



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><b><u>INTERNAL</u></b></p> <p> <input type="checkbox"/> Building Inspection      <input type="checkbox"/> Grading Inspection  <input type="checkbox"/> Advance Planning      <input type="checkbox"/> Housing Programs  <input type="checkbox"/> Trans. Planning      <input type="checkbox"/> Telecom Planner  <input type="checkbox"/> ALUC Staff      <input type="checkbox"/> HCP/NCCP Staff  <input type="checkbox"/> APC PW Staff      <input type="checkbox"/> County Geologist         </p> <p><b><u>HEALTH SERVICES DEPARTMENT</u></b></p> <p><input type="checkbox"/> Environmental Health    <input type="checkbox"/> Hazardous Materials</p> <p><b><u>PUBLIC WORKS DEPARTMENT</u></b></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts)  <input type="checkbox"/> Traffic  <input type="checkbox"/> Flood Control (Full-size)    <input type="checkbox"/> Special Districts         </p> <p><b><u>LOCAL</u></b></p> <p> <input type="checkbox"/> Fire District _____              <input type="checkbox"/> San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>              <input type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfdp.org">fire@cccfdp.org</a>              <input type="checkbox"/> East CCC – (email) <a href="mailto:brodriguez@cccfdp.org">brodriguez@cccfdp.org</a>  <input type="checkbox"/> Sanitary District _____  <input type="checkbox"/> Water District _____  <input type="checkbox"/> City of _____  <input type="checkbox"/> School District(s) _____  <input type="checkbox"/> LAFCO  <input type="checkbox"/> Reclamation District # _____  <input type="checkbox"/> East Bay Regional Park District  <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD  <input type="checkbox"/> MAC/TAC _____  <input type="checkbox"/> Improvement/Community Association  <input type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)         </p> <p><b><u>OTHERS/NON-LOCAL</u></b></p> <p> <input type="checkbox"/> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)  <input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta  <input type="checkbox"/> Native American Tribes         </p> <p><b><u>ADDITIONAL RECIPIENTS</u></b></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p> <input type="checkbox"/> Active Fault Zone (Alquist-Priolo)  <input type="checkbox"/> Flood Hazard Area, Panel # _____  <input type="checkbox"/> 60-dBA Noise Control  <input type="checkbox"/> CA EPA Hazardous Waste Site              High or Very High FHSZ         </p> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None    <input type="checkbox"/> Below    <input type="checkbox"/> Attached</p> <p>_____</p> <p>Print Name _____</p> <p>_____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR24-01044**

**File Date: 9/23/2024**

**Applicant:**

Bacilia Macias Bacilia Macias Architecture  
6007 NE Sacramento St  
Portland, OR 97213

bacilia@bmarch.net  
(510) 691-7910

**Property Owner:**

EDUARDO LANDEROS  
2204 PINE AVE  
SAN PABLO, CA 948064487

eduardolanderos26@yahoo.com  
(415) 531-6111

**Project Description:**

The applicant requests approval of a variance to allow for a 14 foot aggregate side yard setback (where 15 is the minimum), a 9-foot front yard and public road setback (where 20' is the minimum for the front yard setback and where 10' is the minimum for the public road setback), a tree permit for work within the dripline and removal of 1 tree (vacant lot) and small lot design review for the construction of a 2238 sq ft house.

**Project Location: (Address: 1518 BARTH AVE, SAN PABLO, CA 948064214), (APN: 419192015)**

**Additional APNs:**

**General Plan Designation(s):** SH

**Zoning District(s):** R-6

**Flood Hazard Areas:** X

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:** East Richmond Heights

**Sphere of Influence:** San Pablo

**Fire District:** CONSOLIDATED FIRE

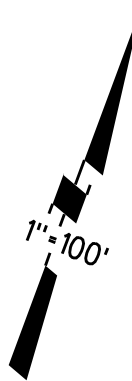
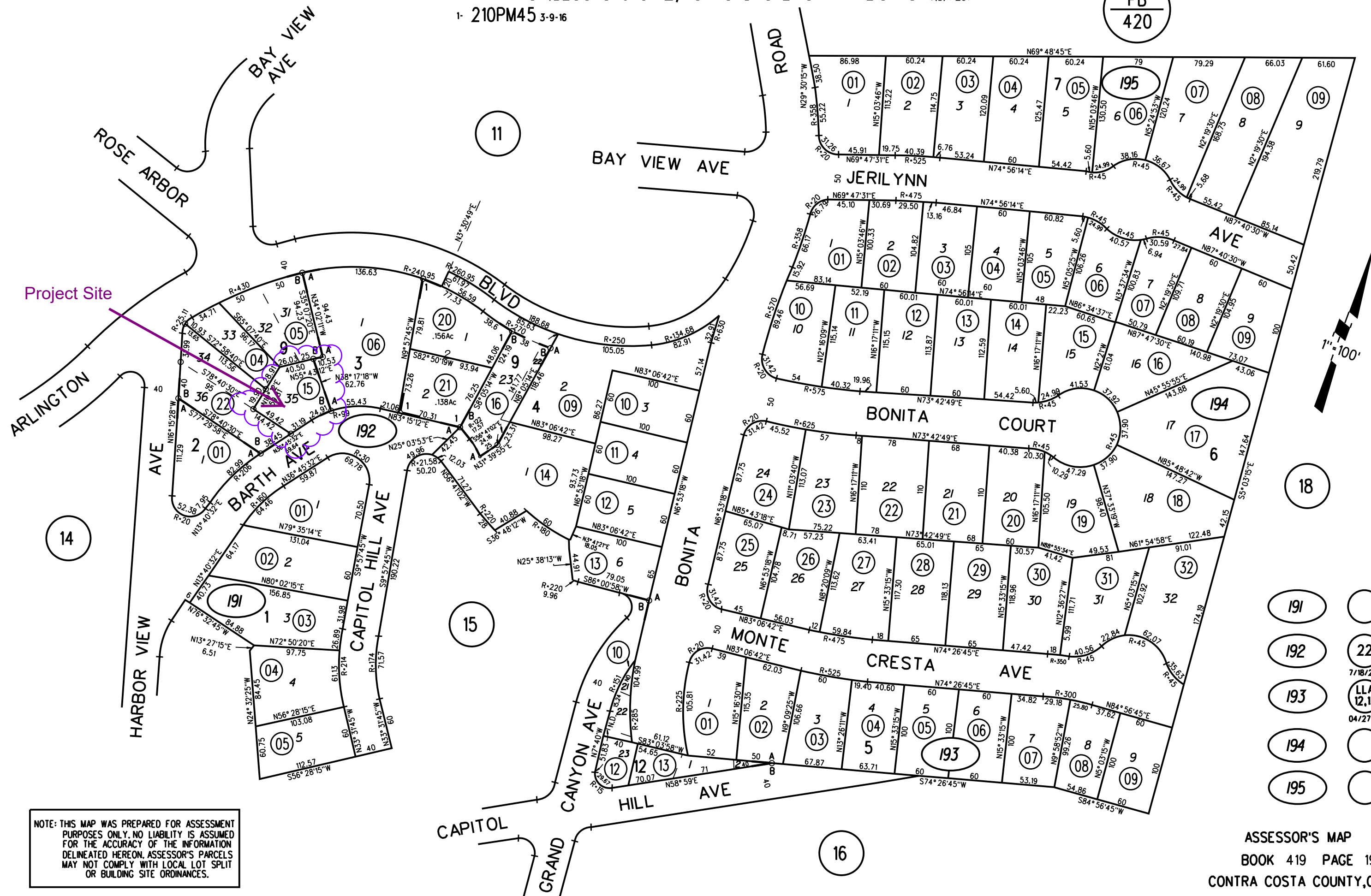
**Sanitary District:** WEST CO WASTEWATER

**Housing Inventory Site:**

**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3412.00</b>	<b>3412.00</b>

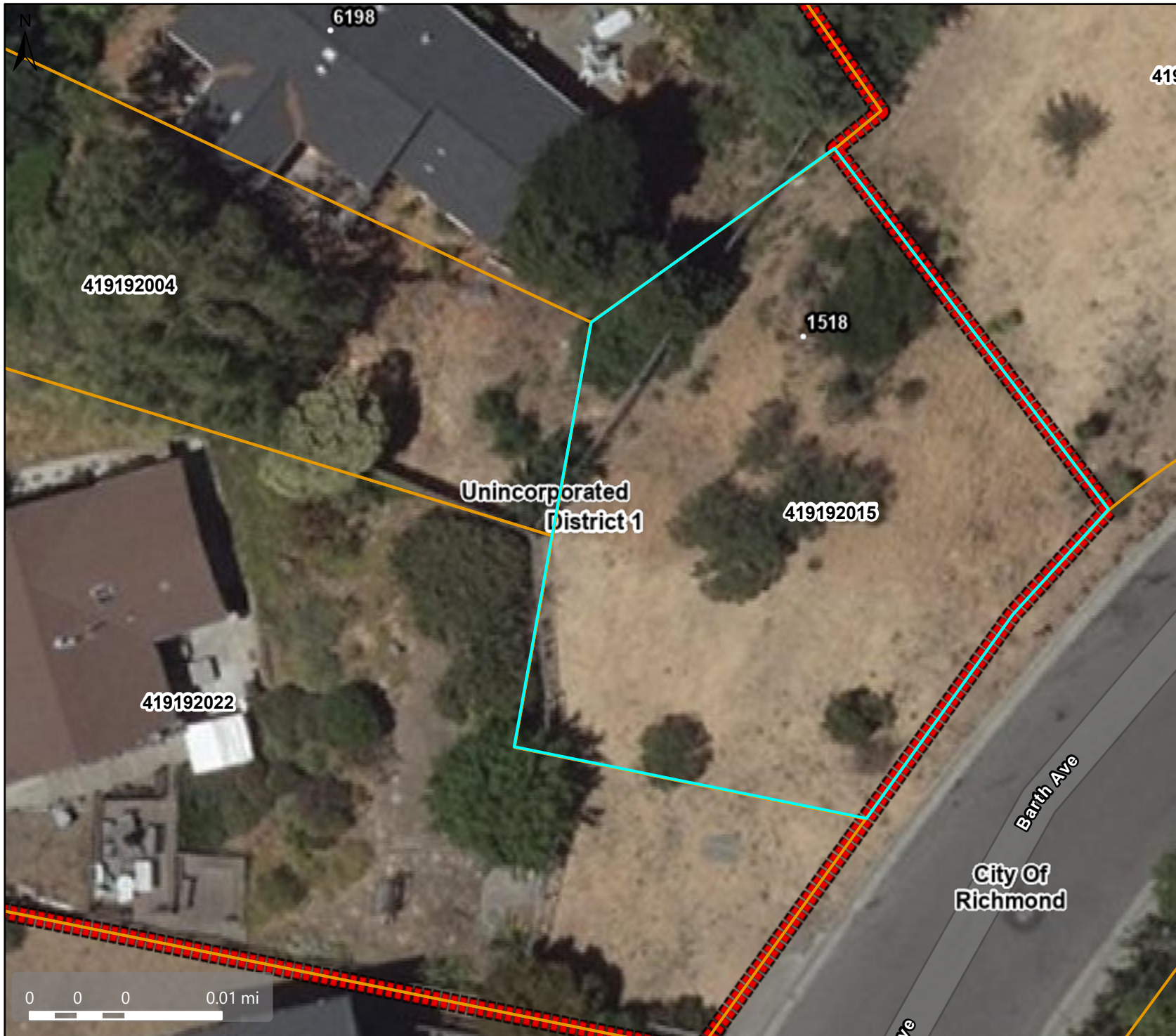
PB  
420








NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

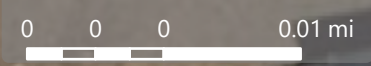
- 191
- 192
- 193
- 194
- 195
- 22
- 7/18/22
- LLA 12,13
- 04/27/10





### Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  City Limits
-  Board of Supervisors' Districts
- Base Data**
-  Address Points

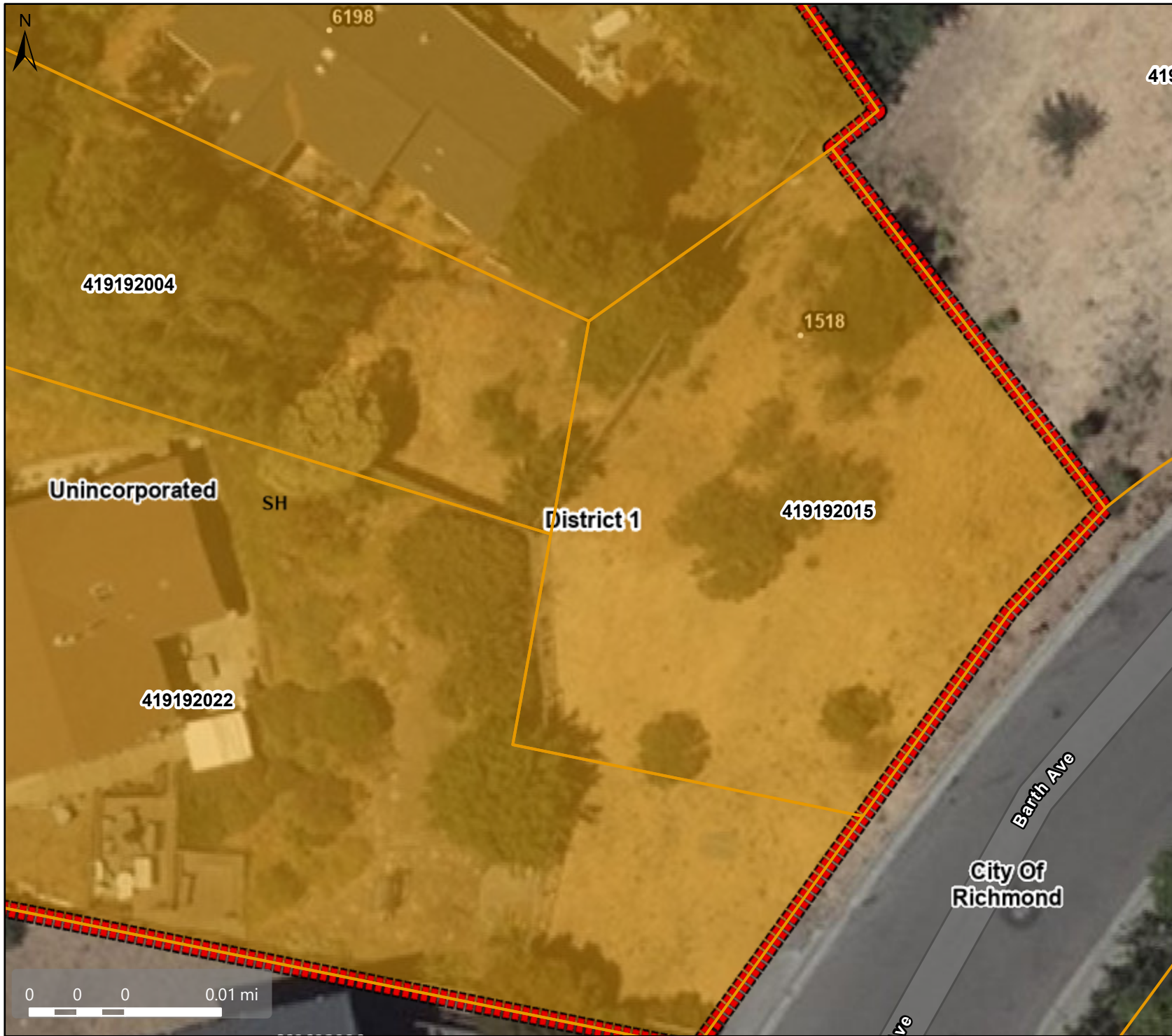


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**THIS MAP IS NOT TO BE USED FOR NAVIGATION.**

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Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984



### Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SH (Single Family Residential - High) 5.0 - 7.2 Units per Net Acre
-  Unincorporated
-  City Limits
-  Board of Supervisors' Districts
- Base Data**
-  Address Points



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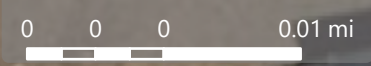
Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984





### Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE\_OVER**
- R-6 (Single Family Residential)
- Unincorporated
- City Limits
- Board of Supervisors' Districts
- Base Data**
- Address Points



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**Spatial Reference**  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984



**GENERAL NOTES**

All work shall comply with the CRC and all other codes and requirements, in their most recent edition. Building Inspection Dept. ordinances California State Building Code California Title 24 Energy codes NEC Amendments of the California plumbing, mechanical and electrical codes.

Contractor is to obtain any required permits for this work.

Contractor shall be responsible for all electrical, plumbing and fire protection work required by the Bldg. Dept.

Contractor shall verify all dimensions and existing conditions prior to starting work. Any discrepancies shall be reported to the designer for review.

Do not scale drawings. Dimensions shall take precedence over scale.

Contractor shall visit site prior to submission of bid to review scope of work, demolition, etc.

Dimensions are to face of finish, unless otherwise noted (U.O.N)

Cutting and demolition shall be done by methods which will not jeopardize structural integrity of existing construction and will not damage portions to remain.

Contractor shall remove, cut, cap and repair as necessary any utilities, including by not limited to : electrical, mechanical plumbing and fire sprinkler, where partitions are scheduled for demolition or are no longer operational or in service. All other existing utilities are are to remain fully operational.

Contractor is to provide all necessary dust protection and/or barracading required to protect adjacent spaces and existing finishes. Contractor is responsible to repair any damages caused by contractor or their subcontractors.

Patch and repair any damages to floor, walls, ceilings, hardware, fixtures, windows, etc. as a result of the constuction process. Match existing adjacent finishes as closely as possible. Align and sand smooth.

In general, the Owner reserves the right to retain all material and equipment removed from the project. Any item or material not desired by the Owner are to be removed from the site by Contractor at Contractor's expense.

If any questions arise as to the installation of any materials and/or equipment, or with the construction documents, the Contractor shall clarify the point with the Architect or Designer before proceeding.

If any questions arise due to existing conditions apparent discrepancy between construction documents or any other reason, the contractor will immediately notify the Architect or Designer and clarify the point with the architect or designer.

Safety Measures: At all times the Contractor shall be solely and completely responsible for conditions of th job site including safety of persons and property.

Total thickness of new walls shall match that of adjacent walls. U.O.N.

Construction of new walls, ceilings utilities, etc. shall be modified with Architect's/Designer's approval, when in conflict with existing conditions.

Dimensions noted clear(clr) are not adjustable without approval by Architect/Designer.

The Contractor shall do all cutting, fitting or patching of work that may be required to make all parts fit together properly and shall not endanger any other work by cutting excavation or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaced replaced will, upon completion, match surrounding similar surfaces.

Install backing at walls as required for all wall mounted items including plumbing fixtures, cabinet work, etc.

All exterior openings are to be weather-stripped.

Studs and furring shall provide plumb, true straight and rigid framing for support of collateral materials.

Install metal corner beads at all exposed outside gypsum board edges. All gypsum wallboard shall be 3-coat finished, taped, topped and sanded between coats. Finished surfaces shall be plumb, level and planes, pplied vertically with joints on bearings. All gypsum wallboard shall be mill finished 48" by5/8" thick, unless otherwise noted by maximum length to minimize horizontal joints and tapered edges.

Contractor is responsible for all construction clean up. The building site shall be kept free of debris and cleaned up daily

No wall telephone or electrical outlets shall be mounted back to back.

The American with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications ("plan") represent the Designer's opinion regarding it's interpretation of the ADA as it applies to the subject project. It is not in any way a warranty or guarantee that said plans comply with any or all possible interpretations of the ADA by others.

**ABBREVIATIONS**

Table with 4 columns: Abbreviation, Full Name, and other details. Includes entries like A.B. ANCHOR BOLT, ADJ. ADJACENT, etc.

**ADDITIONAL NOTES**

**FIRE SAFETY**

Portable Fire Extinguishers: Structures under construction, alteration or demolition shall be provided with approved fire extinguishers in accordance with CBC §906 and sized for not less than ordinary hazard as follows per CBC §3309.1.

**Fire Safety during Construction:**

Smoking shall be prohibited except in designated areas with approved ashtrays. All other areas must have "No Smoking" signage posted around construction areas in accordance with CFC§310. [CFC§3304.1]

**PROPOSED AREA SUMMARY**

Table with 2 columns: FLOOR, AREA. Rows include FIRST FLOOR (1229 SQ FT), SECOND FLOOR (1184 SQ FT), TOTAL LIVING SPACE (2413 SQ FT).

**PROJECT INFORMATION**

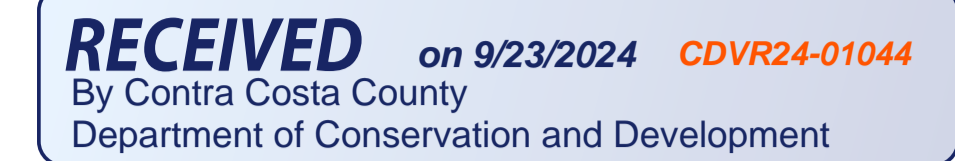
PROJECT NAME: 1518 BARTH AVE
PROJECT ADDRESS: 1518 BARTH AVE, SAN PABLO, CA 94806
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B NON-RATED
SPRINKLERS: YES
ZONNING: R-6
LOT SIZE: 4709 SF
AREA OF WORK: FIRST FLOOR SECOND FL. LIVING: 744.2 1048.2 GARAGE: 446.3 TOTAL: 1190.5
TOTAL LIVING SPACE : 1792.4 SQ FT. TOTAL AREA OF HOME: 2238.7 SQ FT.
LOT COVERAGE: PROPOSED 51% = 2413 SF
APN: 419192015
SETBACK: FRONT SETBACK REQUIRED 20FT / PROPOSED 5FT SIDE SETBACK REQUIRED 10FT TOTAL(5 FT EACH SIDE) REAR SETBACK 15FT
PARKING SPACE: 2 CAR PARKING
HEIGHT ALLOWED: 35' MAX OR 2.5 STORIES

**SYMBOLS LEGEND**

- 1 A0.0 ELEVATION TAG
1 A0.0 SECTION TAG
1 A0.0 INTERIOR ELEVATION TAG
101 DOOR TAG
1 WINDOW TAG
? KEYNOTES
1 LIGHTING FIXTURE TAG
ROOM ROOM NAME
(+7'-1/2") CEILING HEIGHT
WALL TO REMAIN
ITEM TO BE DEMOLISHED
NEW WALL - 1 HOUR RATED
NEW EXTERIOR WALL

**PROJECT SCOPE**

NEW RESIDENCE ON VACANT LOT



**DRAWING INDEX**

Table with 2 columns: SHEET NO., SHEET NAME. Rows include A.0.0 COVER PAGE, A.0.1 PROPOSED SITE PLAN, A.1.0 IMAGES OF MODEL ON SITE, etc.

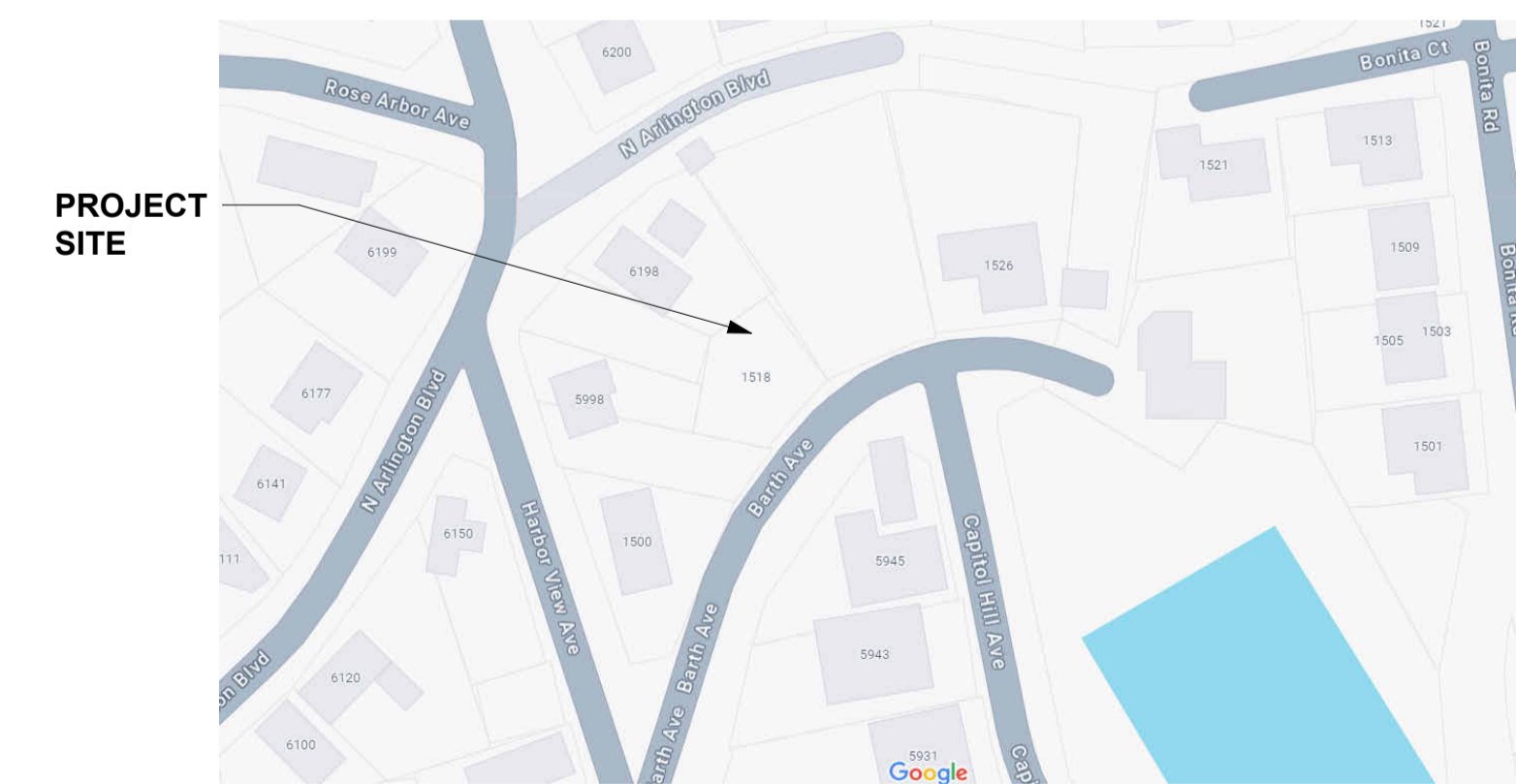
**CODES**

2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 NATIONAL ELECTRICAL CODE (NEC)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA EXISTING BUILDING CODE (AS APPLICABLE AND AMENDED BY CONTRA COSTA COUNTY)

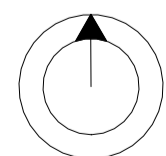
**PROJECT TEAM**

ARCHITECT: BACILIA MACIAS ARCHITECTURE
STRUCTURAL ENGINEER: TBD

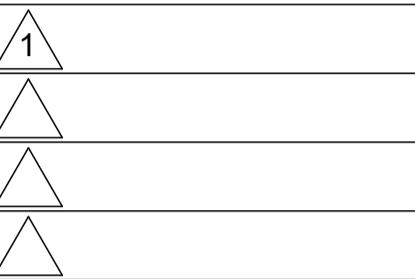
**VICINITY MAP**



NORTH



6007 NE Sacramento St. Portland, OR 97213
bacilia@bmarch.net
www.baciliamacias.com
P: 510.929-0727



OWNER: EDUARDO LANDEROS
2204 PINE AVE
SAN PABLO, CA 94806
PH: 415-531-6111

**PLANNING SET**

NEW RESIDENCE
1518 BARTH AVE, SAN PABLO, CA 94806
APN 419192015

DRAWN BY: BM

DATE: 9/18/2024



SHEET TITLE:

COVER PAGE

SHEET NO:

A.0.0

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REVISIONS      DATE

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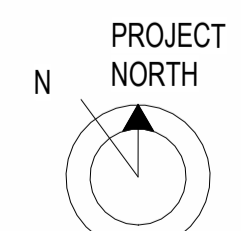
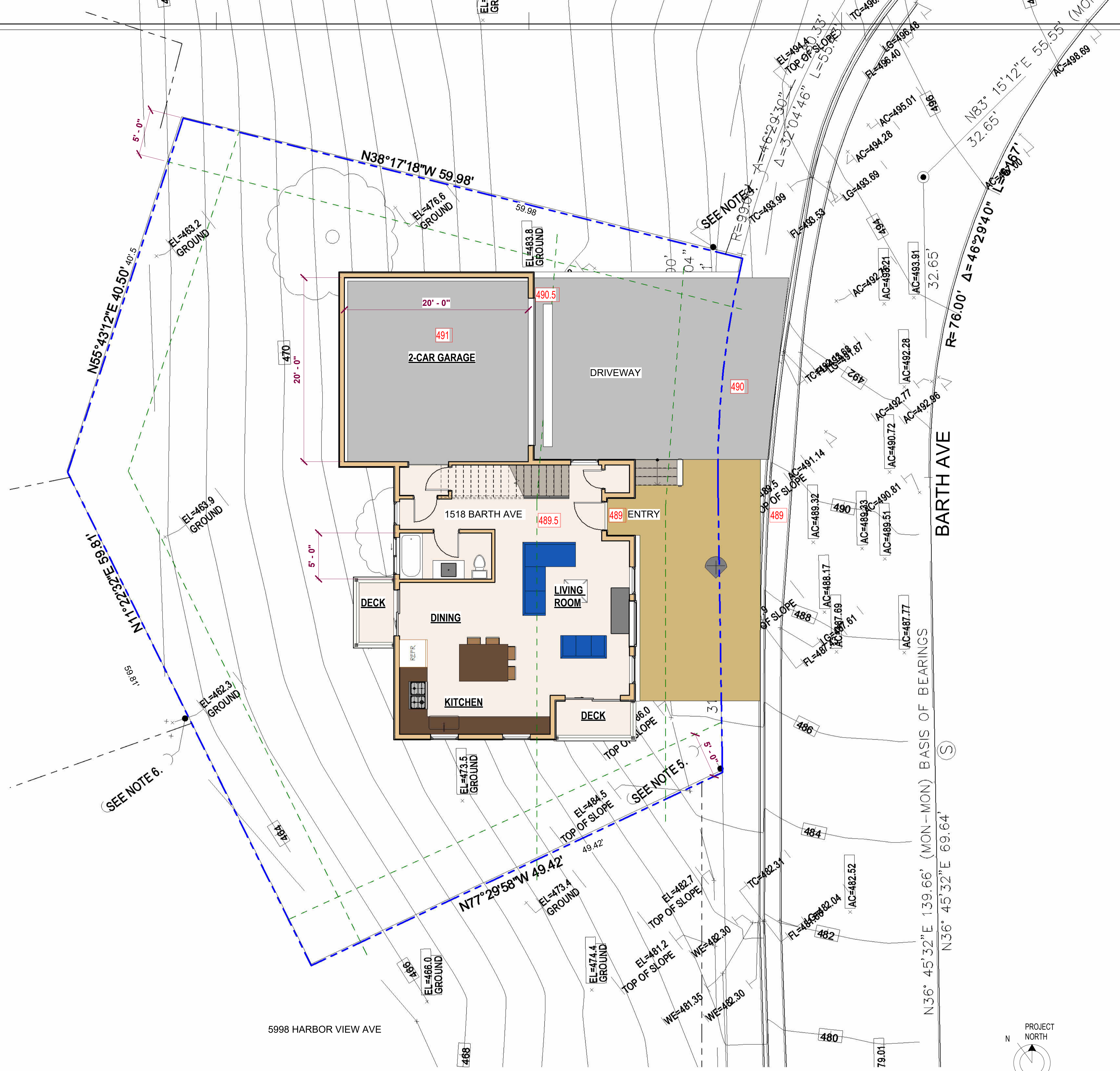
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PROPOSED SITE PLAN

SHEET NO:

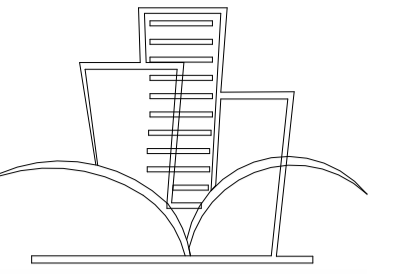
A.0.1

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**1** PROPOSED SITE PLAN  
3/16" = 1'-0"





BACILIA MACIAS  
ARCHITECTURE

6007 NE Sacramento St.  
Portland, OR 97213  
bacilia@bmacarch.net  
www.baciliamacias.com  
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▲	
▲	
▲	
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DRAWN BY:                      BM

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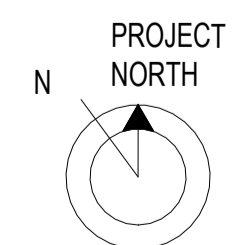
SHEET TITLE:

IMAGES OF  
MODEL ON SITE

SHEET NO.:

A.1.0

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PLANNING SET

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APN 419192015

DRAWN BY:      BM

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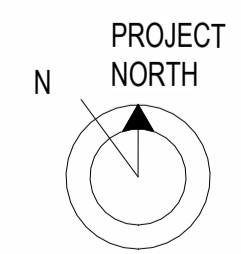
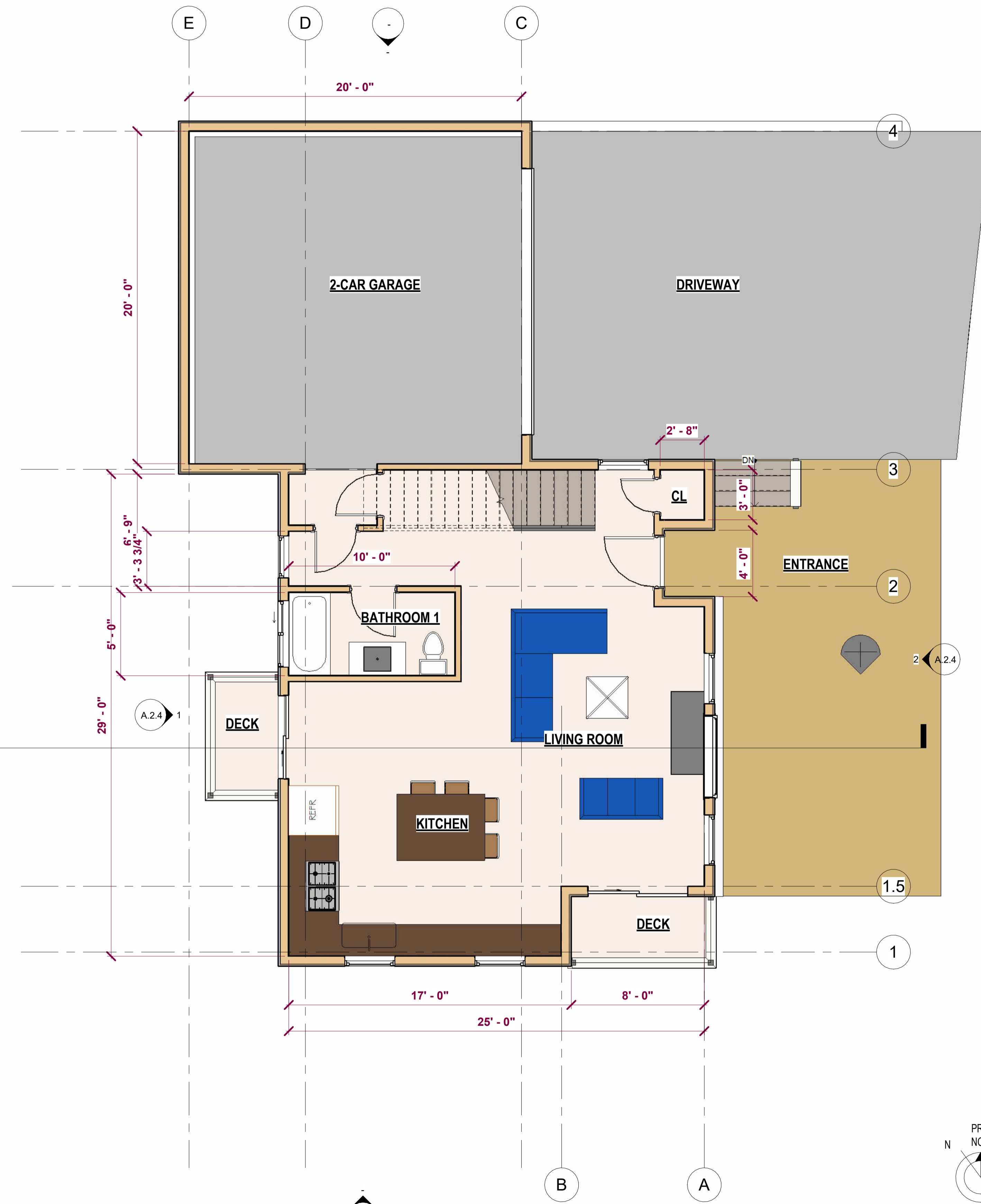
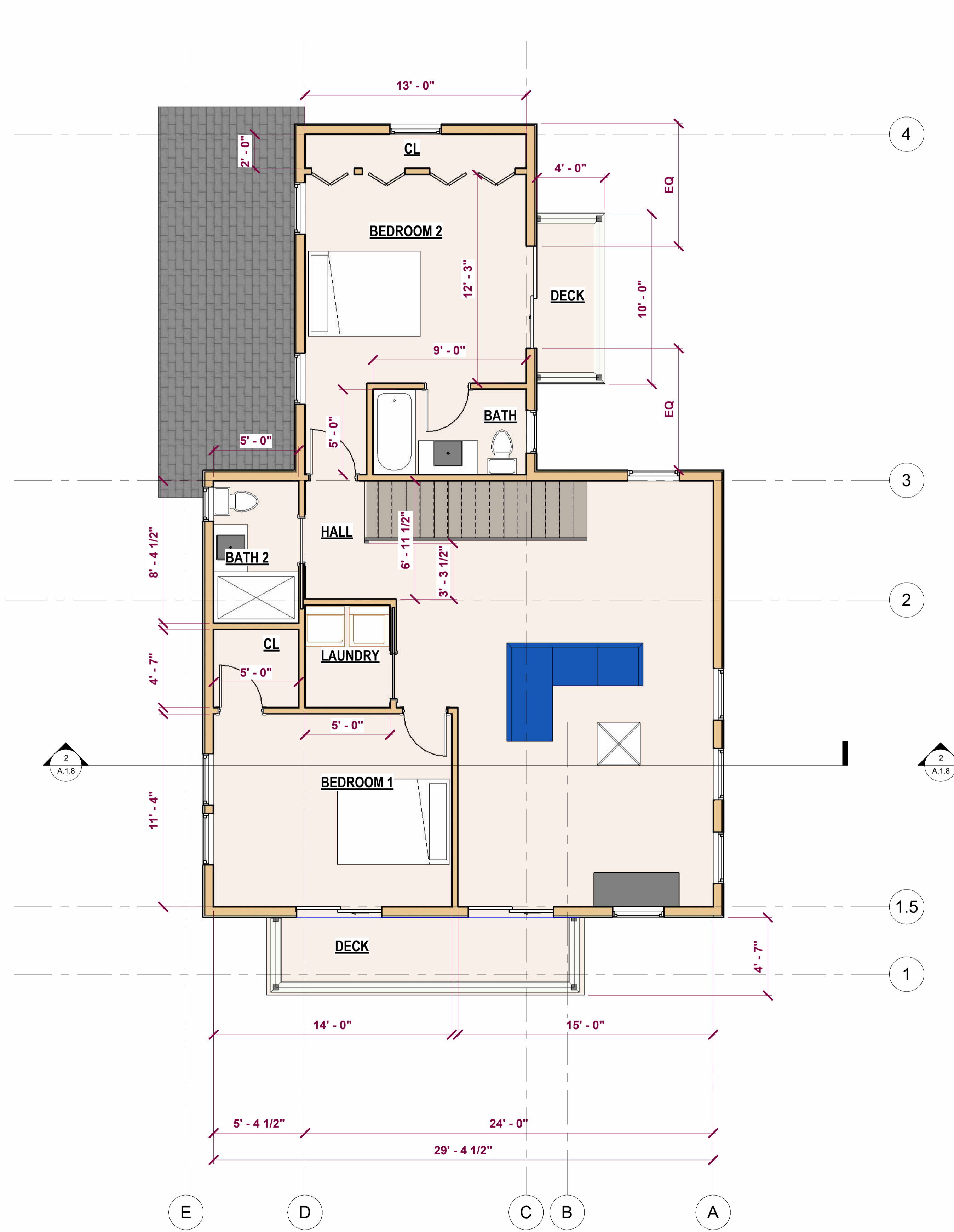
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PROPOSED  
FLOOR PLANS

SHEET NO:

A.1.4

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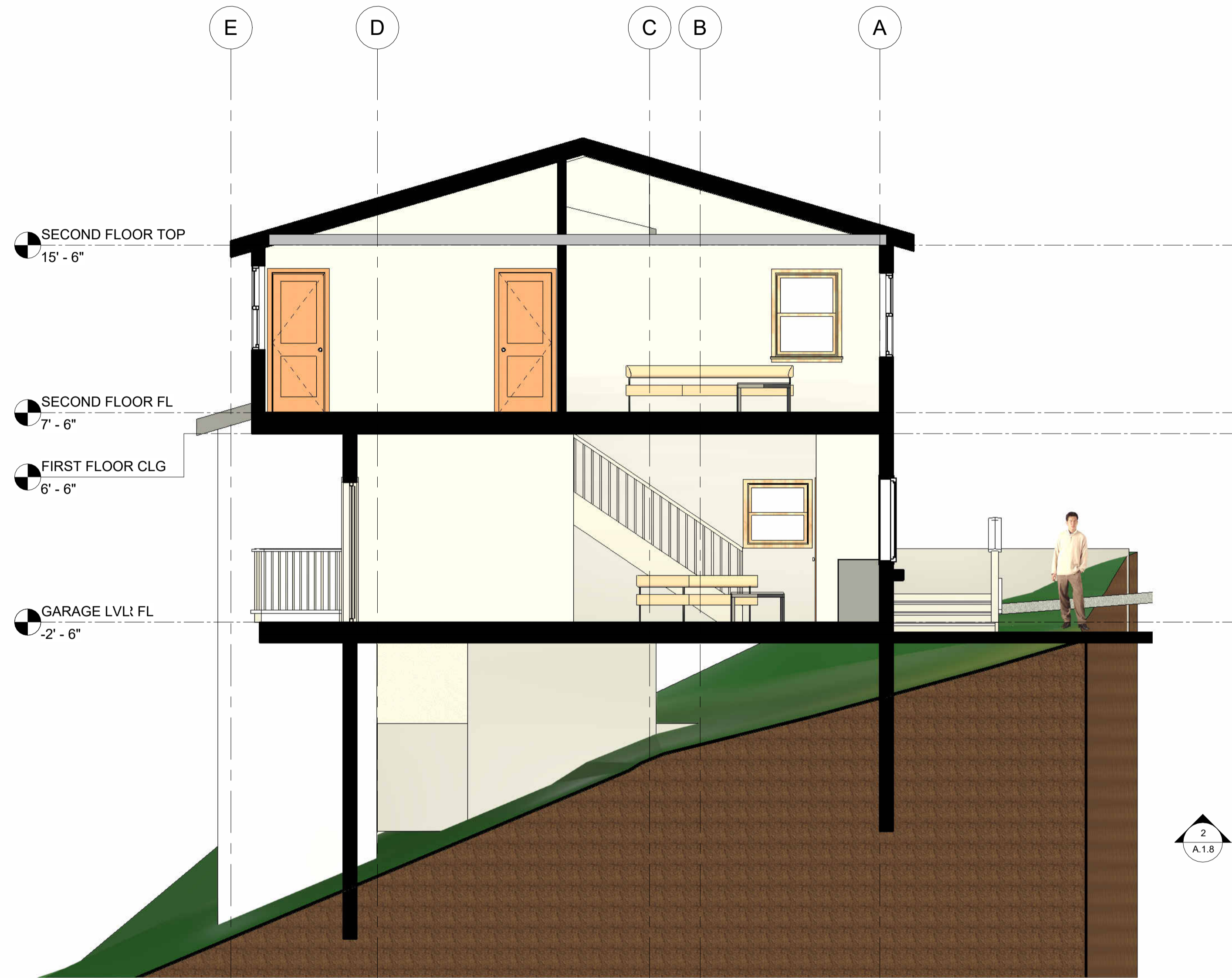


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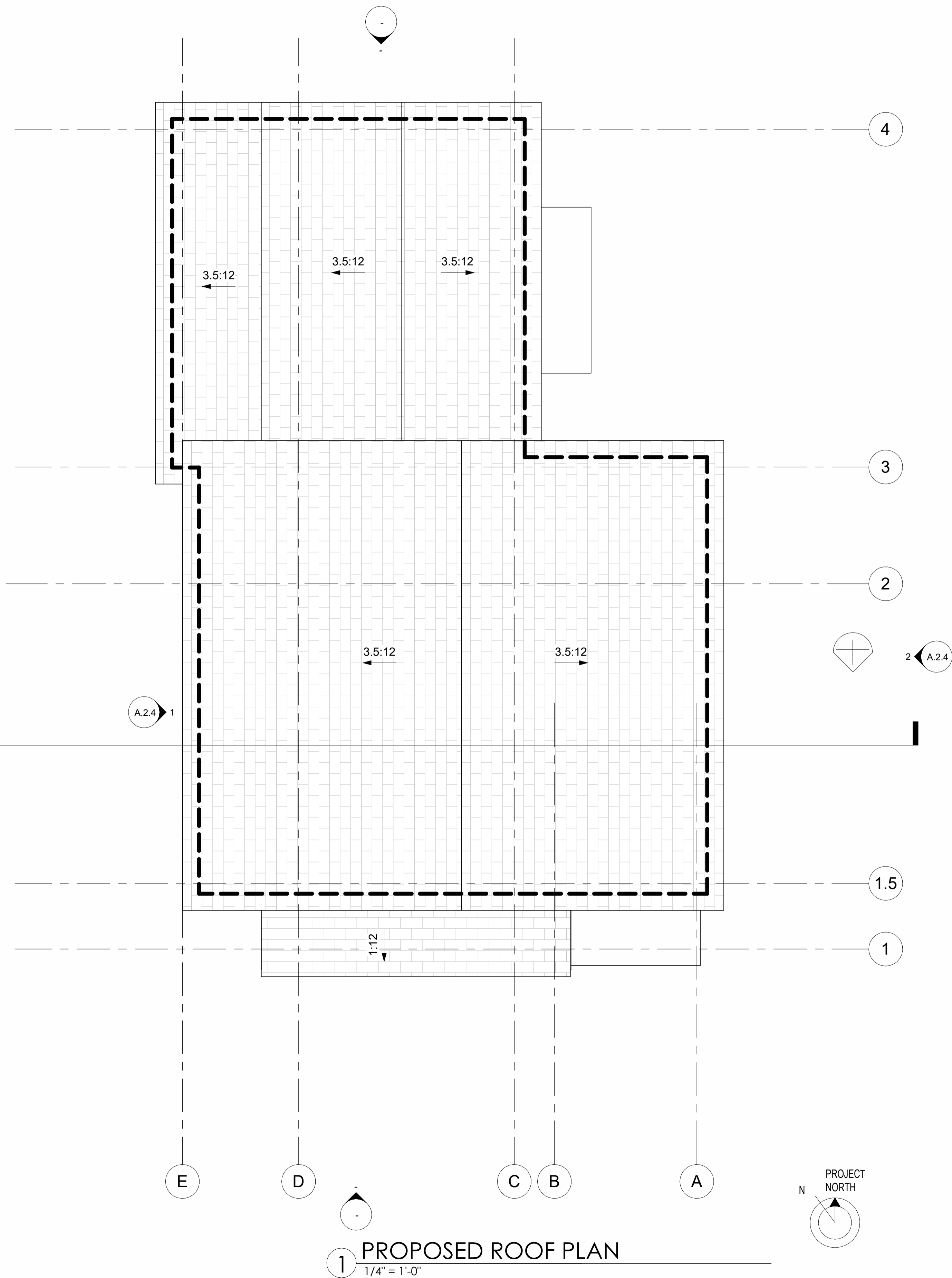
PROPOSED ROOF PLAN

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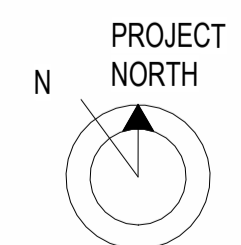
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2 BUILDING SECTION  
1/4" = 1'-0"



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"





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PLANNING SET

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APN 419192015

DRAWN BY: BM

DATE: 9/18/2024

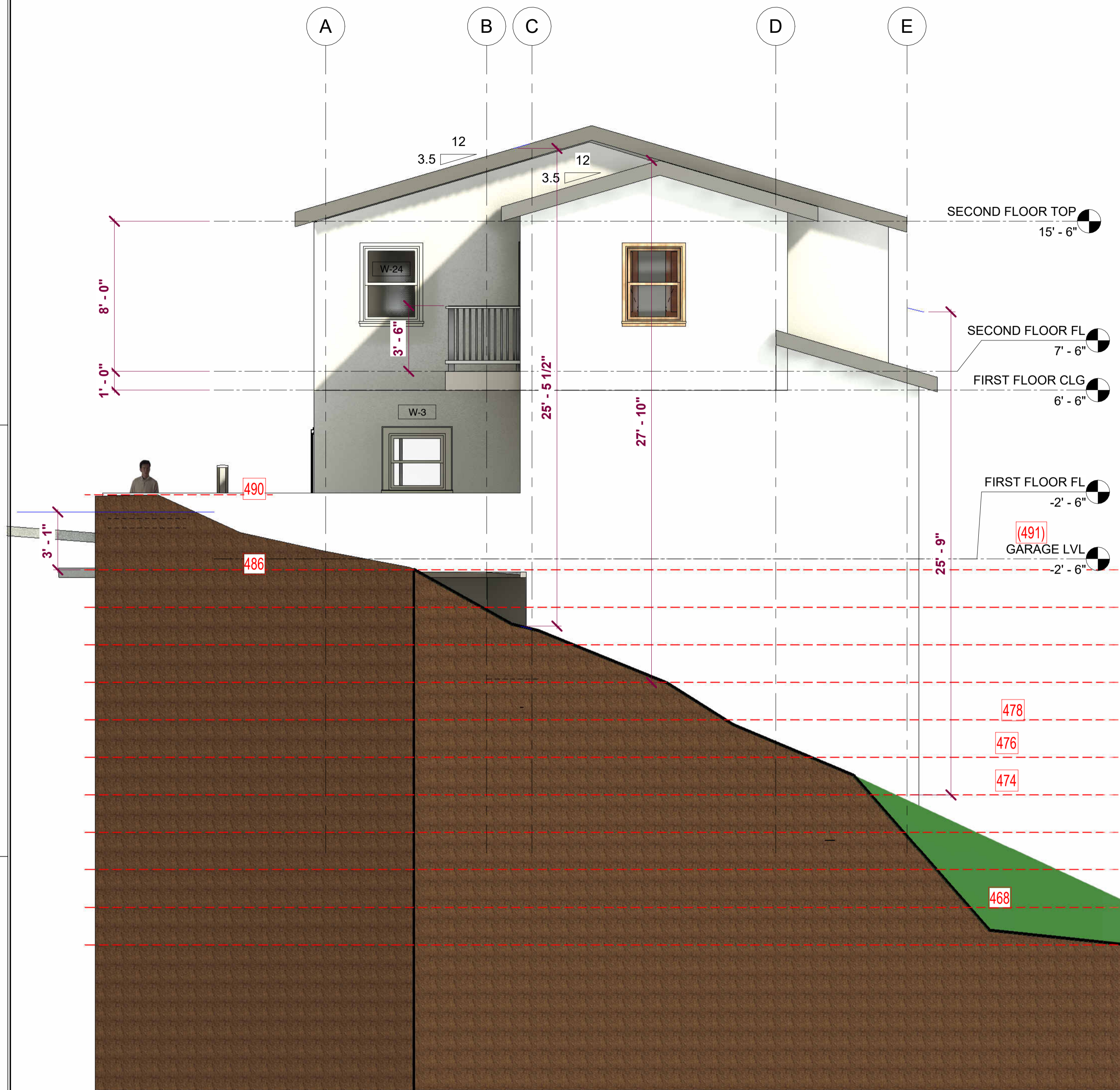


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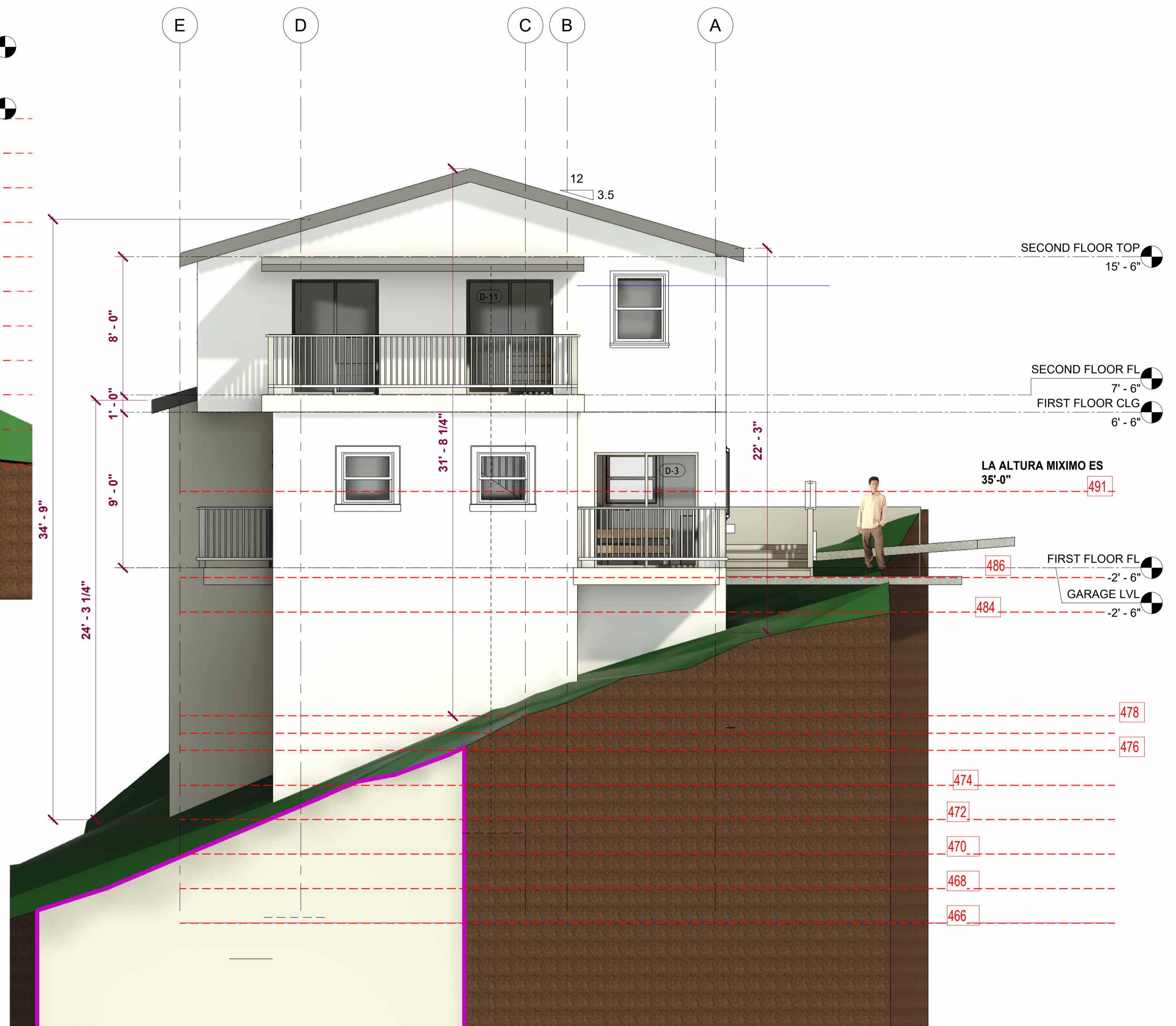
PROPOSED  
EXTERIOR  
ELEVATIONS

SHEET NO:  
A.2.3

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2 NORTH ELEVATION  
1/4" = 1'-0"



4 SOUTH ELEVATION  
1/4" = 1'-0"





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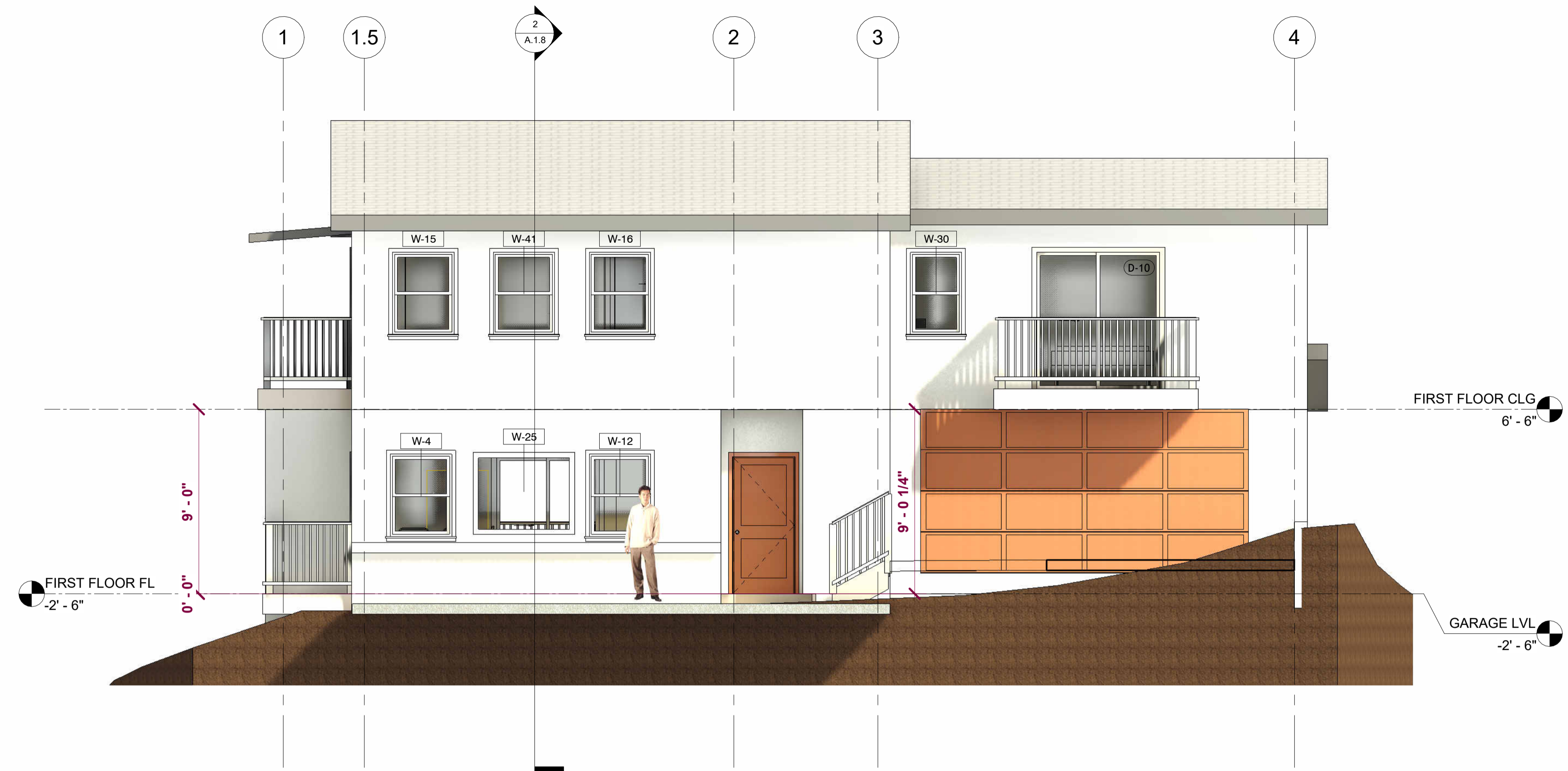
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PROPOSED  
EXTERIOR  
ELEVATIONS

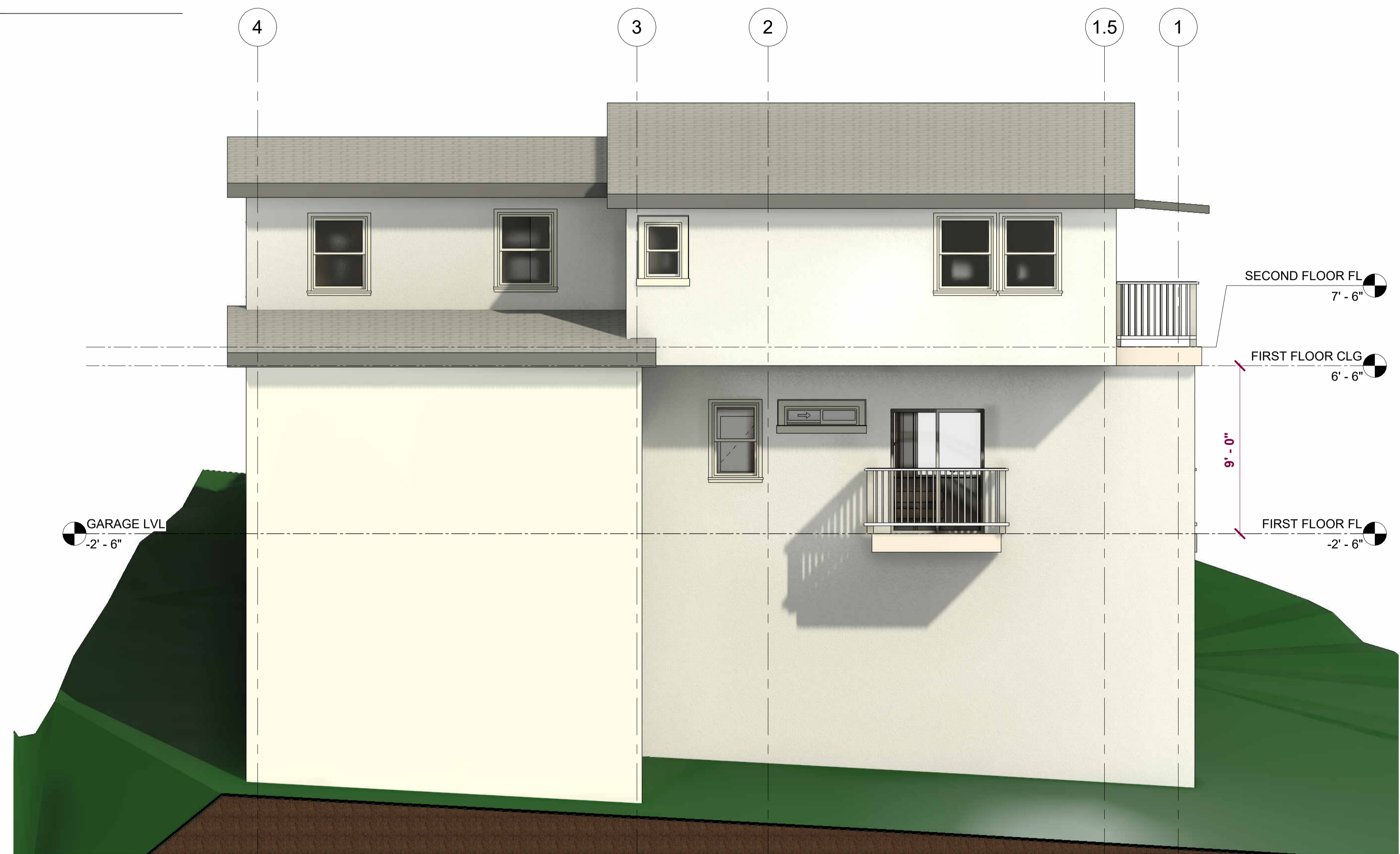
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2 EAST ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"