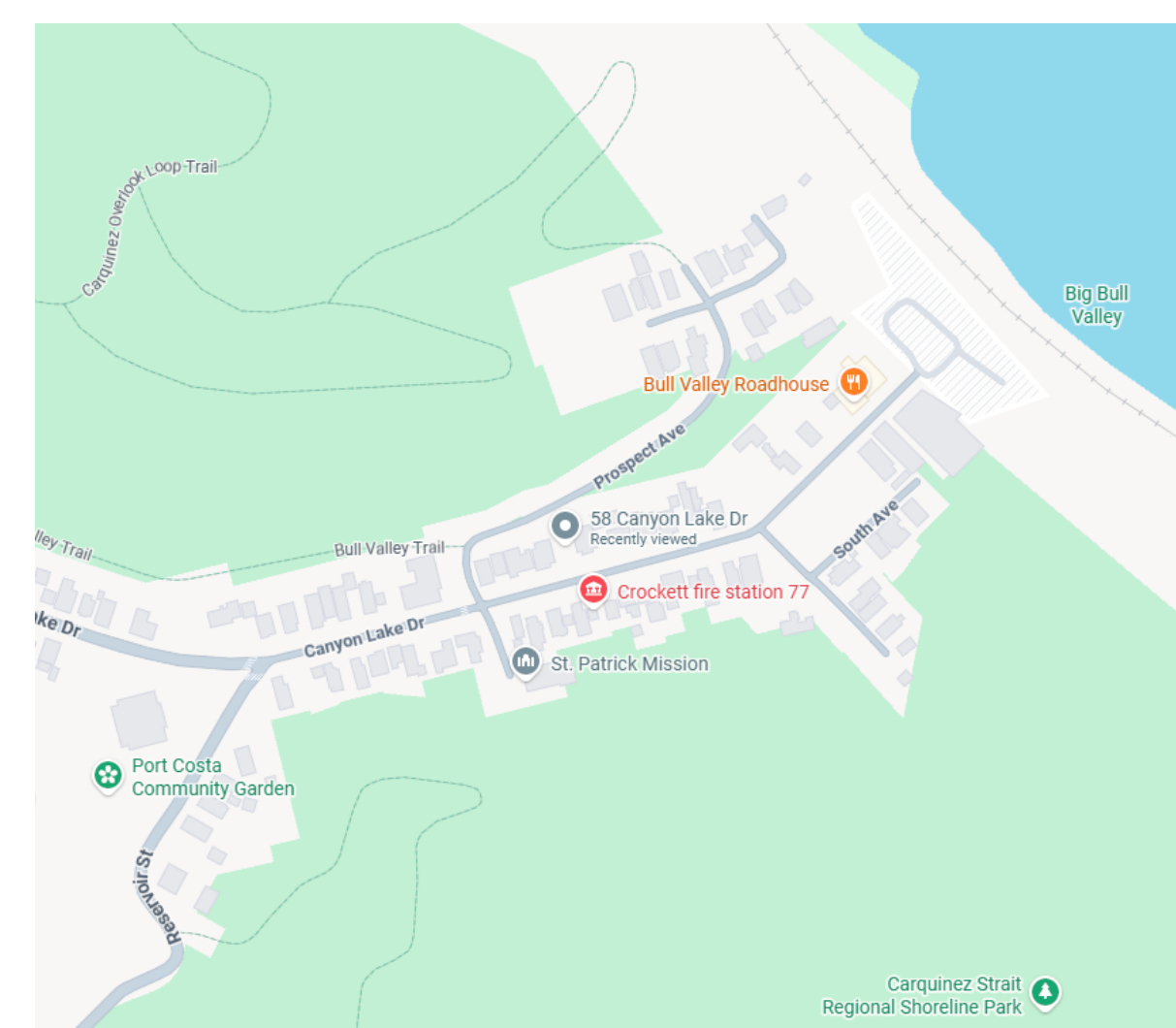
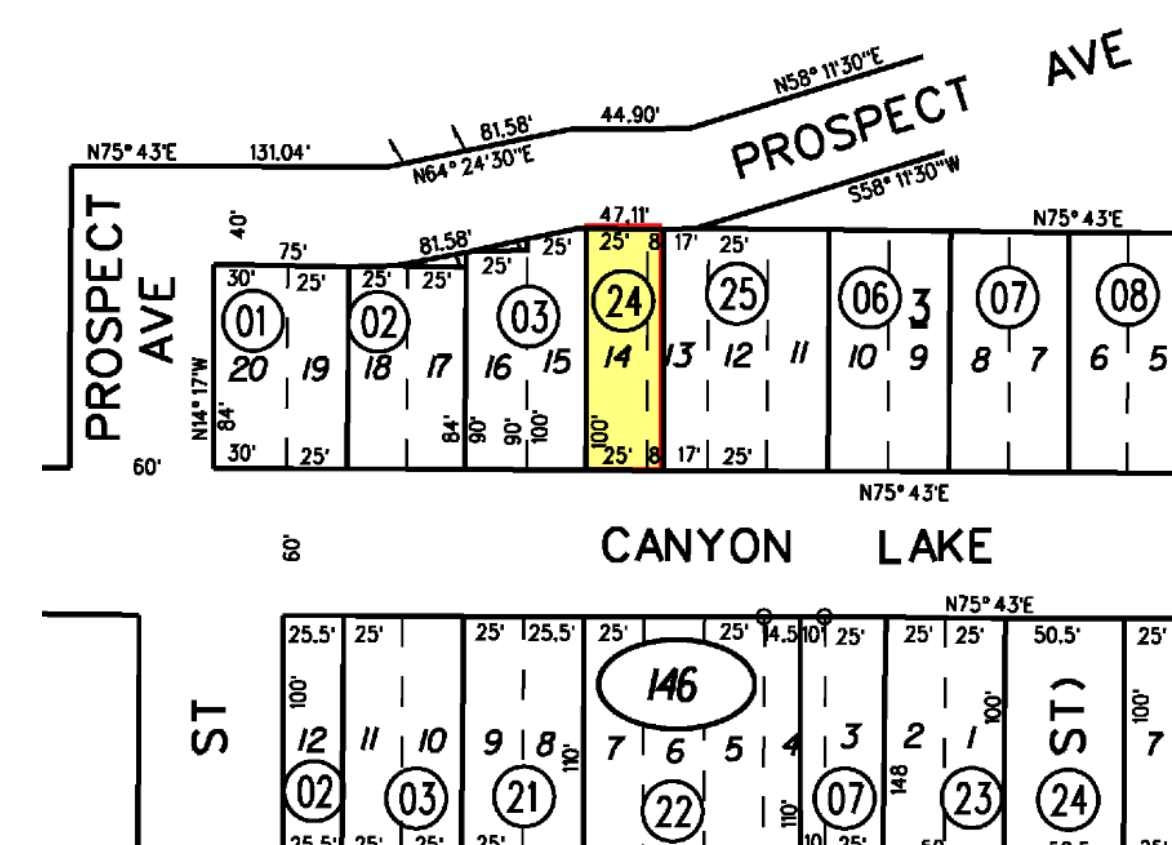


# VARIANCE APPLICATION

## 58 CANYON LAKE

58 Canyon Lake Dr. Port Costa, CA 94569

### MAP



### PROJECT DESCRIPTION

**PROJECT TYPE:**  
SINGLE-FAMILY RESIDENTIAL

**SCOPE OF WORK:**  
SFR SCRAPER AND REBUILD

### PROJECT DATA

**APN:** 368-145-024  
**ZONING DISTRICT:** R-6  
**OCCUPANCY:** R-3  
**CONST TYPE:** VB  
**YEAR BUILT:**  
**NUM. OF DWELLING UNIT:** 1  
**NUM. OF STORY:** 2.5  
**UNIT BREAKDOWN:** 5 BEDROOMS, 1 OFFICE, 3.5 BATHS  
**FIRE SPRINKLER:** YES  
**DEFERRED PERMIT:** FIRE SPRINKLER (NFPA 13D)  
 PUBLIC WORK DEPT. (N) DRIVEWAY  
 WATER DISTRICT (N) WATER METER, BACKFLOW VALVE

**CLIMATE ZONE:** 12  
**FIRE HAZARD:** VERY HIGH FIRE HAZARD SERVERTY ZONE (VHFHS)  
**FLOOD ZONE:** YES, ZONE A, 1% ANNUAL CHANCE FLOOD ELEV. 34.2

### FLOOR AREAS, GROSS

LOT AREA:	3,300 SF
<b>EXISTING:</b>	TOTAL FLOOR: 639 SF
	LOT COVERAGE: 802 SF, 24.3%
	FAR: 0.194
	LANDSCAPED AREA: 502 SF
<b>PROPOSED:</b>	TOTAL FLOOR: 3,614 SF
	LOT COVERAGE: GARAGE: 428 SF
	LOT COVERAGE: 1,264 SF, 38.3%
	DECK AREA: 481 SF
	POOL: 87 SF
	FAR: 1.095
	LANDSCAPED AREA: 502 SF

**LOT AREA:** 3,300 SF (EXISTING, NO CHANGE)  
 WIDTH: 33'  
 DEPTH: 100'

**ZONING:**  
**FRONT YARD:** PRINCIPAL FRONTAGE: 20'  
 OTHER FRONTAGE: 15'

**SIDE YARD:** STANDARD R-6 [CCCC 84-4.1002]  
 MIN. 5', AGGREGATE 15'

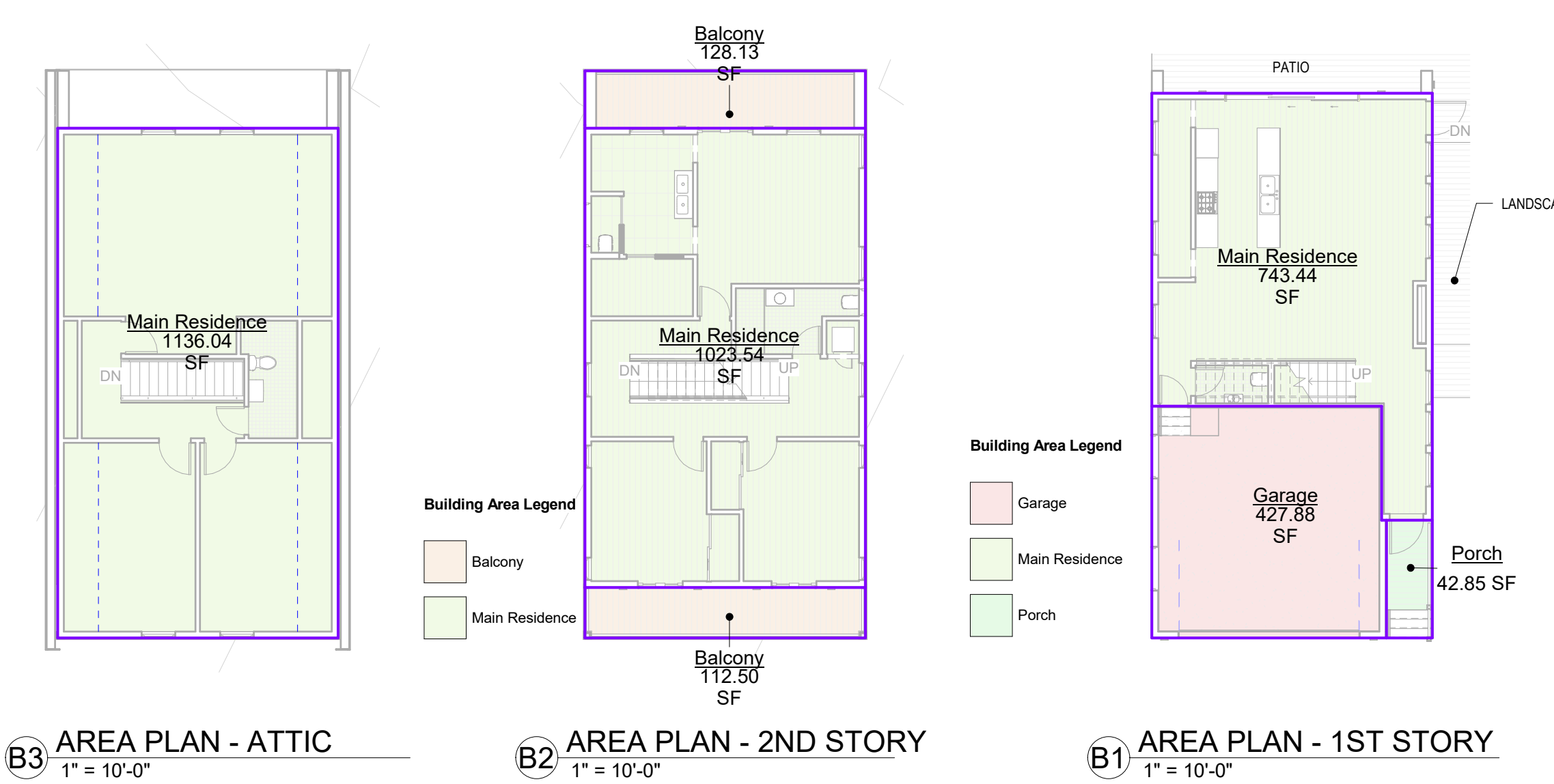
**REAR YARD:** 15'  
**PROPOSED:** SLIDING SCALE [CCCC 82-14.004]:  
 MIN. 3', AGGREGATE 8'

**BLDG HT:** MAX. ALLOWED 35', 2.5 STORIES  
 PROPOSED 34' - 3", 2.5 STORIES

**CAR PARKING:** REQUIRED: 2 OFF-STREET, 9x19'  
 PROPOSED: 2, ONE STANDARD SIZE, ONE 9' x 16'

### AREA PLAN

AREA - PROPOSED		
NAME	LEVEL	AREA
Garage	1ST STORY	427.88 SF
Main Residence	1ST STORY	743.44 SF
Porch	1ST STORY	42.85 SF
Balcony	2ND STORY	240.63 SF
Main Residence	2ND STORY	1023.54 SF
Main Residence	ATTIC	1264.17 SF
Main Residence		1136.04 SF
Main Residence		1136.04 SF
Grand total		3614.38 SF



### PROJECT TEAM

**OWNER**  
 RYAN BOSWORTH  
 58 CANYON LAKE DRIVE  
 PORT COSTA, CA  
 916.475.5475

**ARCHITECT**  
 STUDIO C  
 CHUNPANG CHEN  
 650.996.1577  
 INFO@STUDIOCCCHEN.COM

**T-24 ENGINEER**  
 TBD

**GENERAL CONTRACTOR**  
 TBD

### APPLICABLE CODES

ALL CONSTRUCTIONS REGARDLESS OF DTLS. ON PLANS SHALL COMPLY WITH THE FOLLOWING CODES:

- 2025 CALIFORNIA BUILDING CODE (CBC)
- 2025 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2025 CALIFORNIA WILDLAND-URBAN INTERFACE CODE (WUIC)
- 2025 CALIFORNIA ELECTRICAL CODE (CEC)
- 2025 CALIFORNIA MECHANICAL CODE (CMC)
- 2025 CALIFORNIA PLUMBING CODE (CPC)
- 2025 CALIFORNIA ENERGY CODE (CEC)
- 2025 CALIFORNIA GREEN BUILDING CODE (CGC)
- 2025 CALIFORNIA FIRE CODE (CFC)

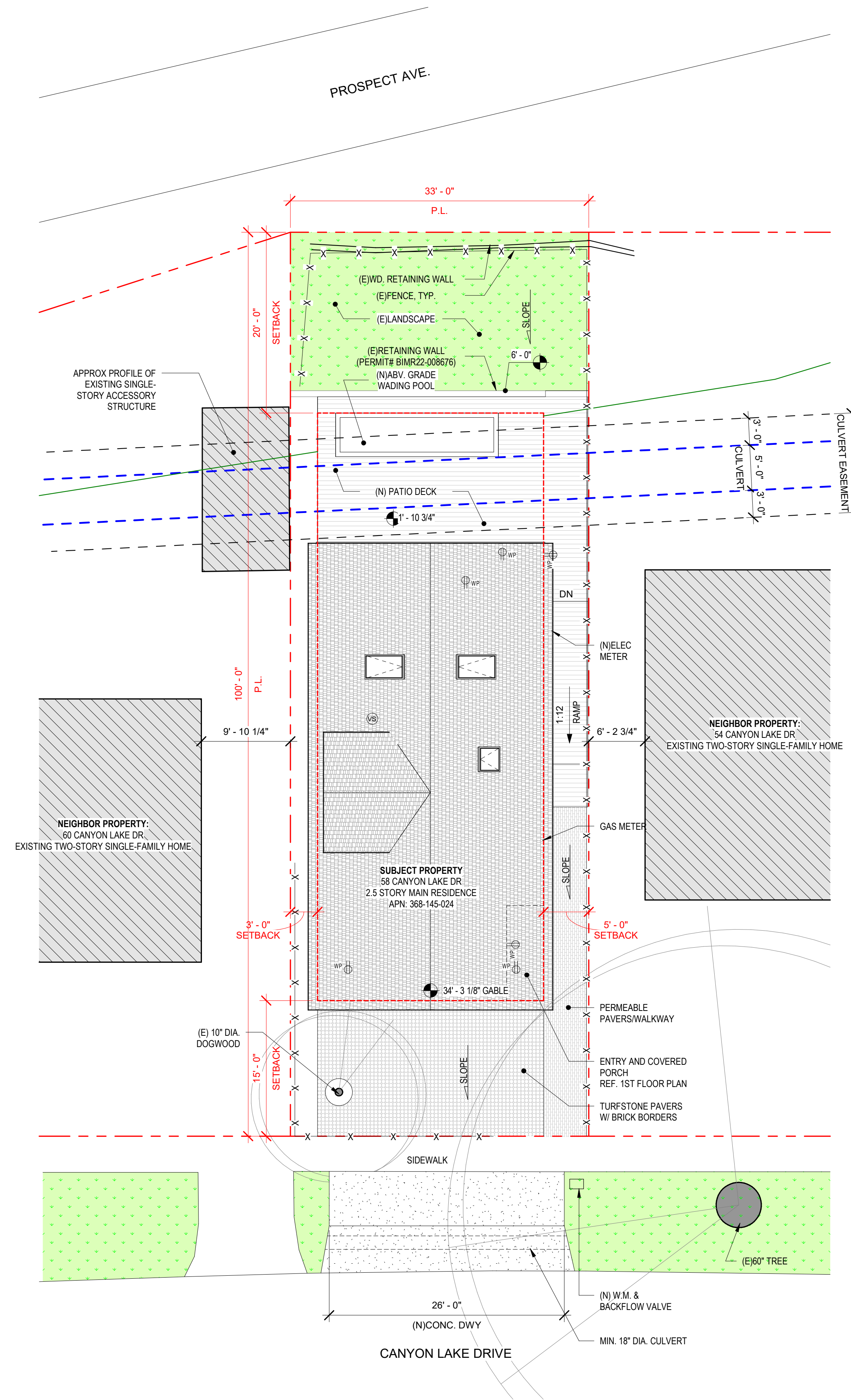
CONTRA COSTA COUNTY ORDINANCE CODE (CCCC)

SITE PLAN LEGEND	
	INDICATES DIRECTION OF SLOPE
	PROPERTY LINE
	SETBACK
	EASEMENT
	CULVERT
	CONTOUR
	FENCE
	PLANT/LANDSCAPE AREA

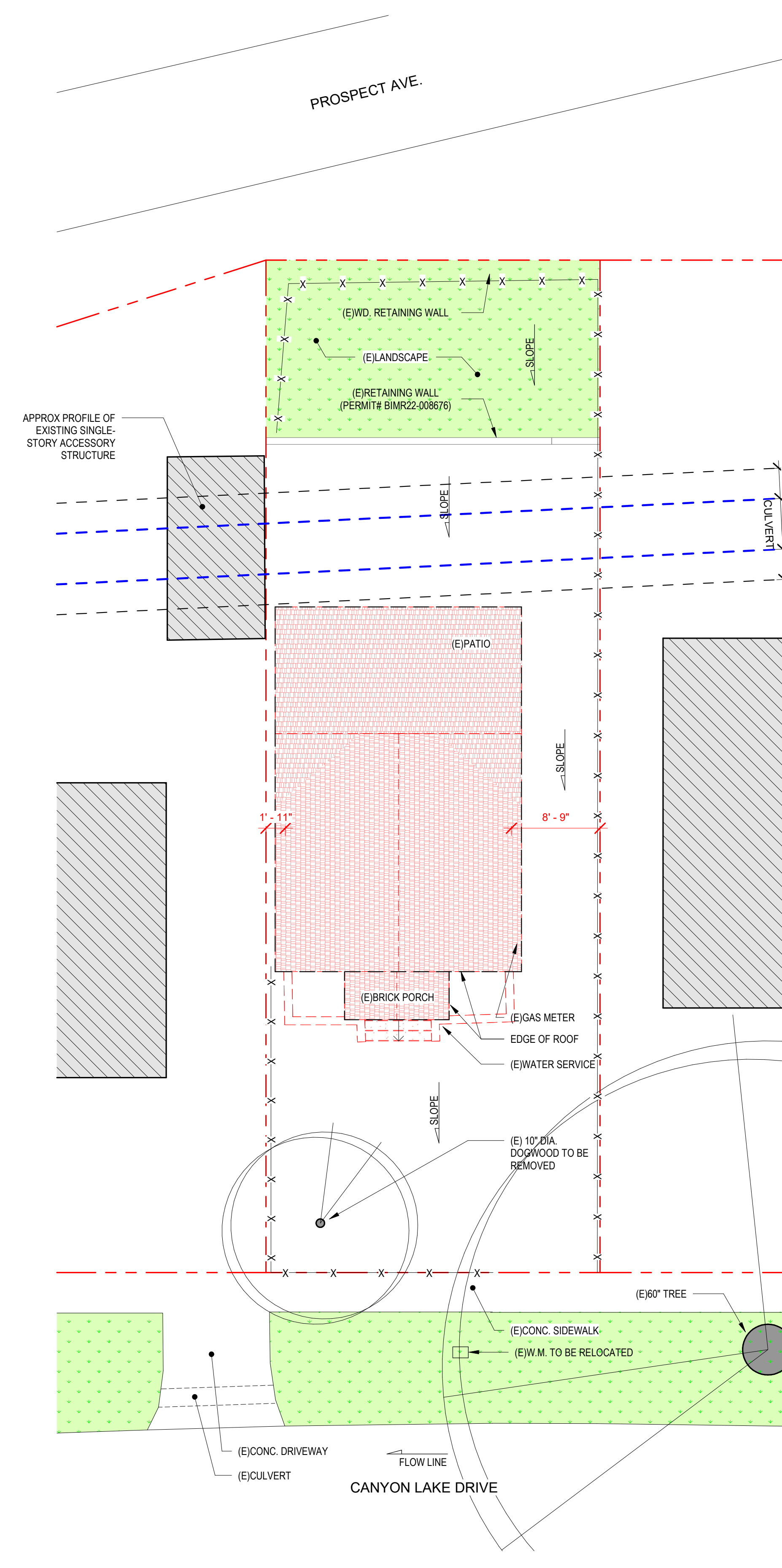
# 58 CANYON LAKE

58 Canyon Lake Dr. Port Costa, CA  
94569

ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_



**A2** SITE PLAN - PROPOSED  
1/8" = 1'-0"



**A1** SITE PLAN - EXISTING  
1/8" = 1'-0"



SITE PLAN

# A-100A

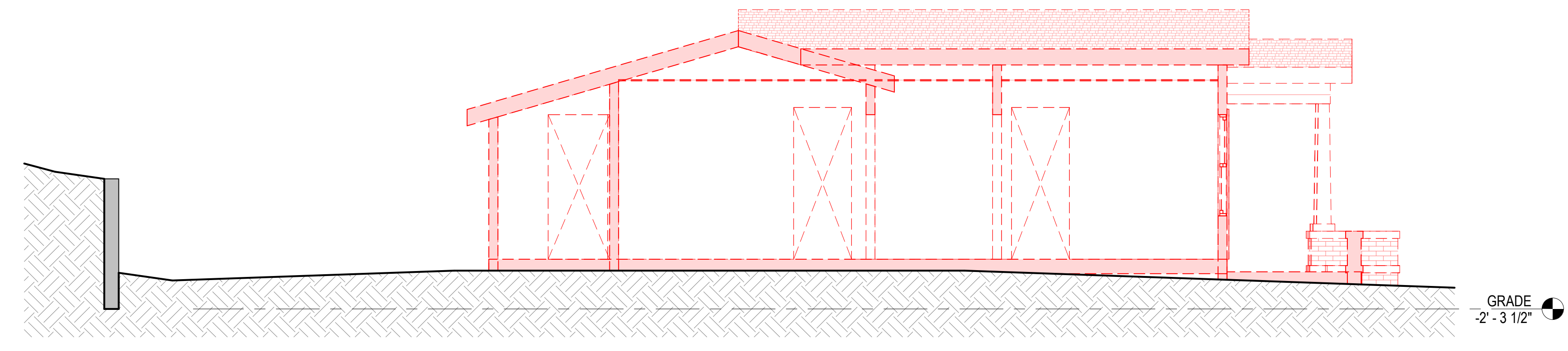


LEGEND	
	(E) PARTITIONS, FLOORS, CLG, CASEWORKS, FIXTURES, WINDOWS, DOORS, TO BE REMOVED U.O.A. PARTITIONS CONTAINING WINDOWS AND DOORS DESIGNATED AS BEING DEMOLISHED ARE ALSO TO BE REMOVED.
	(E) WALLS TO REMAIN.

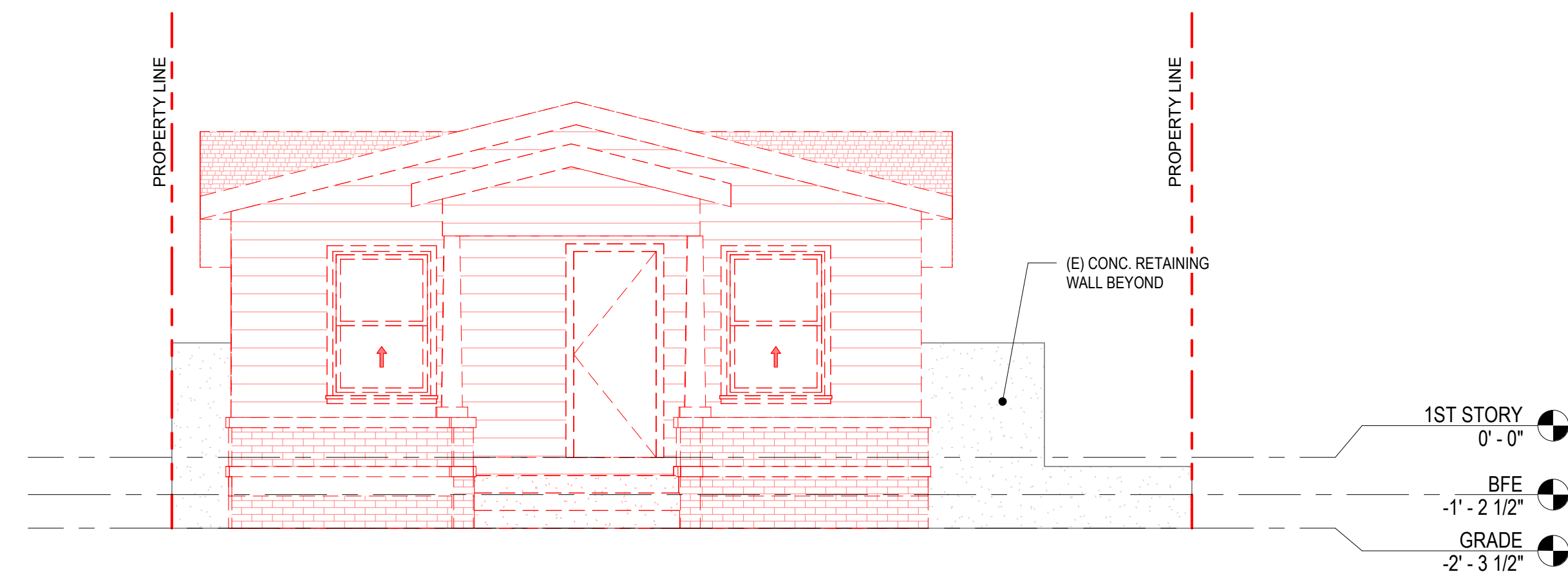
DEMO ELEVATION KEYNOTES	
ID	DESCRIPTION

### SHEET NOTES

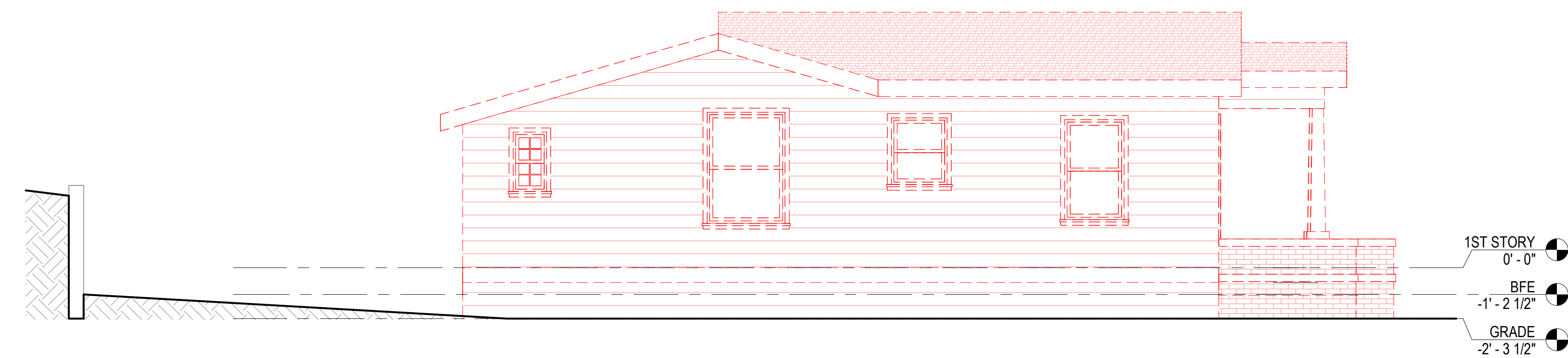
1. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION OF MATERIALS, COMPONENTS, FIXTURES, AND EQUIPMENT NECESSARY TO PERFORM WORK, IN ADDITION TO THAT SPECIFICALLY CALLED OUT ON THE PLANS.
2. ALL TEMPORARY SHORING OF STRUCTURAL MEMBERS WILL ENTIRELY BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR SHALL PREVENT MOVEMENT OF ADJACENT CONSTRUCTION, PROVIDE AND PLACE BRACING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF ADJACENT CONSTRUCTION. CEASE OPERATIONS AND NOTIFY THE ARCHITECT IF SAFETY OF STRUCTURE APPEARS TO BE IN DANGER.
4. DETERMINE THE LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION.
5. INFORM ARCHITECT OF ANY EXISTING SERVICES TO ADJACENT TENANTS THAT MAY BE IN CONFLICT WITH REQUIRED DEMOLITION OR CONSTRUCTION OF THIS PROJECT. DO NOT DISRUPT SERVICES TO ADJACENT BUILDING AREAS NOT IN PROJECT.
6. DISCONNECT OR REMOVE UTILITY SERVICES AS REQUIRED FOR COMPLETION OF PROJECT.
7. DISCONNECT, STUB OFF, AND CAP UTILITY SERVICE LINES NOT REQUIRED FOR NEW CONSTRUCTION.
8. DO NOT REMOVE UTILITIES DISCOVERED DURING DEMOLITION, BUT NOT INDICATED, WITHOUT FIRST DETERMINING PURPOSE FOR UTILITY.
9. NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY GRADE BEAMS, BEARING WALLS, OR OTHER ELEMENTS NOT SPECIFICALLY CALLED OUT ON PLANS, WHICH MAY BE NOTED "TO BE REMOVED."
10. REMOVE ALL INTERIOR WALLS, AND CEILING FINISHES, UNLESS OTHERWISE NOTED.
11. REMOVE ALL DEBRIS.
12. REMOVE ANY MISCELLANEOUS CONDUIT, PIPE, FIXTURES, ETC.
13. PATCH & REPAIR AS NECESSARY ALL (E) CONDITION TO REMAIN.
14. STRUCTURAL NOTE: STRUCTURAL DEMOLITION PER STRUCTURAL ENGINEER RECOMMENDATION.
15. PLUMBING NOTE: REMOVE EXISTING PLUMBING IN THE PATH OF WORK. RE-ROUTE AS REQUIRED TO CONNECT TO NEW PLUMBING.
16. ELECTRICAL NOTE: REMOVE ELECTRICAL SERVICES IN THE PATH OF WORK. RE-ROUTE AS REQUIRED TO CONNECT TO NEW ELECTRICAL SERVICES.



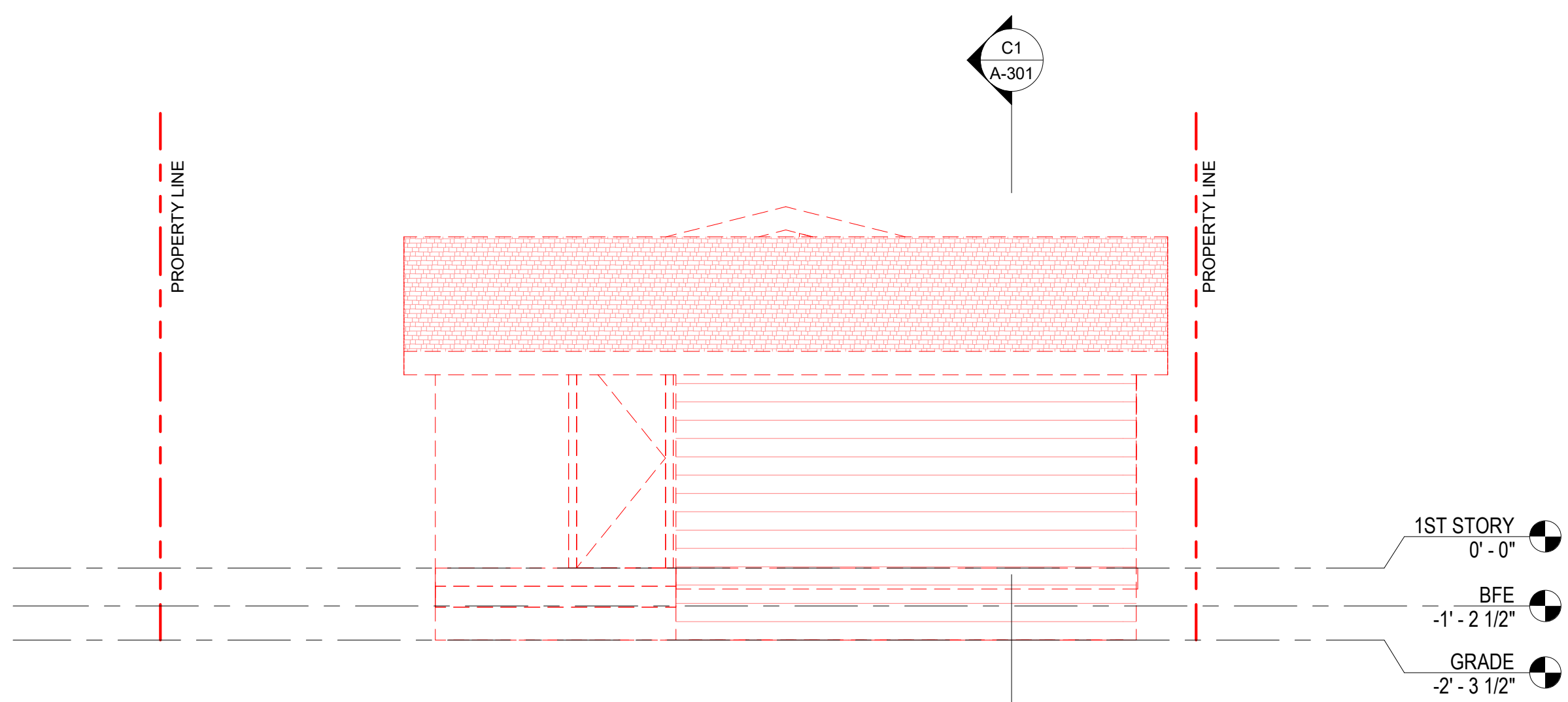
C1 BLDG SECTION-ELEV. - EXISTING  
1/4" = 1'-0"



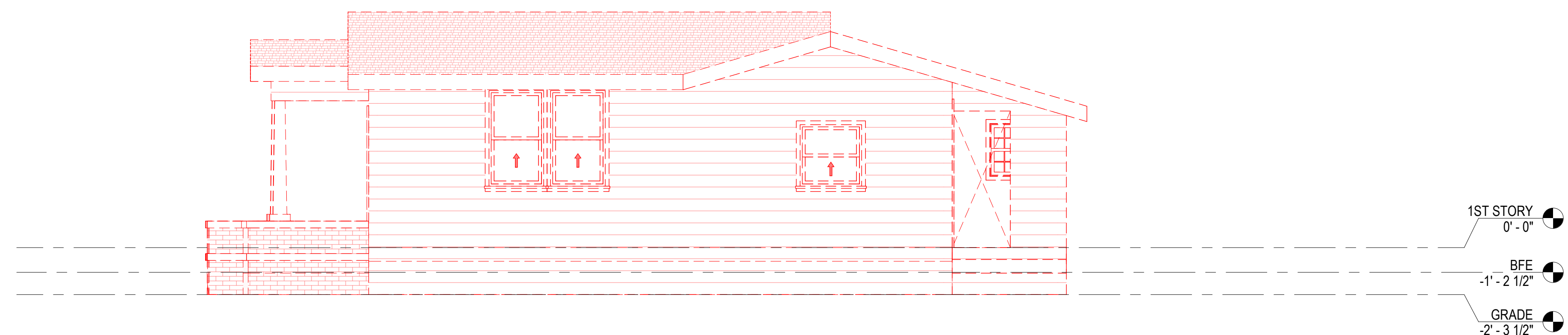
B4 BLDG ELEVATION - EXISTING - SOUTH  
1/4" = 1'-0"



B1 BLDG ELEVATION - EXISTING - WEST  
1/4" = 1'-0"



A4 BLDG ELEVATION - EXISTING - NORTH  
1/4" = 1'-0"



A1 BLDG ELEVATION - EXISTING - EAST  
1/4" = 1'-0"

## 58 CANYON LAKE

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94569

ISSUED FOR: DATE:

EXTERIOR  
ELEVATIONS &  
SECTIONS - EXISTING /  
DEMO

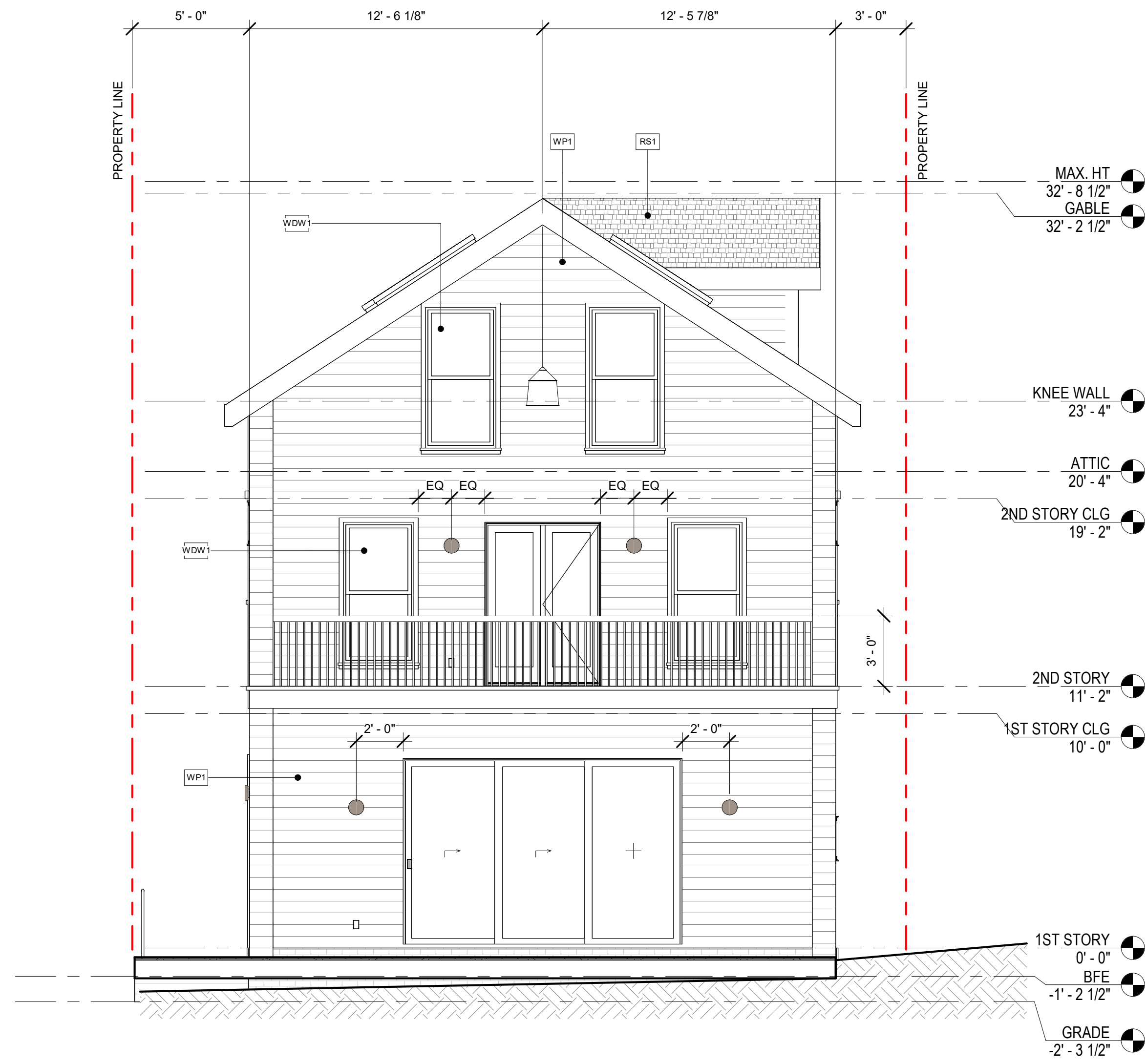
# A-301

EXT. FINISH SCHEDULE	
TAG	FINISH MATERIAL
BRK1	BRICK SKIRT - RED
RS1	COMPOSITE ROOF - GRAY
WDW1	WINDOW - BLACK FRAMED
WP1	WOOD SIDING - WHITE

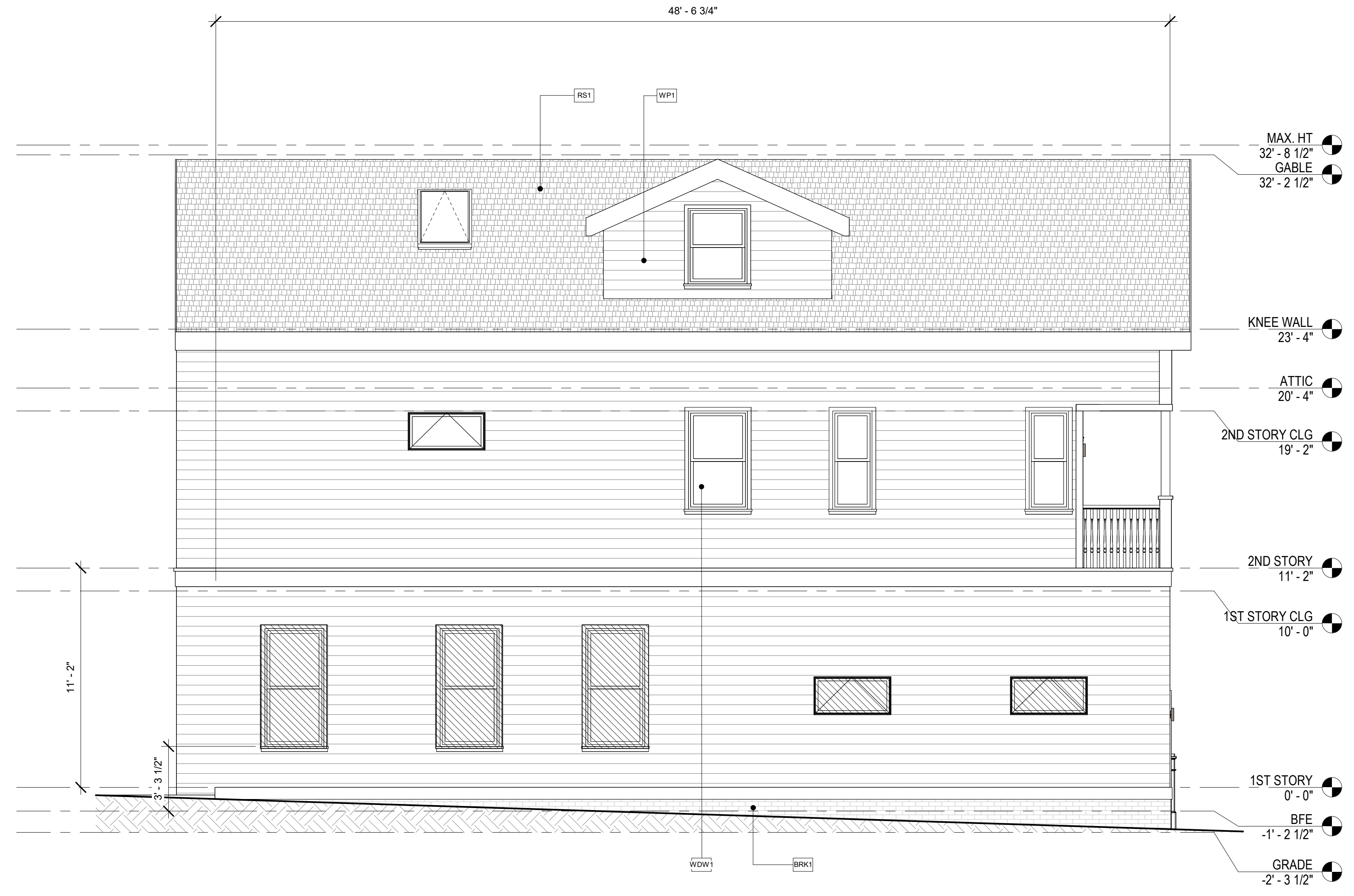
# 58 CANYON LAKE

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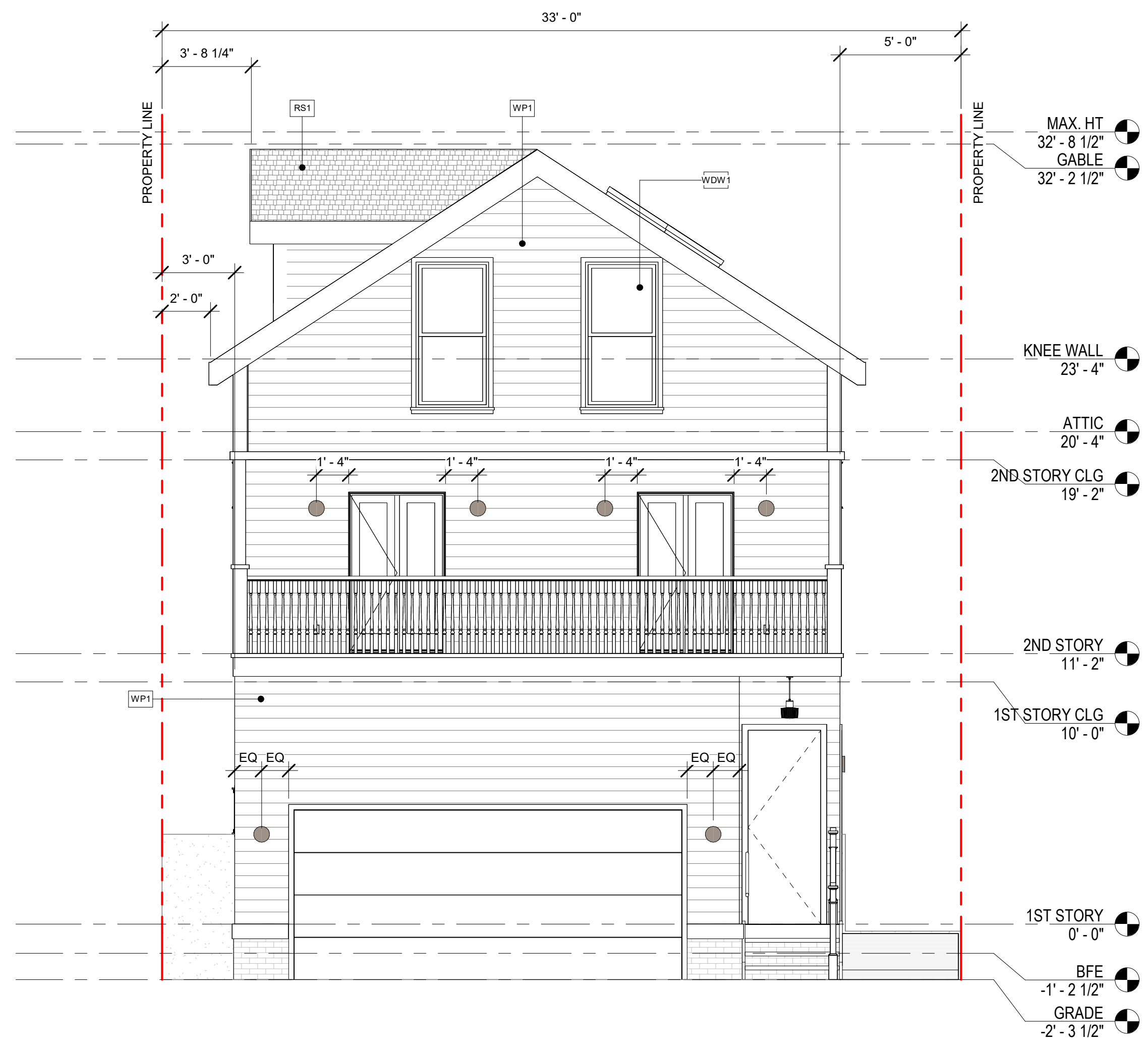
ISSUED FOR: DATE:



**B4** BLDG ELEVATION - PROPOSED - NORTH  
1/4" = 1'-0"



**B1** BLDG ELEVATION - PROPOSED - WEST  
1/4" = 1'-0"



**A4** BLDG ELEVATION - PROPOSED - SOUTH  
1/4" = 1'-0"



**A1** BLDG ELEVATION - PROPOSED - EAST  
1/4" = 1'-0"

EXTERIOR  
ELEVATIONS -  
PROPOSED

# A-302A

# 58 CANYON LAKE

58 Canyon Lake Dr. Port Costa, CA  
94569

ISSUED FOR: DATE:

## EXTERIOR COLOR COMPOSITION

58 CANYON LAKE DRIVE PORT COSTA, CA 94569

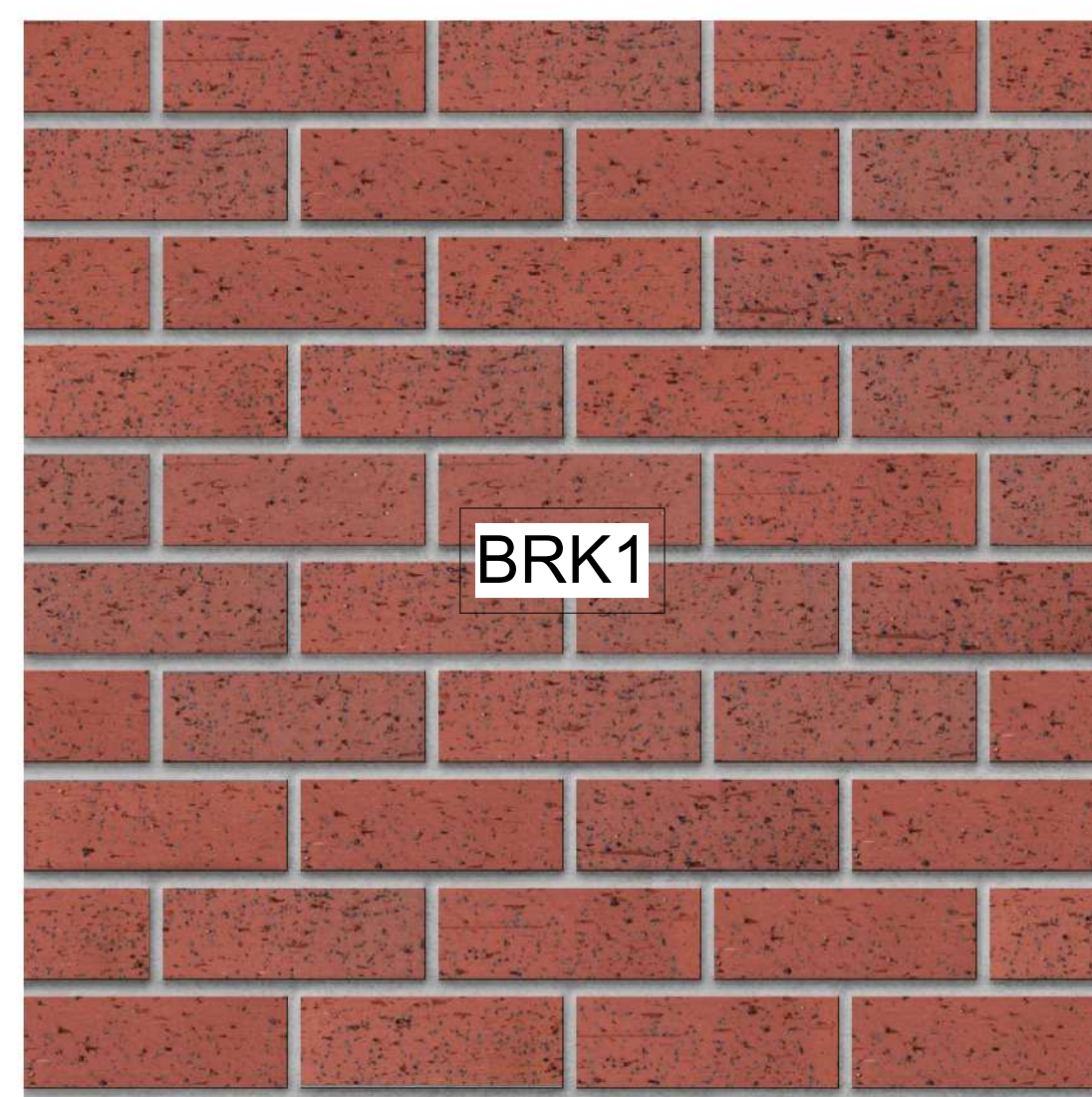
### MATERIAL LAYOUT



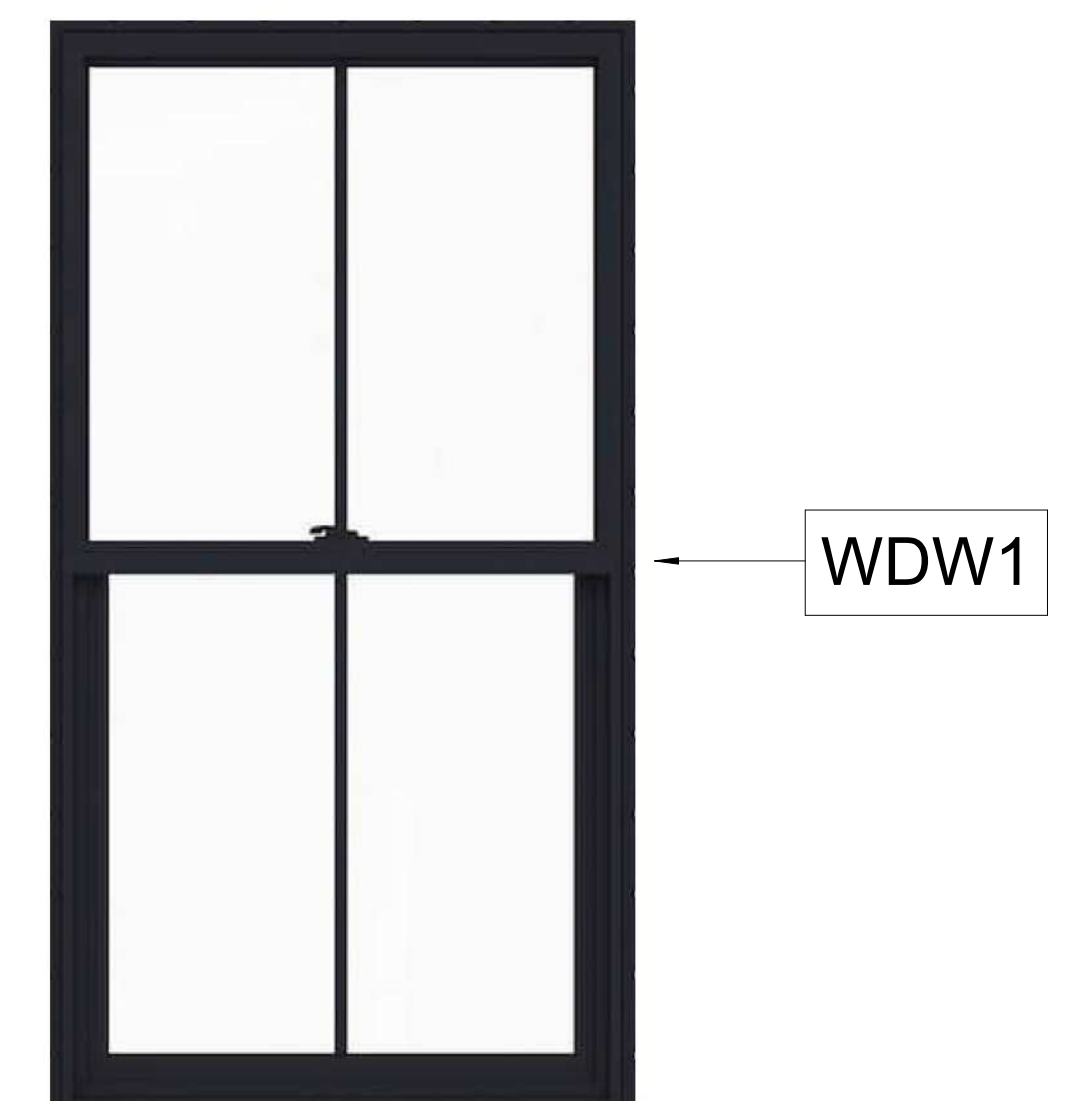
GRAY COMPOSITE ROOF



WHITE WOOD SIDING

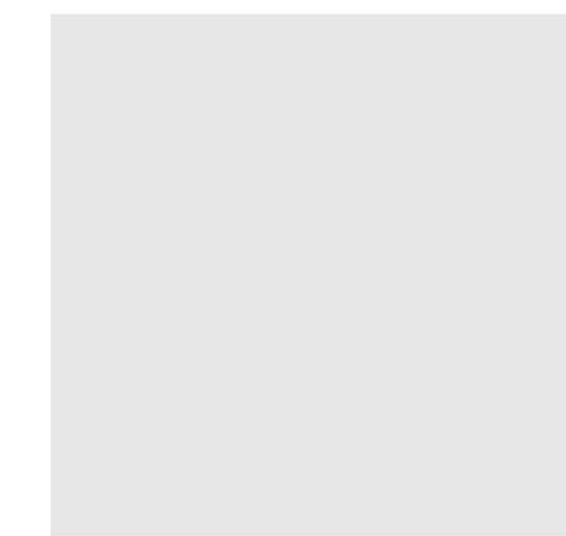


RED BRICK SKIRT



BLACK FRAMED WINDOW

### COLOR PALLETTE



NOTE: REF. A-302 FOR WHERE OCCURS

MATERIAL & COLOR