



AGENCY COMMENT REQUEST

Date 7/21/2026

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

☒ Building Inspection Grading Inspection
Advance Planning Housing Programs
Trans. Planning Telecom Planner
ALUC Staff ☒ HCP/NCCP Staff
County Geologist

HEALTH SERVICES DEPARTMENT

☒ Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services Special Districts
Traffic
Flood Control (Full-size)

LOCAL

☒ Fire District _____
San Ramon Valley – (email) rwendel@srvfire.ca.gov
☒ Consolidated – (email) fire@cccfdpd.org

Sanitary District _____
Water District _____
City of _____
School District(s) _____
LAFCO
Reclamation District # _____
East Bay Regional Park District
Diablo/Discovery Bay/Crockett CSD

☒ MAC/TAC Byron _____
Improvement/Community Association

☒ CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)
CA Fish and Wildlife, Region 3 – Bay Delta
Native American Tribes

ADDITIONAL RECIPIENTS

Please submit your comments to:

Project Planner Nai Saephan
Phone # (925) 655-2874
E-mail Nai.Saephan@dcd.cccounty.us
County File # CDVR26-01018

Prior to August 12, 2026

We have found the following special programs apply to this application:

Landslide Active Fault Zone (A-P)
☒ Liquefaction Flood Hazard Area
60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below ____ Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Project Summary

County File Number: CDVR26-01018

Submitted Date: 7/17/2026

Applicant: Ricardo Ortiz

Property Owner: MANPREET TRE SINGH

Project Description:

The applicant requests a Variance permit to allow an oversized garage and breezeway (1,560 sq. ft., where 600 sq. ft. is the maximum) for the new approximately 8,536 sq. ft. two-story residence on a vacant lot created per County File #MS90-1752.

Project Location: (Address: 3400 BYER RD, BYRON, CA 94514 152), (APN: 002-040-060)

Additional APNs:

General Plan Designation(s): AC

Flood Hazard Areas: N/A

60-dBA Noise Control: N/A

Sphere of Influence: N/A

Sanitary District: N/A

Specific Plan: N/A

Zoning District(s): A-2

AP Fault Zone: N/A

MAC/TAC: Byron

Fire District: CONSOLIDATED FIRE Former ECC

Housing Inventory Site: NO

POR S 1/2 SEC 3 T1S R3E MDB&M

- 1- 21PM14 3/10/72

2- 29PM37 8/27/73

3- 72PM28 11/30/78

4- 107PM45 10/20/83

5- 118PM5 8/28/85

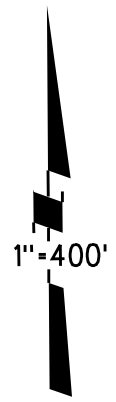
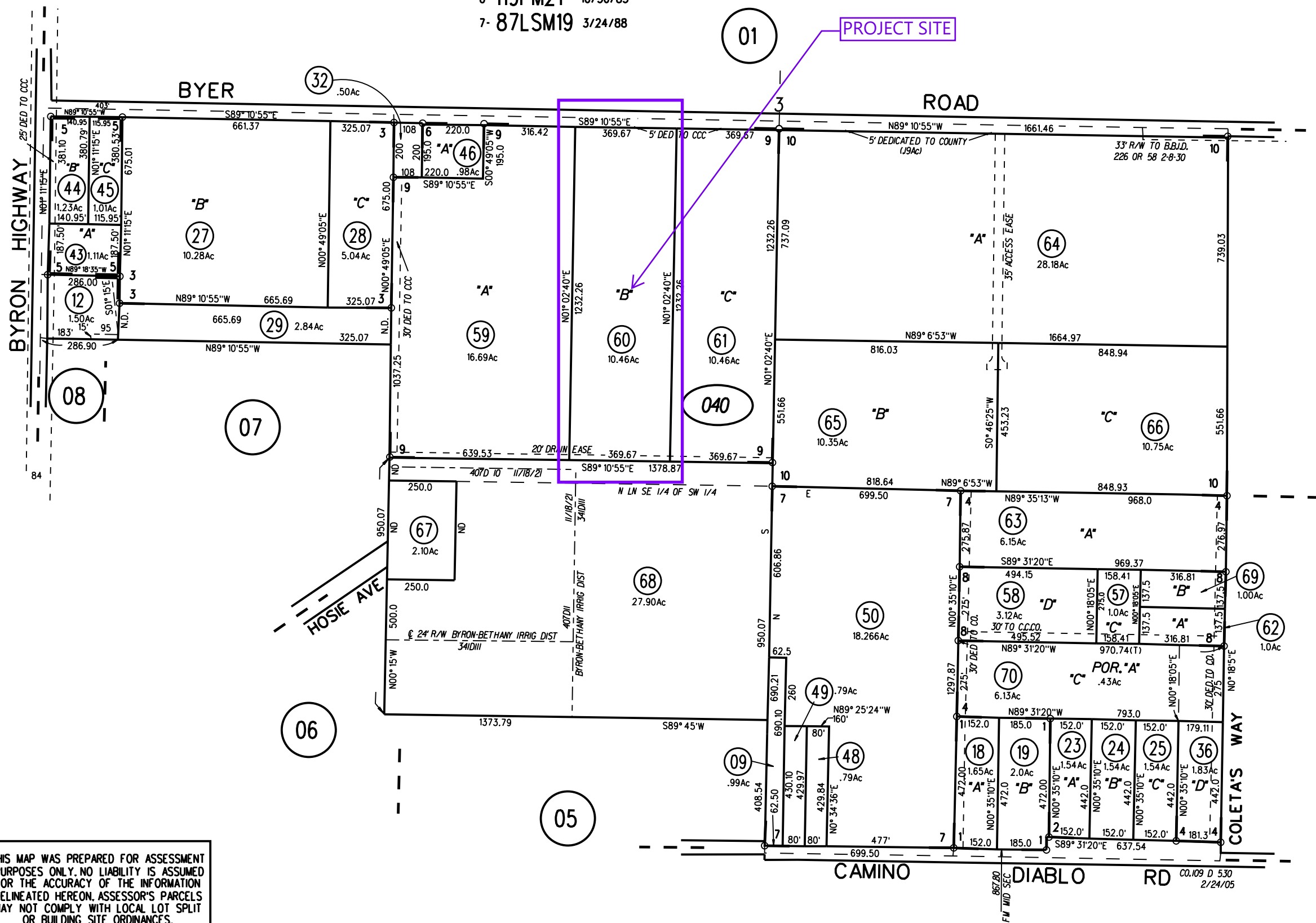
6- 119PM21 10/30/85

7- 87LSM19 3/24/88
- 8- 162PM10 6/1/93

9- 163PM49 1/14/94

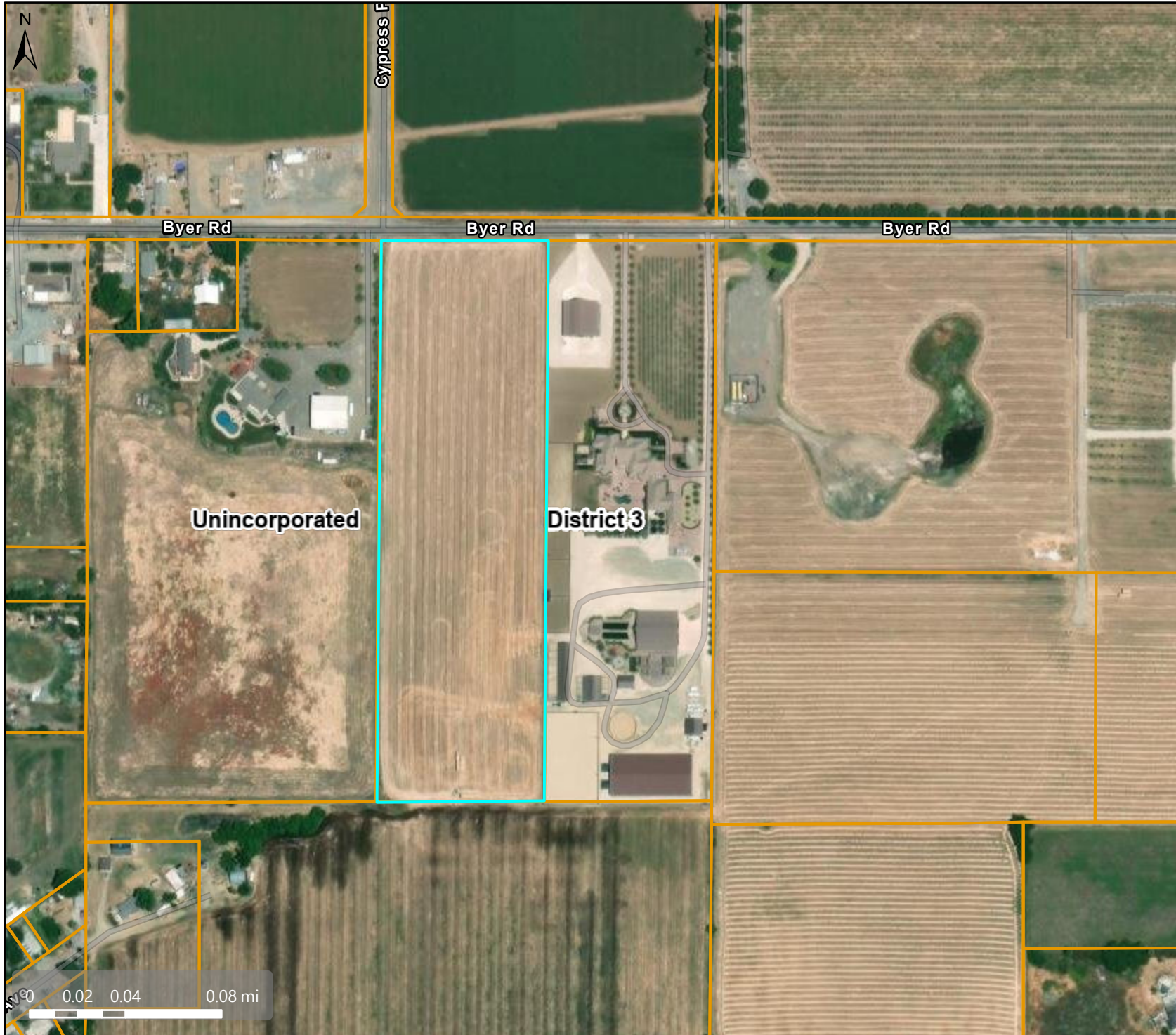
10- 196PM16 4/13/06

P.B.
3



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

Aerial Map



Map Legend

 Assessment
Parcels

Planning

 Unincorporated

 Board of

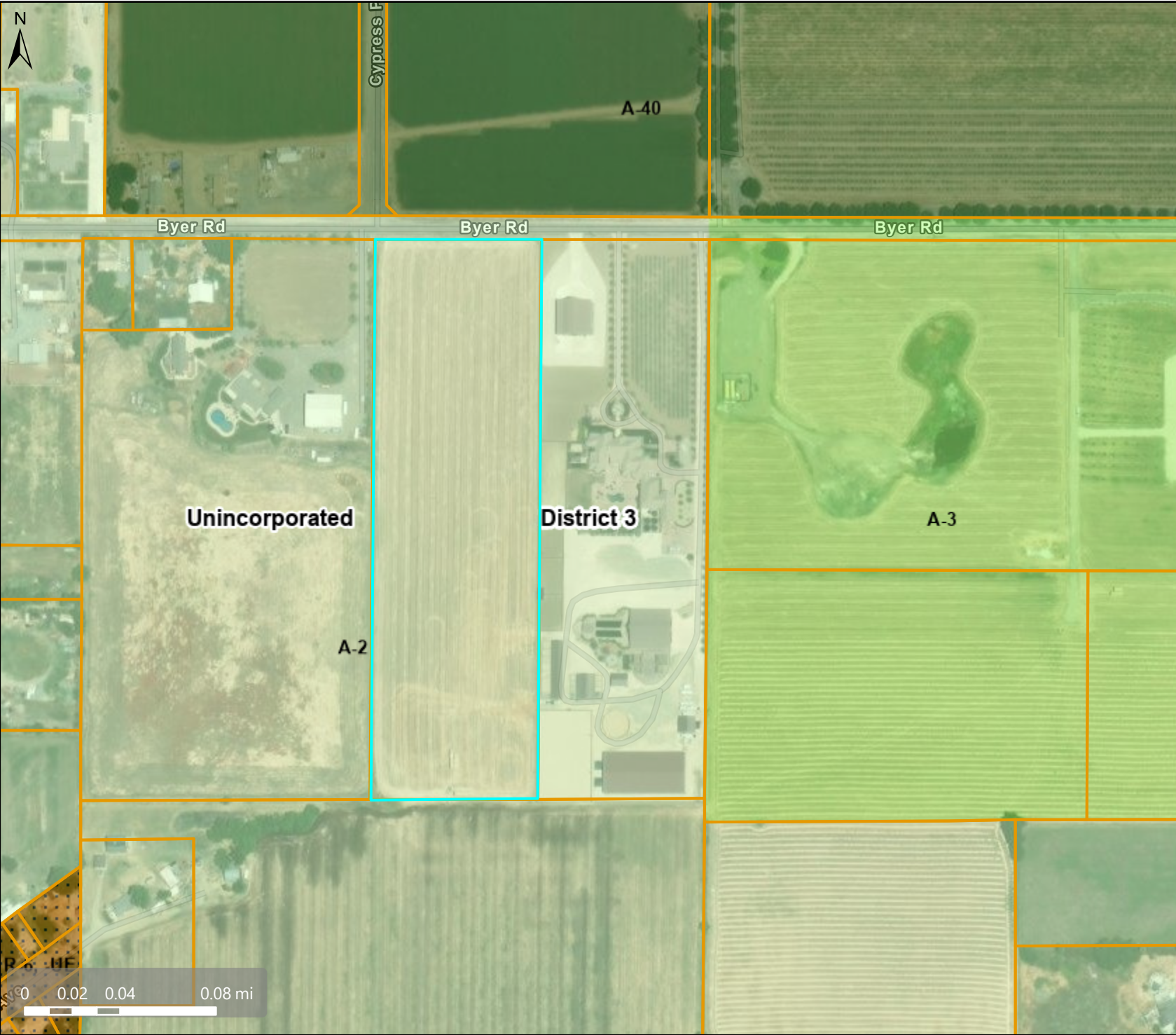
 Supervisors'
Districts

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Zoning District: A-2 General Agricultural District



Map Legend

- Assessment
Parcels
- Planning
Zoning
ZONE_OVER
- R-6, -UE (Urban
Farm Animal
Exclusion)
- A-2 (General
Agriculture)
- A-3 (Heavy
Agriculture)
- A-40 (Exclusive
Agriculture)
- Unincorporated
- Board of
Supervisors'
Districts

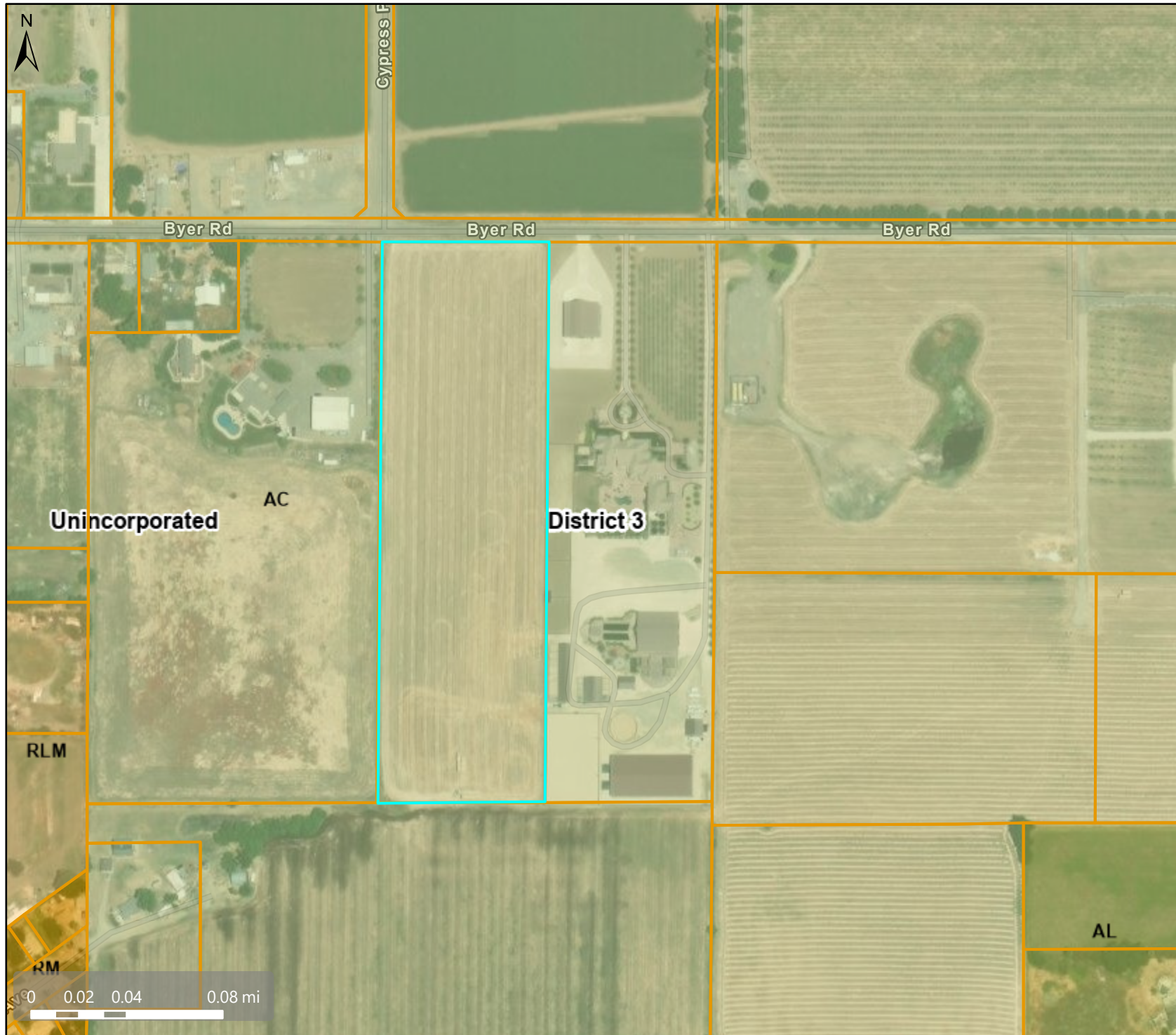
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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

General Plan: AC, Agricultural Core Designation



Map Legend

Assessment
Parcels

Planning

General Plan

RLM

(Residential
Low-Medium
Density) (3-7
du/na)

RM (Residential
Medium
Density) (7-17
du/na)

AC (Agricultural
Core) (1 du/40
ac)

AL (Agricultural
Lands) (1 du/10
ac) (1 du/20 ac
in DPZ)

Unincorporated

Board of
Supervisors'
Districts

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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

NOTE:
COUNTY APPROVED
ENCROACHMENT PERMIT IS
REQUIRED PRIOR TO
BEGINNING ANY WORK WITHIN
THE RIGHT-OF-WAY.

RECEIVED on 07/17/2026 **CDVR26-01018**
By Contra Costa County
Department of Conservation and Development

NOTE:
PROPERTY PINS SHALL BE
EXPPOSED AND LINES STRUNG;
IF THEY CAN'T BE FOUND A
LICENSED SURVEY SHALL BE
REQUIRED.

NOTE:
DRIVEWAY SHALL BE PLACED
SUCH THAT DRIVEWAY
COMPLIES WITH DRIVEWAY
CLEAR VISION ZONE (AMC
9-5.1101) UTILIZING 25-FOOT
LONG TANGENTS.

NOTE:
LANDSCAPING BY OTHERS. NO
LANDSCAPING IS CURRENTLY
PROPOSED.

NOTE:
FIELD VERIFY NEW UTILITIES
AND POINT OF CONNECTIONS

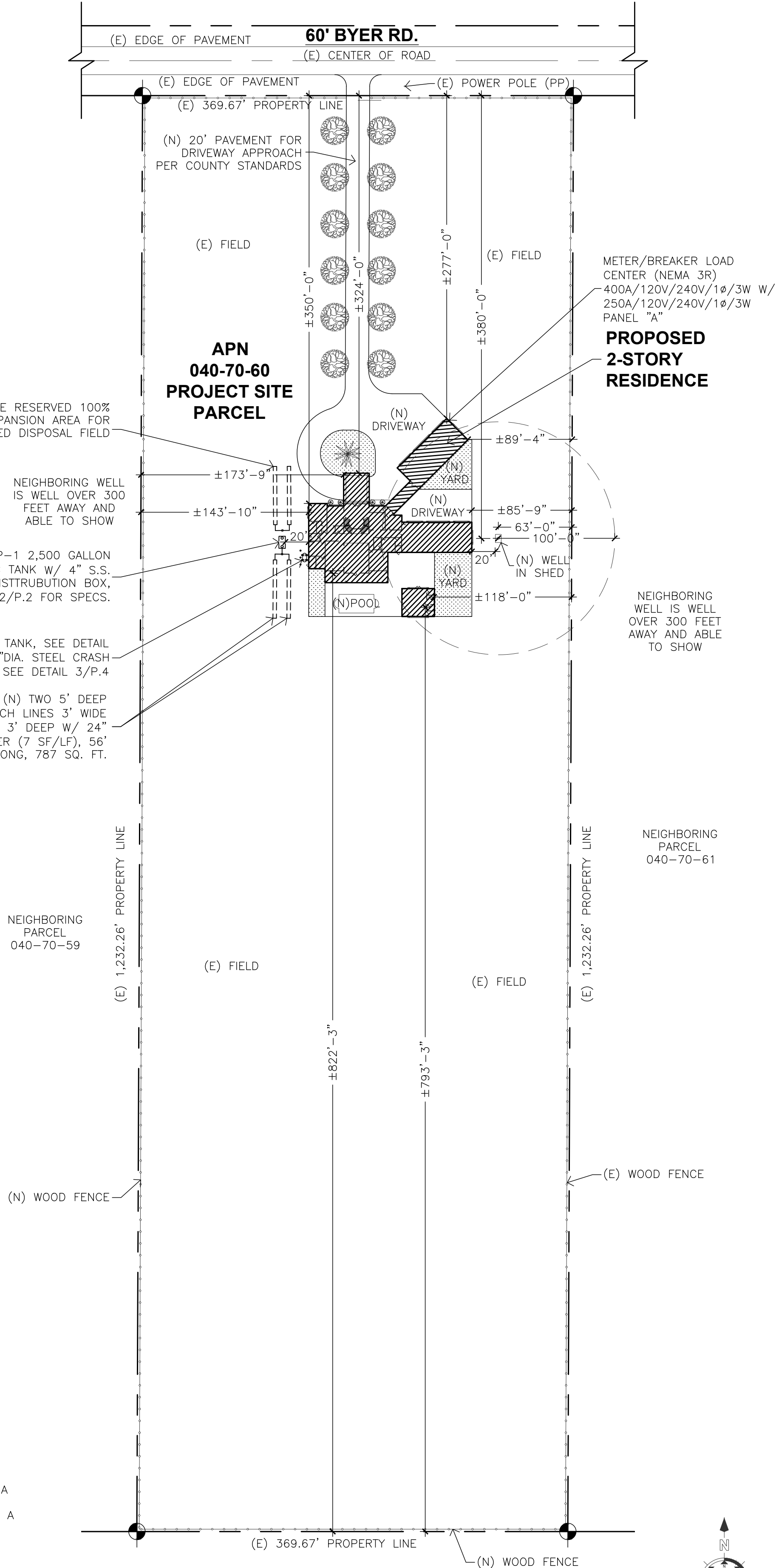
NOTE:
SEE PLUMBING PLAN SHEETS
FOR CONTINUATION. FIELD
VERIFY (E) SEWER DEPTH &
P.O.C. FOR PIPING.

NOTE:
A GROUNDWATER DEPTH
VERIFICATION INSPECTION, VIA A
MINIMUM 12FT. HORIZONTAL
TEST HOLE IS REQUIRED, PRIOR
TO THE INSTALLATION OF THE
SEPTIC SYSTEM. CALL THIS
DEPARTMENT FOR QUESTIONS,
AT (209) 525-6700.

NOTE:
THE FINAL APPROVAL OF THE
ONSITE WASTEWATER
TREATMENT SYSTEM (OWTS) IS
PENDING A GROUNDWATER
DEPTH VERIFICATION
INSPECTION, PRIOR TO THE
INSTALLATION OF THE OWTS.

NOTE:
AN APPROVED FIRE ACCESS
ROAD MUST BE INSTALLED AND
MAINTAINED SERVICEABLE PRIOR
TO, & DURING CONSTRUCTION.
FIRE ACCESS MUST BE
PROVIDED SO THAT ALL
PORTIONS OF THE BUILDING
ARE WITHIN 150 FEET (WALKING
DISTANCES) OF THE FIRE ACCESS
CFC 503, CFC 501.4.

NOTE:
FOR 6-BEDROOM DWELLING, PLEASE
PROVIDE A MINIMUM OF:
i. 760-SFT. OF DISPOSAL FIELD, WHERE A
SANDY LOAM SOIL PROFILE EXISTS, OR
ii. 1320-SFT. OF DISPOSAL FIELD, WHERE A
CLAYEY LOAM SOIL PROFILE EXISTS.



SITE PLAN

SCALE
1"=70'-0"

A

MANPREET SINGH 3400 BYER RD. BYRON, CA 94514 A.P.N. 002-040-60 NEW 2-STORY RESIDENCE

GENERAL NOTES:
PROJECT SHALL COMPLY WITH FOLLOWING CODES:
A-2025 CALIFORNIA RESIDENTIAL CODE.
A-2025 CALIFORNIA MECHANICAL CODE.
C-2025 CALIFORNIA ELECTRICAL CODE.
D-2025 CALIFORNIA PLUMBING CODE.
E-2025 CALIFORNIA FIRE CODE.
F-ALL OTHER CODES ADOPTED BY THE GOVERNING AGENCIES HAVING JURISDICTION ON THE PROJECT.
G- 2025 CALIFORNIA ENERGY CODE.
H- 2025 CALIFORNIA GREEN BUILDING STANDARD CODE.
I- LOCAL ORDINANCE

1. THE WORD "CONTRACTOR" AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
2. CONTRACTOR SHALL COMPLY WITH ALL ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AGENCY HAVING JURISDICTION ON THIS PROJECT AND SHALL NOTIFY OWNER IMMEDIATELY UPON BECOMING AWARE THAT ANY ASPECT OF THE PROJECT DESCRIBED HEREIN IS AT VARIANCE THERE WITH.
3. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
4. BY SUBMITTAL OF BID CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
5. CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN HEREIN AND REPORT ALL DISCREPANCIES TO OWNER PRIOR TO SUBMITTAL OF BID.
7. WHERE CONSTRUCTION DETAILS FOR A PART OF THIS PROJECT ARE NOT SHOWN THE WORK SHALL BE THE SAME AS OTHER SIMILAR WORK FOR WHICH DETAILS ARE SHOWN.
8. FIXTURES, APPLIANCES, FINISHES BRAND NAME AND COLORS NOT MENTIONED ON THESE PLANS, SHALL BE PER OWNERS CHOICE. CONTRACTOR SHALL CONTACT OWNERS PRIOR OF BID, PURCHASE AND INSTALLATION OF SUCH ITEMS.
9. ALL WORK PERFORMED IN THE CONNECTION WITH THESE CONTRACT DOCUMENTS SHALL COMPLY WITH ALL STATE, LOCAL CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
10. PROVIDE A CHEMICAL TOILET ON SITE DURING CONSTRUCTION PER CBC 3305.1.

- GENERAL PROJECT NOTES:**
1. WHERE NEW WORK TIES INTO EXISTING CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED TO RESTORE IT TO ITS ORIGINAL FINISH, TIE THE NEW WORK INTO EXISTING IN A NEAT AND CRAFTSMAN LIKE MANNER SO THAT NEW BLINDS WITH A SMOOTH AND LEVEL SURFACE INTO ADJACENT WORK.
 2. ALL NEW WALL FINISHES, (COVERINGS AND PAINTS) SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.
 3. ALL INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS, SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH U.B.C. STANDARD NO. 8-1 AND C.B.C. SECTION 707.
 4. WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS.
 5. ALL WORK SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER ACCORDING TO THE BEST TRADE PRACTICE BY THOSE SKILLED IN THE PARTICULAR TRADE. EQUIPMENT, FIXTURES, PIPING, ETC., SHALL BE PLUMB, LEVEL, SQUARE OR CENTERED ETC., EQUIPMENT TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS' RECOMMENDATIONS.
 6. ALL EXISTING CONDITIONS NOT SHOWN OR INDICATED ON THESE PLANS ARE TO REMAIN UNCHANGED. FIELD VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS. ANY DISCREPANCY BETWEEN DRAWINGS AND ACTUAL WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CORRECTION PRIOR TO COMMENCING WITH THE WORK.
 7. ALL DIMENSIONS ON THE PLANS ARE TO THE FACES OF STUDS OR CENTERED ON COLUMN. A-DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE TO BE FOUR (4) INCHES FROM FACE OF ADJACENT PARTITION OR CENTERED BETWEEN PARTITIONS. A- ALIGNMENT TAKE PRECEDENT OVER DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS IMMEDIATELY UPON COMPLETION OF HIS DAILY WORK.
 9. CONSTRUCTION SHALL COMPLY WITH APPLICABLE EDITION OF CALIFORNIA BUILDING CODE, ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE WORK. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 10. CONTRACTOR AND HIS OR HER SUBCONTRACTOR TO HAVE WORKING KNOWLEDGE OF ALL CODES APPLICABLE TO THEIR WORK.
 11. COORDINATE ALL WORK AND CONSTRUCTION SCHEDULING WITH OWNER.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE BARRICADES, PROTECTIVE COVERINGS, WARNING SIGNS, ETC. TO PREVENT ANY HARM TO WORKERS, EMPLOYEES AND/OR THE GENERAL PUBLIC.
 13. GENERAL CONTRACTOR SHALL MAKE AVAILABLE COMPLETE SETS OF CONSTRUCTION DOCUMENTS TO HIS OR HER SUBCONTRACTORS FOR REVIEW. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE COMPLETE SETS AND COORDINATING ITEMS WHICH PERTAIN TO HIS OR HER WORK WITH OTHER TRADES PRIOR TO COMMENCING WITH THE WORK.
 14. THE CONTRACTOR SHALL PROVIDE MOUNTING PLATES AS REQUIRED BEHIND ALL WALL MOUNTED ITEMS SUCH AS HANDRAILS, GRAB BARS, TOILET PARTITIONS, LIGHT FIXTURES, EQUIPMENT, ETC.
 15. IT IS NOT INTENDED THAT THE CONTRACT DOCUMENTS INCLUDE EACH AND EVERY SUBSYSTEM AND SUA-COMPONENT NECESSARY TO FULLY AND PROPERLY COMPLETE THE WORK. SUBSYSTEMS, SUA-COMPONENTS OR DETAILS REQUIRED OR NORMALLY INCLUDED AS TRADE PRACTICE MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. NEVERTHELESS, CONTRACTOR SHALL BE RESPONSIBLE FOR EACH ELEMENT OF THE WORK.

GENERAL NOTES

NEW 2-STORY RESIDENCE
2-STORY RESIDENCE TO INCLUDE WALLS, ROOF, WINDOWS, DOORS, CABINETRY AND FIXTURES W/ TWO THREE-CAR GARAGES AND A DETACHED GAME ROOM. PLANS WILL INCLUDE A MASTER BEDROOM AND MASTER RESTROOM, FIVE BEDROOMS, 6 FULL RESTROOMS, ONE HALF RESTROOM, TWO LAUNDRY ROOMS (ONE ON EACH FLOOR), STORAGE, KITCHEN, LIVING ROOM & DINNING AREA W/ OPEN CONCEPT.

LEGEND:
FRP. = FIBERGLASS REINFORCED PLASTIC
TOC. = TOP OF CONCRETE
TOW. = TOP OF CMU WALL
CMU. = CONCRETE MASONRY WALL
TOF. = TOP OF FOOTING
ELEV. = ELEVATION
TOG. = TOP OF GRATE
TOB. = TOP OF BASE
TOBM. = TOP OF BEAM
TOP. = TOP OF SLAB
BOW. = BOTTOM OF WINDOW
TG. = TOP OF GRADE
A.F.F. = ABOVE FINISH FLOOR
F.F. = FINISH FLOOR
COL. = COLUMN
GALV. = GALVANIZED
GA. = GAGE
OPT. = OPTIONAL
GLB. = GLULAM BEAM
P.O.C. = POINT OF CONNECTION
BOT. = BOTTOM OF PLATE
T.U. = TRUSS JOIST "I" JOIST
R.O.W. = RIGHT OF WAY
O.D. = OUTSIDE DIMENSION
I.D. = INSIDE DIMENSION
E.W. = EACH WAY
SQ. = SQUARE
A.B. = ANCHOR BOLT
R.B. = REBAR
O.C. = ON CENTER
CONC. = CONCRETE
DET. = DETAIL
TYP. = TYPICAL
CONT. = CONTINUOUS
CONN. = CONNECTION
FTNG. = FOOTING
BOT. = BOTTOM
GYP. = GYPSUM
FOUND. = FOUNDATION
(E) = EXISTING
(R) = RELOCATED
(N) = NEW
C.C. = CENTER LINE
SCHED. = SCHEDULE
O/ = OVER
PT. = PRESSURE TREATED

SECTION LETTER
DIRECT OF VIEW
SECTION CUT
SHEET NUMBER WHERE SECTION IS DRAWN
DETAIL NUMBER
DIRECT OF VIEW
DETAIL CUT
SHEET NUMBER WHERE SECTION IS DRAWN

STATION / COLUMN LINE
1

ELEVATION
NUMBER
SHEET
NUMBER
DOOR
NUMBER
WINDOW
NUMBER

ELEVATION
NORTH ARROW

LEGEND

SHEET NO.	DESCRIPTION	SHEET	DESCRIPTION
A.1	TITLE PAGE & SITE PLAN	A.15	GREEN BUILDING CODE REQUIREMENT
A.2	OVER-ALL FLOOR PLAN	A.16	GREEN BUILDING CODE REQUIREMENT
A.2.1	PARTIAL FLOOR PLANS		
A.2.2	PARTIAL FLOOR PLANS	M.1	FIRST FLOOR MECHANICAL PLAN
A.2.3	PARTIAL FLOOR PLANS	M.2	SECOND FLOOR MECHANICAL PLAN
A.3	EXTERIOR ELEVATIONS	M.3	MECHANICAL NOTES, SCHEDULES & DETAILS
A.3.1	EXTERIOR ELEVATIONS		
A.3.2	EXTERIOR ELEVATIONS	E.1	ELECTRICAL LIGHTING, NOTES & SCHEDULES
A.4	ROOF PLAN & SCHEDULES	E.2	ELECTRICAL LIGHTING PLAN
A.5	FOUNDATION PLAN & SCHEDULE	E.3	ELECTRICAL LIGHTING PLAN
A.5.1	FOUNDATION PLAN	E.4	ELECTRICAL POWER, NOTES & SCHEDULES
A.6	FLOOR FRAMING AND HEADER PLANS	E.5	ELECTRICAL POWER PLAN
A.7	SHEAR WALL PLAN	E.6	ELECTRICAL POWER, PANEL SCHEDULES
A.7.1	SHEAR WALL PLAN		
A.7.2	SHEAR WALL PLAN	P.1	PLUMBING PLAN - WASTE PIPING
A.8	ROOF FRAMING PLAN & SCHEDULES	P.2	PLUMBING PLAN - WASTE PIPING
A.8.1	ROOF FRAMING PLAN & SCHEDULES	P.3	PLUMBING PLAN - WATER PIPING
A.9	ARCHITECTURAL DETAILS	P.4	PLUMBING PLAN - WATER PIPING
A.10	ARCHITECTURAL DETAILS	P.5	PLUMBING NOTES & DETAILS
A.11	STRUCTURAL DETAILS		
A.12	BUILDING SECTIONS	EN.1	TITLE 24 ENERGY FORMS
A.12.1	BUILDING SECTIONS		
A.13	NOTES & SCHEDULES		
A.14	STAIR PLAN & DETAILS		

SHEET INDEX

2-STORY BUILDING CODE DATA:
DESCRIPTION OF USE: RESIDENCE
OCCUPANCY GROUP: R3
CONSTRUCTION TYPE: VB
SPRINKLERS: NO
STORY: 2
SITE CLASS: D
WIND ZONE: D
110 MPH EXPOSURE C
SEISMIC DESIGN CATEGORY: D
RISK CATEGORY: I OR II
SOIL TYPE: D
EXPOSURE CATEGORY: C

NOTE:
PROVIDE APPROVED STREET
ADDRESS/SUITE NUMBER, NUMBERS
SHALL CONTRAST WITH THEIR
BACKGROUND AND BE A MINIMUM OF 4
INCHES TALL WITH A 1/2 INCH MINIMUM
STROKE AND SHALL BE PLACED ON ALL
NEW AND EXISTING BUILDINGS IN SUCH
A POSITION AS TO BE PLAINLY VISIBLE
AND LEGIBLE FROM THE STREET OR
ROAD FRONTING THE PROPERTY. THIS
MAY NECESSITATE PLACING ADDRESS
NUMBERS AT THE DRIVEWAY ENTRANCE
TO THE PROPERTY. CFC 505.

2-STORY BUILDING MATERIALS:
FOUNDATION: CONT. CONC. FOOTING
FLOOR 1ST: 4" CONC. SLAB
FLOOR 2ND: PRE-FAB FLOOR TRUSSES @ 16" O.C.
EXTERIOR WALLS: 2x6 DF#2 WOOD STUD
INTERIOR WALLS: 2x4 DF#2 WOOD STUD
PLUMBING WALLS: 2x6 DF #2 WOOD STUD
ROOF FRAMING: PRE-FAB TRUSSES @ 24" O.C ROOF:
ASPHALT SHINGLES
EXT. WALL FINISH: 3 COAT STUCCO

OWNER'S INFORMATION:
MANPREET SINGH / WMK PROPERTIES LLC
2615 STATION RD.
STOCKTON, CA 95215
(209) 817-1100
manpreet@speedintermodal.com

LOT COVERAGE:
RESIDENCE AREA- 4,268 SQ. FT.
RESIDENCE PATIO AREA- 498 SQ. FT.
CARPORT AREA- 572 SQ. FT.
GARAGE NO.1 AREA- 1,560 SQ. FT.
BREEZEWAY AREA- 300 SQ. FT.
GARAGE NO.2 AREA- 1,560 SQ. FT.
GAME ROOM AREA- 672 SQ. FT.
EXISTING LOT SQ. FT- / 455,522 SQ. FT.
TOTAL 2.0%

NON-CONDITIONED FLOOR AREA:
PATIO 1ST FLR- 498 SQ. FT.
PATIO 2ND FLR- 498 SQ. FT.
GARAGE 1- 1,560 SQ. FT.
GARAGE 2- 1,560 SQ. FT.
BREEZEWAY- 300 SQ. FT.
CAR PORT- 572 SQ. FT.
TOTAL= 4,984 SQ. FT.

CONDITIONED FLOOR AREA:
POOL HOUSE- 672 SQ. FT.
RESIDENCE 1ST FLR- 4,268 SQ. FT.
RESIDENCE 2ND FLR- 4,268 SQ. FT.
TOTAL= 9,208 SQ. FT.

TOTAL IMPERVIOUS AREA:
FLOOR AREA SQ. FT.- 9,430 SQ. FT.
HARD SURFACE AREA SQ. FT.- 18,005 SQ. FT.
EXISTING LOT SQ. FT- / 455,522 SQ. FT.
TOTAL 6.0%

BUILDING DATA



VICITINY MAP

SCALE
N.T.S.

B

RTIZ DESIGN GROUP
RICARDO R. ORTIZ
915 13TH ST. MODESTO, CA 95354
(209) 345-0912
ricardo@ortizdesigngroup.com

NEW 2-STORY RESIDENCE
MANPREET SINGH
3400 BYER RD.
BYRON, CA 94514

TITLE PAGE



CIVIL ENGINEER:
DJ&J ENGINEERING
DIEGO JOSE ZEPEDA P.E.
915 13TH STREET
MODESTO, CA 95354
djjengineering1@gmail.com
(209) 646-9227

DATE: 06-26-26

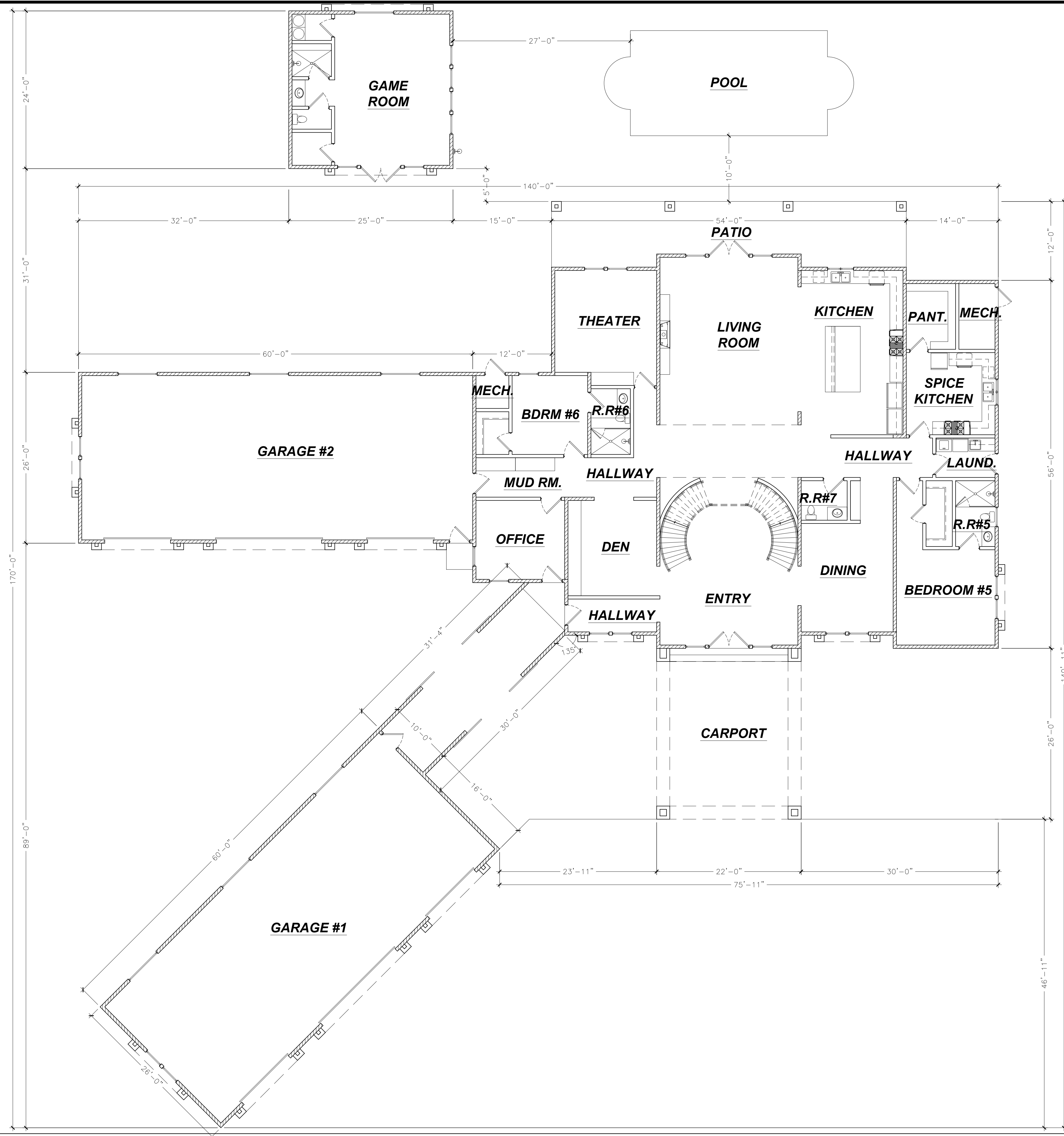
SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

A.1



FLOOR AREA:	
PATIO 1ST FLR-	496 SQ. FT.
PATIO 2ND FLR-	496 SQ. FT.
GARAGE 1-	1,560 SQ. FT.
GARAGE 2-	1,560 SQ. FT.
BREEZEWAY-	300 SQ. FT.
CAR PORT-	572 SQ. FT.
TOTAL=	4,984 SQ. FT.
CONDITIONED FLOOR AREA:	
POOL HOUSE-	672 SQ. FT.
RESIDENCE 1ST FLR-	4,268 SQ. FT.
RESIDENCE 2ND FLR-	4,268 SQ. FT.
TOTAL=	9,208 SQ. FT.
GRAND TOTAL=	14,192 SQ. FT.

NO.

REVISION & DATE

RTIZ

DESIGN GROUP

RICARDO R. ORTIZ

915 13TH ST. MODESTO, CA 95354

(209) 345-0912

ricardo@ortizdesigngroup.com

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NEW 2-STORY RESIDENCE

MANPREET SINGH

3400 BYER RD.

BYRON, CA 94514

OVERALL FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER

DIEGO JOSE ZEPEDA

No. C 88326

CIVIL

STATE OF CALIFORNIA

CIVIL ENGINEER:

DJ&J ENGINEERING

DIEGO JOSE ZEPEDA P.E.

915 13TH STREET

MODESTO, CA 95354

djengineering1@gmail.com

(209) 646-9227

DATE:

06-26-26

SCALE:

AS SHOWN

DRAWN BY:

R. ORTIZ

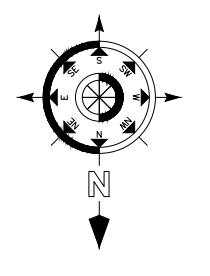
JOB NO:

RES26-001

SHEET:

A.2

OVERALL - PROPOSED FLOOR PLAN



SCALE	1
1/8"=1'-0"	

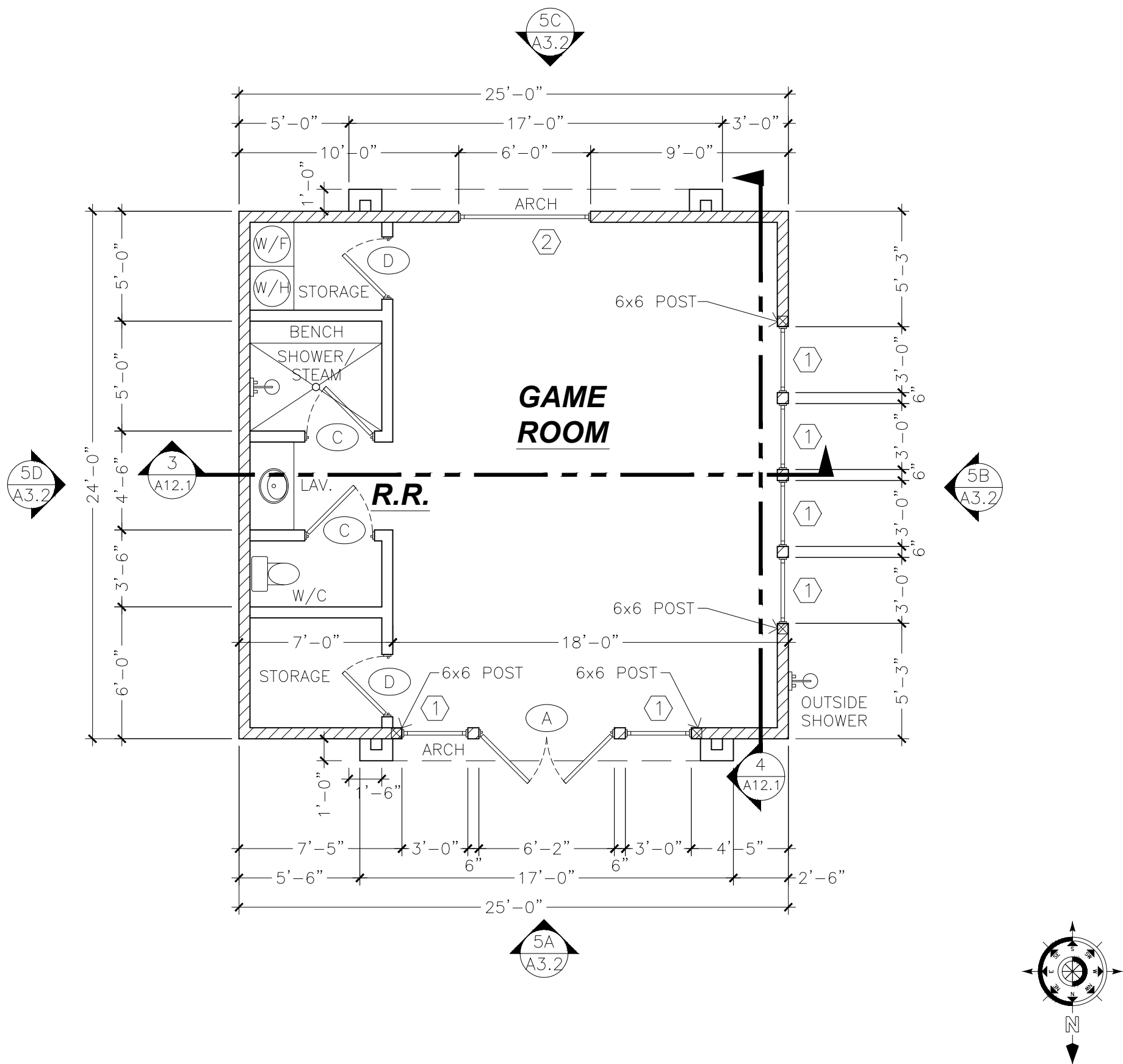
DOOR SCHEDULE						
DOOR NO.	UNITS	LOCATION	DOOR SIZE	DOOR	FRAME	REMARKS
(A)	1	EXTERIOR	DOUBLE 3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE, COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(B)	1	EXTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE, COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(C)	2	INTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, LOCK FROM INSIDE HARDWARE, COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1230SS, W/ 29" MIN. CLEAR ACCESS
(D)	2	INTERIOR	2'8"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, PASSAGE HARDWARE, COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1220SS
(E)	2	EXTERIOR	8'0"x7'0"	METAL	WOOD	GARAGE ROLL-UP DOOR
(F)	1	EXTERIOR	16'0"x7'0"	METAL	WOOD	GARAGE ROLL-UP DOOR
(G)	2	EXTERIOR	12'0"x7'0"	WOOD	WOOD	GARAGE DOOR - BARN STYLE

NOTE:
1. ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED W/ THRESHOLDS 1/2" HIGH MAX. FROM F.F.
2. ALL INTERIOR DOORS AND FRAMES SHALL BE STAIN OR PAINT GRADE, COLOR SELECTED BY OWNER.
3. ALL DOOR HARDWARE SHALL HAVE MIN. OF 3 HINGES, SILENCERS, WALL BUMPERS, SEE BELOW FOR SPECS.
4. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
5. OPTIONAL TO PROVIDE EQUAL TYPE OF DOOR HARDWARE.

DOOR HARDWARE:
ENTRY - COPPER CREEK / BULLDOG AL6941SS, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS
PRIVACY - COPPER CREEK , AVERY LEVER AL1230SS, SATIN STAINLESS.
PASSAGE - COPPER CREEK , AVERY LEVER AL1220SS, SATIN STAINLESS.
DUMMY - COPPER CREEK , AVERY LEVER AL1290SS, SATIN STAINLESS.

WINDOW SCHEDULE						
WNDW NO.	UNITS	LOCATION	WINDOW SIZE	FRAME	GLASS	REMARKS
(1)	8	EXTERIOR	3'0"x6'0"	VINYL	1/4" DUAL PANEL	VERT. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25, W/ 24"Wx48"H CLEARANCE FOR EMERGENCY ESCAPE
(2)	4	EXTERIOR	6'0"x6'0"	VINYL	1/4" DUAL PANEL	HORIZ. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25

NOTES:
1. OPTIONAL TO PROVIDE EQUAL TYPE WINDOW.
2. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
3. ALL WINDOWS TO BE FIELD VERIFIED BEFORE ORDERING AND INSTALLATION.
4. WINDOW SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING, MIN. 20" CLEAR HORIZ. OPENING, MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.



GAME ROOM - PROPOSED FLOOR PLAN

SCALE
3/16"=1'-0"

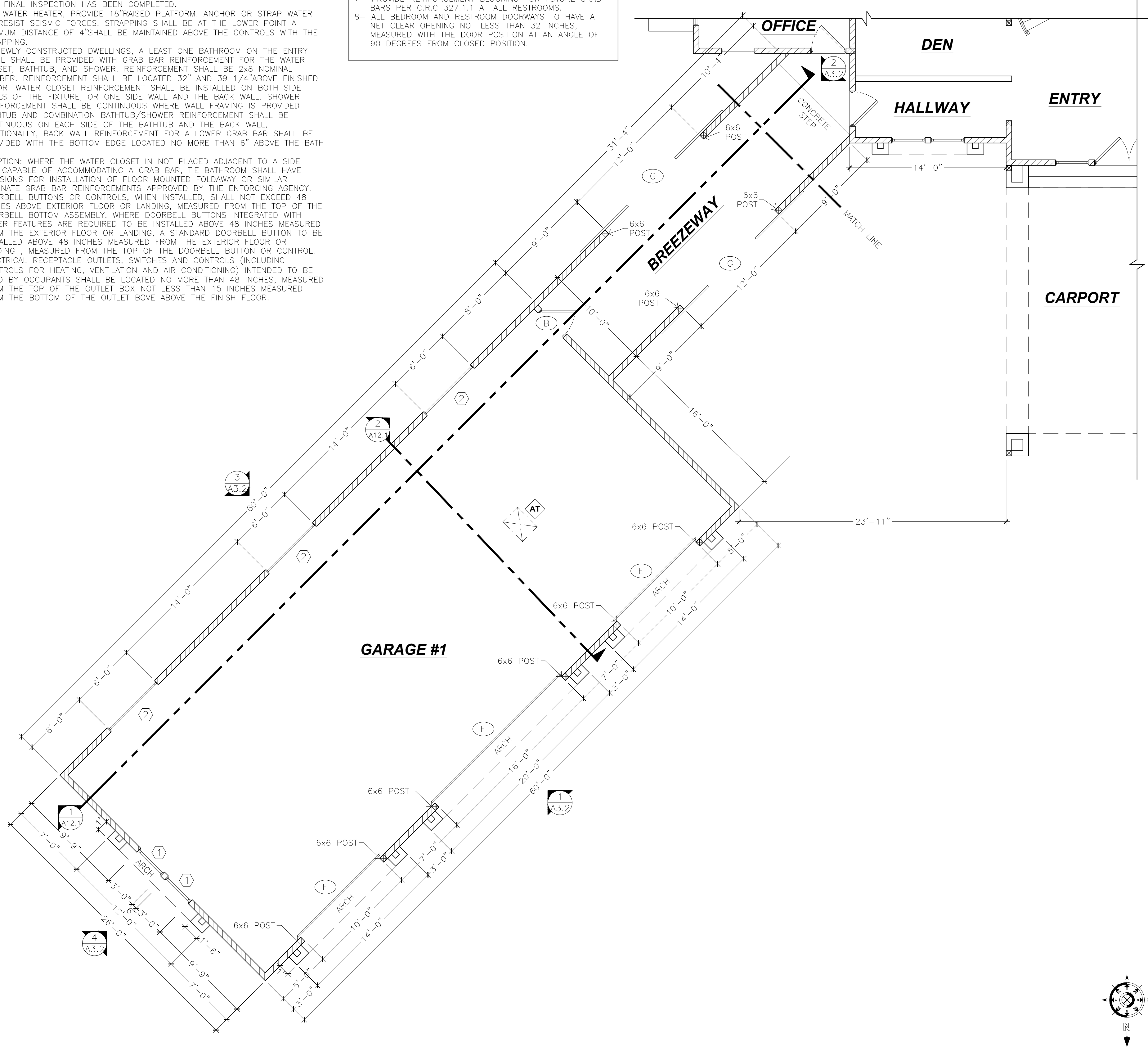
2

FLOOR PLAN NOTES:
1. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
2. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
3. PROVIDE LOUVERED DOORS WITH MIN. 100 SQUARE INCHES OF TOTAL OPENING FOR MAKE UP AIR IN LAUNDRY.
4. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING HAVING A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EXCEPT FOR GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENINGS OF 5 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES, WIDTH SHALL BE 20 INCHES MINIMUM AND BOTTOM OF THE CLEAR OPENING SHALL NOT BE GRATER THAN 44 INCHES MEASURED FROM THE DOOR.
5. ELEVATION DIFFERENCE BETWEEN TOP OF THRESHOLD AND EXTERIOR LANDINGS SHALL NOT BE GRATER THAN 1 1/2".
6. WINDOWS SHALL BE DUAL GLAZED WITH U-FACTOR 0.3 AND SHGC OF 0.23.
7. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
8. IN NEWLY CONSTRUCTED DWELLINGS, A LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT FOR THE WATER CLOSET, BATHTUB, AND SHOWER. REINFORCEMENT SHALL BE 2x8 NOMINAL NUMBER, REINFORCEMENT SHALL BE LOCATED 32" AND 39 1/4" ABOVE FINISHED FLOOR. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL, SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH SIDE OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6" ABOVE THE BATH RIM.
9. EXCEPTION: WHERE THE WATER CLOSET IN NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR MOUNTED FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.
10. DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BOTTOM ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.
11. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES, MEASURED FROM THE TOP OF THE OUTLET BOX NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOVE ABOVE THE FINISH FLOOR.

NOTE:
1- SEE SHEET A.7 FOR SHEAR WALL SCHEDULE, HOLD-DOWN & ANCHOR SIZES.
2- SEE SHEET A.2.1 FOR DOOR AND WINDOW SCHEDULES
U-VALUE = 0.32, SHGC = 0.25
3- WINDOWS SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING, MIN. 20" CLEAR HORIZ. OPENING, MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.
4- CEILINGS SHALL BE 1/2" TH. MIN. GYP BD. WALLS SHALL BE 1/2" TH. MIN. GYP. BD.
5- WINDOW HEAD HEIGHT TO BE AT 8'-0" ABOVE FINISH FLOOR.
6- WATER CLOSETS SHALL BE PLACED SO THE CENTER IS AT LEAST 15 INCHES FROM ANY SIDE WALL OR OBSTRUCTION, AND MAINTAIN 24 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET, CRC R327.1.3.
7- PROVIDE REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS PER C.R.C. 327.1.1 AT ALL RESTROOMS.
8- ALL BEDROOM AND RESTROOM DOORWAYS TO HAVE A NET CLEAR OPENING NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION.

INSULATION:
PROVIDE MIN. INSULATION AS FOLLOWS:
CEILING ATTIC INSULATION- R-30
ATTIC ROOF DECKS INSULATION R-15
EXTERIOR WALL INSULATION- R-21
BATHROOM WALL INSULATION- R-19 (FOR SOUND)
FLOOR INSULATION- R-19 (OPTIONAL)

LEGEND
NON-BEARING 2x6 WOOD STUD WALLS @ 16"O.C. W/ 10'-0" TOP PLATE
LOAD-BEARING 2x6 WOOD STUD WALLS @ 16"O.C. W/ 10'-0" TOP PLATE
22"x30" MIN. ATTIC ACCESS OPENING



PARTIAL - GARAGE PROPOSED FLOOR PLAN

SCALE
3/16"=1'-0"

1

NO. REVISION & DATE

RTIZ
DESIGN GROUP
RICARDO R. ORTIZ
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(209) 345-0912
ricardo@ortizdesigngroup.com

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NEW 2-STORY RESIDENCE
MANPREET SINGH
3400 BYER RD.
BYRON, CA 94514

PARTIAL FLOOR PLANS

REGISTERED PROFESSIONAL ENGINEER
DIEGO JOSE ZEPEDA
No. C 88326
CIVIL
STATE OF CALIFORNIA

CIVIL ENGINEER:
DJ&J ENGINEERING
DIEGO JOSE ZEPEDA P.E.
915 13TH STREET
MODESTO, CA 95354
djjengineering1@gmail.com
(209) 646-9227

DATE: 06-26-26

SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET: A.2.1

DOOR SCHEDULE						
DOOR NO.	UNITS	LOCATION	DOOR SIZE	DOOR	FRAME	REMARKS
(A)	2	EXTERIOR	DOUBLE 3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE. COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(B)	7	EXTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE. COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(C)	9	INTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, LOCK FROM INSIDE HARDWARE. COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1230SS, W/ 29" MIN. CLEAR ACCESS
(D)	3	INTERIOR	2'8"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, PASSAGE HARDWARE. COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1230SS
(E)	2	EXTERIOR	8'0"x7'0"	METAL	WOOD	GARAGE ROLL-UP DOOR
(F)	1	EXTERIOR	16'0"x7'0"	METAL	WOOD	GARAGE ROLL-UP DOOR
(G)	1	EXTERIOR	3'0"x8'0"	METAL	WOOD	HOLLOW CORE DOOR, PAINT GRADE, PASSAGE HARDWARE. COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1230SS, W/ 18"x18" LOUVER AT TOP & BOTTOM OF DOOR

NOTE:
1. ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED W/ THRESHOLDS 1/2" HIGH MAX. FROM F.F.
2. ALL INTERIOR DOORS AND FRAMES SHALL BE STAIN OR PAINT GRADE, COLOR SELECTED BY OWNER.
3. ALL DOOR HARDWARE SHALL HAVE MIN. OF 3 HINGES, SILENCERS, WALL BUMPERS, SEE BELOW FOR SPECS.
4. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
5. OPTIONAL TO PROVIDE EQUAL TYPE OF DOOR HARDWARE.

DOOR HARDWARE:
ENTRY - COPPER CREEK / BULLDOG AL6941SS, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS.
PRIVACY - COPPER CREEK, AVERY LEVER AL1230SS, SATIN STAINLESS.
PASSAGE - COPPER CREEK, AVERY LEVER AL1230SS, SATIN STAINLESS.
DUMMY - COPPER CREEK, AVERY LEVER AL1230SS, SATIN STAINLESS.

WINDOW SCHEDULE					
WINDW NO.	UNITS	LOCATION	WINDOW SIZE	FRAME	GLASS
(1)	17	EXTERIOR	3'0"x6'0"	VINYL	1/4" DUAL PANEL
(2)	3	EXTERIOR	6'0"x6'0"	VINYL	1/4" DUAL PANEL
(3)	2	EXTERIOR	4'0"x3'0"	VINYL	1/4" DUAL PANEL
(4)	1	EXTERIOR	3'0"x3'0"	VINYL	1/4" DUAL PANEL

NOTES:
1. OPTIONAL TO PROVIDE EQUAL TYPE WINDOW.
2. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
3. ALL WINDOWS TO BE FIELD VERIFIED BEFORE ORDERING AND INSTALLATION.
4. WINDOW SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING. MIN. 20" CLEAR HORIZ. OPENING. MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.
5. WINDOW HEAD HEIGHT TO BE AT 8'-0" ABOVE FINISH FLOOR.
6. WATER CLOSETS SHALL BE PLACED SO THE CENTER IS AT LEAST 15 INCHES FROM ANY SIDE WALL OR OBSTRUCTION, AND MAINTAIN 24 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET. CRC R327.1.3.
7. PROVIDE REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS PER C.R.C 327.1.1 AT ALL RESTROOMS.
8. ALL BEDROOM AND RESTROOM DOORWAYS TO HAVE A NET CLEAR OPENING NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION.

NOTE:
1- SEE SHEET A.7.1 FOR SHEAR WALL SCHEDULE, HOLD-DOWN & ANCHOR SIZES.
2- SEE SHEET A.2.2 FOR DOOR AND WINDOW SCHEDULES W/ U-VALUE = 0.32, SHGC = 0.25
3- WINDOWS SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING. MIN. 20" CLEAR HORIZ. OPENING. MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.
4- CEILINGS SHALL BE 1/2" TH. MIN. GYP BD. WALLS SHALL BE 1/2" TH. MIN. GYP. BD.
5- WINDOW HEAD HEIGHT TO BE AT 8'-0" ABOVE FINISH FLOOR.
6- WATER CLOSETS SHALL BE PLACED SO THE CENTER IS AT LEAST 15 INCHES FROM ANY SIDE WALL OR OBSTRUCTION, AND MAINTAIN 24 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET. CRC R327.1.3.
7- PROVIDE REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS PER C.R.C 327.1.1 AT ALL RESTROOMS.
8- ALL BEDROOM AND RESTROOM DOORWAYS TO HAVE A NET CLEAR OPENING NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION.

BREEZEWAY
SEE 1/A.2.1

GARAGE #1
SEE 1/A.2.1

LEGEND	
	NON-BEARING 2x6 WOOD STUD WALLS @ 16"O.C. W/ 10'-0" TOP PLATE
	LOAD-BEARING 2x6 WOOD STUD WALLS @ 16"O.C. W/ 10'-0" TOP PLATE
	22"x30" MIN. ATTIC ACCESS OPENING

INSULATION:
PROVIDE MIN. INSULATION AS FOLLOWS:
CEILING ATTIC INSULATION- R-30
ATTIC ROOF DECKS INSULATION R-15
EXTERIOR WALL INSULATION- R-21
BATHROOM WALL INSULATION- R-19 (FOR SOUND)
FLOOR INSULATION- R-19 (OPTIONAL)

PARTIAL FIRST FLOOR - PROPOSED FLOOR PLAN

SCALE
3/16"=1'-0"

1

NO. REVISION & DATE

RTIZ DESIGN GROUP
RICARDO R. ORTIZ
915 13TH ST. MODESTO, CA 95354
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ricardo@ortizdesigngroup.com

NEW 2-STORY RESIDENCE
MANPREET SINGH
3400 BYER RD.
BYRON, CA 94514

FIRST FLOOR PLAN

DIEGO JOSE ZEPEDA
No. C 88326
CIVIL
STATE OF CALIFORNIA

CIVIL ENGINEER:
DIEGO JOSE ZEPEDA P.E.
915 13TH STREET
MODESTO, CA 95354
djengineering1@gmail.com
(209) 646-9227

DATE: 06-26-26
SCALE: AS SHOWN
DRAWN BY: R. ORTIZ
JOB NO: RES26-001
SHEET: **A.2.2**

DOOR SCHEDULE						
DOOR NO.	UNITS	LOCATION	DOOR SIZE	DOOR	FRAME	REMARKS
(A)	1	INTERIOR	DOUBLE 3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE. COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(B)	2	EXTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	SOLID WOOD DOOR, PAINT GRADE, THUMB LOCK FROM INSIDE, KEY LOCK FROM OUTSIDE. COPPER CREEK/BULLDOG, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS, AL6941SS, W/ SAFETY GLAZING, U=0.32, SHGC=0.25
(C)	10	INTERIOR	3'0"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, LOCK FROM INSIDE. HARDWARE. COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1230SS, W/ 29" MIN. CLEAR ACCESS
(D)	3	INTERIOR	2'8"x8'0"	1 3/4" WOOD	WOOD	HOLLOW CORE DOOR, PAINT GRADE, PASSAGE HARDWARE. COPPER CREEK, AVERY LEVER, SATIN STAINLESS, AL1220SS

NOTE:
1. ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED W/ THRESHOLDS 1/2" HIGH MAX. FROM F.F.
2. ALL INTERIOR DOORS AND FRAMES SHALL BE STAIN OR PAINT GRADE, COLOR SELECTED BY OWNER.
3. ALL DOOR HARDWARE SHALL HAVE MIN. OF 3 HINGES, SILENCERS, WALL BUMPS, SEE BELOW FOR SPECS.
4. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
5. OPTIONAL TO PROVIDE EQUAL TYPE OF DOOR HARDWARE.

DOOR HARDWARE:
ENTRY - COPPER CREEK / BULLDOG AL6941SS, AVERY LEVER INTERCONNECT, 2 POINT KEYED, SATIN STAINLESS
PRIVACY - COPPER CREEK , AVERY LEVER AL1230SS, SATIN STAINLESS.
PASSAGE - COPPER CREEK , AVERY LEVER AL1220SS, SATIN STAINLESS.
DUMMY - COPPER CREEK , AVERY LEVER AL1290SS, SATIN STAINLESS.

WINDOW SCHEDULE						
WNDW NO.	UNITS	LOCATION	WINDOW SIZE	FRAME	GLASS	REMARKS
①	15	EXTERIOR	3'0"x6'0"	VINYL	1/4" DUAL PANEL	VERT. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25, W/ 24"Wx48"H CLEARANCE FOR EMERGENCY ESCAPE
②	2	EXTERIOR	6'0"x6'0"	VINYL	1/4" DUAL PANEL	HORIZ. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
③	1	EXTERIOR	6'0"x2'0"	VINYL	1/4" DUAL PANEL	HORIZ. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25
④	5	EXTERIOR	3'0"x3'0"	VINYL	1/4" DUAL PANEL	HORIZ. SLIDE PANELS, LOW E, MANUFACTURED BY MILGARD U=0.32, SHGC=0.25

NOTES:
1. OPTIONAL TO PROVIDE EQUAL TYPE WINDOW.
2. SEE STANDARD HEADER, SILL & JAM @ OPENING DETAILS ON SHEET A.10.
3. ALL WINDOWS TO BE FIELD VERIFIED BEFORE ORDERING AND INSTALLATION.
4. WINDOW SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING. MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.

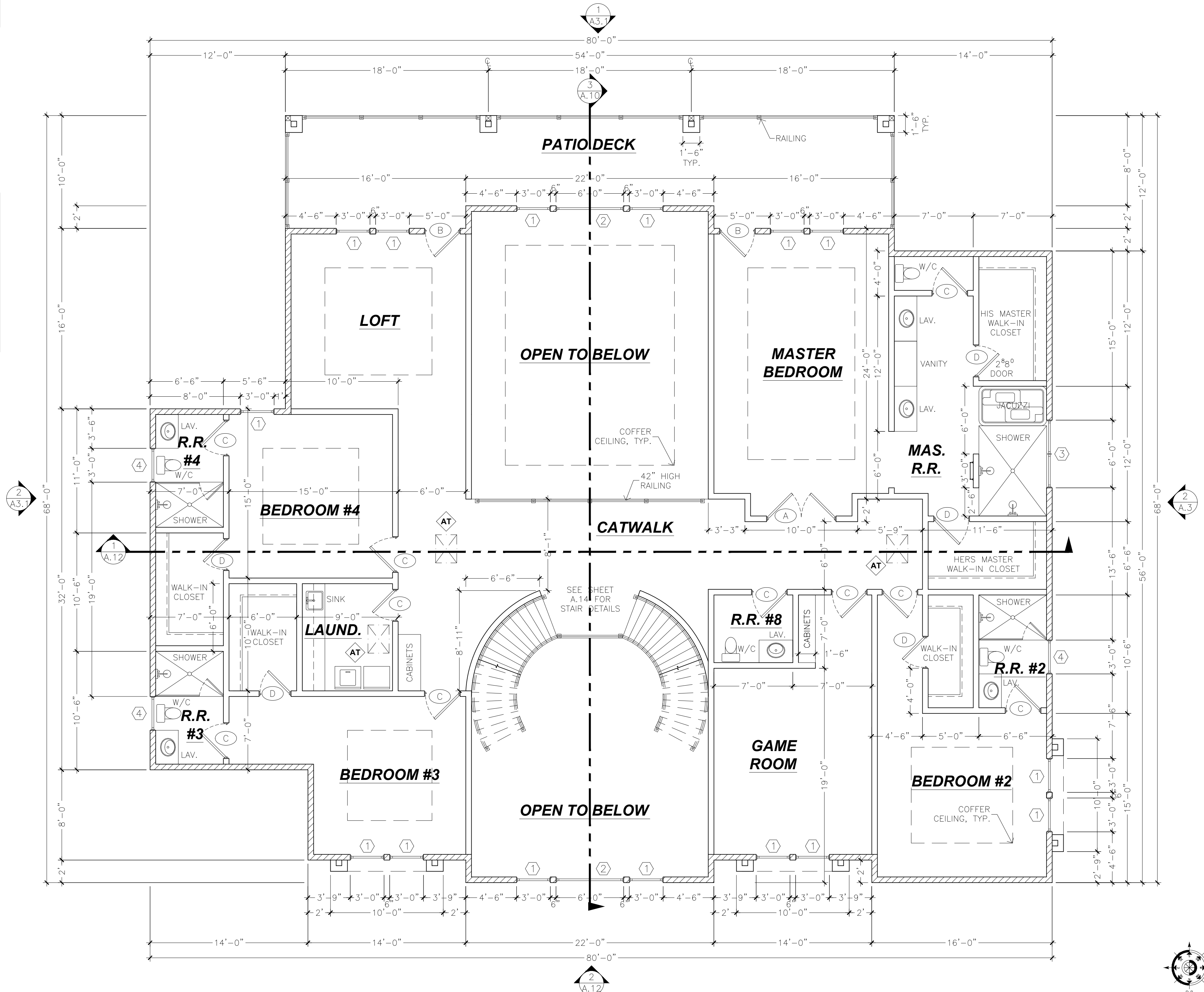
FLOOR PLAN NOTES:
1. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
2. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
3. PROVIDE LOUVERED DOORS WITH MIN. 100 SQUARE INCHES OF TOTAL OPENING FOR MAKE UP AIR IN LAUNDRY.
4. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING HAVING A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EXCEPT FOR GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENINGS OF 5 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES, WIDTH SHALL BE 20 INCHES MINIMUM AND BOTTOM OF THE CLEAR OPENING SHALL NOT BE GRATER THAN 44 INCHES MEASURED FROM THE DOOR.
5. ELEVATION DIFFERENCE BETWEEN TOP OF THRESHOLD AND EXTERIOR LANDINGS SHALL NOT BE GRATER THAN 1 1/2".
6. WINDOWS SHALL BE DUAL GLAZED WITH U-FACTOR 0.3 AND SHGC OF 0.23.
7. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
8. FCR WATER HEATER, PROVIDE 18"RAISED PLATFORM. ANCHOR OR STRAP WATER TO RESIST SEISMIC FORCES. STRAPPING SHALL BE AT THE LOWER POINT A MINIMUM DISTANCE OF 4"SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
9. IN NEWLY CONSTRUCTED DWELLINGS, A LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT FOR THE WATER CLOSET, BATHTUB, AND SHOWER. REINFORCEMENT SHALL BE 2x8 NOMINAL NUMBER. REINFORCEMENT SHALL BE LOCATED 32" AND 39 1/4"ABOVE FINISHED FLOOR. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH SIDE OF THE BATHTUB AND THE BACK WALL, ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6" ABOVE THE BATH RIM.
10. EXCEPTION: WHERE THE WATER CLOSET IN NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR MOUNTED FOLDAWAY OR SIMILAR ALTERNATE GRAB BAR REINFORCEMENTS APPROVED BY THE ENFORCING AGENCY.
11. DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BOTTOM ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING , MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.
12. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES, MEASURED FROM THE TOP OF THE OUTLET BOX NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOVE ABOVE THE FINISH FLOOR.

NOTE:
1- SEE SHEET A.7.2 FOR SHEAR WALL SCHEDULE, HOLD-DOWN & ANCHOR SIZES.
2- SEE SHEET A.2.3 FOR DOOR AND WINDOW SCHEDULES W/
U-VALUE = 0.32, SHGC = 0.25
3- WINDOWS SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING. MIN. 20" CLEAR HORIZ. OPENING. MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING.
4- CEILINGS SHALL BE 1/2" TH. MIN. GYP BD. WALLS SHALL BE 1/2" TH. MIN GYP. BD.
5- WINDOW HEAD HEIGHT TO BE AT 8'-0" ABOVE FINISH FLOOR.
6- WATER CLOSETS SHALL BE PLACED SO THE CENTER IS AT LEAST 15 INCHES FROM ANY SIDE WALL OR OBSTRUCTION, AND MAINTAIN 24 INCHES OF CLEAR SPACE IN FRONT OF THE WATER CLOSET. CRC R327.1.3.
7- PROVIDE REINFORCEMENT BLOCKING FOR FUTURE GRAB BARS PER C.R.C 327.1.1 AT ALL RESTROOMS.
8- ALL BEDROOM AND RESTROOM DOORWAYS TO HAVE A NET CLEAR OPENING NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM CLOSED POSITION.

INSULATION:
PROVIDE MIN. INSULATION AS FOLLOWS:
CEILING ATTIC INSULATION- R-30
ATTIC ROOF DECKS INSULATION R-15
EXTERIOR WALL INSULATION- R-21
BATHROOM WALL INSULATION- R-19 (FOR SOUND)
FLOOR INSULATION- R-19 (OPTIONAL)

LEGEND
NON-BEARING 2x6 WOOD STUD WALLS @ 16"O.C.
W/ 10'-0" TOP PLATE
LOAD-BEARING 2x6 WOOD STUD WALLS @ 16"O.C.
W/ 10'-0" TOP PLATE

AT 22"x30" MIN. ATTIC ACCESS OPENING



SECOND FLOOR - PROPOSED FLOOR PLAN

SCALE
3/16"=1'-0"

1

NO. REVISION & DATE

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NEW 2-STORY RESIDENCE
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SECOND FLOOR PLAN

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DIEGO JOSE ZEPEDA P.E.
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MODESTO, CA 95354
djjengineering1@gmail.com
(209) 646-9227

DATE: 06-26-26

SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET: A.2.3

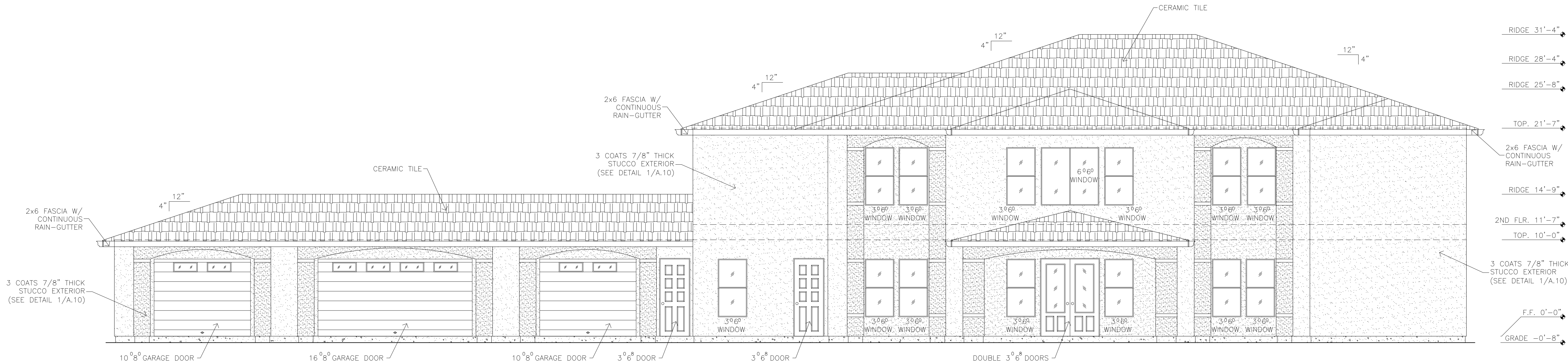
NOTE:
1- SEE SHEET A.7 FOR SHEAR WALL SCHEDULE, HOLD-DOWN & ANCHOR SIZES.
2- U-VALUE = 0.30, SHGC = 0.20
3- SEE SHEET A.10 FOR BUILDING SECTIONS.
4- SEE FLOOR PLAN FOR WINDOW SIZES. WINDOWS SHALL MEET EGRESS REQUIREMENTS; MIN. 24" CLEAR VERT. OPENING. MIN. 20" CLEAR HORIZ. OPENING. MIN. 5.7 SQ. F.T. CLEAR OPEN AREA, MAX. 44" FROM FINISHED FLOOR TO BOTTOM OF CLEAR OPENING



SIDE / WEST ELEVATION

SCALE
3/16"=1'-0"

2



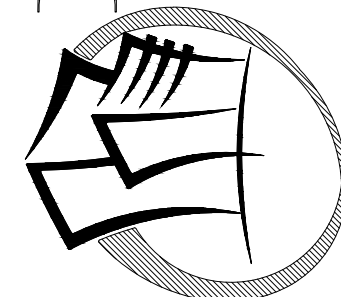
FRONT / NORTH ELEVATION

SCALE
3/16"=1'-0"

1

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EXTERIOR ELEVATIONS



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DATE: 06-26-26

SCALE: AS SHOWN

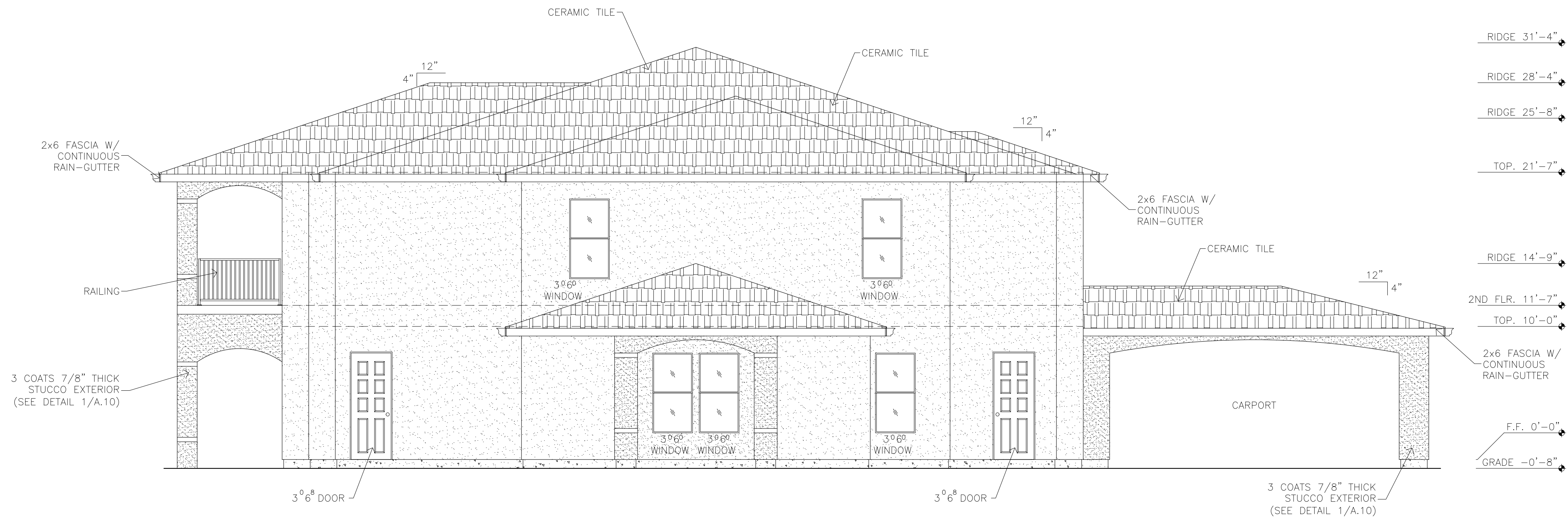
DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

A.3

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SIDE / EAST ELEVATION

SCALE
3/16"=1'-0"

2



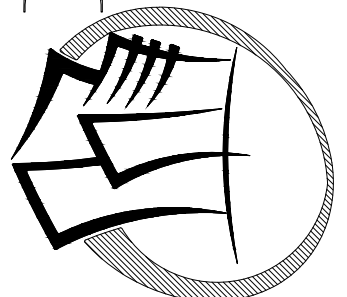
REAR / SOUTH ELEVATION

SCALE
3/16"=1'-0"

1

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DATE: 06-26-26

SCALE: AS SHOWN

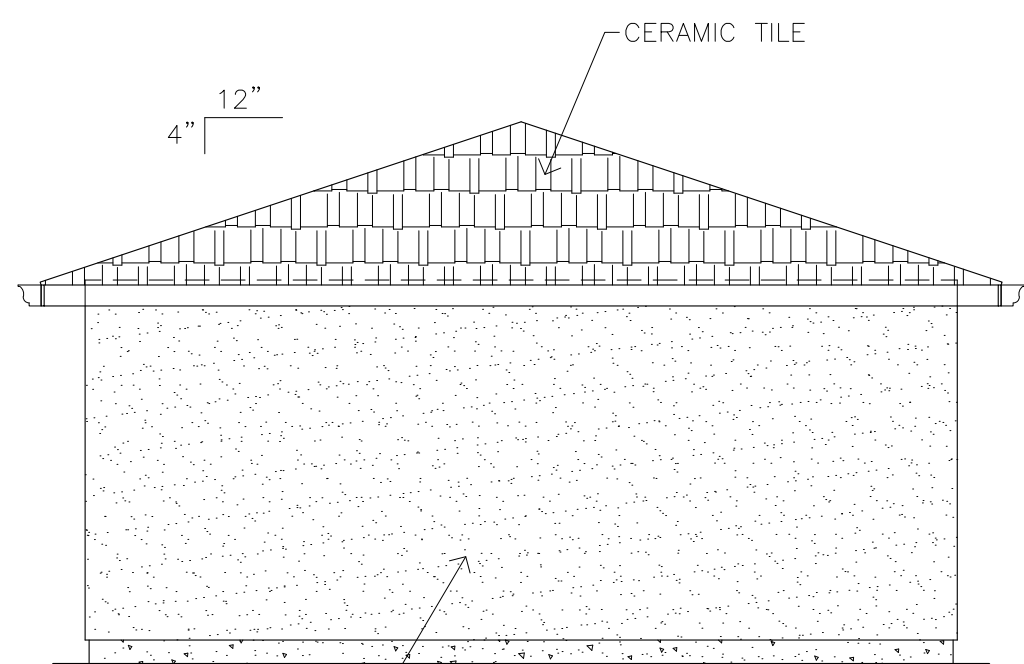
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JOB NO: RES26-001

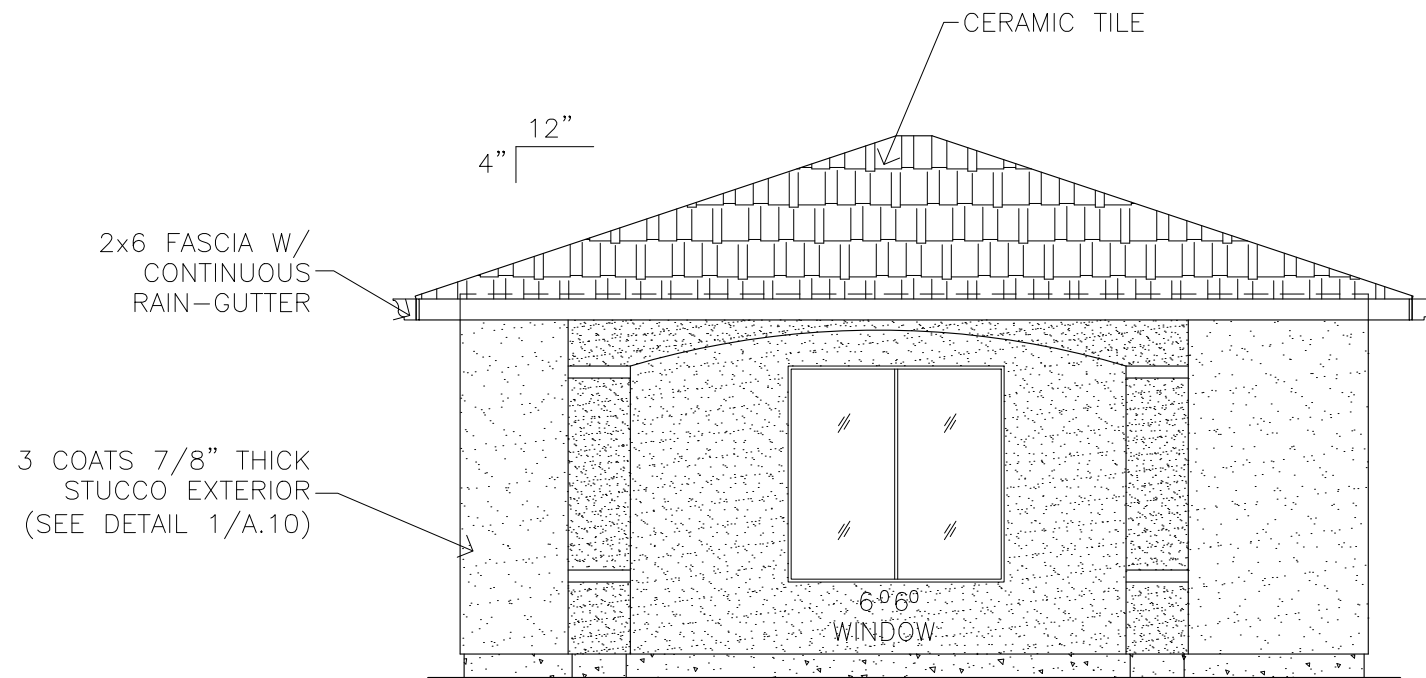
SHEET:

A.3.1

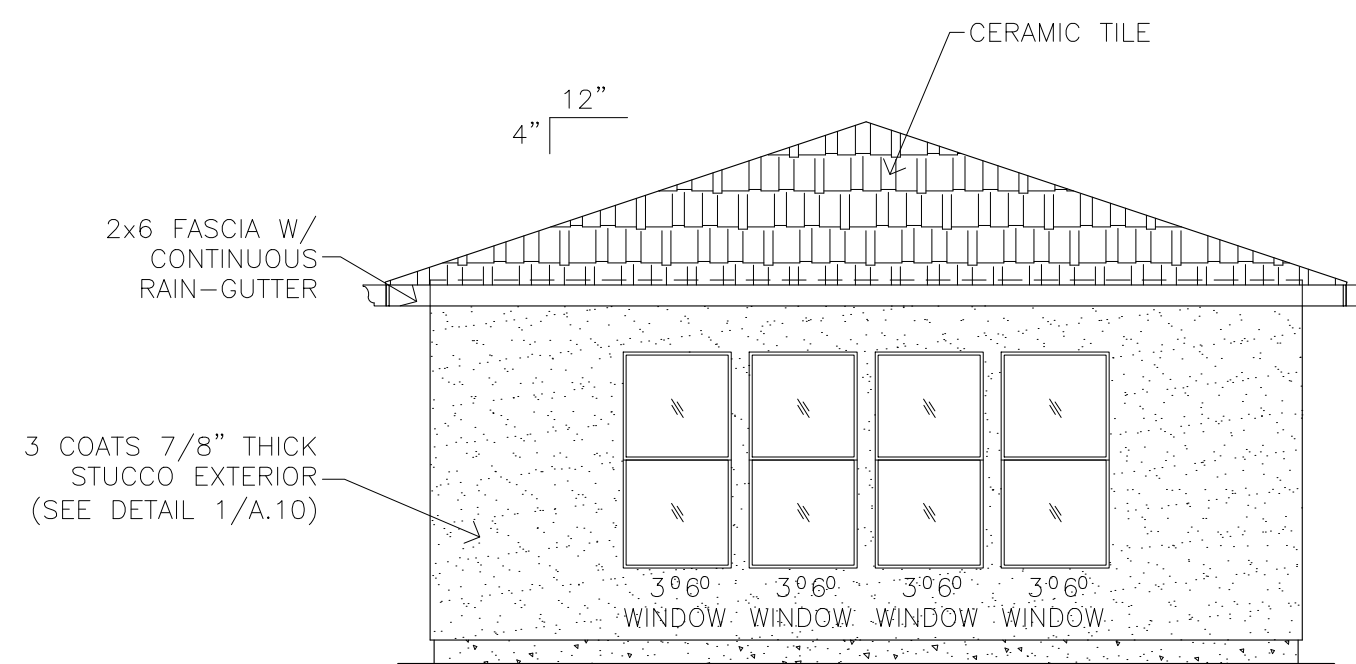
NOTE:
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3- SEE SHEET A.10 FOR BUILDING SECTIONS.
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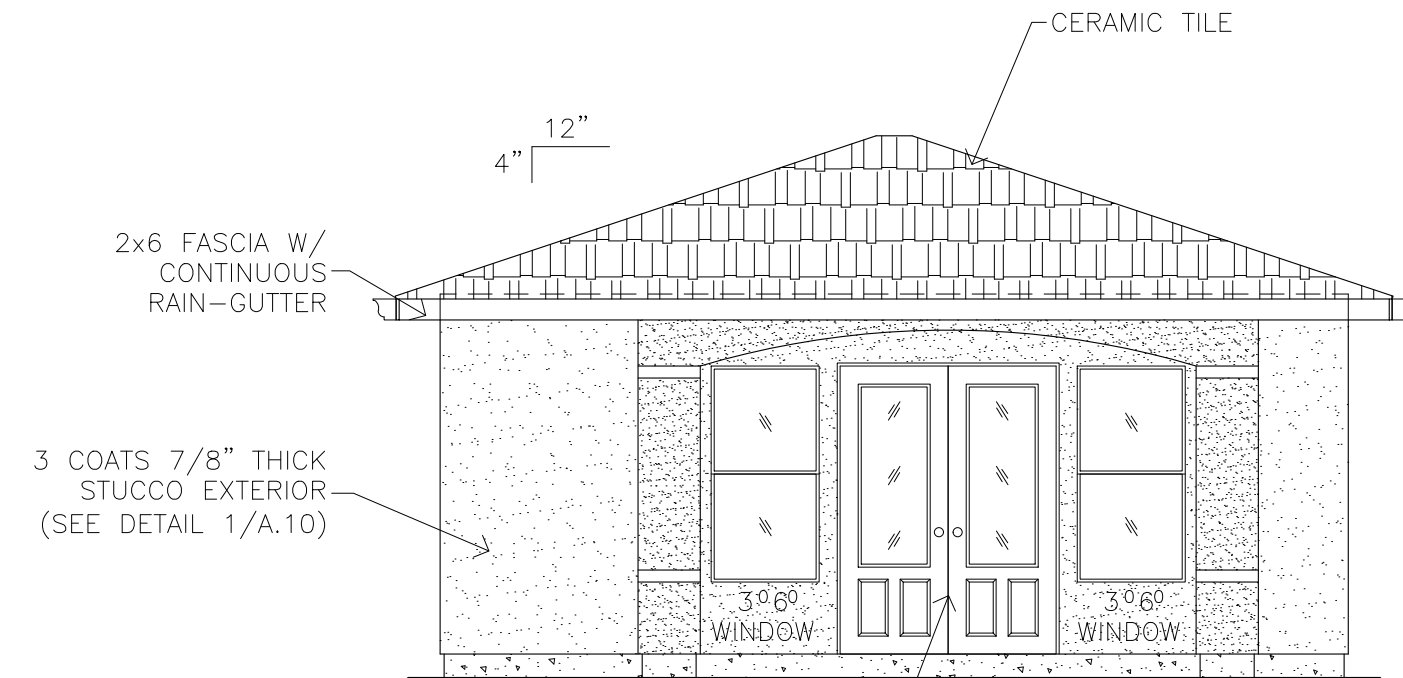
3 COATS 7/8" THICK STUCCO EXTERIOR (SEE DETAIL 1/A.10)
D - SIDE / EAST



C - REAR / SOUTH



B - SIDE / WEST

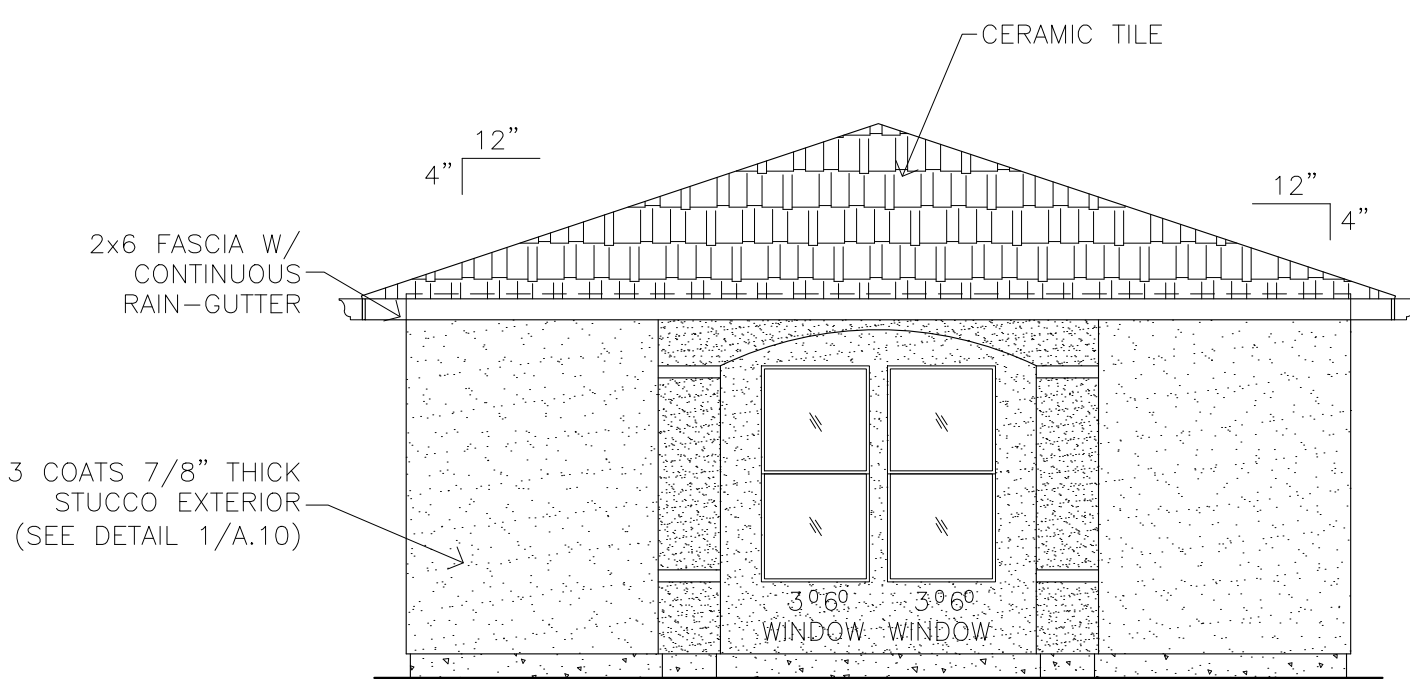


A - FRONT / NORTH

GAME ROOM ELEVATIONS

SCALE
3/16"=1'-0"

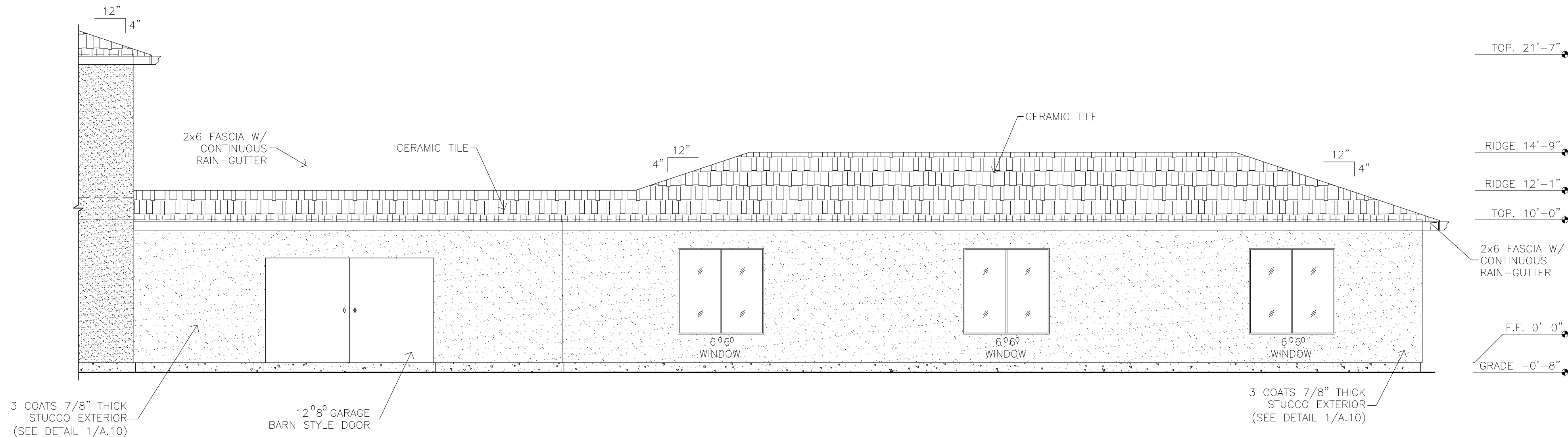
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GARAGE / BREEZEWAY SIDE / EAST ELEVATION

SCALE
3/16"=1'-0"

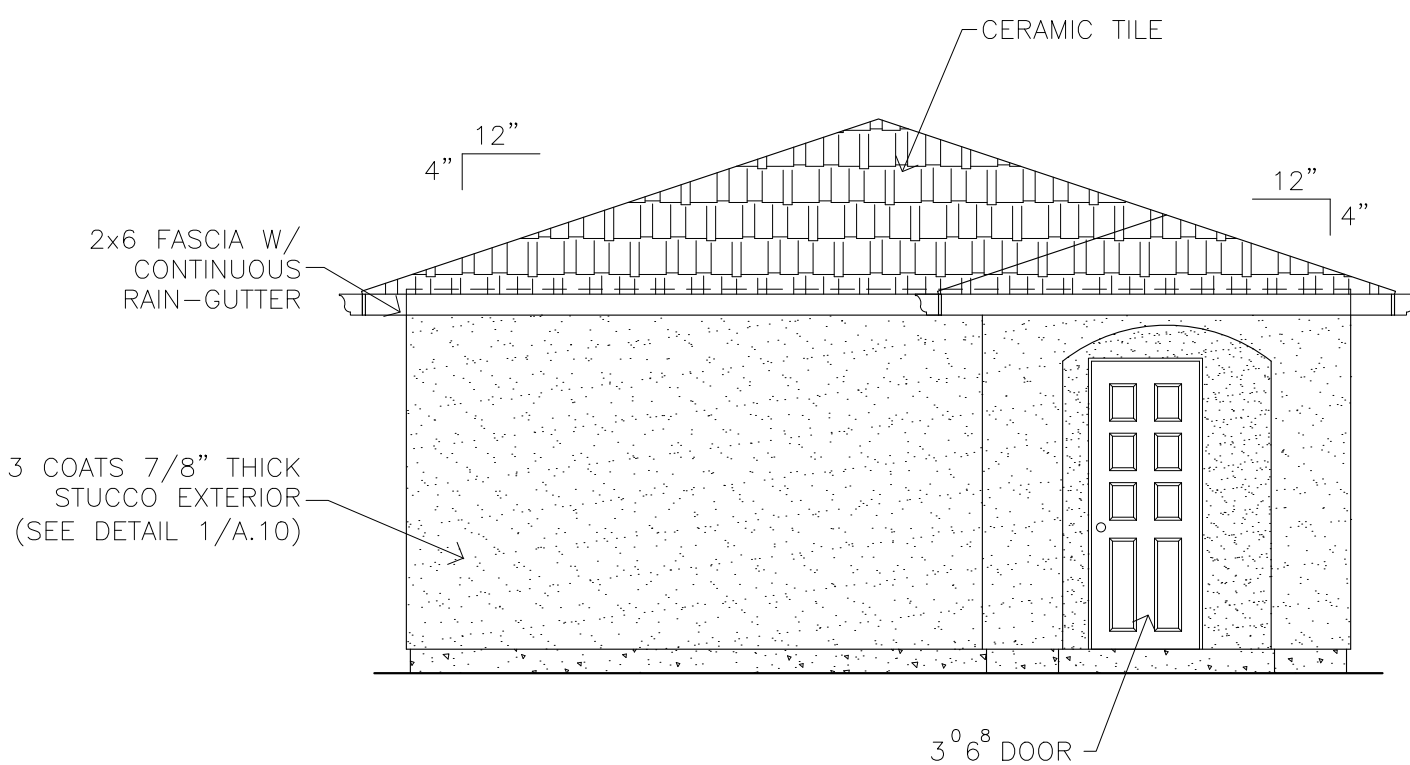
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GARAGE / BREEZEWAY REAR / SOUTH ELEVATION

SCALE
3/16"=1'-0"

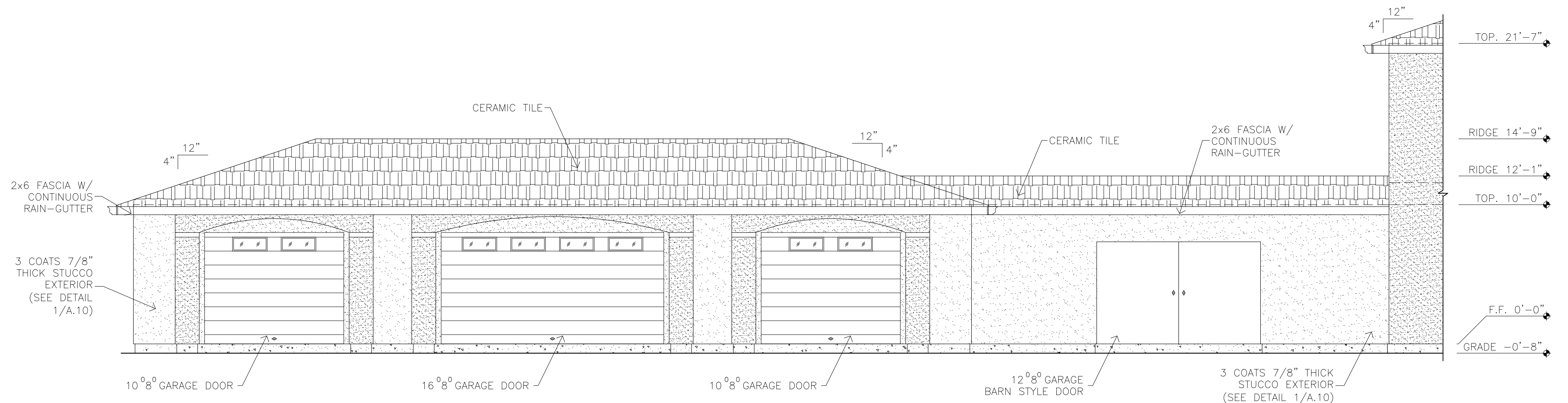
3



GARAGE / BREEZEWAY SIDE / WEST ELEVATION

SCALE
3/16"=1'-0"

2



GARAGE / BREEZEWAY FRONT / NORTH ELEVATION

SCALE
3/16"=1'-0"

1

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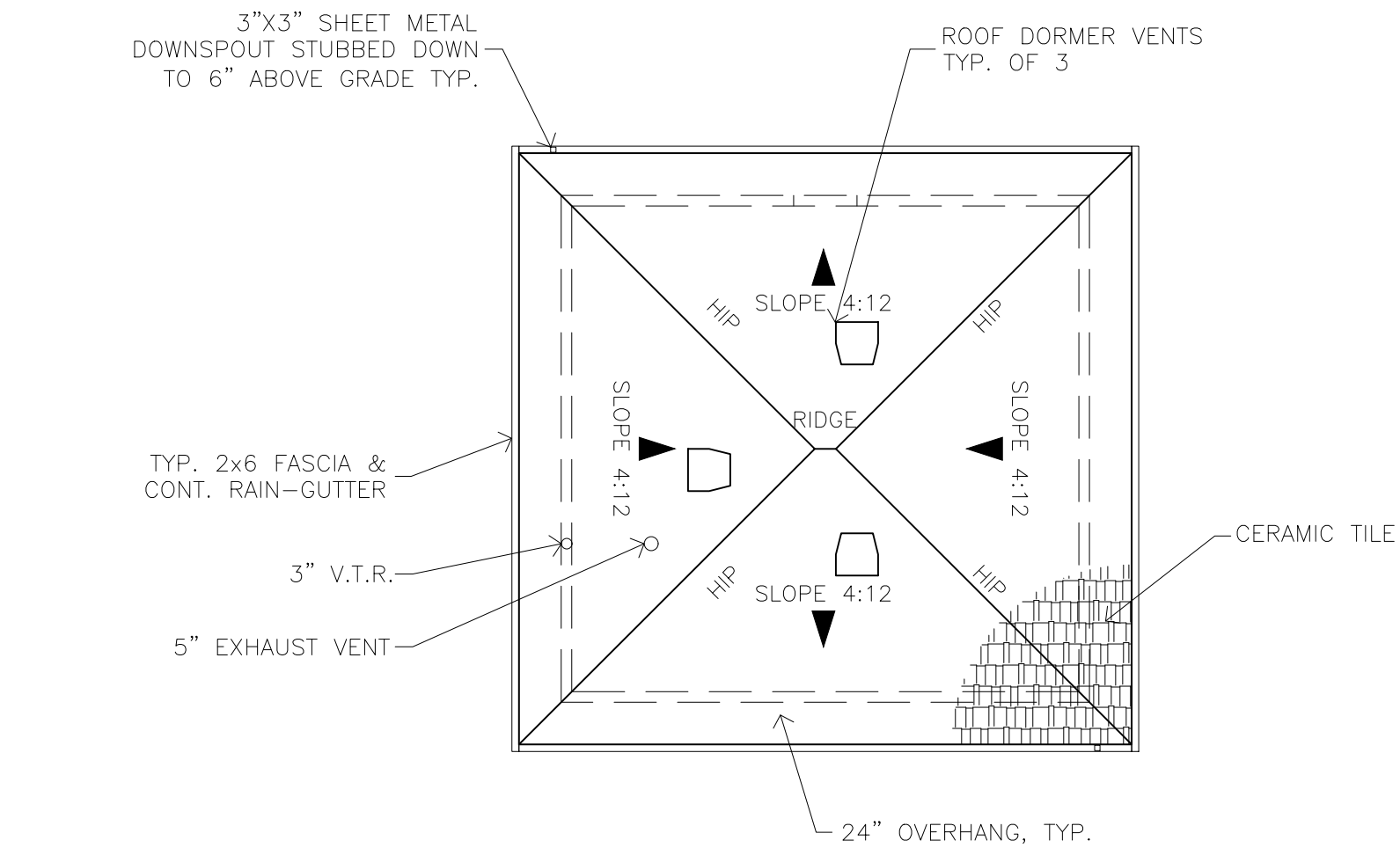
DATE: 06-26-26

SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

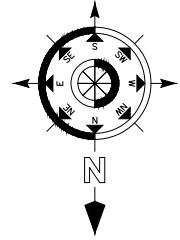
SHEET: **A.3.2**



VENTILATION CALCULATIONS							
AREA	DESCRIPTION	SQ.FT.	FACTOR	MIN. REQ'D.	#OF DORMER & TYPE	# OF GABLE & TYPE	TOTAL AREA/OK
A	POOL HS ROOF	672	1/150	4.48	3 - I = 6.00		6.00
B							
C							
D							
E							
I. 12x24 RECT. DORMER VENT (ON ROOF SURFACE) = 2.00 SQ. FT. (NET)							
II. 24" DIAM. FEATURE LOUVERED GABLE END VENT = 3.14 SQ. FT. (NET)							
III. 14"x24" STANDARD LOUVERED GABLE END VENT = 2.33 SQ. FT. (NET)							
IV. 3 1/2" X 22" STANDARD EAVE VENT (AT BLOCKING*) = .53 SQ. FT. (NET)							
V. 4" DIAM. WALL/SOFFIT MOUNTED VENT = .08 SQ. FT. (NET)							
VI. 12"Ø WIND TURBINE VENT (ON ROOF SURFACE) = 1.00 SQ. FT. (NET)							
VII. 12"x18" STANDARD LOUVERED GABLE END VENT = 1.50 SQ. FT. (NET)							

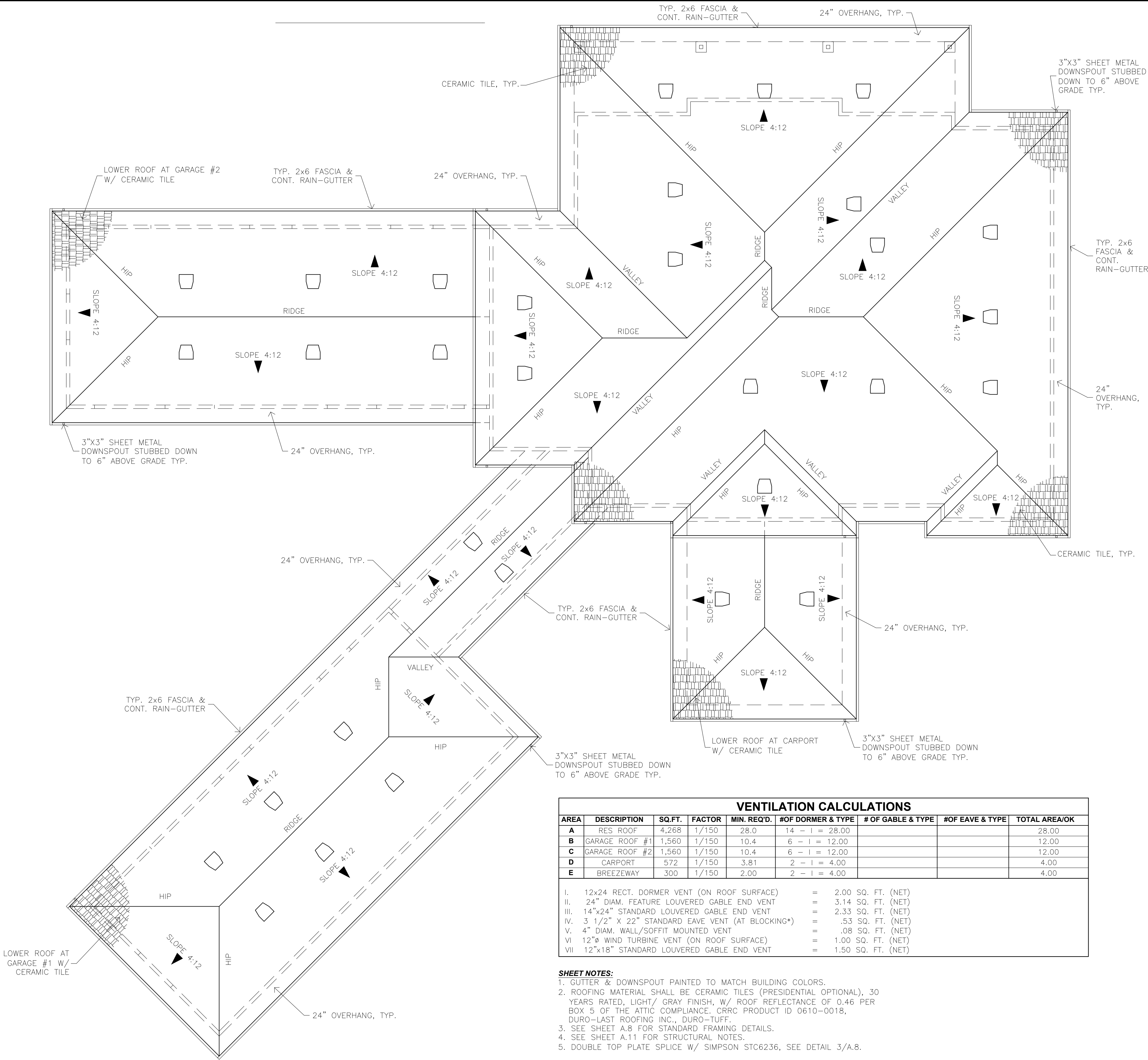
- SHEET NOTES:**
- GUTTER & DOWNSPOUT PAINTED TO MATCH BUILDING COLORS.
 - ROOFING MATERIAL SHALL BE CERAMIC TILE, 30 YEARS RATED, LIGHT/ GRAY FINISH.
 - SEE SHEET A.10 FOR STANDARD FRAMING DETAILS.
 - SEE SHEET A.13 FOR STRUCTURAL NOTES.
 - DOUBLE TOP PLATE SPLICE W/ SIMPSON STC6236, SEE DETAIL 3/A.8.

- ROOF FRAMING NOTES:**
- ALL PLYWOOD SHEETS USED IN CONSTRUCTION OF DIAPHRAMS AND SHEARWALLS SHALL BE STRUCT 1 AND NOT LESS THAN 4' x 4' IN SIZE.
 - THE MINIMUM SIZE PLYWOOD SHEETS AT BOUNDARIES AND CHANGES IN FRAMING SHALL BE 24" UNLESS BLOCKED. LOCATIONS OF THE UNDERSIZED PIECES SHALL BE SHOWN ON THE ROOF PLAN.
 - THERE SHALL BE FRAMING MEMBERS OF BLOCKING AT ALL EDGES OF THE SHEARWALLS. SEE LATERAL COMPLIANCE PLAN FOR NAILING REQUIREMENTS.
 - PROVIDE A MINIMUM OF 22" x 30" ACCESS HOLE IN ALL CALIFORNIA FILL AREAS.
 - PROVIDE THAT CALIFORNIA FILL FRAMING IS PLACED OVER SOLID PLYWOOD SHEATHING.
 - FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING AND SHEAR) SHALL BE I.C.B.O. APPROVED.
 - PROVIDE FIRE BLOCKING AT THE 10 FT INTERVALS AND AT THE FLOOR AND CEILING LEVELS PER CRC SECTION 708.2.
 - PROVIDE STEPPING FLASHING AT ROOF JUNCTIONS TO VERTICAL SURFACES (WALLS, SKYLIGHTS AND FIREPLACES).
 - ALL ROOF TRUSS SPECIFICATIONS SHALL BE ON SITE AT THE TIME OF INSPECTION.
 - METAL ROOFING ROOFING, COLOR BY OWNER.
 - TWO LAYERS OF 30# ROOFING PAPER OR ONE LAYER RhinoRoof U20 AT ROOFS WITH PITCH OF 2:12 TO 4:12
 - ONE LAYER OF 30# ROOFING PAPER AT ROOF WITH PITCH OF 5:12 AND UP.



GAME ROOM ROOF PLAN

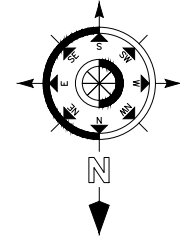
SCALE	
1/8"=1'-0"	1



VENTILATION CALCULATIONS							
AREA	DESCRIPTION	SQ.FT.	FACTOR	MIN. REQ'D.	#OF DORMER & TYPE	# OF GABLE & TYPE	TOTAL AREA/OK
A	RES ROOF	4,268	1/150	28.0	14 - I = 28.00		28.00
B	GARAGE ROOF #1	1,560	1/150	10.4	6 - I = 12.00		12.00
C	GARAGE ROOF #2	1,560	1/150	10.4	6 - I = 12.00		12.00
D	CARPOT	572	1/150	3.81	2 - I = 4.00		4.00
E	BREEZEWAY	300	1/150	2.00	2 - I = 4.00		4.00
I. 12x24 RECT. DORMER VENT (ON ROOF SURFACE) = 2.00 SQ. FT. (NET)							
II. 24" DIAM. FEATURE LOUVERED GABLE END VENT = 3.14 SQ. FT. (NET)							
III. 14"x24" STANDARD LOUVERED GABLE END VENT = 2.33 SQ. FT. (NET)							
IV. 3 1/2" X 22" STANDARD EAVE VENT (AT BLOCKING*) = .53 SQ. FT. (NET)							
V. 4" DIAM. WALL/SOFFIT MOUNTED VENT = .08 SQ. FT. (NET)							
VI. 12"Ø WIND TURBINE VENT (ON ROOF SURFACE) = 1.00 SQ. FT. (NET)							
VII. 12"x18" STANDARD LOUVERED GABLE END VENT = 1.50 SQ. FT. (NET)							

- SHEET NOTES:**
- GUTTER & DOWNSPOUT PAINTED TO MATCH BUILDING COLORS.
 - ROOFING MATERIAL SHALL BE CERAMIC TILES (PRESIDENTIAL OPTIONAL), 30 YEARS RATED, LIGHT/ GRAY FINISH, W/ ROOF REFLECTANCE OF 0.46 PER BOX 5 OF THE ATTIC COMPLIANCE, CRRC PRODUCT ID 0610-0018, DURO-LAST ROOFING INC., DURO-TUFF.
 - SEE SHEET A.8 FOR STANDARD FRAMING DETAILS.
 - SEE SHEET A.11 FOR STRUCTURAL NOTES.
 - DOUBLE TOP PLATE SPLICE W/ SIMPSON STC6236, SEE DETAIL 3/A.8.

- ROOF FRAMING NOTES:**
- ALL PLYWOOD SHEETS USED IN CONSTRUCTION OF DIAPHRAMS AND SHEARWALLS SHALL BE NOT LESS THAN 4' x 8' IN SIZE.
 - THE MINIMUM SIZE PLYWOOD SHEETS AT BOUNDARIES AND CHANGES IN FRAMING SHALL BE 24" UNLESS BLOCKED. LOCATIONS OF THE UNDERSIZED PIECES SHALL BE SHOWN ON THE ROOF PLAN.
 - THERE SHALL BE FRAMING MEMBERS OF BLOCKING AT ALL EDGES OF THE SHEARWALLS. SEE LATERAL COMPLIANCE PLAN FOR NAILING REQUIREMENTS.
 - PROVIDE A MINIMUM OF 22" x 30" ACCESS HOLE IN ALL CALIFORNIA FILL AREAS.
 - PROVIDE THAT CALIFORNIA FILL FRAMING IS PLACED OVER SOLID PLYWOOD SHEATHING.
 - FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING AND SHEAR) SHALL BE I.C.B.O. APPROVED.
 - PROVIDE FIRE BLOCKING AT THE 10 FT INTERVALS AND AT THE FLOOR AND CEILING LEVELS PER CRC SECTION 708.2.
 - PROVIDE STEPPING FLASHING AT ROOF JUNCTIONS TO VERTICAL SURFACES (WALLS, SKYLIGHTS AND FIREPLACES).
 - ALL ROOF TRUSS SPECIFICATIONS SHALL BE ON SITE AT THE TIME OF INSPECTION.
 - METAL ROOFING ROOFING, COLOR BY OWNER.
 - TWO LAYERS OF 30# ROOFING PAPER OR ONE LAYER RhinoRoof U20 AT ROOFS WITH PITCH OF 2:12 TO 4:12
 - ONE LAYER OF 30# ROOFING PAPER AT ROOF WITH PITCH OF 5:12 AND UP.



RESIDENCE ROOF PLAN

SCALE	
1/8"=1'-0"	1

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ROOF PLAN

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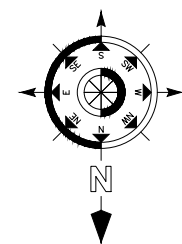
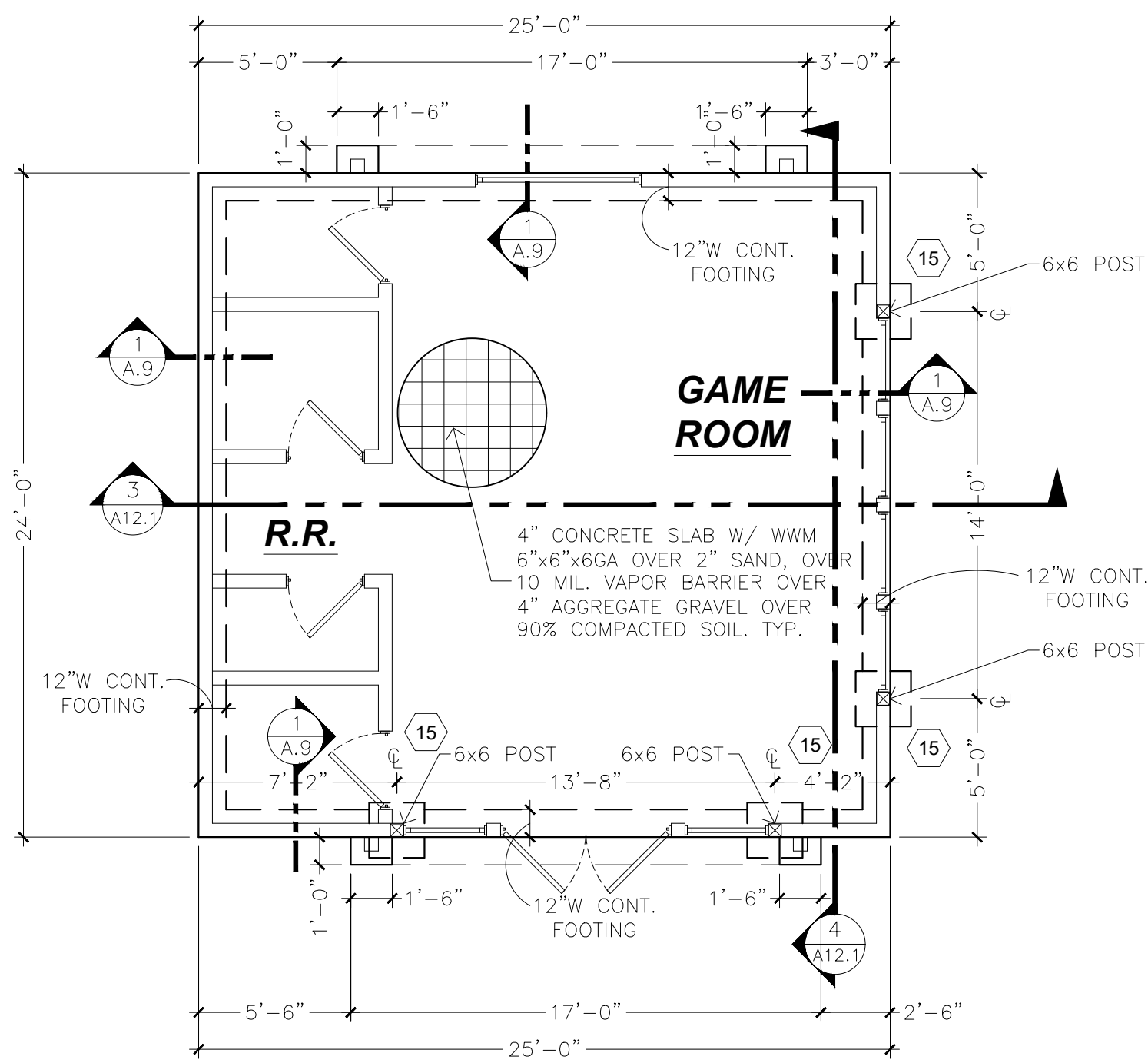
SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

A.4



GAME ROOM - FOUNDATION PLAN

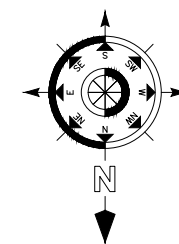
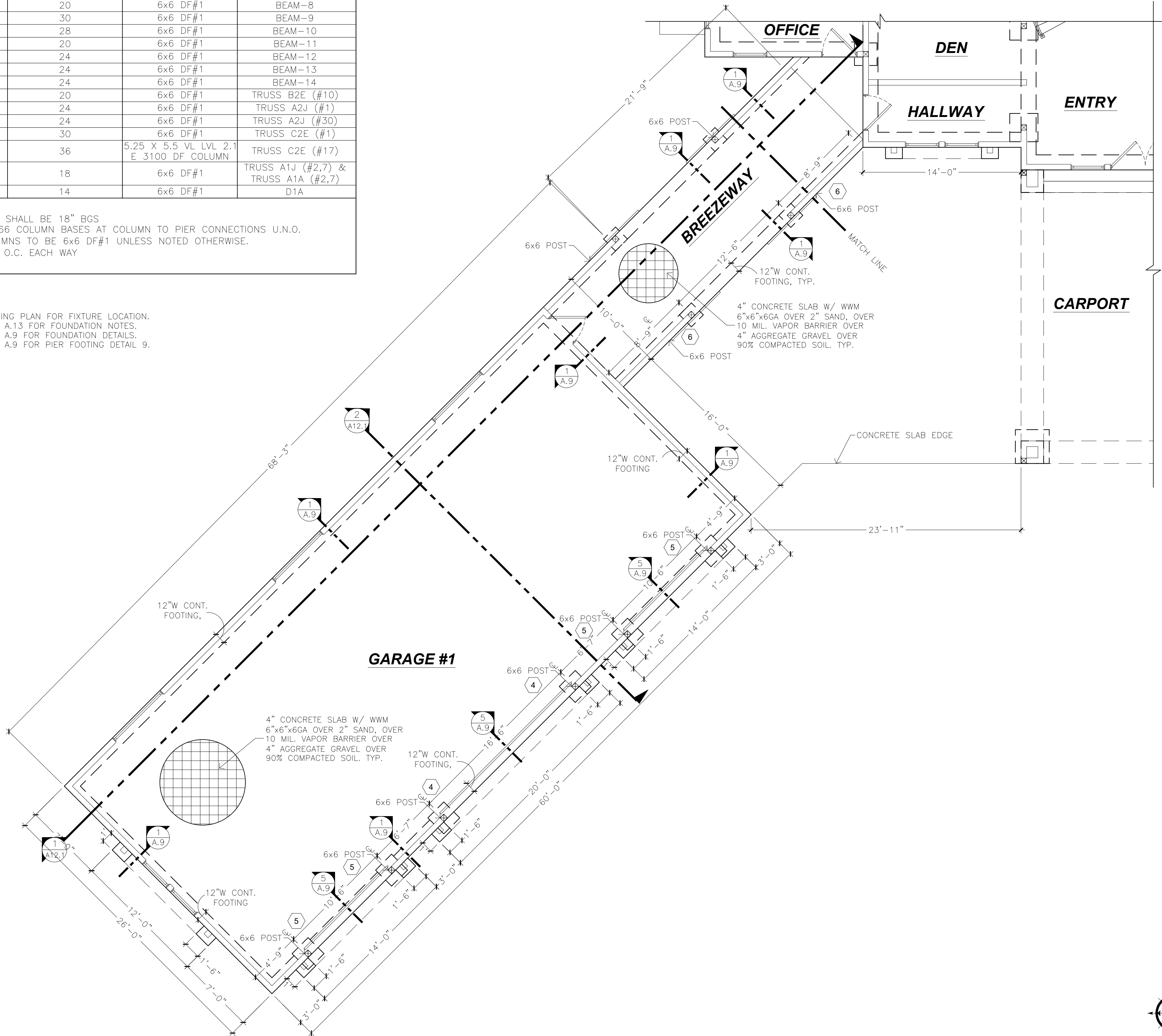
SCALE
3/16"=1'-0"

2

PIER FOOTING SCHEDULE			
PIER #	SQUARE FOOTING (L/W) INCHES	COLUMN SIZE	NOTE
1	36	6x6 DF#1	BEAM-1
2	36	6x6 DF#1	BEAM-2 CORNER
3	24	6x6 DF#1	BEAM-2 ENDS
4	24	6x6 DF#1	BEAM-3 ALL
5	24	6x6 DF#1	BEAM-4
6	24	6x6 DF#1	BEAM-5
7	18	6x6 DF#1	BEAM-6
8	20	6x6 DF#1	BEAM-7
9	20	6x6 DF#1	BEAM-8
10	30	6x6 DF#1	BEAM-9
11	28	6x6 DF#1	BEAM-10
12	20	6x6 DF#1	BEAM-11
13	24	6x6 DF#1	BEAM-12
14	24	6x6 DF#1	BEAM-13
15	24	6x6 DF#1	BEAM-14
16	20	6x6 DF#1	TRUSS B2E (#10)
17	24	6x6 DF#1	TRUSS A2J (#1)
18	24	6x6 DF#1	TRUSS A2J (#30)
19	30	6x6 DF#1	TRUSS C2E (#1)
20	36	5.25 X 5.5 VL LVL 2.1 E 3100 DF COLUMN	TRUSS C2E (#17)
21	18	6x6 DF#1	TRUSS A1J (#2,7) & TRUSS A1A (#2,7)
22	14	6x6 DF#1	D1A

NOTES:
- FOOTINGS SHALL BE 18" BCS
- USE CBSQ66 COLUMN BASES AT COLUMN TO PIER CONNECTIONS U.N.O.
- ALL COLUMNS TO BE 6x6 DF#1 UNLESS NOTED OTHERWISE.
- #4 @ 6" O.C. EACH WAY

SHEET NOTES:
1- SEE PLUMBING PLAN FOR FIXTURE LOCATION.
2- SEE SHEET A.13 FOR FOUNDATION NOTES.
3- SEE SHEET A.9 FOR FOUNDATION DETAILS.
4- SEE SHEET A.9 FOR PIER FOOTING DETAIL 9.



PARTIAL - GARAGE / BREEZEWAY FOUNDATION PLAN

SCALE
3/16"=1'-0"

1

NO.

REVISION & DATE

RTIZ

DESIGN GROUP

RICARDO R. ORTIZ

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ricardo@ortizdesigngroup.com

NEW 2-STORY RESIDENCE

MANPREET SINGH

3400 BYER RD.

BYRON, CA 94514

FOUNDATION PLAN

REGISTERED PROFESSIONAL ENGINEER

DIEGO JOSE ZEPEDA

No. C 88326

CIVIL

STATE OF CALIFORNIA

CIVIL ENGINEER:

DJ&J ENGINEERING

DIEGO JOSE ZEPEDA P.E.

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DATE:

06-26-26

SCALE:

AS SHOWN

DRAWN BY:

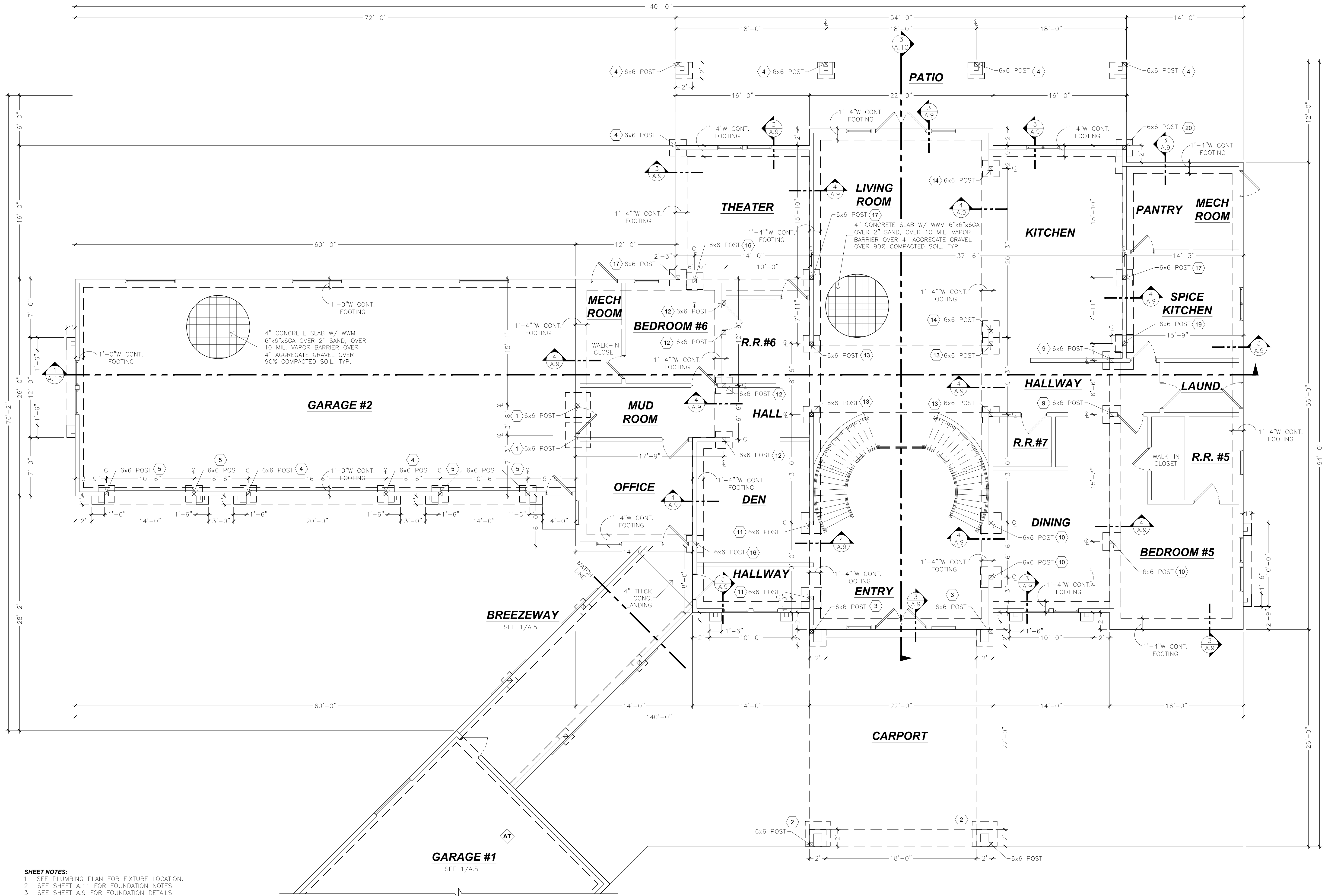
R. ORTIZ

JOB NO:

RES26-001

SHEET:

A.5



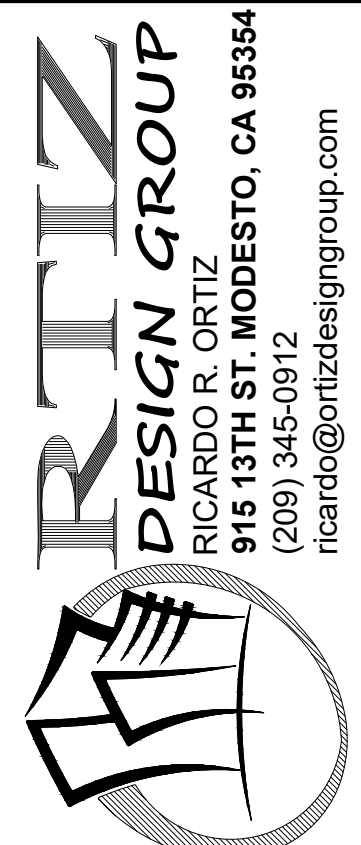
SHEET NOTES:
1- SEE PLUMBING PLAN FOR FIXTURE LOCATION.
2- SEE SHEET A.11 FOR FOUNDATION NOTES.
3- SEE SHEET A.9 FOR FOUNDATION DETAILS.
4- SEE SHEET A.5 FOR PIER FOOTING SCHEDULE.

FOUNDATION PLAN

SCALE
1/4"=1'-0"

1

NO. REVISION & DATE



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NEW 2-STORY RESIDENCE
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FOUNDATION PLAN



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DATE: 06-26-26

SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

A.5

- FOOT NOTES:
1. WALL GROUP UNIT SHEAR CAPACITIES LISTED WITH ATTACHED SHEAR WALL CALCULATIONS.
 2. UNLESS NOTED OTHERWISE, WALLS SHALL HAVE 1/2" GYPSUM INTERIOR SHEATHING WITH 1190 GALVANIZED NAILING AT 7" FIELD/EDGE SPACING.
 3. FIELD NAILING SHALL BE 12" MAX O.C.
 4. ALL ANCHOR BOLTS SHALL BE 6" MIN. EMBEDMENT WITH 3"x3"x0.229" STEEL PLATE WASHER BETWEEN THE SILL PLATE & NUT.
 5. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COAT GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER.
 6. PLYWOOD CAN BE SUBSTITUTED WITH THE SAME THICKNESS OF OSB PARTICLE BOARD.
 7. PROVIDE NAILING TO BLOCKING AT ALL PANEL EDGES.

SHEAR WALL SCHEDULE					
WALL GROUP	MATERIAL	EDGE NAILING	SILL NAILING	A.B. SPACING	ALTERNATE A.B. SPACING
1,3,8	3/8" CDX DF PLYWOOD (OSB)	8d - 6" o.c.	3-16d @ 6" o.c.	5/8"x10" A.B. @ 22" O.C. 2x DF SILL	5/8"x12" A.B. @ 28" O.C. 3x DF SILL
6	15/32" CDX DF PLYWD (OSB) [BOTH SIDES] 3X FRAMING @ ADJOINING PANEL EDGES	10d - 2" o.c.	3-16d @ 3" o.c.	5/8"x10" A.B. @ 10" O.C. 2x DF SILL	5/8"x12" A.B. @ 12" O.C. 3x DF SILL
4,5,7	15/32" CDX DF PLYWOOD (OSB) 3X FRAMING @ ADJOINING PANEL EDGES	10d - 2" o.c.	3-16d @ 3" o.c.	5/8"x10" A.B. @ 10" O.C. 2x DF SILL	5/8"x12" A.B. @ 12" O.C. 3x DF SILL

HOLD-DOWN SCHEDULE					
SYMBOL	DESCRIPTION	ANCHOR BOLT	MINIMUM END STUD	END STUD NAILING REQUIRED	REQUIRED MINIMUM FOOTING @ BOLT
HDU2	"SIMPSON" HDU2-SDS2.5 HOLDDOWN W/ (6) 1/4"x2-1/2" SDS SCREWS	SSTB16	6X	2 ROWS OF 8d @ 6"	12" WIDE x 16" DEEP W/ 2-#4 CONT. TOP & BOT
HDU5	"SIMPSON" HDU5-SDS2.5 HOLDDOWN W/ (14) 1/4"x2-1/2" SDS SCREWS	SSTB24	6X	2 ROWS OF 8d @ 4"	12" WIDE x 24" DEEP W/ 2-#4 CONT. TOP & BOT
HDU8	"SIMPSON" HDU8-SDS2.5 HOLDDOWN W/ (20) 1/4"x2-1/2" SDS SCREWS	SSTB28	6X	2 ROWS OF 8d @ 4"	12" WIDE x 28" DEEP W/ 2-#4 CONT. TOP & BOT
HDU11	"SIMPSON" HDU11-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X	2 ROWS OF 8d @ 4"	12" WIDE x 28" DEEP W/ 2-#4 CONT. TOP & BOT
HDU14	"SIMPSON" HDU14-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X8	2 ROWS OF 8d @ 4"	12" WIDE x 30" DEEP W/ 2-#4 CONT. TOP & BOT

ANCHOR BOLT SCHEDULE					
MODEL #	DIAMETER	LENGTH (IN.)	MIN. EMBED. IN (IN.)	MIN. END DISTANCE (IN.)	MIN. EDGE DISTANCE (IN.)
SSTB16	5/8"	17-5/8"	12-5/8"	4"	1-3/4"
SSTB24	5/8"	25-5/8"	20-5/8"	4"	1-3/4"
SSTB28	7/8"	29-7/8"	24-7/8"	4"	1-3/4"
SB1X30	1"	30"	24"	4"	1-3/4"

LEGEND

--- SHEAR WALL PER SCHEDULE

▽ SEGMENTED SHEAR WALL, SEE DETAIL 1/A.9

FORCE TRANSFER AROUND OPENINGS SHEAR WALL, SEE DETAIL 9/A.9

▽ PFH (PORTAL FRAME W/ HOLD-DOWNS) PER SECTION R602.10.6.2., SEE DETAIL 1/A.9

- GENERAL NOTES:**
1. SEE DETAIL 3/A.11 FOR TYP. HOLDDOWN INSTALLATION
 2. ALL NON-SHEAR WALLS SHALL HAVE MIN. 3/8" PLYWOOD SHEETING.
 3. AT SHEAR WALL INTERSECTIONS, STRONGEST REQUIRED HOLD DOWN FOR ADJACENT SHEAR WALLS WAS SELECTED.
 4. AT 2ND STORY HOLD-DOWN LOCATIONS, PROVIDE DOUBLE BRACKET HOLD-DOWNS PER SIMPSON DETAIL 12/A.11, THIS SHEET. PROVIDE 2X BLOCKING AT SUCH LOCATIONS.

NO. REVISION & DATE

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SHEAR WALL PLAN



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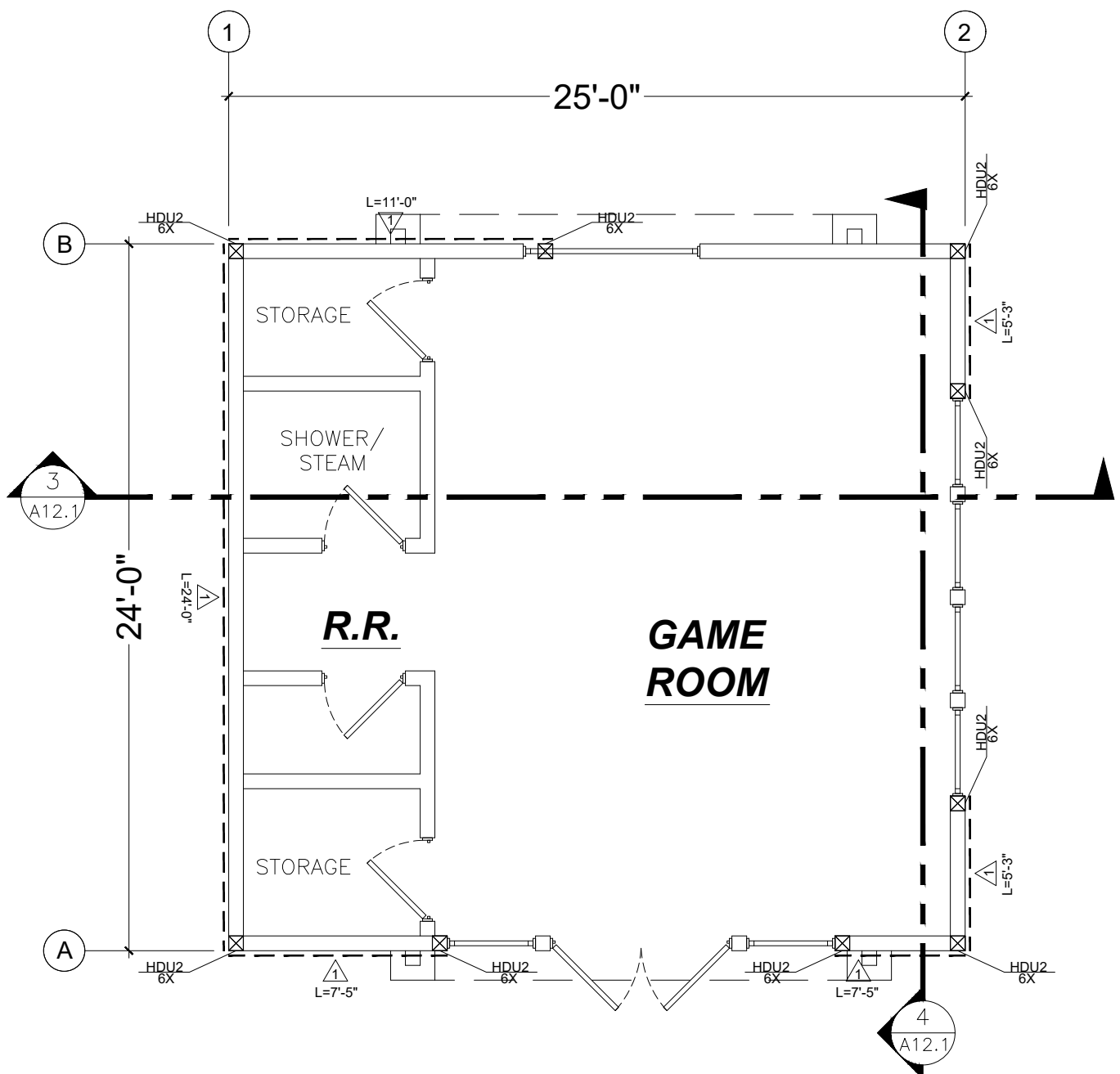
SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

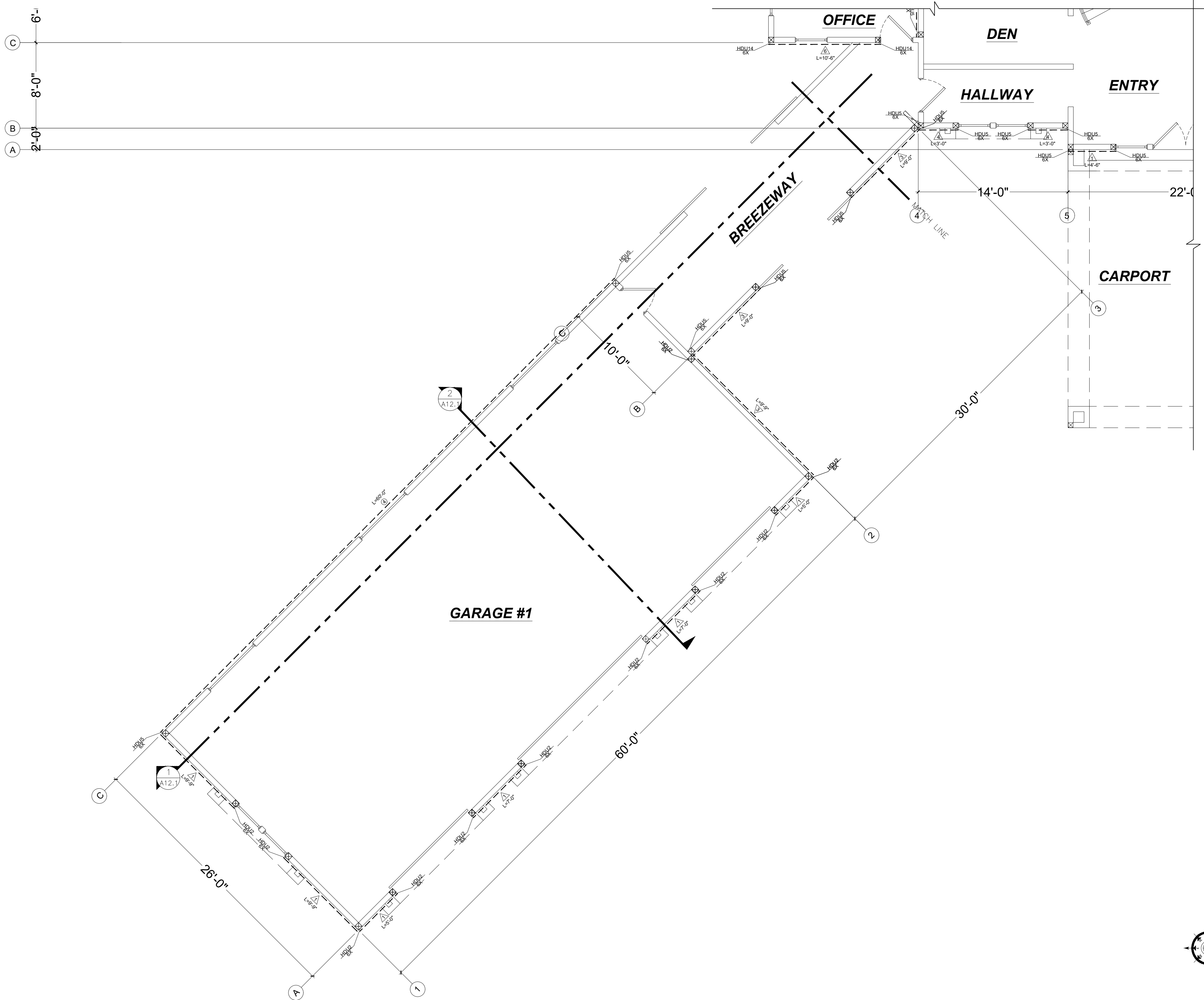
A.7



GAME ROOM - FOUNDATION PLAN

SCALE
3/16"=1'-0"

2



PARTIAL - GARAGE / BREEZEWAY FOUNDATION PLAN

SCALE
3/16"=1'-0"

1

- FOOT NOTES:
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HOLD-DOWN SCHEDULE				
SYMBOL	DESCRIPTION	ANCHOR BOLT	MINIMUM END STUD	END STUD NAILING REQUIRED
HDU2	"SIMPSON" HDU2-SDS2.5 HOLDDOWN W/ (6) 1/4"x2-1/2" SDS SCREWS	SSTB16	6X	2 ROWS OF 8d @ 6"
HDU5	"SIMPSON" HDU5-SDS2.5 HOLDDOWN W/ (14) 1/4"x2-1/2" SDS SCREWS	SSTB24	6X	2 ROWS OF 8d @ 4"
HDU8	"SIMPSON" HDU8-SDS2.5 HOLDDOWN W/ (20) 1/4"x2-1/2" SDS SCREWS	SSTB28	6X	2 ROWS OF 8d @ 4"
HDU11	"SIMPSON" HDU11-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X	2 ROWS OF 8d @ 4"
HDU14	"SIMPSON" HDU14-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X8	2 ROWS OF 8d @ 4"

ANCHOR BOLT SCHEDULE				
MODEL #	DIAMETER	LENGTH (IN.)	MIN. EMBED. IN (IN.)	MIN. END DISTANCE (IN.)
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SSTB28	7/8"	29-7/8"	24-7/8"	4"
SB1X30	1"	30"	24"	4"

LEGEND

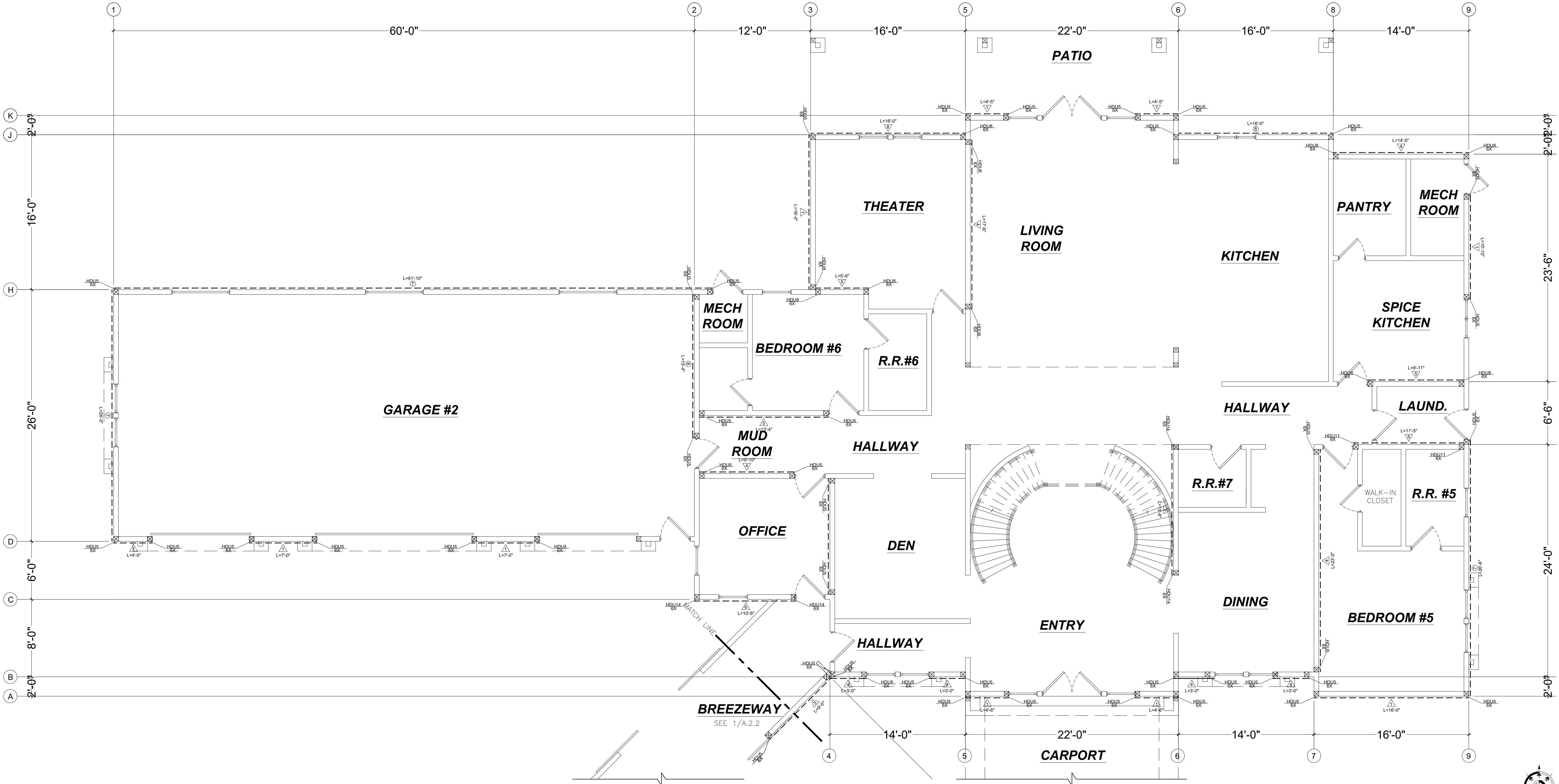
--- SHEAR WALL PER SCHEDULE

▽ SEGMENTED SHEAR WALL, SEE DETAIL 1/A.9

FORCE TRANSFER AROUND OPENINGS SHEAR WALL, SEE DETAIL 9/A.9

△ PFH (PORTAL FRAME W/ HOLD-DOWNS) PER SECTION R602.10.6.2., SEE DETAIL 1/A.9

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PARTIAL FIRST FLOOR - PROPOSED FLOOR PLAN

SCALE
3/16"=1'-0"

1

NEW 2-STORY RESIDENCE
MANPREET SINGH
3400 BYER RD.
BYRON, CA 94514

SHEAR WALL PLAN



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DATE: 06-26-26

SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET: A.7.1

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- FOOT NOTES:
1. WALL GROUP UNIT SHEAR CAPACITIES LISTED WITH ATTACHED SHEAR WALL CALCULATIONS.
 2. UNLESS NOTED OTHERWISE, WALLS SHALL HAVE 1/2" GYPSUM INTERIOR SHEATHING WITH 11ga GALVANIZED NAILING AT 7" FIELD/EDGE SPACING.
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HOLD-DOWN SCHEDULE					
SYMBOL	DESCRIPTION	ANCHOR BOLT	MINIMUM END STUD	END STUD NAILING REQUIRED	REQUIRED MINIMUM FOOTING @ BOLT
HDU2	"SIMPSON" HDU2-SDS2.5 HOLDDOWN W/ (6) 1/4"x2-1/2" SDS SCREWS	SSTB16	6X	2 ROWS OF 8d @ 6"	12" WIDE x 16" DEEP W/ 2-#4 CONT. TOP & BOT
HDU5	"SIMPSON" HDU5-SDS2.5 HOLDDOWN W/ (14) 1/4"x2-1/2" SDS SCREWS	SSTB24	6X	2 ROWS OF 8d @ 4"	12" WIDE x 24" DEEP W/ 2-#4 CONT. TOP & BOT
HDU8	"SIMPSON" HDU8-SDS2.5 HOLDDOWN W/ (20) 1/4"x2-1/2" SDS SCREWS	SSTB28	6X	2 ROWS OF 8d @ 4"	12" WIDE x 28" DEEP W/ 2-#4 CONT. TOP & BOT
HDU11	"SIMPSON" HDU11-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X	2 ROWS OF 8d @ 4"	12" WIDE x 28" DEEP W/ 2-#4 CONT. TOP & BOT
HDU14	"SIMPSON" HDU14-SDS2.5 HOLDDOWN W/ (30) 1/4"x2-1/2" SDS SCREWS	SB1X30	6X8	2 ROWS OF 8d @ 4"	12" WIDE x 30" DEEP W/ 2-#4 CONT. TOP & BOT

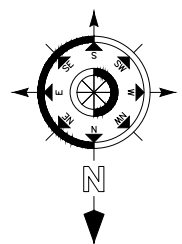
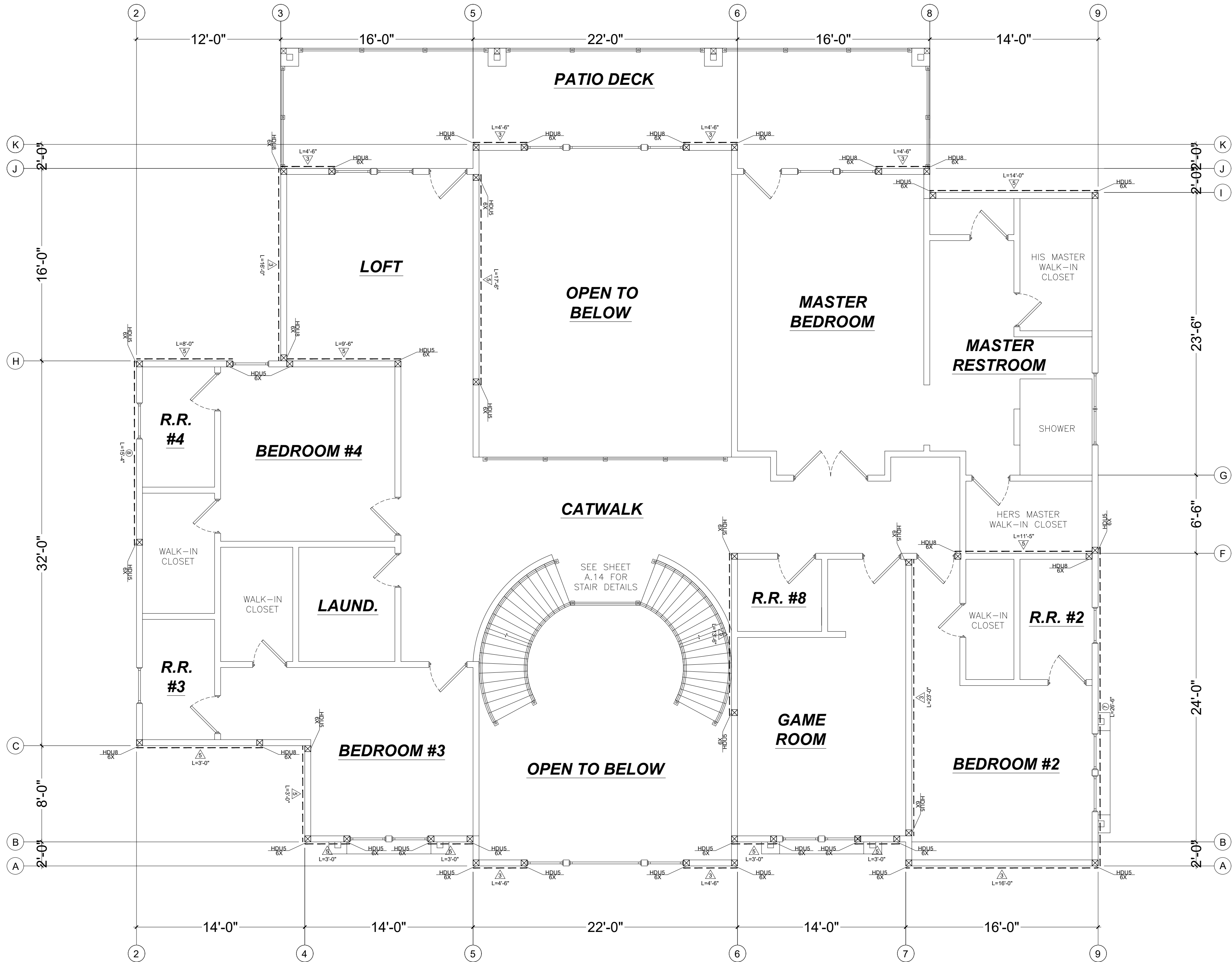
ANCHOR BOLT SCHEDULE					
MODEL #	DIAMETER	LENGTH (IN.)	MIN. EMBED. W (IN.)	MIN. END DISTANCE (IN.)	MIN. EDGE DISTANCE (IN.)
SSTB16	5/8"	17-5/8"	12-5/8"	4"	1-3/4"
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SSTB28	7/8"	29-7/8"	24-7/8"	4"	1-3/4"
SB1X30	1"	30"	24"	4"	1-3/4"

LEGEND

- SHEAR WALL PER SCHEDULE
- ▽ # SEGMENTED SHEAR WALL, SEE DETAIL 1/A.9
- ⊕ # FORCE TRANSFER AROUND OPENINGS SHEAR WALL, SEE DETAIL 9/A.9
- ▽ A PFH (PORTAL FRAME W/ HOLD-DOWNS) PER SECTION R602.10.6.2., SEE DETAIL 1/A.9

GENERAL NOTES:

1. SEE DETAIL 3/A.11 FOR TYP. HOLD-DOWN INSTALLATION
2. ALL NON-SHEAR WALLS SHALL HAVE MIN. 3/8" PLYWOOD SHEETING.
3. AT SHEAR WALL INTERSECTIONS, STRONGEST REQUIRED HOLD DOWN FOR ADJACENT SHEAR WALLS WAS SELECTED.
4. AT 2ND STORY HOLD-DOWN LOCATIONS, PROVIDE DOUBLE BRACKET HOLD-DOWNS PER SIMPSON DETAIL 12/A.11, THIS SHEET. PROVIDE 2X BLOCKING AT SUCH LOCATIONS.



PARTIAL FIRST FLOOR - PROPOSED FLOOR PLAN

SCALE	1
3/16"=1'-0"	

NO. REVISION & DATE

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SHEAR WALL PLAN



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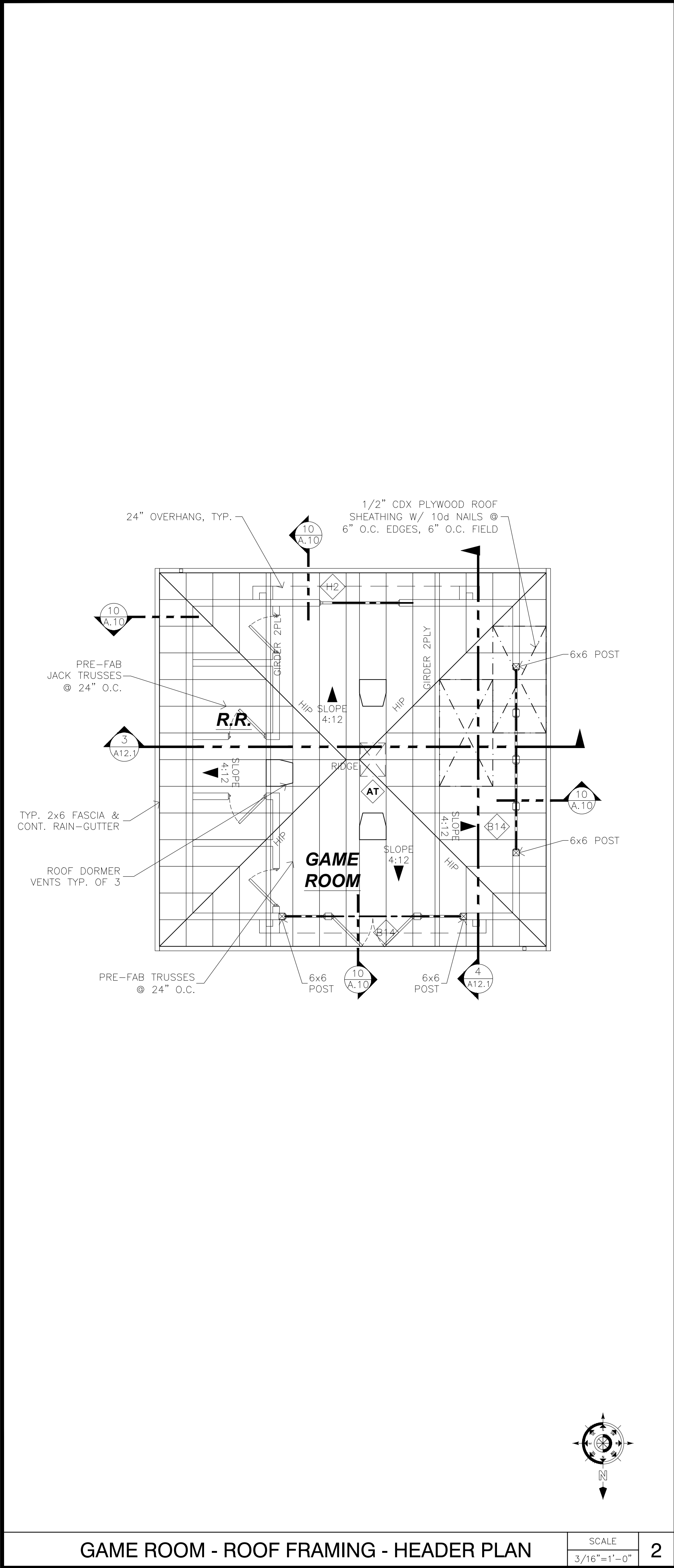
SCALE: AS SHOWN

DRAWN BY: R. ORTIZ

JOB NO: RES26-001

SHEET:

A.7.2



GAME ROOM - ROOF FRAMING - HEADER PLAN

SCALE
3/16"=1'-0"

2

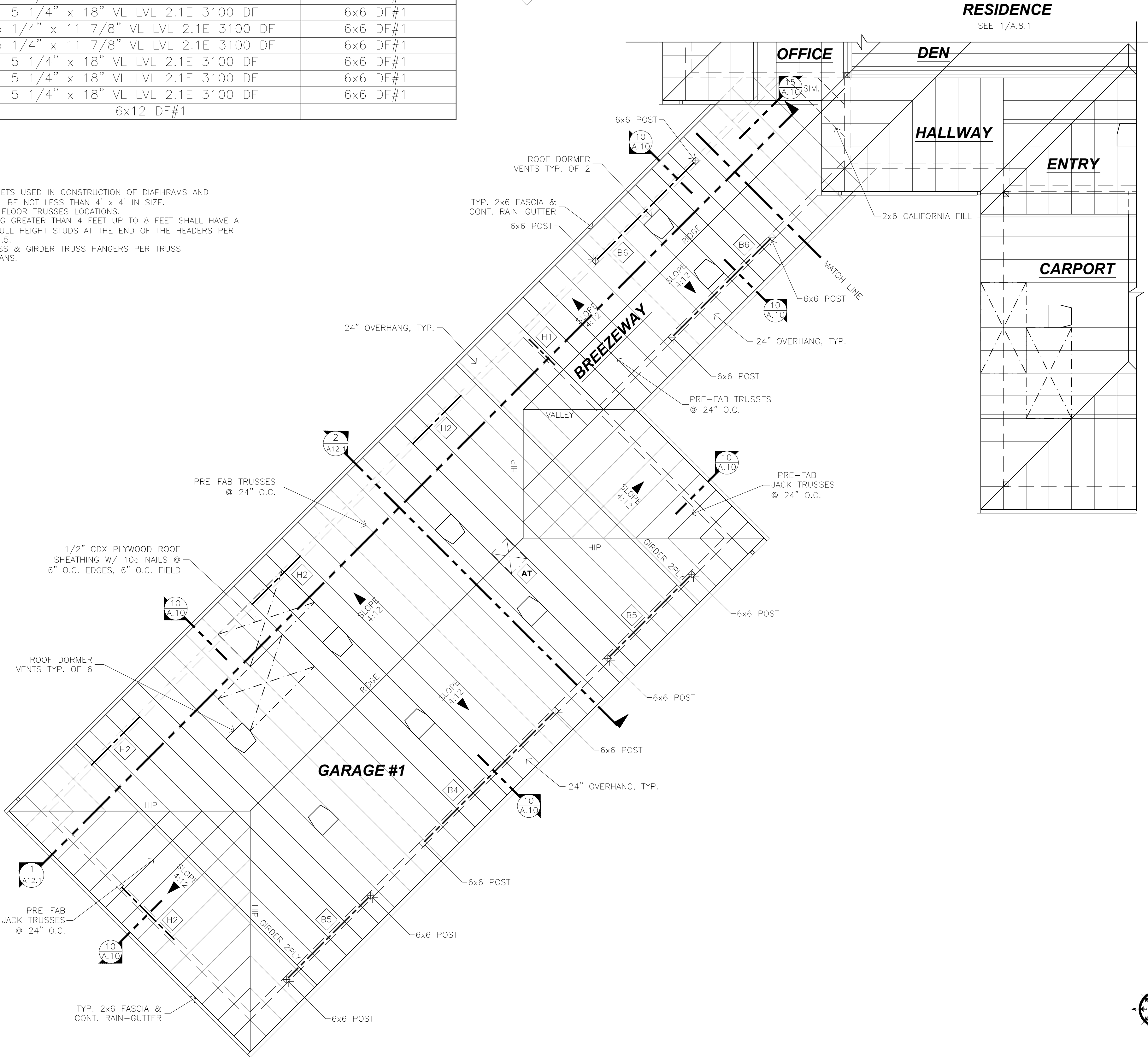
BEAM/HEADER SCHEDULE		
BEAM NUMBER	PRODUCT NAME	SUPPORT COLUMN
1	5 1/4" x 11 1/4" VL LVL 2.1E 3100 DF	6x6 DF#1
2	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
3	6x12 DF#1	6x6 DF#1
4	5 1/4" x 11 1/4" VL LVL 2.1E 3100 DF	6x6 DF#1
5	6x12 DF#1	6x6 DF#1
6	6x12 DF#1	6x6 DF#1
7	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
8	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
9	5 1/4" x 11 7/8" VL LVL 2.1E 3100 DF	6x6 DF#1
10	5 1/4" x 11 7/8" VL LVL 2.1E 3100 DF	6x6 DF#1
11	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
12	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
13	5 1/4" x 18" VL LVL 2.1E 3100 DF	6x6 DF#1
14	6x12 DF#1	6x6 DF#1

- FRAMING NOTES:**
1. ALL PLYWOOD SHEETS USED IN CONSTRUCTION OF DIAPHRAGMS AND SHEARWALLS SHALL BE NOT LESS THAN 4" x 4' IN SIZE.
 2. FIELD VERIFY ALL FLOOR TRUSSES LOCATIONS.
 3. HEADERS SPANNING GREATER THAN 4 FEET UP TO 8 FEET SHALL HAVE A MINIMUM OF (2) FULL HEIGHT STUDS AT THE END OF THE HEADERS PER CRC TABLE R602.7.5.
 4. TRUSS, JACK TRUSS & GIRDER TRUSS HANGERS PER TRUSS MANUFACTURER PLANS.

BEAM SCHEDULE	
H1	6x10 DF #2 (TYP. HEADER UP TO 4' OPENING)
H2	6x10 DF #2 (TYP. HEADER OVER 4' UP TO 6')
H3	4x4 DF#2 (TYP. INT. NON-BEARING WALL UP TO 4' OPENING)
H4	4x6 DF#2 (TYP. INT. NON-BEARING WALL OVER 4' UP TO 6')

AT 22"x30" MIN. ATTIC ACCESS OPENING

- SHEET NOTES:**
1. SEE BEAM SCHEDULE FOR ALL BEARING WALL HEADERS & BEAMS.
 2. SEE SHEET A.10 FOR STANDARD FRAMING DETAILS.
 3. SEE SHEET A.11 FOR STRUCTURAL NOTES.
 4. TRIPLE TOP PLATE SPLICE W/ SIMPSON STC6236. SEE DETAIL 3/A.10.
 5. ALL TRUSSES AT NON-BEARING WALLS TO BE FASTENED DOWN WITH A SIMPSON STC CLIP.
 6. GIRDER TRUSSES TO BE TIED DOWN AT POST WITH SIMPSON VGTR, SEE DETAIL 14/A.10.
 7. 2-PLY GIRDER TRUSSES TO BE TIED TO OTHER GIRDER TRUSS W/ SIMPSON HTU26-2 HANGER.
 8. TRUSSES TO BE TIED TO GIRDER TRUSS W/ SIMPSON HTU26 HANGER.



PARTIAL - GARAGE ROOF FRAMING - HEADER PLAN

SCALE
3/16"=1'-0"

1

NO.	REVISION & DATE

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AS SHOWN

DRAWN BY:

R. ORTIZ

JOB NO:

RES26-001

SHEET:

A.8

BEAM SCHEDULE	
H1	6x10 DF #2 (TYP. HEADER UP TO 4' OPENING)
H2	6x10 DF #2 (TYP. HEADER OVER 4' UP TO 6')
H3	4x4 DF#2 (TYP. INT. NON-BEARING WALL UP TO 4' OPENING)
H4	4x6 DF#2 (TYP. INT. NON-BEARING WALL OVER 4' UP TO 6')

GARAGE #1
SEE 1/A.8

