CONTRA COSTA COUNTY
DEPARTMENT OF CONSERVATION AND DEVELOPMENT
COMMUNITY DEVELOPMENT DIVISION
30 Muir Road
Martinez, CA 94553-4601
Phone: 925-655-2700
Fax: 925-655-2758

CONTRA COSTA
CONSERVATION & DEVELOPMENT

AGENCY COMMENT REQUEST

Date 09/05/25

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

- ✔ Building Inspection
- Grading Inspection
- ✔ Advance Planning
- Housing Programs
- Trans. Planning
- Telecom Planner
- ALUC Staff
- HCP/NCCP Staff
- County Geologist

HEALTH SERVICES DEPARTMENT

- ✔ Environmental Health
- Hazardous Materials

PUBLIC WORKS DEPARTMENT

- Engineering Services
- Special Districts
- Traffic
- Flood Control (Full-size)

LOCAL

- ✔ Fire District _____
  - San Ramon Valley – (email) rwendel@srvfire.ca.gov
  - ✔ Consolidated – (email) fire@cccfpd.org
- ✔ Sanitary District West County Wastewater
- ✔ Water District EBMUD
- ✔ City of Richmond
- School District(s) _____
- LAFCO
- Reclamation District #_____
- East Bay Regional Park District
- Diablo/Discovery Bay/Crockett CSD
- ✔ MAC/TAC El Sobrante MAC
- Improvement/Community Association
- ✔ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

- CHRIS (email only: nwic@sonoma.edu)
- CA Fish and Wildlife, Region 3 – Bay Delta
- Native American Tribes

ADDITIONAL RECIPIENTS

El Sobrante Planning and Zoning

_____

Please submit your comments to:

Project Planner Maria Lara-Lemus
Phone # 925-655-2904
E-mail Maria.Lara-Lemus@dcd.cccounty.us
County File # CDVR25-01044

Prior to September 30, 2025

* * * * *

We have found the following special programs apply to this application:

- Landslide
- Active Fault Zone (A-P)
- Liquefaction
- Flood Hazard Area
- 60-dBA Noise Control
- CA EPA Hazardous Waste Site
- High or Very High FHSZ

* * * * *

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below ___ Attached

Print Name_____

_____
Signature DATE

Agency phone #_____

CONTRA COSTA
CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01044 **File Date: 9/3/2025**

Applicant:
moji hakimi
2 tunnel rd
berkeley, CA 94705

mhakimi@mac.com
(925) 683-3072

Property Owner:
ADAM MORGENTHALER
41 HELTSLEY PL
EL SOBRANTE, CA 94803 165

adam.morgenthaler@gmail.com
(408) 891-6012

Project Description:
The applicant requests approval of a variance to allow a 12-foot secondary front setback (where 15 feet is the minimum required) to replace an existing deck.

Project Location: (Address: 41 HELTSLEY PL, EL SOBRANTE, CA 94803 165), (APN: 426243037)

Additional APNs:

General Plan Designation(s): RLM

Zoning District(s): R-7

Flood Hazard Areas: X

AP Fault Zone: NO

60-dBA Noise Control: NO

MAC/TAC: El Sobrante MAC

Sphere of Influence: Richmond

Fire District: CONSOLIDATED FIRE

Sanitary District: WEST CO WASTEWATER

Housing Inventory Site: NO

Specific Plan: N/A

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee ($30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee ($57)	002606-9660-REV-000-5BHSDR| $5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
		Total:	**3337.00**	**3337.00**

POR EL SOBRANTE ACRES UNIT NO 1
1- RECORD OF SURVEY 32LSM24 1-27-65
2- RECORD OF SURVEY 34LSM32 5-25-65
3- 85PM24 3-21-80
4- 133PM35 6-14-88

1" = 100'

RENFREW ROAD
RINCON ROAD
MARVIN COURT
RENFREW CT.
TO PG 22

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY; NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

241
242
243
7/13/15

FM 92/37
ASSESSOR'S MAP
BOOK 426 PAGE 24
CONTRA COSTA COUNTY, CALIF.

General Plan

Map Legend

- Assessment Parcels
- General Plan
- RLM (Residential Low-Medium Density) (3-7 du/na)
- Unincorporated
- Board of Supervisors' Districts
- Address Points

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Zoning

Map Legend

- Assessment Parcels
- Zoning
- ZONE_OVER
- R-7 (Single Family Residential)
- Unincorporated
- Board of Supervisors' Districts
- Address Points

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Orthophotography

Map Legend

- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

64' Long Second-Story Balcony Repair/Rebuild Project

41 Heltsey Pl, El Sobrante, CA 94803

RECEIVED on 09/03/2025 CDVR25-01044
By Contra Costa County
Department of Conservation and Development

ASSESSOR'S PARCEL #	426-243-037-6
OCCUPANCY:	TYPE R-3
CONSTRUCTION TYPE:	TYPE - V
BUILDING MATERIAL:	Framing: Pressure-treated lumber Decking: Composite (Trex or equivalent) Footings: Concrete w/ Rock Veneer Hardware/Fasteners: Corrosion-resistant (HDG Typ.) Guardrails/Handrails: Aluminum
SQUARE FOOTAGE OF DECK:	800 SQ. FT.
BUILDING CODE:	CALIFORNIA BUILDING CODE 2022 CODE (IBC 2021)

SHEET NO.	SHEET NAME:	SCALE:
AA-01	General notes	N/A
AA-02	Site (Plot) Plan	N/A
AA-03	Topographic Contours Map	1/8" = 1'-0"
AA-04	Context Photo Page	1" =10'-0"
AA-05	Site Plan - Existing	N/A
AR-01	Deck Demolition Plan	3/16" = 1'
AR-02	Site Plan - Proposed Structures	3/16" = 1'
AR-03	Proposed Deck Plan	3/16" = 1'
AR-04	Proposed deck visualization	N/A
AR-05	Proposed deck visualization	N/A
S-01	Structural Engineer Drawings	As dispayed
S-02	Structural Engineer Drawings	As dispayed
S-03	Structural Engineer Calculations Sheets	N/A
S-04	Structural Engineer Calculations Sheets	N/A
S-05	Structural Engineer Calculations Sheets	N/A
ST-01	Proposed Deck Plan	3/8" = 1'
ST-02	Foundation Layout Plan - Proposed Deck	3/8" = 1'
ST-03	Column Layout Plan - Proposed Deck	3/8" = 1'
ST-04	Beam Framing Plan - Proposed Deck	3/8" = 1'
ST-05	Deck Framing Plan - Joists	3/8" = 1'
ST-06	Deck Framing Plan - Diagonal Bracing	3/8" = 1'
ST-07	Deck Boards Plan	3/8" = 1'
ST-08	Front Elevation	3/8" = 1'
ST-09	Side Elevation 1 - Railing Structural Details	3/8" = 1'
ST-10	Side Elevation 2	3/8" = 1'
EL-01	Lighting Layout Plan	3/8" = 1'
EL-02	Lighting Detail	N/A
EL-03	Lighting Layout Elevation	3/8" = 1'

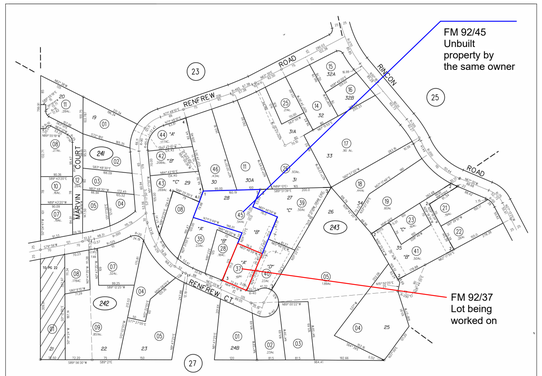
Project Team

Owner
Quinn & Adam Morgenthaler
(408) 891-6012
Adam.Morgenthaler@gmail.com

Architect
Zen Life Design
+57 (314) 503-6394
Notyuriy@gmail.com

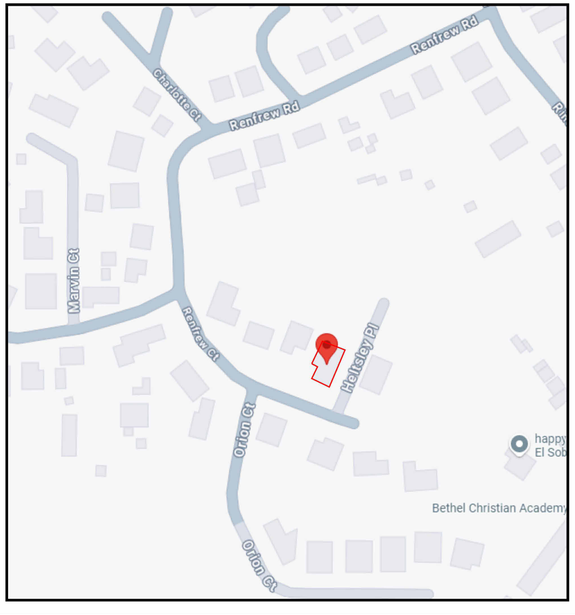
Structural Engineer
Andersen Engineering
(415) 250-8473
erik@andersen-engineering.com

Electrical Engineer
AC3 LLC Electric
(510) 390-6002
Allcurrents@gmail.com



FM 92/37
ASSESSOR'S MAP
BOOK 426 PAGE 24
CONTRA COSTA COUNTY, CALIFORNIA

VICINITY MAP



DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Existing balcony is a cantilevered structure extending 4' beyond the outside wall. The existing balcony has become weathered/rotted due to elements and is in need of repair.

Repair of the existing deck as built is not possible due to the extent of rotting joists, which precludes re-use or sistering. Instead it is proposed that the existing balcony will be demolished. Joists will be cut flush with side of house and damage repaired as needed prior to start of rebuild. The new structure will be attached via ledger board, extend 10' from the existing structure and be supported by new posts placed in existing yard.

Sheet Title
Cover Sheet

N

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AA-01

Scale

General Notes:

1.The Contract for construction shall generally follow the general conditions of AIA contract A201, 2017 version.
2.The Contractor shall keep the jobsite clean and safe at all times and shall leave the premises clean and orderly, and ready for occupancy.
3.Contractor shall provide work completely and in accordance with current applicable codes.
4.Contractor shall be responsible for any damage incurred through any errors or omissions within their work to this property or to the adjacent private and/or publicly owned properties.
5.Contractor shall not perform any work that will result in a change order without prior written approval from owner. Change orders must be provided in writing and shall be for either additions or subtractions to the construction contract. Change orders must be signed by the owner before the work proceeds.
6.Contractor to review all design changes or substitutions with the Owner & structural engineer and receive approval for all changes.
7.Written dimensions take precedence over scale. Do not scale the drawings.
8.Contractor to verify all field conditions and measurements before starting construction. Alert architect of all discrepancies and/or variation before proceeding with work.
9.Contractor to report on the progress of work to the owner at a minimum, on a bi-weekly basis or more frequently as conditions warrant. Meetings with the owner shall be scheduled to allow for time required to provide appropriate response to any questions or site conditions.
10.Contractor shall arrange for a meeting after determining the project dimensional layout for review by the architect and owner.
11.Code upgrade work not required by building inspectors is to be reviewed with the architect and owner to determine course of action. If the contractor believes code upgrade is necessary and it has not been required by the building inspector, the architect and owner shall determine whether the work is to be undertaken.
12.Install all equipment, fixtures, and materials per manufacturer's recommendations.
13.Contractor to coordinate with owner for owner-provided materials and products.
14.CRC317.3.1 fasteners for preservative-treated wood: “fasteners, including nuts and washers, for preservative-treated wood shall be of hot-dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper. coating types and weights for connectors in contact with preservative-treated wood shall be in accordance with the connector manufacturer's recommendations. in the absence of manufacturer's recommendations, a minimum of ASTM A653 type G185 zinc-coated galvanized steel, or equivalent, shall be used.
15.All cuts of pressure treated lumber are to be treated with Copper-Green Wood Preservative prior to installation. Alternatives by owner approval only.
16.Joist tape to be used on all horizontal members prior to installation of any other pieces atop. Ensure all joist tops, beams, and ledger boards are clean and dry. Remove dirt, sawdust, and debris for best adhesion. Fold overhangs down each side. If overhang >1cm trim excess
17.Alignment of the posts with bases is critical and shall be off by no more than 1 inch from center in any direction.
18.Install decking with spacing per manufacturer’s recommendations.
19.All joist hangers, diagonal braces, blocking/bridging, and structural mounting hardware must be secured using approved, manufacturer-specified structural fasteners (not drywall or generic screws) such as galvanized or stainless steel nails, screws, or bolts, to ensure code compliance and maximum load-bearing safety.
20.Seams of decking boards are to be randomly staggered without a evident pattern.
21.Miter cuts for decking are to be 90° ± 2° to avoid the appearance of end stepping. End joining of the decking shall be on a shared joist with adequate spacing as defined by the manufacturer to enable thermal expansion and contraction

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

Project Description

DATE & APPROVAL

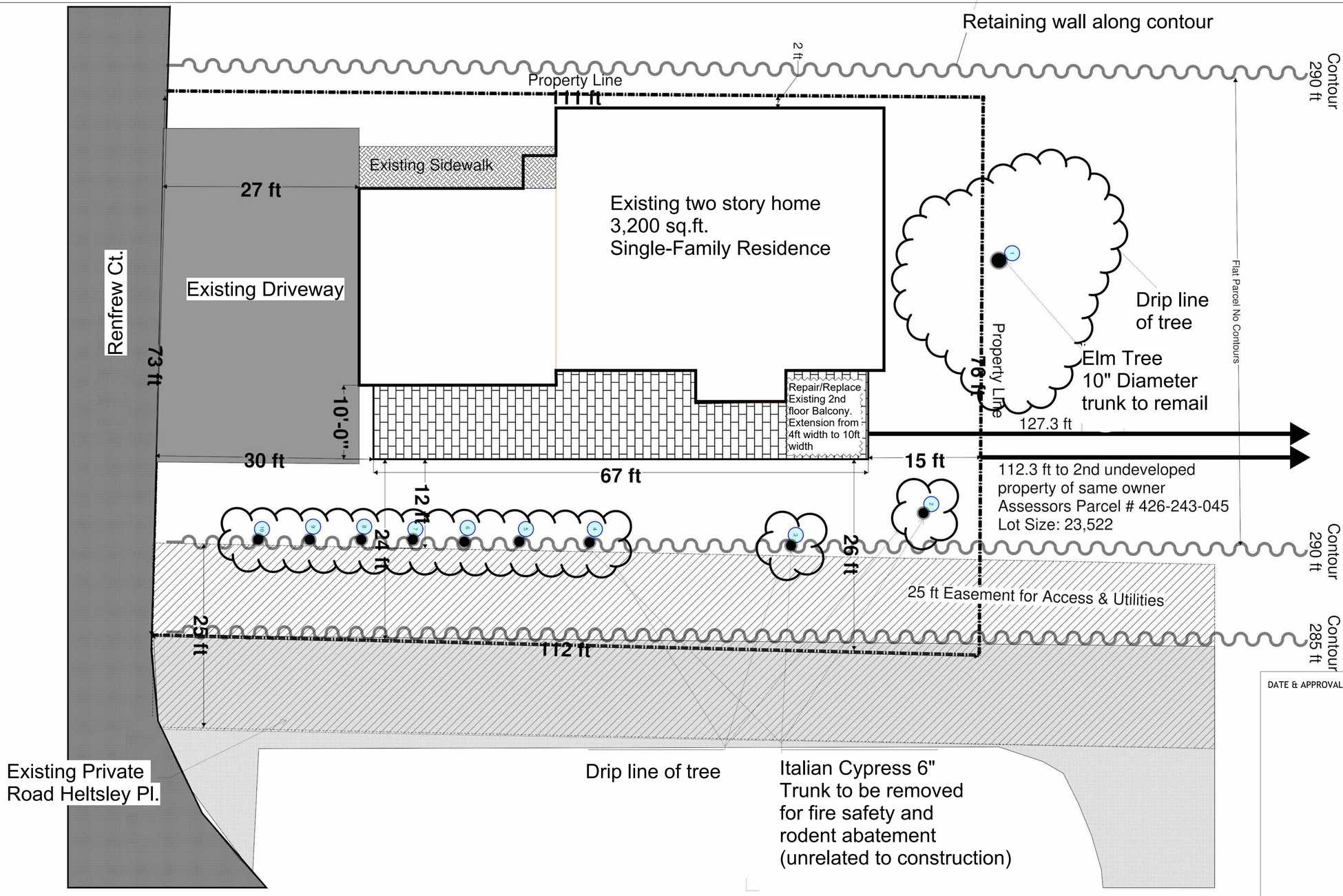
IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Sheet Title
GENERAL NOTES

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AA-02

Scale



Property Owner Name: Adam Morgenthaler
Project Address: 41 Heltsley Pl, El Sobrante, CA 94803, USA
Assessors Parcel #426-243-037
Lot Size: 8,300 sq. ft.

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Description of Proposed Work:
•Repair / Replace existing 2nd story balcony
•Extend Balcony from 4ft width to 10ft width
•Posts with footers in side yard to support the extension
•Remove Italian cypress to mitigate fire danger and rodents

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

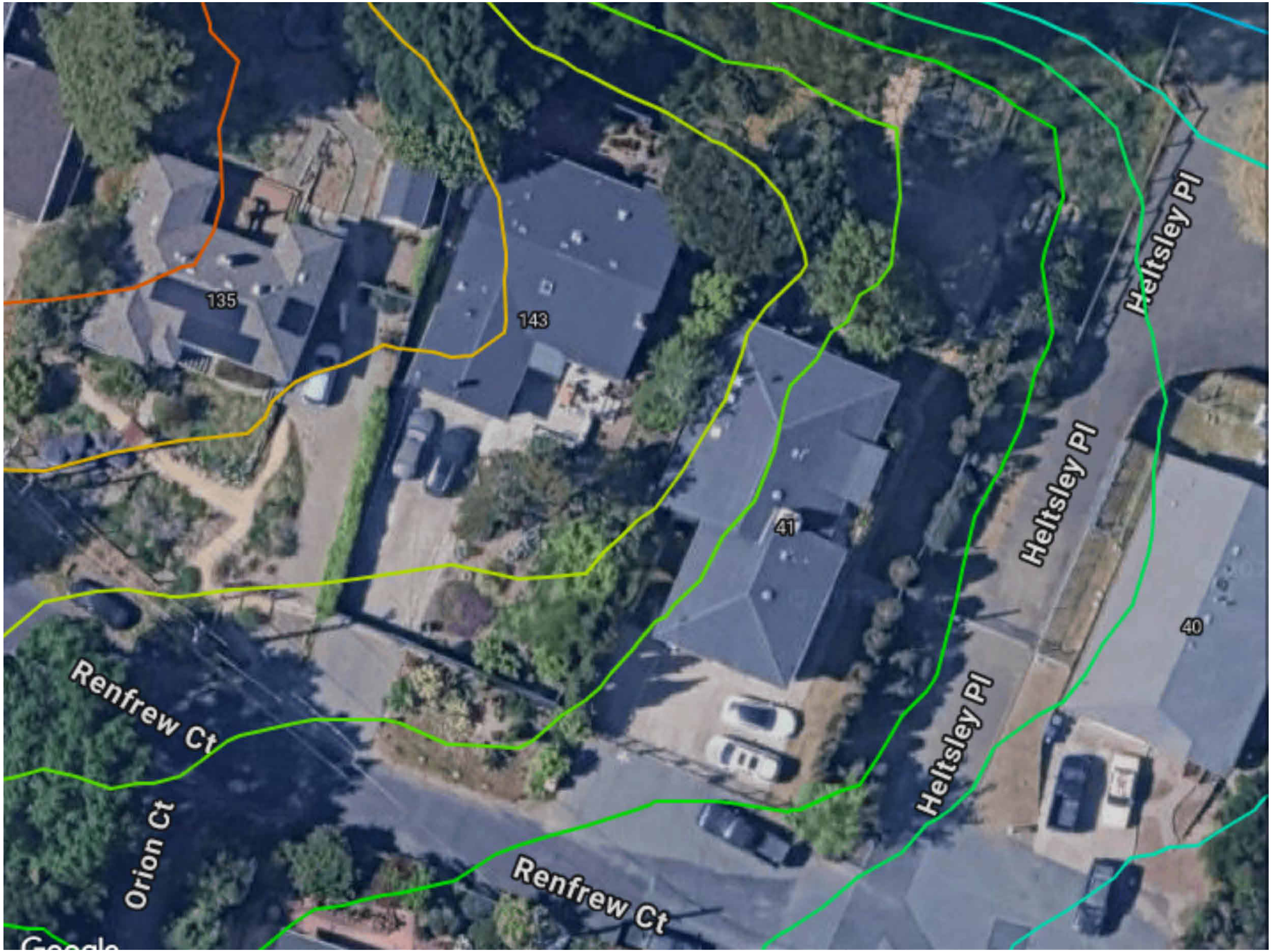
Sheet Title

SITE (PLOT) PLAN

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AA-03

Scale 1/8"=1'-0"



265 ft
270 ft
275 ft
280 ft
285 ft
290 ft
295 ft
300 ft
305 ft
310 ft
315 ft

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

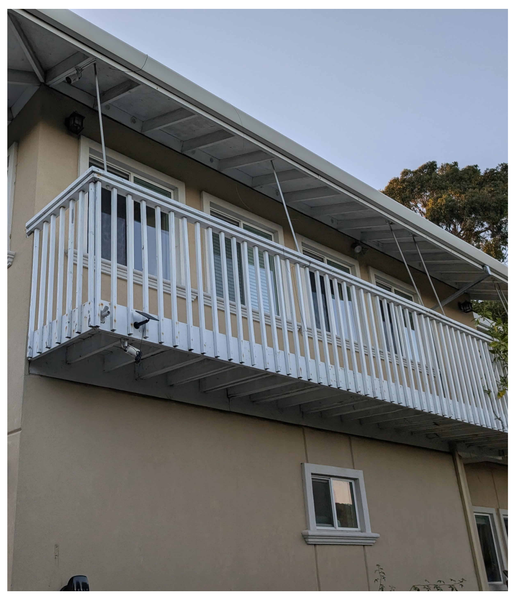
TOPOGRAPHIC CONTOURS MAP

N

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AA-04

Scale 1"=10'-0"



DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

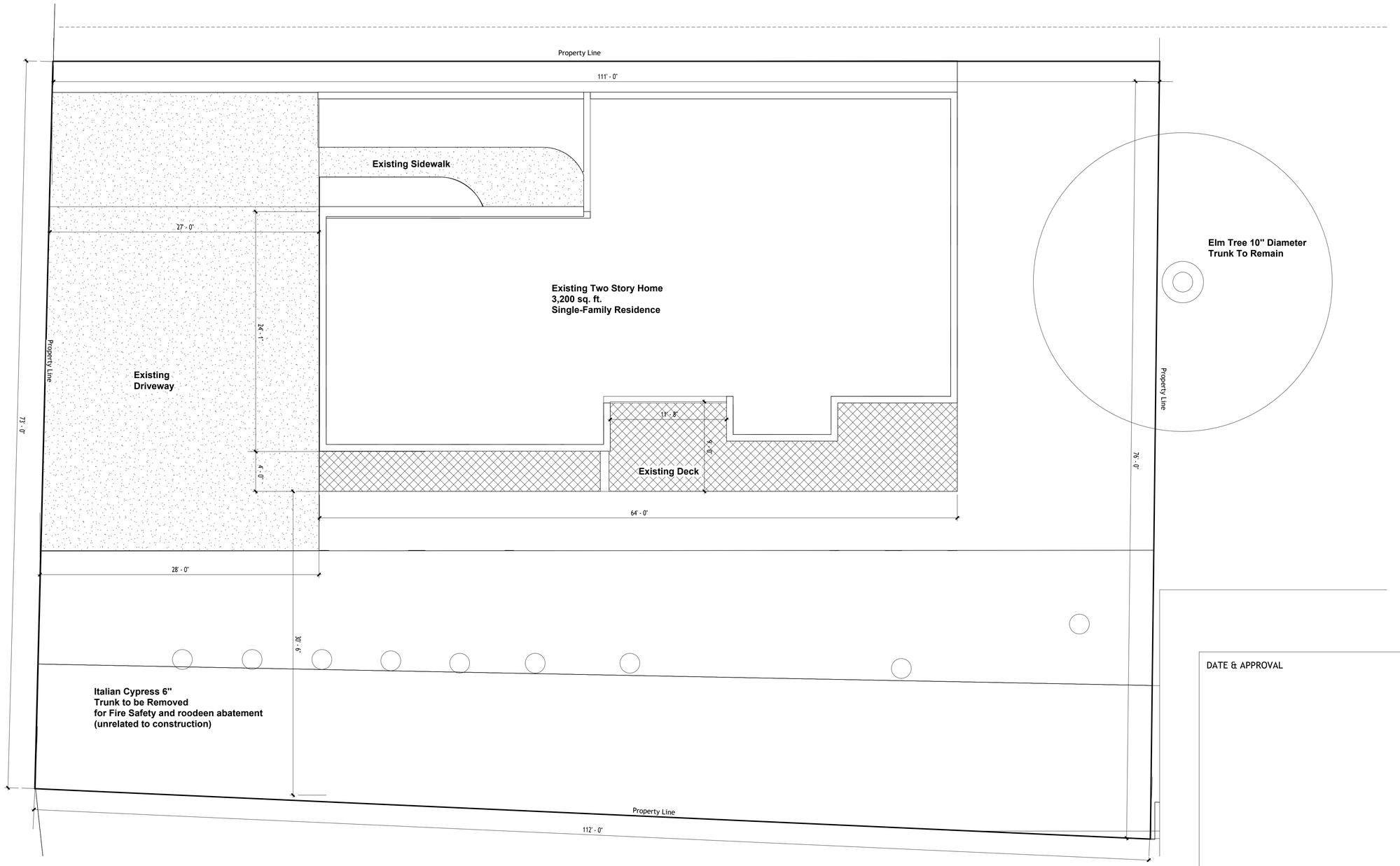
Sheet Title

CONTEXT PHOTO PAGE

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AA-05

Scale



Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

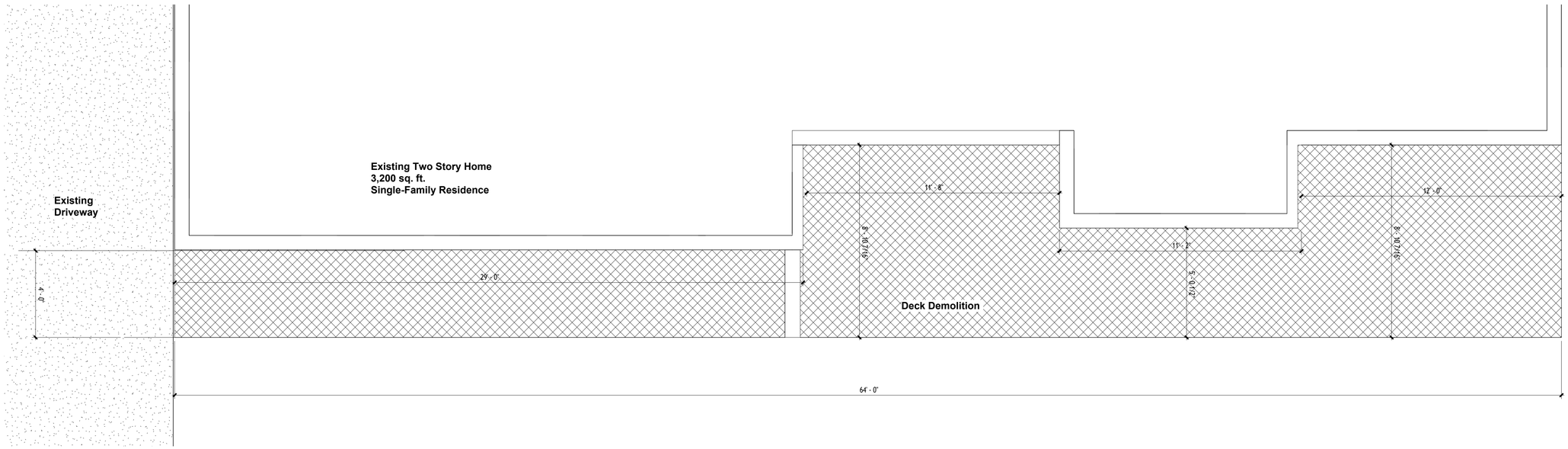
Sheet Title

Site (Plot) Plan

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AR-01

Scale 3/16" = 1'-0"



NOTES

1) Contractor is responsible for coordinating all demolition with new construction, ensuring all utilities are safe, and restoring disturbed surfaces to original or better condition. Immediately report any unforeseen conditions to the owner/engineer for direction.
2) No access through the house for demolition. Use of ladders and scaffolding required for access.
3) Do not walk/stand on existing structure. All weight bearing must be independently ground supported.
4) Place tarps/canvas on ground in demolition area to catch falling debris.
5) Cut existing cantilevered joists flush with inside edge of exterior wall (refer to structural engineering drawings for details)
6) To comply with CalGreen's 65% waste diversion requirement, re-useable boards to be provided to homeowner while deteriorated ones will be disposed of as construction debris at approved local landfill or transfer station. Records to be maintained for estimated re-used materials vs disposed materials.
7) Remove debris and demolished building materials promptly and store in designated containers or protected staging areas. Segregate wood, metal, and other recyclable construction debris to maximize recycling per state (CalGreen) and county requirements. Salvage materials when feasible.
8) Dispose of all pressure treated wood as hazardous waste.

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

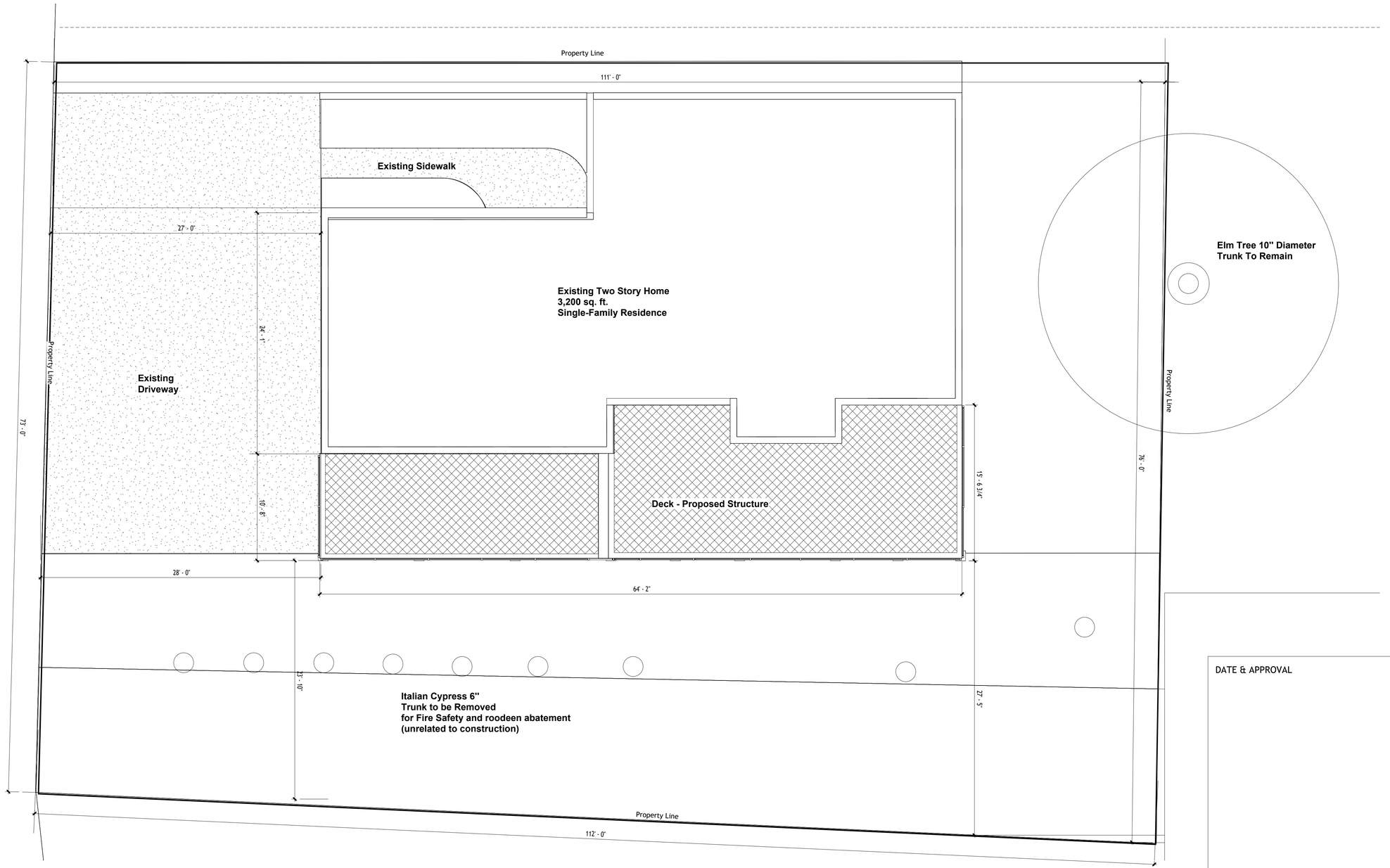
Sheet Title

Deck Demolition Plan

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AR-02

Scale 3/8" = 1'-0"



DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

Site Plan - Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

AR-03

Scale 3/16" = 1'-0"

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

3D VISUALIZATION - Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Author
Checked by	Checker

AR-04

Scale

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Sheet Title

3D VISUALIZATION - Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Author
Checked by	Checker

AR-05

Scale

GENERAL NOTES

A. Construction shall conform to 2022 CALIFORNIA RESIDENTIAL CODE and local regulatory agencies' requirements.
B. Contractor shall verify all pertinent dimensions prior to beginning construction.
C. Conflicts, differences in information, and omissions in drawings shall be brought to the attention of the Engineer for resolution.
D. Refer to Architectural Plans for all dimensions and elevations not shown.

SCOPE OF WORK

There is an existing deteriorating 64'-0"-long cantilevered balcony along the side of an existing single-family residence. It is proposed to demolish the entire balcony back to the exterior wall of the building and build a new exterior deck. The new deck will be supported by a line of beam/posts at the outer edge (not a cantilevered structure)

SOILS & FOUNDATIONS

A. All new foundations have been designed per CBC Chapter 18.

MATERIALS

A. Timber:
A.1. Unless otherwise noted, Sawn lumber, 2x4, 2x6, 3x4 & 3x6 shall conform to or exceed Douglas Fir grade number 2 requirements.

Unless otherwise noted, Sawn lumber, 2x8, 2x10, 2x12 & 4x4, 4x6, 4x8 shall conform to or exceed Douglas Fir grade number 1 requirements. Larger material shall conform to or exceed Douglas Fir select structural.

A.2. Mudsills and all lumber in contact with concrete or exposed to weather shall be pressure-preservative treated Douglas Fir unless noted otherwise.

A.3. All framing lumber shall have 19% maximum moisture content at time of installation.

B. Concrete:
Hardrock, normal weight concrete minimum 28 day compressive strength equals 3,000 psi. (2500 psi used in design calculations to permit no special inspection).

C. Reinforcing Steel:
ASTM A615, Grade 40 for #3 bars and smaller.
ASTM A615, Grade 60 all bars larger than #3.

D. Bolts and Threaded Rods:

1. Threaded Rod: F1554 (Grade as noted per drawings)

2. Anchor Bolts: F1554 (Grade 36, U.O.N. on drawings)
Bent bar "J" anchor bolts shall have a hook with a 90-degree bend with an inside diameter of three bolt diameters, plus an extension of one and one half bolt diameters at the free end.

3. Bolts
*Timber Connections: ASTM A307
*Steel Connections: ASTM A325N U.O.N.

Provide washers under all bolt heads and nuts bearing against wood.

E. Epoxy
Simpson SET-3G (ESR-4057)

TIMBER CONSTRUCTION

A. Framing connections not specified shall conform to CBC nailing schedule, refer to Table 2304.10.1.
B. Wood framing connections such as joist-to-beam, beam-to-beam, and beam-to-column, and column-to-foundation connections, and hold downs and splices shall be made with standard metal connectors, hangers, etc. unless otherwise noted. Connectors designated on the drawings are manufactured by the SIMPSON Strong-Tie Company. Connectors for pressure-preservative treated or fire-retardant treated wood, or permanently exposed to weather shall be stainless steel or ZMAZ/HDG galvanized.
C. Fasteners for pressure-preservative treated or fire-retardant treated wood shall be of hot-dipped zinc coated galvanized, stainless steel, silicon bronze or copper.

CONCRETE CONSTRUCTION

A. Concrete footings shall be constructed in single continuous pours, without construction joints, unless otherwise approved by the Engineer.
B. Splices in rebar are not allowed in footings less than 20 feet long. Splices in rebar shall develop the full strength of the bar. Lap splices shall be at least 48 diameters in length and shall be staggered at least 3 ft. in adjacent bars.
C. Bends and hook in rebar shall conform to CBC and ACI requirements regarding bend radius and extension.

REINFORCING STEEL

A. Bends and hook in rebar shall conform to CBC and ACI requirements regarding bend radius and extension.
B. Splices in rebar shall develop the full strength of the bar. Lap splices shall be at least 48 bar diameters in length and shall be staggered at least 3 feet in adjacent bars.
C. Suitable devices of some standard manufacture shall be used to hold reinforcement in its true horizontal and vertical positions. These devices shall be sufficiently rigid and numerous to prevent displacement of the reinforcement during placing of the concrete. All such devices shall have the prior approval of the Engineer.
D. Unless otherwise noted, maintain coverage to the face of the bars as follows:

D.1. 3 inches where concrete is deposited against earth, except slab-on-grade
D.2. 2 inches where concrete is exposed to earth, but formed.
D.3. ½ inches for beams, columns, and exterior surfaces.
D.4. ¾" for interior slabs and walls.

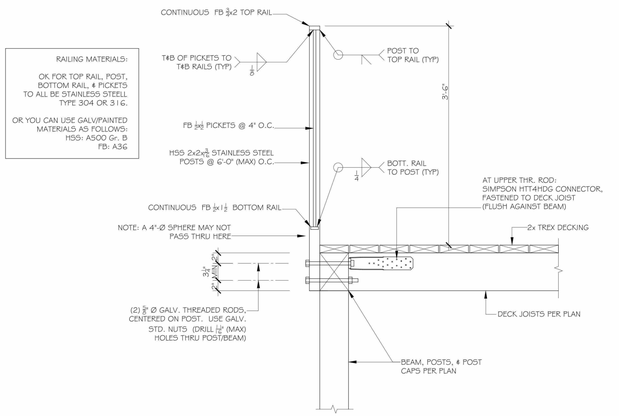
TESTING AND INSPECTION

A. Provide Special Inspections, as required by the 2019 CBC and local regulatory agencies requirements, for the following items:

NO SPECIAL INSPECTIONS ARE REQUIRED.

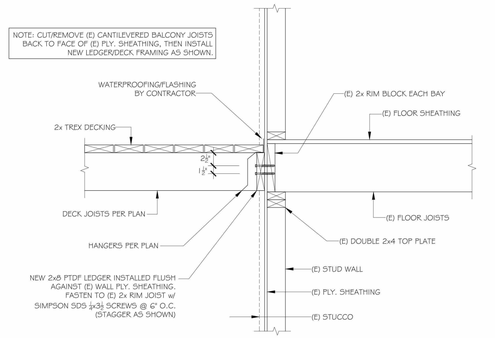
(Per Exception 1 of Section 1704.2, "Special inspections and tests are not required for construction of a minor nature or as warranted by conditions in the jurisdiction as approved by the building official.")

PROJECT INFORMATION	
LIVE LOADS	
DECK LIVE LOAD (psf)	60
ROOF LIVE LOAD (psf)	20
RAIN LOAD (psf)	0
GROUND SNOW LOAD (psf)	0



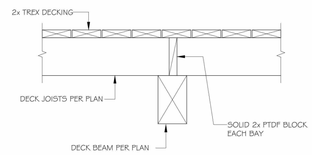
1 FRAMING SECTION

SCALE: 1" = 1'-0"



2 FRAMING SECTION

SCALE: 1" = 1'-0"



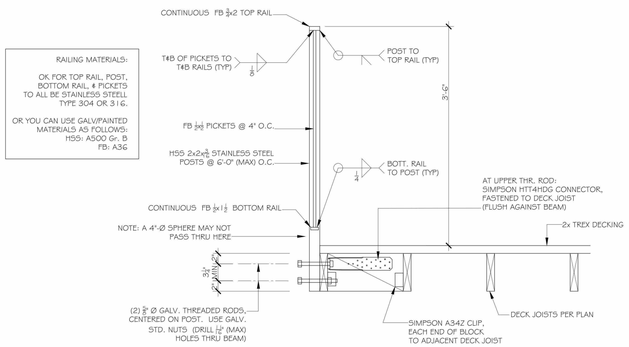
3 FRAMING SECTION

SCALE: 1" = 1'-0"

NOTE:

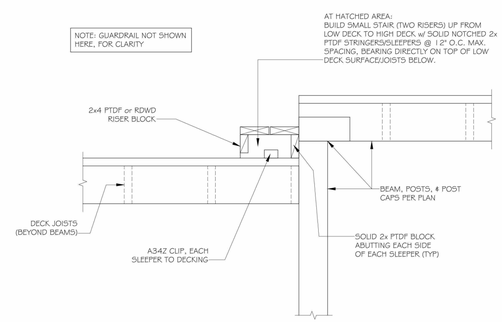
ALL GALVANIZED METALS/FASTENERS SHALL BE HOT-DIPPED GALVANIZED (HDG) OR ZMAX.

DO NOT USE ELECTRO-GALVANIZED HARDWARE.



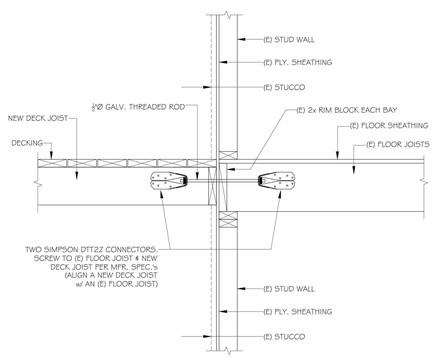
4 FRAMING SECTION

SCALE: 1" = 1'-0"



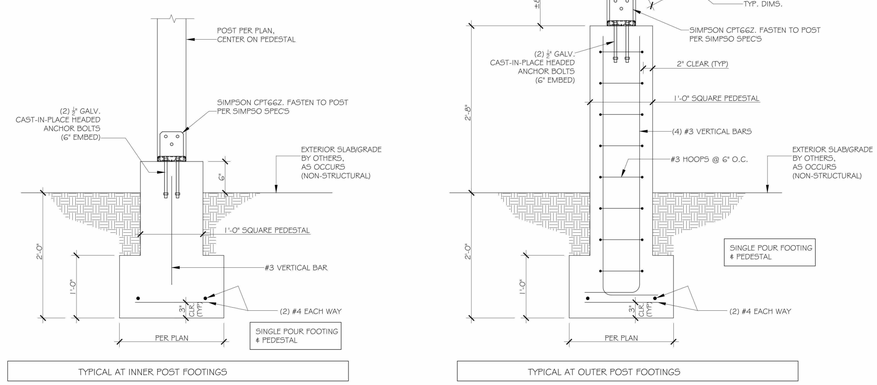
5 FRAMING SECTION

SCALE: 1" = 1'-0"



6 DECK ANCHORAGE DETAILS

SCALE: 1" = 1'-0"



7 TYPICAL FOOTING DETAILS

SCALE: 1" = 1'-0"

ANDERSEN ENGINEERING
2301 Carlson Blvd.
Richmond, CA 94804
(415) 250-8473

LICENSED PROFESSIONAL ENGINEER
ERIK B. ANDERSEN
S 5986
STRUCTURAL
STATE OF CALIFORNIA

41 Heltsley Place
El Sobrante, CA

JOB #25028

08/14/25

NOTES
DETAILS

S1

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

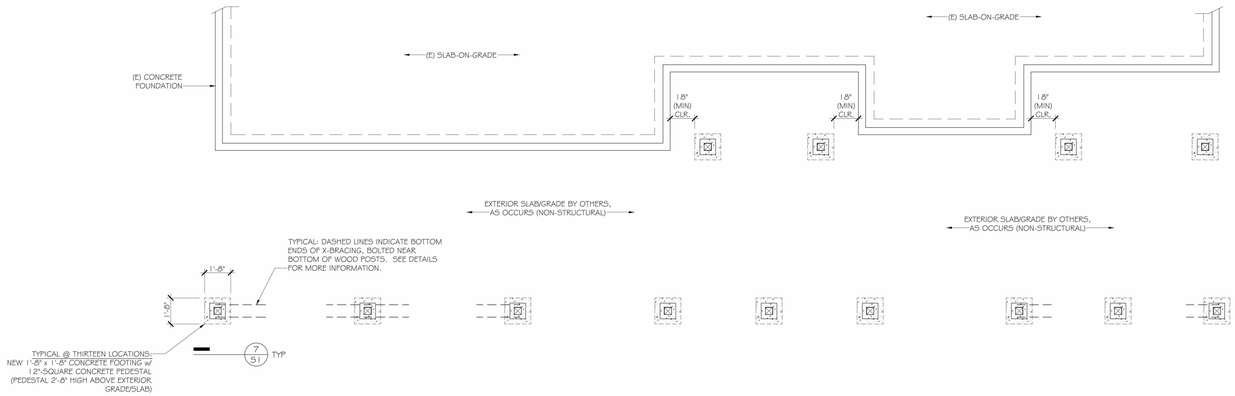
Sheet Title

Structural Engineer Drawings S1

Project number	1
Date	2025-08-18
Drawn by	Andersen Engineering
Checked by	Adam Morgenthaler

S-01

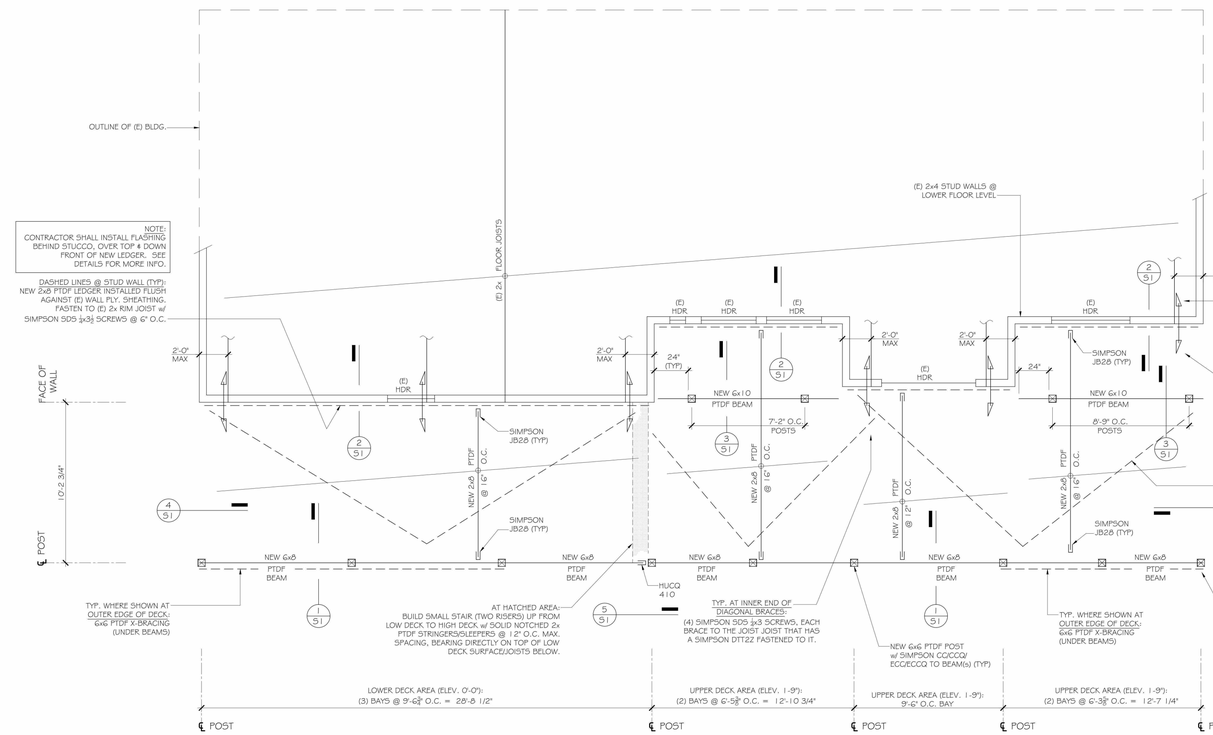
Scale



1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REFERENCE NORTH



2 DECK FRAMING PLAN

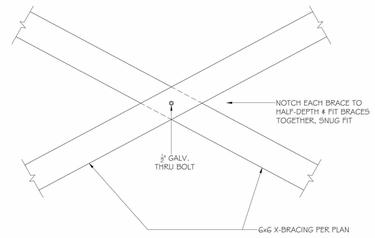
SCALE: 1/4" = 1'-0"

REFERENCE NORTH

NOTE:

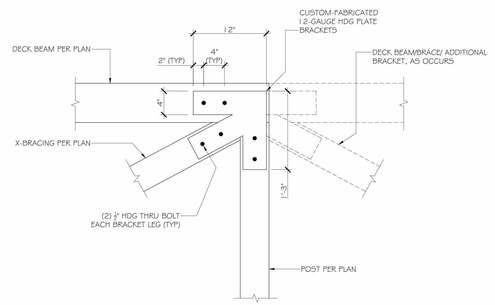
ALL GALVANIZED METALS/FASTENERS SHALL BE HOT-DIPPED GALVANIZED (HDG) OR ZMAX.

DO NOT USE ELECTROGALVANIZED HARDWARE.



3 TYPICAL X-BRACING INTERSECTION DETAIL

SCALE: 1" = 1'-0"



4 POST-TO-BEAM PLATE BRACKET @ X-BRACE LOCATIONS

SCALE: 1" = 1'-0"

ANDERSEN ENGINEERING
2301 Carlson Blvd.
Richmond, CA 94804
(415) 250-8473

LICENSED PROFESSIONAL ENGINEER
GUY B. ANDERSON
S 5986
STRUCTURAL
STATE OF CALIFORNIA

41 Heltsley Place
El Sobrante, CA

JOB #25028

08/14/25

PLANS **DETAIL**

S2

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

Structural Engineer Drawings S2

Project number	1
Date	2025-08-18
Drawn by	Andersen Engineering
Checked by	Adam Morgenthaler

S-02

Scale

Date = 14-Aug-25
Job No. 25028

41 Heltsley Place, El Sobrante, CA
New/Replacement Exterior Deck

Loads:	Dead Loads =	2x Decking	5 psf
Exterior Deck		*framing*	3 *psf*
	Total (psf)		8.0 psf
	Live Load (psf)		60 psf

41 Heltsley Place, El Sobrante, CA

Job No. 25028

Beam Type	Type	Fb (ksi)	Fv (ksi)	E (ksi)	Fc // (ksi)	Fc (ksi)	EC (ksi)	pcf
Doug Fir #1	1	varies	varies	1700	0.925		1600	36
Doug Fir #2	2	varies	varies	1600	0.925		1600	36
GLULAM (24F-V4)	3	2.40	0.265	1800	1.65		1600	36
PSL Parallam 2.0E	4	2.90	0.29	2000	0.5	0.75	1000	45
Steel	5	23.76	14.40	29000	22		22000	490
LVL Microllam 1.9E	6	2.6	0.285	1900	2.51	0.75		41.5
LSL TimberStrand 1.55E	7	2.325	0.31	1550	2.05	0.8		44
TJI	8	varies	varies	varies				
RFPI	9	varies	varies	varies				

Note: Fb values for 2x material include 1.15 repetitive member factor.

	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members	
Beam Ref on plans						
F1 - deck joist	3	**2x08 no1**	10	120	1	
LOADS	Uniform loads (plf)				Point Load from Left (k)	
Self Weight	2.7			Distance (ft)		
DL	11.0	=8(1.33')	Ci=	DL		
LL	80.0	=60(1.33')	0.80	LL		
Total	93.7			Total	0.0	
PROPERTIES	Beam Type	1	E (ksi)	1700.00	a (in)	0
	Ix (in4)	48	Depth (in)	7.25	b (in)	120
	Sx (in3)	13	A (in2)	11		
REACTIONS (k)		Left	Right			
	DL	**0.07**	**0.07**			
	LL	**0.40**	**0.40**			
	Total	**0.47**	**0.47**	Fv (ksi)	fv (ksi)	
SHEAR (k)	Total (k)	0.41	0.41	0.180	0.057	**< Fv pass**
MOMENT (in-k)	Uniform	Point Load Max	Total	Fb (ksi)	fb (ksi)	
Moment (in-k)	14.06	0	14.06	1.10	1.07	**< Fb pass**
DEFLECTION (in)	Δ TL (in)	0.260	L/in TL	461		**pass > 240**
	Δ LL (in)	0.222	L/in LL	540		**pass > 360**

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title
Structural Engineer Calculations Sheets

Project number	1
Date	2025-08-18
Drawn by	Andersen Engineering
Checked by	Adam Morgenthaler

S-03

Scale

41 Heltsley Place, El Sobrante, CA

Job No. 25028

Beam Ref on plans	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members	
F2 - deck beam	14	**6x08 no1**	9.5	114	1	
LOADS	Uniform loads (plf)				Point Load from Left (k)	
Self Weight	10.3			Distance (ft)		
DL	40.0	=8(5')	Ci=	DL		
LL	300.0	=60(5')	0.80	LL		
Total	350.3			Total	0.0	
PROPERTIES	Beam Type	1	E (ksi)	1600.00	a (in)	0
	Ix (in4)	193	Depth (in)	7.50	b (in)	114
	Sx (in3)	52	A (in2)	41		
REACTIONS (k)		Left	Right			
	DL	**0.24**	**0.24**			
	LL	**1.43**	**1.43**			
	Total	**1.66**	**1.66**	Fv (ksi)	fv (ksi)	
SHEAR (k)	Total (k)	1.45	1.45	0.170	0.053	**< Fv pass**
MOMENT (in-k)	Uniform	Point Load Max	Total	Fb (ksi)	fb (ksi)	
Moment (in-k)	47.42	0	47.42	0.96	0.92	**< Fb pass**
DEFLECTION (in)	Δ TL (in)	0.208	L/in TL	549		**pass > 240**
	Δ LL (in)	0.178	L/in LL	641		**pass > 360**

Beam Ref on plans	Beam No from table	Beam Name	Length (ft)	Length (in)	Multiple Members	
F3 - deck beam	15	**6x10 no1**	10	120	1	
LOADS	Uniform loads (plf)				Point Load from Left (k)	
Self Weight	13.1			Distance (ft)		
DL	60.0	=8(7.5')	Ci=	DL		
LL	450.0	=60(7.5')	0.80	LL		
Total	523.1			Total	0.0	
PROPERTIES	Beam Type	1	E (ksi)	1600.00	a (in)	0
	Ix (in4)	393	Depth (in)	9.50	b (in)	120
	Sx (in3)	83	A (in2)	52		
REACTIONS (k)		Left	Right			
	DL	**0.37**	**0.37**			
	LL	**2.25**	**2.25**			
	Total	**2.62**	**2.62**	Fv (ksi)	fv (ksi)	
SHEAR (k)	Total (k)	2.20	2.20	0.170	0.063	**< Fv pass**
MOMENT (in-k)	Uniform	Point Load Max	Total	Fb (ksi)	fb (ksi)	
Moment (in-k)	78.46	0	78.46	1.08	0.95	**< Fb pass**
DEFLECTION (in)	Δ TL (in)	0.187	L/in TL	641		**pass > 240**
	Δ LL (in)	0.161	L/in LL	745		**pass > 360**

CONSIDER A 24" (MAX) BEAM CANTILEVER:

$M = (44\ \#/in)(24")^2(\frac{1}{2}) = 12672\ \#\ in$

$f_b = \frac{12672\ \#\ in}{83\ in^3} = 152\ psi$

$F_b = 1080\ psi$ OK

PROJECT :
CLIENT :
JOB NO. :
DATE :
PAGE :
DESIGN BY :
REVIEW BY :

Wood Post, Wall Stud, or King Stud Design Based on NDS

INPUT DATA

HEIGHT — Effective Length (NDS 3.7)
H = 11 ft
Le x-x = 11 ft, (strong axis bending)
Le y-y = 11 ft, (weak axis bending)

AXIAL LOAD
P_{DL} = 480 lbs
P_{LL} = 2860 lbs
Total P = 3,340 lbs

LATERAL LOAD
w = 0 plf
F = lbs, at ft, from bottom
Max Section M = 0 ft-lbs, at 11.00 ft from bottom
Max Section V = 0 s, at top end

SPECIES (1 = DFL, 2 = SP, 3 = LSL, 4 = PSL) 1 DOUGLAS FIR-LARCH
GRADE (1, 2, 3, 4, 5, or 6) 4 No. 2

SECTION 1 pcs, b = 4 in
h = 4 in

WET / DRY ? (1 = DRY, 2 = WET) 1 DRY

DESIGN SUMMARY

USE: 1 - 4" x 4" DOUGLAS FIR-LARCH No. 2

1. CHECK VERTICAL LOADS : $f_c < F_c'$?
273 psi < 319 psi **[Satisfactory]**

2. CHECK BENDING LOADS : $f_b < F_b'$?
0 psi < 1350 psi **[Satisfactory]**

3. CHECK INTERACTION : $\left(\frac{f_c}{F_c'}\right)^2 + \left(\frac{1}{1 - f_c / F_{cEx}}\right)\frac{f_{bx}}{F'_{bx}} \le 1$?
0.732 < 1 **[Satisfactory]**

4. CHECK SHEAR LOADS : $f_v < F_v'$?
0 psi < 180 psi **[Satisfactory]**

5. MAXIMUM HORIZONTAL DEFLECTION
Δ = 0.00

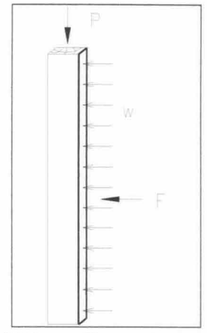
ANALYSIS

COLUMN BASIC DESIGN STRESSES:

COMPRESSIVE STRESS	F_c =	1350	psi
MODULUS OF ELASTICITY	E =	1600	ksi
BENDING STRESS (X-Axis)	F_{bx} =	900	psi
SHEAR STRESS (X-Axis)	F_v =	180	psi

COLUMN PROPERTIES:

STANDARD DRESSED SIZE		dy =	3.50	in
		dx =	3.50	in
AREA		A =	12.25	in^2
SECTION PROPERTIES	Abt. x-x	Sx =	7.15	in^3
		Ix =	12.51	in^4
LENGTH-DEPTH RATIO		Le x-x / dy =	37.7	
		Le y-y / dx =	37.7	



ADJUSTMENT FACTORS:

		F_{bx}'	F_c'	F_v'	E'
DURATION (NDS 2.3.2)	C_D	1.00	1.00	1.00	
MOISTURE FACTOR	C_M	1.00	1.00	1.00	1.00
TEMPERATURE FACTOR	C_t	1.00	1.00	1.00	1.00
INCISING FACTOR	C_i	1.00	1.00	1.00	1.00
SIZE FACTOR	C_F	1.50	1.15		1.00
FLAT USE FACTOR	C_{fu}				
COLUMN STABILITY	C_P		0.205		
REPETITIVE (1.15 or 1.0)	C_r	1.00			
BEAM STABILITY	C_L	1.00			

MODULUS OF ELASTICITY	E'_{min} =	580	ksi		
COLUMN PARAMETER	c =	0.80			
BEAM PARAMETER	R_B =	N/A			
BUCKLING VALUES					
F_{cE} =	335	psi	F_{bE} =	N/A	
F_c^* =	1553	psi	F_b^* =	N/A	

ADJUSTED PROPERTIES:

MODULUS OF ELASTICITY	E' =	1600	ksi	AXIAL STRESS	F_c' = 319 psi
BENDING STRESS (X-Axis)	F_{bx}' =	1350	psi	SHEAR STRESS	F_v' = 180 psi

ACTUAL STRESSES:

AXIAL STRESS	f_c =	272.7	psi	SHEAR STRESS	f_v = 0 psi
BENDING STRESSES	f_{bx} =	0.0	psi		

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title
Structural Engineer Calculations Sheets

Project number	1
Date	2025-08-18
Drawn by	Andersen Engineering
Checked by	Adam Morgenthaler

S-04

Scale

Andersen Engineering
2301 Carlson Blvd.
Richmond, CA 94804
(415) 250-8473

JOB # 25028

TYPICAL FOOTING - SOIL BEARING

P_{MAX} = (1660# BEAM REACTION)(2 SPANS) = 3320 #

P_{ALLOW} = (1500 psf)$(1.67')^2$ = 4183 # OK

Andersen Engineering
2301 Carlson Blvd.
Richmond, CA 94804
(415) 250-8473

JOB # 25028

TYPICAL DECK LEDGER CONNECTION

NEW 2x8 PTDF LEDGER INSTALLED DIRECTLY AGAINST (E) 2x RIM JOIST. FASTEN W/ SIMPSON SDS ¼ x 3½ @ 6" O.C.

W_{LEDGER} = (8+60)(5' TRIB) = 340 plf

$W_{ALLOW\ SDS\ SCREWS}$ = (190 #/SDS)$\left(\frac{12"}{6"}\right)$ = 380 plf OK

Andersen Engineering
2301 Carlson Blvd.
Richmond, CA 94804
(415) 250-8473

JOB # 25028

STEEL GUARDRAIL

TYP. POST: HSS2x2x⅛ POSTS @ 6'-0" (MAX) O.C.

M = (0.2k)(42") = 8.4 k in

$\frac{M_n}{\Omega} = \frac{(0.797in^3)(36\ ksi)}{1.67}\left[\frac{(2")-(\frac{11"}{16})}{2"}\right]$ = 14.4 k in OK

ACCOUNTS FOR REDUCED SECTION STRENGTH DUE TO BOLT HOLES

F_y = 36 ksi (STAINLESS OPTION — TYPE 304 OR 316)

TOP RAIL: FB ¾x2

M = (0.2k)(72")(¼) = 3.6 k in

$\frac{M_n}{\Omega} = \frac{(0.75)(2)^2}{4}\frac{36}{1.67}$ = 16.1 k in OK

ANCHORAGE TO DECK: (2) ⅝" THRU BOLTS @ 3¼" (MIN) SPACING, THRU POST & RIM TO DECK FRAMING. SIMPSON HTT4HDG FASTENER.

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

Project Description

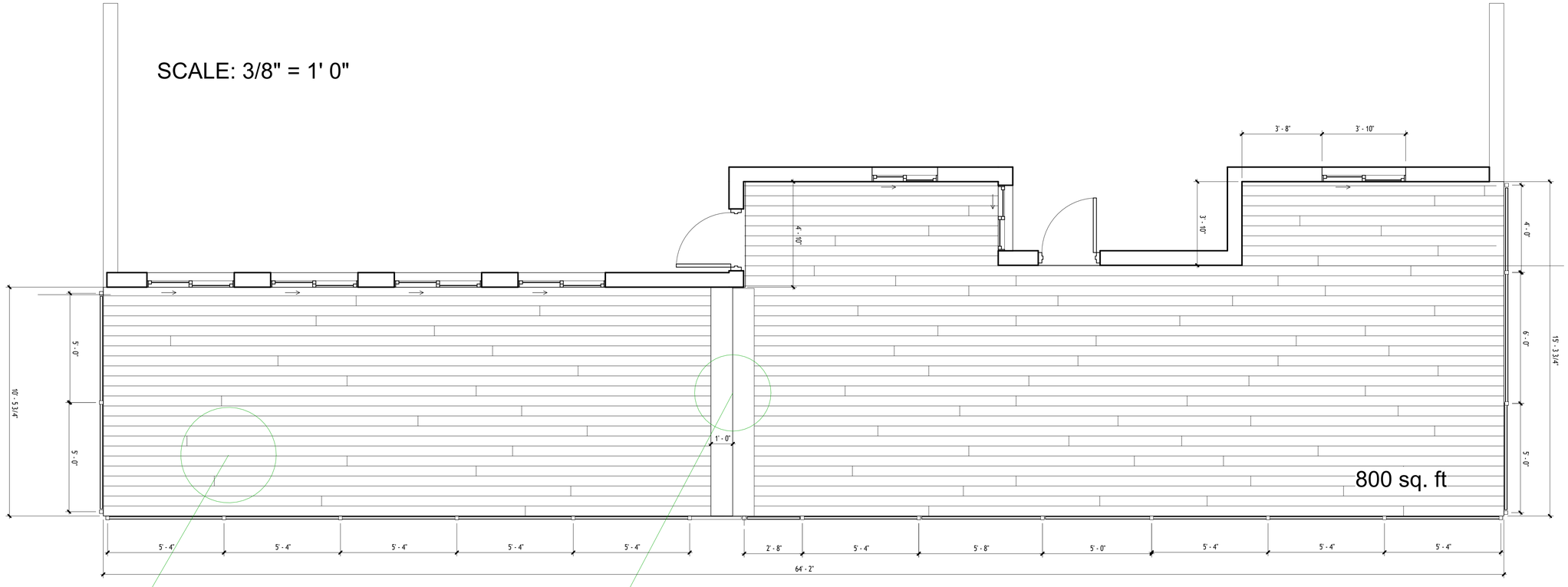
Sheet Title
Structural Engineer Calculations Sheets Copy 1

Project number	1
Date	2025-08-18
Drawn by	Andersen Engineering
Checked by	Adam Morgenthaler

S-05

Scale

SCALE: 3/8" = 1' 0"

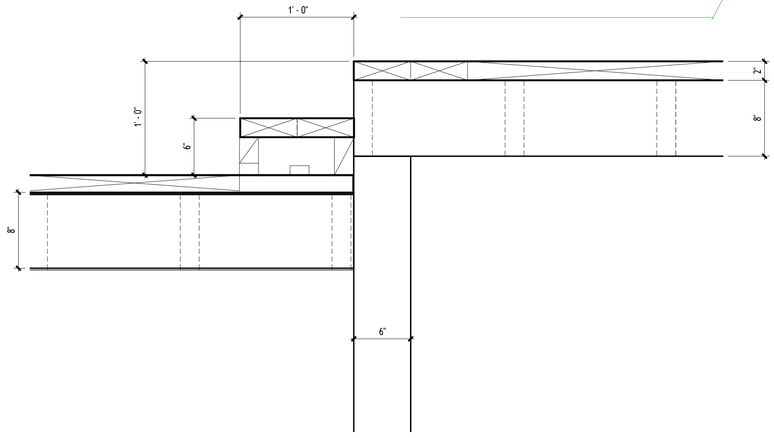


NOTE:

All Decking Boards to Have Random Staggering of End Cuts

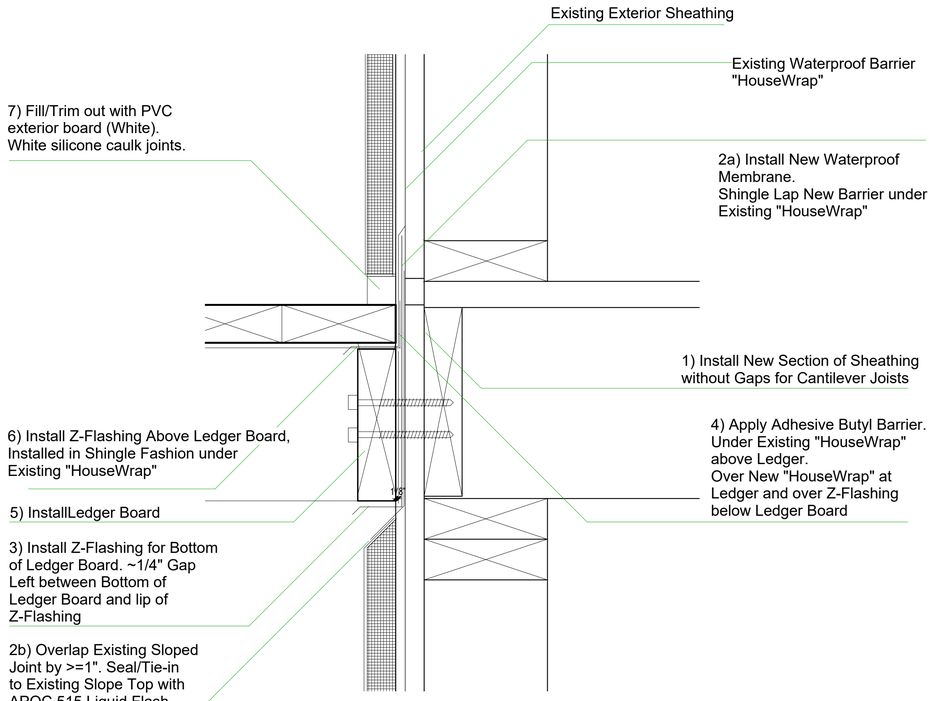
NOTE:

Elevation Change
D1 -> 1xStep -> D2



Step Framing Detail

SCALE: 3" = 1' 0"



Deck Flashing Detail

SCALE: 3" = 1' 0"

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

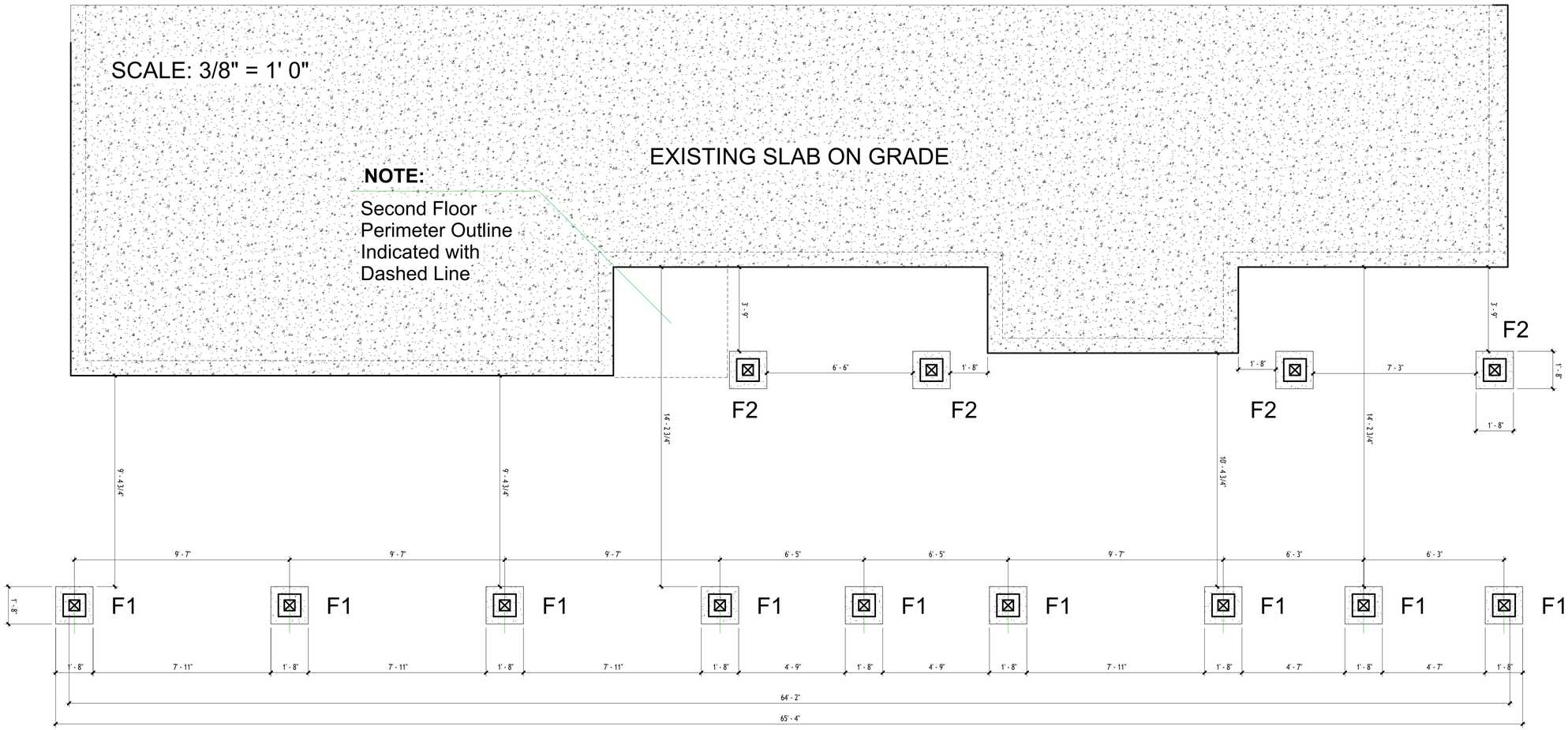
Sheet Title

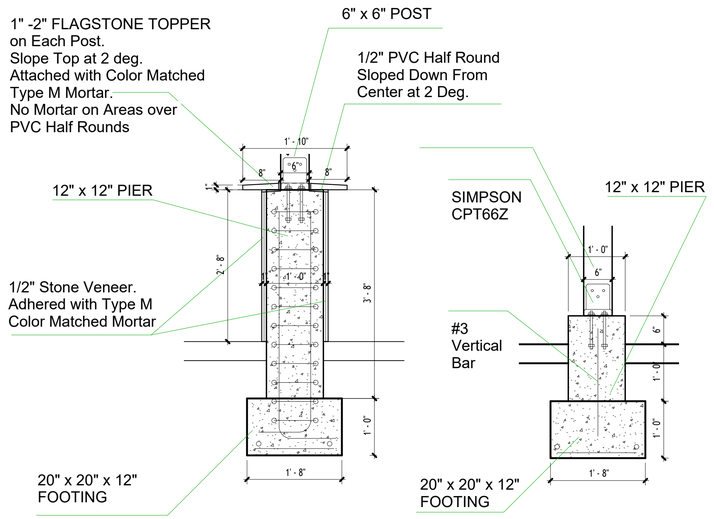
Proposed Deck Plan

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-01

Scale: As indicated



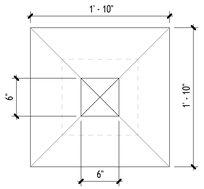


F1

SCALE: 3/4" = 1' 0"

F2

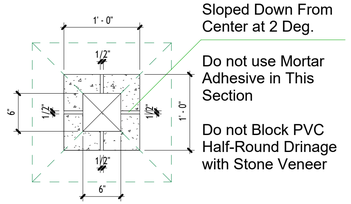
SCALE: 3/4" = 1' 0"



Topper Elevation

of Outer Post Cap F1

SCALE: 1" = 1' 0"



Mounting Detail

For Outer Post Cap F1

SCALE: 1" = 1' 0"

SCHEDULE OF FOOTING

MARK	BASE SIZE	BASE HEIGHT	RISER SIZE	RISER HEIGHT	Concrete Strength	Finish/ Tretment	Reinforcement	NOTES
F1 (Outer)	20" x 20" Square	12"	12" x 12"	12" Below The Grade + 2' 8" Above The Grade	3000 PSI	Top: 1' 10" Flagstone Topper sloped away from post, Type M color Matched mortar Troweled to 2 deg. slope; 1/2" PVC nominal half-round for Drainage Sides: Stone Venner	#4 Bars Each Way in Base, #3 Vertical Bars, Hoops @ 6" O.C., See: Sheet S-01 Detail 7	Flagstone Topper glued atop post. Adjust post length for elevation change. Simpson CBQ66 or CPT66Z as Poat Anchor
F2 (Inner)	20" x 20" Square	12"	12" x 12"	12" Below The Grade + 6" Above The Grade	3000 PSI	Post Cast coated in color-matched Type M mortar. No veneer or stone topper. Top to be troweledsloped at 2 deg. outwardfor drinage around mounting bracket	#4 Bars Each Way in Base, #3 Vertical Bars, Hoops @ 6" O.C., See: Sheet S-01 Detail 7	Inner footing. Adjust post length for elevation change

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

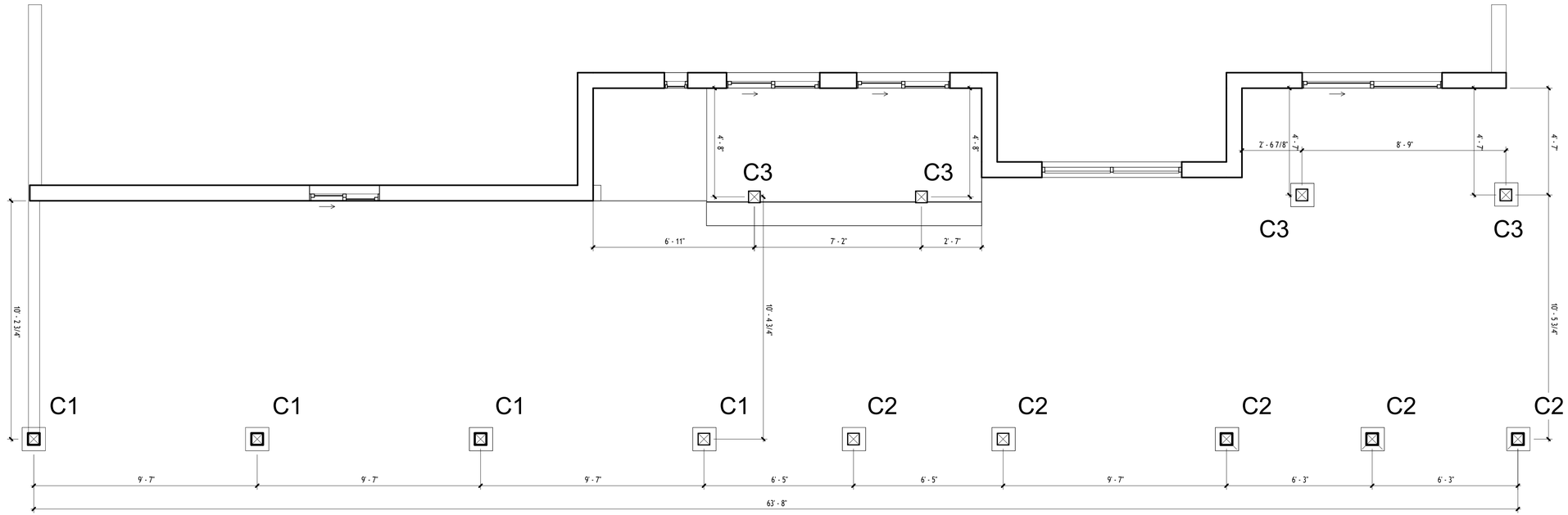
Sheet Title

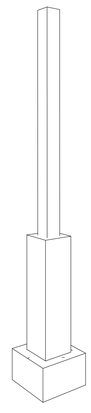
Foundation Layout Plan - Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

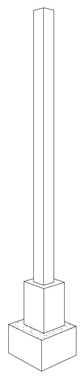
ST-02

Scale: As indicated





C1/C2



C3

SCHEDULE OF COLUMNS				
MARK	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C1	6"	6"	7' 10"*	6x6 Post Sopporting D1 Outter coulumn Starting 2' 8" above ground
C2	6"	6"	8' 10"*	6x6 Post Sopporting D2 Outter coulumn Starting 2' 8" above groundand
C3	6"	6"	10' 10"*	6x6 Post Sopporting D2 Inner coulumn Starting 6" above groundand

* Column Height may vary according to the distance between Footing Heigth and Deck Height

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

New posts to be installed.
Post height dictated by footing type and height of deck. Deck has 2 levels (Refer to ST-07 D1 and D2).

C1 corresponds to outer posts supporting deck at D1 height atop elevated footings.
C2 corresponds to outer posts supporting deck at D2 height with elevated footings.
C3 corresponds to inner posts supporting deck at D2 height with lower footings (See S-01 Detail 7)."

Sheet Title

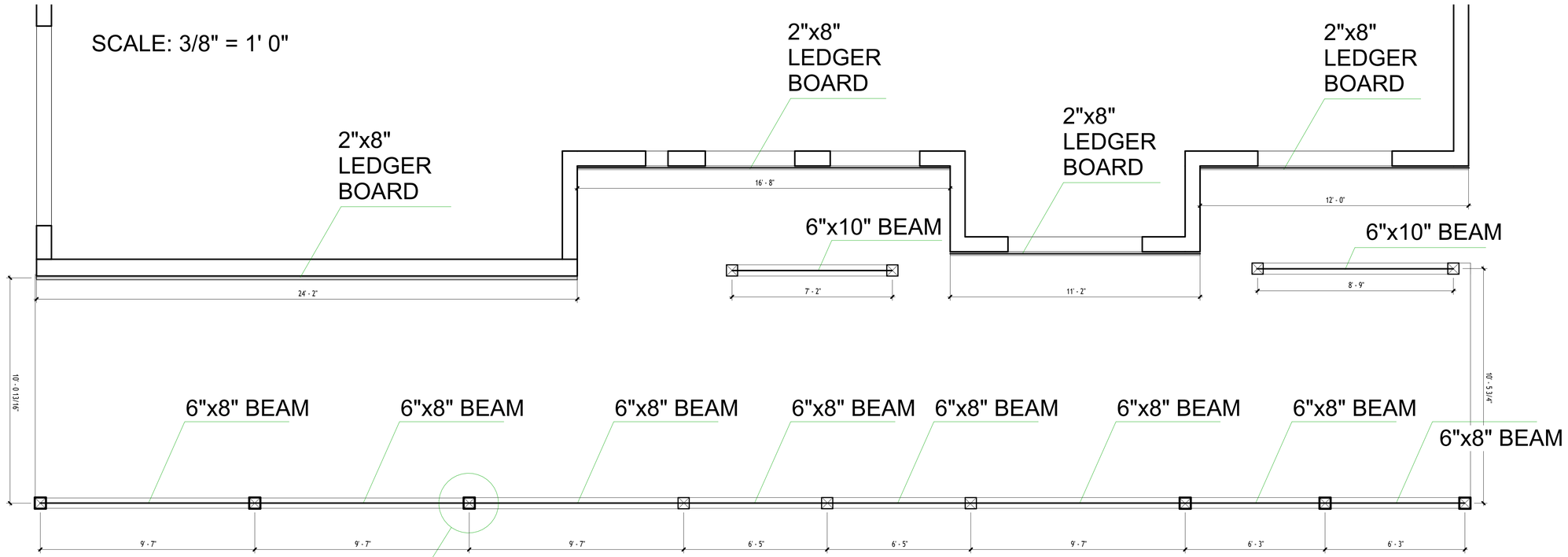
COLUMN LAYOUT PLAN - Proposed Deck

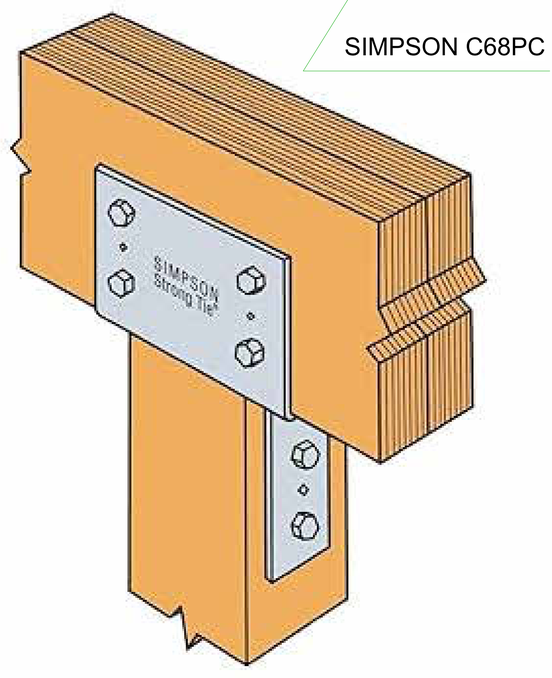
Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-03

Scale 3/8" = 1'-0"

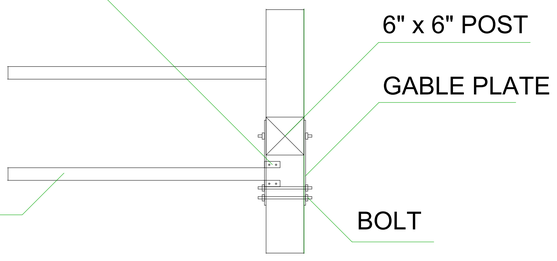
SCALE: 3/8" = 1' 0"





SIMPSON
JOIST HANGERS

NOTE:
OK to Install over Gable Plate.
Use all Fasteners on Joist Hangar.
Drill Gable Plate if Necessary.
If Joist Overlaps with Bolt Pattern - Move Joist.



Gable Plate Attachments Detail

SCALE: 1" = 1' 0"

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name
64' Long Second-Story Balcony Repair/Rebuild Project

Project Address
41 Heltsey Pl, El Sobrante, CA 94803

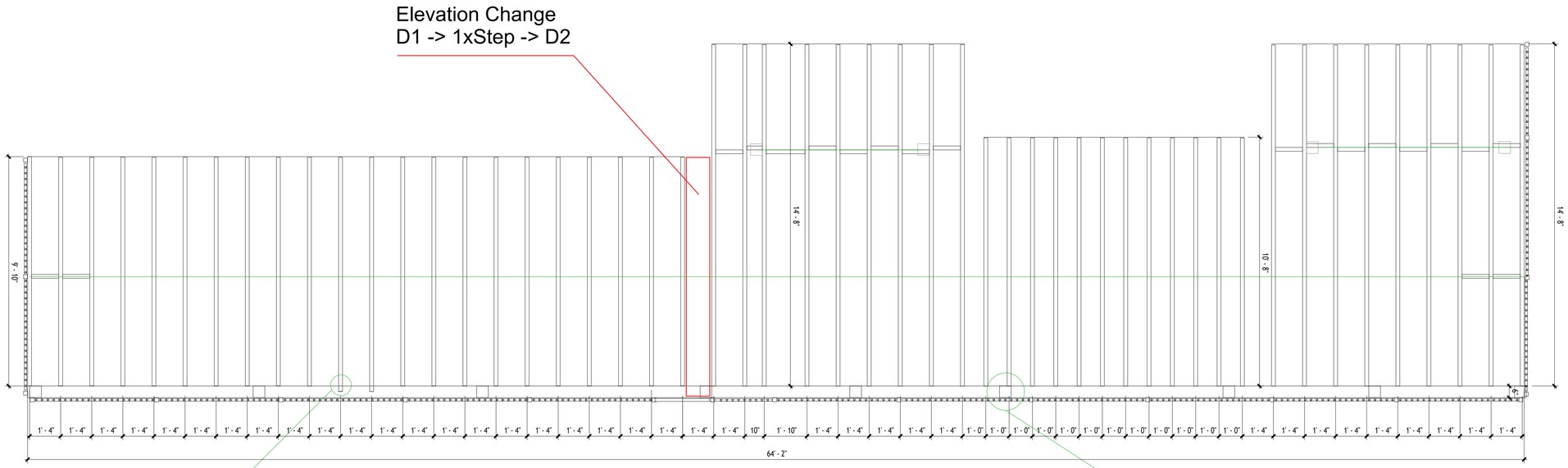
Project Description

Sheet Title
BEAM FRAMING PLAN - Proposed Deck

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

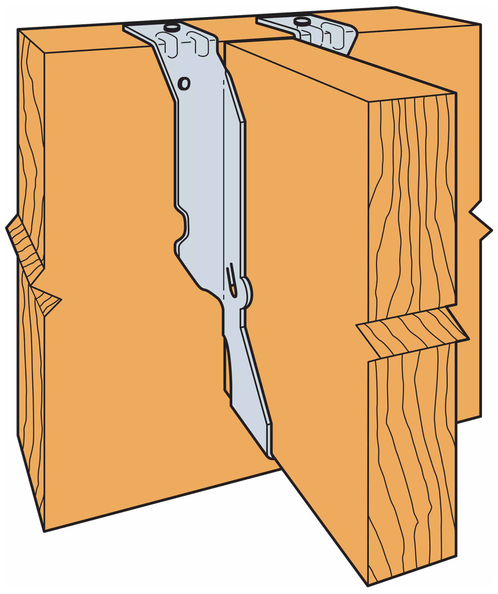
ST-04

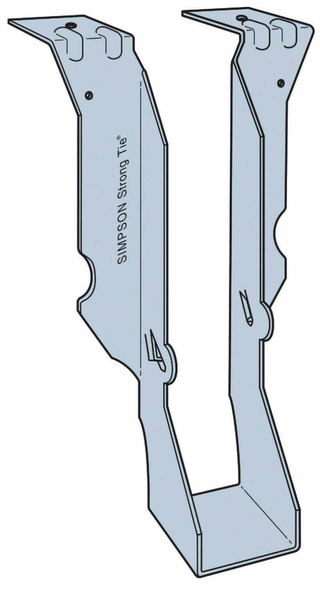
Scale: As indicated

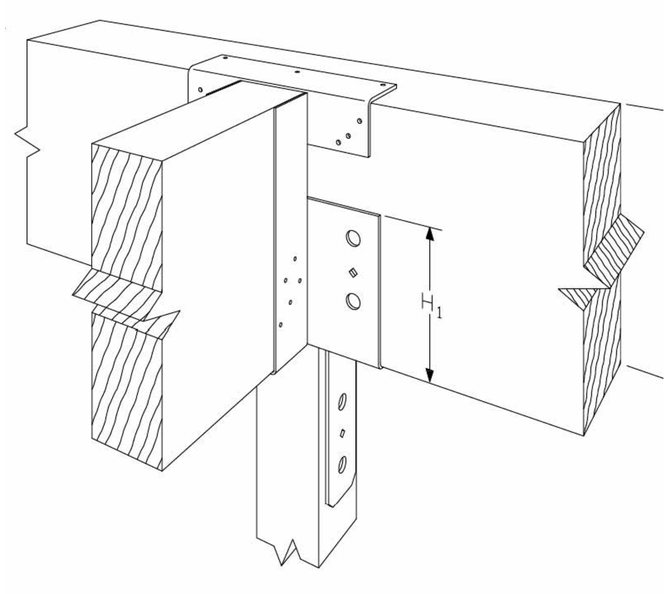


SIMPSON JOIST HANGERS

SIMPSON JOIST HANGERS







DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

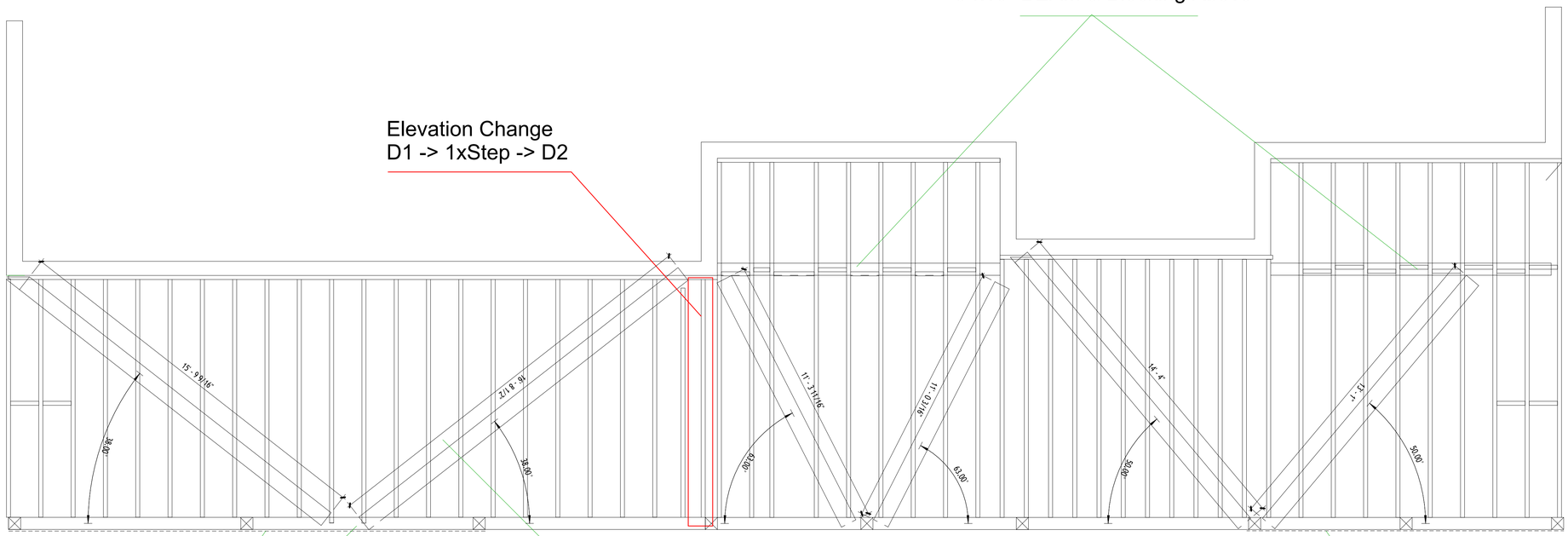
Sheet Title

DECK FRAMING PLAN - JOISTS

Project number	1
Date	2025-08-18
Drawn by	Author
Checked by	Checker

ST-05

Scale 3/8" = 1'-0"



NOTE:
Use ONLY FULL Length
Boards for V-Braces

NOTE:
Miter Cut Boards Flush
with Interior Edge of Beam

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

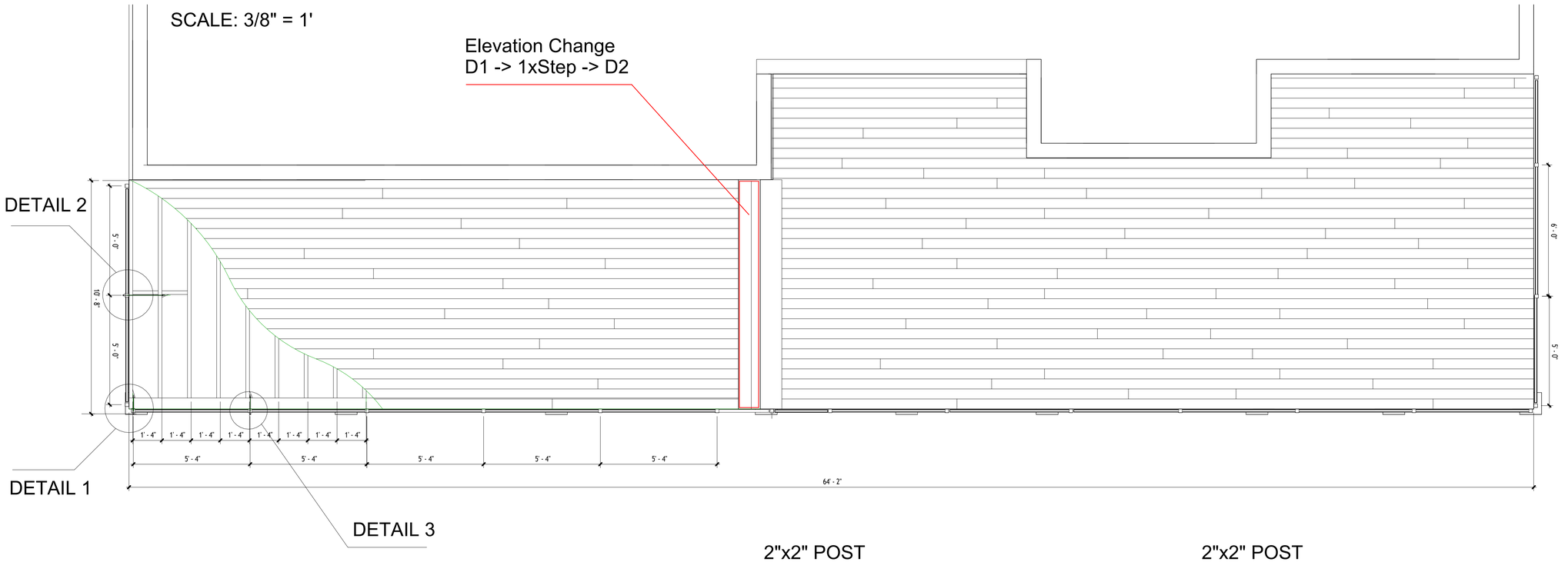
DECK FRAMING PLAN - DIAGONAL BRACING

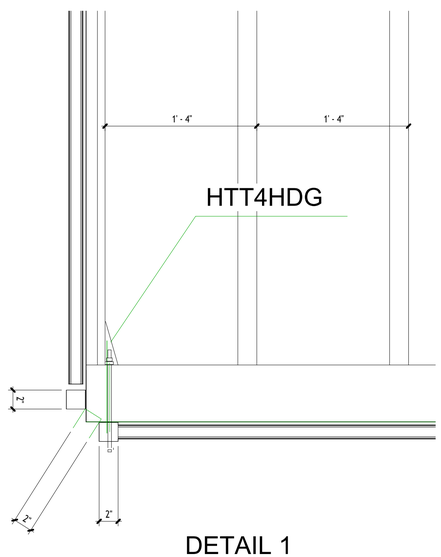
Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-06

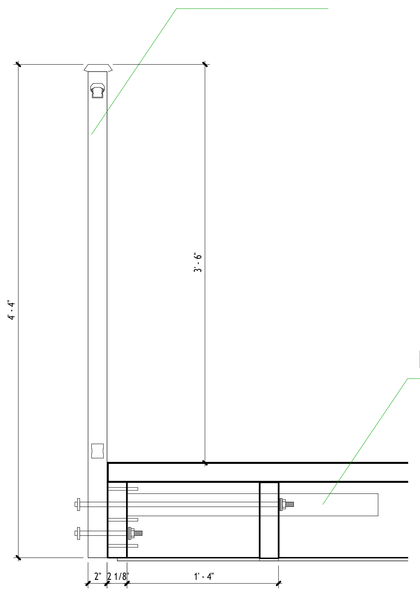
Scale 3/8" = 1'-0"

SCALE: 3/8" = 1'

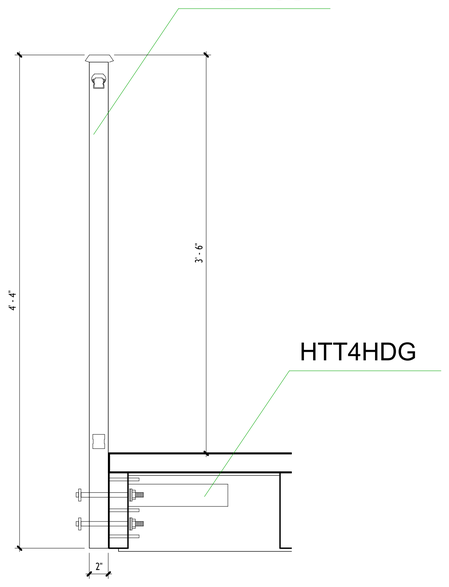




DETAIL 1
SCALE: 1 1/2" = 1'



DETAIL 2
SCALE: 1 1/2" = 1'



DETAIL 3
SCALE: 1 1/2" = 1'

DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

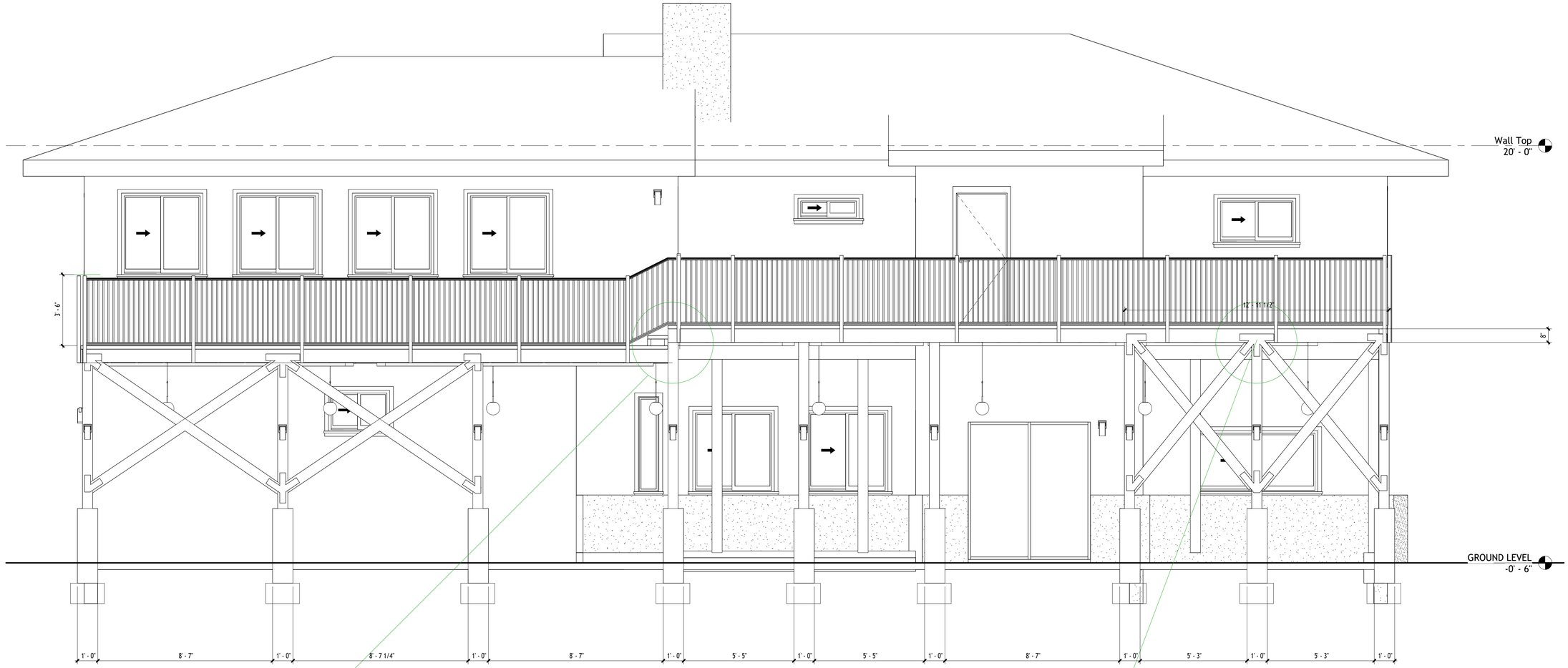
Sheet Title

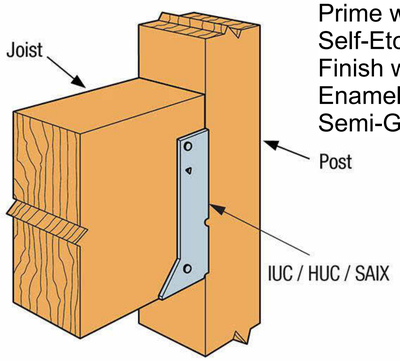
DECKING BOARDS & RAILING PLAN

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-07

Scale: As indicated





SIMPSON Strong-Tie®
IUC/HUC/SAIX Installation
on a Post

NOTE:
Prime with Seymour PBE Self-Etch Black Primer.
Finish with Seymour Hi-Tech Enamel Spray Paint - Semi-Gloss Black

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

FRONT ELEVATION

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-08

Scale 3/8" = 1'-0"

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

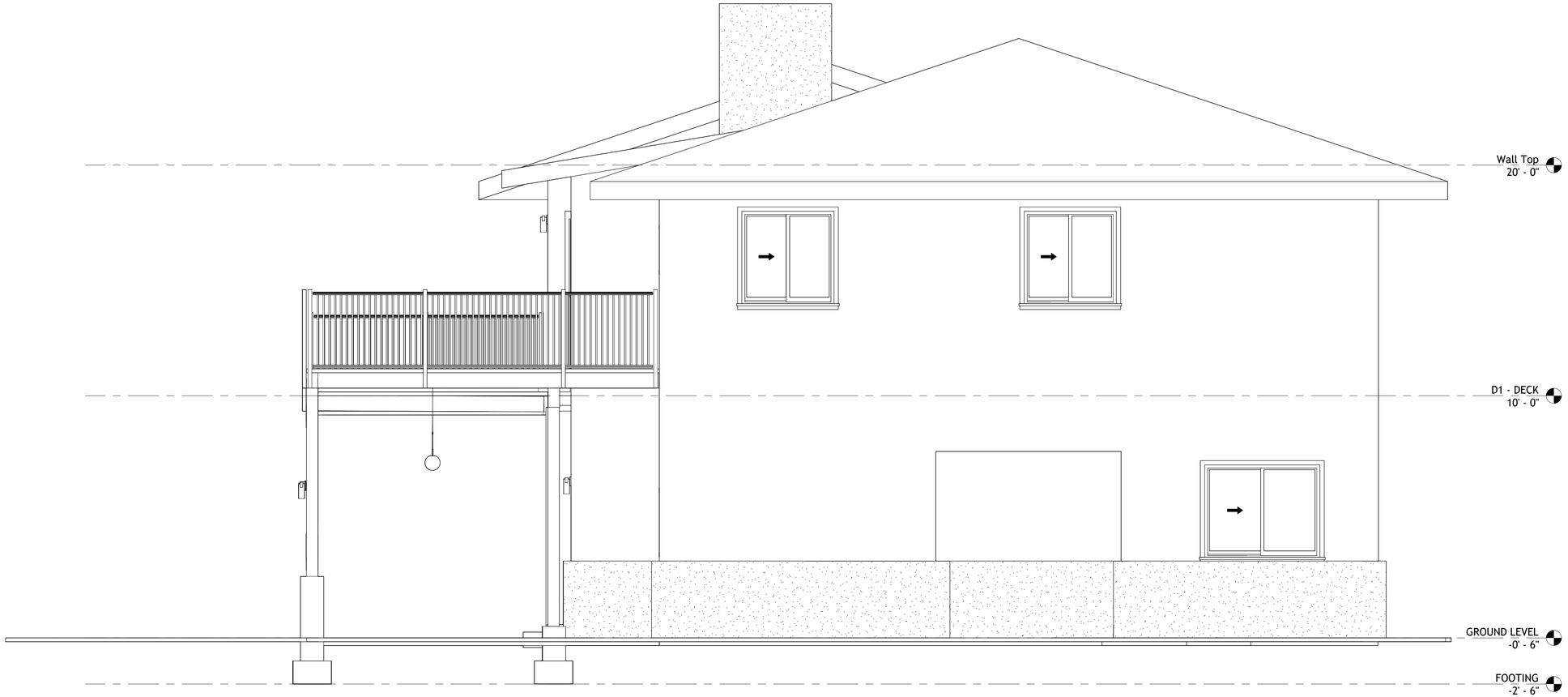
Sheet Title

SIDE ELEVATION

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-09

Scale 3/8" = 1'-0"



DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

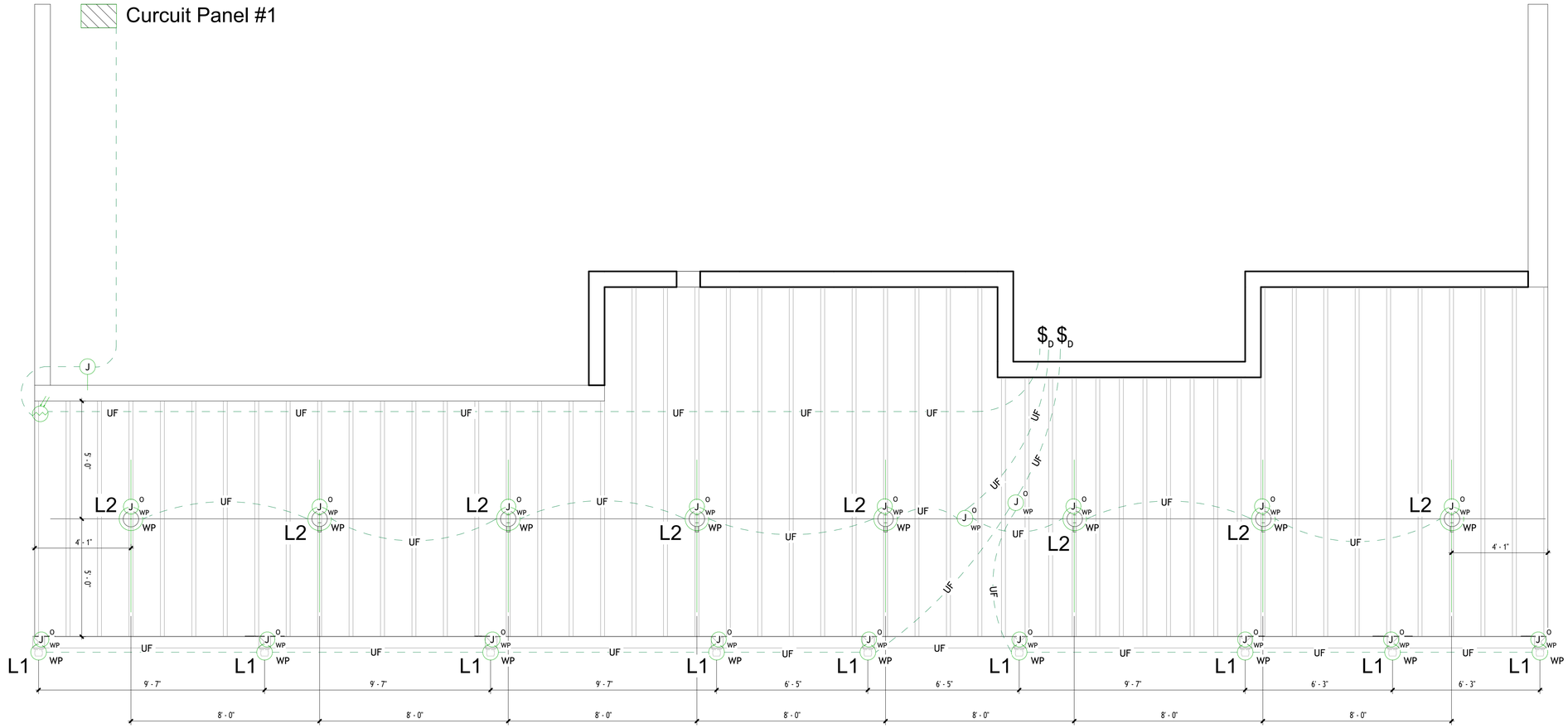
Sheet Title

SIDE ELEVATION

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

ST-10

Scale 3/8" = 1'-0"



SCHEDULE OF LIGHTING

MARK	VISUAL	COUNT	DISCRIPTION	Watts MAX	SUBTOTAL Watts	Volts	TOTAL Watts	TOTAL Amps
L1		9	Outdoor Wall Sconce Matte Black with Clear Glass	60	540	120	1,020	8.5
L2		8	Glass Globe Pendants	60	480			

DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Summary of Scope:

Supply: 120 Vac

Bulbs: A19, E26, dimmable, 4000K neutral white, ~100 W equivalent (≈ 1600 lm)

Total fixtures: 17

Total run length (loop out and back to switch): ~150 ft

Installation:
Exterior/under-deck; use outdoor-rated junction boxes, fittings, and UF cable staples/clamps

Photocell mounted on canopy/box with swivel stem aimed away from fixture light.

Sheet Title

Lights Layout Plan

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

EL-01

Scale 3/8" = 1'-0"

L1

Brand: Home Decorators Collection
Model: Brimfield 3-Light Outdoor Wall Lantern Sconce
Product ID: 204294432
Materials: Metal; Glass/Lens Type: Seedy
Finish: Aged Iron
Shade: Clear Seeded Glass panels
Fixture dimensions (body): 11" D x 9" W x 17.38" H
Weight: 6.33 lb
Mounting type: Wall mount; Sconce Type: Wall Lantern
Location rating: Outdoor; Water Resistant, Waterproof, Weather Resistant; UL Listed (1-UL Listed)
Voltage: 120V
Power type: Hardwired
Socket/base: E26
Max wattage: 60 W
Dimming: With compatible dimmable bulb
Light sources supported: Incandescent, L

L2

Brand: Zanritelit
Model: 006outdoor pendant light
ASIN: B0CRYBQW1G
Materials: Aluminum, Glass
Finish: Sand Black (matte)
Shade: Amber Glass, Globe
Fixture dimensions (body): 9.1" L x 9.1" W x 13" H
Overall height (max): 35.03" (with chain)
Chain length: 20" adjustable
Canopy diameter: 4"
Weight: 3.69 lb
Mounting type: Ceiling mount; hanging
Location rating: IP65
Voltage: 120 V
Power type: Hardwired
Socket/base: E26
Max wattage: 60 W
Dimming: With compatible dimmable bulb
Light sources supported: LED, CFL, incandescent, halogen

Junction Boxes

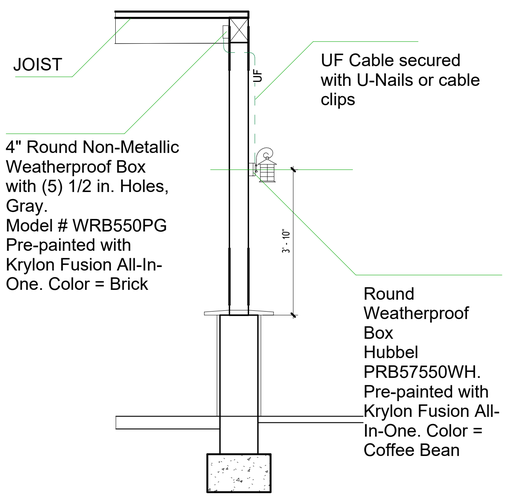
Make: BELL
Model: PRB57550WH
Internet/SKU: 202284522
Material: Nonmetallic, high-impact PVC
Color/finish: White
NEMA rating: NEMA 3R (raintight; protects from rain, sleet, dust; not submersible)
Listing: UL Listed
Volume: 13.5 in³ (221 cm³)
Product dimensions: H 4.38 in × W 4.25 in × D 1.13 in
Outlet/entry count: 5 outlets
Thread sizes supported: 3/4 in NPT at A, B, C, D, E locations; includes reducers for 1/2 in
Mounting: Box with integral hubs; includes ground screw installed
Cover/fixture compatibility: Houses cluster covers and lampholders; can be used as a weatherproof junction box

Photocell

Make: Intermatic
Model: K4221C
Internet/SKU: Varies by distributor; Intermatic catalog K4221C
Material: UV-resistant polycarbonate housing; stainless hardware; cadmium sulfide (CdS) photo sensor; bimetallic thermal switch
Color/finish: Gray housing with black swivel/stem hardware
NEMA rating: Raintight; suitable for wet locations when properly installed (typical use on outdoor luminaires and boxes)
Listing: UL Listed (UL 773), cCSAus; California Title 20 compliant
Voltage/frequency: 120 VAC, 50/60 Hz
Load ratings: 15 A tungsten (1800 W) at 120 V; 8.3 A, 1000 VA magnetic ballast at 120 V
Control type: Thermal (bimetal), SPST; fail mode ON; built-in 30–90 s turn-on/turn-off time delay to prevent nuisance switching
Light levels: Turn ON approx. 1–5 fc; Turn OFF approx. 3–15 fc (factory set)
Stem/thread: 1/2"-14 NPSM threaded stem with swivel mount; includes gasket and locknut
Leads: 9 in. (approx.) 18 AWG wire leads
Temperature range: −40 °C to +70 °C operating
Mounting: Stem-and-swivel through 1/2" threaded hub/opening on a weatherproof box or luminaire; aim sensor away from stray light
Cover/fixture compatibility: For outdoor luminaires, junction and lampholder boxes; compatible with 1/2" hubs on weatherproof boxes (use supplied gasket/locknut)

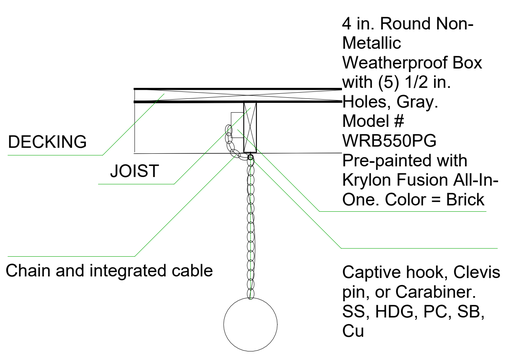
L1 - Mounting Detail

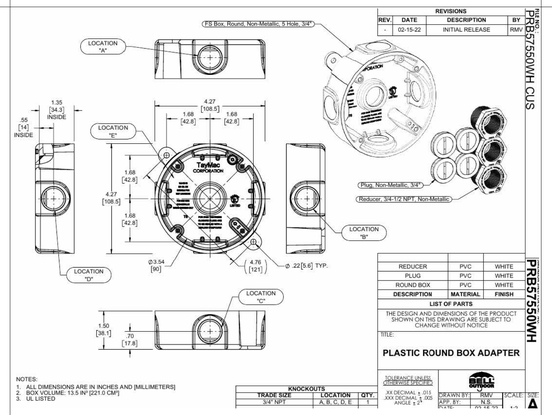
SCALE: 1/2" = 1' 0"



L2 - Mounting Detail

SCALE: 1" = 1' 0"





DATE & APPROVAL

8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW
IS	RE	DATE	DESCRIPTION

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Summary of Scope:

Supply: 120 Vac

Bulbs: A19, E26, dimmable, 4000K neutral white, ~100 W equivalent (≈ 1600 lm)

Total fixtures: 17

Total run length (loop out and back to switch): ~150 ft

Installation:
Exterior/under-deck; use outdoor-rated junction boxes, fittings, and UF cable staples/clamps

Photocell mounted on canopy/box with swivel stem aimed away from fixture light.

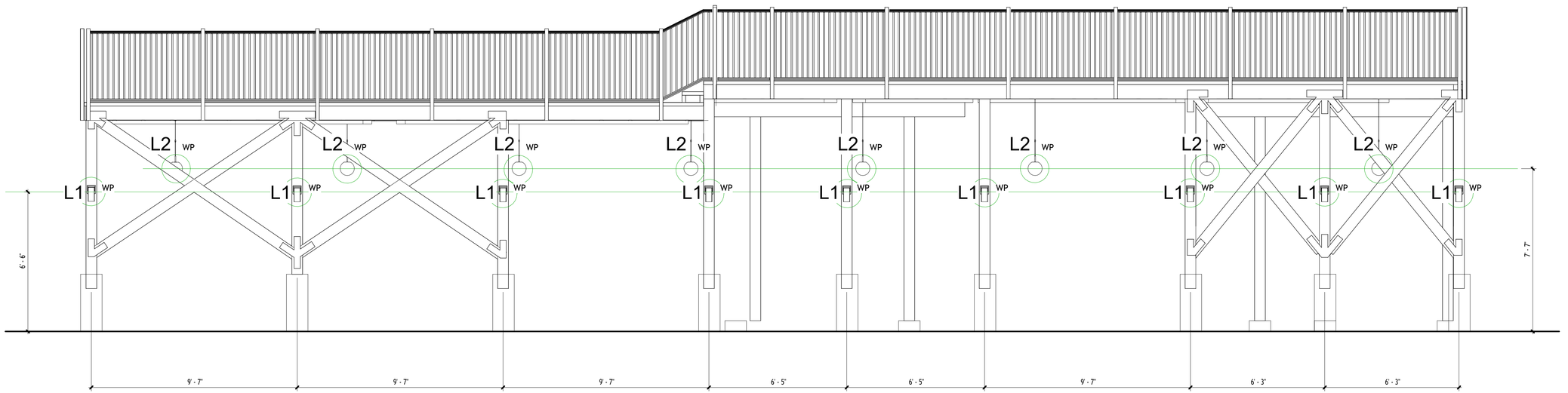
Sheet Title

Lights Detail

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

EL-02

Scale: As indicated



DATE & APPROVAL

IS	RE	DATE	DESCRIPTION
8			
7			VALUE ENGINEERING REVISIONS
6			ISSUED FOR ISSUANCE OF PERMIT
5			ISSUED FOR PRICING
4			ISSUED FOR PERMIT
3	C	2025-08-18	ISSUED FOR OWNER REVIEW
2	B	2025-08-05	ISSUED FOR OWNER REVIEW
1	A	2025-07-21	ISSUED FOR OWNER REVIEW

Project Name

64' Long Second-Story Balcony Repair/Rebuild Project

Project Address

41 Heltsey Pl, El Sobrante, CA 94803

Project Description

Sheet Title

Lighting Layout Elevation

Project number	1
Date	2025-08-18
Drawn by	Zen Life Design
Checked by	Adam Morgenthaler

EL-03

Scale 3/8" = 1'-0"