



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <p>___ Building Inspection      ___ Grading Inspection        ___ Advance Planning      ___ Housing Programs        ___ Trans. Planning      ___ Telecom Planner        ___ ALUC Staff      ___ HCP/NCCP Staff        ___ County Geologist</p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p>___ Environmental Health    ___ Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p>___ Engineering Services    ___ Special Districts        ___ Traffic        ___ Flood Control (Full-size)</p> <p><u>LOCAL</u></p> <p>___ Fire District _____            ___ San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>            ___ Consolidated – (email) <a href="mailto:fire@cccfdpd.org">fire@cccfdpd.org</a></p> <p>___ Sanitary District _____        ___ Water District _____        ___ City of _____        ___ School District(s) _____        ___ LAFCO        ___ Reclamation District # _____        ___ East Bay Regional Park District        ___ Diablo/Discovery Bay/Crockett CSD        ___ MAC/TAC _____        ___ Improvement/Community Association        ___ CC Mosquito &amp; Vector Control Dist (email)</p> <p><u>OTHERS/NON-LOCAL</u></p> <p>___ CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)        ___ CA Fish and Wildlife, Region 3 – Bay Delta        ___ Native American Tribes</p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____        _____        _____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____        Phone # _____        E-mail _____        County File # _____        Prior to _____</p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p>___ Landslide                  Active Fault Zone (A-P)        Liquefaction      ___ Flood Hazard Area        ___ 60-dBA Noise Control        ___ CA EPA Hazardous Waste Site        High or Very High FHSZ</p> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: ___ None    ___ Below    ___ Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Project Summary

**County File Number: CDVR26-01006**

**Submitted Date: 3/6/2026**

**Applicant:** Sally Szeto

**Property Owner:** Christopher Cayabyab

**Project Description:**

Applicant requests approval of a variance for a 10-foot side yard (where 15 feet is required) and an aggregate side yard of 22-feet 6-inches (where 35 feet is required) for an 814-square-foot rear addition and 197-square-foot front addition to an existing single-family residence with a small lot design review on a residential lot that is substandard in total size and average width.

**Project Location: (Address: 43 LA SERENA CT, ALAMO, CA 94507 215), (APN: 198074002)**

**Additional APNs:**

**General Plan Designation(s):** RL

**Flood Hazard Areas:** X

**60-dBA Noise Control:**

**Sphere of Influence:**

**Sanitary District:** CENTRAL SANITARY

**Specific Plan:**

**Zoning District(s):** R-20

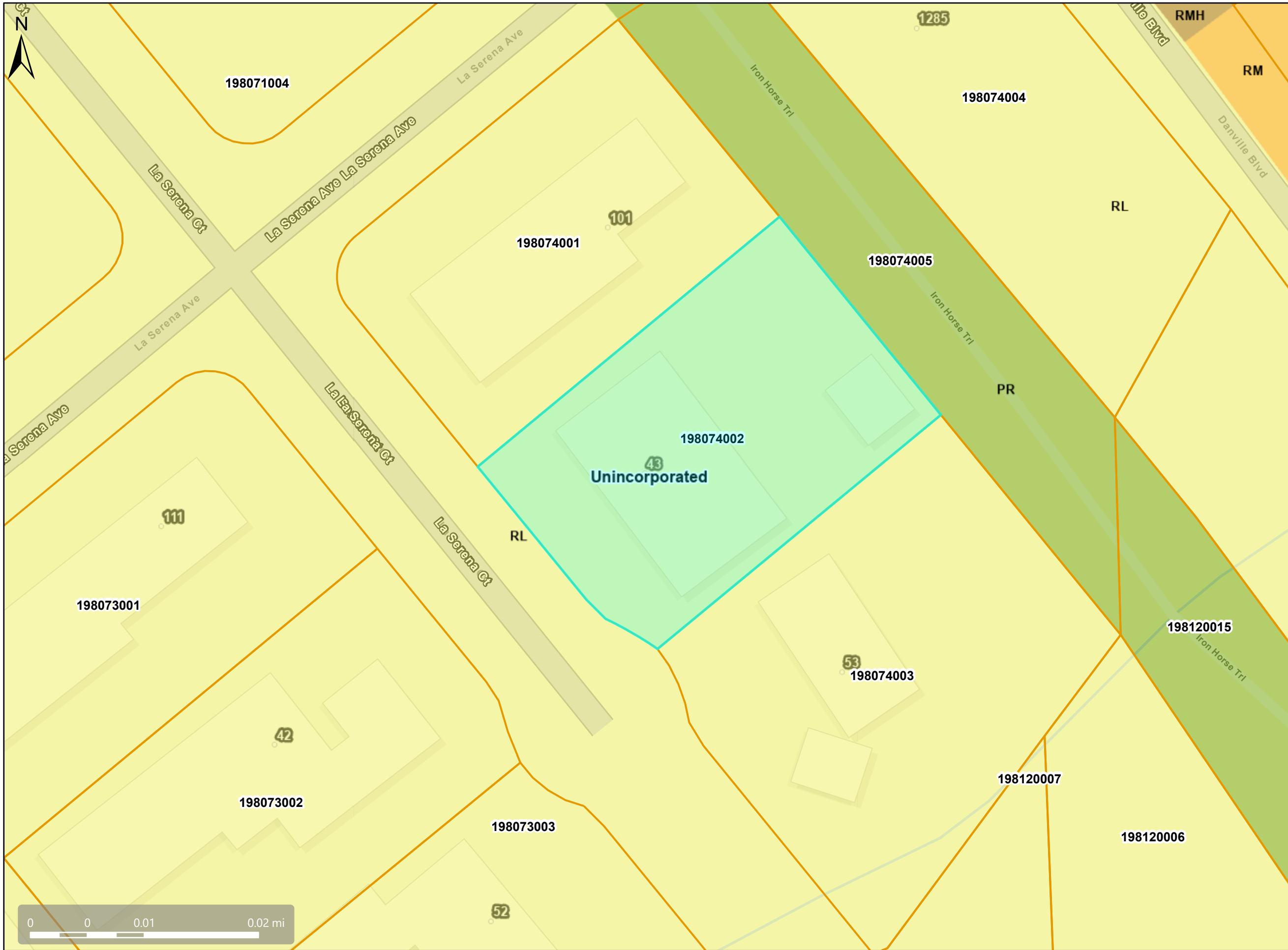
**AP Fault Zone:**

**MAC/TAC:**

**Fire District:** SAN RAMON VLY FIRE

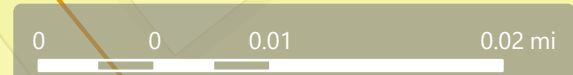
**Housing Inventory Site:** NO

# General Plan: RL, Residential Low



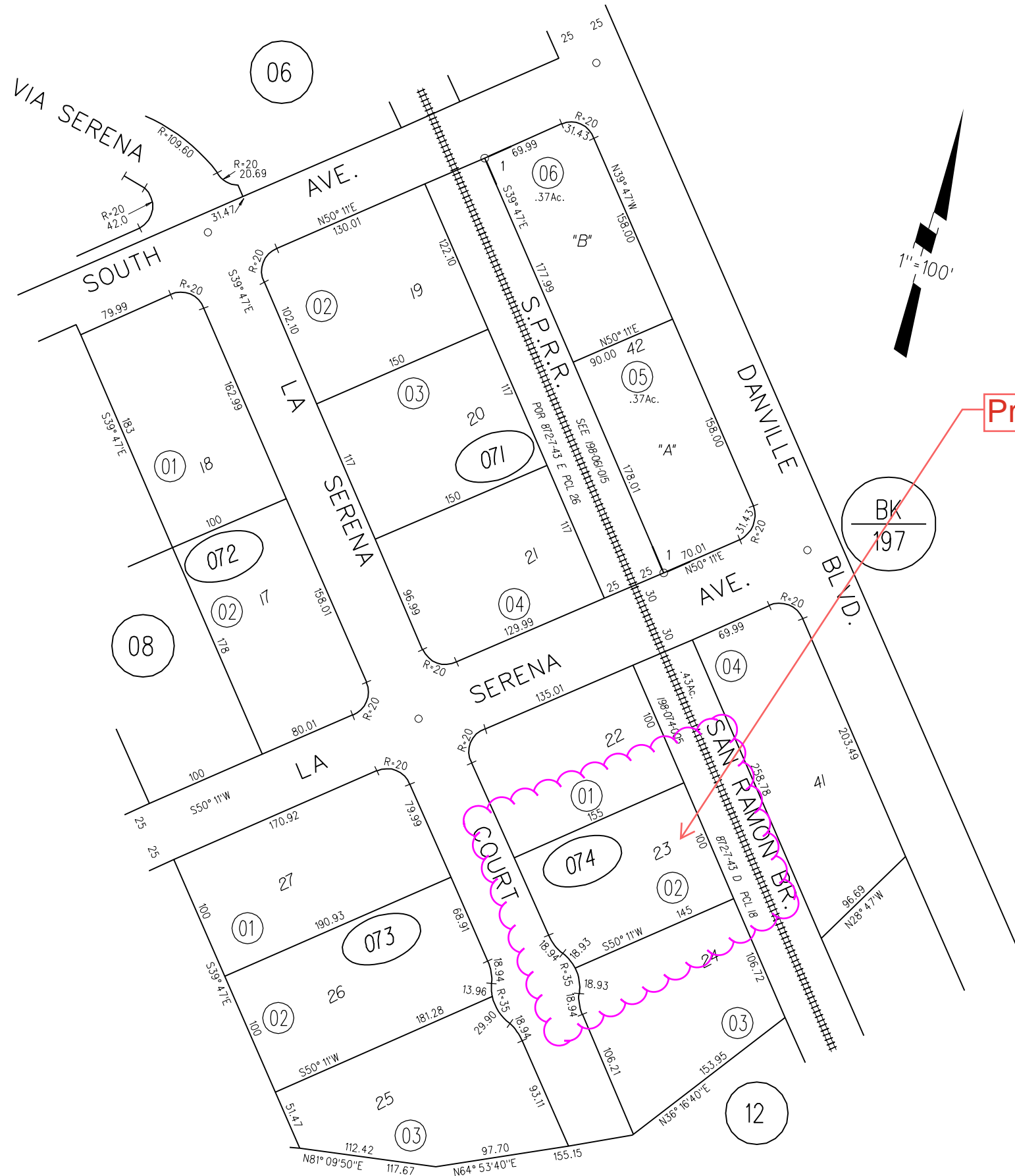
## Map Legend

- Assessment Parcels
- General Plan**
- RL (Residential Low Density) (1-3 du/na)
- RM (Residential Medium Density) (7-17 du/na)
- RMH (Residential Medium-High Density) (17-30 du/na)
- PR (Park and Recreation)
- Unincorporated
- Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION. CCMMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department. Spatial Reference PCS: WGS 1984 Web Mercator Auxiliary Sphere Datum: WGS 1984

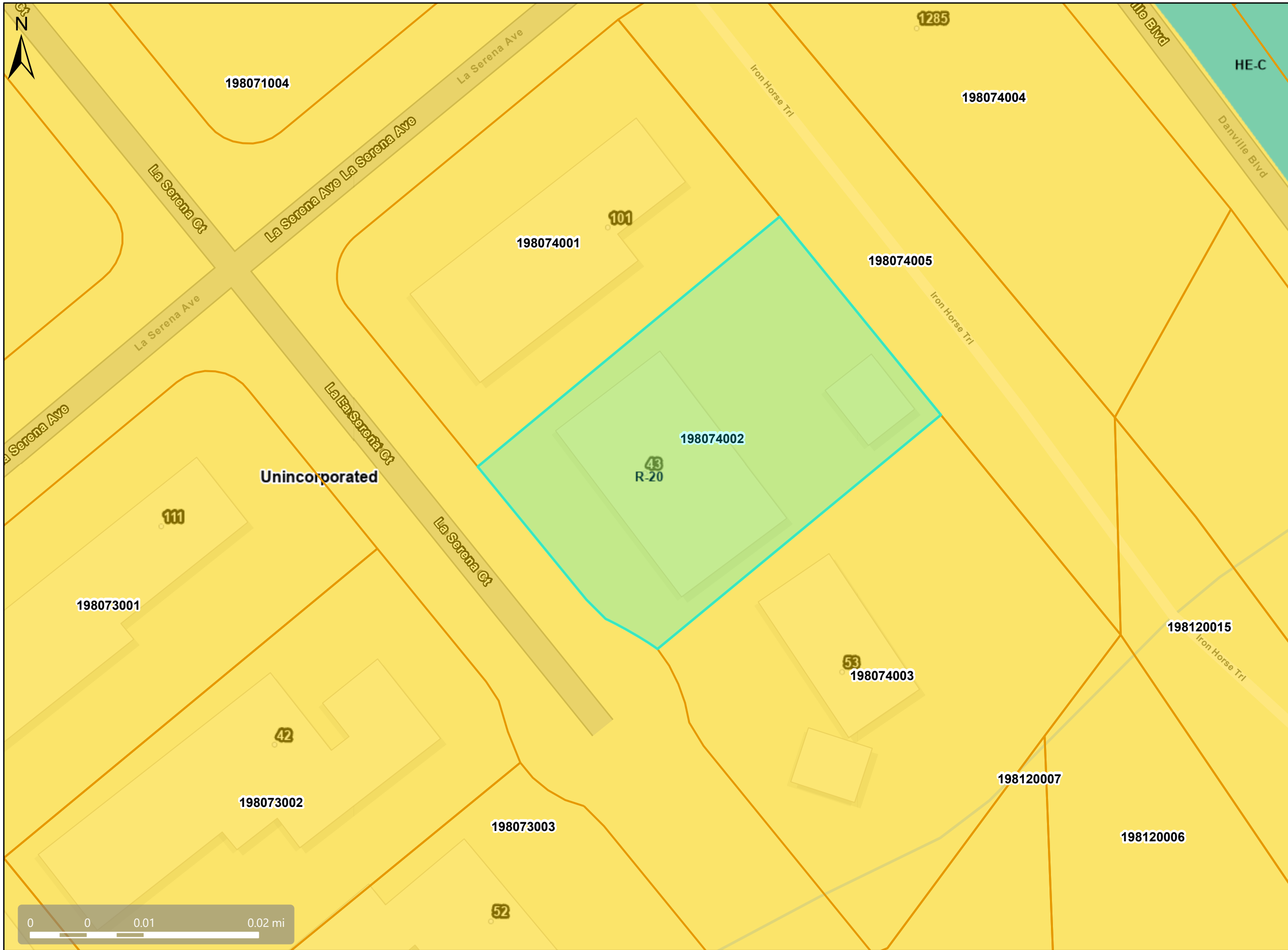
1-1974 32P.M.30 2-21-74



Project Site

- 071
- 072
- 073
- 074

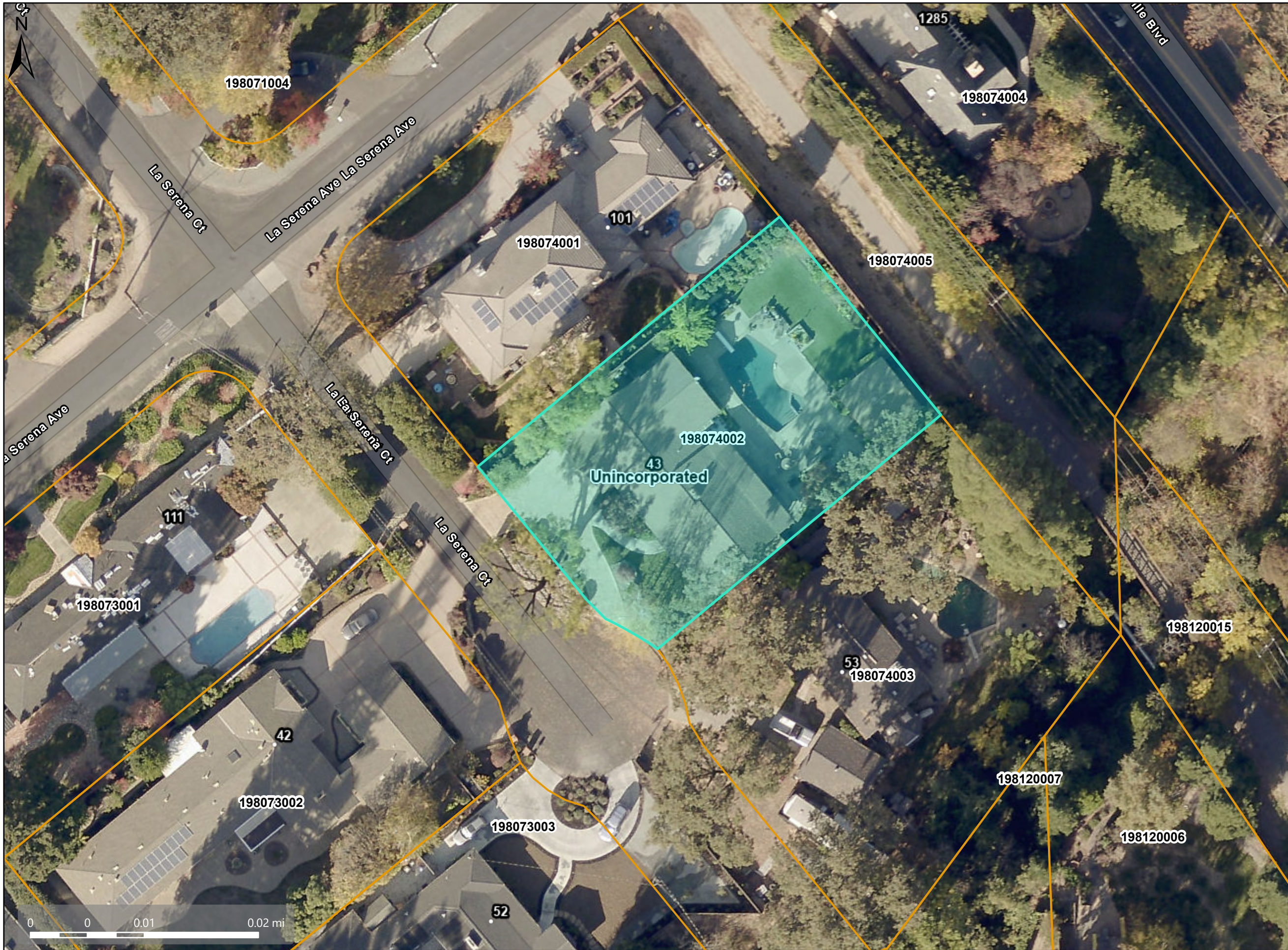
# Zoning: R-20



## Map Legend

- Assessment Parcels
- Zoning
- ZONE\_OVER
  - R-20 (Single Family Residential)
  - HE-C (Housing Element Consistency)
  - Unincorporated
- Address Points

# Aerial View



## Map Legend

- Assessment Parcels
- Unincorporated
- Address Points
- Aerials 2019
- RGB
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

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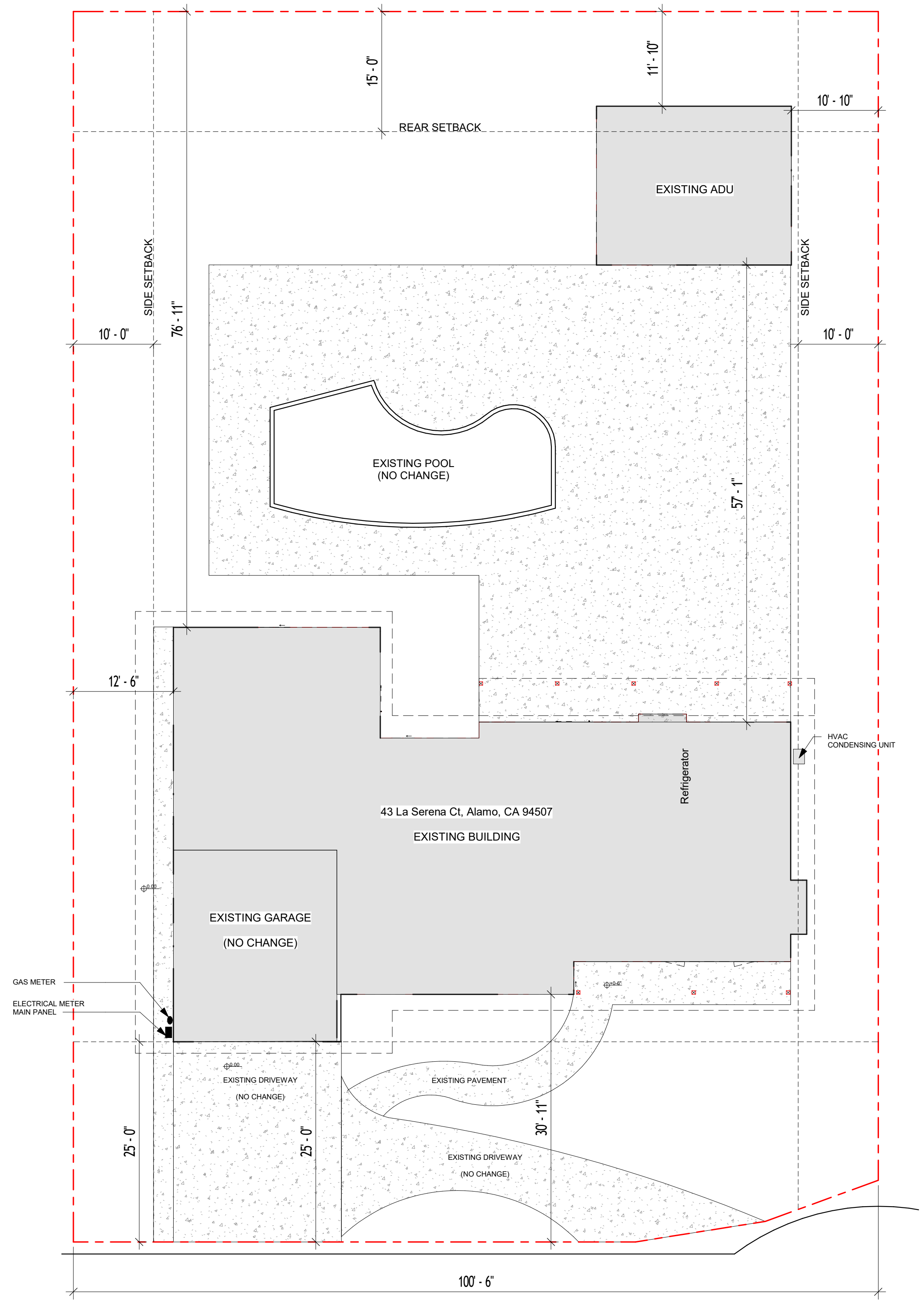
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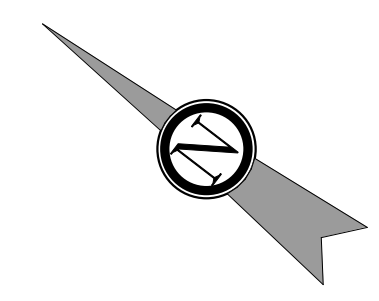
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### LEGEND

- PROPERTY LINE
- SITE SETBACK LINE
- STREET LINE
- BUILDING



THE SUBJECT PARCEL IS AN EXISTING NONCONFORMING LOT WITHIN THE R-20 ZONING DISTRICT, AS THE LOT AREA IS LESS THAN 20,000 SQ.FT. AND THE LOT WIDTH IS APPROXIMATELY 100 FEET.

LOT COVERAGE TABLE		
LOT	15,300 SQFT	
EXISTING BUILDING	2,449 SQFT	
EXISTING GARAGE	488 SQFT	
EXISTING ADU	482 SQFT	
TOTAL	3,419 SQFT	%22.3 FAR

STREET ADDRESS NUMBERS INSTALLATION LOCATION, TO BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. NUMBERS SHALL BE ILLUMINATED AND OF SUFFICIENT SIZE, CONTRAST, AND LEGIBILITY TO COMPLY WITH BMC 7-197.

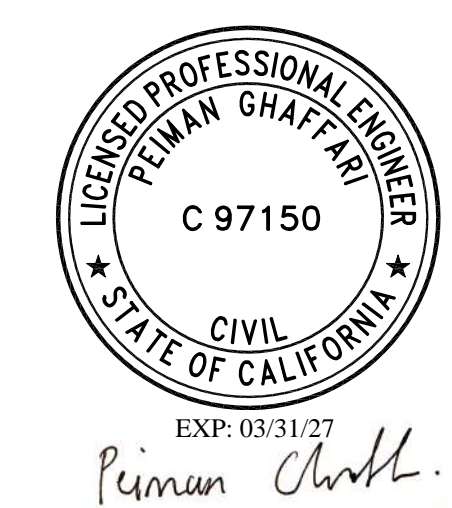
NOTE:  
DIMENSIONS AS SHOWN ARE INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES.  
FOR PRECISE FINAL FINISHED DIMENSIONS, REFER TO A VALID SURVEY.

### PROJECT NAME

**43 La Serena Ct, Alamo, CA 94507**



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr.,  
Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



### SHEET TITLE

# EXISTING SITE PLAN

### ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN LA

CHECKED PG

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A1.00

1 | EXISTING SITE PLAN  
1" = 10'-0"

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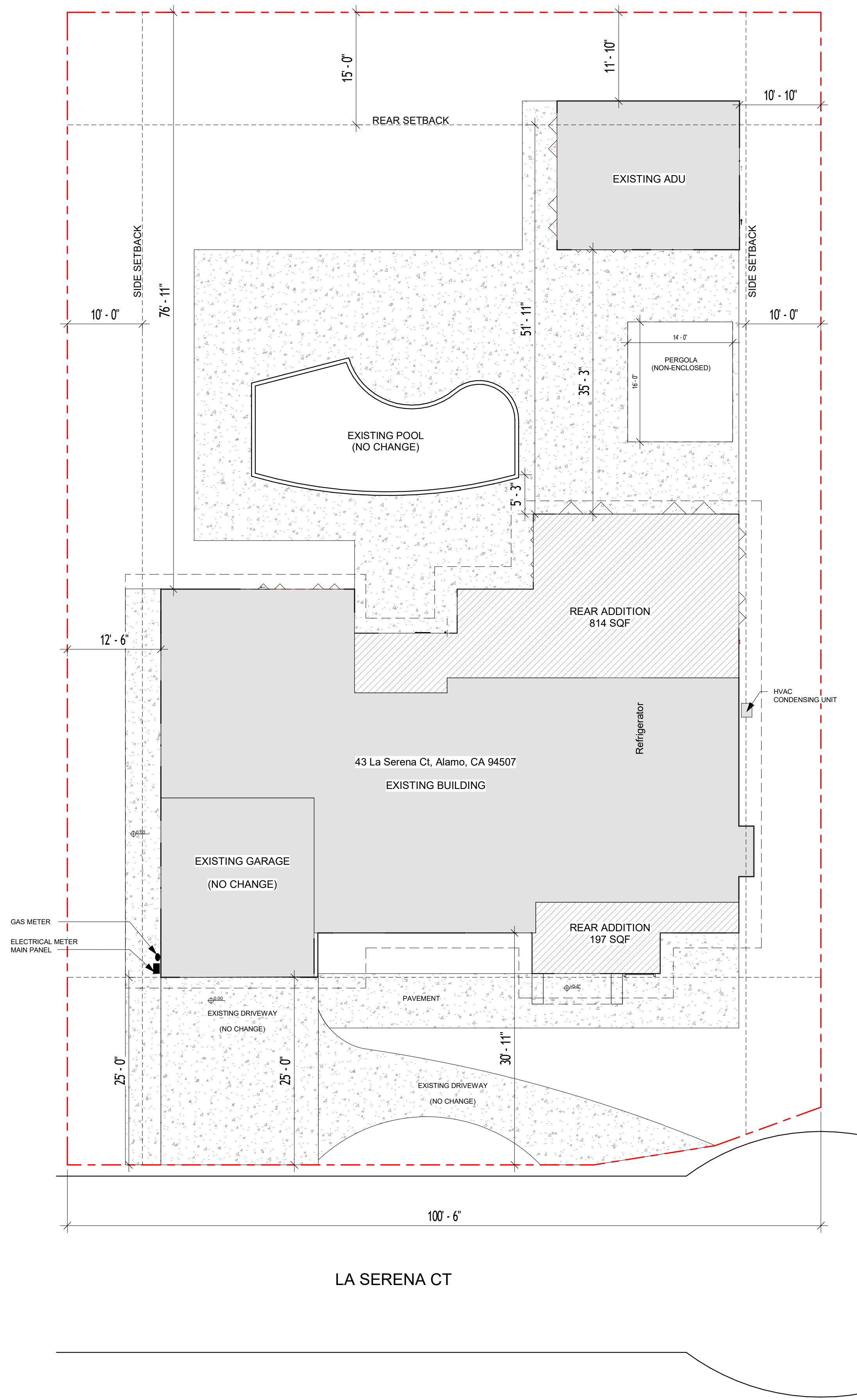
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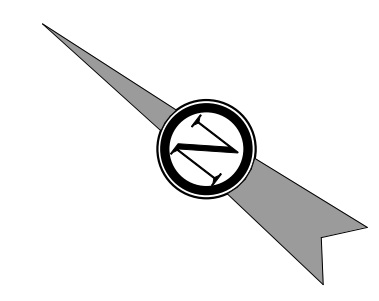
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### LEGEND

- PROPERTY LINE
- SITE SETBACK LINE
- STREET LINE
- BUILDING



THE SUBJECT PARCEL IS AN EXISTING NONCONFORMING LOT WITHIN THE R-20 ZONING DISTRICT, AS THE LOT AREA IS LESS THAN 20,000 SQ.FT. AND THE LOT WIDTH IS APPROXIMATELY 100 FEET.

LOT COVERAGE TABLE		
LOT	15,300 SQFT	
EXISTING BUILDING	2,449 SQFT	
FRONT ADDITION	197 SQFT	
REAR ADDITION	814 SQFT	
TOTAL PROPOSED BUILDING	3,460 SQFT	
EXISTING GARAGE(NO CHANGE)	488 SQFT	
EXISTING ADU(NO CHANGE)	482 SQFT	
TOTAL	4,430 SQFT	%28.9 FAR

STREET ADDRESS NUMBERS INSTALLATION LOCATION, TO BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. NUMBERS SHALL BE ILLUMINATED AND OF SUFFICIENT SIZE, CONTRAST, AND LEGIBILITY TO COMPLY WITH BMC 7-197.

NOTE:  
DIMENSIONS AS SHOWN ARE INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES.  
FOR PRECISE FINAL FINISHED DIMENSIONS, REFER TO A VALID SURVEY.

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### SHEET TITLE

**PROPOSED SITE PLAN**

### ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN LA

CHECKED PG

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. **A1.01**

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PROJECT NAME

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1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
Piman Ghaffari

SHEET TITLE

EXISTING & DEMOLITION FLOOR PLAN

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DRAWN LA

CHECKED PG

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A1.02

PHASE LEGEND

- EXISTING WALL
- DEMOLITION WALL
- NEW CONSTRUCTION WALL

SYMBOL LEGEND

- ROOM TAG
- DOOR TAG
- WINDOW TAG
- WALL TAG

DEMOLITION NOTES:

UTILITY COMPANIES SHALL BE NOTIFIED AND ALL UTILITY SERVICE SHUT OFF, CAPPED OR OTHERWISE CONTROLLED AT OR NEAR THE PROPERTY LINE BEFORE STARTING DEMOLITION. IT IS NECESSARY TO USE THE SERVICES OF EXPERIENCED WORKERS AND METHODS FOR THE INSTALLATION OF TEMPORARY UTILITIES FOR USE DURING DEMOLITION AND NEW CONSTRUCTION (SEE GENERAL NOTES).

WHEREVER BEARING OR SAFE-CARRYING CAPACITY OF A WALL OR OTHER STRUCTURAL OR TRANSIENT MATERIAL IS IMPAIRED BY THE REMOVAL OF PART OF THE STRUCTURE, SHORE THE MATERIAL UNTIL THE DEFECT HAS BEEN REMEDIED BY NEW CONSTRUCTION OR THE IMPAIRMENT IS OTHERWISE SAFELY CONTROLLED. ANY AND ALL SHORING SHALL BE REMOVED AND THE AREA MADE SAFE BEFORE THE REMOVAL IS STARTED.

ALL STRUCTURES AND EQUIPMENT TO BE DEMOLISHED OR SALVAGED SHALL BE DEMOLISHED, REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS AND IN SUCH A MANNER AS NOT TO BE HAZARDOUS TO THE GENERAL PUBLIC OR PERSONNEL ENGAGED IN THE WORK.

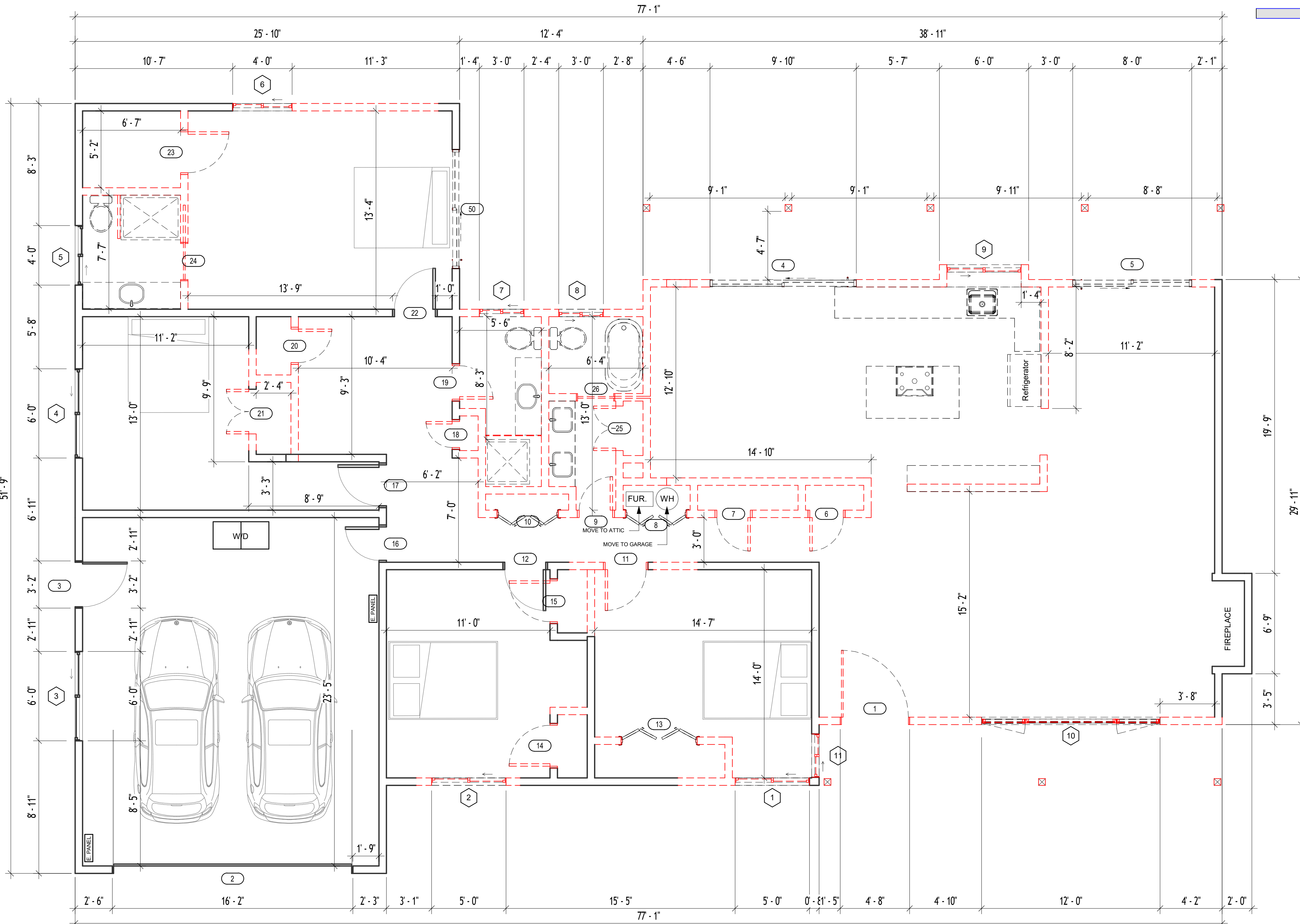
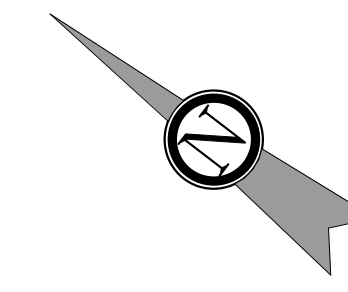
DURING THE SURVEY REQUIRED BY SECTION 1124(b), ALL STRUCTURAL OR OTHER HAZARDOUS DEFICIENCIES NOT PREVIOUSLY KNOWN TO EXIST SHALL BE SHORED, BRACED OR OTHERWISE CORRECTED AS RECOMMENDED IN THE SURVEY.

ALL WALLS, WHETHER RETAINING WALLS TO SUPPORT EARTH OR ABUTTING STRUCTURES, SHALL NOT BE PULLED DOWN UNTIL THEY ARE TEMPORARILY BRACED OR OTHERWISE MADE SAFE.

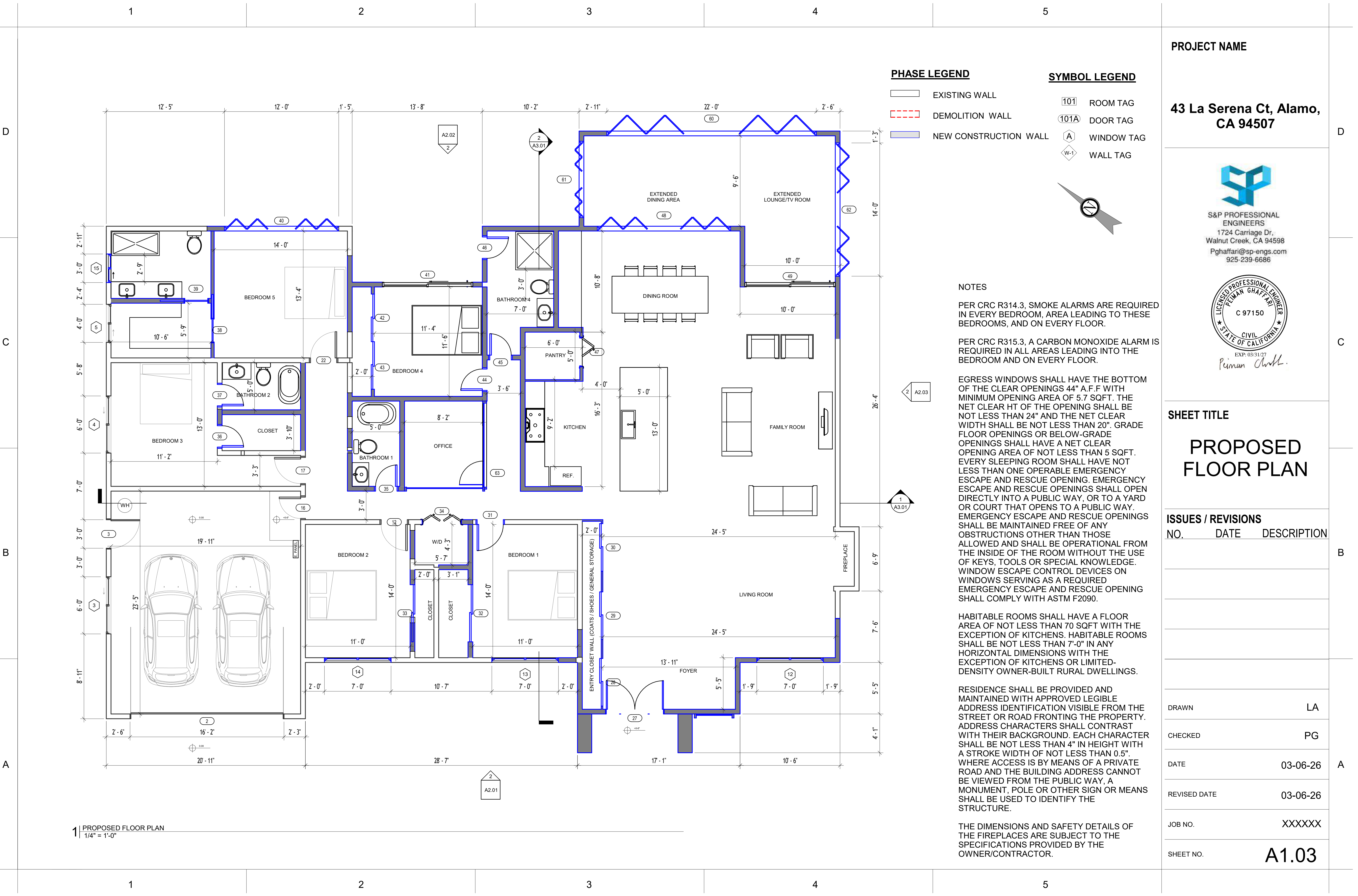
ALL PIERS, WALLS OR OTHER STRUCTURES HAVING FOUNDATIONS BELOW THE PLANE OF THE FLOOR SHALL NOT BE PULLED DOWN OR OTHERWISE REMOVED UNTIL SAFE CONDITIONS FOR REMOVAL HAVE BEEN PROVIDED.

DURING THE REMOVAL OF THE STRUCTURE, CHECK MATERIALS AND INSTALL INSTRUMENTS TO DETECT ANY UNDESIRE SETTLEMENT OF THE GROUND, RETAINING WALLS, OR ADJACENT STRUCTURES.

BUILDINGS RESTING ON TEMPORARY PIERS OR SHORING SHALL BE CONTINUOUSLY INSPECTED BY COMPETENT EMPLOYEES, SHALL NOT BE PERMITTED



1 EXISTING & DEMOLITION FLOOR PLAN  
1/4" = 1'-0"

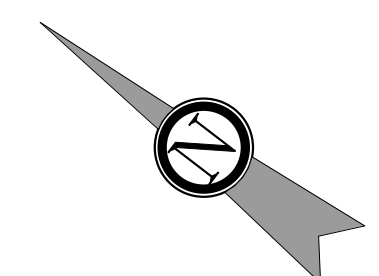


**PHASE LEGEND**

- EXISTING WALL
- DEMOLITION WALL
- NEW CONSTRUCTION WALL

**SYMBOL LEGEND**

- 101 ROOM TAG
- 101A DOOR TAG
- A WINDOW TAG
- W-1 WALL TAG



**NOTES**

PER CRC R314.3, SMOKE ALARMS ARE REQUIRED IN EVERY BEDROOM, AREA LEADING TO THESE BEDROOMS, AND ON EVERY FLOOR.

PER CRC R315.3, A CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR.

EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENINGS 44" A.F.F WITH MINIMUM OPENING AREA OF 5.7 SQFT. THE NET CLEAR HT OF THE OPENING SHALL BE NOT LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20". GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQFT. EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW ESCAPE CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.

HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SQFT WITH THE EXCEPTION OF KITCHENS. HABITABLE ROOMS SHALL BE NOT LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSIONS WITH THE EXCEPTION OF KITCHENS OR LIMITED-DENSITY OWNER-BUILT RURAL DWELLINGS.

RESIDENCE SHALL BE PROVIDED AND MAINTAINED WITH APPROVED LEGIBLE ADDRESS IDENTIFICATION VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. EACH CHARACTER SHALL BE NOT LESS THAN 4" IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

THE DIMENSIONS AND SAFETY DETAILS OF THE FIREPLACES ARE SUBJECT TO THE SPECIFICATIONS PROVIDED BY THE OWNER/CONTRACTOR.

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Pghaffari@sp-engs.com  
925-239-6686



**SHEET TITLE**

**PROPOSED FLOOR PLAN**

**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION

DRAWN	LA
CHECKED	PG
DATE	03-06-26
REVISED DATE	03-06-26
JOB NO.	XXXXXX
SHEET NO.	<b>A1.03</b>

**1** PROPOSED FLOOR PLAN  
1/4" = 1'-0"

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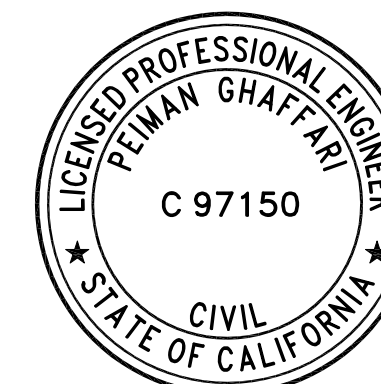
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PROJECT NAME

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EXP: 03/31/27  
*Pirman Ghaffari*

SHEET TITLE

EXISTING ROOF PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN Author

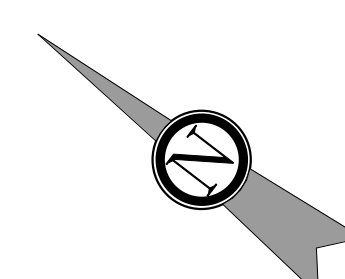
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DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A1.04



A2.02  
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1 | EXISTING ROOF PLAN  
1/4" = 1'-0"

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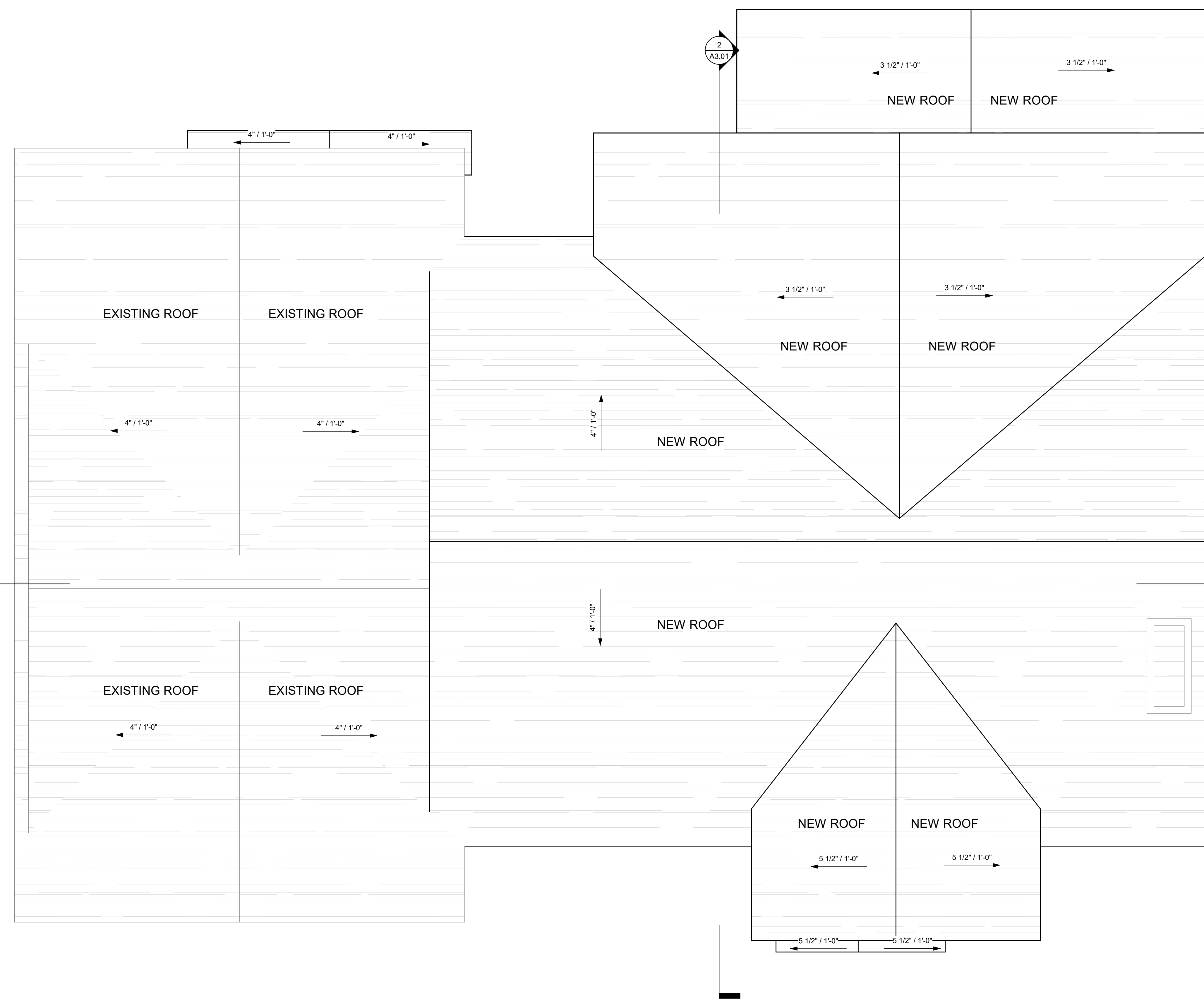
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DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A1.05



1 | PROPOSED ROOF PLAN  
1/4" = 1'-0"

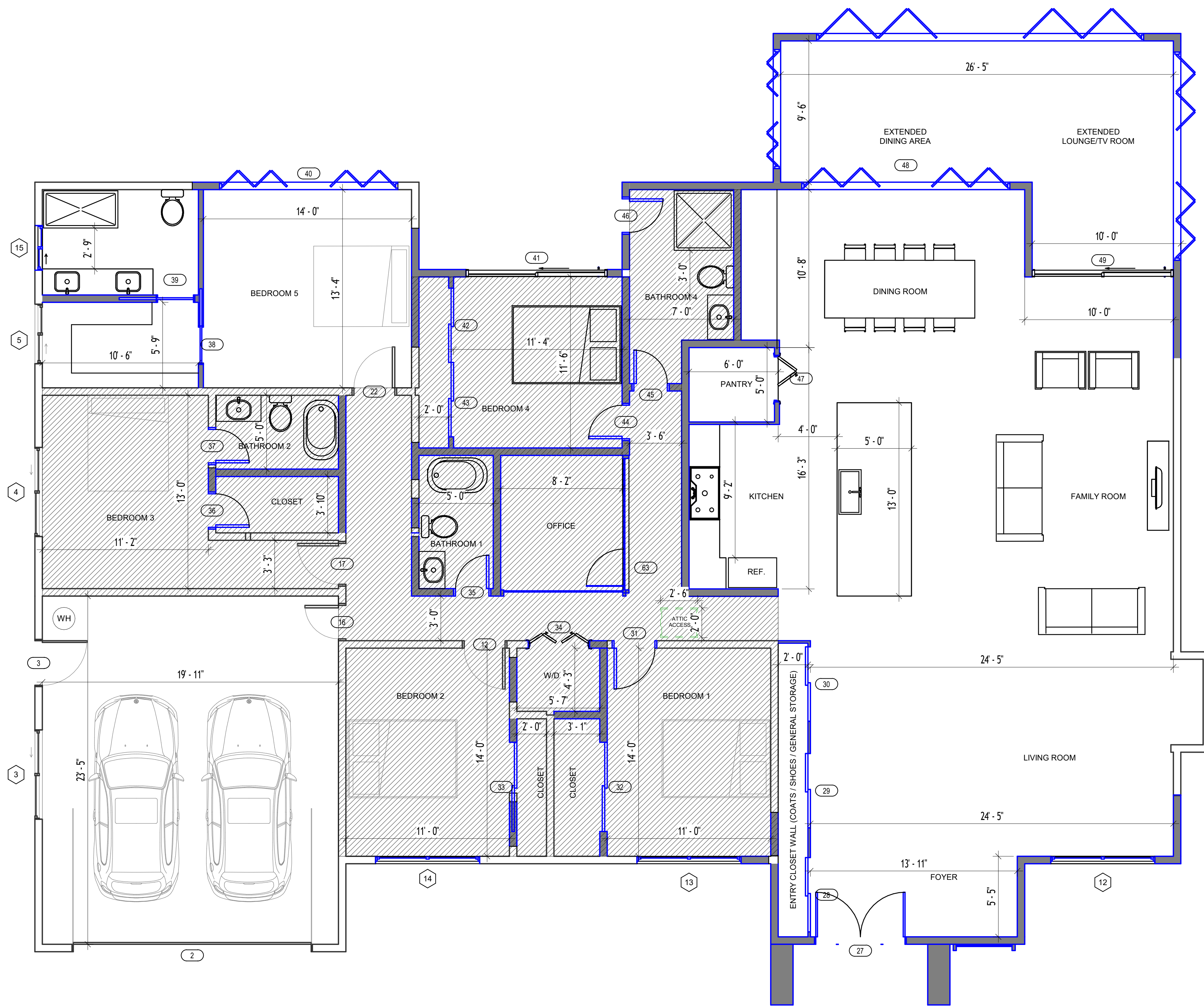
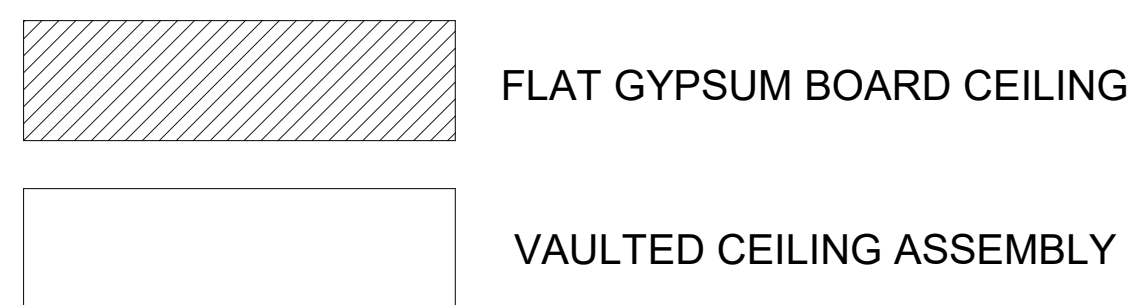
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1 | PROPOSED CEILING PLAN  
1/4" = 1'-0"

ATTIC VENTILATION CALCULATIONS (CRC R806):  
ATTIC AREA = 1,316 SF

REQUIRED NET FREE VENT AREA (NFVA) =  $A/300$   
(PROVIDED LOW INTAKE AND HIGH EXHAUST)  
 $= 1,316 / 300 = 4.39$  SF NFVA  
 $= 4.39 \times 144 = \approx 632$  SQ.IN. NFVA (TOTAL REQUIRED)

PROVIDE APPROX. 50% INTAKE / 50% EXHAUST:  
REQUIRED INTAKE (SOFFIT VENTS) =  $\approx 316$  SQ.IN. NFVA  
REQUIRED EXHAUST (HIGH LOUVER VENT) =  $\approx 316$  SQ.IN. NFVA

PROVIDED EXHAUST:  
(1) LOUVER VENT 24" x 36" (VERIFY MANUFACTURER NFVA)  
GROSS AREA =  $24 \times 36 = 864$  SQ.IN.  
EST. NFVA (50% FREE AREA) =  $864 \times 0.50 = \approx 432$  SQ.IN. NFVA (MEETS EXHAUST REQUIREMENT)

PROVIDED INTAKE:  
SOFFIT VENTS TO PROVIDE  $\geq 316$  SQ.IN. NFVA TOTAL (VERIFY MANUFACTURER NFVA).

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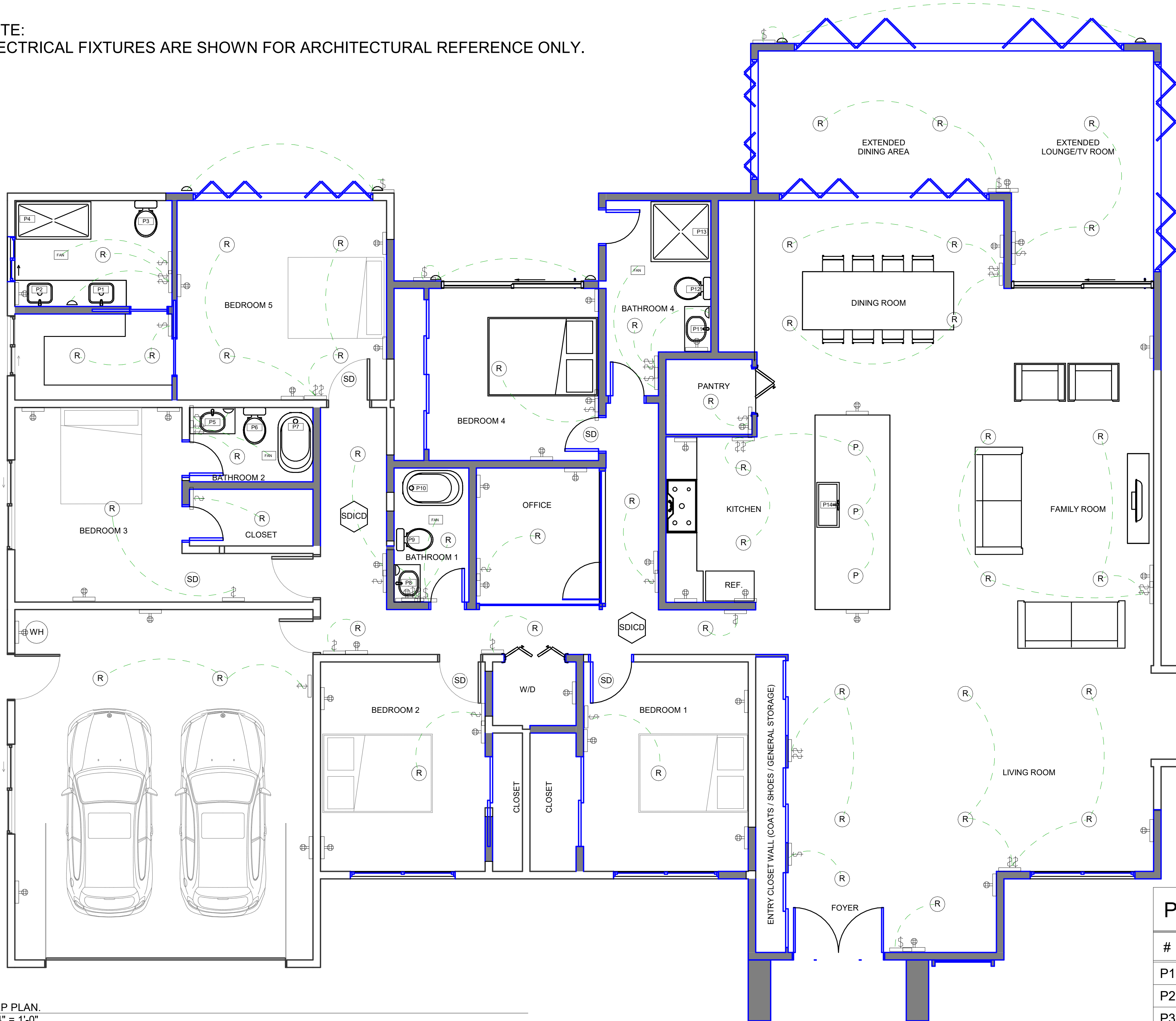
PROPOSED CEILING PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	Author
CHECKED	Checker
DATE	03-06-26
REVISED DATE	03-06-26
JOB NO.	XXXXXX
SHEET NO.	A1.06

NOTE:  
ELECTRICAL FIXTURES ARE SHOWN FOR ARCHITECTURAL REFERENCE ONLY.



**SYMBOL LEGEND**

- Carbon Monoxide & Smoke Detector (E)
- Hard-Wired Interconnected Smoke Detector
- Recessed Can Light
- Recessed Can Light+ Fan
- Wall Mounted Light
- Light Switch
- Double Light Switch
- Double Duplex Outlet\*

PER CEC 150.0(K)1.C RECESSED DOWN LIGHTING MUST MEET THE BELOW REQUIREMENTS :

- LUMINAIRES SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF CEC TABLE 150.0A
- BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT
- AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS
- BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING
- SHALL NOT CONTAIN SCREW-BASED SOCKETS

**RESIDENTIAL KITCHEN ELECTRICAL CODE REQUIREMENTS:**

- ALL RECEPTACLES ALONG THE COUNTERTOP AND WITHIN 6" OF A SINK INCLUDING REFRIGERATOR, BELOW COUNTER, AND BEHIND APPLIANCES SHALL BE GFCI PROTECTED. ALL 15 & 20 AMP OUTLETS SHALL BE AFCI PROTECTED. ALL 15 & 20 AMP RECEPTACLES SHALL BE TR.
- COUNTERTOP RECEPTACLES SHALL BE LOCATED SO THAT NO POINT IS MORE THAN 24" FROM A RECEPTACLE OUTLET. COUNTERTOP AREAS WITH A MINIMUM DIMENSION OF 12" IN WIDTH SHALL BE PROVIDED WITH A RECEPTACLE. RECEPTACLES SHALL BE LOCATED NO MORE THAN 20" ABOVE THE COUNTERTOP MEASURED HORIZONTALLY ALONG THE WALL.
- ISLAND AND PENINSULAR COUNTERTOP OUTLETS: ONE (1) MINIMUM FOR EACH 9 SF OR FRACTION OF COUNTERTOP SPACE. ONE (1) ADDITIONAL FOR EACH 8 SF. ONE (1) MINIMUM WITHIN 2 FT OF THE OUTER END.
- COUNTERTOP RECEPTACLES SHALL BE SUPPLIED BY A MINIMUM OF TWO (2) 20-AMP BRANCH CIRCUITS.
- GARBAGE DISPOSAL, DISHWASHER, EXHAUST HOOD, AND BUILT-IN MICROWAVE MAY REQUIRE DEDICATED CIRCUITS BASED ON THE MANUFACTURER'S REQUIREMENTS AND MOTOR RATING.
- ELECTRIC RANGES SHALL BE EQUIPPED WITH A 4-WIRE 40- OR 50-AMP BRANCH CIRCUIT.

**PLUMBING ACCESSORY SCHEDULE**

#	TYPE	LOCATION	FLOW RATES	PHASE
P1	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P2	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P3	TOILET	BATHROOM	1.28 GPF MAX	NEW
P4	SHOWER & FAUCET	BATHROOM	1.8 GPM MAX	NEW
P5	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P6	TOILET	BATHROOM	1.28 GPF MAX	NEW
P7	SHOWER & FAUCET	BATHROOM	1.8 GPM MAX	NEW
P8	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P9	TOILET	BATHROOM	1.28 GPF MAX	NEW
P10	SHOWER & FAUCET	BATHROOM	1.8 GPM MAX	NEW
P11	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P12	TOILET	BATHROOM	1.28 GPF MAX	NEW
P13	SHOWER & FAUCET	BATHROOM	1.8 GPM MAX	NEW
P14	SINK & FAUCET	KITCHEN	1.8 GPM MAX	NEW

SHOWERS & TUBS MUST HAVE AN ANTI-SCALD MIXING VALVE

1 | MEP PLAN.  
1/4" = 1'-0"

**NOTES:**

ALL LIGHTING SHALL BE HIGH EFFICACY.  
ALL LIGHTING IN BATHROOMS SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR A VACANCY SENSOR SWITCH THAT REQUIRES MANUAL ACTIVATION.  
ALL LIGHTING IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR SWITCH THAT REQUIRES MANUAL ACTIVATION.  
ALL RECESSED LIGHTING FIXTURES IN CEILINGS SHALL BE IC RATED, AIRTIGHT, AND SEALED WITH A GASKET.  
SWITCHES THAT ARE TO BE RECESSED INTO THE INSULATED CEILINGS SHALL BE IC RATED.  
ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

ALL 120-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, AND GARAGES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.  
ALL 120-VOLT, SINGLE-PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN KITCHENS, BATHROOMS, AND LAUNDRY ROOMS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.  
ALL OUTLETS SERVING KITCHEN COUNTERTOPS SHALL BE TAMPER-RESISTANT.  
ALL OUTLETS INSTALLED IN THE BATHROOMS SHALL BE GFCI PROTECTED.  
AT LEAST ONE OUTLET SHALL BE PROVIDED IN BATHROOMS, LOCATED WITHIN 36 INCHES OF THE OUTSIDE EDGE OF EACH BASIN.  
ALL OUTLETS INSTALLED OUTDOORS SHALL BE GFCI PROTECTED.  
OUTLETS INSTALLED IN KITCHEN, LAUNDRY & BATH SHALL BE 20 AMP / 120V INCL. GFCI  
OUTLETS IN BATHROOMS & KITCHEN COUNTERS, GFI OUTLETS OUTSIDE THE HOUSE, GFI PROTECTION IN ALL CRAWL SPACES AT OR BELOW GRADE LEVEL.  
KITCHEN OUTLETS ABOVE COUNTER IN THE BACKSPASH AREA TO BE NO MORE THAN 48" APART.  
GFCI OUTLETS ON ALL EXTERIOR OUTLETS, EXCEPT FOR THE RECEPTACLE IN USE.  
A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH SEPARATE BASE IN KITCHENS, AND IN THE COUNTERSPACE.

**PROJECT NAME**

**43 La Serena Ct, Alamo, CA 94507**



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr.,  
Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
*Piman Ghaffari*

**SHEET TITLE**

**MEP PLAN**

**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION

DRAWN Author

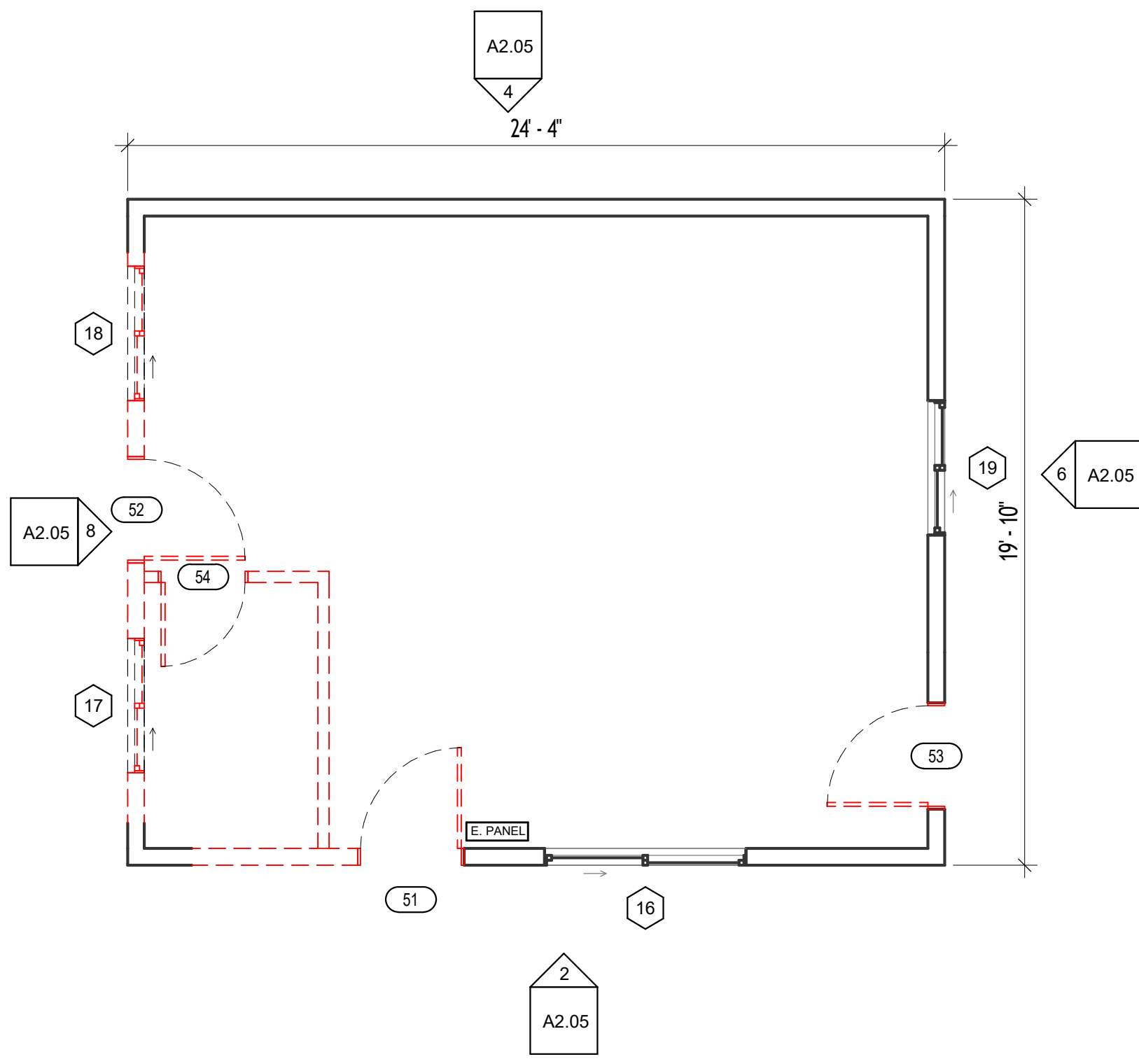
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DATE 03-06-26

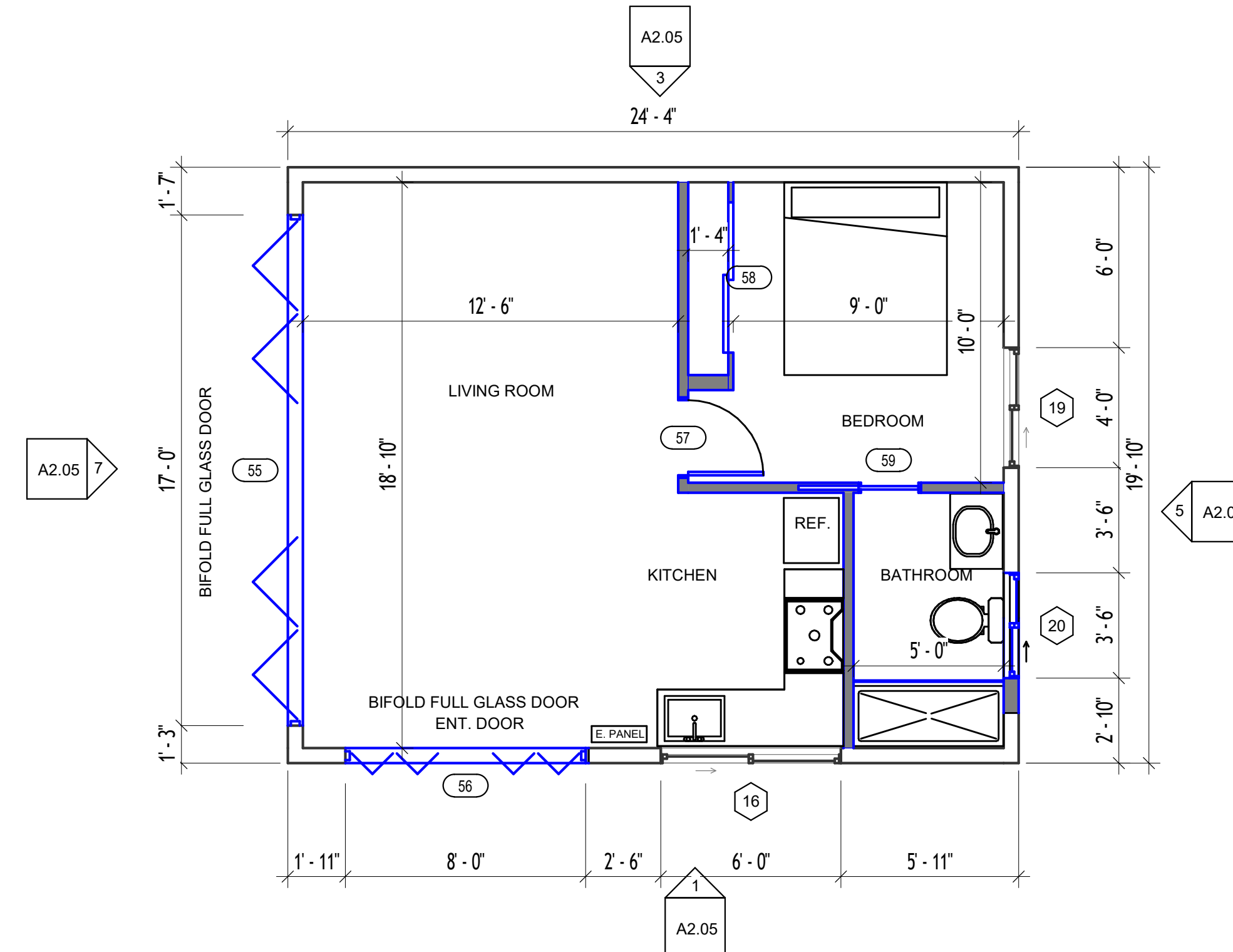
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JOB NO. XXXXXX

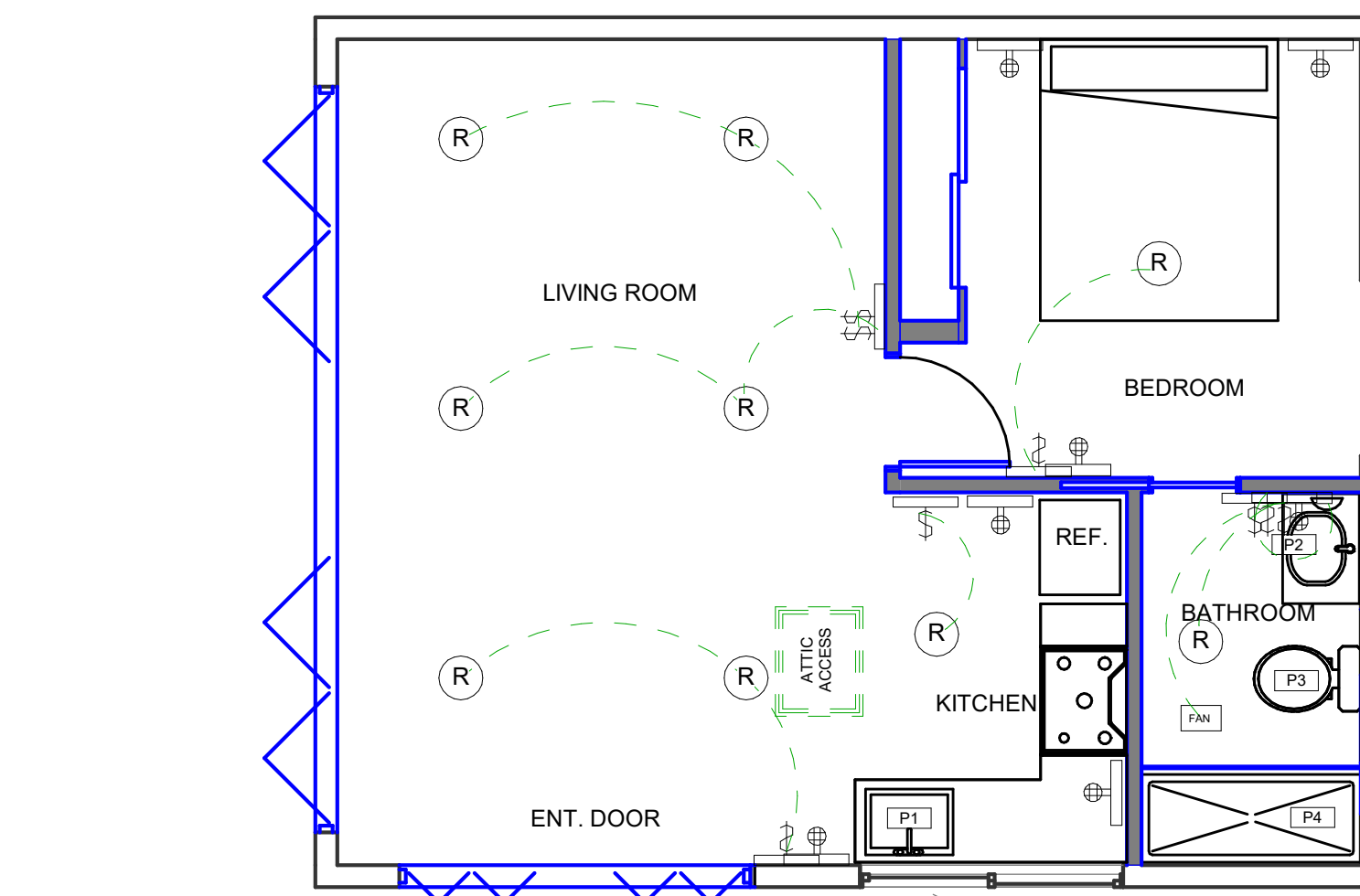
SHEET NO. **A1.07**



1 | EXISTING & DEMOLITION PLAN ADU  
1/4" = 1'-0"



2 | PROPOSED PLAN ADU  
1/4" = 1'-0"



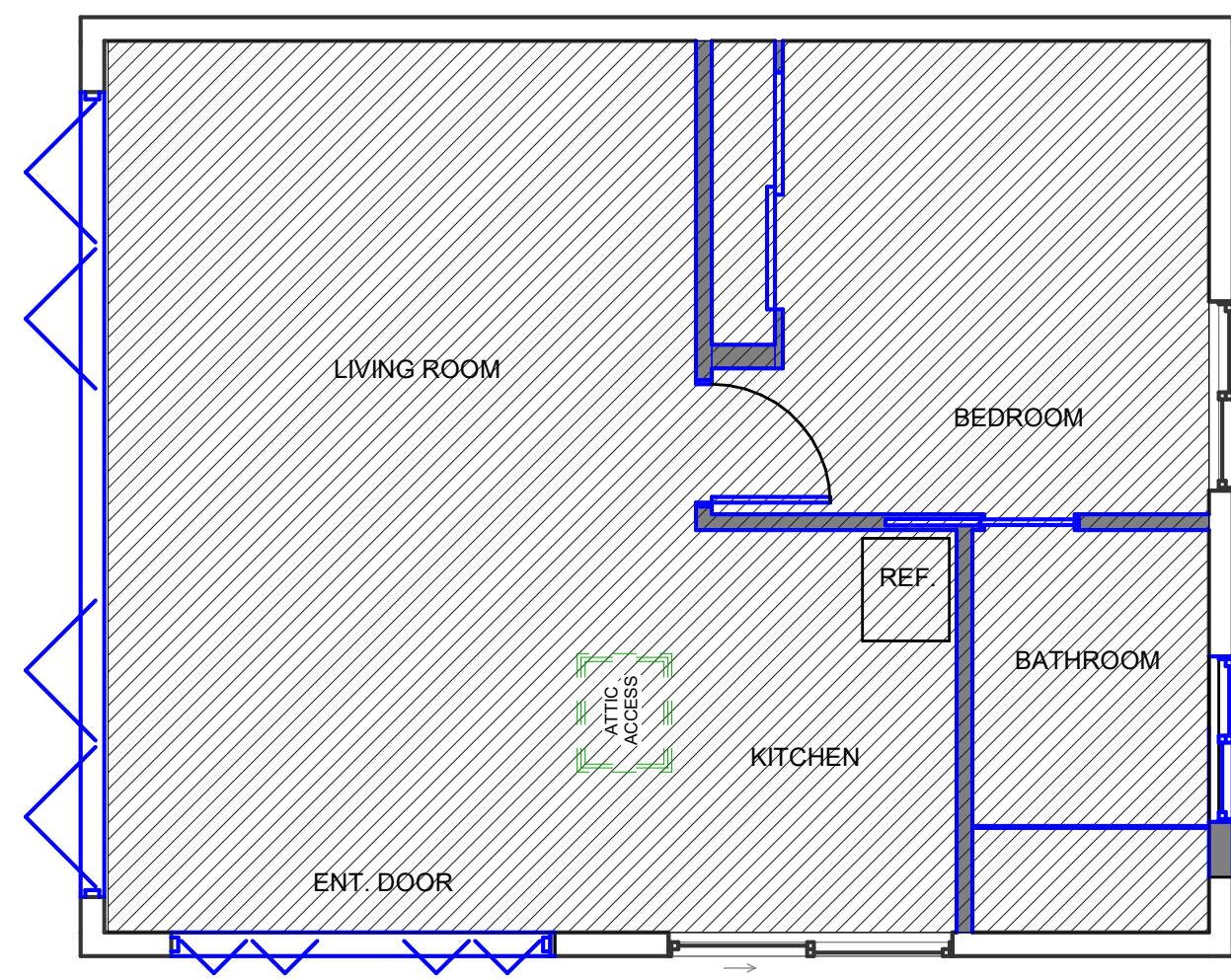
5 | MEP PLAN ADU  
1/4" = 1'-0"

PLUMBING ACCESSORY SCHEDULE				
#	TYPE	LOCATION	FLOW RATES	PHASE
P1	SINK & FAUCET	KITCHEN	1.8 GPM MAX	NEW
P2	SINK & FAUCET	BATHROOM	1.2 GPM MAX	NEW
P3	TOILET	BATHROOM	1.28 GPF MAX	NEW
P4	SHOWER & FAUCET	BATHROOM	1.8 GPM MAX	NEW

SHOWERS & TUBS MUST HAVE AN ANTI-SCALD MIXING VALVE  
FOR MEP NOTES SEE SHEET A1.07



3 | ROOF PLAN ADU  
1/4" = 1'-0"



4 | CEILING PLAN ADU  
1/4" = 1'-0"

FLAT GYPSUM BOARD CEILING

ATTIC VENTILATION CALCULATION:

ATTIC AREA = 437 SF.  
REQUIRED NET FREE VENTILATION AREA PER CRC R806.2:  
 $437/150 = 2.91 \text{ SF} = 419.5 \text{ IN}^2 \text{ MINIMUM.}$

PROVIDED: (2) LOUVERS, EACH 1'-6" x 2'-0" = 432 IN<sup>2</sup> GROSS OPENING  
TOTAL GROSS OPENING = 864 IN<sup>2</sup>.  
50% NET FREE AREA:  
NFVA PER LOUVER = 216 IN<sup>2</sup>  
TOTAL NFVA PROVIDED = 432 IN<sup>2</sup>.

LOUVERS LOCATED ON OPPOSITE SIDES FOR INTAKE AND EXHAUST.  
PROVIDED NFVA (432 IN<sup>2</sup>) ≥ REQUIRED NFVA (419.5 IN<sup>2</sup>). COMPLIES.

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CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr.,  
Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



SHEET TITLE

ADU PLANS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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CHECKED PG

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A1.08



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PROJECT NAME

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S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
*Pejman Ghaffari*

SHEET TITLE

ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN LA

CHECKED PG

DATE 03-06-26

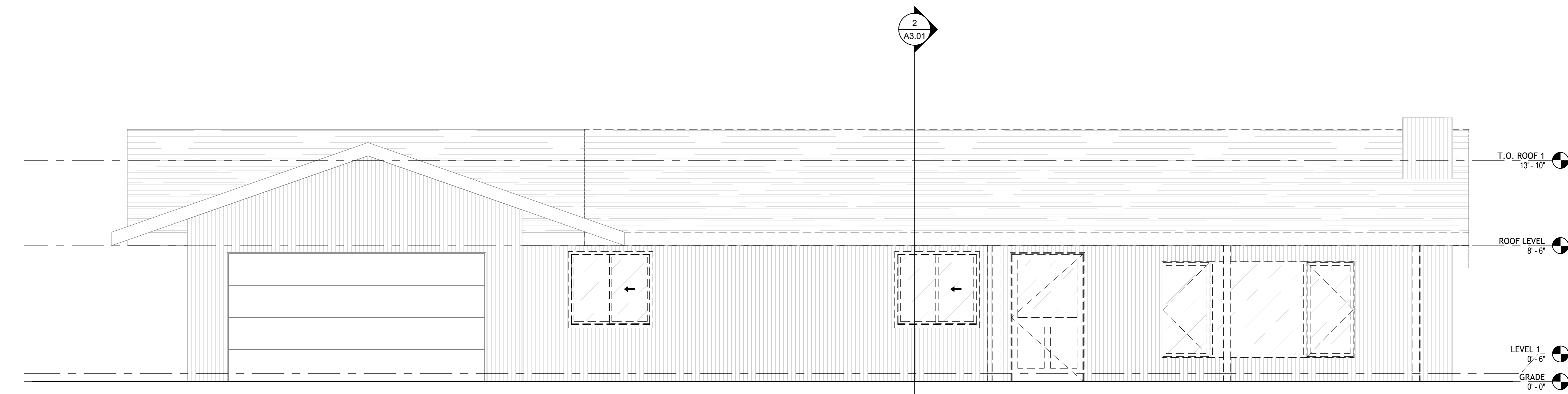
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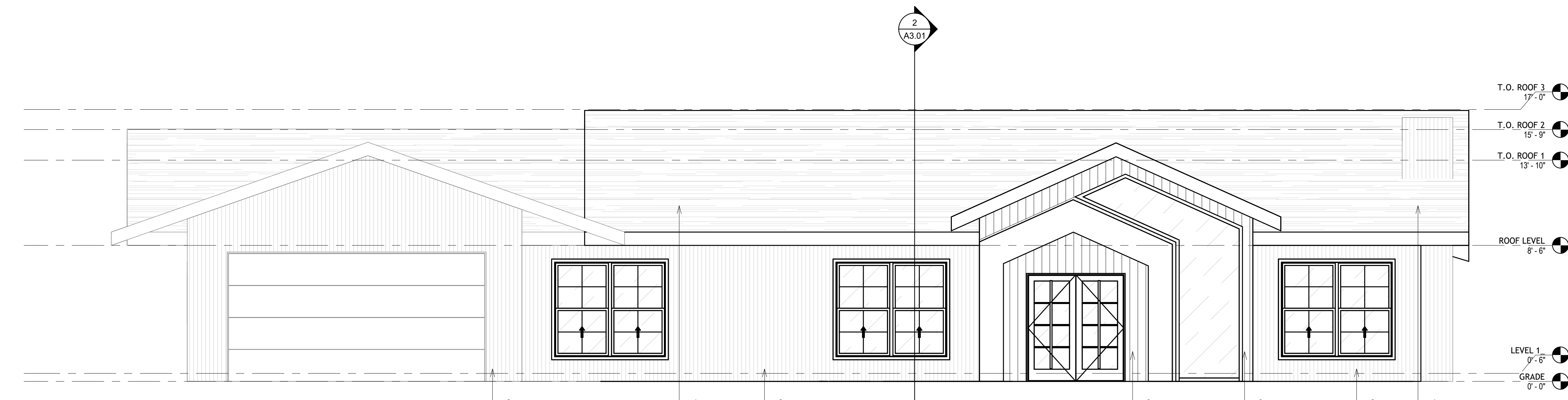
SHEET NO. A2.01

KEYNOTE LEGEND

- 1. COMPOSITION SHINGLE ROOF
- 2. SIDING (MATCHED EXISTING)
- 3. VERTICAL WOOD-LOOK SIDING
- 4. SCHEDULED DOOR
- 5. SCHEDULED WINDOW



1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

NOTE:  
NEW ROOF TO MATCH EXISTING IN MATERIAL, COLOR, TEXTURE, AND PROFILE. FLASHING, UNDERLAYMENT, AND WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CURRENT CBC/CPC REQUIREMENTS. ENSURE ALL TRANSITIONS BETWEEN NEW AND EXISTING ROOF SURFACES ARE SEALED AND INTEGRATED TO PROVIDE A CONTINUOUS WEATHER-TIGHT ASSEMBLY.

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PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



SHEET TITLE

ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN Author

CHECKED Checker

DATE 03-06-26

REVISED DATE 03-06-26

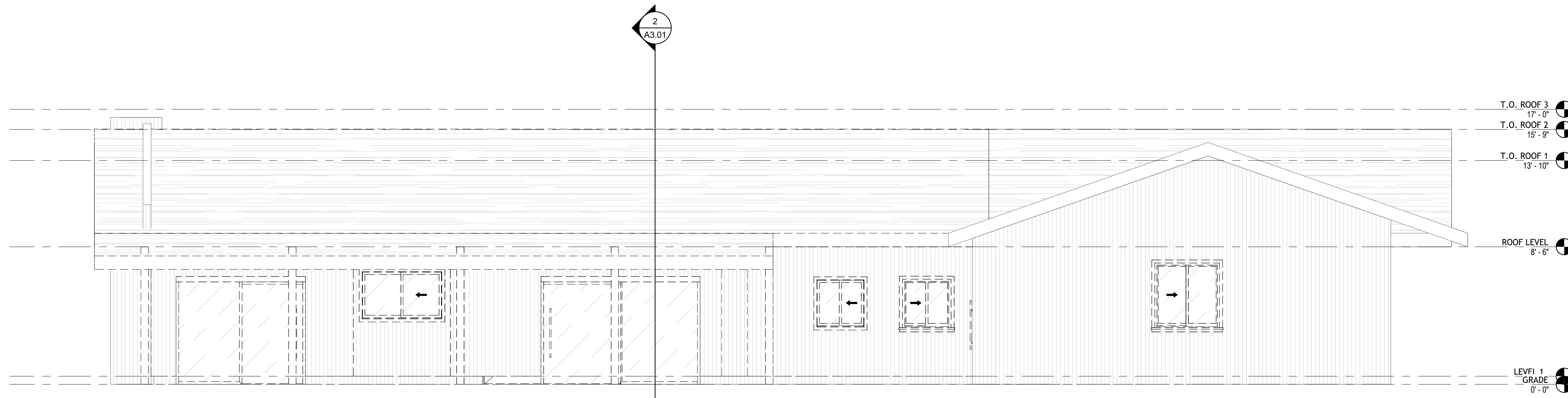
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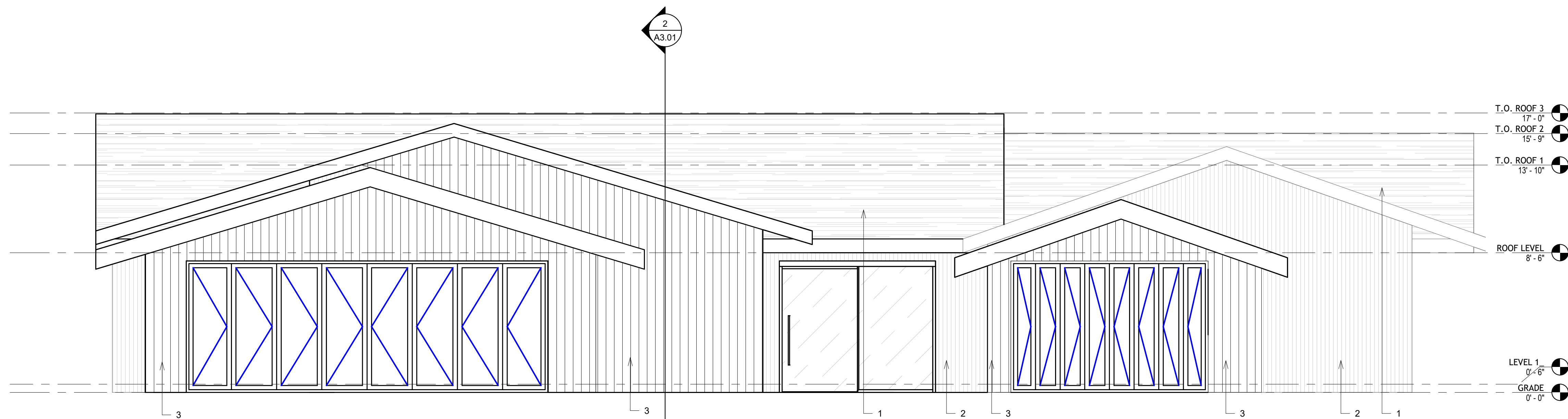
KEYNOTE LEGEND

- 1. COMPOSITION SHINGLE ROOF SIDING (MATCHED EXISTING)
- 2. VERTICAL WOOD-LOOK SIDING
- 3. SCHEDULED DOOR
- 4. SCHEDULED WINDOW
- 5. SCHEDULED WINDOW

NOTE:  
NEW ROOF TO MATCH EXISTING IN MATERIAL, COLOR, TEXTURE, AND PROFILE. FLASHING, UNDERLAYMENT, AND WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CURRENT CBC/CPC REQUIREMENTS.  
ENSURE ALL TRANSITIONS BETWEEN NEW AND EXISTING ROOF SURFACES ARE SEALED AND INTEGRATED TO PROVIDE A CONTINUOUS WEATHER-TIGHT ASSEMBLY.



1 EXISTING REAR ELEVATION  
1/4" = 1'-0"



2 PROPOSED REAR ELEVATION  
1/4" = 1'-0"

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PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
*Pirman Ghaffari*

SHEET TITLE

ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A2.03

KEYNOTE LEGEND

1. COMPOSITION SHINGLE ROOF
2. SIDING (MATCHED EXISTING)
3. VERTICAL WOOD-LOOK SIDING
4. SCHEDULED DOOR
5. SCHEDULED WINDOW

NOTE:  
NEW ROOF TO MATCH EXISTING IN MATERIAL, COLOR, TEXTURE, AND PROFILE. FLASHING, UNDERLAYMENT, AND WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CURRENT CBC/CPC REQUIREMENTS. ENSURE ALL TRANSITIONS BETWEEN NEW AND EXISTING ROOF SURFACES ARE SEALED AND INTEGRATED TO PROVIDE A CONTINUOUS WEATHER-TIGHT ASSEMBLY.

T.O. ROOF 3  
17'-0"

T.O. ROOF 1  
13'-10"

ROOF LEVEL  
8'-6"

LEVEL 1  
0'-6"

GRADE  
0'-0"

1 EXISTING RIGHT SIDE ELVETION  
1/4" = 1'-0"

1  
A3.01

T.O. ROOF 3  
17'-0"

T.O. ROOF 1  
13'-10"

ROOF LEVEL  
8'-6"

LEVEL 1  
0'-6"

GRADE  
0'-0"

2 PROPOSED RIGHT SIDE ELVETION  
1/4" = 1'-0"

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PROJECT NAME

43 La Serena Ct, Alamo, CA 94507

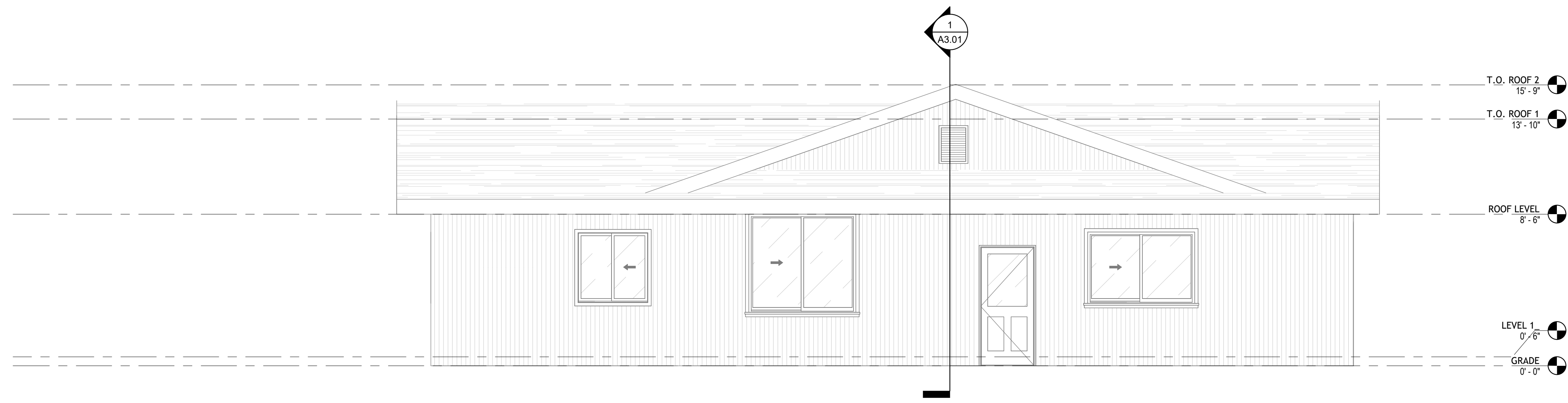


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1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



KEYNOTE LEGEND

- 1. COMPOSITION SHINGLE ROOF
- 2. SIDING (MATCHED EXISTING)
- 3. VERTICAL WOOD-LOOK SIDING
- 4. SCHEDULED DOOR
- 5. SCHEDULED WINDOW



1 | EXISTING LEFT SIDE ELVETION  
1/4" = 1'-0"



2 | PROPOSED LEFT SIDE ELVETION  
1/4" = 1'-0"

NOTE:  
NEW ROOF TO MATCH EXISTING IN MATERIAL, COLOR, TEXTURE, AND PROFILE. FLASHING, UNDERLAYMENT, AND WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND CURRENT CBC/CPC REQUIREMENTS.  
ENSURE ALL TRANSITIONS BETWEEN NEW AND EXISTING ROOF SURFACES ARE SEALED AND INTEGRATED TO PROVIDE A CONTINUOUS WEATHER-TIGHT ASSEMBLY.

SHEET TITLE

ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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CHECKED	Checker
DATE	03-06-26
REVISED DATE	03-06-26
JOB NO.	XXXXXX
SHEET NO.	A2.04

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PROJECT NAME

43 La Serena Ct, Alamo, CA 94507

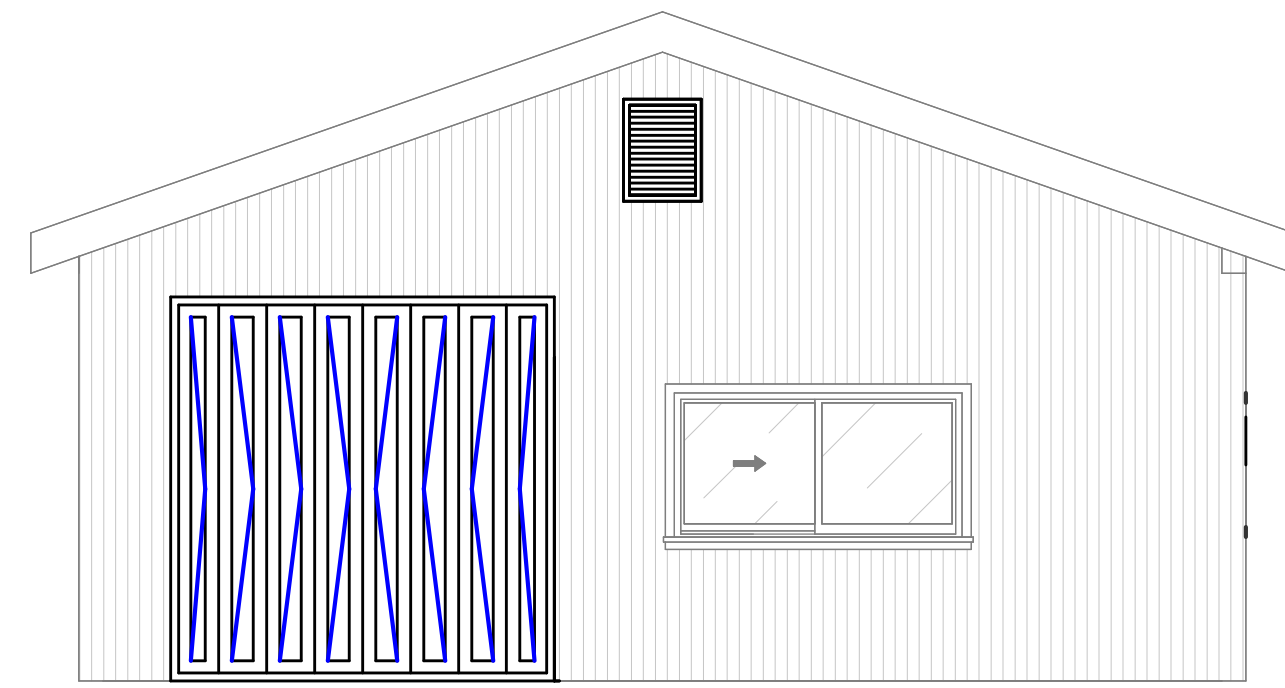


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Pghaffari@sp-engs.com  
925-239-6686

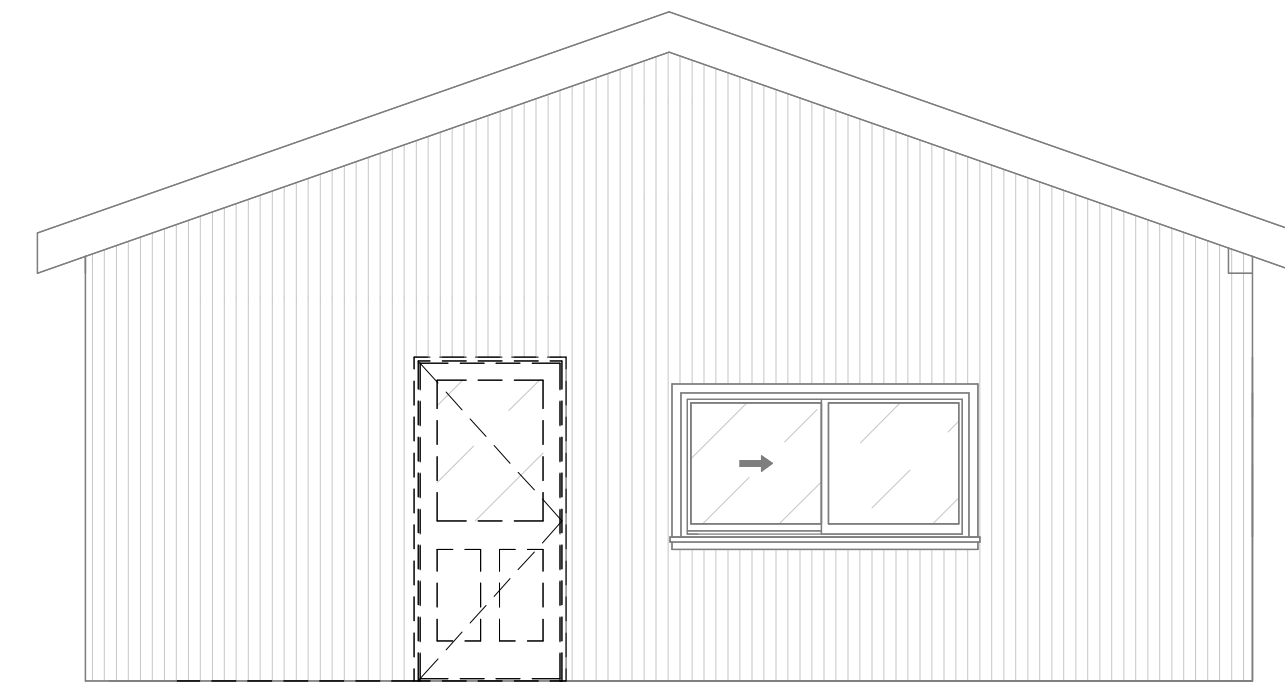


KEYNOTE LEGEND

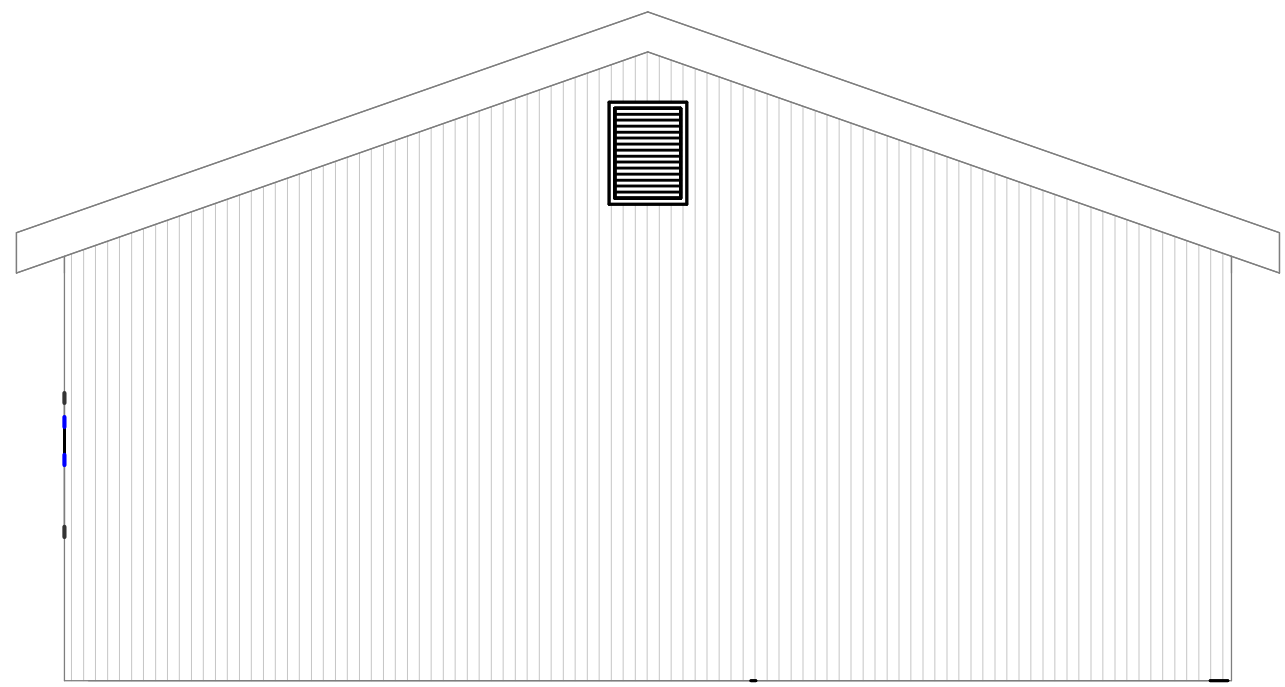
- 1. COMPOSITION SHINGLE ROOF
- 2. SIDING (MATCHED EXISTING)
- 3. VERTICAL WOOD-LOOK SIDING
- 4. SCHEDULED DOOR
- 5. SCHEDULED WINDOW



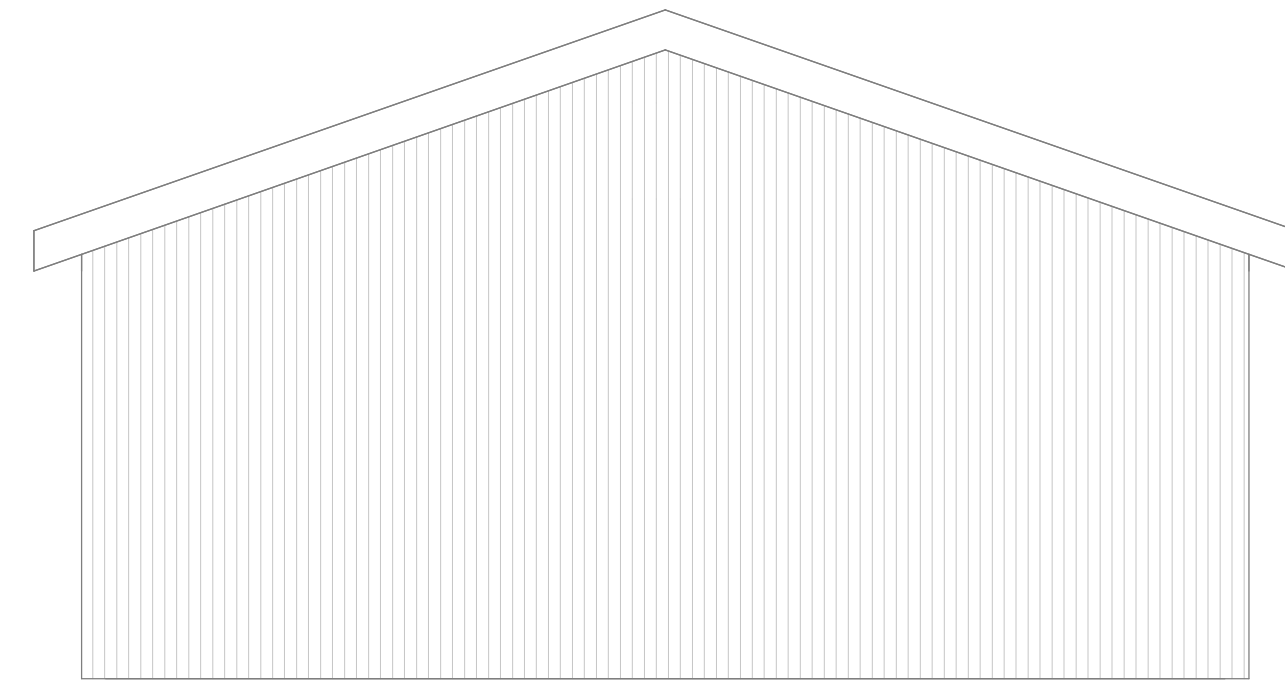
1 | PROPOSED ADU FRONT ELEVATION  
1/4" = 1'-0"



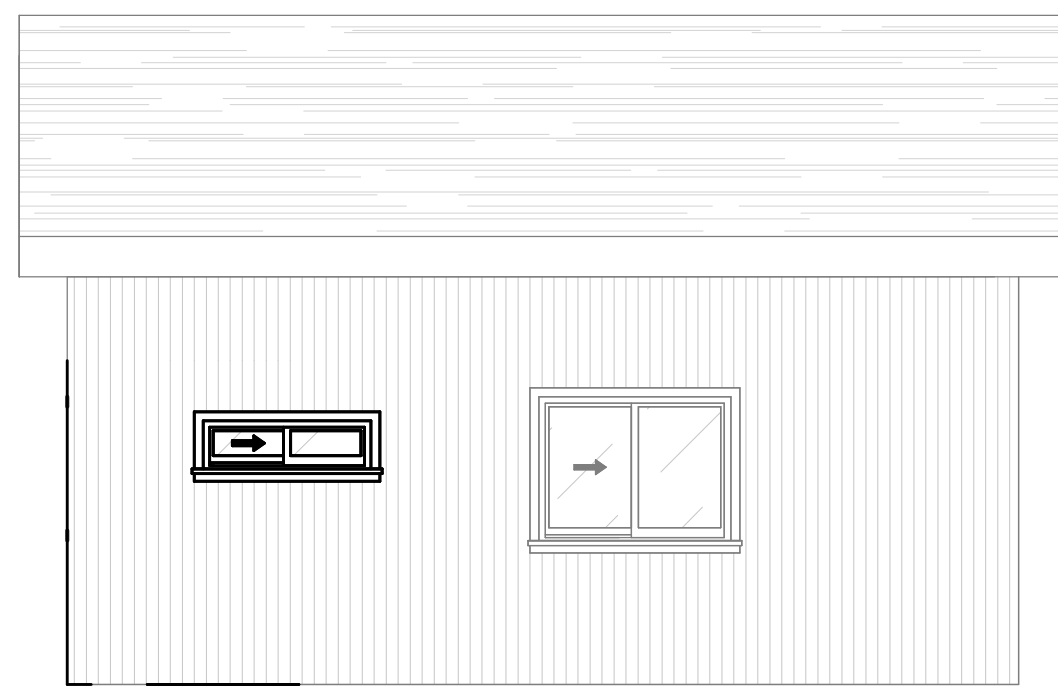
2 | (E) ADU FRONT ELEVATION  
1/4" = 1'-0"



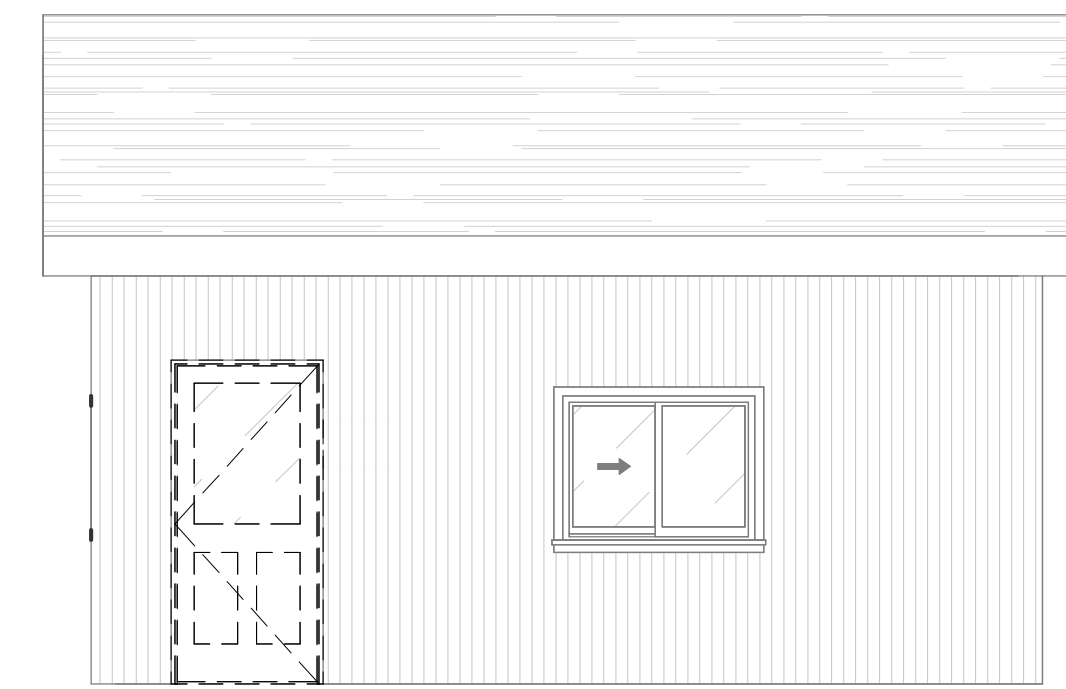
3 | PROPOSED ADU REAR ELEVATION  
1/4" = 1'-0"



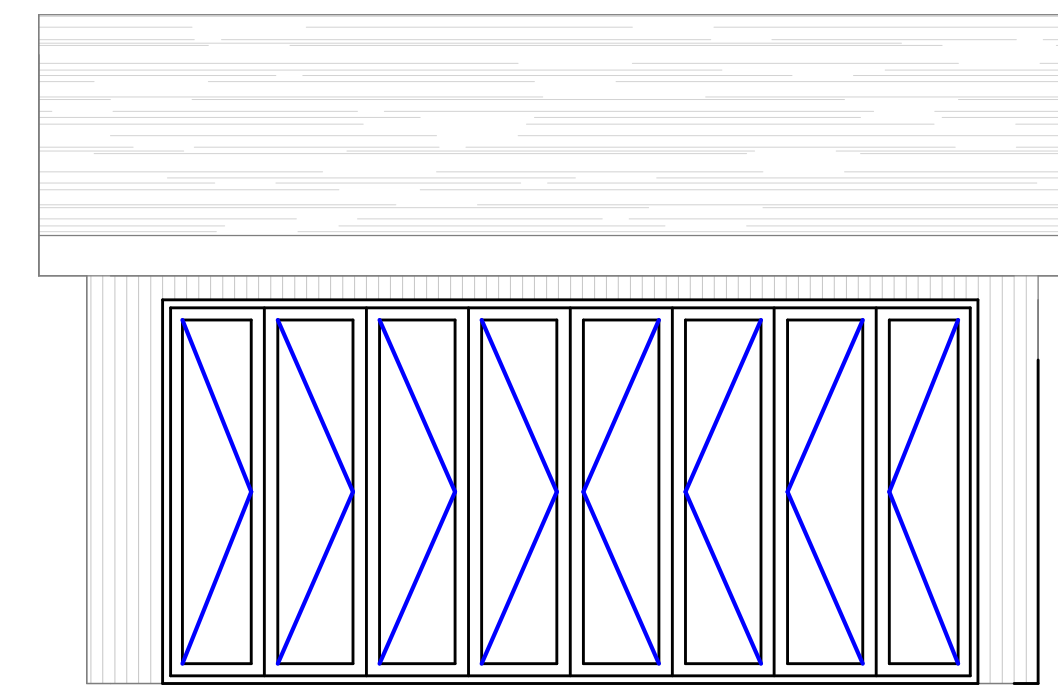
4 | (E) ADU REAR ELEVATION  
1/4" = 1'-0"



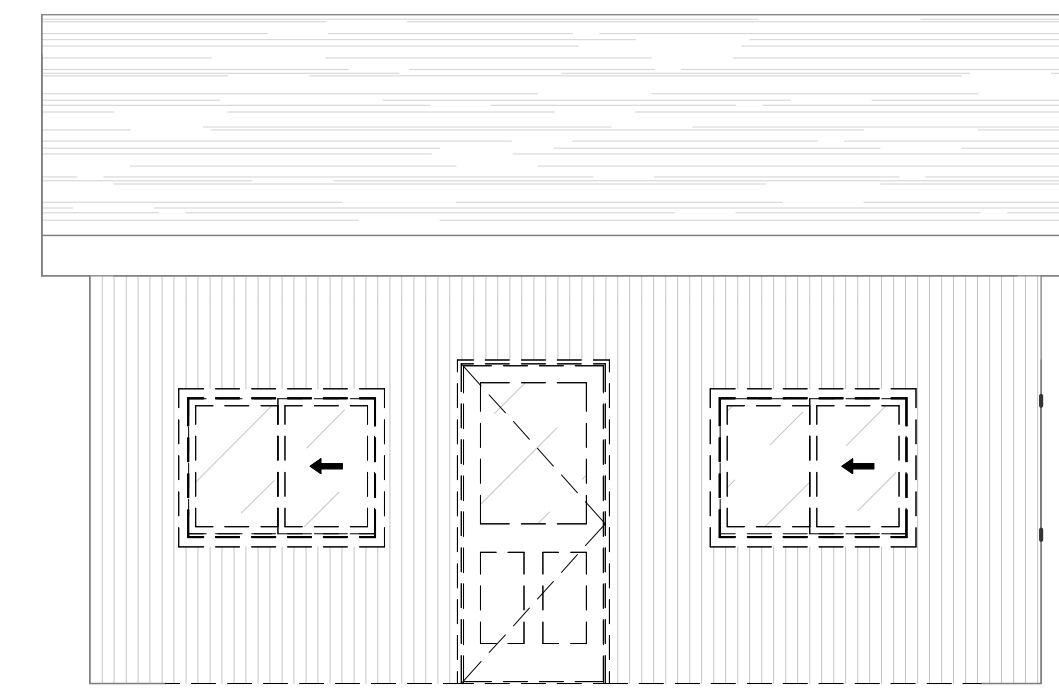
5 | PROPOSED ADU LEFT ELEVATION  
1/4" = 1'-0"



6 | (E) ADU LEFT ELEVATION  
1/4" = 1'-0"



7 | PROPOSED ADU RIGHT ELEVATION  
1/4" = 1'-0"



8 | (E) ADU RIGHT ELEVATION  
1/4" = 1'-0"

SHEET TITLE

ADU ELEVATIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN Author

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DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A2.05

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PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
*Pejman Ghaffari*

SHEET TITLE

SECTIONS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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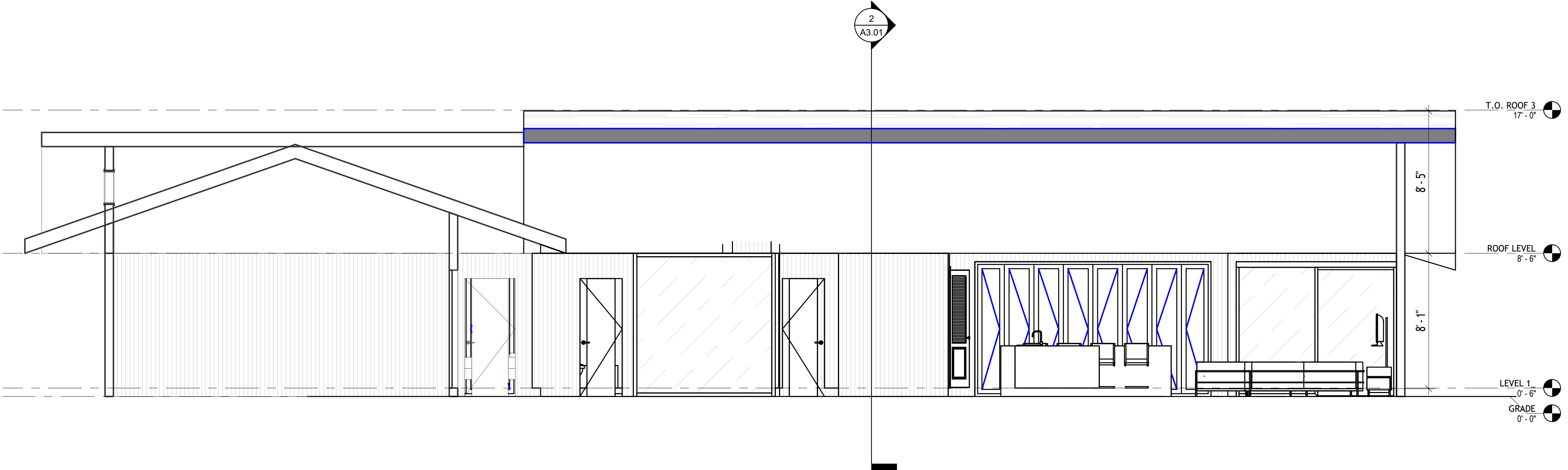
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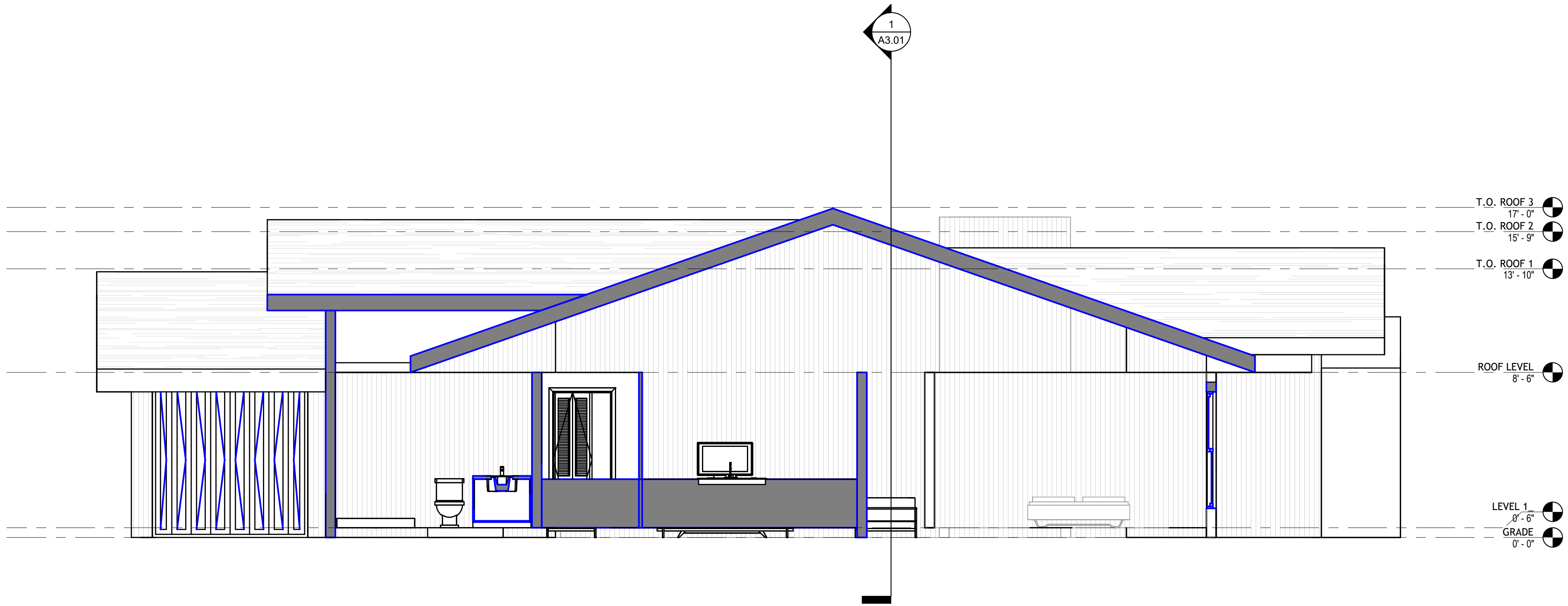
SHEET NO. A3.01

2  
A3.01



1 | Section 1  
1/4" = 1'-0"

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A3.01



2 | Section 2  
1/4" = 1'-0"

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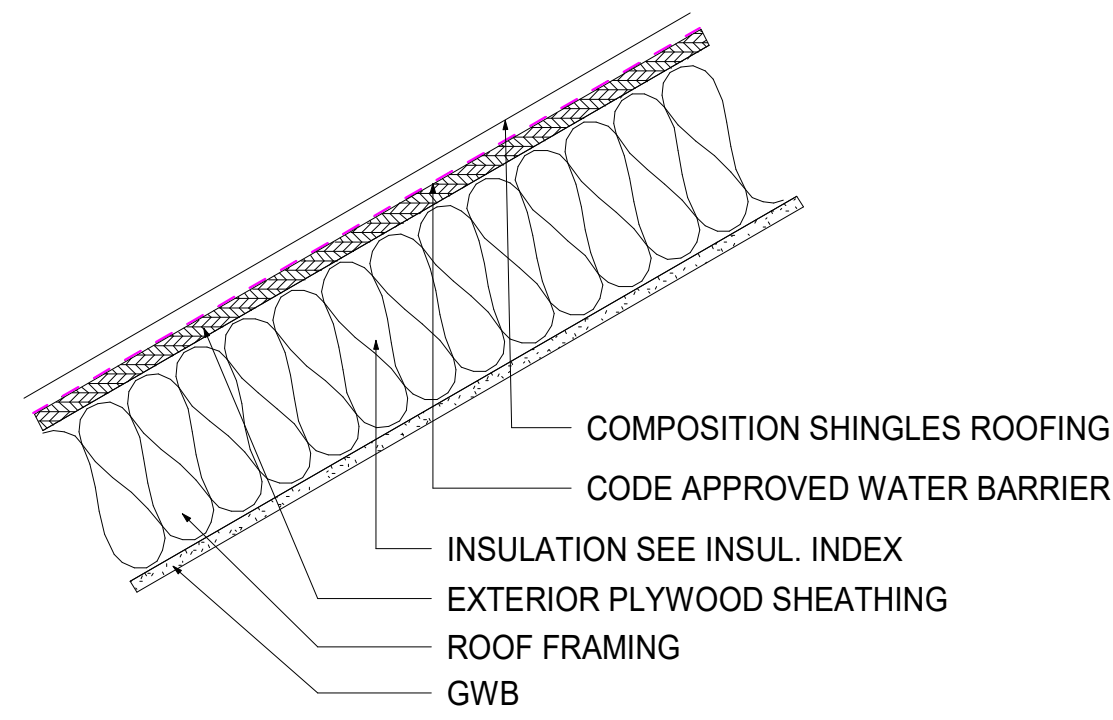
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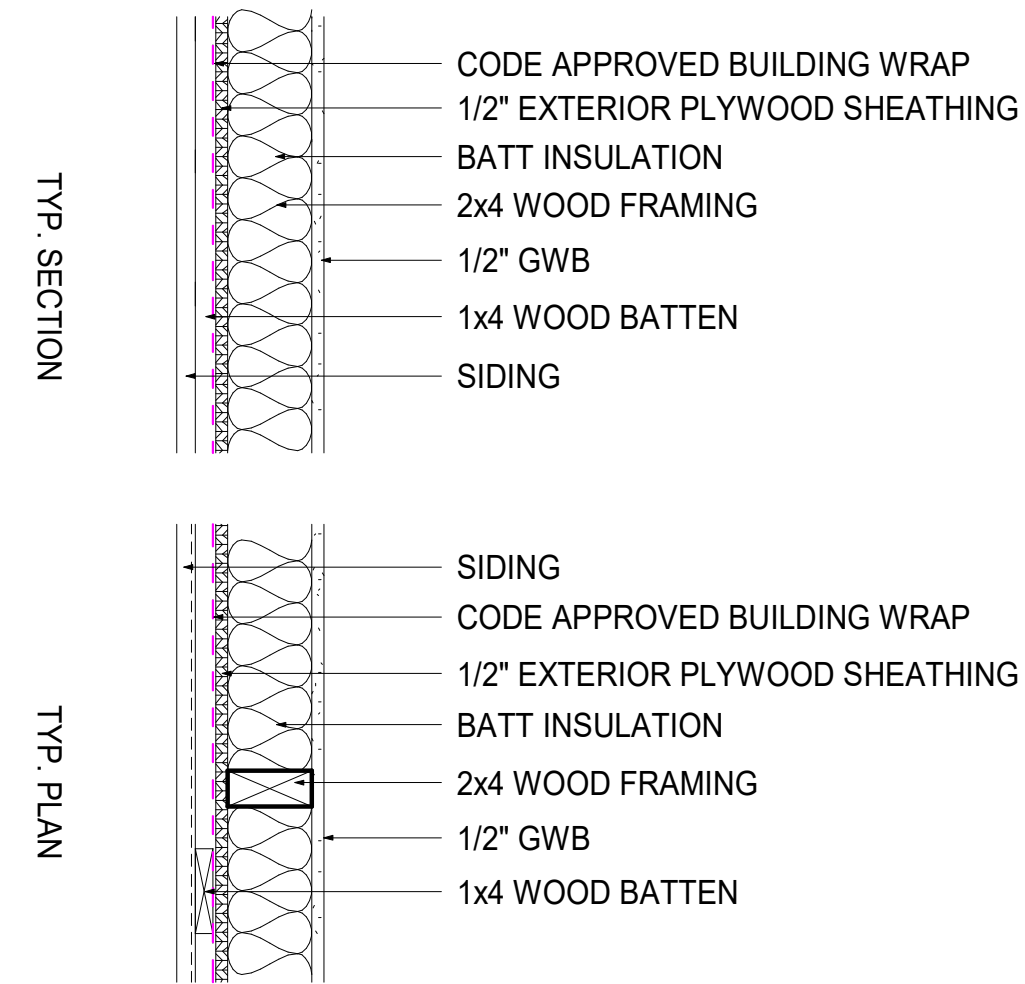
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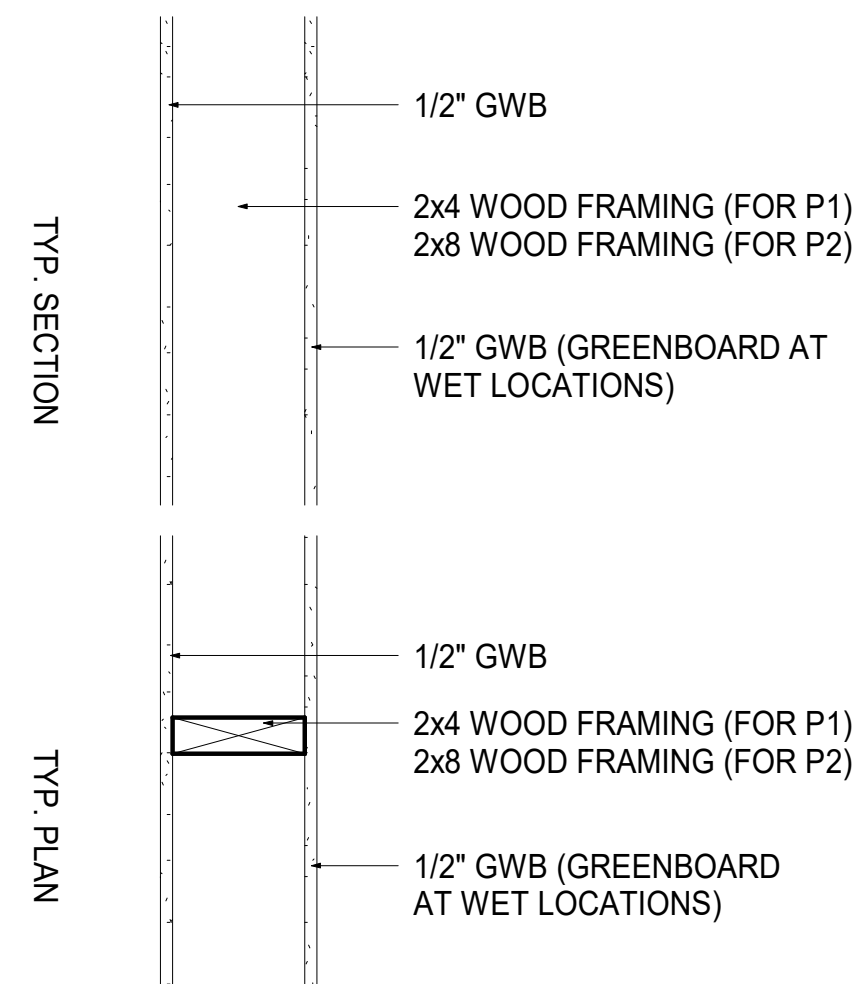
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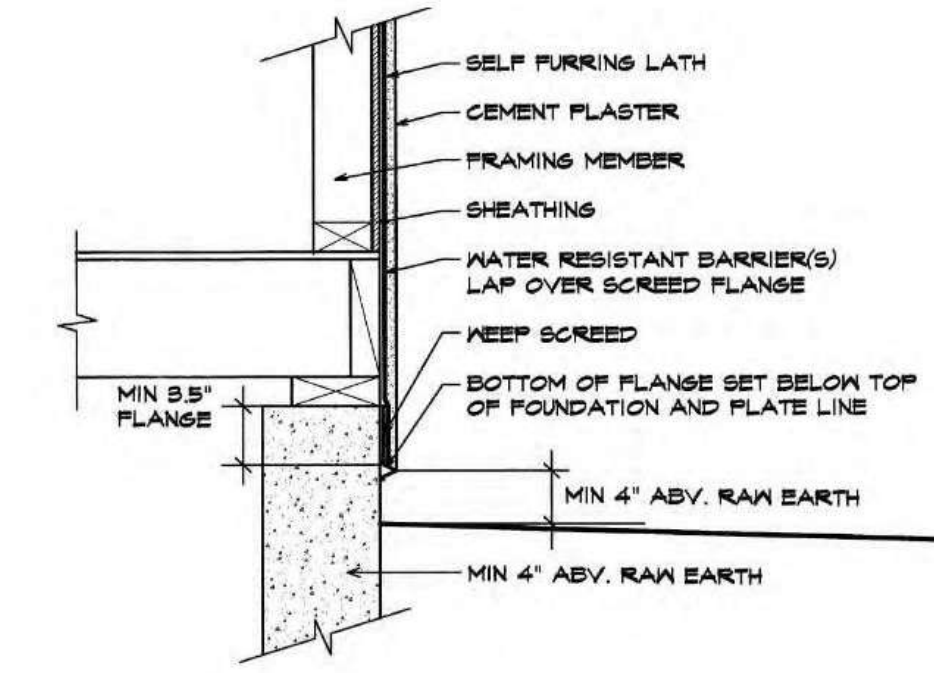
TYPICAL ROOF  
(TOP - COMPOSITION SHINGLE, BOT - GWB)



W1 - EXTERIOR WALLS DETAIL TYP.  
EXT - STUCCO, INT - GWB



INTERIOR WALLS DETAIL TYP.  
(GWB - 1ST SIDE, GWB - 2ND SIDE)



WEEP SCREED DETAIL TYP.

Weep screed shall be installed at the base of the stucco siding. Weep screed shall be a minimum of 2" above concrete slabs and 4" above exposed earth, per CRC R703.7.2.1

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Pghaffari@sp-engs.com  
925-239-6686



SHEET TITLE

DETAILS

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NO.	DATE	DESCRIPTION

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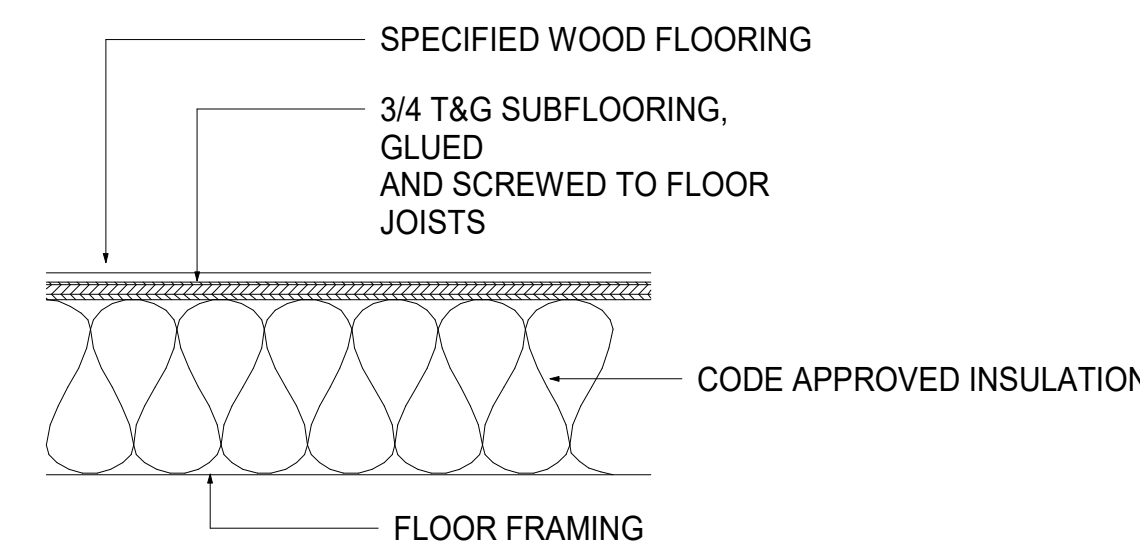
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DATE	03-06-26
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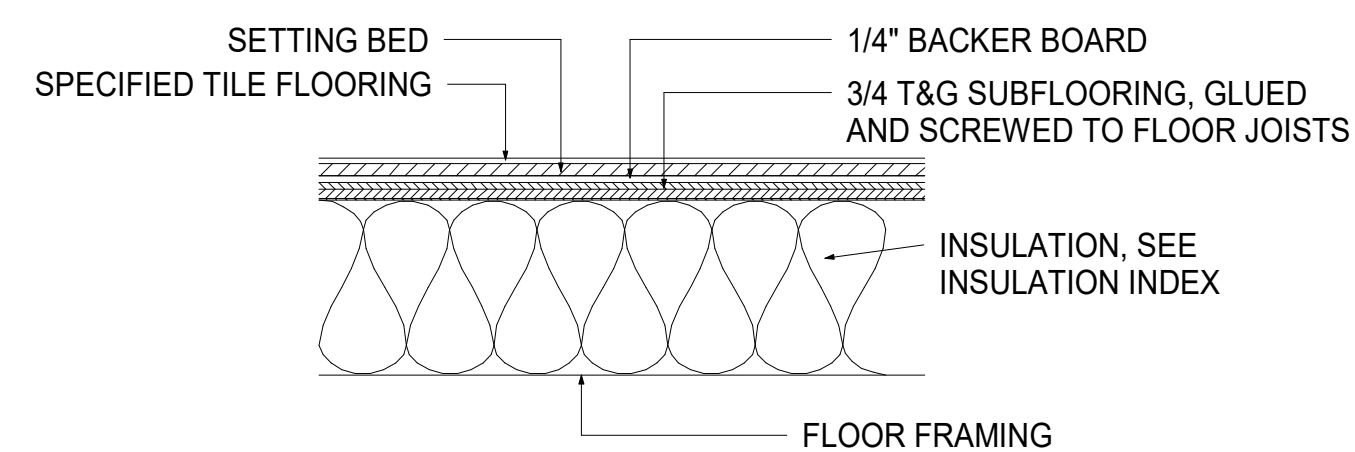
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JOB NO.	XXXXXX
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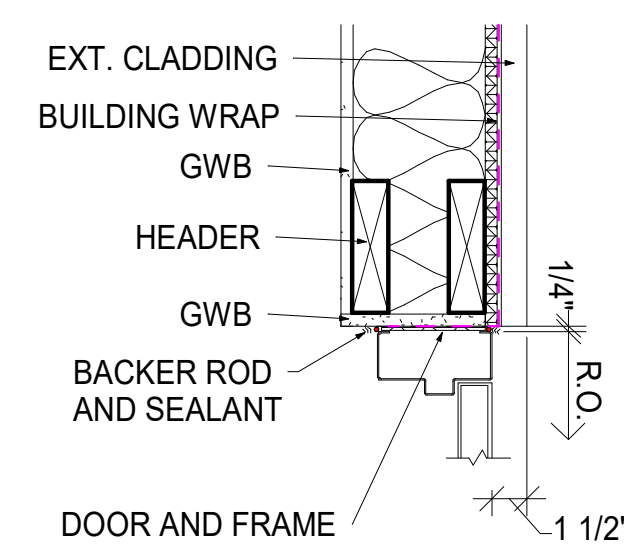
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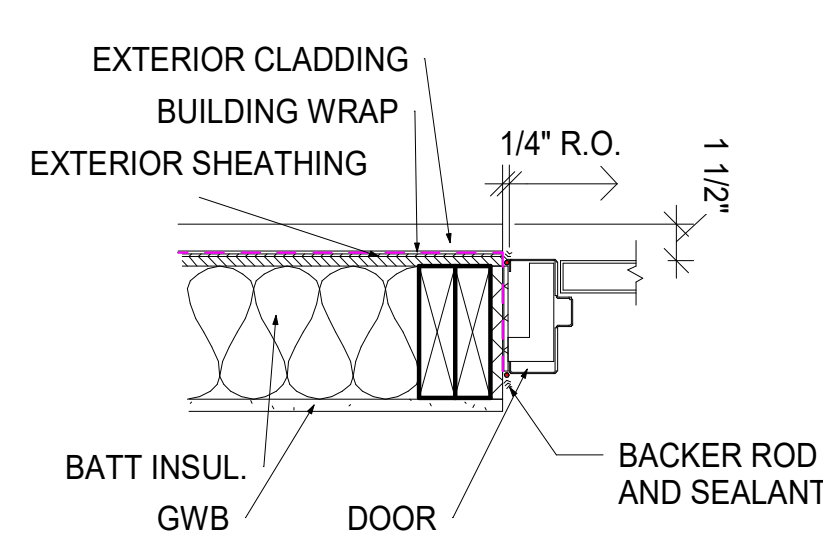
F1 - FLOOR TYPE 1 (WOOD)



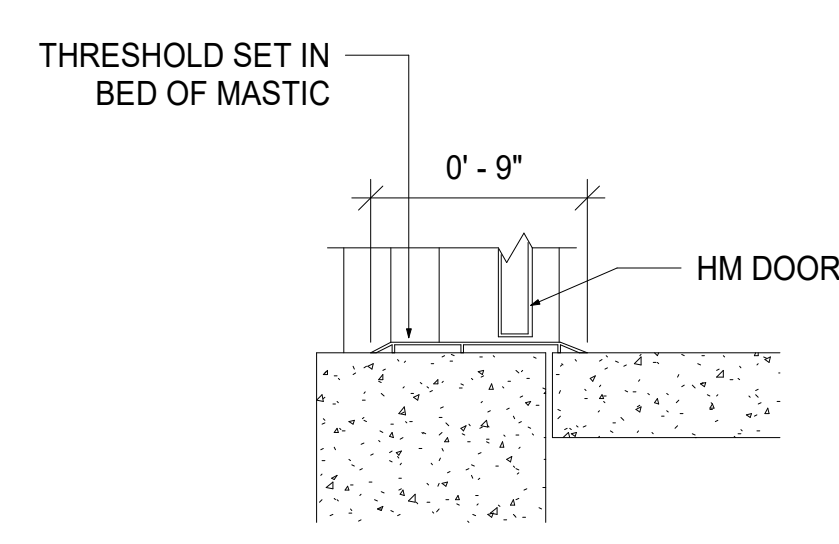
F2 - FLOOR TYPE 2 (TILE)



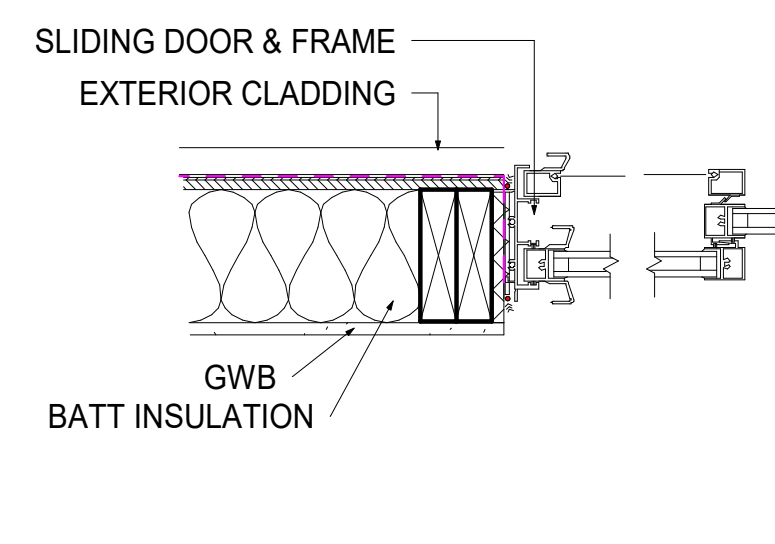
HM DOOR HEAD



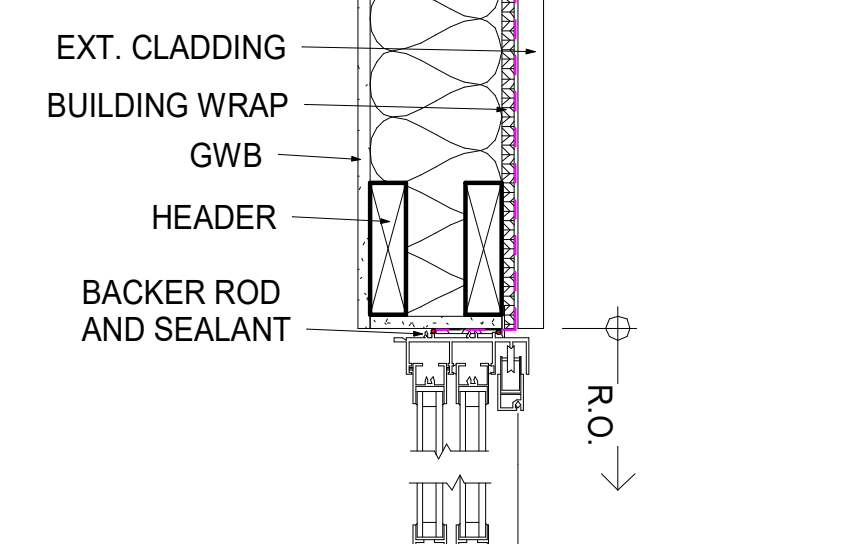
HM DOOR JAMB



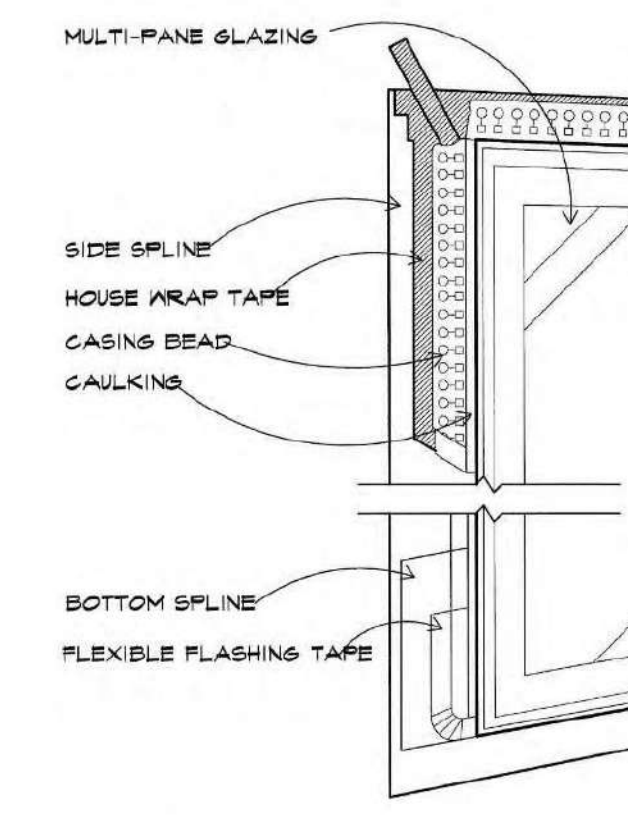
HM DOOR SILL



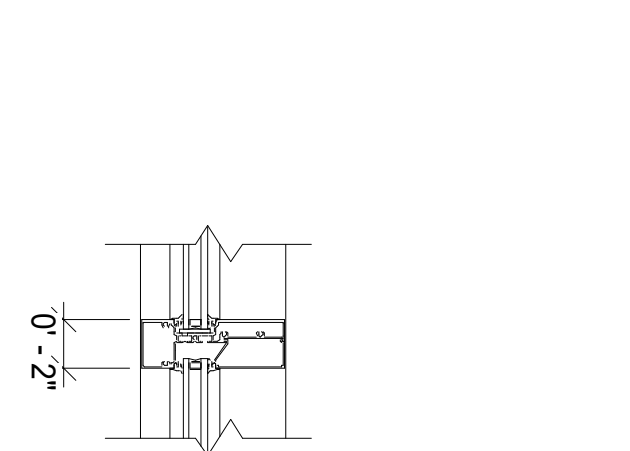
SLIDING DOOR JAMB



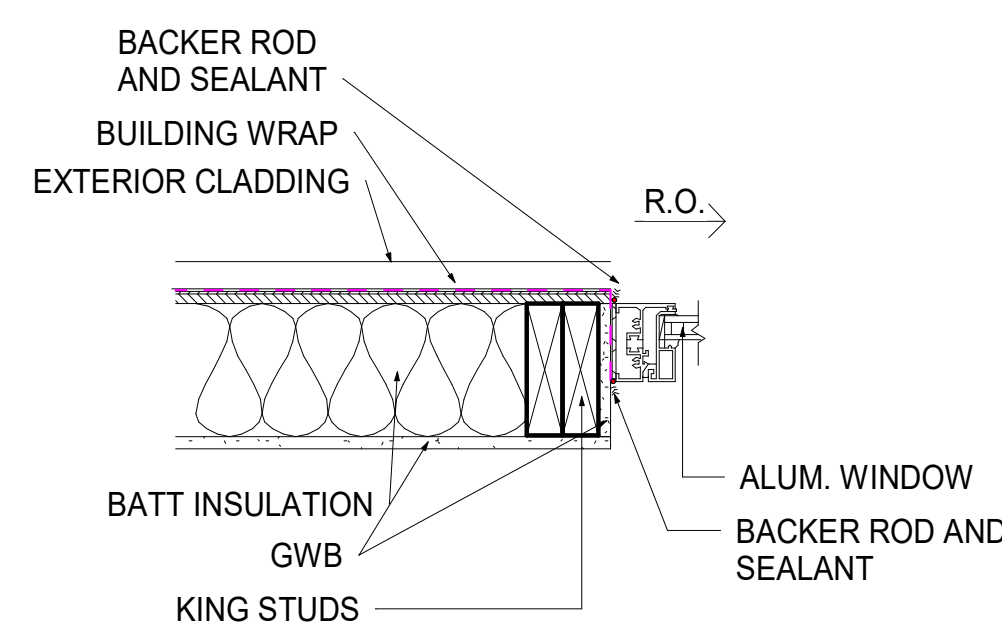
SLIDING DOOR HEAD & SILL



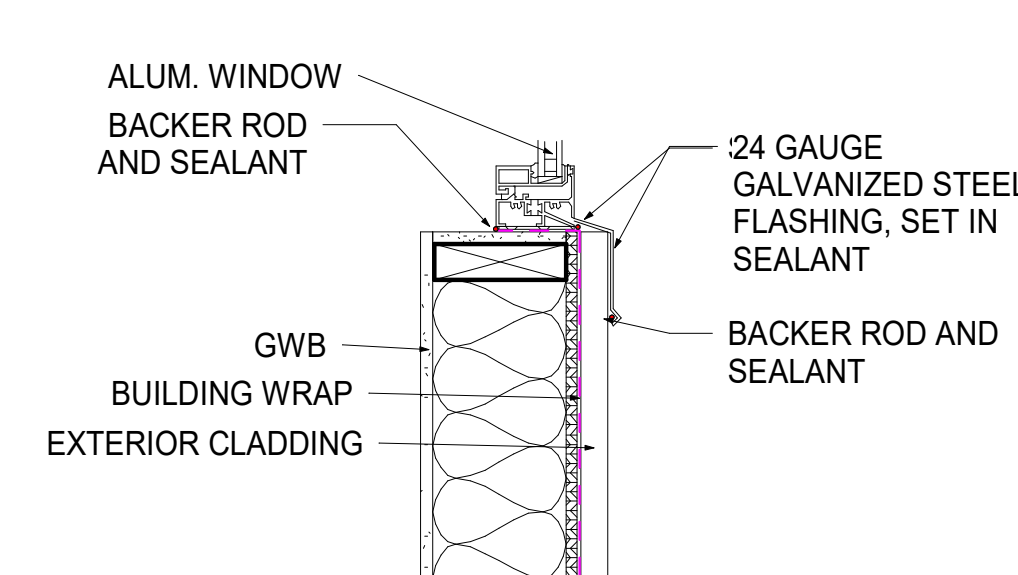
FLASHING DETAIL TYP.



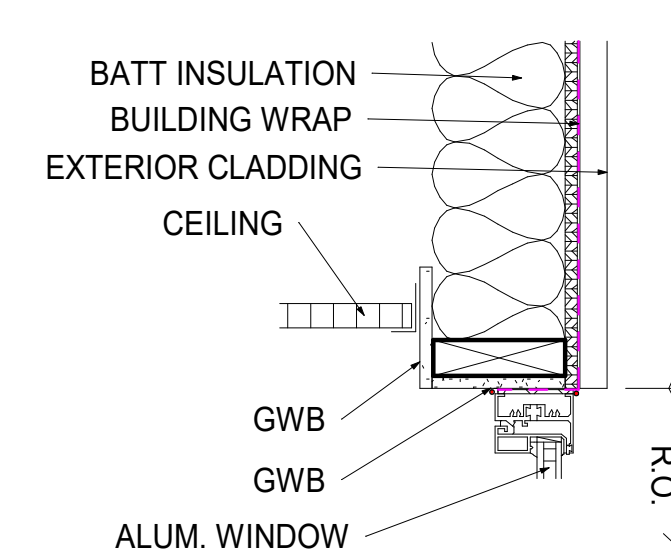
WINDOW MULLION DETAIL



WINDOW JAMB



WINDOW SILL



WINDOW HEAD

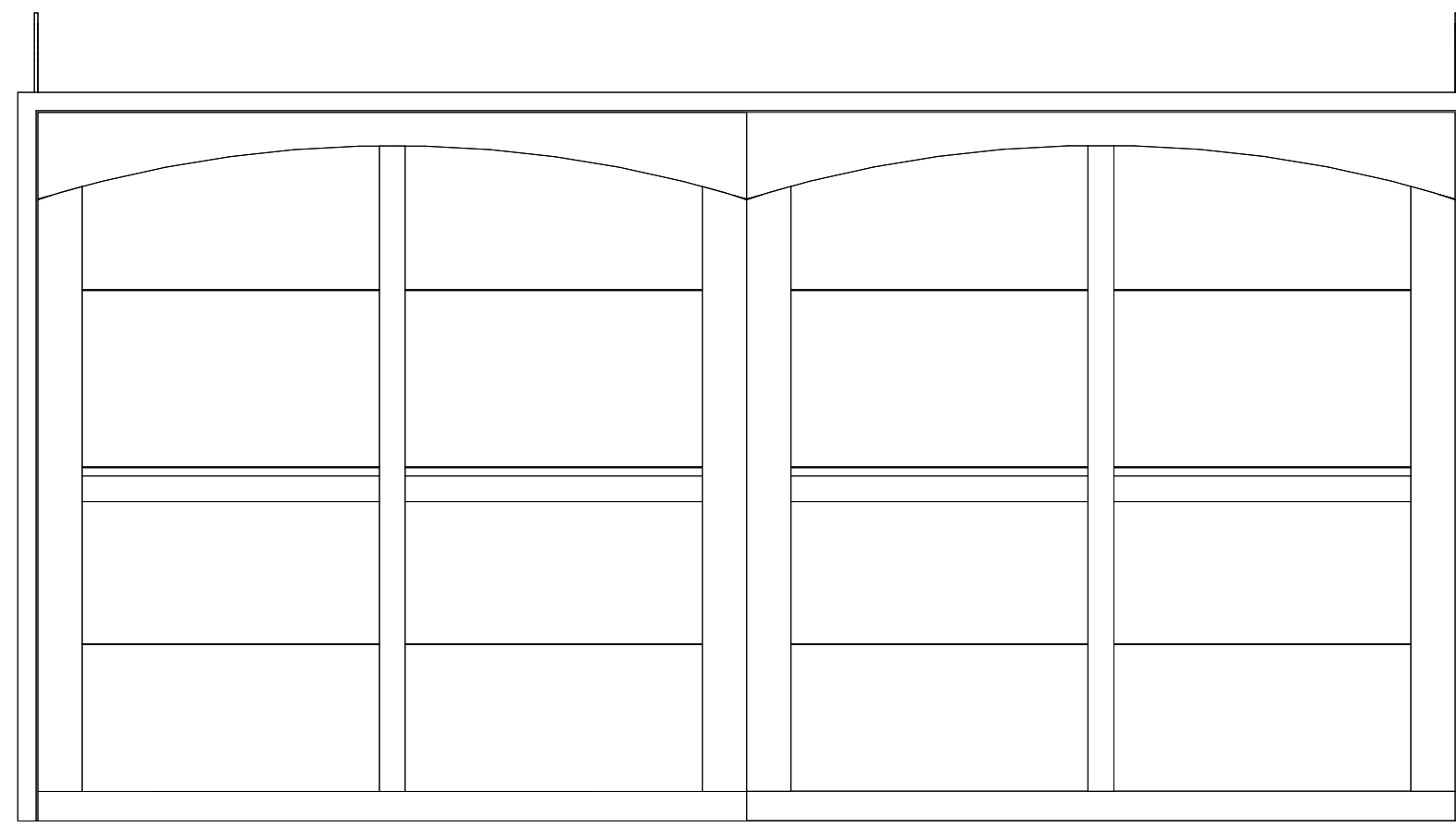
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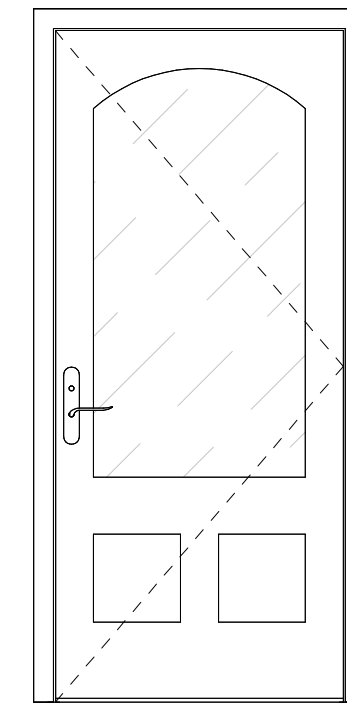
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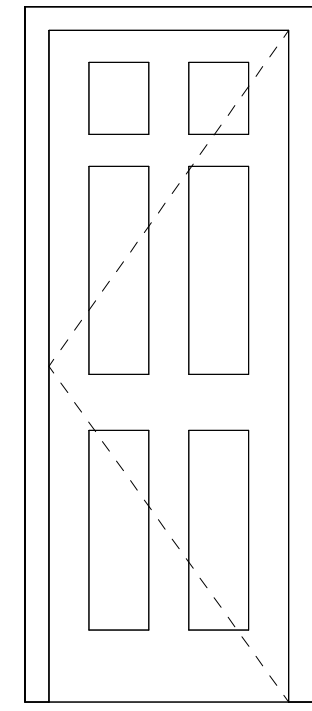
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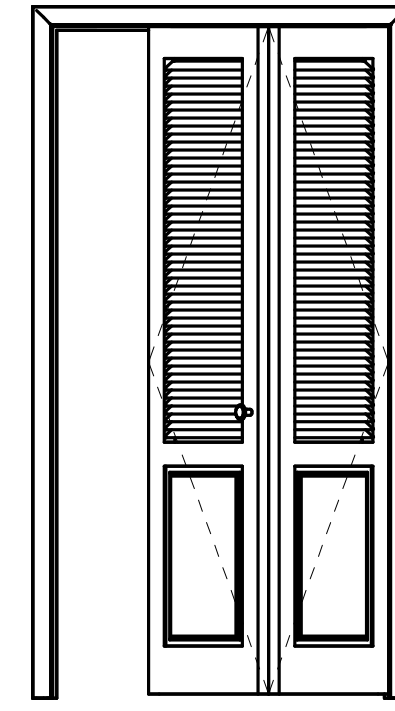
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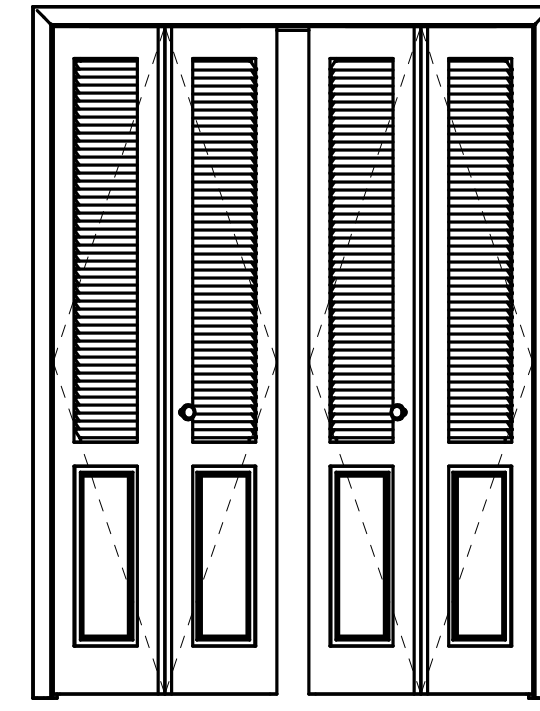
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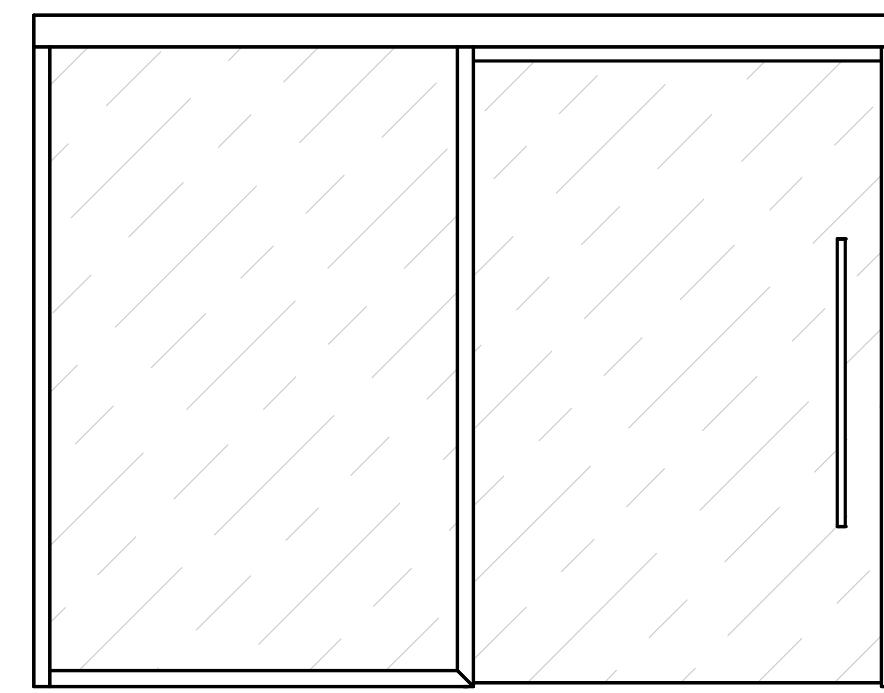
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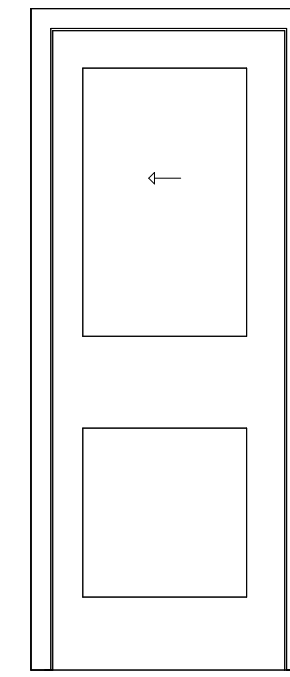
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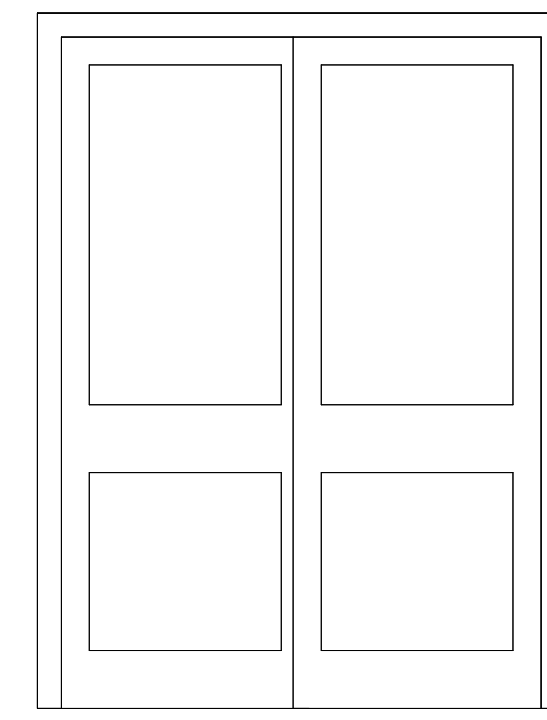
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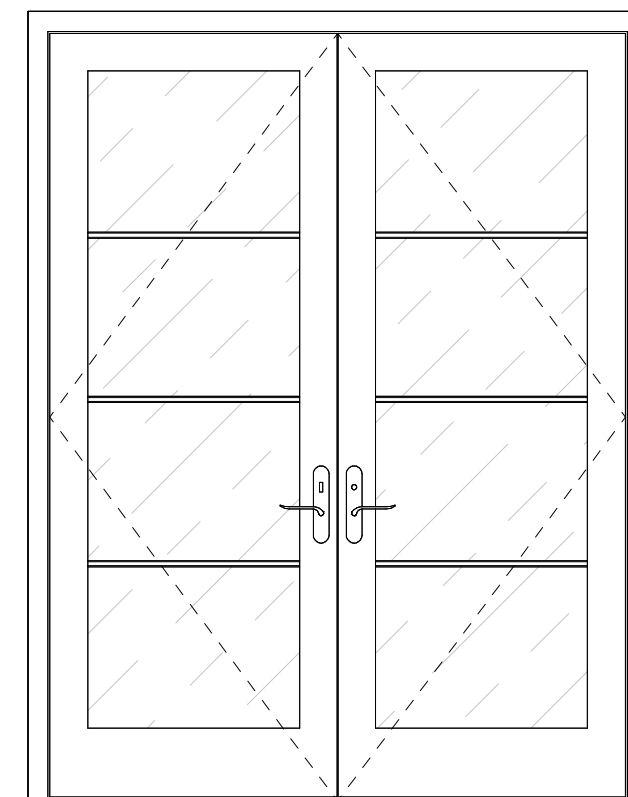
TYPE 7



TYPE 10



TYPE 13



TYPE 8

Door Schedule						
Mark	Type Comments	Width	Height	Phase Created	Phase Demolished	Comments
1	TYPE 2	4' - 6"	8' - 0"	Existing	New Construction	
2	TYPE 1	16' - 0"	8' - 0"	Existing	None	
3	TYPE 2	3' - 0"	6' - 8"	Existing	None	
4	TYPE 7	9' - 10"	6' - 8"	Existing	New Construction	
5	TYPE 7	8' - 0"	6' - 8"	Existing	New Construction	
6	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
7	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
8	TYPE 4	4' - 0"	7' - 0"	Existing	New Construction	
9	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
10	TYPE 4	4' - 0"	7' - 0"	Existing	New Construction	
11	TYPE 3	3' - 0"	7' - 0"	Existing	New Construction	
12	TYPE 3	3' - 0"	7' - 0"	Existing	None	
13	TYPE 5	5' - 0"	7' - 0"	Existing	New Construction	
14	TYPE 3	3' - 0"	7' - 0"	Existing	New Construction	
15	TYPE 3	3' - 0"	7' - 0"	Existing	New Construction	
16	TYPE 3	2' - 6"	7' - 0"	Existing	None	
17	TYPE 3	3' - 0"	7' - 0"	Existing	None	
18	TYPE 3	2' - 0"	7' - 0"	Existing	New Construction	
19	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
20	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
21	TYPE 8	3' - 0"	8' - 0"	Existing	New Construction	
22	TYPE 3	3' - 0"	7' - 0"	Existing	None	
23	TYPE 3	3' - 0"	7' - 0"	Existing	New Construction	
24	TYPE 10	2' - 6"	6' - 8"	Existing	New Construction	
25	TYPE 3	3' - 0"	7' - 0"	Existing	New Construction	
26	TYPE 10	2' - 6"	6' - 8"	Existing	New Construction	
27	TYPE 8	6' - 0"	6' - 8"	New Construction	None	
28	TYPE 13	5' - 0"	7' - 0"	New Construction	None	
29	TYPE 13	5' - 0"	7' - 0"	New Construction	None	
30	TYPE 13	5' - 0"	7' - 0"	New Construction	None	
31	TYPE 3	3' - 0"	7' - 0"	New Construction	None	
32	TYPE 13	6' - 0"	6' - 8"	New Construction	None	
33	TYPE 13	6' - 0"	6' - 8"	New Construction	None	
34	TYPE 4	4' - 0"	7' - 0"	New Construction	None	
35	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
36	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
37	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
38	TYPE 10	2' - 6"	6' - 8"	New Construction	None	
39	TYPE 10	2' - 6"	6' - 8"	New Construction	None	
40	BIFOLD GLASS DOOR	12' - 0"	7' - 0"	New Construction	None	
41	TYPE 7	9' - 6"	8' - 0"	New Construction	None	
42	TYPE 13	5' - 0"	7' - 0"	New Construction	None	
43	TYPE 13	5' - 0"	7' - 0"	New Construction	None	
44	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
45	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
46	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
47	TYPE 4	3' - 0"	7' - 0"	New Construction	None	
48	BIFOLD GLASS DOOR	14' - 0"	7' - 0"	New Construction	None	
49	TYPE 7	9' - 6"	8' - 0"	New Construction	None	
50	TYPE 7	8' - 0"	6' - 8"	Existing	New Construction	
51	TYPE 2	3' - 0"	6' - 8"	Existing	New Construction	
52	TYPE 2	3' - 0"	6' - 8"	Existing	New Construction	
53	TYPE 2	3' - 0"	6' - 8"	Existing	New Construction	
54	TYPE 3	2' - 6"	7' - 0"	Existing	New Construction	
55	BIFOLD GLASS DOOR	17' - 0"	7' - 0"	New Construction	None	
56	BIFOLD GLASS DOOR	8' - 0"	7' - 0"	New Construction	None	
57	TYPE 3	2' - 6"	7' - 0"	New Construction	None	
58	TYPE 13	5' - 0"	6' - 8"	New Construction	None	
59	TYPE 10	2' - 0"	6' - 8"	New Construction	None	
60	BIFOLD GLASS DOOR	22' - 0"	7' - 0"	New Construction	None	
61	BIFOLD GLASS DOOR	8' - 0"	7' - 0"	New Construction	None	
62	BIFOLD GLASS DOOR	14' - 0"	7' - 0"	New Construction	None	
63	FRAMELESS GLASS	2' - 6"	7' - 0"	New Construction	None	

ALL WINDOWS AND FOLDING DOORS SHALL HAVE A MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.40.

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
Peiman Ghaffari

SHEET TITLE

DOOR SCHEDULE & DETAILS

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DRAWN Author

CHECKED Checker

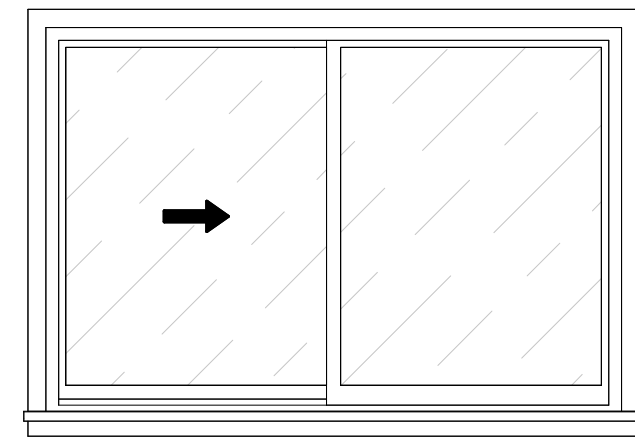
DATE 03-06-26

REVISED DATE 03-06-26

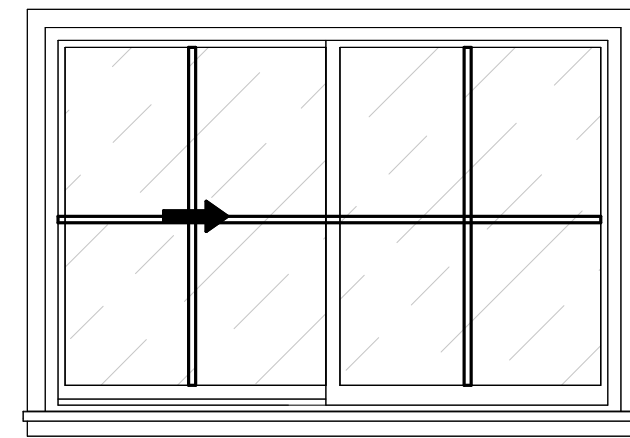
JOB NO. XXXXXX

SHEET NO. A5.01

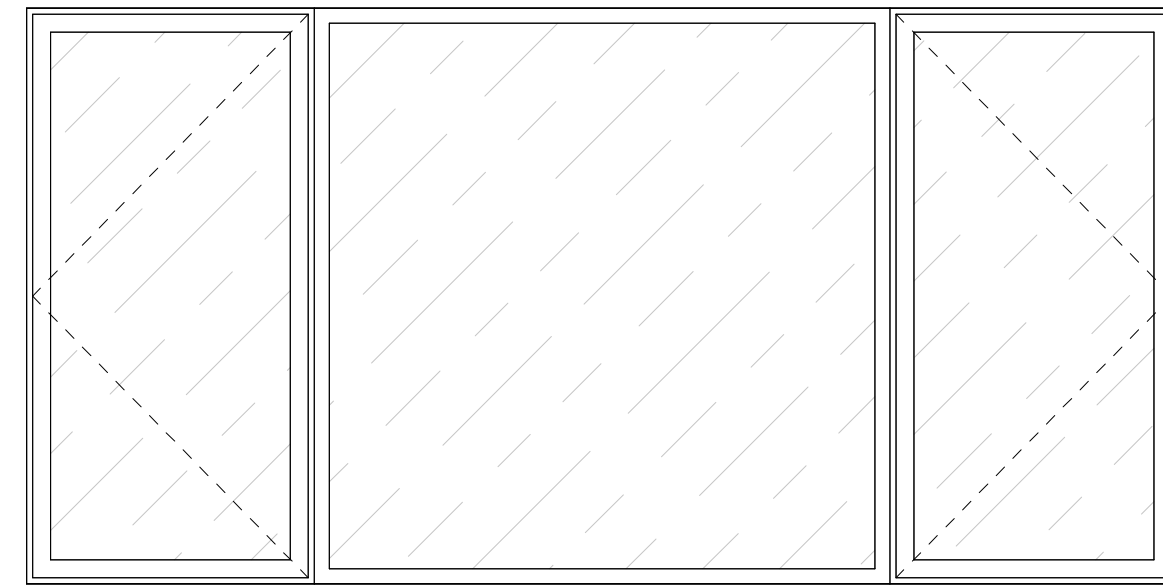




TYPE 1



TYPE 2

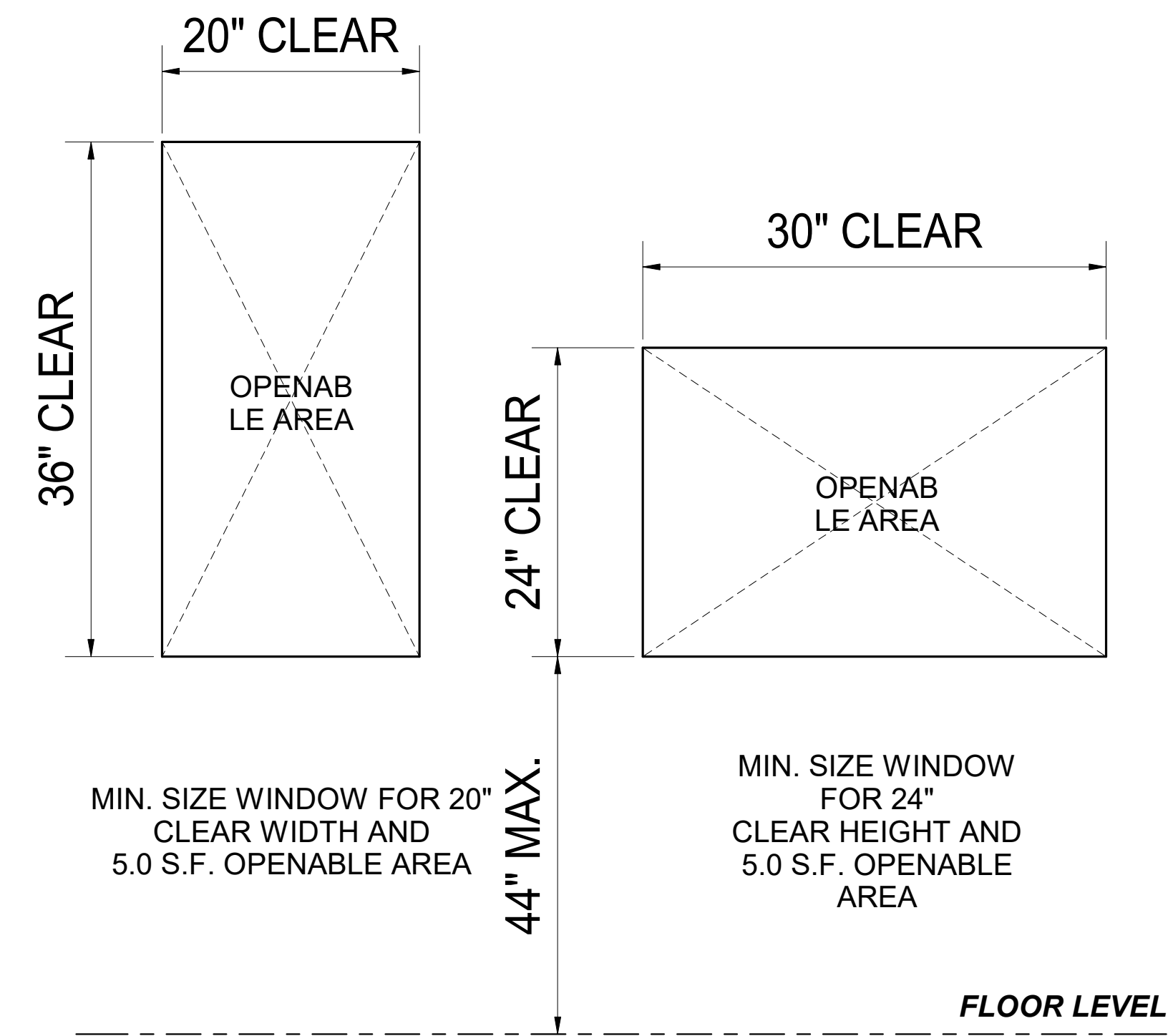


TYPE 3

Window Schedule						
Mark	Type Comments	Width	Height	Phase Created	Phase Demolished	Comments
1	SLIDING WINDOW- TYPE 1	5' - 0"	4' - 6"	Existing	New Construction	
2	SLIDING WINDOW- TYPE 1	5' - 0"	4' - 6"	Existing	New Construction	
3	SLIDING WINDOW- TYPE 1	6' - 0"	4' - 0"	Existing	None	
4	SLIDING WINDOW- TYPE 1	6' - 0"	5' - 6"	Existing	None	
5	SLIDING WINDOW- TYPE 1	4' - 0"	4' - 0"	Existing	None	
6	SLIDING WINDOW- TYPE 1	4' - 0"	4' - 0"	Existing	New Construction	
7	SLIDING WINDOW- TYPE 1	3' - 0"	3' - 0"	Existing	New Construction	
8	SLIDING WINDOW- TYPE 1	3' - 0"	3' - 0"	Existing	New Construction	
9	SLIDING WINDOW- TYPE 1	5' - 0"	3' - 0"	Existing	New Construction	
10	3 PANEL WINDOE-TYPE 3	12' - 0"	6' - 0"	Existing	New Construction	
11	SLIDING WINDOW- TYPE 1	2' - 11"	2' - 0"	Existing	New Construction	
12	SLIDING WINDOW- TYPE 2	7' - 0"	6' - 0"	New Construction	None	TEMPRED GLASS/ U-FACTOR-0.2
13	SLIDING WINDOW- TYPE 2	7' - 0"	6' - 0"	New Construction	None	TEMPRED GLASS/ U-FACTOR-0.2
14	SLIDING WINDOW- TYPE 2	7' - 0"	6' - 0"	New Construction	None	TEMPRED GLASS/ U-FACTOR-0.2
15		3' - 0"	1' - 6"	New Construction	None	TEMPRED GLASS/ U-FACTOR-0.2
16	SLIDING WINDOW- TYPE 1	6' - 0"	3' - 0"	Existing	None	
17	SLIDING WINDOW- TYPE 1	4' - 0"	3' - 0"	Existing	New Construction	
18	SLIDING WINDOW- TYPE 1	4' - 0"	3' - 0"	Existing	New Construction	
19	SLIDING WINDOW- TYPE 1	4' - 0"	3' - 0"	Existing	None	
20	SLIDING WINDOW- TYPE 1	3' - 6"	1' - 0"	New Construction	None	
21	VENTILATION LOUVER	1' - 6"	2' - 0"	Existing	None	
23	VENTILATION LOUVER	1' - 6"	2' - 0"	New Construction	None	

ALL WINDOWS AND FOLDING DOORS SHALL HAVE A MAXIMUM SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.40.

**EMERGENCY ESCAPE/RESCUE OPENING (R310)**



MIN. SIZE WINDOW FOR 20" CLEAR WIDTH AND 5.0 S.F. OPENABLE AREA

MIN. SIZE WINDOW FOR 24" CLEAR HEIGHT AND 5.0 S.F. OPENABLE AREA

FLOOR LEVEL

- 20" MIN. CLEAR WIDTH
- 24" MIN. CLEAR HEIGHT
- 5.0 SF MIN. OPENABLE AREA AT GRADE-FLOOR ONLY, 5.7 SF MIN. ELSEWHERE

2 WINDOW DETAIL 2  
3/4" = 1'-0"

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
Piman Ghaffari

SHEET TITLE

**WINDOW SCHEDULE & DETAILS**

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN Author

CHECKED Checker

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. **A5.02**

1

2

3

4

5

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS  
1724 Carriage Dr., Walnut Creek, CA 94598  
Pghaffari@sp-engs.com  
925-239-6686



EXP: 03/31/27  
*Pejman Ghaffari*

SHEET TITLE

3D VIEWS

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN Author

CHECKED Checker

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A6.01

D

D

C

C

B

B

A

A

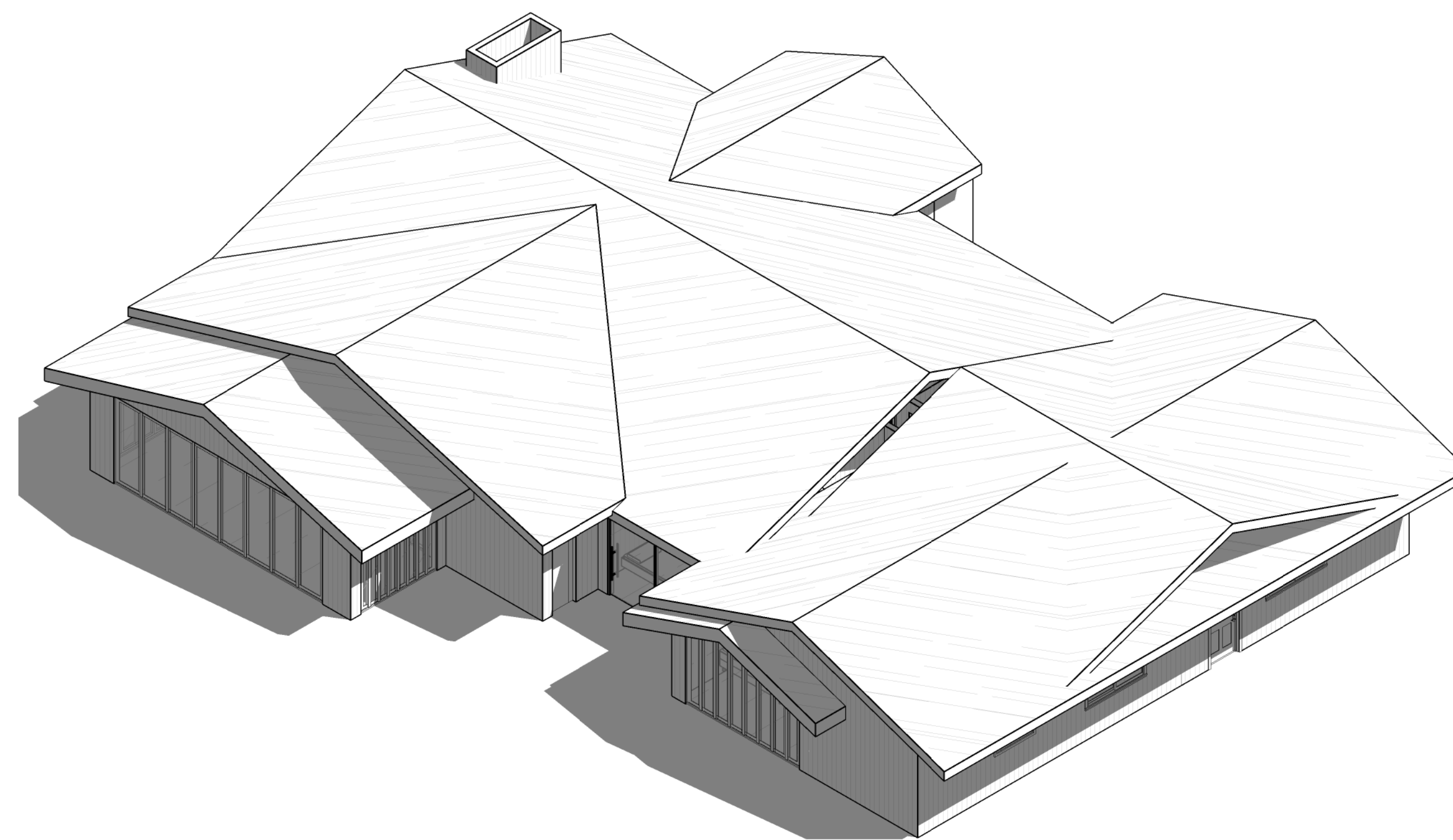
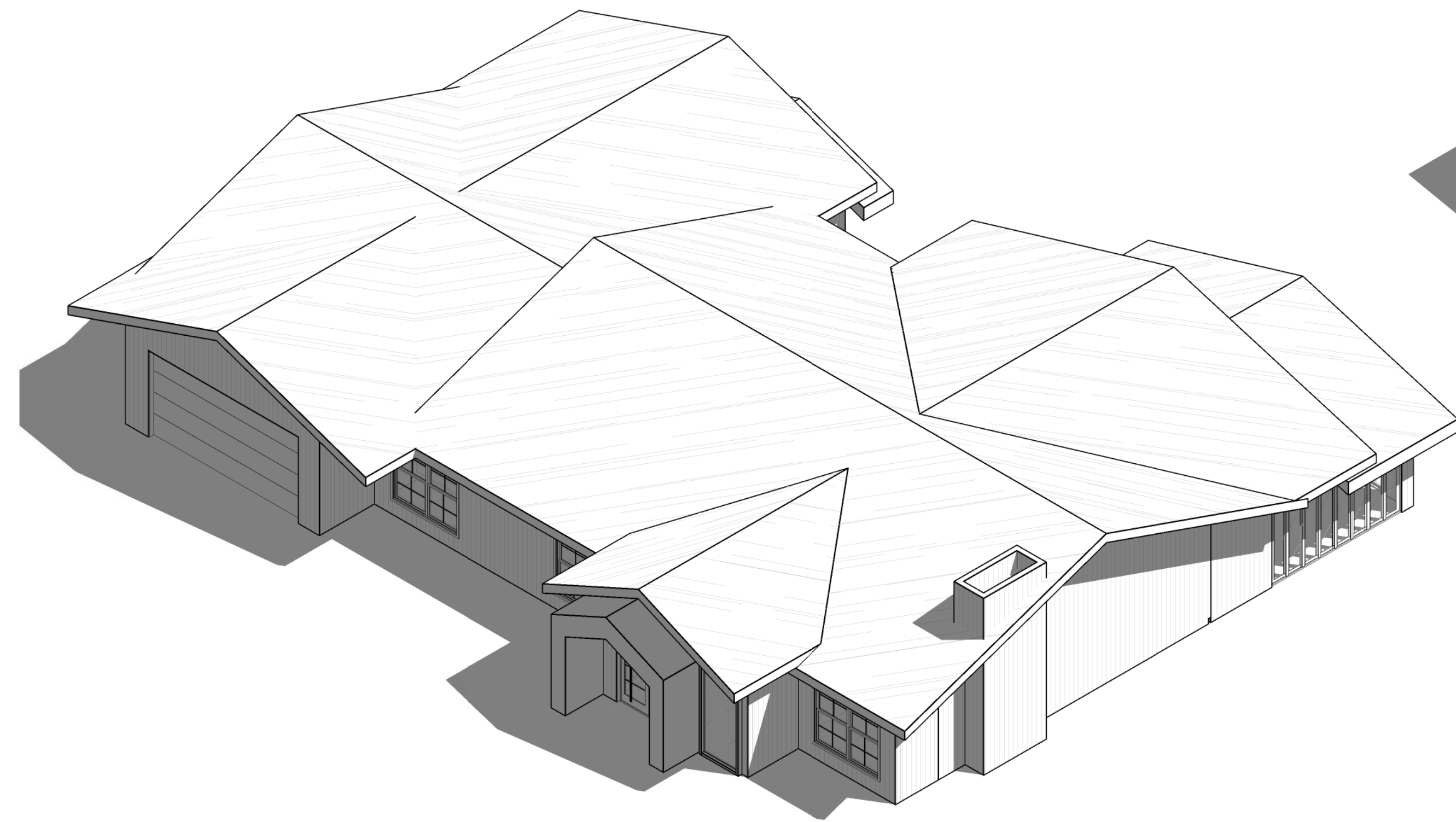
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2025 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Code must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective sections for more information.

Table with 2 columns: Section ID (e.g., § 110.0/110.3) and Description (e.g., Certification, HVAC Efficiency, Controls for Heat Pumps with Supplementary Heaters).

Table with 2 columns: Section ID (e.g., § 110.8(d)(3)) and Description (e.g., Ducts and Fans, Ducts, CMV Compliance).

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Section ID (e.g., § 110.10(d)) and Description (e.g., Documentation, Main Electrical Service Panel).

Table with 2 columns: Section ID (e.g., § 110.5(a)) and Description (e.g., Fireplaces, Decorative Gas Appliances, and Gas Log).

Table with 2 columns: Section ID (e.g., § 110.4(b)) and Description (e.g., Pool and Spa Systems and Equipment, Certification by Manufacturers).

\*Exceptions may apply.

2025 Single-Family Residential Mandatory Requirements Summary

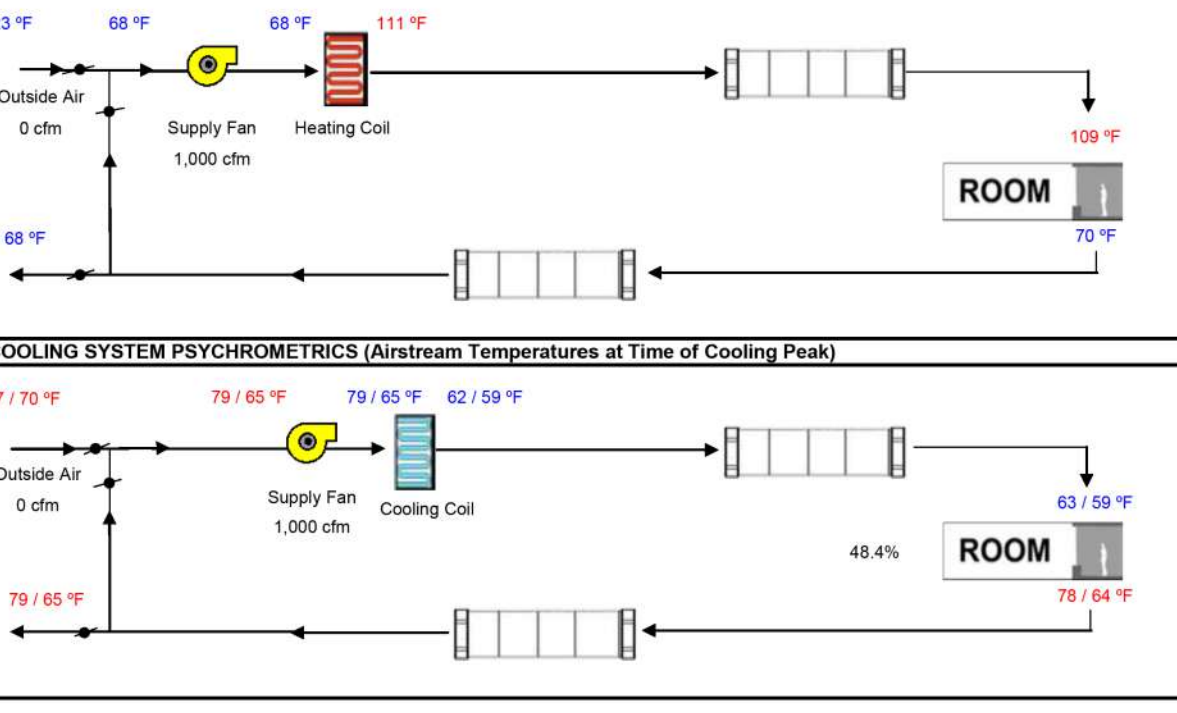
Table with 2 columns: Section ID (e.g., § 150.0(m)(2)) and Description (e.g., platforms and plenums designed or constructed with materials other than sealed sheet metal).

Table with 2 columns: Section ID (e.g., § 150.0(o)(1)) and Description (e.g., Ventilation and Indoor Air Quality, Requirements for Ventilation and Indoor Air Quality).

Table with 2 columns: Section ID (e.g., § 150.0(o)) and Description (e.g., Electric and Battery Energy Storage Ready, Battery Energy Storage System (BESS) Ready).

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Table with columns: ENGINEERING CHECKS, SYSTEM LOAD, COIL COOLING PEAK, COIL HTG. PEAK. Includes sub-tables for Heating System, Return Air Ducts, Air System, and HVAC EQUIPMENT SELECTION.



2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Section ID (e.g., § 150.0(j)) and Description (e.g., with one circuit supplying the refrigerator, one lighting circuit near the primary exit).

Table with 2 columns: Section ID (e.g., § 150.0(k)(1)) and Description (e.g., Lighting, Lighting Controls and Components, Luminaire Efficacy).

Table with 2 columns: Section ID (e.g., § 150.0(k)(5)) and Description (e.g., Residential Garages for Eight or More Vehicles).

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Section ID (e.g., § 110.6(a)(1)) and Description (e.g., Building Envelope, Air Leakage).

Table with 2 columns: Section ID (e.g., § 110.6(a)(2)) and Description (e.g., Labeling, Fenestration products and exterior doors).

Table with 2 columns: Section ID (e.g., § 110.6(a)(3)) and Description (e.g., Insulation Requirements for Heated Slab Floors).

Table with 2 columns: Section ID (e.g., § 110.6(a)(4)) and Description (e.g., Roof Deck, Ceiling, and Rafter Roof Insulation).

Table with 2 columns: Section ID (e.g., § 110.6(a)(5)) and Description (e.g., Wall Insulation, Minimum R-15 insulation in 2x4 inch wood framing wall).

Table with 2 columns: Section ID (e.g., § 110.6(a)(6)) and Description (e.g., Raised-Roof Insulation, Minimum R-19 insulation in wood framed raised-roof).

Table with 2 columns: Section ID (e.g., § 110.6(a)(7)) and Description (e.g., Slab Edge Insulation, Slab edge insulation must meet the following).

Table with 2 columns: Section ID (e.g., § 110.6(a)(8)) and Description (e.g., Vapor Retarder, In climate zones 1 through 16, the earth floor of unvented crawl space).

Table with 2 columns: Section ID (e.g., § 110.6(a)(9)) and Description (e.g., Fenestration Products, Fenestration, including skylights).

Table with 2 columns: Section ID (e.g., § 110.6(a)(10)) and Description (e.g., Single-Family Residences, Single-family residences located in subdivisions).

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Section ID (e.g., § 110.6(a)(1)) and Description (e.g., Building Envelope, Air Leakage).

Table with 2 columns: Section ID (e.g., § 110.6(a)(2)) and Description (e.g., Labeling, Fenestration products and exterior doors).

Table with 2 columns: Section ID (e.g., § 110.6(a)(3)) and Description (e.g., Insulation Requirements for Heated Slab Floors).

Table with 2 columns: Section ID (e.g., § 110.6(a)(4)) and Description (e.g., Roof Deck, Ceiling, and Rafter Roof Insulation).

Table with 2 columns: Section ID (e.g., § 110.6(a)(5)) and Description (e.g., Wall Insulation, Minimum R-15 insulation in 2x4 inch wood framing wall).

Table with 2 columns: Section ID (e.g., § 110.6(a)(6)) and Description (e.g., Raised-Roof Insulation, Minimum R-19 insulation in wood framed raised-roof).

Table with 2 columns: Section ID (e.g., § 110.6(a)(7)) and Description (e.g., Slab Edge Insulation, Slab edge insulation must meet the following).

Table with 2 columns: Section ID (e.g., § 110.6(a)(8)) and Description (e.g., Vapor Retarder, In climate zones 1 through 16, the earth floor of unvented crawl space).

Table with 2 columns: Section ID (e.g., § 110.6(a)(9)) and Description (e.g., Fenestration Products, Fenestration, including skylights).

Table with 2 columns: Section ID (e.g., § 110.6(a)(10)) and Description (e.g., Single-Family Residences, Single-family residences located in subdivisions).

Table with 2 columns: Section ID (e.g., § 110.6(a)(11)) and Description (e.g., Minimum Solar Zone Area, The solar zone must comply with access, pathway).

Table with 2 columns: Section ID (e.g., § 110.6(a)(12)) and Description (e.g., Animals, All sections of the solar zone located on steep-sloped roofs).

Table with 2 columns: Section ID (e.g., § 110.6(a)(13)) and Description (e.g., Shading, No obstructions in solar zone, including but not limited to).

Table with 2 columns: Section ID (e.g., § 110.6(a)(14)) and Description (e.g., Shading, Any obstruction located on the roof or any other part of the building).

Table with 2 columns: Section ID (e.g., § 110.6(a)(15)) and Description (e.g., Structural Design Loads on Construction Documents).

Table with 2 columns: Section ID (e.g., § 110.6(a)(16)) and Description (e.g., Interconnection Pathways, The construction documents must indicate).

Table with 2 columns: Section ID (e.g., § 110.6(a)(17)) and Description (e.g., Single-Family Residences, Single-family residences located in subdivisions).

Table with 2 columns: Section ID (e.g., § 110.6(a)(18)) and Description (e.g., Minimum Solar Zone Area, The solar zone must comply with access).

Table with 2 columns: Section ID (e.g., § 110.6(a)(19)) and Description (e.g., Animals, All sections of the solar zone located on steep-sloped roofs).

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS 1724 Carriage Dr. Walnut Creek, CA 94598 Pghaffari@sp-engs.com 925-239-6686



SHEET TITLE

TITLE 24 DOCUMENT MAIN HOUSE

ISSUES / REVISIONS

Table with 3 columns: NO., DATE, DESCRIPTION

DRAWN Author

CHECKED Checker

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A-T24.02

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 8 columns: 01-08. Includes Project Name, Run Title, City, Zip code, Climate Zone, Building Type, Project Code, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Fuel Type.

Table with 6 columns: 01-06. Includes Existing Area, Addition Area, Total Area, Existing Bedrooms, Addition Bedrooms, Total Bedrooms.

Table with 8 columns: 01-08. Includes Zone Name, Existing Area, Addition Area, Total Area, Existing Bedrooms, Addition Bedrooms, Total Bedrooms, Attached vs. Detached.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 8 columns: 01-08. Includes Project Name, Run Title, City, Zip code, Climate Zone, Building Type, Project Code, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Fuel Type.

Table with 6 columns: 01-06. Includes Existing Area, Addition Area, Total Area, Existing Bedrooms, Addition Bedrooms, Total Bedrooms.

Table with 8 columns: 01-08. Includes Zone Name, Existing Area, Addition Area, Total Area, Existing Bedrooms, Addition Bedrooms, Total Bedrooms, Attached vs. Detached.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 4 columns: 01-04. Includes Long Term System Cost, Efficiency, Total, Source Energy Use, Peak Cooling.

Long term System Cost (LSC) is a 30-year present value cost to California's energy system. LSC is not a traditional utility bill. Efficiency measures include energy efficient improvements such as better building envelope and more efficient mechanical equipment.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 8 columns: 01-08. Includes Energy Use, Standard Design Source Energy, Proposed Design Source Energy, Compliance Margin.

Photovoltaics And Battery: n/a, n/a, n/a, n/a, n/a, n/a, n/a, n/a. Flexibility: n/a, n/a, n/a, n/a, n/a, n/a, n/a, n/a.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 5 columns: 01-05. Includes Gross EUI, Standard Design, Proposed Design, Margin.

Table with 8 columns: 01-08. Includes Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System, Status.

Table with 10 columns: 01-10. Includes Name, Zone, Construction, Admittance, Orientation, Gross Area, Windows and Doors, TIR, Wall Exceptions, Status.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 10 columns: 01-10. Includes Name, Zone, Construction, Admittance, Orientation, Area, Skylight Area, Roof Rise, CRRC, R-value, CRRC, R-value, CRRC, R-value.

Table with 10 columns: 01-10. Includes Name, Type, Surface, Orientation, Admittance, Mult., Area, U-factor, SHGC, Rating Source.

Table with 7 columns: 01-07. Includes Name, Zone, Area, Perimeter, Edge Insul. R-value, Edge Insul. Depth, Heated.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 9 columns: 01-09. Includes Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Confine R-value, U-factor, Assembly Layers, Non-Std Storm Form.

Table with 9 columns: 01-09. Includes Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, ECC Verification, Water Heater Name.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 13 columns: 01-13. Includes Name, Heating Element Type, Tank Type, # of Units, Tank Vol, Heating Efficiency, Efficiency, Hot Water, Heat Rating, Tank Installation R-value, Standby Loss or Recovery Eff, Air He. Rating or Flow Rate, Tank Location.

Table with 10 columns: 01-10. Includes Name, # of Units, Tank Vol, NEA Heat Pump Model, NEA Heat Pump Brand, Tank Location, Duct Insul. Air Source, Duct Outlet Air Source, UEF, JAI3 Compliant.

Table with 13 columns: 01-13. Includes Name, System Type, Number of Units, Heating Efficiency Type, JSP/HSP/FCOP, Cap 47, Cap 17, Backup, Cooling Efficiency Type, EER/SEER/EER, Airflow Target, Fan Power (Watt/CFM), Variable Speed.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 8 columns: 01-08. Includes Dwelling Unit, Airflow, Fan Efficiency, IAQ Fan Type, Includes Fresh Air Recovery, Includes Fresh Air Indicator Display, Status.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 43 La Serena Ct, Alamo ADU Calculation Date/Time: 2026-02-10T11:23:47-08:00

Table with 8 columns: 01-08. Includes Name, Zone, Area, Perimeter, Edge Insul. R-value, Edge Insul. Depth, Heated.

Documentation Author's Declaration Statement: I, the undersigned, certify that the information provided in this certificate is true and correct to the best of my knowledge and belief.

Responsible Person's Declaration Statement: I, the undersigned, certify that the information provided in this certificate is true and correct to the best of my knowledge and belief.

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

Registration Number: 426-P010413384-000-0000000-0000 Registration Date/Time: 02/10/2026 11:24 EEC Provider: CHEERS

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



SHEET TITLE TITLE 24 DOCUMENT ADU

ISSUES / REVISIONS NO. DATE DESCRIPTION

Table with 2 columns: DRAWN, CHECKED, DATE, REVISED DATE, JOB NO., SHEET NO. and Author, Checker, 03-06-26, 03-06-26, XXXXXX, A-T24.03

2025 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Code must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective sections for more information.

Table with 2 columns: Code Section and Description. Includes sections for Space Conditioning, Water Heating, and Plumbing Systems, and Ducts and Fans.

Table with 2 columns: Code Section and Description. Includes sections for Ducts and Fans.

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Documentation, Main Electrical Service Panel, Fireplaces, Decorative Gas Appliances, and Gas Log.

Table with 2 columns: Code Section and Description. Includes sections for Pool and Spa Systems and Equipment.

\*Exceptions may apply.

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for platforms, plexus, and ductwork.

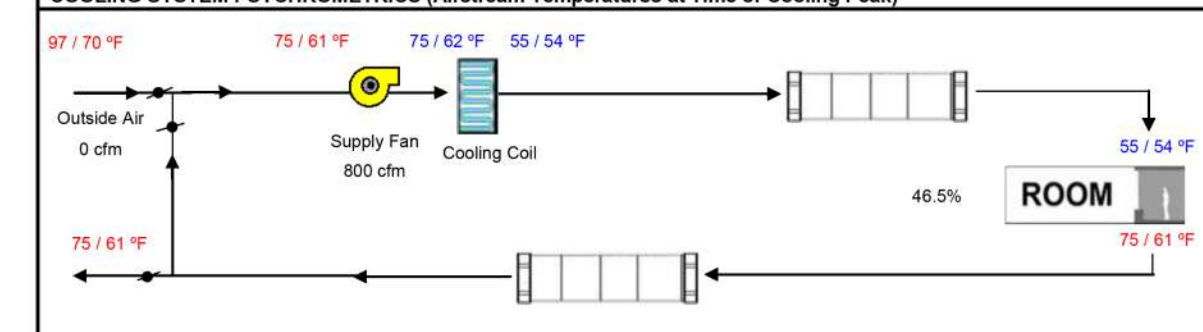
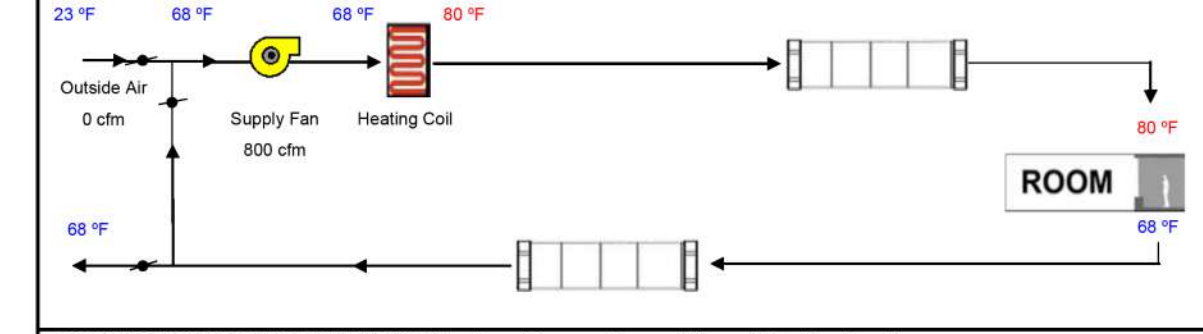
Table with 2 columns: Code Section and Description. Includes sections for Ventilation and Indoor Air Quality.

Table with 2 columns: Code Section and Description. Includes sections for Electric and Battery Energy Storage Ready.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Table with 2 columns: ENGINEERING CHECKS and SYSTEM LOAD. Includes sections for Heating System, Cooling System, and Air System.

Note: values above given at ARI conditions. HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)



2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Heat Pump Space Heater Ready, Electric Cooktop Ready, and Electric Clothes Dryer Ready.

Table with 2 columns: Code Section and Description. Includes sections for Lighting Controls and Components, Luminaire Efficacy, Recessed Downlight Luminaires in Ceilings, Light Sources in Enclosed or Recessed Luminaires, Blank Electrical Boxes, and Indoor Lighting Controls.

Table with 2 columns: Code Section and Description. Includes sections for Battery Energy Storage Ready.

2025 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code Section and Description. Includes sections for Building Envelope, Solar Readiness, and Vapor Retarder.

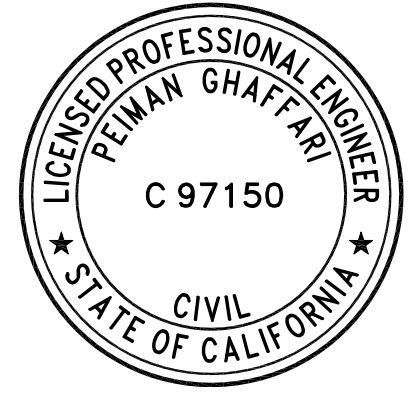
Table with 2 columns: Code Section and Description. Includes sections for Vapor Retarder, Vapor Retarder, and Vapor Retarder.

PROJECT NAME

43 La Serena Ct, Alamo, CA 94507



S&P PROFESSIONAL ENGINEERS 1724 Carriage Dr., Walnut Creek, CA 94598 Pghaffari@sp-engs.com 925-239-6686



EXP: 03/31/27 Pirmun Ghaffari

SHEET TITLE

TITLE 24 DOCUMENT ADU

ISSUES / REVISIONS

Table with 3 columns: NO., DATE, DESCRIPTION

DRAWN Author

CHECKED Checker

DATE 03-06-26

REVISED DATE 03-06-26

JOB NO. XXXXXX

SHEET NO. A-T24.04