWEEN STUDS AND TAB PLATES

1/2" 9-PLY PLYWOOD - SEE STRUCT

3" INS. SOUND ATTENUATION BARRIER INSULATION CREASED TO FIT CAVITY

1-LAYER 5/8" TYPE 'X' GYP. BD. ATTACHED TO STUDS WITH 1-1/2" TYPE 8-12 DRYWALL SCREWS @ 12" O.C. STAGGER JOINTS AT EA. SIDE

COND	13x4 Lx5.4	2X4	1 1/2" SPACING	2X4	16" O.C.	N/A	TYPE 'X'	YES
COND	13x4 Lx5.4	2X4	1 1/2" SPACING	2X4	16" O.C.	N/A	TYPE 'X'	YES
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NOTE: \*STUD WALLS OVER 12 FT. HIGH TO HAVE STUDS SPACED AT 16" MAXIMUM OR STUD SIZE INCREASED TO 2X6. PROVIDE FIRE BLOCKING AT 10'-0" EACH DIRECTION MAXIMUM

**SHEET NOTES**

- ◇ 3-COAT STUCCO W. INTEGRAL COLOR O/ TYVEK & BLDG. PAPER O/ 5/8" CDX PLYWOOD
- ◇ 2X4 PAINTED WOOD TRIM
- ◇ 2X10 PAINTED WOOD FASCIA W/ SHEET METAL GUTTER
- ◇ 2X WOOD BRACKETS
- ◇ CLAY TILE CHIMNEYS & PANS O/ 30LB. FELT O/ PLYWOOD SUBSTRATE ON FRAMING, SLOPE 6:12-SEE STRUCTURAL.
- ◇ STUCCO WEEP SCREED
- ◇ CONCRETE SLAB ON GRADE (SEE STRUC.)
- ◇ VINYL WINDOWS MFR'S WHITE W/ 1X4 PAINTED WOOD TRIM
- ◇ VENT FLUE 24" ABOVE ANY POINT WITHIN A 10'-0" RADIUS
- ◇ SKYLIGHT ON 4" CURB.
- ◇ STUCCO WRAPPED COLUMN
- ◇ PATIO VINYL DOOR W/ CONCRETE LANDING
- ◇ FINISH GRADE - SEE GRADING PLAN
- ◇ 42" HIGH WROUGHT IRON RAILING WITH CAP

**WEST COAST LAND AND DEVELOPMENT, INC.**  
445 JOHN GLENNE DRIVE  
CONCORD, CA 94520  
(925) 242-2870 WWW.WCLAND.COM

**CUSTOM APARTMENTS**  
WINDHOVER PROJECT  
MARTINEZ, CA 94553

**ELEVATIONS**

DATE: 11-16-2019  
SCALE: 1/8" = 1'-0"  
DRAWN BY: KMMW  
CHECKED: [Signature]  
A4

# Environmental Review (MND)

The Mitigated Negative Declaration (MND) prepared for the project identified potential environmental impacts in the areas of:

- Aesthetics
- Air Quality
- Cultural Resources
- Geology/Soils
- Noise
- Tribal Cultural Resources

The MND found that no significant environmental impacts will be created by the proposed 24-unit apartment project with the enforcement of the stated mitigation measures.

# Background

- A Development Plan application with a Variance Permit and a Tree Permit was initially submitted on October 12, 2021.
- The County Zoning Administrator approved the Development Plan, Variance Permit and Tree Permit with modifications and added conditions of approval on February 22, 2023.
- Staff received one letter from Joe Hise on February 27, 2023, appealing the Zoning Administrator's decision.
- The County Planning Commission Denied the project on August 9, 2023.

# Project Revisions To Address Concerns From Neighborhood and CPC

The applicant has agreed on the following project revisions to address concerns from the County Planning Commission and Neighborhood

- *Lower Building Height*
- *Increased parking on-site*
- *Adding communal/outdoor space*
- *Community Benefit Agreement*
- *Measures to reduce noise and light*
- *Retaining existing trees*

# Project Concerns

## Building Pad Height

## Building Height

## Off-Street Parking

## Communal Space

# Project Revisions

- The building pad height will be decreased from 39.5 feet above mean sea level to 38.5 feet above mean sea level.
- Removal of parapet walls and lower third-floor plate lines. Decrease total height from 38.5' to 34.25'.
- Six additional parking, total increased to 40 parking spaces.
- Project is adding two communal gathering areas (benches, picnic table/trellis, etc)

# Project Concerns

## Community Benefit

## Noise and Light

## Olive Trees

# Project Revisions

- Applicant has agreed to enter into a Community Benefit Agreement for a financial contribution.
- Increase CMU walls to seven feet and more robust landscaping plan for sound and visual barrier.
- Applicant will retain existing Olive Trees

# Staff Conclusion

- The project is consistent with the applicable policies/standards of:
  - *County General Plan*
  - *Zoning Consistency*
- The environmental analysis found no significant impact on the environment with the incorporation of specific mitigations.
- The project will provide additional needed housing and affordable housing units.

# Staff Recommendation

Staff recommends that the County Board of Supervisors:

OVERTURN the County Planning Commission's denial of County File #CDDP21-03031, and GRANT the appeal of West Coast Land Development, Inc.

APPROVE County File #CDDP21-03031 with the attached finding and conditions of approval prepare for this project.



QUESTIONS?