



AGENCY COMMENT REQUEST

Date 12/11/2025

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
Advance Planning Housing Programs
Trans. Planning Telecom Planner
ALUC Staff HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services Special Districts
Traffic

☒ Flood Control (Full-size)

LOCAL

☒ Fire District _____
San Ramon Valley – (email) rwendel@srvfire.ca.gov
☒ Consolidated – (email) fire@cccfdpd.org

☒ Sanitary District _____ iron house
Water District _____
City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC _____ Bethel Island

☒ Improvement/Community Association
CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

Bethel Island Municipal Improvement District

Please submit your comments to:

Project Planner Everett Louie
Phone # 925-655-2873
E-mail everett.louie@dcd.cccounty.us
County File # CDVR25-01064
Prior to 01/09/2026

We have found the following special programs apply to this application:

☒ Landslide ☒ Active Fault Zone (A-P)
☒ Liquefaction ☒ Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01064

File Date: 12/11/2025

Applicant:

JUAN SILVA HOMETOWN ELITE PRO
BUILDER
200 ROSSI AVENUE
ANTIOCH, CA 94509

hometownelitepro@gmail.com
510-804-6644

Property Owner:

JUAN SILVA
200 ROSSI AVENUE
ANTIOCH, CA 94509

lilibeth@hometownelitepro.com
(510) 804-6644

Project Description:

The applicant requests approval of a Variance and Small Lot Design Review to allow a 10" aggregate side yard setback (where 15' is the required minimum) for the construction of a new three-story, 3,460 square-foot single-family residence with an 1,380 square-foot elevated deck in the Flood Hazard (-FH) Combining District, on a lot of substandard average width.

Project Location: (Address: 3910 STONE RD, BETHEL ISLAND, CA 94511 053), (APN: 031140072)

Additional APNs: 031-140-036

General Plan Designation(s): RLM:WA

Zoning District(s): "F-1 : F-1, -FH"

Flood Hazard Areas: AE

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: IRONHOUSE SANITARY

Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
VRS0044P	Zone Variance - PW	000651-9660-REV-000-6L0044	1000.00	1000.00
Total:			4337.00	4337.00

3910 STONE RD, BETHEL ISLAND, CA 94511

EVA ARCHITECTS
1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

SHEET INDEX

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SITE PLAN
PROPOSED SITE SECTION & PERSPECTIVES
1ST & 2ND FLOOR PLAN
3ND FLOOR PLAN & ROOF PLAN
ELEVATIONS
ELEVATIONS
BUILDING SECTIONS

PROJECT DIRECTORY

CLIENT

HOMETOWN ELITE PRO BUILDER
200 ROSSI AVENUE
ANTIOCH, CA 94509
(888) 869-6770

JUAN SILVA
INFO@HOMETOWNELITEPRO.COM

ARCHITECT

EVA ARCHITECTS
1248 SPENCER AVE
SAN JOSE CA 95125
(408) 874-5304

EVA SABALA, PRINCIPAL
EVA@EVA-ARCHITECTS.COM

GOVERNING CODES

2022 California Residential Code
2022 California Building Code
2022 California Electrical Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Energy Code
2022 California Green Building Standards Code

California Enery Commission Title 24

All other applicable Costa Contra County Building Code and Ordinances

FLOOD ZONE NOTES

THIS BUILDING IS LOCATED WITHIN FLOOD HAZARD ZONE "AE".
THE BASE FLOOD ELEVATION (BFE) IS 9'-0". ALL WORK UP TO THE BFE PLUS 2'-0" FREEBOARD (ELEVATION 11'-0") WILL BE CONSTRUCTED USING FLOOD-RESISTANT MATERIALS IN COMPLIANCE WITH APPLICABLE FEMA AND LOCAL JURISDICTION REQUIREMENTS.

WUI STATUS

THIS BUILDING IS NOT LOCATED IN THE WILDLAND URBAN INTERFACE (WUI) ZONE AND IS NOT SUBJECT TO THE PROVISION OF THE 2022 CBC CHAPTER 7A

SYMBOL LEGEND

ROOM IDENTIFICATION

ROOM

A101
000

Room Name
Room Number
Room Area

Located

DEMOLITION KEY
NOTE NUMBER

KEY NOTE NUMBER

PARTITION TYPE

CASEWORK
IDENTIFICATION

CEILING HEIGHT

WINDOW TYPE

DOOR IDENTIFICATION

CONTROL POINT

GRID
IDENTIFICATION

BUILDING
SECTION

DETAIL CUT

REVISION

NORTH ARROW

ABBREVIATIONS

A.C.
ACCESS.
A.F.F.
ARCH.
ASSEM.
BD.
BLDG.
BLK.
BLKG.
CAB.
C.B.
CEM.
CER.
C.I.
C.J.
CL.
CLR.
CLKG.
COL.
CONC.
CONF.
CONN.
CONT.
CORR.
C.P.F.

CTS.K.
CTR.
C.W.
DBL.
D.F.
DET.
DIA.
DIM.
DN.
DS.
DWG.
EA.
E.J.
ELEV.
ELEC.
EQ.
(E)
EXT.
F.A.
F.D.
FDN.
F.E.
F.H.
FHWS
FIN.
F.F.
F.P.
FT.
GA.
GALV.
G.B.
G.I.
G.W.B.

ASPHALT CONCRETE
ACCESSIBLE
ABOVE FINISH FLOOR
ARCHITECTURAL
ASSEMBLY
BOARD
BUILDING
BLOCK
BLOCKING
CABINET
CATCH BASIN
CEMENT
CERAMIC
CAST IRON
CONTROL JOINT
CENTER LINE
CLEAR
CAULKING
COLUMN
CONCRETE
CONFERENCE
CONNECTION
CONTINUOUS
CORRIDOR
CEMENT PLASTER FINISH
SYSTEM
COUNTERSINK
CENTER
COLD WATER
DOUBLE
DRINKING FOUNTAIN
DETAIL
DIAMETER
DIMENSION
DOWN
DOOR
DOWNSPOUT
DRAWING
EACH
EXPANSION JOINT
ELEVATION
ELECTRICAL
EQUAL
EXISTING
EXTERIOR
EXPANSION
FIRE ALARM
FLOOR DRAIN
FOUNDATION
FIRE EXTINGUISHER
FIRE HYDRANT
FLAT HEAD WOOD SCREW
FINISH
FINISH FLOOR
FIRE PROTECTION
FOOT
GAUGE
GALVANIZED
GRAB BAR
GALVANIZED IRON
GYPSUM WALL BOARD

GYP.
H.B.
I.D.
IN.
INFO.
INSUL.
LAV.
MAX.
MTL.
MFR.
M.H.
MIN.
MISC.
(N)
N/A
N.I.C.
N.T.S.
O.C.
O.D.
OFCI

OPP.
PAV.
P.D.F.
PL.
P.T.D.
RAD.
REF.
RM.
R.D.
REQ.
R.C.P.
RVL.
R.W.L.
S.A.D.
S.C.
S.D.
SEC.
SHT.
SIM
S.M.S.
SPEC.
STD.
STL.
STRUCT.
T.C.
TEL
T.O.P.
T.P.
T.P.D.
T.W.
TYP
U.O.N.
V.I.F.
W/
W.C.
WD.
W / O
W.P.
W.R.
W.S..

GYPSUM
HOSE BIB
INSIDE DIAMETER
INCH
INFORMATION
INSULATION
LAVATORY
MAXIMUM
METAL
MANUFACTURER
MAN HOLE
MINIMUM
MISCELLANEOUS
NEW
NOT APPLICABLE
NOT IN CONTRACT
NOT TO SCALE
ON CENTER
OUTSIDE DIAMETER
OWNER FURNISHED
CONTRACTOR INSTALLED
OPPOSITE
PAVING
POWDER DRIVEN FASTENER
PLATE
PAPER TOWEL DISPENSER
RADIUS
REFRIGERATOR
ROOM
ROOF DRAIN
REQUIRED
REFLECTED CEILING PLAN
REVEAL
RAIN WATER LEADER
SEE ARCHITECTURAL DWG.
SOLID CORE
SOAP DISPENSER
SECTION
SQUARE FOOT
SHEET SIMILAR
SHEET METAL SCREW
SPECIFICATION
STANDARD
STEEL
STRUCTURAL
TOP OF CURB
TELEPHONE
TOP OF PARAPET
TOP OF PAVEMENT
TOILET PAPER DISPENSER
TOP OF WALL
TYPICAL
UNLESS OTHERWISE NOTED
VERIFY IN FIELD
WITH
WOOD CLOSET
WOOD
WITHOUT
WATERPROOF
WATER RESISTANT
WEATHER STRIPPING

PROJECT DATA

SITE DATA:

PROJECT NAME: THREE STORY SIGNLE FAMILY RESIDENCE
PROJECT TYPE: SIGNLE FAMILY RESIDENCE
PROJECT ADDRESS: 3910 STONE RD, BETHEL ISLAND, CA 94511

ZONING DATA:
ASSESSOR'S PARCEL NUMBER: 031-140-072 & 031-140-036

ASSESSOR'S BLOCK / LOT: 140/ 65

ZONING DISTRICT: F-1 & FH

LOT AREA: 13,685 SF

MAX HEIGHT: 35'

SETBACKS:
FRONT: 20'
SIDE: 5'
REAR: 50' FROM C.L. OF LEVEE

BUILDING DATA:

TYPE OF CONSTRUCTION: V-B
OCCUPANCY TYPE / USE: R-3
FIRE SPRINKLER: YES
NO. OF STORIES: 3

HABITABLE AREA:
2ND FLOOR: 1,160 SF
3RD FLOOR: 1,140 SF
TOTAL HABITABLE AREA: 2,300 SF

NON-HABITABLE
1ST FLOOR (GARAGE/ STORAGE AREA): 1,160 SF
DECK AREA: 1,380 SF

TOTAL BUILDING AREA: 3,460 SF
(WITH DECK): 4,840 SF

SCOPE OF WORK

PROPOSED NEW CONSTRUCTION OF A 3,460 SF, THREE-STORY SINGLE-FAMILY RESIDENCE LOCATED WITHIN AN AE FLOOD ZONE.

THE GROUND LEVEL INCLUDES A 1,160 SQUARE FOOT GARAGE AND STORAGE AREA. THE PROJECT ALSO FEATURES APPROXIMATELY 1,380 SF OF EXTERIOR DECKS AND A 184 SF GANGPLANK-STYLE RAMP PROVIDING ACCESS TO THE ADJACENT LEVEE.

SITE IMPROVEMENTS INCLUDE A NEW CONCRETE DRIVEWAY, CONCRETE PATIO, AND A PRIVATE WATER DOCK.

THE PROJECT SCOPE ALSO INCLUDES NEW UTILITY CONNECTIONS FOR WATER, SEWER, GAS, AND ELECTRICAL SERVICE.

3D PERSPECTIVE VIEW



PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA
94511

No.	Description	Date
	Planning set	7/01/25

TITLE

TITLE SHEET

ARCHITECT STAMP

APPLICATION NUMBER

DRAWING NUMBER

A0.01

DATE

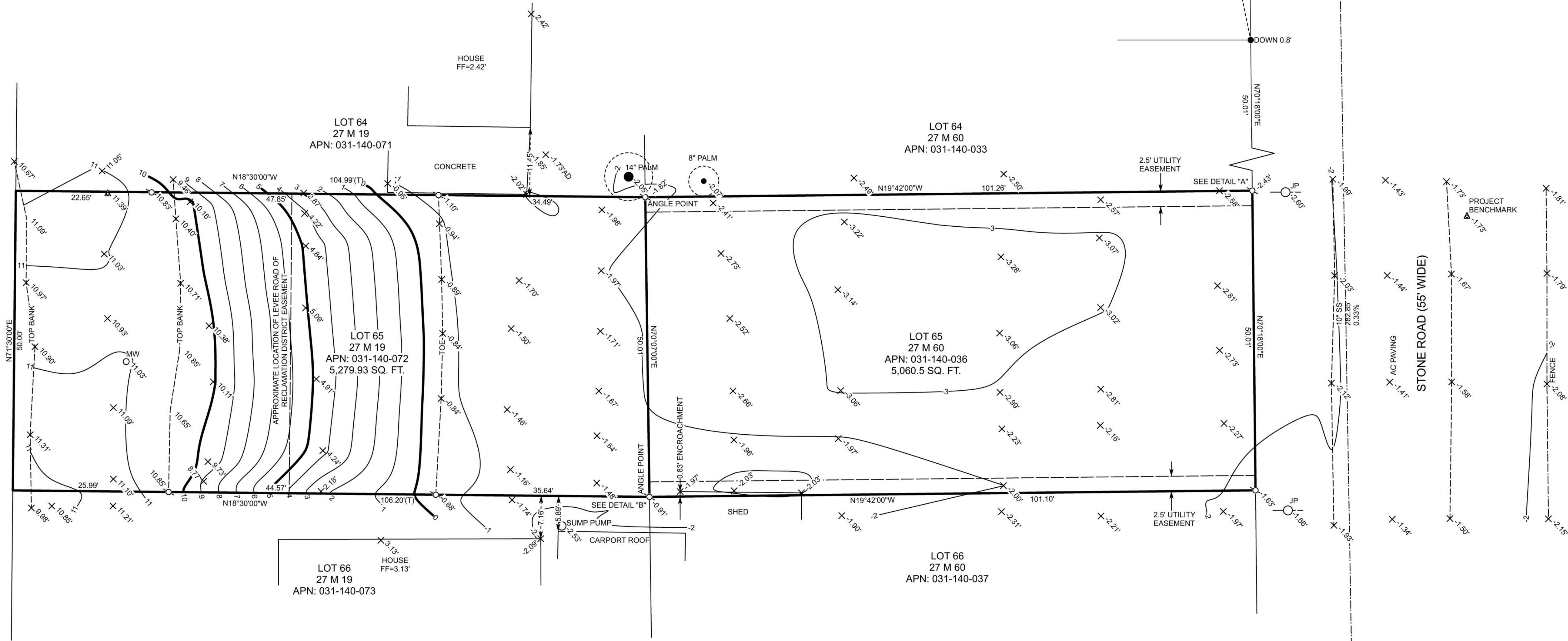
10/13/2025

PROJECT NUMBER

25007

SANDMOUND SLOUGH

WATERS EDGE



EASEMENT NOTE
EASEMENT DESCRIBED IN BOOK 749 OF OFFICIAL RECORDS PAGE 352
AS CALLED FOR IN PRELIMINARY REPORT BY OLD REPUBLIC TITLE
COMPANY (ORDER# 0132011154-AH) DOES NOT AFFECT EITHER OF
THESE LOTS. THE EASEMENT'S PLOTTED LOCATION IS APPROXIMATELY
3000' TO THE WEST OF BOTH LOTS 65 AS SHOWN ON THIS SURVEY.

LEGEND

- SET 5/8" REBAR & CAP PLS 7271
- SET 5/8" REBAR WITH CAP CONTROL POINT
- FOUND 3/4" IRON PIPE MONUMENT, RCE 18876, NO RECORD
- FOUND REBAR MONUMENT AS NOTED, NO RECORD
- SS MH SANITARY SEWER MANHOLE
- FF FINISH FLOOR
- MW MONITORING WELL
- AD AREA DRAIN
- (T) TOTAL MEASUREMENT
- JP JOINT UTILITY POLE
- FL FLOW LINE

FEMA INFORMATION

CONTRA COSTA COUNTY UNINCORPORATED AREA: 060025
PANEL: 06013C0200F
DATE: 6/16/2009
FLOOD ZONE: AE
BFE: 9'

ELEVATIONS ARE BASED ON NAVD83 DATUM ESTABLISHED BY GPS OBSERVATION



BOUNDARY & TOPOGRAPHIC SURVEY

LOT 65, 27 M 19 & LOT 65, 27 M 60
CONTRA COSTA COUNTY RECORDS
3910 STONE RD., BETHEL ISLAND CA, 94511

NIERHAKE SURVEYING

140 VIA VAQUEROS
MARTINEZ, CA 94553
PHONE: (925) 681-9853
EMAIL: mnierrake@gmail.com
HOMETOWN ELITE PRO BUILDERS
ATTN: JUAN SILVA
PREPARED FOR: 200 ROSS AVE, ANTIOCH, CA 94509

CONTOUR INTERVAL
1'
SCALE:
1" = 10'
DATE OF SURVEY:
3/23/24
SHEET:
1 OF 1
JOB NO.
2408
FILE NAME:
2408.vwx

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CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

SITE PLAN

PROPOSED SITE PLAN

1" = 10'-0"

1

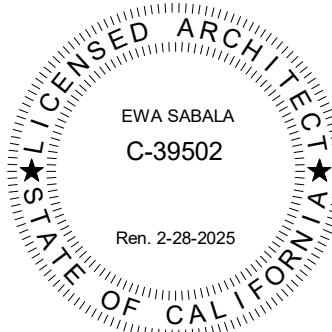
LOT COVERAGE CALCULATIONS

LOT SIZE: 13,685 SF
PROPOSED AREAS:
PAVERS: 2,781 SF
STRUCTURES/ ROOFS: 1,807 SF
PROPOSED IMPERVIOUS COVERAGE: 4,568 SF (33.3%)
PROPOSED LANDSAPED AREA: 9,117 SF

GRAPHIC KEY

- (E) ELEMENTS
- NEW ELEMENTS
- EASEMENTS & OTHER
- PROPERTY LINE
- BUILDING WALL
- NEW RETAINING WALL
- NEW CONCRETE PAVING
REFER TO CIVIL
- (E) STRUCTURES

ARCHITECT STAMP



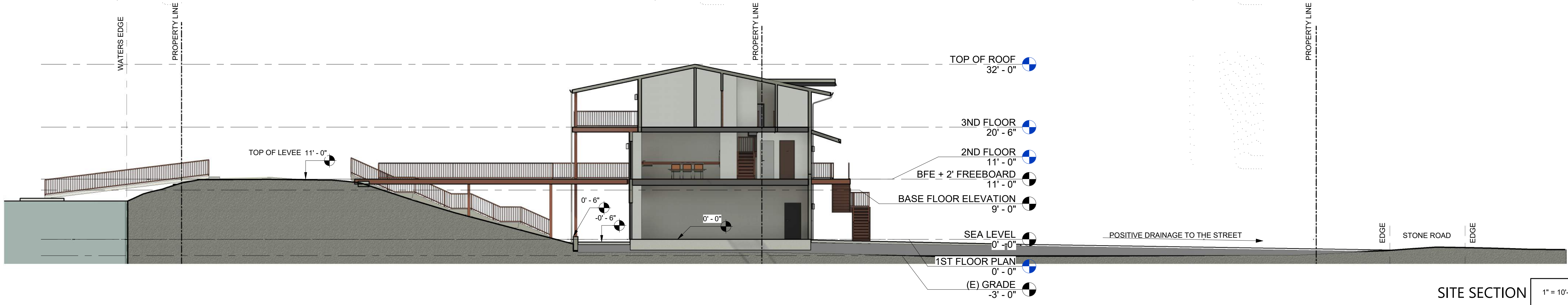
APPLICATION NUMBER

DATE

PROJECT NUMBER

DRAWING NUMBER

A1.01



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SITE SECTION

1" = 10'-0"

3

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

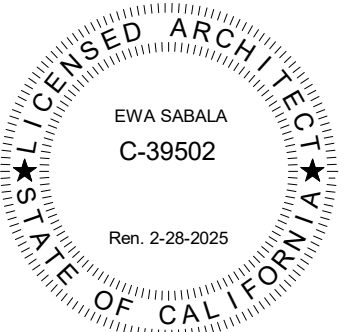
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

PROPOSED SITE SECTION
& PERSPECTIVES

ARCHITECT STAMP



APPLICATION NUMBER

DATE

PROJECT NUMBER

DRAWING NUMBER

A1.03

25007



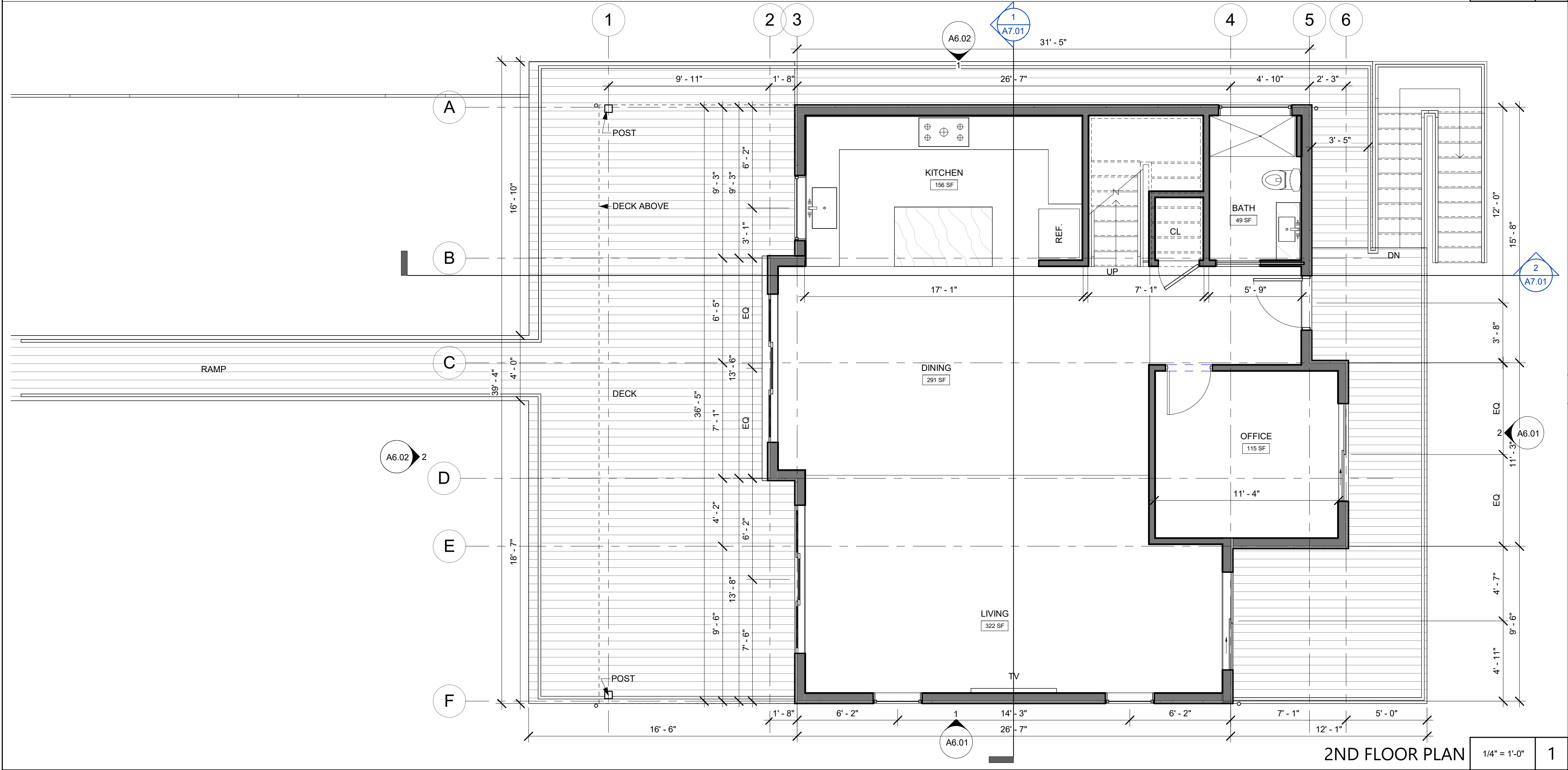
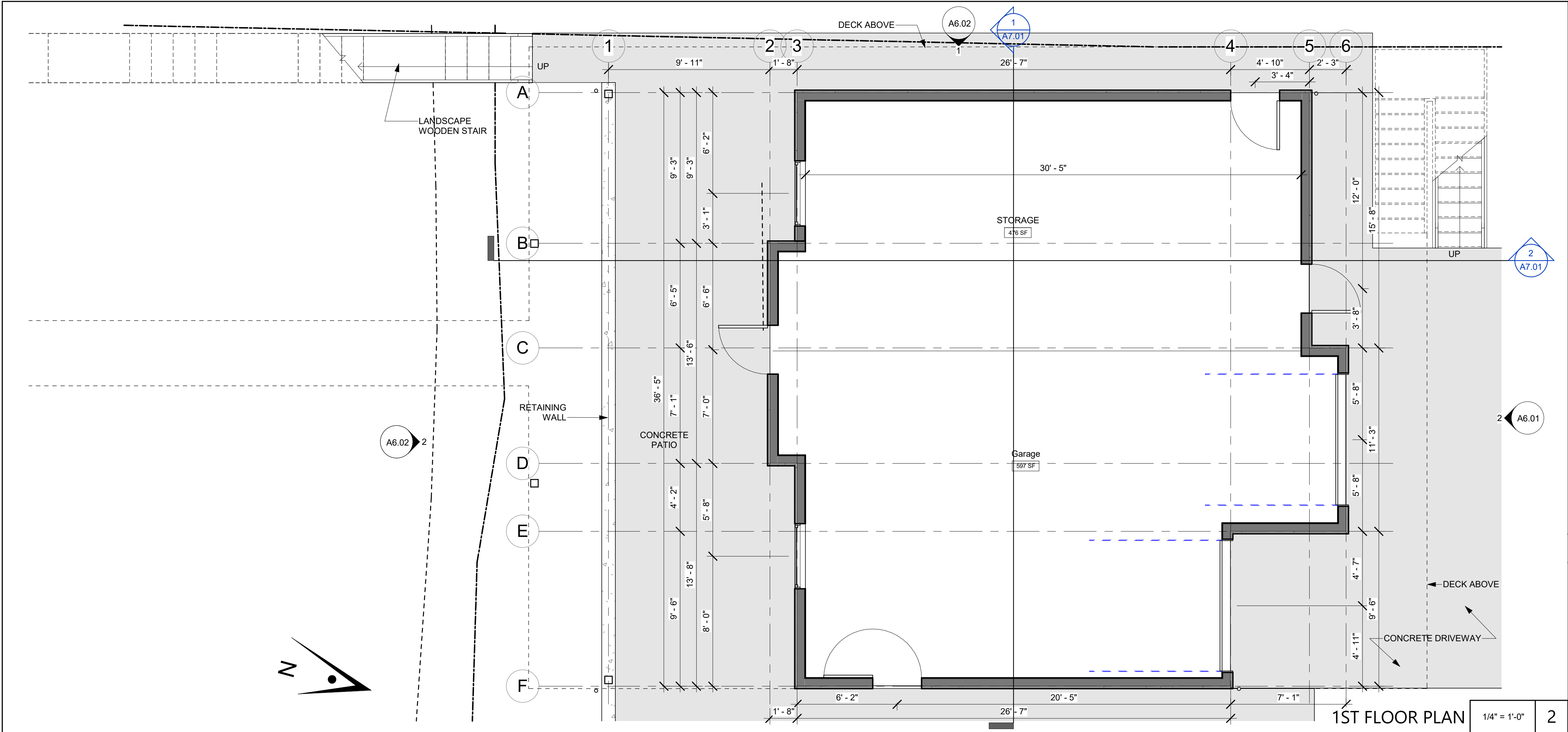
3D PERSPECTIVE 1

2



3D PERSPECTIVE 2

1



KEYNOTES

GRAPHIC KEY

- PARTITION WALL, REFER TO A12.30
- WALL TYPES, REFER TO A12.30
- DOOR TYPE, SEE DOOR SCHEDULE
- WINDOW TYPE, SEE WINDOW SCHEDULE
- CONCRETE PAVING
- DECK
- ASPHALT SHINGLE ROOFING

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CONSULTANT'S STAMP

PROJECT TITLE

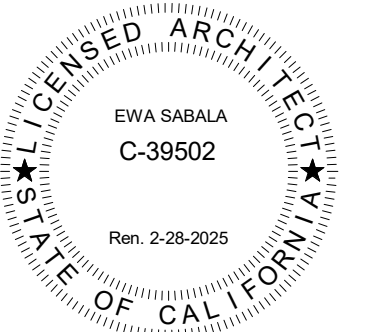
3 STORY SINGLE FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

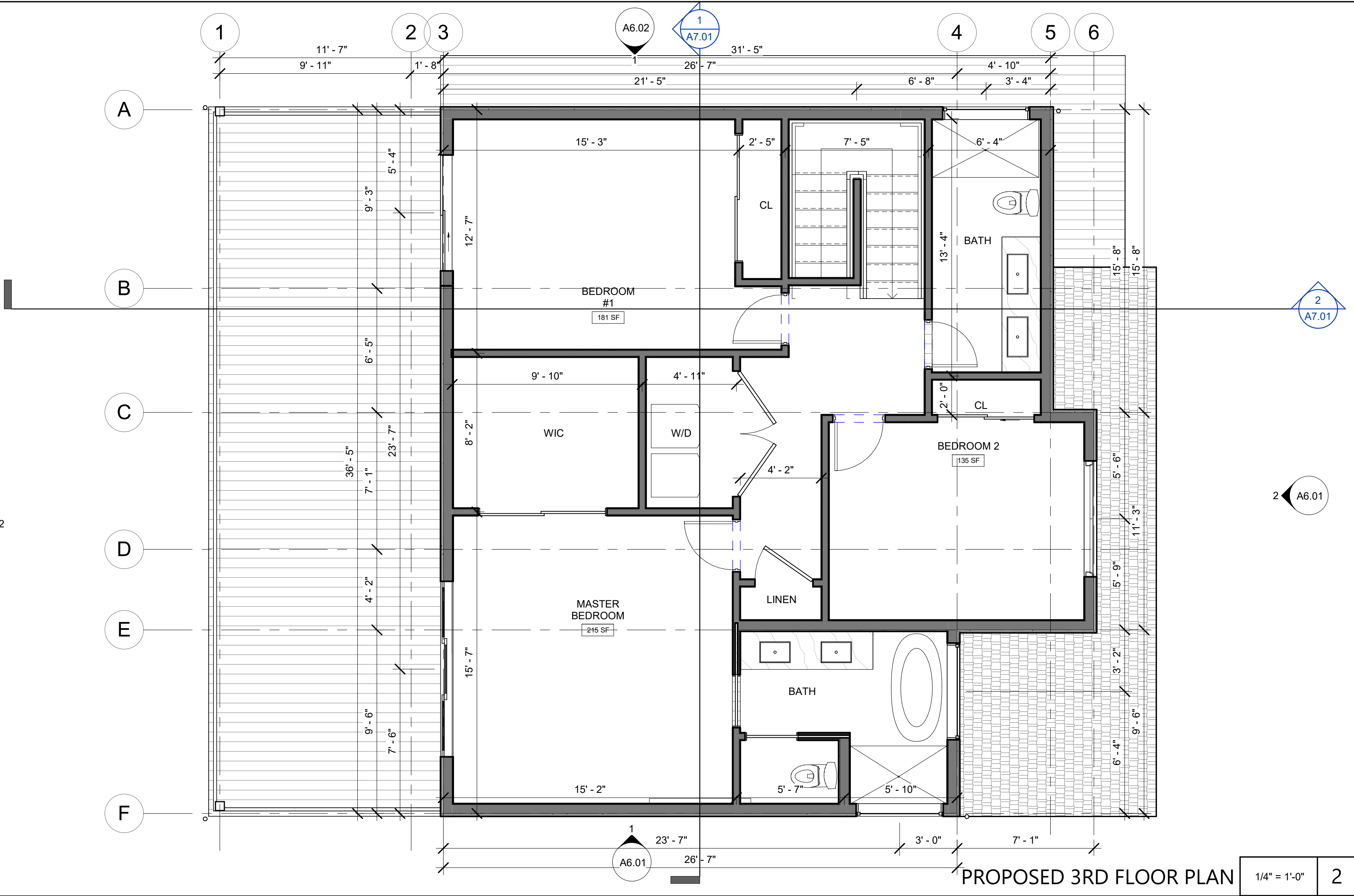
No.	Description	Date
	Planning set	7/01/25

TITLE 1ST & 2ND FLOOR PLAN

ARCHITECT STAMP

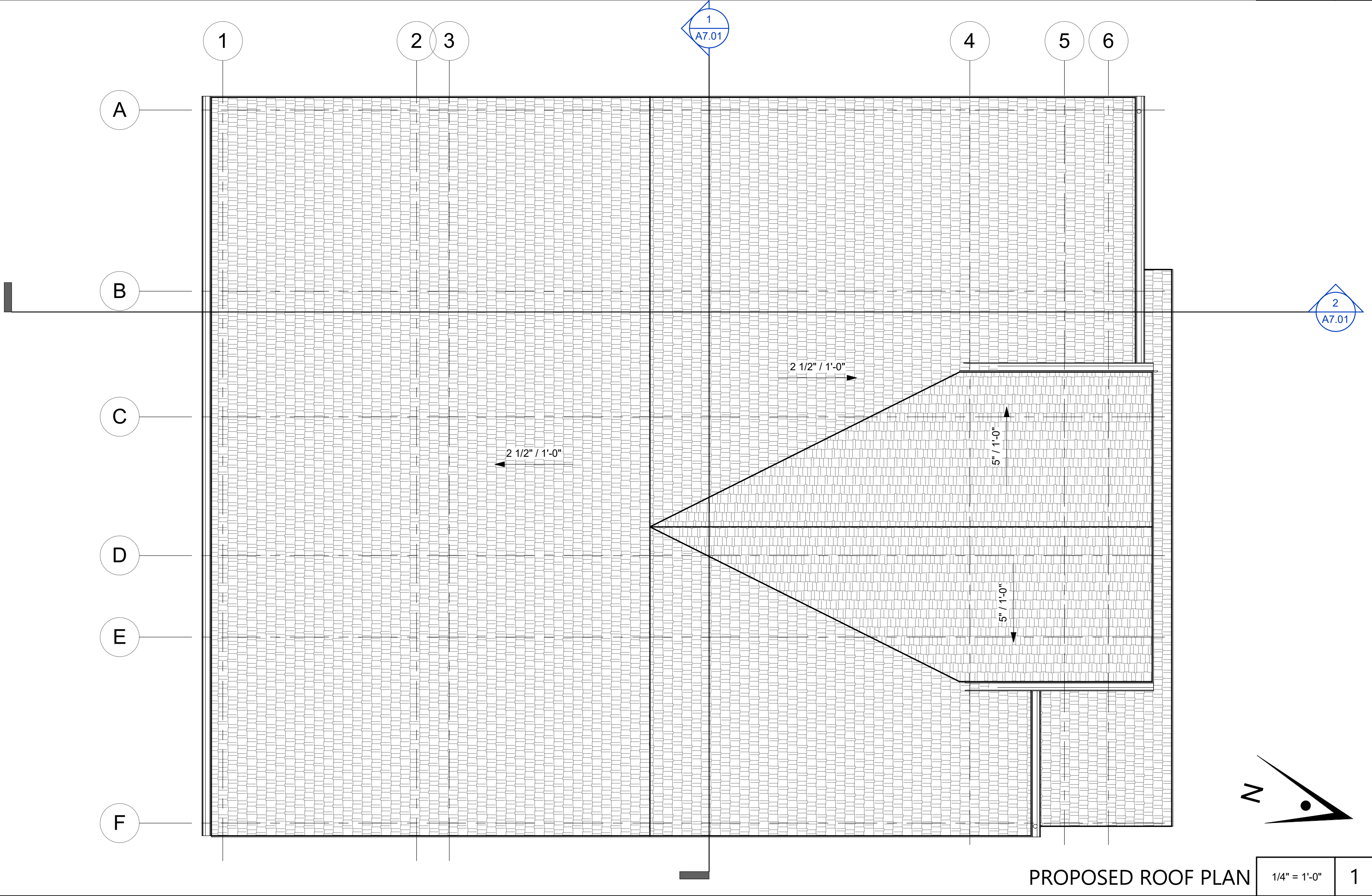


APPLICATION NUMBER	DRAWING NUMBER
DATE 10/13/2025	A3.01
PROJECT NUMBER 25007	



PROPOSED 3RD FLOOR PLAN

1/4" = 1'-0" 2



PROPOSED ROOF PLAN

1/4" = 1'-0" 1

KEYNOTES

GRAPHIC KEY

- PARTITION WALL, REFER TO A12.30
- WALL TYPES, REFER TO A12.30
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- WINDOW TYPE, SEE WINDOW SCHEDULE
- CONCRETE PAVING
- DECK
- ASPHALT SHINGLE ROOFING

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CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

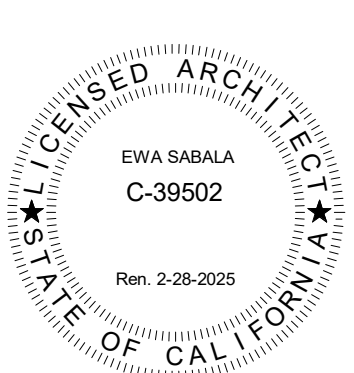
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

3ND FLOOR PLAN &
ROOF PLAN

ARCHITECT STAMP



APPLICATION NUMBER

DATE

10/13/2025

PROJECT NUMBER

25007

DRAWING NUMBER

A3.02



NORTH ELEVATION

1/4" = 1'-0"

2

EXTERIOR WALL FINISH

- STUCCO**
LAHABRA OR EQUAL
COLOR: DOVE GRAY OR SIM
- HARDIE PANEL**
CA FIRE BUILDING MATERIAL LISTING
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR 1: ARTIC WHITE OR SIM
COLOR 2: PEARL GRAY OR SIM
- HARDIE TRIUM & BATTEN BOARDS**
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR: IRON GRAY OR SIM
SPACING: 12" (4 PER PANEL) or 9 5/8" (5 PER PANEL)
- ASPHALT SHINGLE ROOFING**
CERTAINTED RESIDENTIAL ROOFING SHINGLES
FIRE RESISTANT, UL 790 CLASS A
COLOR: MOIRE BLACK OR PEWTER, OR EQUAL

- DECK STRUCTURE:**
FIRE-RETARDANT TREATED WOOD POST SIZE: 6X6
JOIST SIZE: TBD
SPECIES: DOUGLAS FIR, STANDARD GRADE
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- DECKING & STAIR TREADS**
FIRE-RETARDANT TREATED WOOD DECKING SIZE: 2X6
STAIR TREADS: USE DECKING BOARDS SPECIES: WESTERN RED CEDAR
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- GUARDRAILS**
FIRE-RETARDANT TREATED WOOD
- GUARDRAIL POSTS** SIZE 4X4, SPACING 4'-0" O.C. MAX
SPECIES: DOUGLAS FIR
- GUARDRAIL BOARDS** SIZE 1X4, SPACING B/W BOARDS 3" MAX SPECIES:
WESTERN RED CEDAR
- FIRE-RETARDANT TREATED**
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- SITE RETAINING WALL**
POURED IN-PLACE CONCRETE COLOR: NATURAL

- EXTERIOR WALL LIGHTS:**
PARPHONER OUTDOOR SCONCE OR EUQAL
FINISH: BLACK
- LUTEC**
2000 LUMEN 18 WATT 28 LEED DUAL HEAD FLOOD LIGHT OUTDOOR,
WATERPROOF EXTERIOR SECURITY LIGHT ON SENSOR, OR EQUAL
FINISH: BLACK

EVA ARCHITECTS

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CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

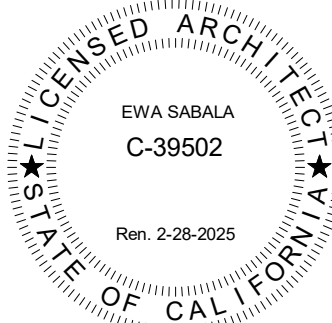
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94511

No.	Description	Date
	Planning set	7/01/25

TITLE

ELEVATIONS

ARCHITECT STAMP



APPLICATION NUMBER

DATE

PROJECT NUMBER

DRAWING NUMBER

A6.01



EAST ELEVATION

1/4" = 1'-0"

1



EXTERIOR WALL FINISH

- STUCCO**
LAHABRA OR EQUAL
COLOR: DOVE GRAY OR SIM
- HARDIE PANEL**
CA FIRE BUILDING MATERIAL LISTING
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR 1: ARTIC WHITE OR SIM
COLOR 2: PEARL GRAY OR SIM
- HARDIE TRIUM & BATTEN BOARDS**
JAMES HARDIE OR EQUAL
TEXTURE: SMOOTH
COLOR: IRON GRAY OR SIM
SPACING: 12" (4 PER PANEL) or 9 5/8" (5 PER PANEL)
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CERTAINTED RESIDENTIAL ROOFING SHINGLES
FIRE RESISTANT, UL 790 CLASS A
COLOR: MOIRE BLACK OR PEWTER, OR EQUAL

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JOIST SIZE: TBD
SPECIES: DOUGLAS FIR, STANDARD GRADE
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- DECKING & STAIR TREADS**
FIRE-RETARDANT TREATED WOOD DECKING SIZE: 2X6
STAIR TREADS: USE DECKING BOARDS SPECIES: WESTERN RED CEDAR
FIRE-RETARDANT TREATED
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- GUARDRAILS**
FIRE-RETARDANT TREATED WOOD
- GUARDRAIL POSTS** SIZE 4X4, SPACING 4'-0" O.C. MAX
SPECIES: DOUGLAS FIR
- GUARDRAIL BOARDS** SIZE 1X4, SPACING B/W BOARDS 3" MAX SPECIES:
WESTERN RED CEDAR
- FIRE-RETARDANT TREATED**
LOW VOC, WATER BASED STAIN & SEALER, CLEAR
- SITE RETAINING WALL**
POURED IN-PLACE CONCRETE COLOR:NATURAL

- EXTERIOR WALL LIGHTS:**
PARPHONER OUTDOOR SCONCE OR EUQAL
FINISH: BLACK
- LUTEC**
2000 LUMEN 18 WATT 28 LEED DUAL HEAD FLOOD LIGHT OUTDOOR,
WATERPROOF EXTERIOR SECURITY LIGHT ON SENSOR, OR EQUAL
FINISH: BLACK

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www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

ELEVATIONS

ARCHITECT STAMP

EWA SABALA

C-39502

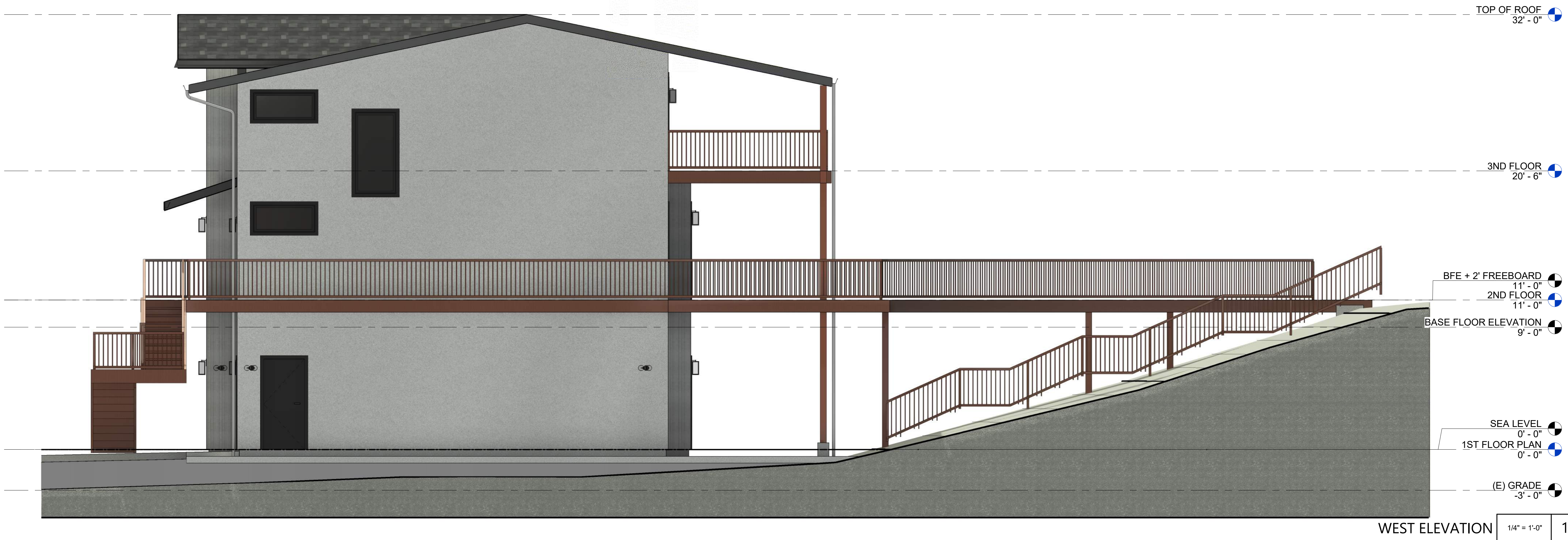
Ren. 2-28-2025

STATE OF CALIFORNIA

APPLICATION NUMBER	DRAWING NUMBER
DATE	A6.02
PROJECT NUMBER	

10/13/2025

25007



EVA ARCHITECTS

1248 SPENCER AVE
SAN JOSE, CA 92125
408-874-5304
www.eva-architects.com

CONSULTANT'S STAMP

PROJECT TITLE

3 STORY SINGLE
FAMILY RESIDENCE

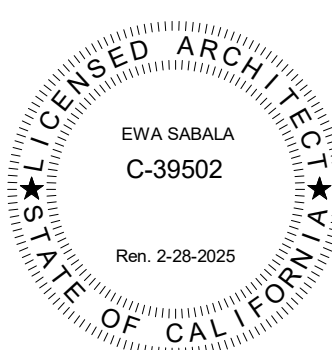
3910 STONE RD, BETHEL ISLAND, CA 94511

No.	Description	Date
	Planning set	7/01/25

TITLE

BUILDING SECTIONS

ARCHITECT STAMP



APPLICATION NUMBER

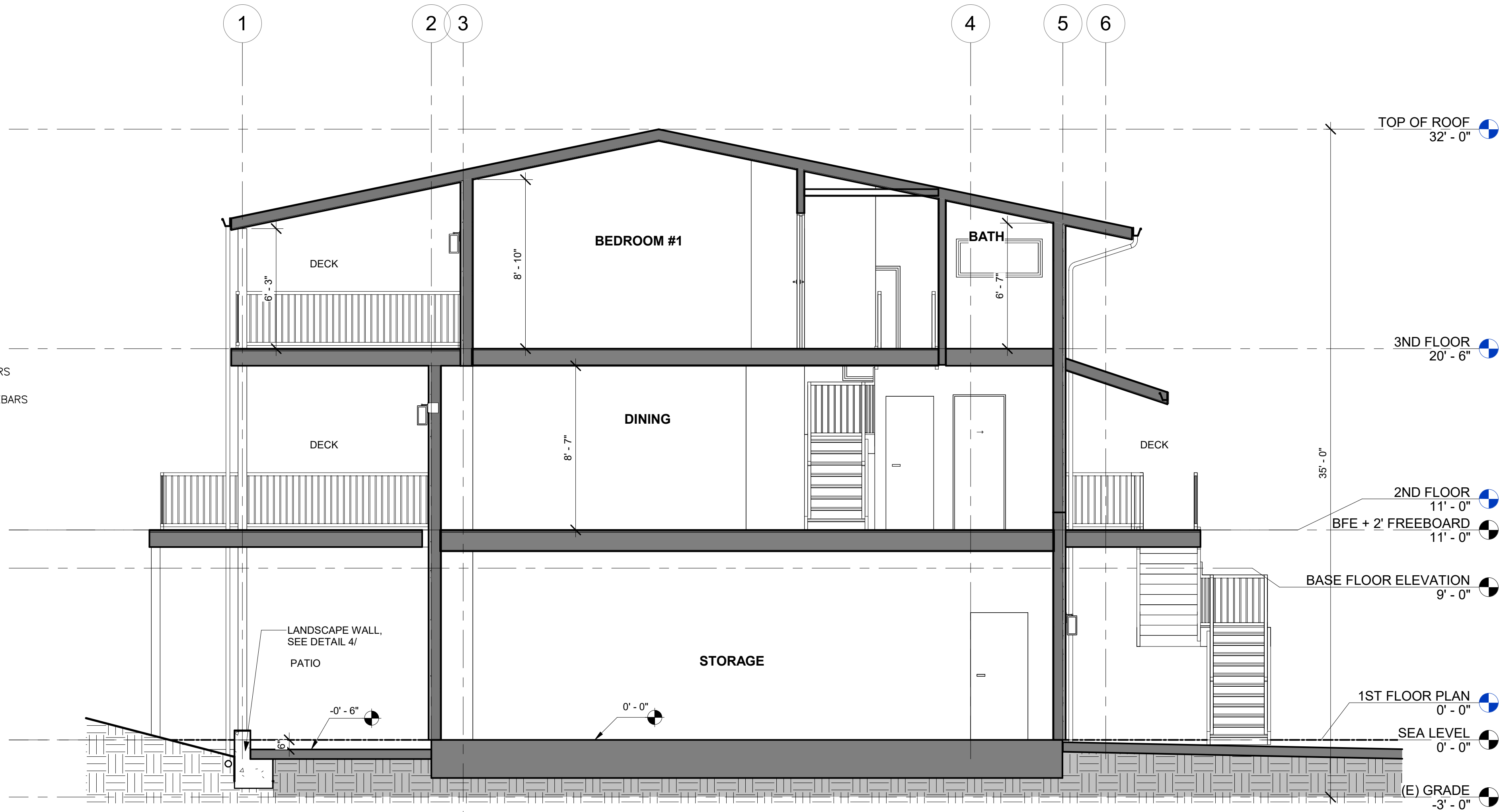
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PROJECT NUMBER

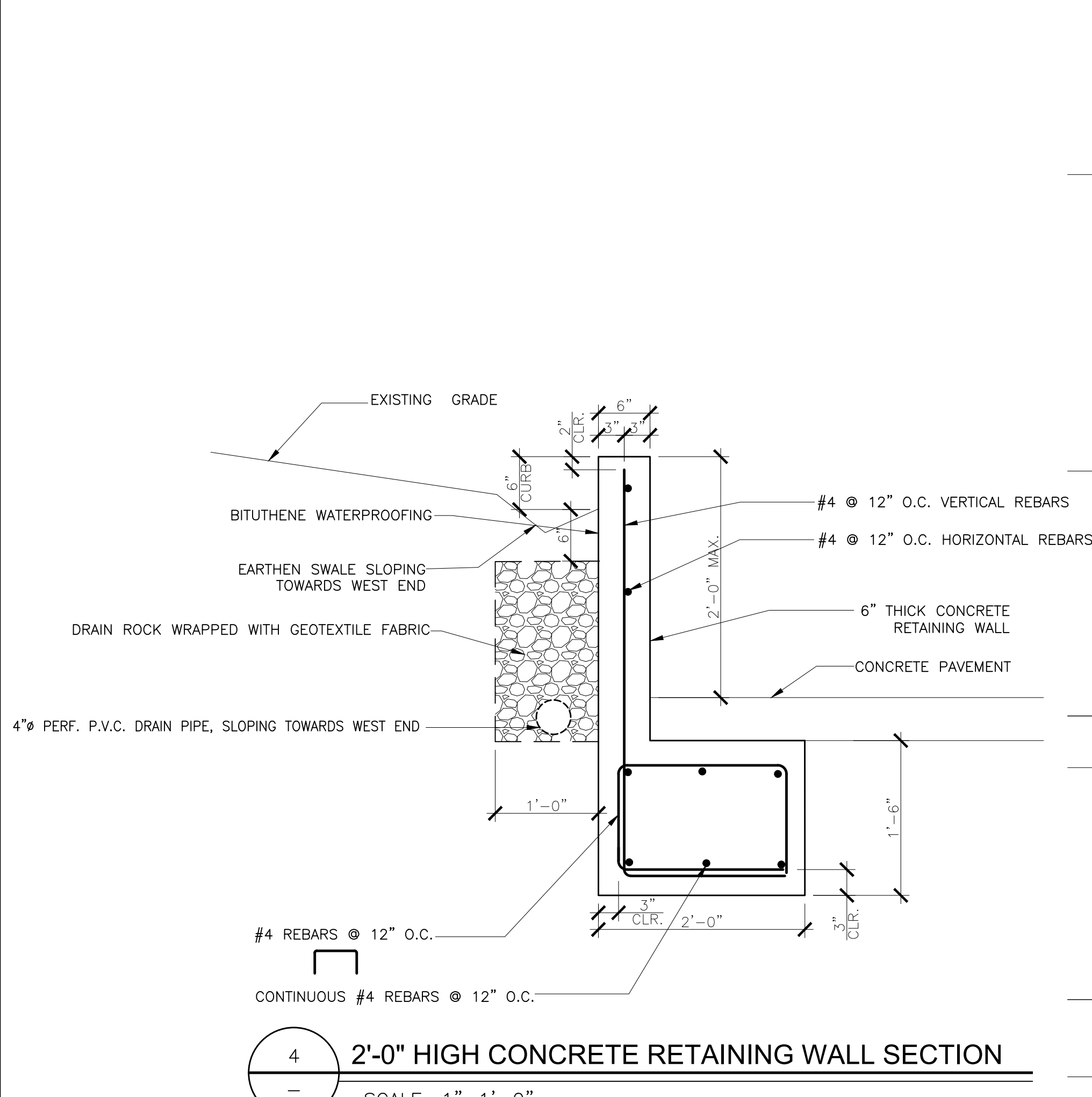
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A7.01

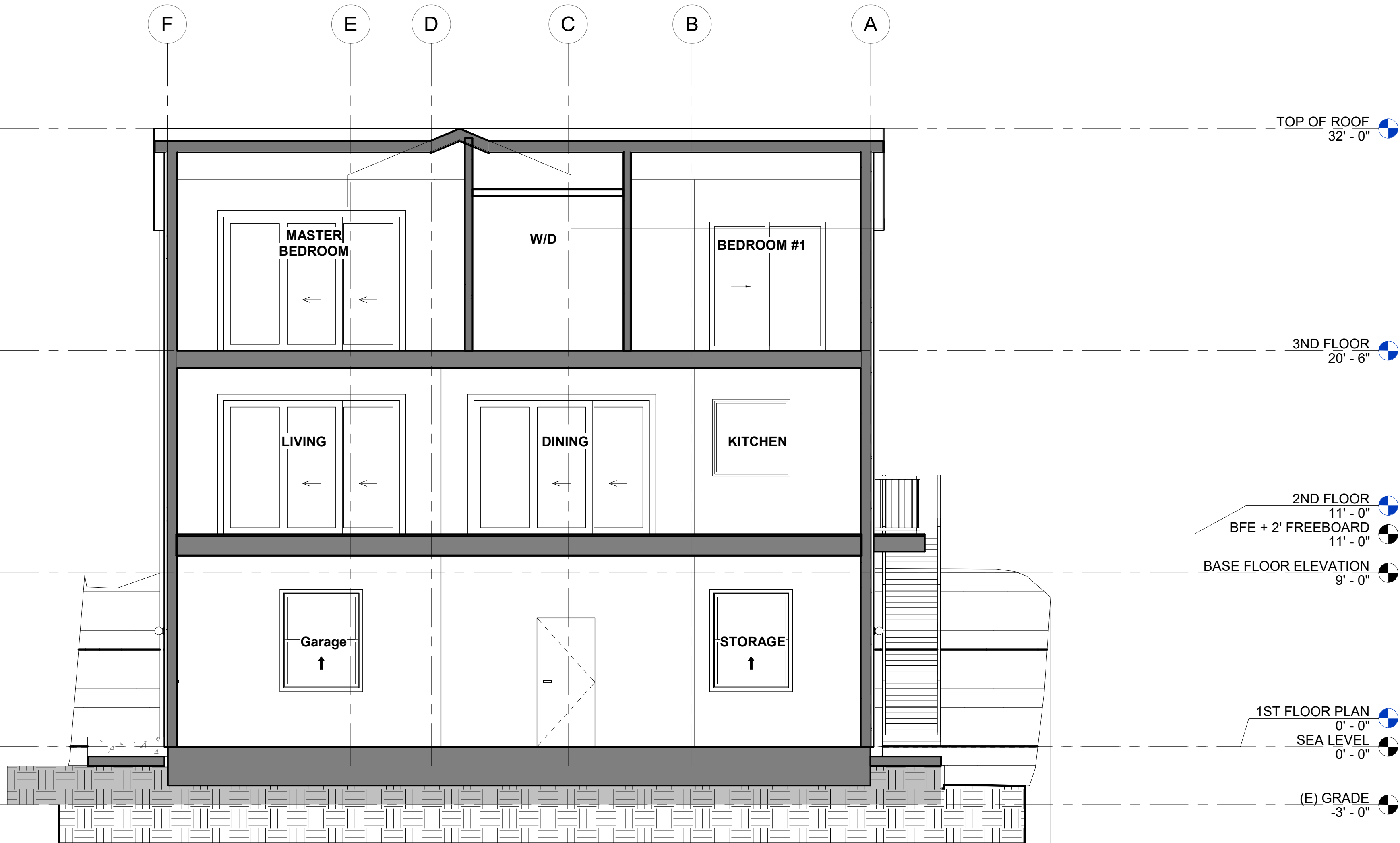
25007



SECTION 1/4" = 1'-0" 2



4 2'-0" HIGH CONCRETE RETAINING WALL SECTION
SCALE: 1"=1'-0"

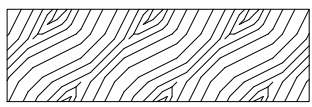
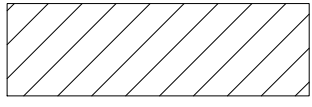
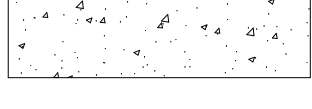


SECTION 1/4" = 1'-0" 1

LOCATION MAP



LEGEND

- (N) OPEN DECKING OR WOOD STAIRS
- (N) RETAINING WALL
- (N) CONC. PAVEMENT
- POST CONSTRUCTION CONTOUR LINES
- BUILDING OUTLINE
- PROPERTY LINE
- GRADE SLOPE
- EARTHEN SWALE
- DOWNSPOUT LOCATIONS (SUBJECT TO ARCHITECT CONFIRMATION)

NOTES

- ALL TOPOGRAPHIC AND BOUNDARY INFORMATION WERE PROVIDED BY OWNER AND ARE BASED ON SURVEY BY NIERHAKE SURVEYING, DATED 3/23/2024.
- FOR BUILDING PLAN DRAWINGS SEE ARCHITECTURAL DRAWINGS.
- ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, UPLIFTED OR DEPRESSED DURING THE COURSE OF CONSTRUCTION, OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION, SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- A SEPARATE PUBLIC WORKS EXCAVATION PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE APPLICANT/CONTRACTOR SHALL OBTAIN THE PERMIT FROM THE CITY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT.
- RUNOFF SHALL NOT BE DIRECTED TO NEIGHBORING PROPERTIES

CUT AND FILL VOLUME [C.YD.]

	CUT [C.Y.]	FILL [C.Y.]
CUT AT LANDSCAPING WALL	3	0
FILL AT HOUSE PAD AND YARD GRADE	0	150
APPROXIMATE TOTAL FILL = 150-3=147 C.Y.		

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

IMPERVIOUS AREA [SF]

	PRE AREA [S.F.]	POST AREA [S.F.]
IMPERVIOUS AREA - BUILDING	0	1167
- DRIVEWAY	0	1728
- PATIOS, WALKWAYS	0	726
TOTAL IMPERVIOUS AREA	0	3621

	PRE AREA [S.F.]	POST AREA [S.F.]
PERVIOUS AREA - LANDSCAPING	10193	6572
TOTAL PERVIOUS AREA	10193	6572
LOT AREA	10193 SF	

ABBREVIATIONS

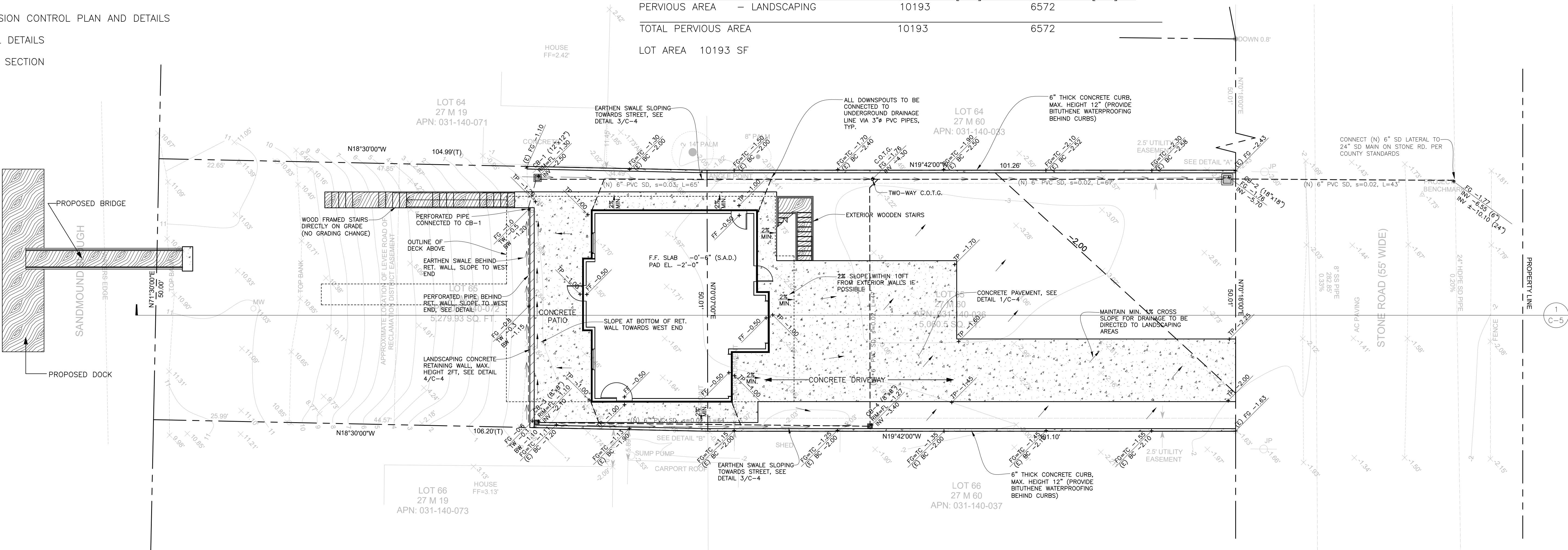
AB	AGGREGATE BASE	OPT	OPTION
AC	ASPHALTIC CONCRETE	OVE	OVERHEAD ELECTRIC
BFPD	BACKFLOW PREVENTION DEVICE	PC	POINT OF CURVATURE
BLDG	BUILDING	PL	PROPERTY LINE
BOP	BOTTOM OF PIPE	POC	POINT OF CONNECTION
BSMT	BASEMENT	PP	POWER POLE
BW	BACK OF WALK	PK	PARKING
CB	CATCH BASIN	PT	POINT OF TANGENCY
C&G	CURB & GUTTER	PVC	POLYVINYL CHLORIDE
CI	CAST IRON PIPE	PVMT	PAVEMENT
CIP	CHAIN LINK FENCE	RCP	REINFORCED CONCRETE PIPE
CLF	CONCRETE	RPBPD	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
CONC	CITY OF OAKLAND CORNER	S	SLOPE OR SOUTH
COO	CUBIC YARDS	SAP	SEE ARCHITECTURAL PLANS
COR	DRAINAGE INLET	SD	STORM DRAIN
C.Y.	DUCTILE IRON PIPE	SDCB	STORM DRAIN CATCH BASIN
DIP	DOMESTIC WATER	SDCO	STORM DRAIN CLEANOUT
DW	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
D/W	EAST	SE	SOUTH EAST
E	EXISTING	SEP	SEE ELECTRICAL PLANS
(E) EX	EAST BAY MUD	SERV	SERVICE
EBMUD	EXISTING FINISH GRADE	SF	SQUARE FEET
EFG	ELECTRICAL	SFPF	SEE FIRE PROTECTION PLANS
ELEC	EDGE OF PAVEMENT	SGR	SEE GEOTECHNICAL REPORT
EP	FACE OF CURB	SHT	SHEET
FC	FINISHED FLOOR	SJTP	SEE JOINT TRENCH PLANS
FF	FINISH GRADE	SL	STREET LIGHT
FL	FLOW LINE	SLP	SEE LANDSCAPE PLANS
FLR	FLOOR	SMP	SEE MECHANICAL PLANS
FND	FOUND	SPP	SEE PLUMBING PLANS
FS	FIRE SERVICE OR FINISHED SURFACE ELEVATION	SS	SANITARY SEWER
G	GAS	SSCO	SANITARY SEWER CLEANOUT
GB	GRADE BREAK	SSLP	SEE STREET LIGHT PLAN
GS	GROUND SURFACE ELEVATION	SML	SANITARY SEWER MANHOLE
GV	GAS VALVE	SSP	SEE STRUCTURAL PLAN
HC	HANDICAP	STA	STATION
HCR	HANDICAP RAMP	STD	STANDART
HP	HIGH POINT	SW	SOUTH WEST
INV	INVERT ELEVATION	S/W	SIDEWALK
IRR	IRRIGATION	TC	TOP OF CURB
JP	JOINT POLE	TP	TOP OF PAVEMENT
JT	JOINT TRENCH	THK	THICK
LAT	LATERAL	THRU	THROUGH
LIP	LIP OF GUTTER	TOP	TOP OF PIPE
LP	LOW POINT	TRANS	TRANSFORMER
M.M	MONUMENT TO MONUMENT	TW	TOP OF WALL
(N)	NEW	TYP	TYPICAL
N	NORTH	VCP	VITRIFIED CLAY PIPE
NE	NORTH EAST	W/	WITH
NO	NUMBER	W	WATER
NW	NORTH WEST	WM	WATER METER
		W	WEST
		WV	WATER VALVE

STORMWATER MANAGEMENT NOTES

- RUNOFF FROM FRONT YARD CONCRETE DRIVEWAY IS DIRECTED TO LANDSCAPED AREA AT FRONT YARD.
- RUNOFF FROM ALL CONCRETE PORCHES, PATIOS, WALKWAYS AND LANDINGS IS DIRECTED TO LANDSCAPED AREA.

SHEET INDEX

- C-1 SITE GRADING AND DRAINAGE PLAN
- C-2 SITE UTILITIES PLAN
- C-3 EROSION CONTROL PLAN AND DETAILS
- C-4 CIVIL DETAILS
- C-5 SITE SECTION



SITE GRADING AND DRAINAGE PLAN

SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com



ISSUANCE AND REVISIONS:	NO.	DATE	DESCRIPTION
	1	10/16/2025	PERMIT SET

SINGLE FAMILY RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

PROJECT NAME:
SHEET TITLE:
SITE GRADING AND DRAINAGE PLAN

SHEET NO.:
C-1
PROJECT: 25-0665

A circular professional engineer seal for the State of California. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two stars. Inside the ring, the name "VITEZSLAV HANACEK" is written in an arc. In the center, the license number "C 75786" is displayed above the expiration date "EXP. 06/30/26". Below the expiration date, the word "CIVIL" is written.

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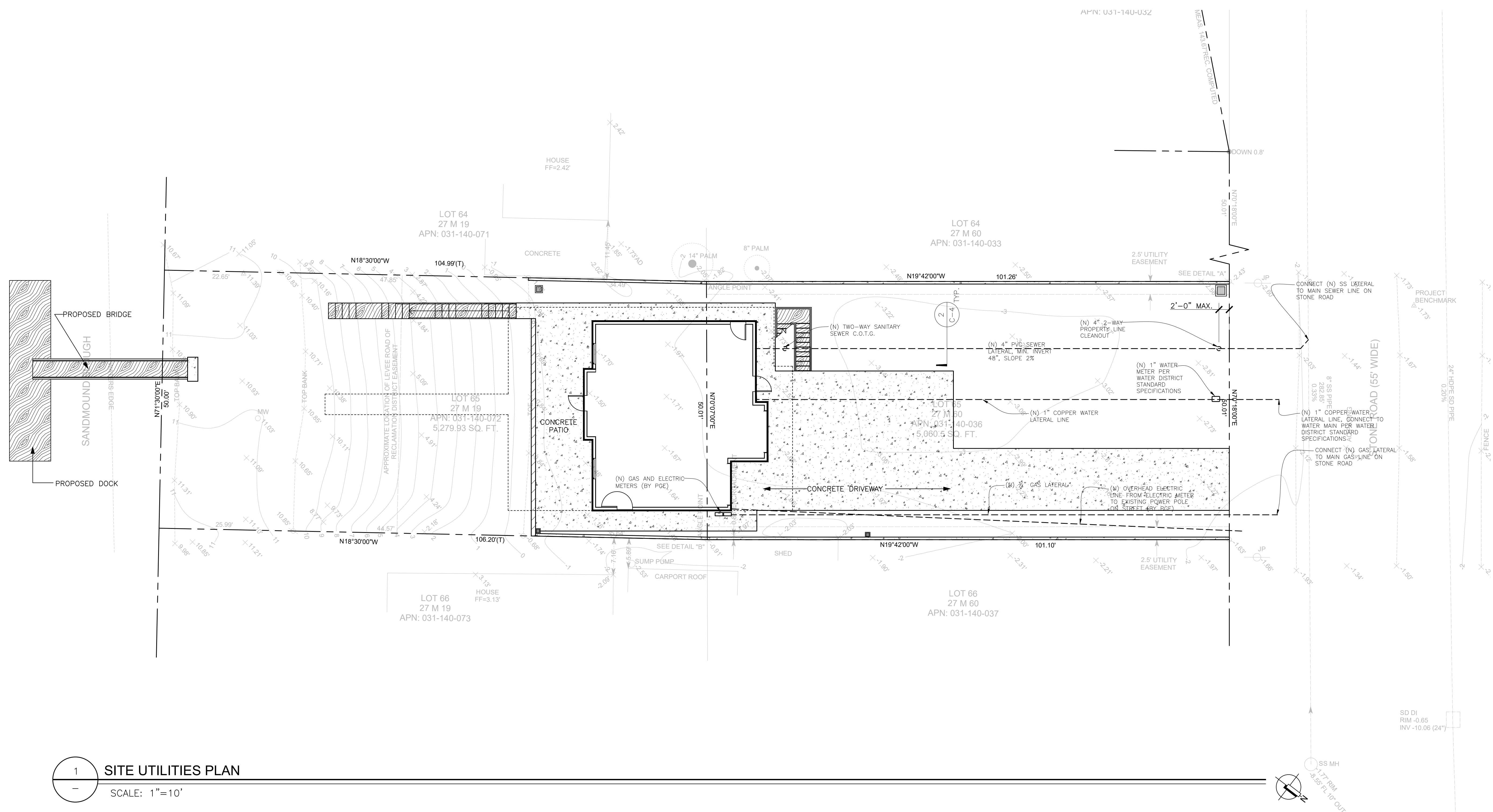
PROJECT NAME: **SINGLE FAMILY
RESIDENCE**
3910 STONE RD.
BETHEL ISLAND, CA

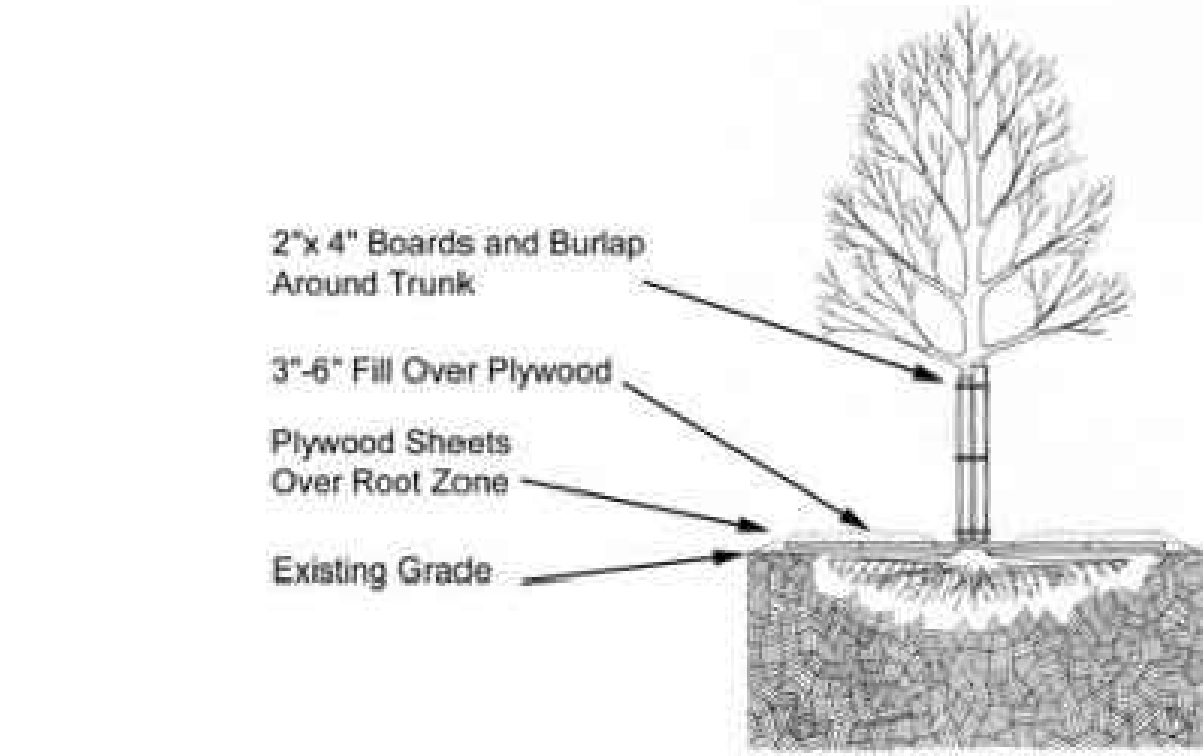
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SHEET NO.:

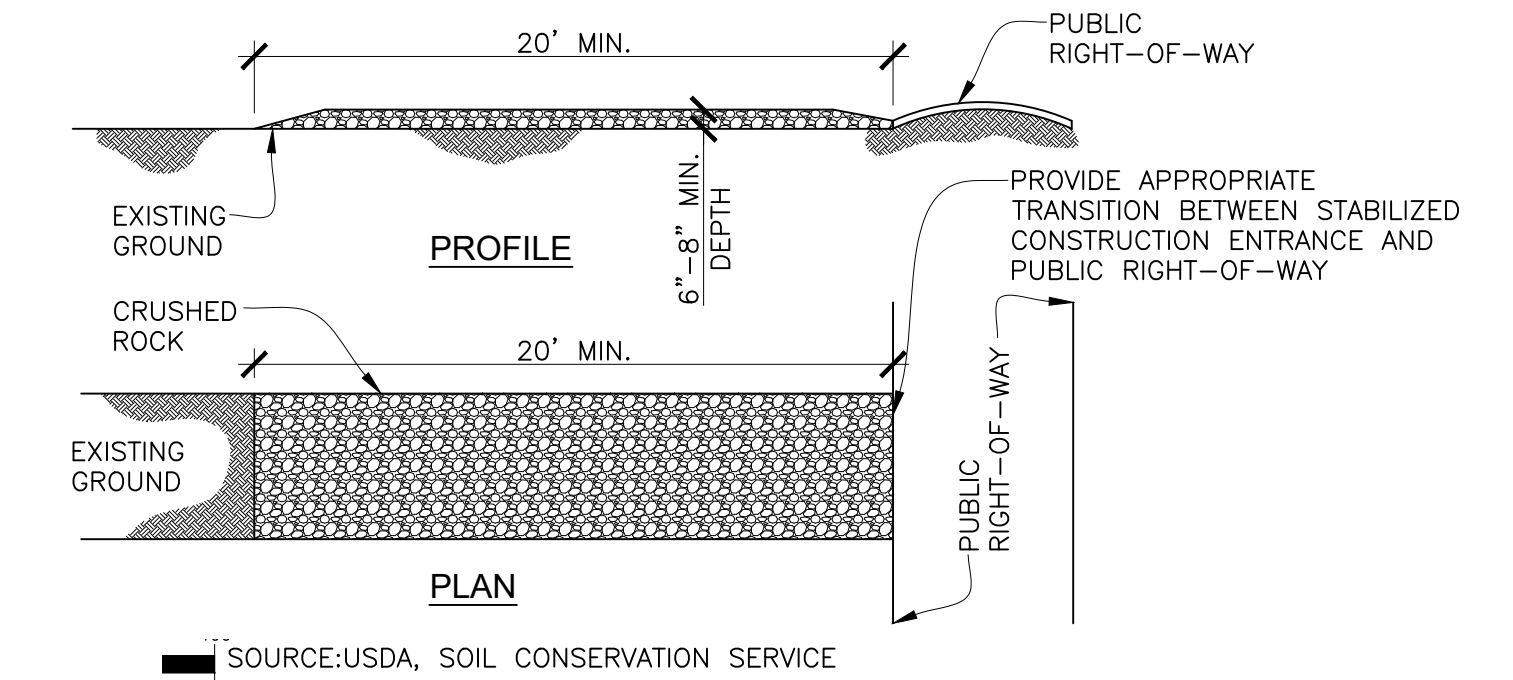
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PROJECT: 25-0665

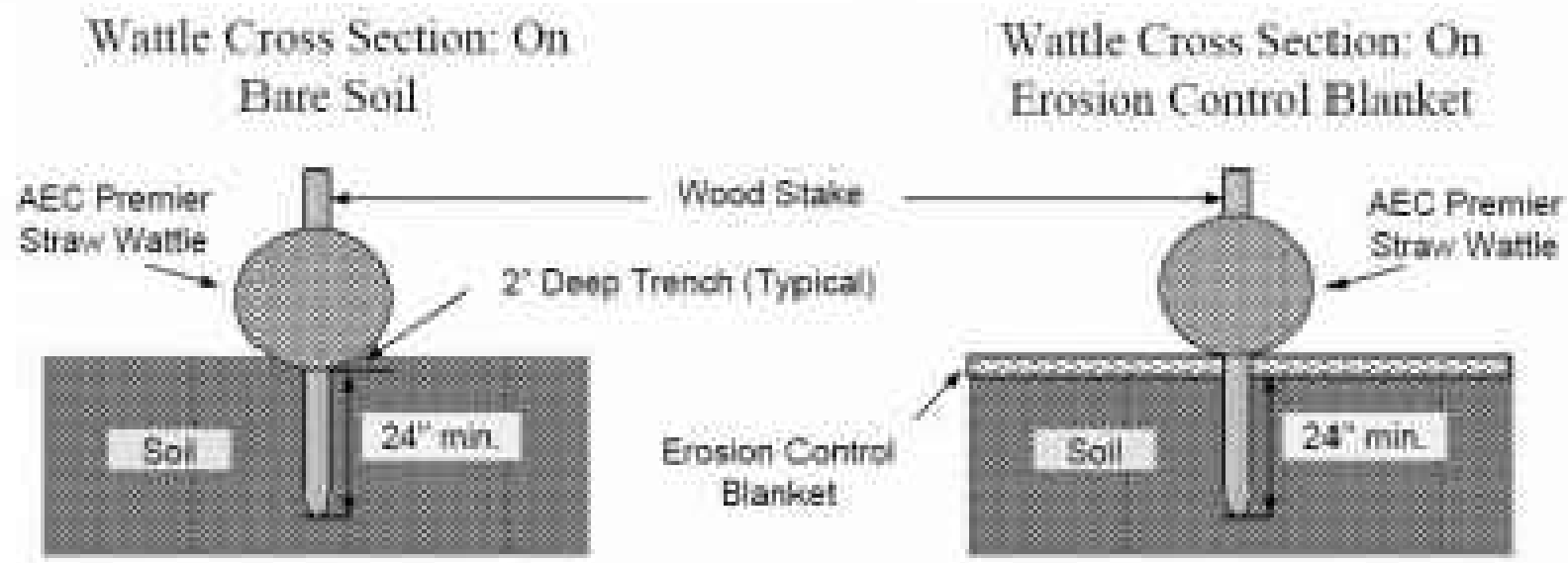




5 TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE



2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



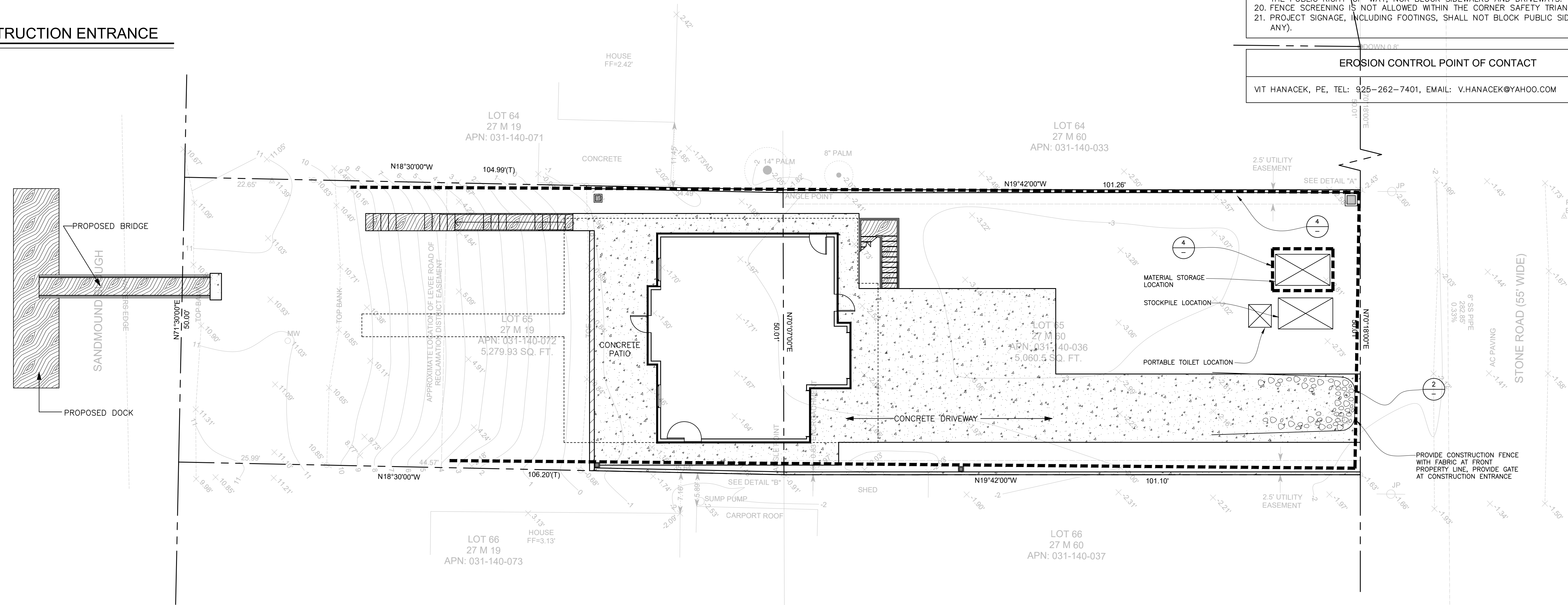
Notes:
1. Drawings are not to scale.
2. Ends of Wattles shall be turned slightly up slope.
3. Recommended stakes are 1 1/8" wide x 1 1/8" thick x 30" long.
Stakes shall not extend above the straw wattle more than 2".

4 STRAW WATTLE SECTION
NOT TO SCALE

LEGEND	
	STABILIZED CONSTRUCTION ENTRANCE
	STRAW BALE DIKE
	CONSTRUCTION FENCE
	DIKE
	UNLINED SWALE
	PAVED SWALE
	ROCK-LINED SWALE
	UNLINED WATERWAY
	GRASSED WATERWAY
	PAVED WATERWAY
	ROCK-LINED WATERWAY
	SEDIMENT TRAP
	SEDIMENT BASIN
	PIPE SLOPE DRAIN
	PAVED FLUME
	STORM DRAIN OUTLET PROTECTION
	RIPRAP
	CHECK DAM
	SUBSURFACE DRAIN
	SEEDING
	STRAW MULCHING
	HYDRAULIC SEEDING AND MULCHING
	PUNCHED STRAW
	LIMITS OF CLEARING AND GRADING
	STRAW WATTLES

EROSION PREVENTION AND SEDIMENT CONTROL NOTES	
1.	PHASE GRADING OPERATIONS TO REDUCE DISTURBED AREAS AND TIME OF EXPOSURE.
2.	NO SITE GRADING SHALL BE ALLOWED BETWEEN OCTOBER 15TH AND APRIL 15TH UNLESS APPROVED EROSION CONTROL MEASURES ARE IN PLACE.
3.	LIMIT ON-SITE CONSTRUCTION ROUTES AND STABILIZE CONSTRUCTION ENTRANCE(S). SEE DETAIL 2.
4.	NOT USED
5.	THE APPLICANT SHALL GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER, WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER POLLUTION.
6.	ALL DIRT, GRAVEL, RUBBISH, REFUSES AND GREEN WASTE FROM THE SIDEWALK, STREET PAVEMENT, AND STORM DRAIN ADJOINING THE PROJECT SITE SHALL BE REMOVED. DURING WET WEATHER, THE APPLICANT SHOULD AVOID DRIVING VEHICLES OFF PAVED AREAS AND OTHER OUTDOOR WORK.
7.	THE SIDEWALK AND PUBLIC STREET PAVEMENT ADJOINING THE PROJECT SITE SHALL BE BROOM SWEEPED ON A DAILY BASIS. CAKED ON MUD OR DIRT OR DIRT SHALL BE SCRAPPED FROM THESE AREAS BEFORE SWEEPING.
8.	THE APPLICANT SHALL INSTALL FILTER MATERIALS (SUCH AS SANDBAGS, FILTER FABRIC, ETC.) AT THE STORM DRAIN INLET NEAREST THE DOWNSTREAM SIDE OF THE PROJECT SITE PRIOR TO: 1) START OF THE RAINY SEASON (OCTOBER 15), 2) SITE DEWATERING ACTIVITIES, OR 3) STREET WASHING ACTIVITIES, 4) SAW CUTTING ASPHALT OR CONCRETE, IN ORDER TO RETAIN ANY DEBRIS OR DIRT FLOWING INTO THE CITY STORM DRAIN SYSTEM. FILTER MATERIALS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY TO ENSURE EFFECTIVENESS AND PREVENT STREET FLOODING. FILTERED PARTICLES SHALL BE DISPOSED OF IN THE TRASH.
9.	PROVIDE 2 FT. DEEP TEMPORARY SEDIMENT TRAPS AS SHOWN; SEE DETAIL 3.
10.	COVER STOCKPILED SOIL AND LANDSCAPING MATERIALS WITH SECURED PLASTIC SHEETING AND DIVERT RUNOFF AROUND THEM.
11.	ONCE GRADING IS COMPLETED, STABILIZE THE DISTURBED AREAS USING PERMANENT VEGETATION AS SOON AS POSSIBLE. (HAND SEEDING)
12.	CONDUCT ROUTINE INSPECTIONS OF EROSION CONTROL MEASURES ESPECIALLY BEFORE AND IMMEDIATELY AFTER RAINSTORMS, AND REPAIR IF NECESSARY.
13.	PROTECT STORM DRAIN INLETS FROM SEDIMENT-LADEN RUNOFF. STORM DRAIN INLET PROTECTION DEVICES INCLUDE SAND BAG BARRIERS, FILTER FABRIC FENCES, BLOCK AND GRAVEL FILTERS, AND EXCAVATED DROP INLET SEDIMENT TRAPS.
14.	WHEN CLEANING SEDIMENTS FROM STREETS, DRIVEWAYS AND PAVED AREAS ON CONSTRUCTION SITES, USE DRY SWEEPING METHODS WHERE POSSIBLE. IF WATER MUST BE USED TO FLUSH PAVEMENT, COLLECT RUNOFF TO SETTLE OUT SEDIMENTS AND PROTECT STORM DRAIN INLETS.
15.	USE EROSION CONTROL BLANKETS FOR TEMPORARY SLOPE PROTECTION.
16.	EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT RAINY SEASON (OCT. 1 - APR. 30).
17.	ALL CONSTRUCTION VEHICLES/EQUIPMENT AND TRAILER SHALL BE LOCATED ON-SITE OR AT A SITE NEARBY (NOT ON A PUBLIC STREET OR PUBLIC PARKING) ARRANGED BY THE CONTRACTOR. NO CONSTRUCTION EQUIPMENT OR VEHICLES SHALL BE STORED OR PARKED ON RESIDENTIAL STREETS OR PUBLIC PARKING LOTS. CONSTRUCTION CONTRACTORS/WORKERS ARE REQUIRED TO PARK ON-SITE OR AT A PRIVATE PROPERTY ARRANGED BY THE CONTRACTOR AND SHALL NOT BE ALLOWED TO USE NEIGHBORING RESIDENTIAL/PUBLIC STREETS FOR PARKING OR STORAGE. ON-SITE/PRIVATE PARKING SHALL NOT AFFECT OR IMPACT EXISTING BUSINESSES.
18.	SIDEWALK CLOSURE OR NARROWING IS NOT ALLOWED DURING ANY ON-SITE CONSTRUCTION ACTIVITIES.
19.	ALL FENCING (INCLUDING FOOTINGS AND GATE SWING) SHALL NOT ENCR OACH INTO THE PUBLIC RIGHT-OF-WAY, NOR BLOCK SIDEWALKS AND DRIVEWAYS.
20.	FENCE SCREENING IS NOT ALLOWED WITHIN THE CORNER SAFETY TRIANGLES.
21.	PROJECT SIGNAGE, INCLUDING FOOTINGS, SHALL NOT BLOCK PUBLIC SIDEWALK (IF ANY).

EROSION CONTROL POINT OF CONTACT	
VIT HANACEK, PE, TEL: 925-262-7401, EMAIL: V.HANACEK@YAHOO.COM	



1 EROSION CONTROL PLAN
SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
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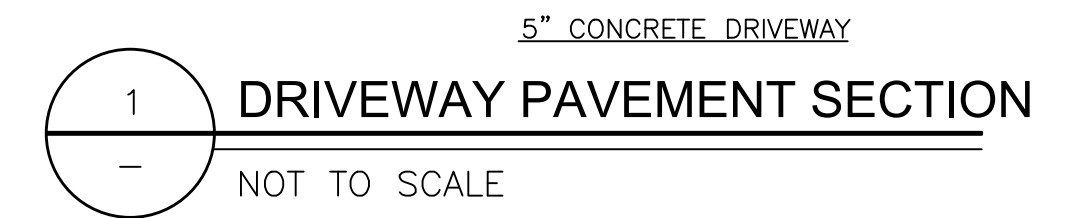


ISSUANCE AND REVISIONS	
NO.	DESCRIPTION
1	PERMIT SET

SINGLE FAMILY RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

EROSION CONTROL PLAN AND DETAILS

SHEET NO.:
C-3
PROJECT: 25-0665



REGISTERED PROFESSIONAL ENGINEER
VITEZSLAV HANACEK
C 75786
EXP. 06/30/26
CIVIL
STATE OF CALIFORNIA

[illegible]

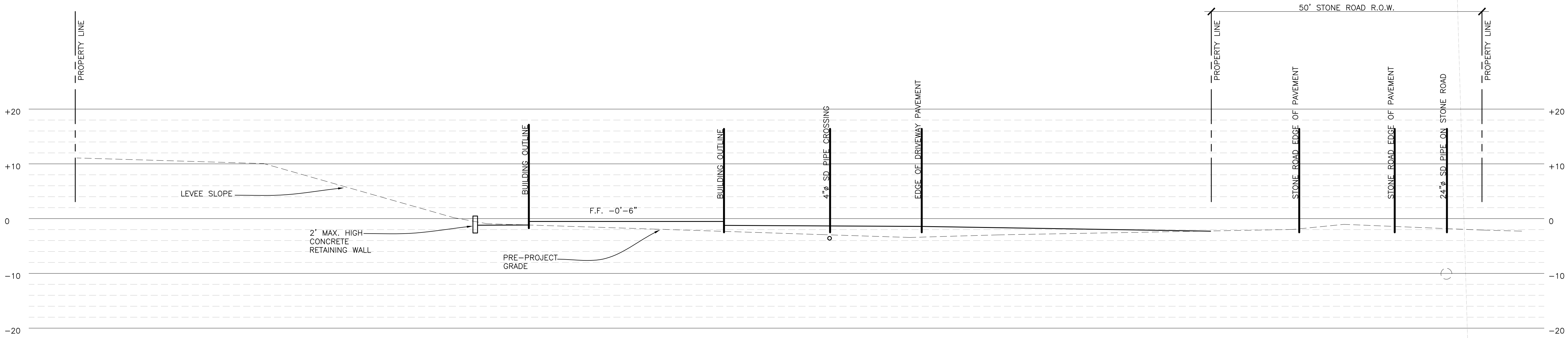
**SINGLE FAMILY
RESIDENCE**
3910 STONE RD.
BETHEL ISLAND, CA

CIVIL DETAILS

SHEET NO.:

C-4

PROJECT: 25-0665



1 SITE SECTION
SCALE: 1"=10'

Vit Hanacek Engineering
209 Powell Ave.
Pleasant Hill, CA 94523
Tel. (925) 262-7401
Fax. (925) 952-7812
v.hanacek@yahoo.com

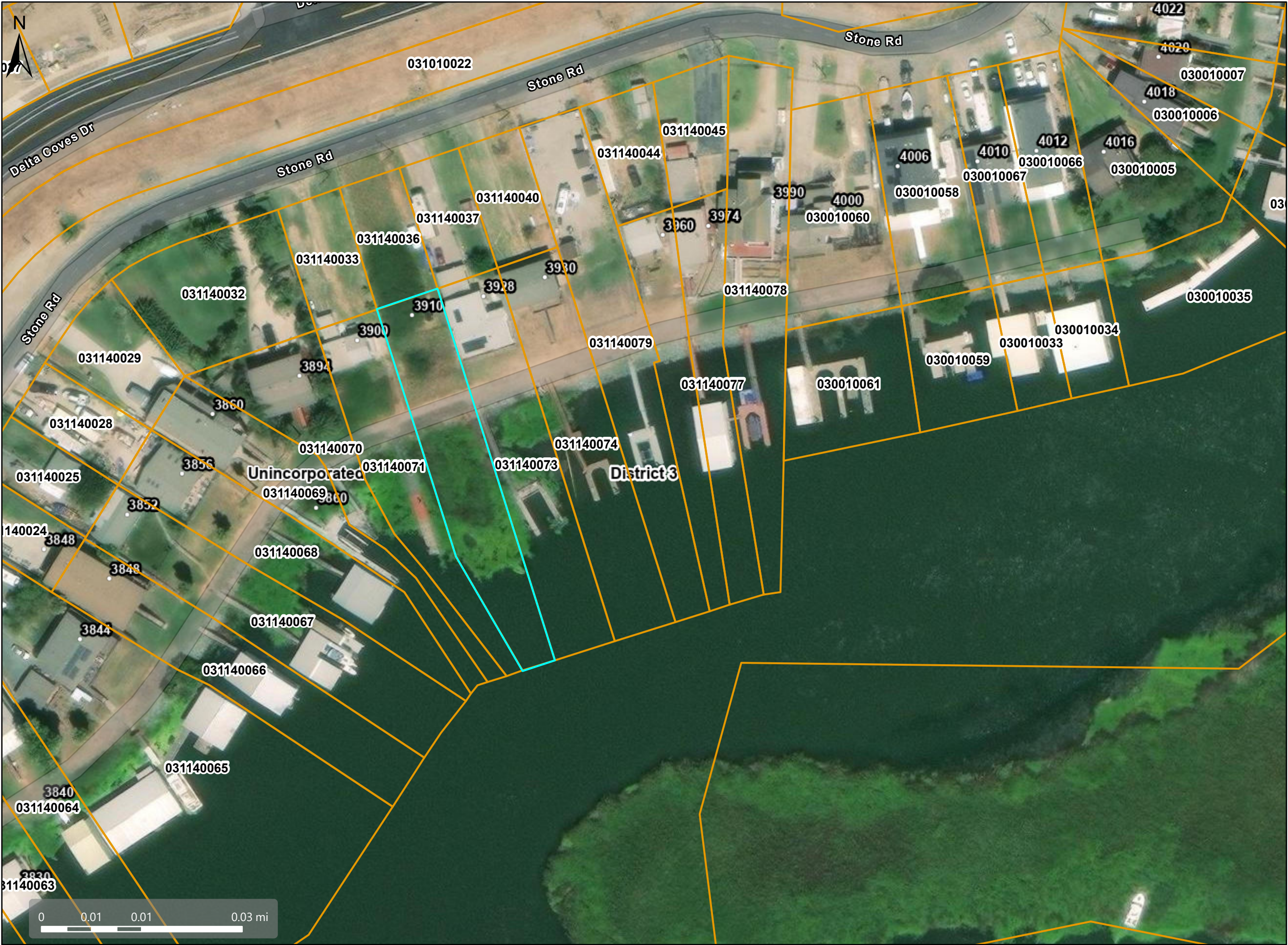
REGISTERED PROFESSIONAL ENGINEER
VITSLAV HANACEK
C 75786
EXP. 06/30/26
CIVIL
STATE OF CALIFORNIA

ISSUANCE AND REVISIONS:	
NO.	DATE
1	10/16/2025
	DESCRIPTION
	PERMIT SET

PROJECT NAME:
SINGLE FAMILY RESIDENCE
3910 STONE RD.
BETHEL ISLAND, CA

SHEET TITLE:
SITE SECTION

SHEET NO.:
C-5
PROJECT: 25-0665



Map Legend

County Border

Assessment
Parcels

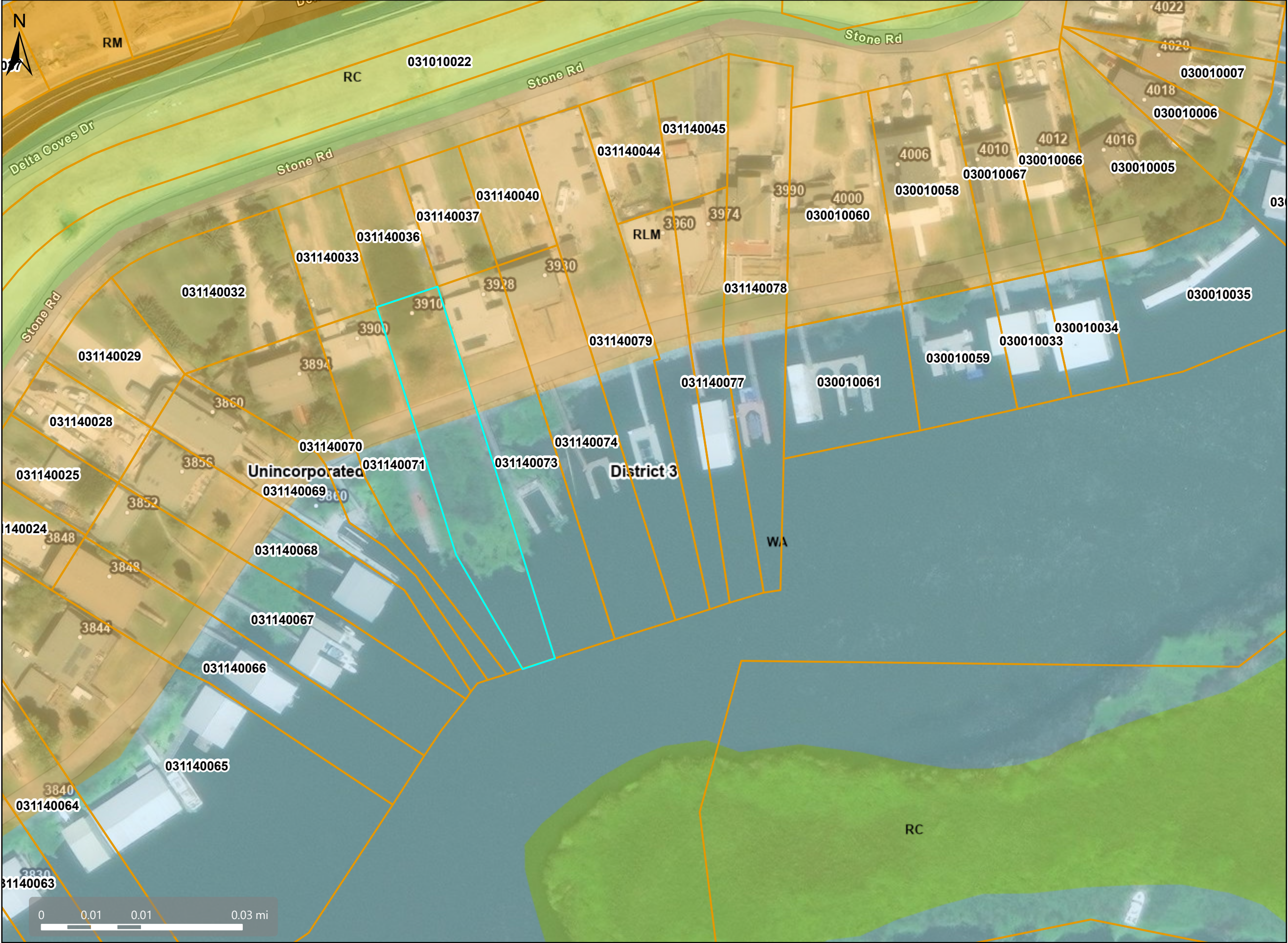
Unincorporated
Board of
Supervisors'
Districts

Address Points

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan -WA and RLM

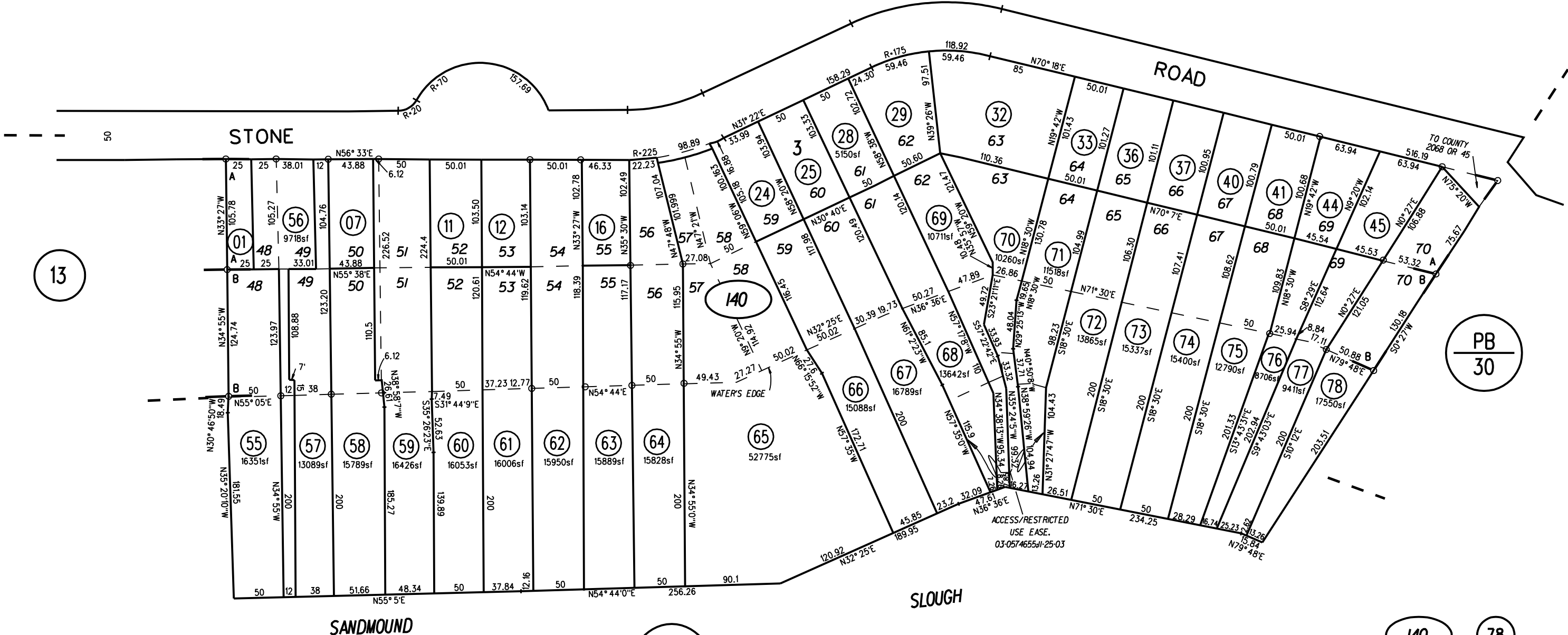
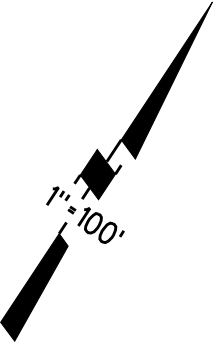


Map Legend

- County Border
- Assessment Parcels
- General Plan**
 - RLM (Residential Low-Medium Density) (3-7 du/na)
 - RM (Residential Medium Density) (7-17 du/na)
 - RC (Resource Conservation)
 - WA (Water)
 - Unincorporated
- Board of Supervisors' Districts
- Address Points

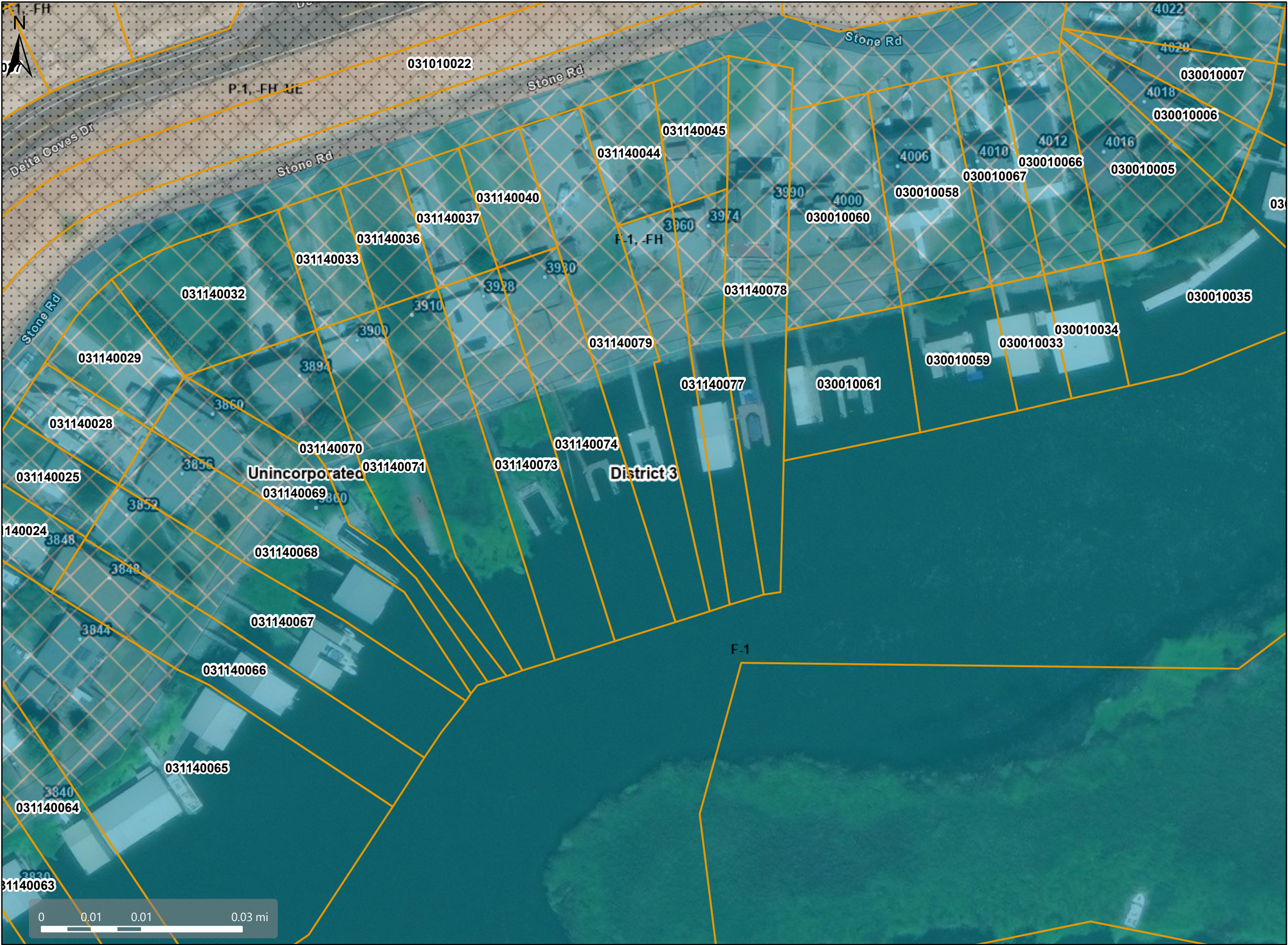
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A - BLK. 3, BETHEL SUB'N. M.B.27-60
B - SANDMOUND PARK M.B.27-19



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

Zoning - F-1, FH



Map Legend

County Border

Assessment
Parcels

Zoning

ZONE_OVER	
F-1 (Water Recreational)	
F-1 -FH (Flood Hazard Combining District)	
P-1 -FH (Flood Hazard Combining District)	
P-1 -FH -UE (Flood Hazard and Animal Exclusion)	
Unincorporated	
Board of Supervisors' Districts	
Address Points	

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Datum: WGS 1984