



AGENCY COMMENT REQUEST

Date 11/18/24

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <p><input checked="" type="checkbox"/> Building Inspection Grading Inspection Advance Planning Housing Programs Trans. Planning Telecom Planner ALUC Staff HCP/NCCP Staff County Geologist</p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p><input checked="" type="checkbox"/> Environmental Health Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p>Engineering Services Special Districts Traffic Flood Control (Full-size)</p> <p><u>LOCAL</u></p> <p>Fire District _____ <input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov Consolidated – (email) fire@cccfd.org</p> <p><input checked="" type="checkbox"/> Sanitary District <u>Central Sanitary</u> <input checked="" type="checkbox"/> Water District <u>EBMUD</u> City of _____ School District(s) _____ LAFCO Reclamation District # _____ East Bay Regional Park District Diablo/Discovery Bay/Crockett CSD</p> <p><input checked="" type="checkbox"/> MAC/TAC <u>ALAMO MAC</u> <input checked="" type="checkbox"/> Improvement/Community Association <u>AIA</u> <input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)</p> <p><u>OTHERS/NON-LOCAL</u></p> <p>CHRIS (email only: nwic@sonoma.edu) CA Fish and Wildlife, Region 3 – Bay Delta Native American Tribes</p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____ _____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner <u>Dulce Reckmeyer-Walton</u> Phone # <u>925-655-2854</u> E-mail <u>Dulce.Reckmeyer-Walton@dcd.cccou</u> County File # <u>CDDP24-03049</u></p> <p>Prior to <u>December 10, 2024</u></p> <p style="text-align: center;">*****</p> <p>We have found the following special programs apply to this application:</p> <p>Landslide Active Fault Zone (A-P) Liquefaction Flood Hazard Area</p> <p><input checked="" type="checkbox"/> 60-dBA Noise Control CA EPA Hazardous Waste Site</p> <p><input checked="" type="checkbox"/> High or Very High FHSZ</p> <p style="text-align: center;">*****</p> <p>AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: None Below Attached</p> <p>Print Name _____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDDP24-03049

File Date: 11/12/2024

Applicant:

Patricia Stenger Barry and Wynn Architects Patricias@barryandwynn.com
 379 Hartz Avenue (925) 837-1422
 Danville, CA 94526

Property Owner:

MICHAEL & KYMBE ELAM mikeelam49@gmail.com
 230 LARK LN (925) 998-9739
 ALAMO, CA 945071818

Project Description:

The applicant seeks Development Plan approval modifying final development plan #3047-87 for the purpose of constructing a detached 595 s.f. accessory building having a proposed height of 24-feet (where 15 feet is the maximum permitted) . The project also requires tree permit approval for dripline encroachment of six code protected trees for the proposed construction.

Project Location: (Address: 230 LARK LN, ALAMO, CA 945071818), (APN: 198190025)

Additional APNs:

General Plan Designation(s): SL	Zoning District(s): P-1
Flood Hazard Areas: X	AP Fault Zone:
60-dBA Noise Control:	MAC/TAC:
Sphere of Influence:	Fire District: SAN RAMON VLY FIRE
Sanitary District: CENTRAL SANITARY	Housing Inventory Site:

Fees:				
Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DPS039B	Dev. Plan Non-Subst. Modif. P-1 DCD	002606-9660-REV-000-5B039B 0.931	2000.00	2000.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
Total:			2087.00	2087.00

W. POR. SEC. 13 T.I.S R.2.W M.D.B.M

A-1989 ROLL TR. 6965 322-1

1-1974 30P.M.43 10-26-73

2- 190P.M.10 5-4-04



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



General Plan (Formerly SL - Now RL as of 11/5/24) CDDP24-03049



Map Legend

Assessment
Parcels

Planning Layers
(DCD)

General Plan

SL (Single Family Residential - Low) 1.0 - 2.9 Units per Net Acre

Unincorporated

Board of Supervisors' Districts

Base Data

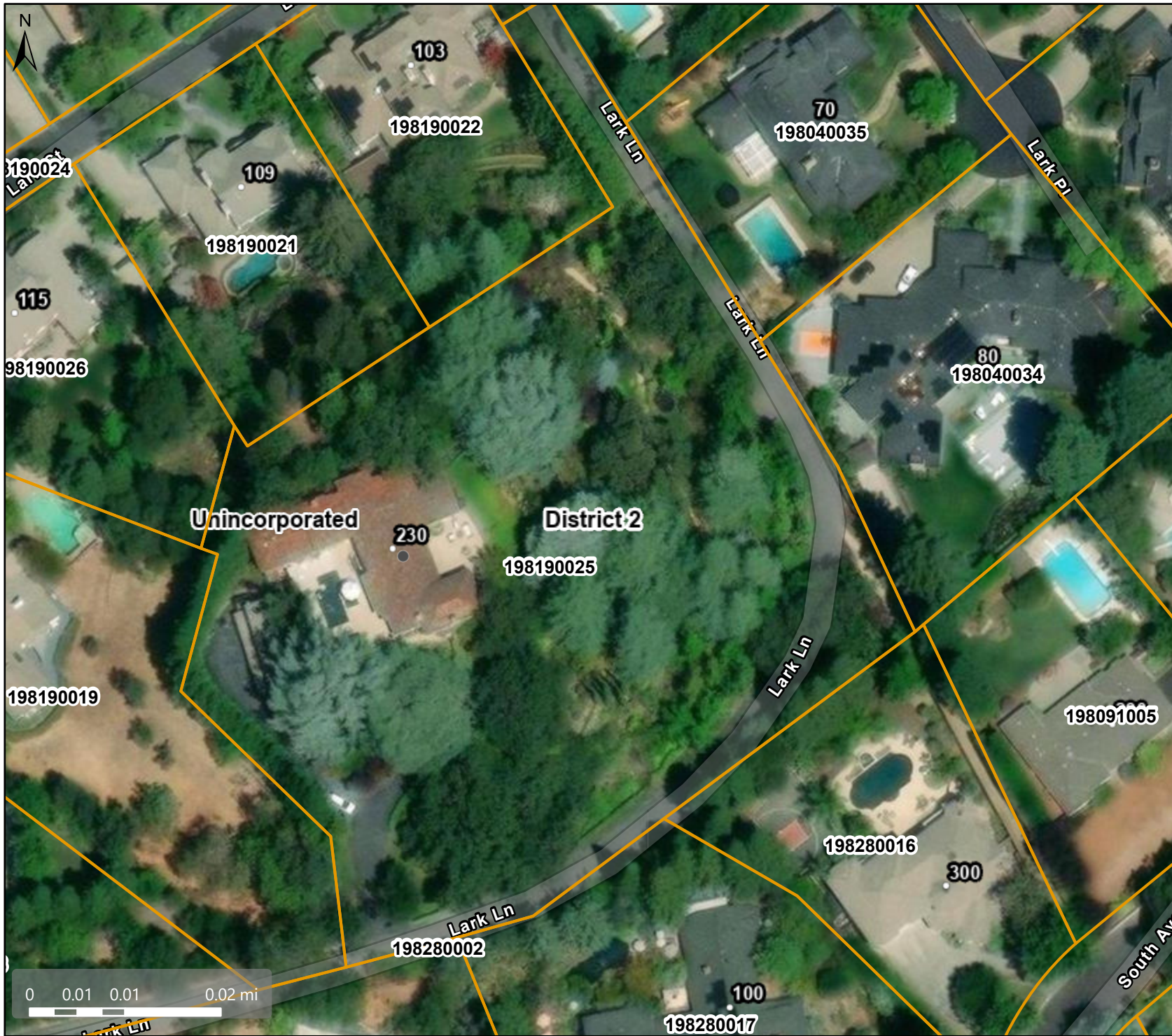
Address Points

RL: Residential Low Density (1-3 units per net acre)







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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  Board of Supervisors' Districts
- Base Data**
-  Address Points



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Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE_OVER**
- R-20 (Single Family Residential)
- P-1 (Planned Unit)
- Unincorporated
- Board of Supervisors' Districts
- Base Data**
- Address Points



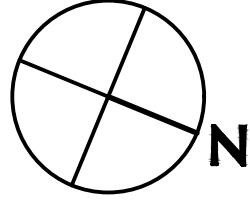
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ASSESSOR'S MAP - NTS

ARCHITECTURAL SITE PLAN SCALE: 1" = 24'-0"



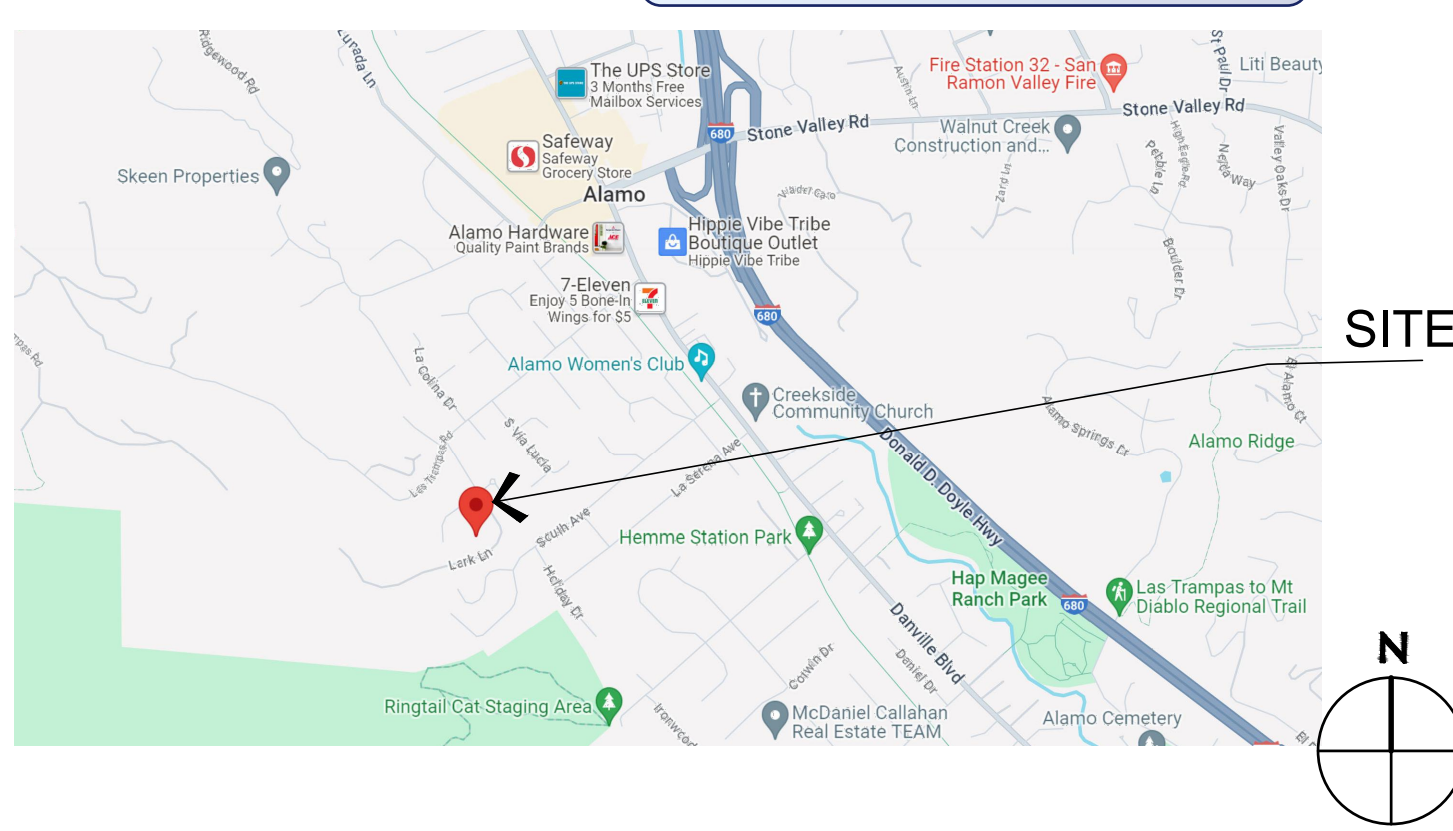
ABBREVIATIONS

&	AND
@	AT
AB	ANCHOR BOLT
AD	AREA DRAIN
AFF	ABOVE FINISH FLOOR
ARCH	ARCHITECT
AW, AWN	AWNING
BD	BOARD
BI	BUILT-IN
BLDG	BUILDING
BLKG	BLOCKING
BOT.	BOTTOM
BM.	BEAM
CJ	CEILING JOIST
CLG	CEILING
CLR	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CPT.	CARPET
CS, CSMT	CASEMENT
d	PENNY (NAIL SIZE)
D	DEEP
DBL	DOUBLE
DEMO	DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DWG.	DRAWING
(E)	EXISTING
EA	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXT.	EXTERIOR
E.W.	EACH WAY
FD	FLOOR DRAIN
FDN	FOUNDATION
F.E.	FIRE EXTINGUISHER
FF	FINISH FLOOR
FIN	FINISH
FJ	FLOOR JOIST
FL	FLOURESCENT
FLR	FLOOR
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FR	FIRE RESISTIVE
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GLULAM/ GL	GLUE - LAMINATED BEAM
GSM	GALVANIZED SHEET METAL
GYP. BD.	GYP. WALLBOARD
HB	HOSE BIB
HC	HANDICAPPED
HDR	HEADER
HDWD	HARDWOOD
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
INFO	INFORMATION
INT	INTERIOR
JST	JOIST
LAV	LAVATORY
LINO.	LINOLEUM
MAT'L	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBER BOARD
MECH	MECHANICAL
MFR	MANUFACTURER
MIN.	MINIMUM
MTL	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
NTS	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
OFD	OVERFLOW DRAIN
OPP	OPPOSITE
PKT	POCKET
PLG/M	PLUMBING
PL	PLATE
PLYWD	PLYWOOD
PR	PAIR
PT	PRESSURE TREATED
PTN	PARTITION
R	RISER
RAD	RADIUS
REQ'D	REQUIRED
RM.	ROOM
SC	SOLID CORE
SD	SMOKE DETECTOR
SECT.	SECTION
S.E.D.	SEE ELECTRICAL DRAWING
SF	SUB FLOOR
S.F.	SQUARE FEET
SHT	SHEET
SIM.	SIMILAR
SK	SINK
	SEE MECHANICAL DRAWINGS
S.M.D.	SPECIFICATIONS
S.S.D.	SEE STRUCTURAL DRAWINGS
STL	STEEL
STRUCT.	STRUCTURAL
SW	SHEAR WALL
T&G	TONGUE AND GROOVE
T.B.S.	TO BE SELECTED
TEMP., (T)	TEMPERED
THK	THICK
T.O.F.	TOP OF FLOOR
T.O.C.	TOP OF CONCRETE
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
TR. FR. CSMT.	TRUE FRENCH CASEMENT
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT	VERTICAL
V.I.F.	VERIFY IN FIELD
VYL	VINYL
W	WIDE
WC	WATER CLOSET
WD	WOOD

DRAWING INDEX

- A1.0 COVER SHEET WITH SHEET, INDEX, VICINITY MAP, ABBREVIATIONS, PROJECT WORK
- A3.1 SITE PLAN 1/8" = 1'-0"
- A3.2 ENLARGED PLAN WITH SITE PHOTOS
- A3.3 EXTERIOR ELEVATIONS
- ARBORIST TREE SURVEY

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:	230 Lark Lane, Alamo, CA 94507
JURISDICTION:	Contra Costa County
ASSESSOR'S PARCEL NUMBER:	198-190-025
OCCUPANCY:	R-3/U
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	None Existing at House & Barn / None Required
LOT AREA:	106,400 S.F.
LOT AVERAGE DEPTH:	313'-5"
LOT AVERAGE WIDTH:	106,400 sf / 313.4' = 339.5' (>120', Exempt from Small Lot Review)
ZONING CLASSIFICATION:	P-1
ZONING REQUIREMENTS:	Building Height: Max. Allowed / Proposed Detached Garage Height: 35'-0" Ft. / No change 35'-0" ht. / No Change
	Building Setbacks P-1 Zoning No Change

*Unless otherwise noted, setbacks are measured from property lines. See Site Plan for any other applicable easements or construction limit lines.

BUILDING FLOOR AREAS:	
(E) House (Conditioned Area)	5,136 S.F.
(N) Proposed Detached Garage	595 S.F.
(E) ADU	1,078 S.F.
(E) ADU Garage	598 S.F.

SCOPE OF WORK

This project consists of a construction of a detached garage. The residence was built in 1936, with a main residence and a Caretakers quarters over a garage. The Caretaker's quarters and garage have been now permitted as an ADU / ADU Garage. The new detached garage will serve as the residence garage. The residence is oddly perched on a hilltop with major topographical slopes, major trees and multiple stair issues. The accessory structure / garage height is compounded by the steep topography at the drop-off driveway location. The project includes an elevator at the garage to a bridge which will provide access to the residence, particularly for the aging relatives of the homeowners. A variance will require a variance due to the ridge and elevator height.

PROJECT ROSTER

Kym and Mike Elam 230 Lark Lane Alamo, CA 94507 (925) 998-9739 kymk@comcast.net mikeelam49@gmail.com	ENERGY CONSULTANT Calc 24 2250 Hedgewood Drive Reno, NV 89509 (530) 386-1268 Contact Person: Chris Ferre calc24@att.net
ARCHITECT Barry & Wynn Architects, Inc. 379 Hartz Avenue Danville, CA 94526 (925) 837-1422 email: blairb@barryandwynn.com Contact Person: Blair Barry	CIVIL ENGINEER Alexander & Associates, Inc. 147 Old Bernal Ave., Suite 10 Pleasanton, CA Tel: (925) 462-2255 Contact Person: Darryl Alexander

STRUCTURAL CONSULTANT
Hohbach-Lewin, Inc.
Structural and Civil Engineers
909 Montgomery Street, Suite 260
San Francisco, CA 94133
(415) 610-5792
Contact Person: Andrew Arnold
aarnold@hohbach-lewin.com

CODES IN EFFECT

- 2022 California Residential Code (CRC)
- 2022 California Electrical Code (CEC)
- 2022 California Mechanical Code (CMC)
- 2022 California Plumbing Code (CPC)
- 2022 California Fire Code (CFC)
- 2022 California Energy Code (CEnc)
- 2022 California Green Building Code (CGBC)
- 2022 California Building Code (CBC)
- Contra Costa County Zoning Ordinances

ENERGY COMPLIANCE

PLUMBING FIXTURE COMPLIANCE

REPLACEMENT OF NON COMPLIANT PLUMBING FIXTURES:
Per Civil Code Section 1101.1, all noncompliant plumbing fixtures shall be replaced with water-conserving fixtures. Note: This project includes replacement of all existing non-compliant plumbing fixtures with new water-conserving fixtures as noted on plans.

SAN RAMON VALLEY FIRE PROTECTION DISTRICT NOTES

1. Fire apparatus access roadways shall be installed and required water supplies shall be in service prior to the delivery of combustible construction items and prior to the commencement of framing. Failure to comply will result in a stop work order on all permits.
2. All fuel modification shall be completed to District standards prior to the delivery of combustible construction materials.
3. All approved plans shall be printed and available on-site for the duration of the project.
4. Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lands and hydrants may result in cancellation or suspension of inspections.
5. Temporary fuel tanks of 60 or more gallons requires a permit from SRVFPD.
6. The project address shall be clearly posted and visible from the public road during construction.

APPROVAL STAMPS



Project Title:
Elam Detached Garage

230 Lark Lane
Alamo, California

Sheet Title:
PROJECT DATA

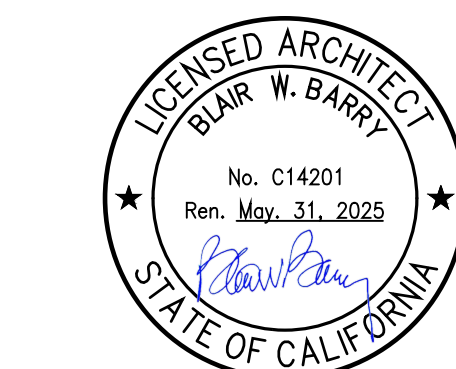
VICINITY MAP

PROJECT ROSTER

DRAWING INDEX

ABBREVIATIONS

SCOPE OF WORK



Revisions:

No.	By	Date

Scale: NONE

Drawn By: BB

Approved: BB

Job No.: 22322.02

Date: 01.05.24

Sheet No.:

A1.0



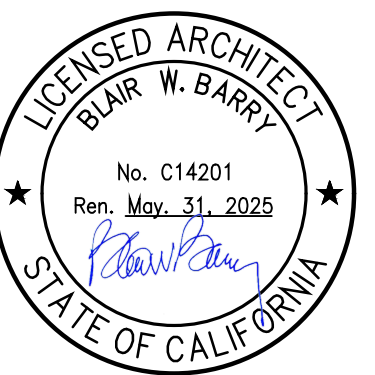
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ARCHITECTS

379 Hartz Avenue
Danville, CA
Etnahon on Railroad Ave.
(925) 837-1422
(925) 837-1426
www.barryandwynn.com

Project Title:
**Elam Detached
Garage**

230 Lark Lane
Alamo, California

Sheet Title:
**ARCHITECTURAL
SITE PLAN**

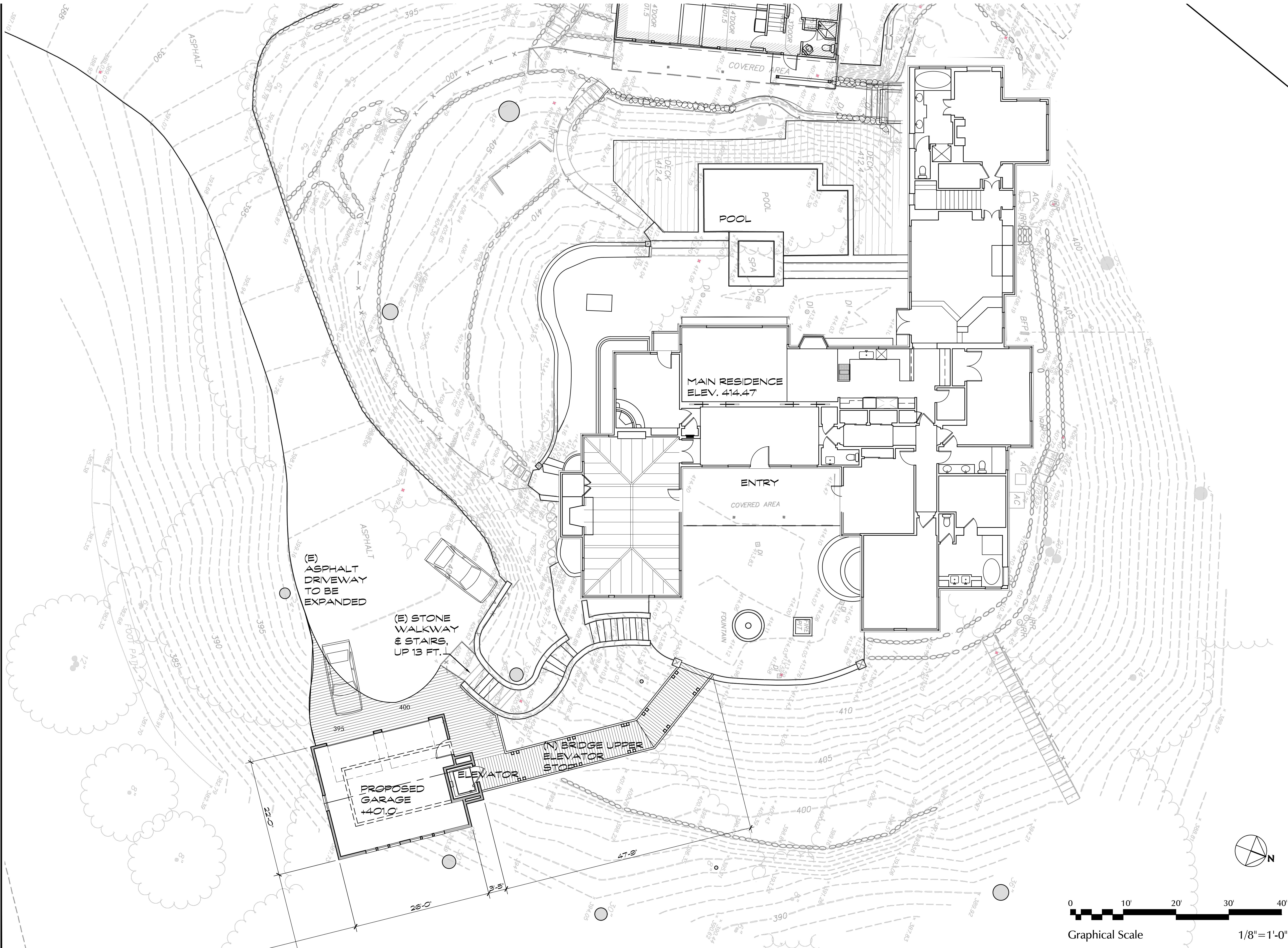


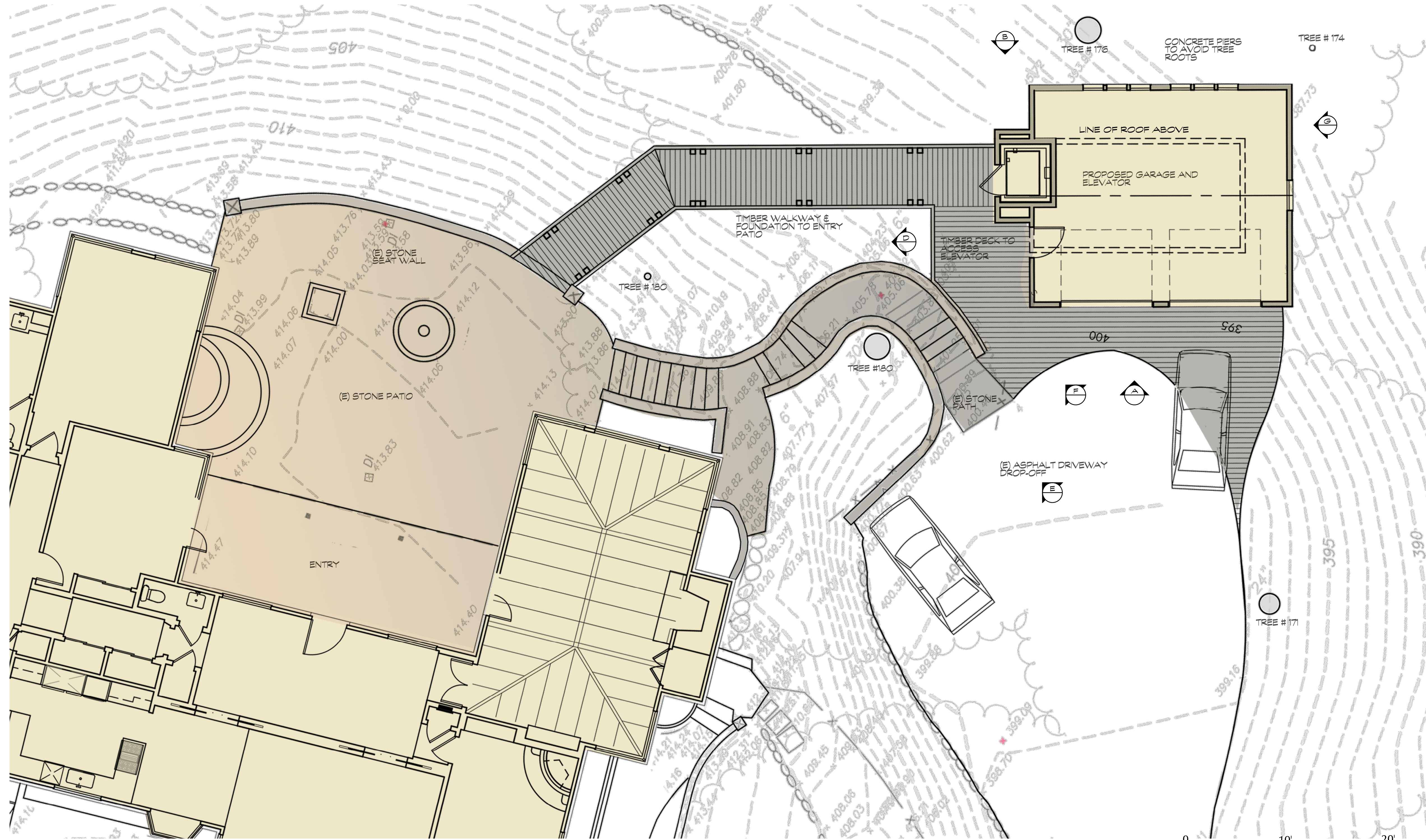
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 Approved: BB
 Job No.: 22322.02
 Date: 01.05.24
 Sheet No.:

A3.1





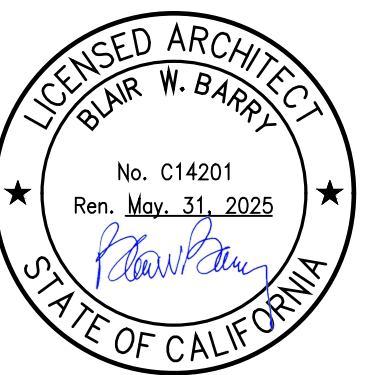
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Project Title:
Elam Detached Garage

230 Lark Lane
 Alamo, California

Sheet Title:
ENLARGED SITE PLAN

SITE PHOTOS



Revisions:

No.	By	Date
1		

Scale: SEE PLAN
 Drawn By:
 Approved: **BB**
 Job No.: 22322.02
 Date: 01.05.24

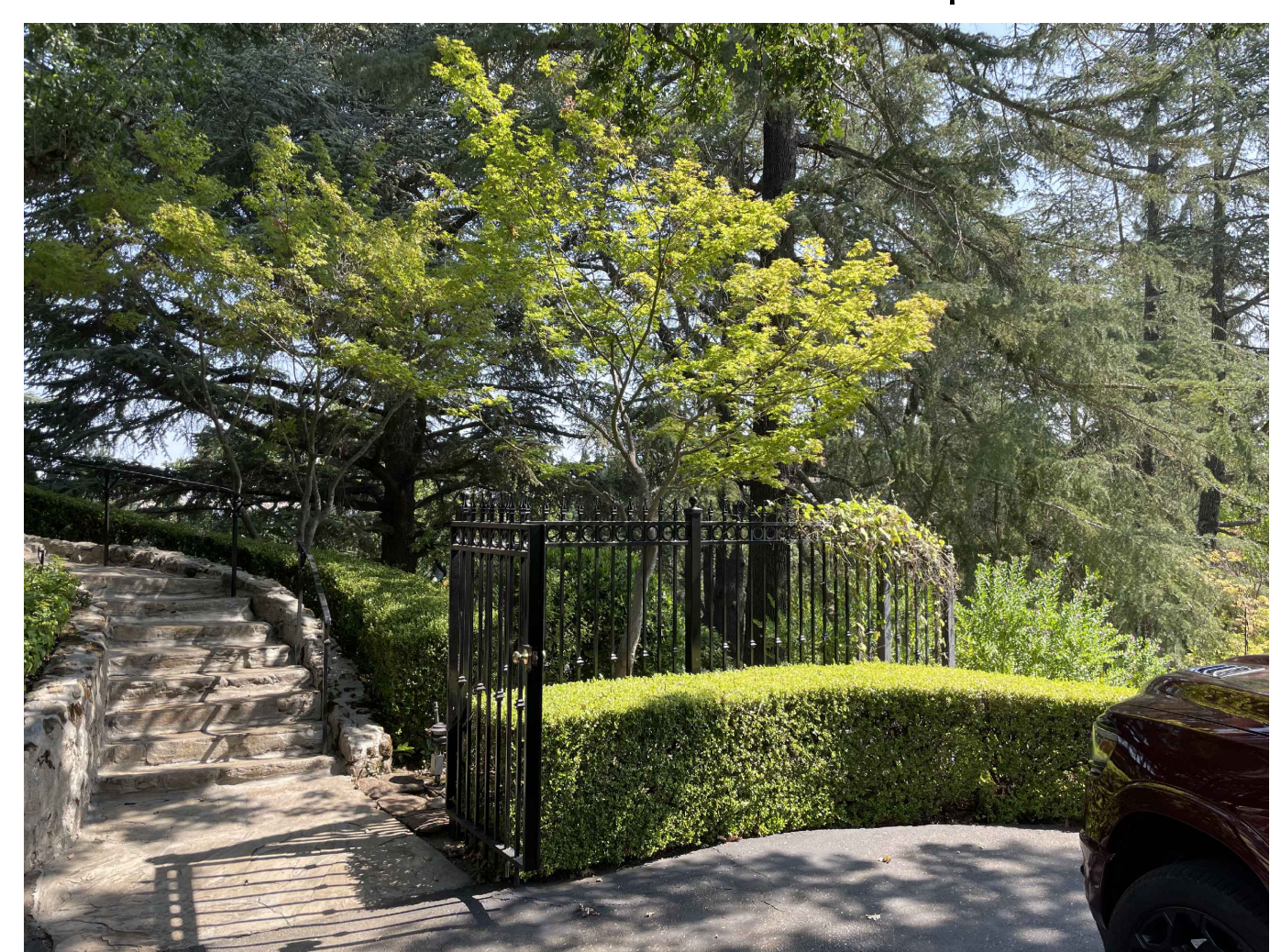
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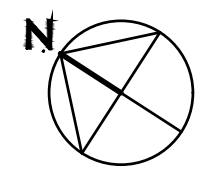
(B) EXISTING STONE STEPS TO MAIN ENTRY



(E) AREA OF NEW BRIDGE FROM NEW GARAGE TO ENTRY



(E) AREA OF ENLARGED DRIVEWAY WITH NEW GARAGE BEYOND



A3.2



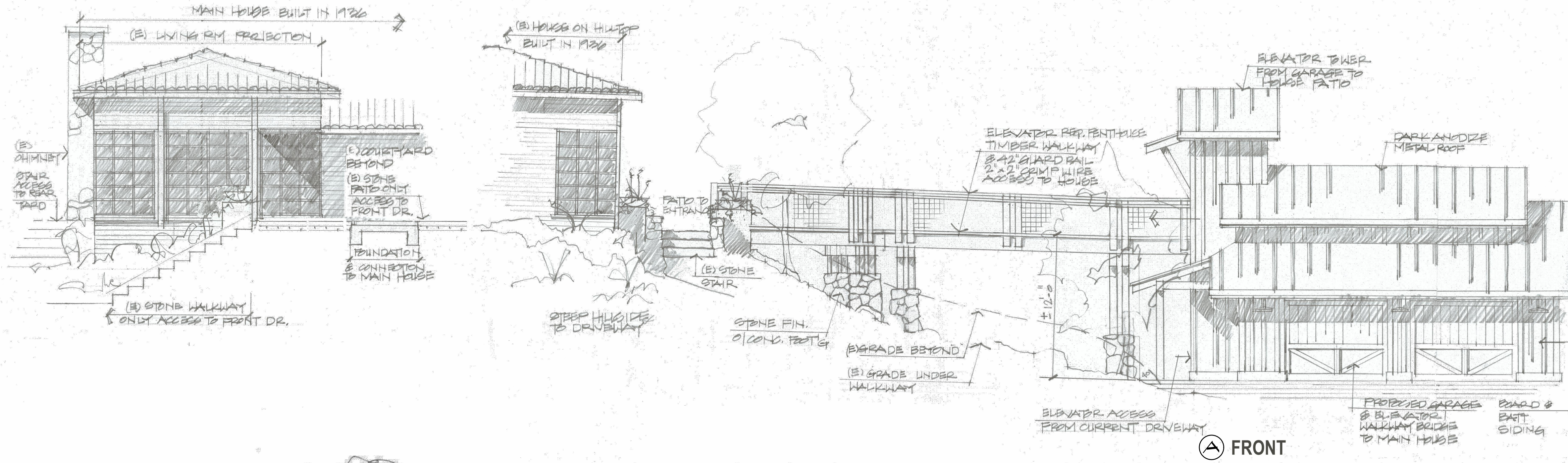
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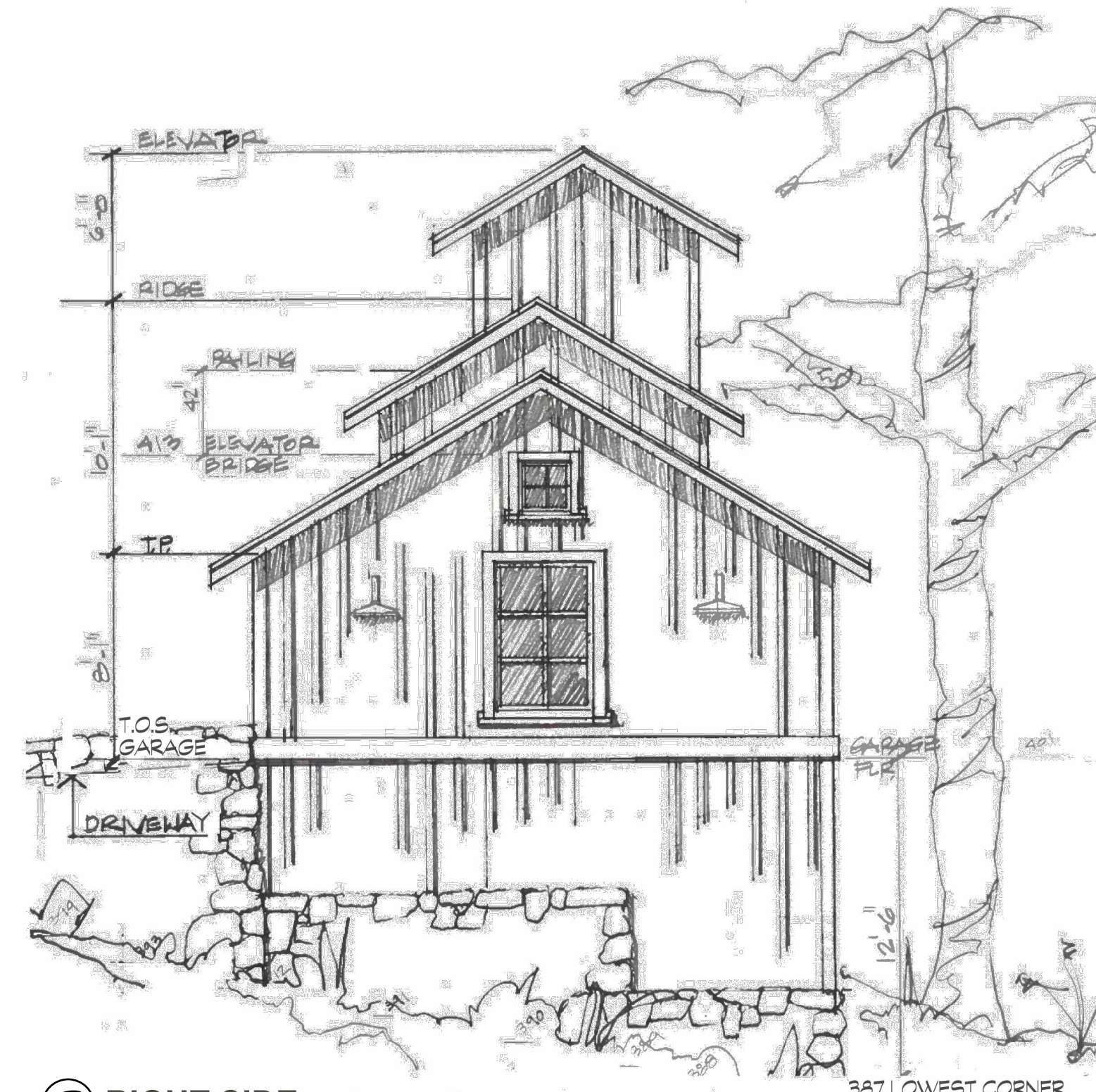
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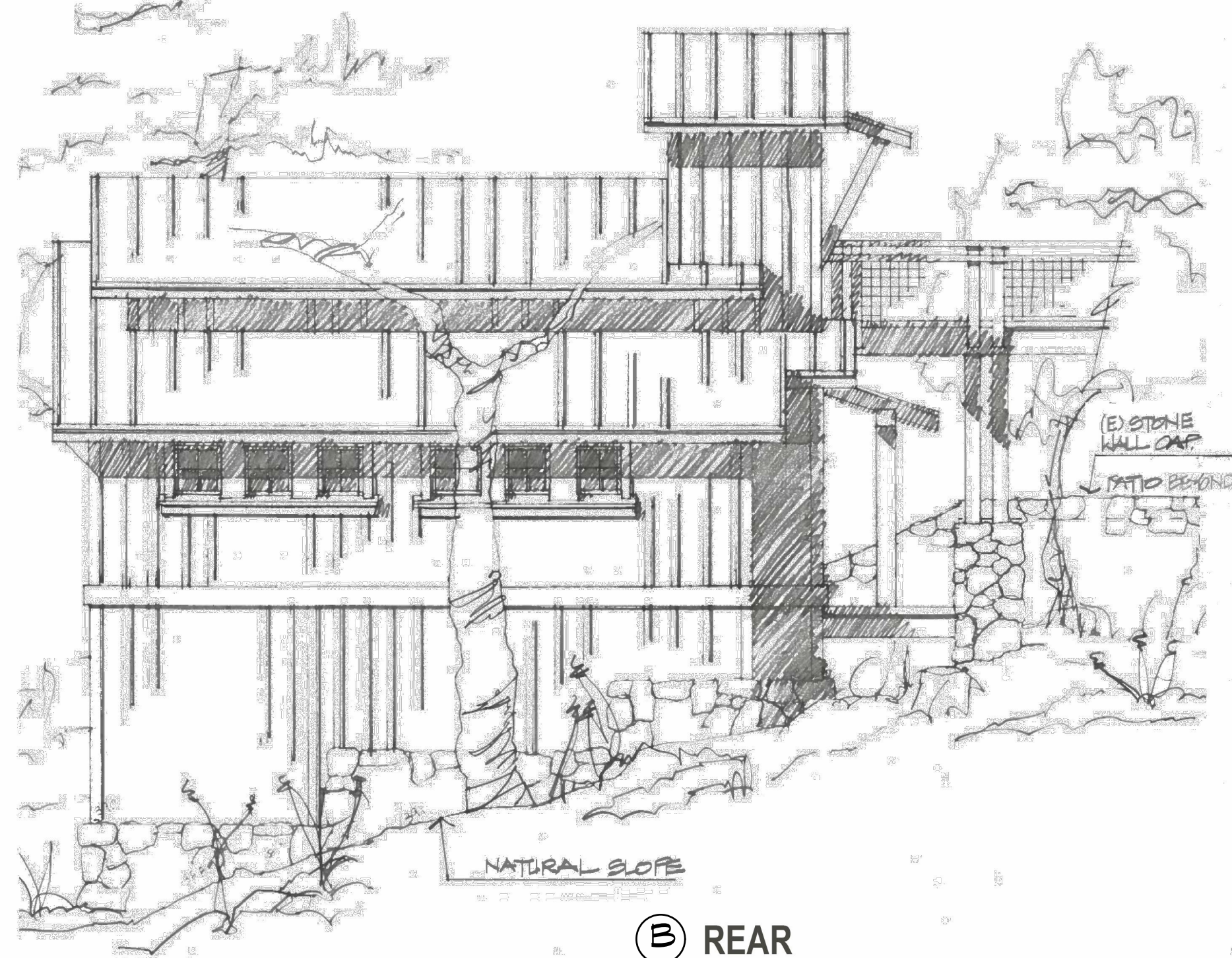
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ELEVATIONS**



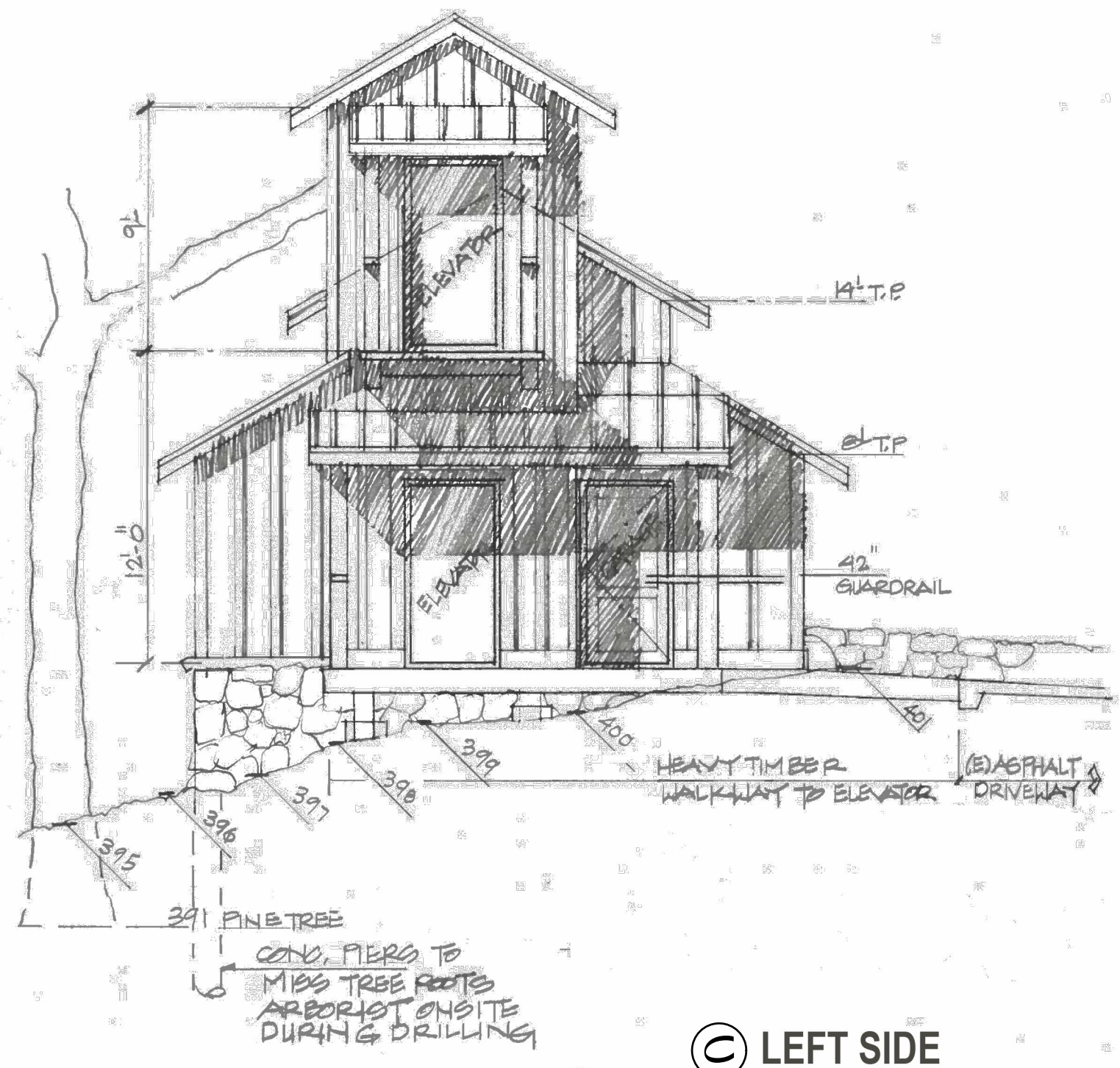
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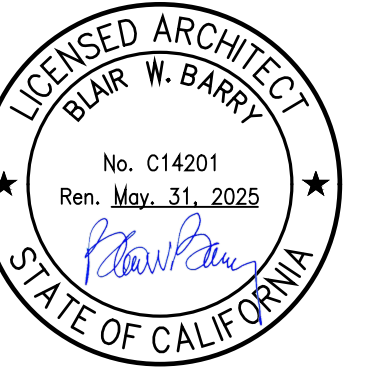
G RIGHT SIDE



B REAR



C LEFT SIDE



Revisions:

No.	By	Date

Scale: SEE PLAN

Drawn By: BB

Approved: BB

Job No.: 22322.02

Date: 01.05.24

Sheet No.:

A3.3

PRELIMINARY TREE PROTECTION NOTES

for 230 Lark Lane, Alamo

By: Maija Wigoda-Mikkila

Certified Arborist # WE-12986A

Traverso Tree Service, Inc.

October 9, 2024

(drawn on Architectural Site Plan by Barry & Wynn Architects dated 1/5/24)

RECEIVED on 11/12/2024 CDDP24-03049
By Contra Costa County
Department of Conservation and Development



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ARCHITECTS

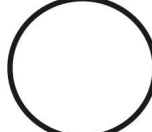


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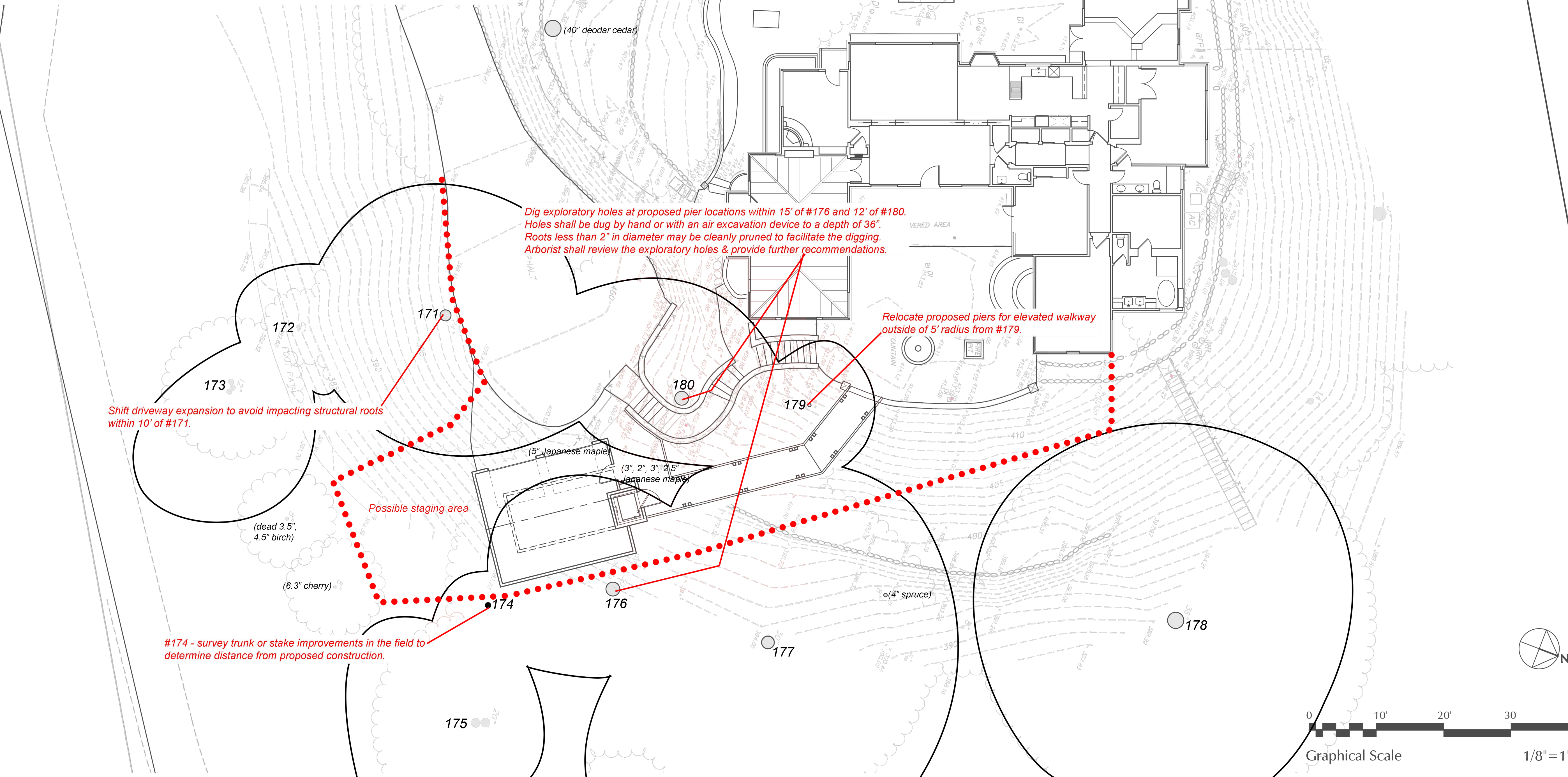
230 Lark Lane
Alamo, California

Sheet Title:
ARCHITECTURAL SITE PLAN

TREE PROTECTION LEGEND

-  Tree driplines, drawn by arborist
-  Preliminary Tree Protection Zone
-  Approximate trunk location estimated by arborist

**PRELIMINARY RECOMMENDATIONS
NOT TO BE USED FOR CONSTRUCTION**



Revisions:

No.	By	Date

Scale: SEE PLAN
 Drawn By:
 Approved: BB
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 Date: 01.05.24

Sheet No.:

A3.1