ALI CARRIAGE RENTAL HOMES

4301 APPIAN WAY - EL SOBRANTE, CA

NOTES:

1. GENERAL: THESE PLANS ARE A "BUILDER'S SET". ARETE, INC. HAS BEEN CONTRACTED TO PROVIDE A "BUILDER'S SET" WITH THE AGREEMENT THAT AN EXPERIENCED & KNOWLEDGEABLE CONTRACTOR SHALL CONSTRUCT THIS PROJECT. THESE PLANS CONTAIN INFORMATION FOR GENERAL CONSTRUCTION & BUILDING PERMIT PURPOSES ONLY, THEY ARE NOT EXTENSIVELY DETAILED NOR ARE SPECIFICATIONS PROVIDED. FOR ITEMS, METHODS AND/OR MATERIALS NOT SHOWN, MINIMUM REQUIREMENT OF CURRENTLY ADOPTED C.B.C. SHALL GOVERN. THESE PLANS HAVE BEEN PRODUCED SOLELY FOR THE USE OF A KNOWLEDGEABLE & EXPERIENCED CONTRACTOR. ANY OR PART OF ALL SYSTEMS, MATERIALS, CONNECTIONS & DETAILS NOT SPECIFICALLY PROVIDED IN THESE PLANS ARE THE SOLE & COMPLETE RESPONSIBILITY OF CONTRACTOR TO PROPERLY VERIFY & INSTALL. ARCHITECT DOES NOT PROVIDE CONTINUOUS OBSERVATION UNLESS IT HAS BEEN SPECIFICALLY CONTRACTED FOR. CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY & CONSTRUCTION STANDARDS FOR THIS PROJECT. ARCHITECT PROVIDES NO WARRANTY OR GUARANTEE ON FINAL PROJECT, NOR A DUTY TO ANY PERSON OR ENTITY BEYOND THE AFOREMENTIONED LIMITED INFORMATION OF THESE CONSTRUCTION DOCUMENTS. THE CLIENT IS DIRECTLY RESPONSIBLE FOR ANY MODIFICATIONS THAT MAY BE ASSOCIATED WITH REVISIONS RESULTING FROM BUILDING CODE CHANGES THAT MAY OCCUR SUBSEQUENT TO THE GENERATION OF THESE CONSTRUCTION DOCUMENTS.
2. CONTRACTOR & SUBCONTRACTORS ARE TO REFER TO ALL SHEETS (DRAWINGS) PRIOR TO COMMENCEMENT OF WORK TO ELIMINATE POSSIBLE FUTURE ERRORS AND OMISSIONS. IF, IN THE OPINION OF CONTRACTOR OR ANY SUBCONTRACTOR, INSTRUCTIONS, DETAILS OR INFORMATION CONTAINED IN THESE DRAWINGS OR SPECIFICATIONS IS AT VARIANCE WITH OR DOES NOT COMPLY WITH ANY OF THE REQUIREMENTS ABOVE, HE SHALL REPORT SAME TO ARCHITECT BEFORE PROCEEDING WITH THAT PHASE OF WORK.
3. JOB SAFETY: ARCHITECT IS NOT RESPONSIBLE FOR FABRICATION, ERECTION AND/OR JOB SAFETY. CONTRACTOR SHALL COMPLY WITH ALL SAFETY REGULATIONS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL SHORING, BRACING, FORM WORK, ETC. AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF PROJECT.
4. ON-SITE FIELD VERIFICATION OF ALL DIMENSIONS & CONDITIONS SHALL BE RESPONSIBILITY OF CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR/OWNER SHALL VERIFY CONTOURS, SITE CONFIGURATIONS, PROPERTY LINES, SETBACKS, EASEMENTS, EXTENT OF BUILDING PAD, & ACCURACY OF TOPOGRAPHY PRIOR TO APPROVAL, ACCEPTANCE, & CONSTRUCTION.
5. SITE CONFIGURATION, SETBACK & EASEMENT INFORMATION, & TOPOGRAPHY SHALL BE PROVIDED BY OWNER. OWNER SHALL VERIFY ALL PROPERTY LINES, EASEMENTS, EXTENT OF BUILDING PAD, & ACCURACY OF TOPOGRAPHY PRIOR TO APPROVAL AND/OR ACCEPTANCE.
6. OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN ON DRAWINGS.
7. SOILS ENGINEER SHALL INSPECT AND CERTIFY FOUNDATION EXCAVATIONS PRIOR TO FOOTING INSPECTION BY THE COUNTY.
8. SOILS ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION & TESTING SERVICES DURING EARTHWORK, FOUNDATION CONSTRUCTION, & DRAINAGE PHASES OF WORK.
9. UNDER NO CIRCUMSTANCES SHALL ANY SHEETS (DRAWINGS, PRINTS, PLANS, ETC.) MARKED "BID DOCUMENTS" BE USED FOR ACTUAL CONSTRUCTION.

DOOR SECURITY FEATURES:

10. EXTERIOR DOORS SHALL BE SOLID CORE CONSTRUCTION, WITH A MIN.THICKNESS OF 1-3/4" AND SHALL BE SECURED BY A DEADBOLT LOCK WITH A MIN. THROW OF 1"
11. DOOR STRIKE PLATES SHOULD BE AUGMENTED WITH 3" SCREWS TO GUARD AGAINST FORCED ENTRY.
12. OUTSIDE HINGES ON ALL EXTERIOR DOORS SHALL BE PROVIDED WITH NON-REMOVABLE PINS, WHEN PIN TYPE HINGES ARE USED, OR SHOULD BE PROVIDED WITH HINGE STUDS TO PREVENT REMOVAL OF DOOR.
13. ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH VIEWING DEVICE (PEEPHOLE), WHICH PROVIDES A VIEWING AREA OF AT LEAST 180 DEGREES.

WINDOW SECURITY FEATURES:

14. WINDOWS, CAPABLE OF BEING OPENED SHALL BE SECURED ON THE INSIDE BY A LOCKING DEVICE CAPABLE OF WITHSTANDING A FORCE OF 300# IN ANY DIRECTION.
15. ALL WINDOWS CAPABLE OF BEING OPENED SHALL BE EQUIPPED WITH SECONDARY LOCKING MECHANISMS.

LIGHTING SECURITY FEATURES:

16. PARKING AREAS, DRIVEWAYS, CIRCULATION AREAS, PASSAGEWAYS, RECESSES, & GROUNDS CONTIGUOUS TO BUILDINGS SHALL BE PROVIDED WITH LIGHTING SUFFICIENT TO MAKE CLEARLY VISIBLE THE PRESENCE OF ANY PERSON ON OR ABOUT PREMISES.
17. ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH THEIR OWN DEDICATED LIGHT SOURCE.
18. ALL EXTERIOR FIXTURES SHALL BE EQUIPPED WITH VANDAL RESISTANT GRATING & BE INSTALLED AT SUFFICIENT HEIGHT TO DISCOURAGING TAMPERING.
19. ALL EXTERIOR GENERAL SECURITY LIGHTS SHALL BE CONTROLLED BY PHOTOCELL SYSTEM, DESIGNED TO OPERATE DURING ALL PERIODS OF DIMINISHED LIGHT, REGARDLESS OF TIME OF DAY.

LANDSCAPING SECURITY FEATURES:

20. ENSURE THAT LANDSCAPING, WHEN MATURE, WILL NOT INTERFERE WITH SECURITY LIGHTING.
21. LANDSCAPING SHALL BE OF THE TYPE & SITUATED IN LOCATIONS TO MAXIMIZE OBSERVATION WHILE PROVIDING DESIRED DEGREE OF AESTHETICS. SHRUBS SHALL BE NO HIGHER THAN 42" TALL FROM GROUND & TREE CANOPY SHALL NOT FALL BELOW A LEVEL OF 7' ABOVE GROUND WHEN MATURE. DEFENSIBLE (THORNY) LANDSCAPING IS ENCOURAGED ALONG FENCE & PROPERTY LINES, UNDER VULNERABLE WINDOWS, & ANY OTHER LOCATIONS WHERE IT IS DESIRED TO RESTRICT PEOPLE'S ABILITY TO SIT, LOITER, OR CLIMB.

ADDRESS SIGNAGE:

22. PROVIDE INDIVIDUAL UNIT ADDRESS SIGNS WITH MIN. 4" HEIGHT LETTER IN HEIGHT & A CONTRASTING COLOR TO THEIR BACKGROUND, ILLUMINATED DURING PERIODS OF DARKNESS, & POSITIONED ON DRIVEWAY FRONT OF BUILDING & IN SUCH A WAY AS TO BE EASILY VISIBLE TO EMERGENCY VEHICLES, SEE EXTERIOR ELEVATIONS.

ABBREVIATIONS:

A.B.	ANCHOR BOLT	LVL	LAMINATED VENEER LUMBER
ABV.	ABOVE	MATL.	MATERIAL
ADD'L	ADDITIONAL	MAX.	MAXIMUM
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	MFR.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	MTL.	METAL
BM.	BEAM	(N)	NEW
C/CPT.	CARPET	N.E.C.	NATIONAL ELECTRICAL CODE
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
COMP.	COMPOSITE/COMPOSITION	O.C.	ON CENTER
CONC.	CONCRETE	OPT.	OPTIONAL
CONT.	CONTINUOUS	PD	PATIO DOOR
CS/CSMT.	CASEMENT	PKT.	POCKET
DBL.	DOUBLE	PLYWD.	PLYWOOD
DH.	DOUBLE HUNG	P.O.C.	POINT OF CONNECTION
DIA.	DIAMETER	PR	PAIR
DIM.	DIMENSION	P.T.	PRESSURE TREATED
DR.	DOOR	RAD.	RADIUS
DTL.	DETAIL	RF.	ROOF
DWGS.	DRAWINGS	RM.	ROOM
(E)	EXISTING	RS.	ROUGH SAWN/RESAWN
EA.	EACH	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEV.	ELEVATION	S.F.	SUBFLOOR
EXT.	EXTERIOR	SGD.	SLIDING GLASS DOOR
FIN.	FINISH	SGL.	SINGLE
FLR.	FLOOR	SH.	SINGLE HUNG
FR.	FRENCH	SHTG.	SHEATHING
FT.	FOOT	SIM.	SIMILAR
FX.	FIXED	SL/SLDR.	SLIDER
GAL.	GALLON	SQ.	SQUARE
GALV.	GALVANIZED	S.S.D.	SEE STRUCTURAL DRAWINGS
G.F.I.	GROUND FAULT INTERRUPTER	STRL.	STRUCTURAL
GSM	GALVANIZED SHEET METAL	T	TILE
GSMV	GALVANIZED SHEET METAL VALLEY	THK	THICK
GYP.	GYPSUM	TYP.	TYPICAL
H/HDWD.	HARDWOOD	U.B.C.	UNIFORM BUILDING CODE
HDR.	HEADER	U.M.C.	UNIFORM MECHANICAL CODE
HORIZ.	HORIZONTAL	U.P.C.	UNIFORM PLUMBING CODE
HGT./HT.	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
INT.	INTERIOR	V	VINYL
JST.	JOIST	VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
		V.P.	VAPOR PROOF
		WD.	WOOD
		WDW.	WINDOW
		W.I.	WROUGHT IRON

BUILDING SUMMARY

BUILDING OCCUPANCY GROUPS:	F-2/S-2/U
BUILDING CONSTRUCTION TYPE:	IV
BASIC ALLOWABLE BUILDING AREA:	18,000
INCREASE FOR SEPARATION:	N.A.
STORIES:	3

1. ALL WORK PERFORMED SHALL COMPLY IN ALL ASPECTS WITH BUT NOT NECESSARILY LIMITED TO ALL APPLICABLE LOCAL AND STATE ORDINANCES, CODES, AND REGULATIONS AND WITH THE FOLLOWING CODE EDITION:

2022 CALIFORNIA BUILDING CODE,	2022 INTERNATIONAL BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE,	2022 UNIFORM MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE,	2022 UNIFORM PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE	2022 NATIONAL ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE	2022 INTERNATIONAL FIRE CODE
2022 CALIFORNIA GREEN BLDG.STANDARDS CODE	2022 CALIFORNIA FIRE CODE

2. IN THE EVENT OF CONFLICTS IN THE CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, GENERAL CONTRACTOR AND THE OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

SHEET INDEX:

#	CODESCRIPTION
COV	COVERSHEET
1	TOPO AND CREEK SETBACK EXHIBIT
2	PRELIMINARY GRADING AND DRAINAGE PLAN
A1	PRELIMINARY TYP. UNIT FLOOR PLANS
A2	PRELIMINARY BUILDING FLOOR PLANS
A3	PRELIMINARY TYP. UNIT EXTERIOR ELEVATIONS
A4	PRELIMINARY BUILDING ELEVATIONS
A5	PRELIMINARY BLDG. ELEVATIONS/SECTION
A6	PRELIMINARY TYP. UNIT ROOF PLAN

PROJECT AREAS

TYPICAL UNIT FLOOR AREAS:	
LOWER LEVEL	- 128 S.F.
MAIN LEVEL	- 744 S.F.
UPPER LEVEL	- 744 S.F.
TOTAL UNIT S.F.	- 1556 S.F.
GARAGE	- 616 S.F.
DECK	- 30 S.F.
TYP. BLDG. FLOOR AREAS:	
BLDG. 1 FOOTPRINT	- 3665 S.F.
BLDG. 2 FOOTPRINT	- 2205 S.F.
TOTAL FOOTPRINT (BLDG 1 & 2)	- 5870 S.F.
BLDG. 1 TOTAL S.F.	- 10,995 S.F.
BLDG. 2 TOTAL S.F.	- 6615 S.F.
SITE AREAS:	
EXISTING IMPERVIOUS:	
BUILDINGS	- 1857 S.F.
PAVED SURFACES	- 5905 S.F.
TOTAL (E) IMPERVIOUS	- 7762 S.F.
PROPOSED IMPERVIOUS:	
BUILDINGS	- 5870 S.F.
PAVED SURFACES	- 8021 S.F.
WALKWAY SURFACES	- 1289 S.F.
TOTAL PROPOSED IMPERVIOUS	- 15180 S.F.
TOTAL AREA OF LANDSC.	- 13721 S.F.
TOTAL LOT AREA (GROSS)	- 30,750 S.F.
RIGHT OF WAY DEDICATION	- 1500 S.F.
TOTAL LOT AREA (NET)	- 29,250 S.F.
LOT COVERAGE	
BUILDING FOOTPRINT / TOTAL AREA X 100 5870 S.F./30750 S.F. x 100	- 19.09%
FAR:	
LOWER LEVEL	- 744 S.F.
MAIN LEVEL	- 744 S.F.
UNIT AREA (LOWER & MAIN LEVELS)	- 1488 S.F.
BLDG. 1 AREA (5 UNITS)	- 7440 S.F.
BLDG. 2 AREA (3 UNITS)	- 4464 S.F.
TOTAL BUILDINGS AREA (8 UNITS)	- 11904 S.F.
TOTAL LOT AREA (GROSS)	- 30,750 S.F.
FAR	- 0.39
PARKING:	
TOTAL UNITS	- 8 UNITS
REQUIRED TOTAL PARKING (8 x 2.25)	- 20 SPACES
PROPOSED TOTAL PARKING PROVIDED	- 24 SPACES
REQUIRED COVERED PARKING	- 12 SPACES
PROPOSED COVERED PARKING	- 16 SPACES

PROJECT TEAM:

OWNER:
ALI FAMILY TRUST
4247 APPIAN WAY
EL SOBRANTE, CA 94803
925.789.0564
numair89@yahoo.com

ARCHITECT:
ARETE, INC. ARCHITECTURE - GARY L. WHEELER
P.O. BOX 2211
CONCORD, CA 94520
925.692.5888
gary.areteinc@gmail.com

SOILS ENGINEER:
GEOTECHNICA, CONSULTING GEOTECHNICAL ENGINEER
1624 ARMSTRONG COURT
CONCORD, CA 94521
925.686.6556
..

CIVIL ENGINEER:
THE HUMANN COMPANY
1021 BROWN AVENUE
LAFAYETTE, CA 94549
925.283.5000
izzat@humannco.com

STRUCTURAL ENGINEER:
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.
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.

TITLE 24 CONSULTANT:
WEST COAST ENERGY DESIGN - LANNY DANA
1075 VICTORINE ROAD
LIVERMORE, CA 94551
925.243.1767
mytitle24guy@gmail.com

LANDSCAPE ARCHITECT:
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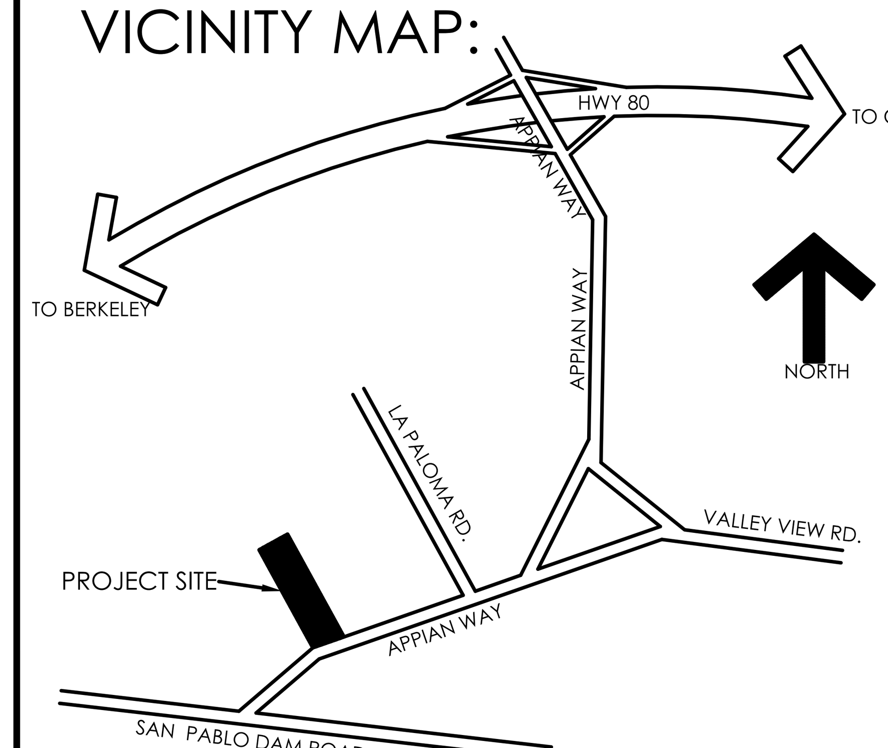
..
..
..

RECEIVED on 4/22/2025 CDDP22-03021
By Contra Costa County
Department of Conservation and Development

VICINITY MAP:



drawn KAS
check .
date 07/22/24
job 5154
sheet COV of 12

COVER SHEET

NUMAIR RENTAL HOMES
4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
kirk a. shelby, architect gary l. wheeler, architect
p.o. box 1211
concord, california 94522
925 692-5888

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GENERAL NOTES

THE BOUNDARY AND TOPOGRAPHY SHOWN IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DEBOLT CIVIL ENGINEERING, DATED 11/08/2017, JOB NO. 17277. PROVIDED BY ARCHITECT, GARY WHEELER. ELEVATIONS HAVE BEEN ADJUSTED TO COUNTY DATUM USING BENCHMARK NO. 3197, BRASS TAG IN HEADWALL OF CONCREET BOX CULVERT ON APPIAN WAY APPROX. 200' NE OF SANTA RITA ROAD. BM ELEVATION = 110.498'. USE OF THIS SURVEY IS LIMITED TO THE PROPERTY OWNER AS REFERENCED IN THE TITLE BLOCK AND CONSULTANTS FOR THE SPECIFIC PROJECT. OTHERS MAY NOT USE THIS MAP WITHOUT THE PERMISSION OF THE CLIENT AND HUMANN COMPANY. BOUNDARY AND BASIS OF BEARINGS ARE PER THE UNDERLYING RECORD MAP AS REFERENCED IN THE TITLE BLOCK HEREON.

PRELIMINARY TITLE REPORT FOR THIS SURVEY WAS PREPARED BY OLD REPUBLIC TITLE CO., DATED 09/13/2010, ORDER NO. 0190009220-BM.

THE ELECTRONIC FILE IF SUPPLIED, IS BEING DONE SO AS A COURTESY AND CONVENIENCE, AND IS SUBORDINATE TO THE PROVIDED SIGNED HARD COPY MAP WITH RESPECT TO CONTENT, ACCURACY AND QUALITY. HUMANN COMPANY MAKES NO WARRANTEE OR GUARANTEE, EXPRESSED OR IMPLIED FOR ANY COPIES OF THE DRAWINGS OR WORK ASSOCIATED WITH THE ELECTRONIC FILE BY OTHERS.

BUILDING(S) SHOWN HEREON CONTAINS DECORATIVE ARCHITECTURAL ELEMENTS ALONG ITS WALLS AND CORNERS WHICH ARE NOT NECESSARILY ACCOUNTED FOR IN THE BUILDING FOOTPRINT AS SURVEYED AND MAPPED. PRIOR TO THE PREPARATION OF WORKING DRAWINGS, THE ARCHITECT/DESIGNER SHOULD FIELD INSPECT ANY AREAS ON THE BUILDING WHERE AN ADDITION OR OTHER IMPROVEMENT IS EXPECTED TO OCCUR (IF SETBACKS OR OTHER CONSTRAINTS ARE AN ISSUE), AND CONSULT WITH THE SURVEYOR OR ENGINEER AS NEEDED.

TREES AND DRIP LINES AS SHOWN ARE LOCATED SUFFICIENTLY FOR GENERAL ARCHITECTURAL SITE PLANNING. ANY CONSTRUCTION ACTIVITY PLANNED IMMEDIATELY ADJACENT TO THE TREES OR DRIP LINES SHOULD BE REVIEWED WITH THE APPROPRIATE CONSULTANT. IF IT IS DETERMINED THAT DETAILED TREE AND/OR BRANCH MEASUREMENTS ARE NEEDED, FURTHER SURVEYING MAY BE NECESSARY AND SHOULD BE ARRANGED BY THE OWNER AND/OR CONSULTANT. SPECIES AS REFERENCED ON THE SURVEY SHOULD BE CONFIRMED BY A LICENSED ARBORIST OR LANDSCAPE ARCHITECT IF THE SPECIFIC TREE(S) IS SUSPECTED OF BEING A PROTECTED OR CRITICAL ONE(S).

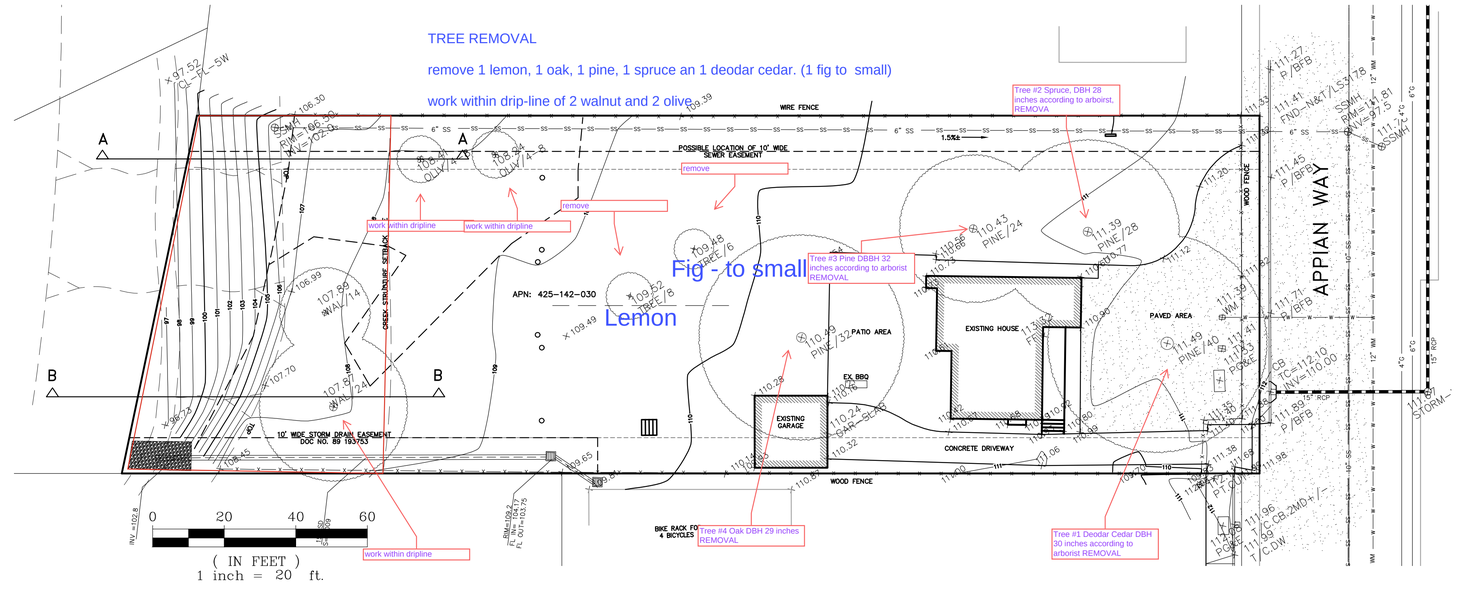
THIS PROPERTY IS IN THE VICINITY OF A CREEK, SWALE, OR DRAINAGE COURSE AND THE SURVEY MAY OR MAY NOT SHOW OR DEFINE THIS FEATURE AND IT'S ASSOCIATED SETBACKS OR RESTRICTIONS AS MANDATED BY LOCAL ORDINANCE. IF SITE IMPROVEMENTS ARE PLANNED, THE OWNER OR ARCHITECT SHOULD CONTACT THE APPLICABLE JURISDICTION, LOCAL OR OTHERWISE TO CONFIRM AND DETERMINE WHAT, IF ANY REQUIREMENTS AND RESTRICTIONS APPLY WITH RESPECT TO THE CREEK FEATURE AND THE POTENTIAL IMPACT DEVELOPMENT MAY HAVE ON IT.

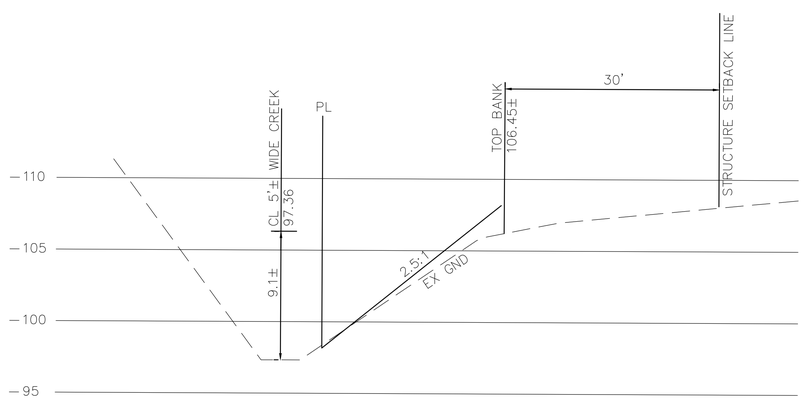
DATUM: ELEVATIONS SHOWN HEREON ARE BASED UPON COUNTY DATUM, BENCHMARK NO. 3197, ELEVATION = 110.498'

CONTOUR INTERVAL: 1 FEET

LEGEND

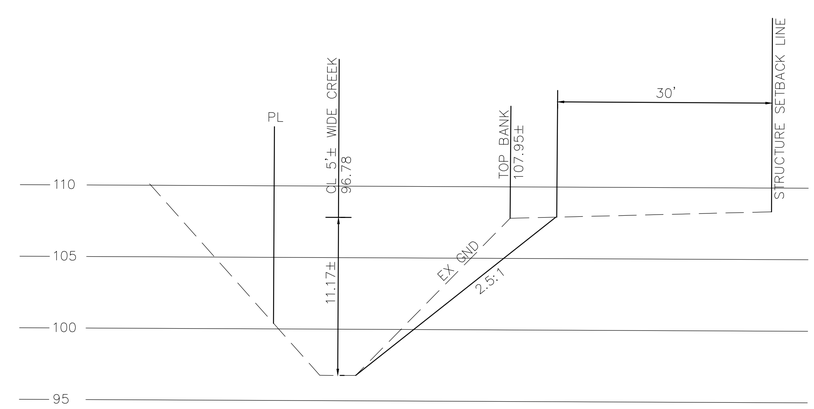
WM	WATER METER
PG&E	PG&E UTILITY BOX
	STORM DRAIN LINE
—SS—	SANITARY SEWER LINE
—W—	WATER LINE
—G—	GAS LINE
—X—	FENCE
+742.6	EXISTING GRADE
	AREA DRAIN
	DRAIN INLET
	LIGHT
	RIP-RAP





SECTION A–A

1":5'V 1":10'H



SECTION B–B

1":5'V 1":10'H

BEFORE EXCAVATING CALL U.S.A.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.
THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.

DP 22-3021

NO.	DATE	BY	REVISIONS

SCALE	1" = 20'
DATE	05/13/2024
DRAWN	KM
CHECKED	IN
JOB NO.	22026

REGISTERED PROFESSIONAL ENGINEER IZZAT S. NASHASHIBI No. 29528 CIVIL STATE OF CALIFORNIA

IZZAT S. NASHASHIBI R.C.E. 29528

TOPO AND CREEK SETBACK EXHIBIT

LOT 54, "SANTA RITA ACRES, UNIT NO.1" (22M645)

4301 APPIAN WAY -- APN:425-142-030

EL SOBRANTE CALIFORNIA

HUMANN COMPANY INC.
ENGINEERING - SURVEYING
1021 BROWN AVE. LAFAYETTE, CA 94549
PH (925)283-5000 FAX (925)283-3578

SHEET 1 OF 2 SHEET

JOB NO. 22026

A:\PROJECTS\22026\22026_GRAD-DR.DWG - SAVED: Wednesday, July 17, 2024, 1:26:45 PM PLOT DATE: Thursday, July 18, 2024, 6:39:10 AM LAYOUT: TOPO 22026-CREEK SB.DWG

GENERAL NOTES

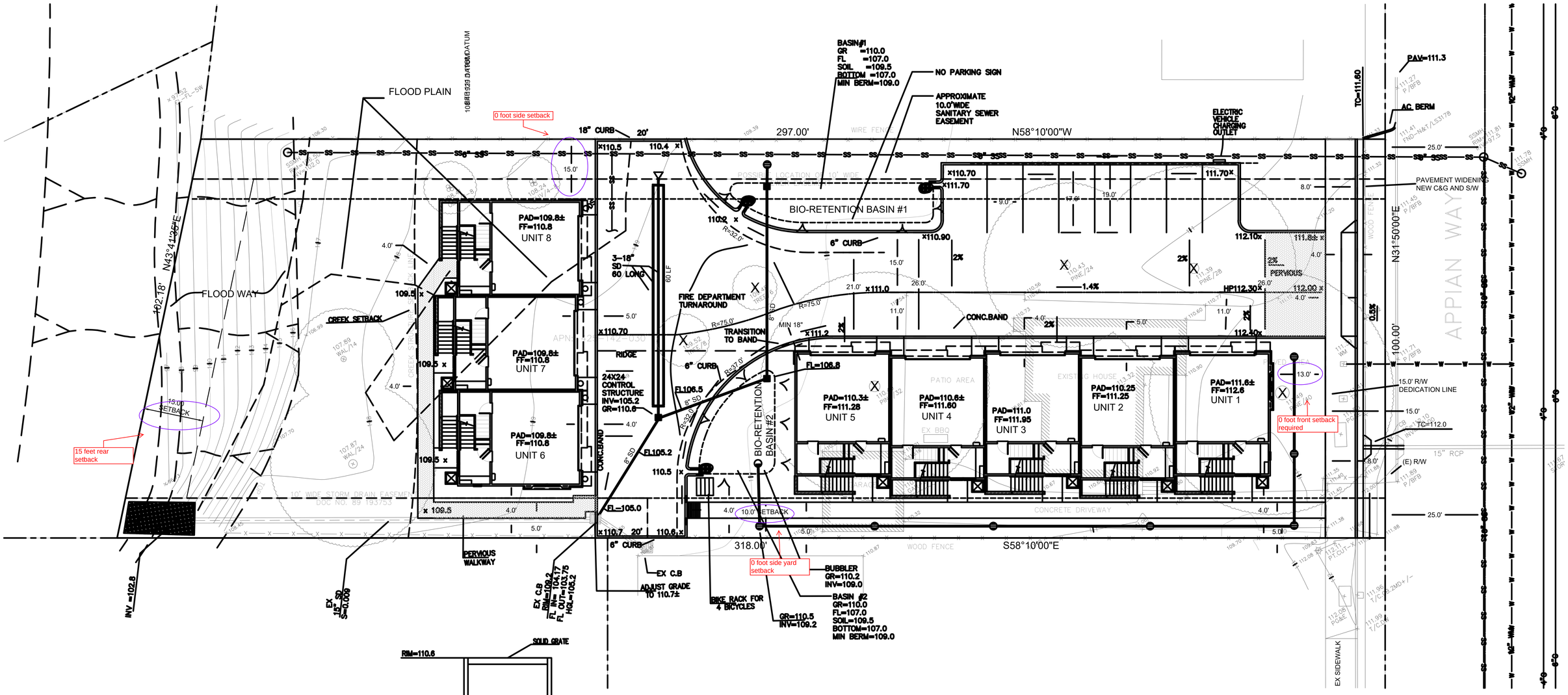
THE BOUNDARY AND TOPOGRAPHY SHOWN IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DEBOLT CIVIL ENGINEERING, DATED 11/08/2017, JOB NO. 17277. PROVIDED BY ARCHITECT, GARY WHEELER. ELEVATIONS HAVE BEEN ADJUSTED TO COUNTY DATUM USING BENCHMARK NO. 3197, BRASS TAG IN HEADWALL OF CONCREET BOX CULVERT ON APPIAN WAY APPROX. 200' NE OF SANTA RITA ROAD. BM ELEVATION = 110.58'.

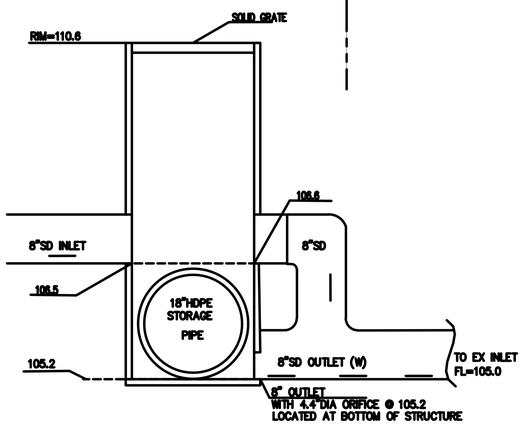
EARTH QUANTITIES

APPROXIMATE EARTH QUANTITIES TO BE VERIFIED BY CONTRACTOR

CUT	200 ± CU. YDS.
FILL	750 ± CU. YDS.

NOTE: EARTH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COMPUTE QUANTITIES INDEPENDENTLY TO VERIFY. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES.





24"x24" JUNCTION BOX/CONTROL STRUCTURE
SECTION B-B
N. T. S.

LEGEND

WM	WATER METER
PG&E	PG&E UTILITY BOX
	STORM DRAIN LINE
—SS—	SANITARY SEWER LINE
—W—	WATER LINE
—G—	GAS LINE
—X—	FENCE
+102.5	EXISTING GRADE
●	AREA DRAIN
■	DRAIN INLET
✡	LIGHT
	RIP-RAP

0 10 20 30
(IN FEET)
1 inch = 10 ft.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FIXTURES SUCH AS VAULTS, TANKS, EASEMENTS, BURIED OBJECTS, ...ETC.

DP 22-3021

NO.	DATE	BY	REVISIONS
1	10/29/24	KU	REVISION PER CCC MEMO

SCALE	1" = 10
DATE	11/19/2024
ENGINEER	
JOB NO.	22086

REGISTERED PROFESSIONAL ENGINEER IZZAT S. NASHASHIBI No. 29528 CIVIL STATE OF CALIFORNIA
R.C.E. 29528
IZZAT S. NASHASHIBI

PRELIMINARY GRADING AND DRAINAGE

LOT 54, "SANTA RITA ACRES, UNIT NO.1" (22M645)

4301 APPIAN WAY -- APN:425-142-030

EL SOBRANTE **CALIFORNIA**

HUMANN COMPANY INC.
ENGINEERING - SURVEYING
1021 BROWN AVE. LAFAYETTE, CA 94549
PH (925)283-5000 FAX (925)283-3578

GENERAL NOTES

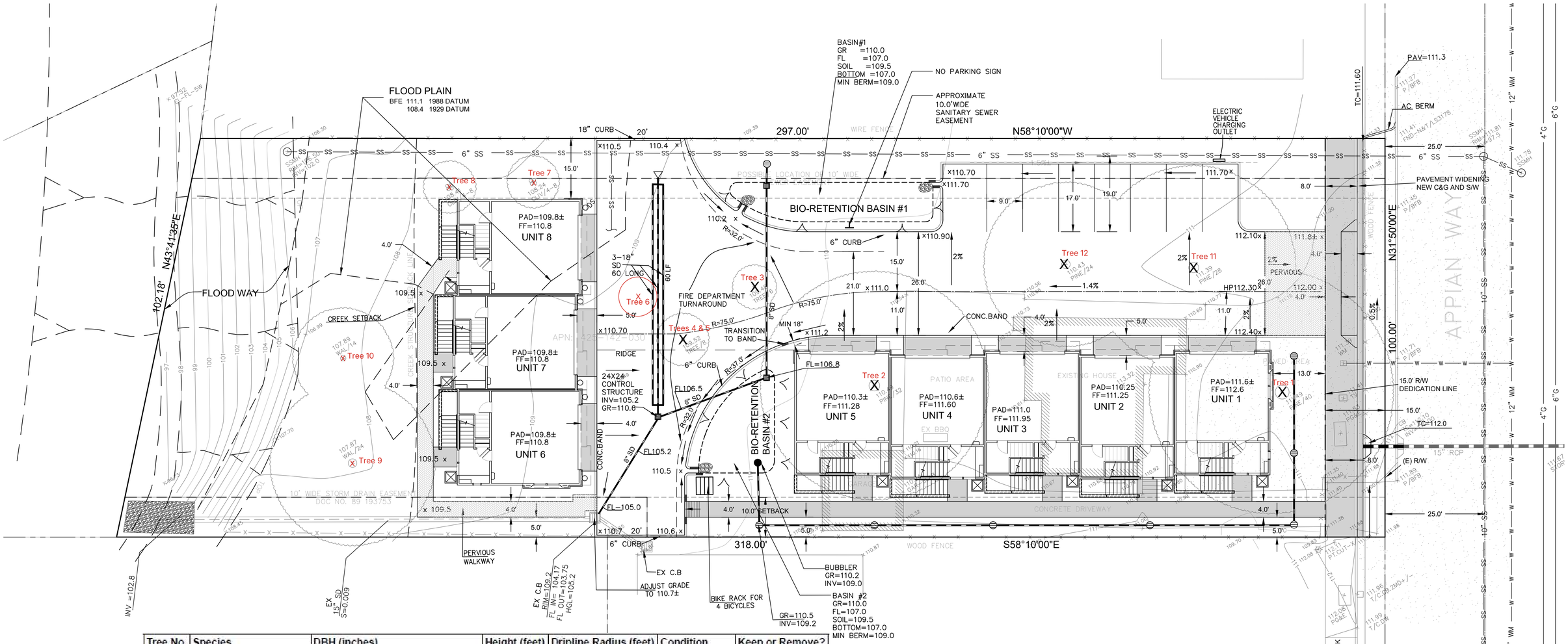
THE BOUNDARY AND TOPOGRAPHY SHOWN IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DEBOLT CIVIL ENGINEERING, DATED 11/08/2017, JOB NO. 17277. PROVIDED BY ARCHITECT, GARY WHEELER. ELEVATIONS HAVE BEEN ADJUSTED TO COUNTY DATUM USING BENCHMARK NO. 3197, BRASS TAG IN HEADWALL OF CONCREET BOX CULVERT ON APPIAN WAY APPROX. 200' NE OF SANTA RITA ROAD. BM ELEVATION = 110.58'.

EARTH QUANTITIES

APPROXIMATE EARTH QUANTITIES TO BE VERIFIED BY CONTRACTOR

CUT 200 ± CU. YDS.
FILL 750 ± CU. YDS.

NOTE: EARTH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COMPUTE QUANTITIES INDEPENDENTLY TO VERIFY. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES.



Tree No.	Species	DBH (inches)	Height (feet)	Dripline Radius (feet)	Condition	Keep or Remove?
1	Deodar Cedar (*Cedrus deodara*)	30	70	30	Fair	Remove
2	Douglas fir (*Pseudotsuga menziesii*)	32	80	20	Fair	Remove
3	Citron (*Citrus medica*)	Many codominant stems below breast height, average diameter 1.5	18	7	Fair	Remove
4	Tree privet (*Ligustrum lucidum*)	Many codominant stems below breast height, average diameter 2	20	8	Good	Remove
5	Common pear (*Pyrus communis*)	3x codominant stems, 4, 5, 5	15	8	Fair	Remove
6	Common fig (*Ficus carica*)	Many codominant stems below breast height, average diameter 1	10	6	Fair	Remove
7	Olive (*Olea europaea*)	4x codominant stems, 7, 7, 7, 11	40	20	Good	Remove
8	Olive (*Olea europaea*)	5x codominant stems, 7, 9, 7, 6, 10	40	20	Good	Remove
9	Northern California black walnut (*Juglans hindsii*)	N/A, codominant stem stumps 15, 10, 17	N/A	N/A	Poor	N/A (stump)
10	Northern California black walnut (*Juglans hindsii*)	N/A, codominant stem stumps 13, 8	N/A	N/A	Poor	N/A (stump)
11	Douglas fir (*Pseudotsuga menziesii*)	N/A, stump 37	N/A	N/A	Dead	N/A (stump)
12	Douglas fir (*Pseudotsuga menziesii*)	N/A, stump 34	N/A	N/A	Dead	N/A (stump)

LEGEND

WM	WATER METER
PG&E	PG&E UTILITY BOX
	STORM DRAIN LINE
—SS—	SANITARY SEWER LINE
—W—	WATER LINE
—G—	GAS LINE
—X—	FENCE
×742.6	EXISTING GRADE
	AREA DRAIN
	DRAIN INLET
	LIGHT
	RIP-RAP

0 10 20 30
(IN FEET)
1 inch = 10 ft.

BEFORE EXCAVATING CALL U.S.A.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION AND VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION.
THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
LOCATION AND CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. HUMANN COMPANY DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ...ETC.

DP 22-3021

NO.	DATE	BY	REVISIONS
1	10/29/24	KU	REVISION PER CCC MEMO

SCALE 1" = 10
DATE 11/19/2024
ENGINEER
JOB NO. 22026

REGISTERED PROFESSIONAL ENGINEER IZZAT S. NASHASHIBI No. 29528 CIVIL STATE OF CALIFORNIA

IZZAT S. NASHASHIBI R.C.E. 29528

PRELIMINARY GRADING AND DRAINAGE

LOT 54, "SANTA RITA ACRES, UNIT NO.1" (22M645)

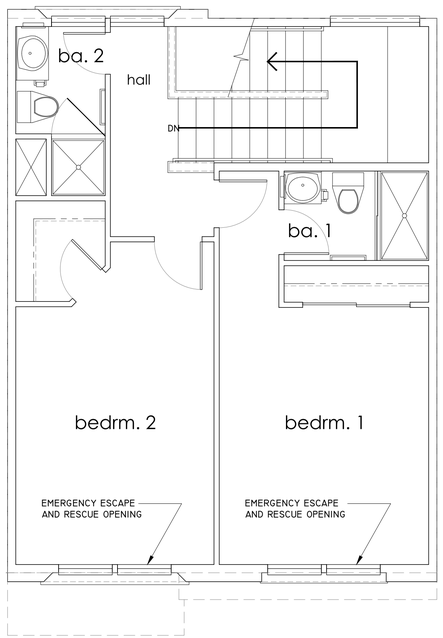
4301 APPIAN WAY -- APN:425-142-030

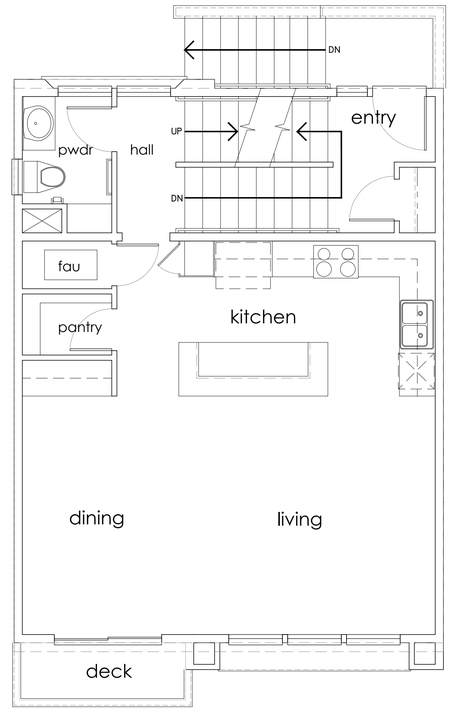
EL SOBRANTE CALIFORNIA

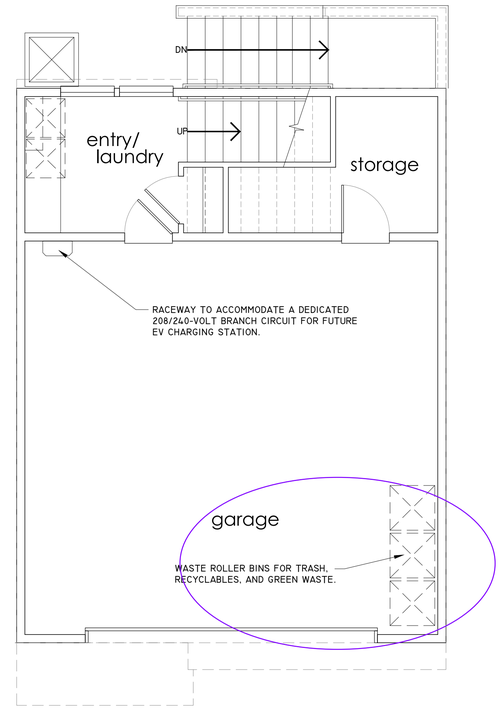
HUMANN COMPANY INC.
ENGINEERING - SURVEYING
1021 BROWN AVE. LAFAYETTE, CA 94549
PH (925)283-5000 FAX (925)283-3578

SHEET 2 OF 2 SHEETS

JOB NO. 22026







UPPER LEVEL

RESIDENCE - 744 S.F.

MAIN LEVEL

RESIDENCE	744 S.F.
DECK	30 S.F.

ENTRY LEVEL

GARAGE (UNCONDITION3ED)	- 616 S.F.
RESIDENCE (CONDITIONED)	- 128 S.F.
ENTRY LEVEL TOTAL	- 744 S.F.
TOTAL CONDITIONED	- 1556 S.F.
TOTAL RESIDENCE	- 2232 S.F.

drawn KAS sheet
check :
date 07/22/24 A1
job 5154 of 12

PRELIMINARY
UNIT FLOOR PLANS
SCALE: 1/4"=1'-0"

NUMAIR
RENTAL HOMES
4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
kirk o. lindley, architect c29211, w/member, aia/ctarch
p.o. box 1211
concord, california 94522
925 692-5888

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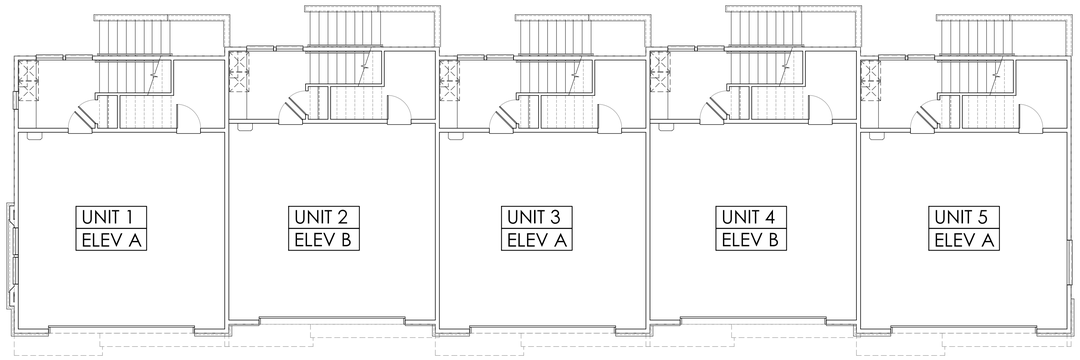
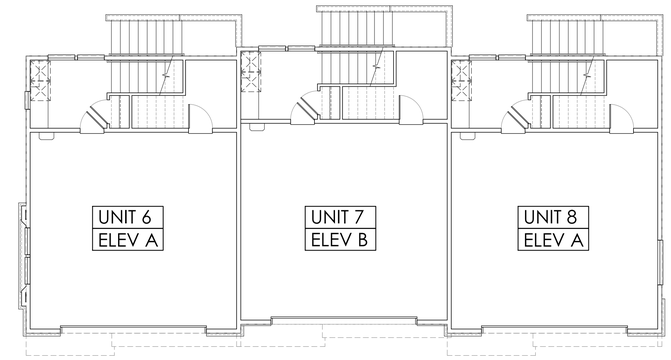


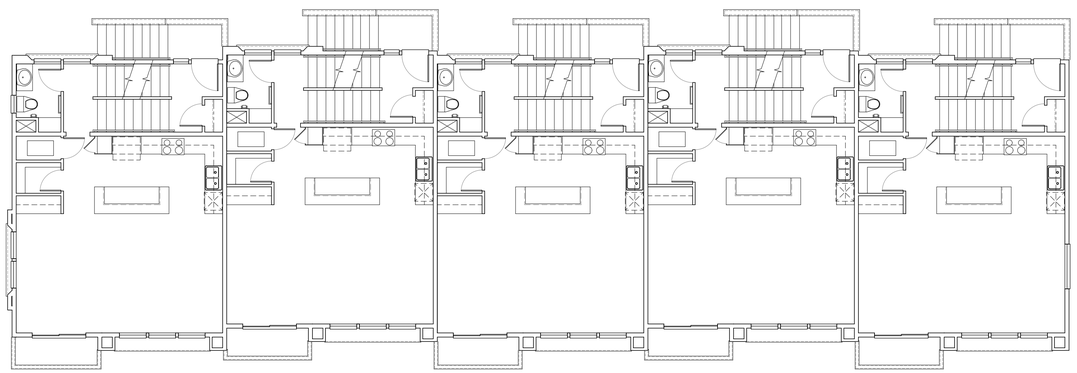
ENTRY LEVEL - BUILDING 1

- 3665 S.F.

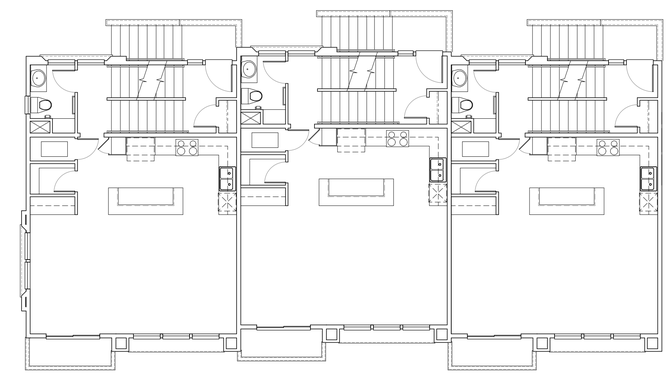


ENTRY LEVEL - BUILDING 2

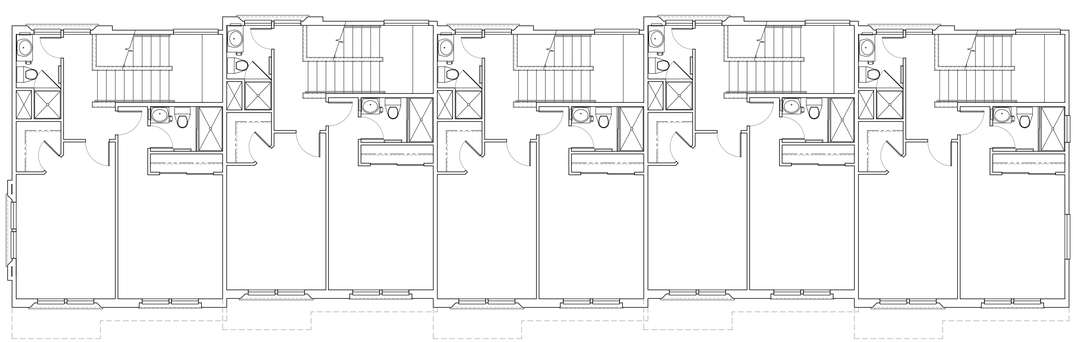
- 2205 S.F.



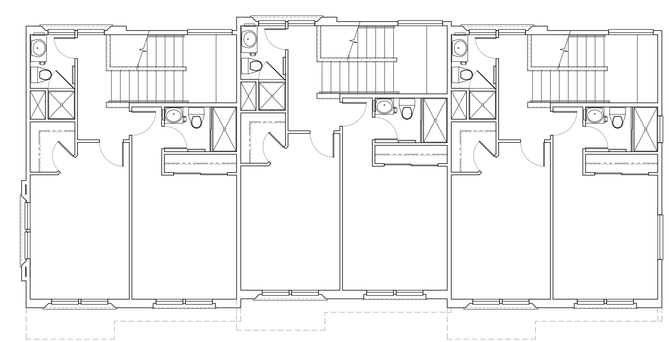
MAIN LEVEL - BUILDING 1



MAIN LEVEL - BUILDING 2



UPPER LEVEL - BUILDING 1



UPPER LEVEL - BUILDING 2

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job 5154 of 12

PRELIMINARY
BLDG. FLOOR PLANS

SCALE: 1/8"=1'-0"

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RENTAL HOMES

4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
leo s. chelay, architect c29111, m/ifdesc. architect

p.o. box 1211
concord, california 94522
925 692-5888

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TYP. UNIT EXTERIOR ELEVATIONS

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date 07/22/24 A3
job 5154 of 12

PRELIMINARY
UNIT EXT. ELEVATIONS

SCALE: 1/4"=1'-0"

NUMAIR
RENTAL HOMES

4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
bill b. chetty: architect, gary l. wheeler, aia:architect
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concord, california 94522
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BUILDING 2 - FRONT EXTERIOR ELEVATION

BUILDING 1 - FRONT EXTERIOR ELEVATION

BUILDING 2 - REAR EXTERIOR ELEVATION

BUILDING 1 - REAR EXTERIOR ELEVATION

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date 07/22/24 A4

job 5154 of 12

PRELIMINARY
BLDG. EXT. ELEVATIONS

SCALE: 1/8"=1'-0"

NUMAIR
RENTAL HOMES

4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
MIA EL OMRANI, ARCHITECT, AIA | KAS WEBER, ARCHITECT

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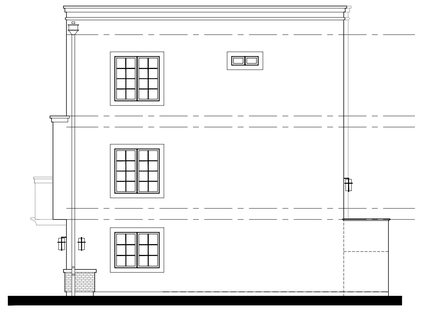
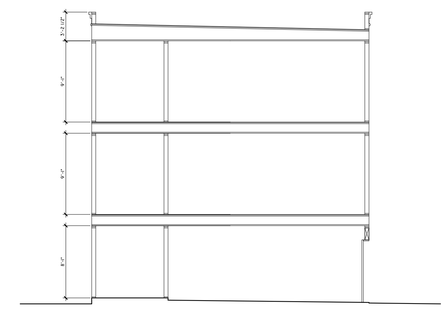


TYP. BUILDING RIGHT SIDE EXTERIOR ELEVATION

BUILDING 2 - LEFT SIDE EXTERIOR ELEVATION

BUILDING 1 - LEFT SIDE EXTERIOR ELEVATION



SECTION THRU TYP. UNIT

PRELIMINARY
BLDG. EXT. ELEVATIONS
AND TYP. SECTION
SCALE: 1/8"=1'-0"

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check .
date 07/22/24 A5
of 3
job 5154 of 12

NUMAIR
RENTAL HOMES

4301 APPIAN WAY
EL SOBRANTE, CA

aretê, inc.
architecture
bill b. chetty, architect gary j. wheeler, architect

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TYP. UNIT ROOF PLAN

aretê, inc.
architecture
dba a. andrew architect (gpx), whoseier, aa2ntect

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RENTAL HOMES

4301 APPIAN WAY
EL SOBRANTE, CA

PRELIMINARY
TYP. UNIT ROOF PLAN

SCALE: 1/4"=1'-0"

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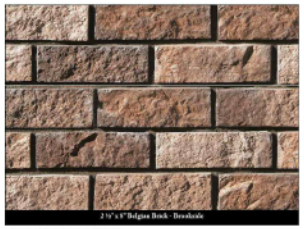
date 07/22/24 A6

job 5154 of 12

BRICK VENEER



1 Coronado Stone
BELGIAN BRICK - BROOKSIDE

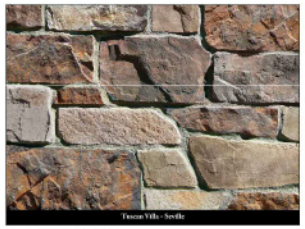
BRICK VENEER

2 Coronado Stone
BELGIAN BRICK - EAGLE BUFF

BRICK VENEER

3 Coronado Stone

STONE VENEER



4 Coronado Stone
TUSCAN VILLA - SEVILLE

STONE VENEER

5 Coronado Stone
TUSCAN VILLA - FLORENTINE

OMEGA PRODUCTS® COLORTEK STUCCO COLORS

6 404 - BARN SWALLOW

7 251- LACE

8 246 - ROYAL TAUPE

9 437 - ROUGH KHAKI

10 18 - COCONUT

Color Scheme 1

1	Stone Veneer	CORONADO STONE	BELGIAN BRICK - BROOKSIDE
2	Stucco Body 1	OMEGA PRODUCTS	404 - BARN SWALLOW
3	Stucco Body 2	OMEGA PRODUCTS	251-LACE
4	Trim	OMEGA PRODUCTS	18 - COCONUT
5			

Color Scheme 2

1	Stone Veneer	CORONADO STONE	TUSCAN VILLA - FLORENTINE
2	Stucco Body 1	OMEGA PRODUCTS	246 - ROYAL TAUPE
3	Stucco Body 2	OMEGA PRODUCTS	437 - ROUGH KHAKI
4	Trim	OMEGA PRODUCTS	18 - COCONUT
5			

Color Scheme 3

1	Stone Veneer	CORONADO STONE	BELGIAN BRICK - BEAR CREEK
2	Stucco Body 1	OMEGA PRODUCTS	251-LACE
3	Stucco Body 2	OMEGA PRODUCTS	404 - BARN SWALLOW
4	Trim	OMEGA PRODUCTS	18 - COCONUT
5			

Color Scheme 4

1	Stone Veneer	CORONADO STONE	TUSCAN VILLA - SEVILLE
2	Stucco Body 1	OMEGA PRODUCTS	437 - ROUGH KHAKI
3	Stucco Body 2	OMEGA PRODUCTS	246 - ROYAL TAUPE
4	Trim	OMEGA PRODUCTS	18 - COCONUT
5			

Color Scheme 5

1	Stone Veneer	CORONADO STONE	BELGIAN BRICK - EAGLE BUFF
2	Stucco Body 1	OMEGA PRODUCTS	404 - BARN SWALLOW
3	Stucco Body 2	OMEGA PRODUCTS	251-LACE
4	Trim	OMEGA PRODUCTS	18 - COCONUT
5			