



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><b><u>INTERNAL</u></b></p> <p> <input type="checkbox"/> Building Inspection      <input type="checkbox"/> Grading Inspection  <input type="checkbox"/> Advance Planning      <input type="checkbox"/> Housing Programs  <input type="checkbox"/> Trans. Planning      <input type="checkbox"/> Telecom Planner  <input type="checkbox"/> ALUC Staff      <input type="checkbox"/> HCP/NCCP Staff  <input type="checkbox"/> APC PW Staff      <input type="checkbox"/> County Geologist         </p> <p><b><u>HEALTH SERVICES DEPARTMENT</u></b></p> <p><input type="checkbox"/> Environmental Health    <input type="checkbox"/> Hazardous Materials</p> <p><b><u>PUBLIC WORKS DEPARTMENT</u></b></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts)  <input type="checkbox"/> Traffic  <input type="checkbox"/> Flood Control (Full-size)    <input type="checkbox"/> Special Districts         </p> <p><b><u>LOCAL</u></b></p> <p> <input type="checkbox"/> Fire District _____              <input type="checkbox"/> San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>              <input type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfd.org">fire@cccfd.org</a>              <input type="checkbox"/> East CCC – (email) <a href="mailto:brodriguez@cccfd.org">brodriguez@cccfd.org</a>  <input type="checkbox"/> Sanitary District _____  <input type="checkbox"/> Water District _____  <input type="checkbox"/> City of _____  <input type="checkbox"/> School District(s) _____  <input type="checkbox"/> LAFCO  <input type="checkbox"/> Reclamation District # _____  <input type="checkbox"/> East Bay Regional Park District  <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD  <input type="checkbox"/> MAC/TAC _____  <input type="checkbox"/> Improvement/Community Association  <input type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)         </p> <p><b><u>OTHERS/NON-LOCAL</u></b></p> <p> <input type="checkbox"/> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)  <input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta  <input type="checkbox"/> Native American Tribes         </p> <p><b><u>ADDITIONAL RECIPIENTS</u></b></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p> <input type="checkbox"/> Active Fault Zone (Alquist-Priolo)  <input type="checkbox"/> Flood Hazard Area, Panel # _____  <input type="checkbox"/> 60-dBA Noise Control  <input type="checkbox"/> CA EPA Hazardous Waste Site              High or Very High FHSZ         </p> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None    <input type="checkbox"/> Below    <input type="checkbox"/> Attached</p> <p>_____</p> <p>Print Name _____</p> <p>_____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDDP24-03038**

**File Date: 9/18/2024**

**Applicant:**

Bacilia Macias Bacilia Macias Architecture  
6007 NE Sacramento St  
Portland, OR 97213

bacilia@bmarch.net  
(510) 691-7910

**Property Owner:**

FERNANDO TAVIRA  
PO BOX 14662  
OAKLAND, CA 946142662

fjweldinginc@gmail.com  
(510) 798-7913

**Project Description:**

The applicant requests a development plan to allow for the construction of a new 2152.6 sq ft duplex in an HE-C zoning district. (Concurrent CDSU24-00118)

**Project Location: (Address: 0 4TH ST, RICHMOND, CA 94801), (APN: 409171024)**

**Additional APNs:**

**General Plan Designation(s):** HEC

**Zoning District(s):** HE-C

**Flood Hazard Areas:** X

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:** North Richmond

**Sphere of Influence:** Richmond

**Fire District:** CONSOLIDATED FIRE

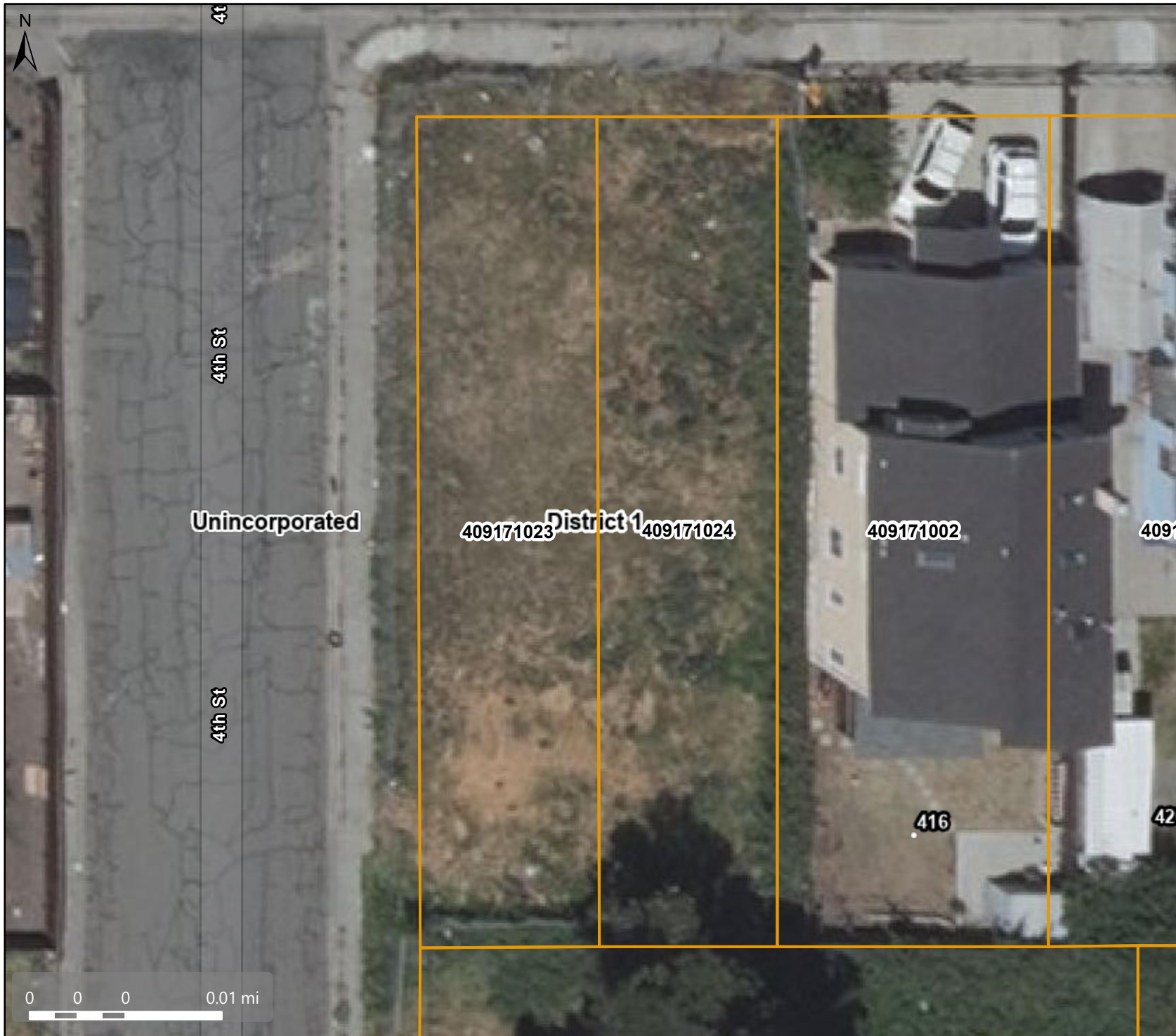
**Sanitary District:** WEST CO WASTEWATER

**Housing Inventory Site:** Yes





**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
DPS0014P	Dev Pln Rvw Multi Family - PW	000651-9660-REV-000-6L0014	2000.00	2000.00
DPS0015	Dev Plan Review- DCD	002606-9660-REV-000-5B0015	5000.00	5000.00
<b>Total:</b>			<b>7000.00</b>	<b>7000.00</b>





### Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
-  Unincorporated
-  Board of Supervisors' Districts
- Base Data**
-  Address Points



This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION.**






CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CCMap application are provided by various Contra Costa County Departments. Please direct all data inquiries to the appropriate department.

Spatial Reference  
 PCS: WGS 1984 Web Mercator Auxiliary Sphere  
 Datum: WGS 1984





### Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SH (Single Family Residential - High) 5.0 - 7.2 Units per Net Acre
-  HEC (Housing Element Consistency) see Zoning table for density
-  Unincorporated Board of Supervisors' Districts
- Base Data**
-  Address Points



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### Map Legend

- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE\_OVER**
- P-1 (Planned Unit)
- HE-C (Housing Element Consistency)
- Unincorporated Board of Supervisors' Districts
- Base Data**
- Address Points



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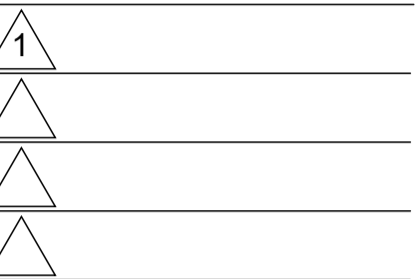
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P: 510.929-0727



REVISIONS	DATE
OWNER: FERNANDO TAVIRA JOSEFINA BUCIO P.O. BOX 14662 OAKLAND, CA 94614 FJWELDINGINC@GMAIL.COM	

**PLANNING SET**

**NEW RESIDENCE WITH ATTACHED ADU**  
 4TH STAND SILVER AVE  
 RICHMOND CA 94801  
 APN#409171024

DRAWN BY: BM

DATE: SEPT. 06, 2024



SHEET TITLE:

COVER PAGE

SHEET NO:

A0.0

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**PROJECT SCOPE**

**TWO STACKED UNITS WITH ONE ATTACHED ACCESSORY DWELLING UNIT**  
**UNIT 1:**  
 GROUND LEVEL WITH ONE BEDROOM AND ONE BATH =570 SQ FT  
 ONE PARKING SPACES  
**UNIT 2:**  
 UPPER LEVEL 2 BEDROOMS AND ONE BATH = 936.4 SQ FT  
 LOWER LEVEL ENTRY 45.7 SQ. FT.  
 TOTAL 982.1 SQ. FT.  
**TWO PARKING SPACE ( ONE COVERED AND ONE OPEN)**  
**ADU:**  
 PARTIAL TWO STORY UNIT WITH ONE BEDROOM AND ONE BATH 600.5 SQ FT  
**TOTAL LIVING SPACE ON LOT** 2152.6 SQ. FT.  
**GARAGE** 245.6 SQ. FT.  
 TOTAL 2398.2 SQ. FT.

**DRAWING INDEX**

SHEET NO.	SHEET NAME
A0.0	COVER PAGE
S	SURVEY
A0.1	PROPOSED SITE PLAN
A1.1	PROPOSED FLOOR PLAN
A1.2	PROPOSED ROOF PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED SECTION

**CODES**

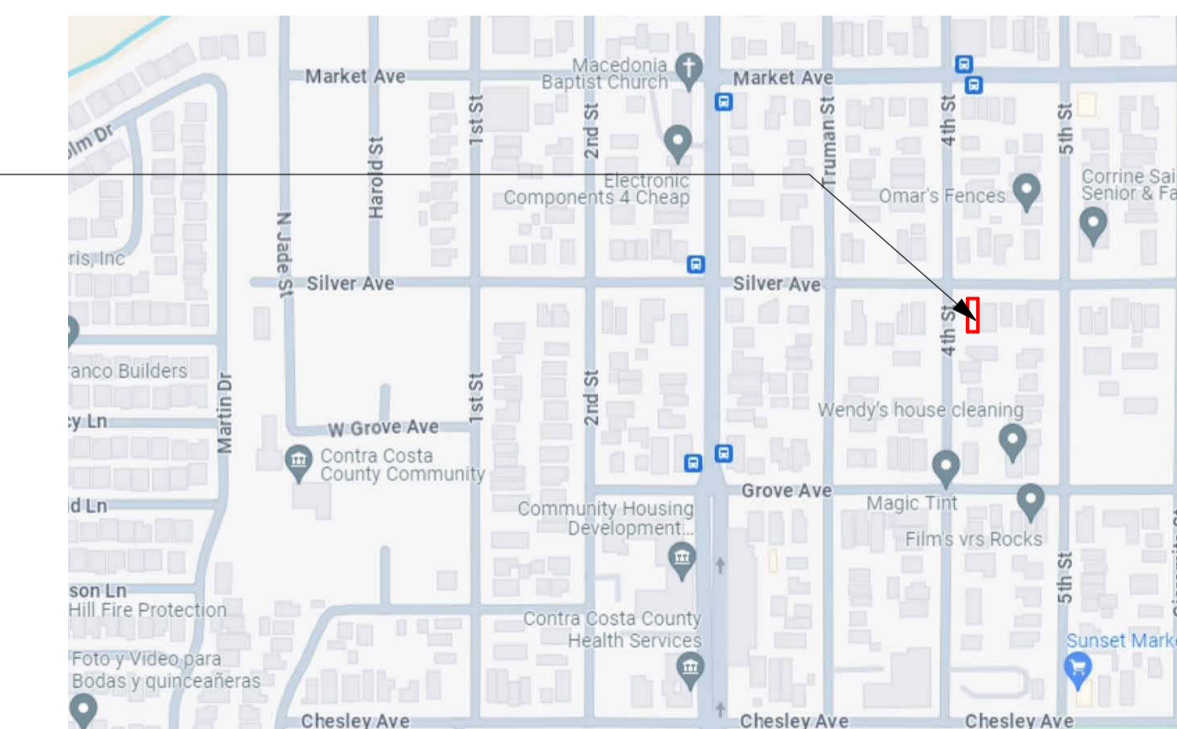
2022 CALIFORNIA PLUMBING CODE (CPC)  
 2022 CALIFORNIA MECHANICAL CODE (CMC)  
 2022 NATIONAL ELECTRICAL CODE (NEC)  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA EXISTING BUILDING CODE  
 (AS APPLICABLE AND AMENDED BY CONTRA COSTA COUNTY)

**PROJECT TEAM**

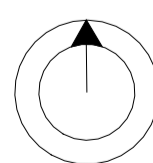
**ARCHITECT**  
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 6007 NE SACRAMENTO ST  
 PORTLAND, OR 97213  
 (510)929-0727  
 BACILIA@BMARCH.NET  
 WWW.BACILIAMACIAS.COM

**STRUCTURAL ENGINEER**  
 TBD

**VICINITY MAP**

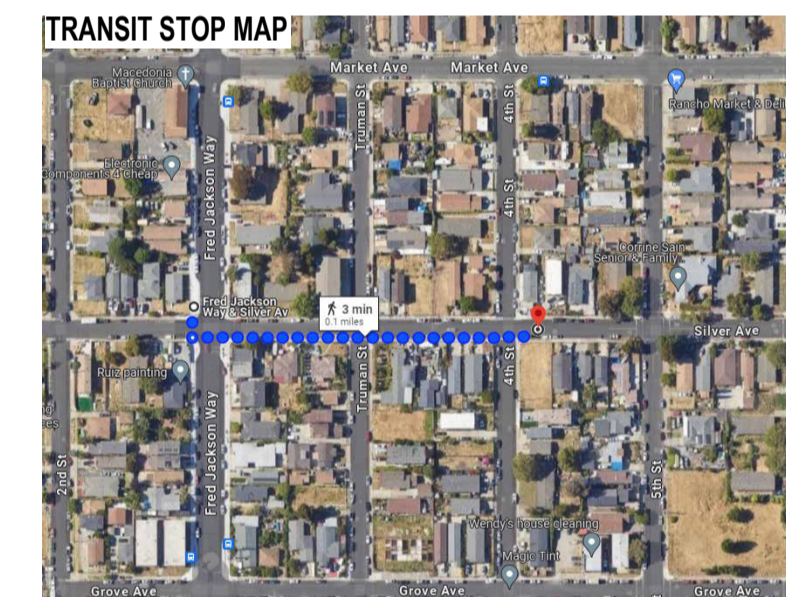


NORTH

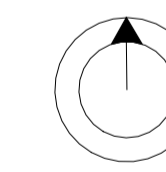


**PROJECT INFORMATION**

**PROJECT ADDRESS** 4TH STAND SILVER AVE, RICHMOND CA 94801  
**OCCUPANCY** R-3  
**CONSTRUCTION TYPE** V-B NON RATED  
**SPRINKLERS** YES  
**ZONNING** HE-C; HOUSING ELEMENT CONSISTENCY DISTRICT  
**LOT SIZE** 2,840 SF or .065 ACRES  
**LOT COVERAGE MAX** 50% OR 1420 SF  
**LOT COVERAGE** 1420 SQ.FT. MAX ALLOWED  
 972.83 SQ. FT PROPOSED (DOES NOT INCLUDE ADU)  
**DENSITY** 17/ACRE MIN. - 30/ACRE MAX.  
 17/.065 = 1.1 UNITS MINIMUM  
 30/.065 = 1.95 UNITS MAXIMUM  
 UNITS PROPOSED: 2 STACKED  
**HEIGHT ALLOWED** 35 FT  
**APN** 409-171-024-6  
**SETBACK** 10' FRONT SETBACK  
 15' REAR SETBACK  
 5 GARAGE SETBACK  
 5' SIDE SETBACK  
**ADU SETBACKS** 4' REAR SETBACK  
 4' SIDE SETBACK  
**PARKING SPACE** **UNITS**  
 2 SPACES PER UNIT REQUIRED  
 1.5 UNITS PROVIDED  
**ADU**  
 0 SPACES REQUIRED FOR ADU PER  
 82-24.012 - Development standards.  
 Ordinance Code Title 8 - ZONING Division  
 82 - GENERAL REGULATIONS Chapter  
 82-24 - ACCESSORY DWELLING UNITS  
 The accessory dwelling unit is located within  
 one-half mile walking distance of public  
 transit.



NORTH



PROJECT SITE

**ADDITIONAL NOTES**

**FIRE SAFETY**

Portable Fire Extinguishers: Structures under construction, alteration or demolition shall be provided with approved fire extinguishers in accordance with CBC §906 and sized for not less than ordinary hazard as follows per CBC §3309.1. Revise the plans to show the location of the required fire extinguisher as follows: 3.1. At each stairway on all floor levels where combustible materials are accumulated.  
 · In every storage and construction shed.  
 · Additional portable fire extinguishers shall be provided where special hazard exist, such as the storage and use of flammable and combustible liquids.  
 · Minimum 2-A:10-B:C rating fire extinguishers shall be provided throughout the building under construction, alteration, or demolition with a maximum travel distance of 75-feet.

**Fire Safety during Construction:**

· Smoking shall be prohibited except in designated areas with approved ashtrays. All other areas must have "No Smoking" signage posted around construction areas in accordance with CFC§310. [CFC§3304.1]  
 · Combustible debris shall not be accumulated within building. Combustible debris, rubbish and waste material shall be removed from building at the end of each shift of work. [CFC §3304.2]  
 · Materials susceptible to spontaneous ignition, such as oily rags, shall be stored in a isted disposal container. [CFC §3304.4]  
 · Operations involving the use of cutting and welding shall be done in accordance with CFC Chapter 35 [CFC §3304.6]  
 · During construction, the construction site or area must be clean up at the end of the day in order to provide firefighter access in the building in an event of a fire.

**SYMBOLS LEGEND**

	ELEVATION TAG
	SECTION TAG
	INTERIOR ELEVATION TAG
	DOOR TAG
	WINDOW TAG
	KEYNOTES
	LIGHTING FIXTURE TAG
<b>ROOM</b>	ROOM NAME
	CEILING HEIGHT
	WALL TO REMAIN
	NEW WALL - 1 HOUR RATED
	NEW EXTERIOR WALL

**ABBREVIATIONS**

A.B.	ANCHOR BOLT	HORIZ	HORIZONTAL
ADJ.	ADJACENT	HT.	HEIGHT
A.F.F	ABOVE FINISHED FLOOR	HWH	HOT WATER HEATER
ALUM.	ALUMINUM	INSUL	INSULATION
&	AND	JST	JOIST
A.P.	ACCESS PANEL	LAV	LAVATORY
APPROX.	APPROXIMATELY	LT	LIGHT
@	AT	MAX	MAXIMUM
BD.	BOARD	MB	MACHINE BOLT
BLDG.	BUILDING	MEZZ	MEZZANINE
BLKG.	BLOCKING	MFR	MANUFACTURER
BM.	BEAM	MIN	MINIMUM
B.O.	BOTTOM OF	(N)	NEW
BTW.	BETWEEN	N.I.C.	NOT IN CONTRACT
C.B	CATCH BASIN	NTS	NOT TO SCALE
CJT.	CONTROL JOINT	#	NUMBER
CL.	CLOSET	O.C.	ON CENTER
C	CENTER LINE	OPNG	OPENING
CLG	CEILING	OVHD	OVERHEAD
CLR	CLEAR	PL	PLATE
C.M.T	CERAMIC MOSAIC TILE	P	PROPERTY LINE
CONTR.	CONTRACTOR	PLUS OR MINUS	PLUS OR MINUS
COL.	COLUMN	PLYWD	PLYWOOD
CONC.	CONCRETE	+/-	PAINTED
CONN.	CONNECTION	RAD	RADIUS
CONST.	CONSTRUCTION	RC	REINFORCED CONCRETE
CONT.	CONTINUOUS	RD	ROOF DRAIN
C.O.S.	CHECK ON SITE	REQ	REQUIRED
C.T.	CERAMIC TILE	RM	ROOM
C.T.R.	CENTER	RWL	RAIN WATER LEADER
D.	DRAIN	SC	SOLID CORE
DBL.	DOUBLE	SFGL	SAFETY GLASS
DEMO	DEMOLISH OR DEMOLITION	SHT	SHEET
DET	DETAIL	SHWR	SHOWER
DF	DRINKING FOUNTAIN	SIM	SIMILAR
DIA	DIAMETER	SLDG	SLIDING
DIM	DIMENSION	S.F.	SQUARE FEET
DN	DOWN	SSTL.	SEE STRUCTURAL DWGS.
DR	DOOR	SSD	STAINLESS STEEL
D.S.	DOWNSPOUT	STL	STEEL
DWG.	DRAWING	STOR	STORAGE
(E)	EXISTING	THR	THRESHOLD
EA.	EACH	TO	TOP OF
ELEC	ELECTRICAL	TOS	TOP OF SLAB
EQ	EQUAL	TOW	TOP OF WALL
EXIST	EXISTING	TPD	TOILET PAPER DISPENSER
EXP	EXPOSED	TYP.	TYPICAL
EXT	EXTERIOR	UR	URINAL
F.D	FLOOR DRAIN	UON	UNLESS OTHERWISE NOTED
FFL	FINISH FLOOR LEVEL	VERT	VERTICAL
FIN	FINISH	VT	VINYL TILE
FLASH	FLASHING	W/	WITH
FLR	FLOOR	WC	WATER CLOSET
FND	FOUNDATION	WD	WOOD
F.O.F	FACE OF FINISH	WDW	WINDOW
F.O.S	FACE OF STUD	WPM	WATERPROOF MEMBRANE
FT	FOOT OR FEET	WSCT	WAINSCOT
FTG	FOOTING		
GA	GAGE, GAUGE		
GALV.	GALVANIZED		
GL.	GLASS		
GLB	GLU-LAM BEAM		
GND	GROUND		
GRD	GRADE		
GSM	GALVANIZED SHEET METAL		
GCT	GLAZED CERAMIC TILE		
GYP. BD.	GYPSUM BD		
GVL	GRAVEL		
H.B	HOSE BIB		
H.C	HOLLOW CORE		
HDR.	HEADER		
HDWD	HARDWOOD		

**GENERAL NOTES**

All work shall comply with the CRC and all other codes and requirements, in their most recent edition.  
 Building Inspection Dept. ordinances  
 California State Building Code  
 California Title 24 Energy codes  
 NEC Amendments of the California plumbing, mechanical and electrical codes.

Contractor is to obtain any required permits for this work.

Contractor shall be responsible for all electrical, plumbing and fire protection work required by the Bldg. Dept.

Contractor shall verify all dimensions and existing conditions prior to starting work. Any discrepancies shall be reported to the designer for review.

Do not scale drawings. Dimensions shall take precedence over scale.

Contractor shall visit site prior to submission of bid to review scope of work, demolition, etc.

Dimensions are to face of finish, unless otherwise noted (U.O.N)

Cutting and demolition shall be done by methods which will not jeopardize structural integrity of existing construction and will not damage portions to remain.

Contractor shall remove, cut, cap and repair as necessary any utilities, including by not limited to : electrical, mechanical plumbing and fire sprinkler, where partitions are scheduled for demolition or are no longer operational or in service. All other existing utilities are are to remain fully operational.

Contractor is to provide all necessary dust protection and/or barricading required to protect adjacent spaces and existing finishes. Contractor is responsible to repair any damages caused by contractor or their subcontractors.

Patch and repair any damages to floor, walls, ceilings, hardware, fixtures, windows, etc. as a result of the construction process. Match existing adjacent finishes as closely as possible. Align and sand smooth.

In general, the Owner reserves the right to retain all material and equipment removed from the project. Any item or material not desired by the Owner are to be removed from the site by Contractor at Contractor's expense.

If any questions arise as to the installation of any materials and/or equipment, or with the construction documents, the Contractor shall clarify the point with the Architect or Designer before proceeding.

If any questions arise due to existing conditions apparent discrepancy between construction documents or any other reason, the contractor will immediately notify the Architect or Designer and clarify the point with the architect or designer.

Safety Measures: At all times the Contractor shall be solely and completely responsible for conditions of th job site including safety of persons and property.

Total thickness of new walls shall match that of adjacent walls. U.O.N.

Construction of new walls, ceilings utilities, etc. shall be modified with Architect's/Designer's approval, when in conflict with existing conditions.

Dimensions noted clear(dcr) are not adjustable without approval by Architect/Designer.

The Contractor shall do all cutting, fitting or patching of work that may be required to make all parts fit together properly and shall not endanger any other work by cutting excavation or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaced replaced will, upon completion, match surrounding similar surfaces.

Install backing at walls as required for all wall mounted items including plumbing fixtures, cabinet work, etc.

All exterior openings are to be weather-stripped.

Studs and furring shall provide plumb, true straight and rigid framing for support of collateral materials.

Install metal corner beads at all exposed outside gypsum board edges. All gypsum wallboard shall be 3-coat finished, taped, topped and sanded between coats. Finished surfaces shall be plumb, level and planes, plied vertically with joints on bearings. All gypsum wallboard shall be mill finished 48" by 5/8" thick, unless otherwise noted by maximum length to minimize horizontal joints and tapered edges.

Contractor is responsible for all construction clean up. The building site shall be kept free of debris and cleaned up daily

No wall telephone or electrical outlets shall be mounted back to back.

The American with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications ("plan") represent the Designer's opinion regarding it's interpretation of the ADA as it applies to the subject project. It is not in any way a warranty or guarantee that said plans comply with any or all possible interpretations of the ADA by others.









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www.baciliamacias.com  
P: 510.929-0727

REVISIONS	DATE
▲	
▲	
▲	
▲	

OWNER:  
FERNANDO TAVIRA  
JOSEFINA BUCIO  
P.O. BOX 14662  
OAKLAND, CA 94614  
FJWELDINGINC@GMAIL.COM

PLANNING SET

**NEW RESIDENCE WITH ATTACHED ADU**  
4TH STAND SILVER AVE  
RICHMOND CA 94801  
APN#409171024

DRAWN BY: BM

DATE: SEPT. 06, 2024



SHEET TITLE:

PROPOSED SITE PLAN

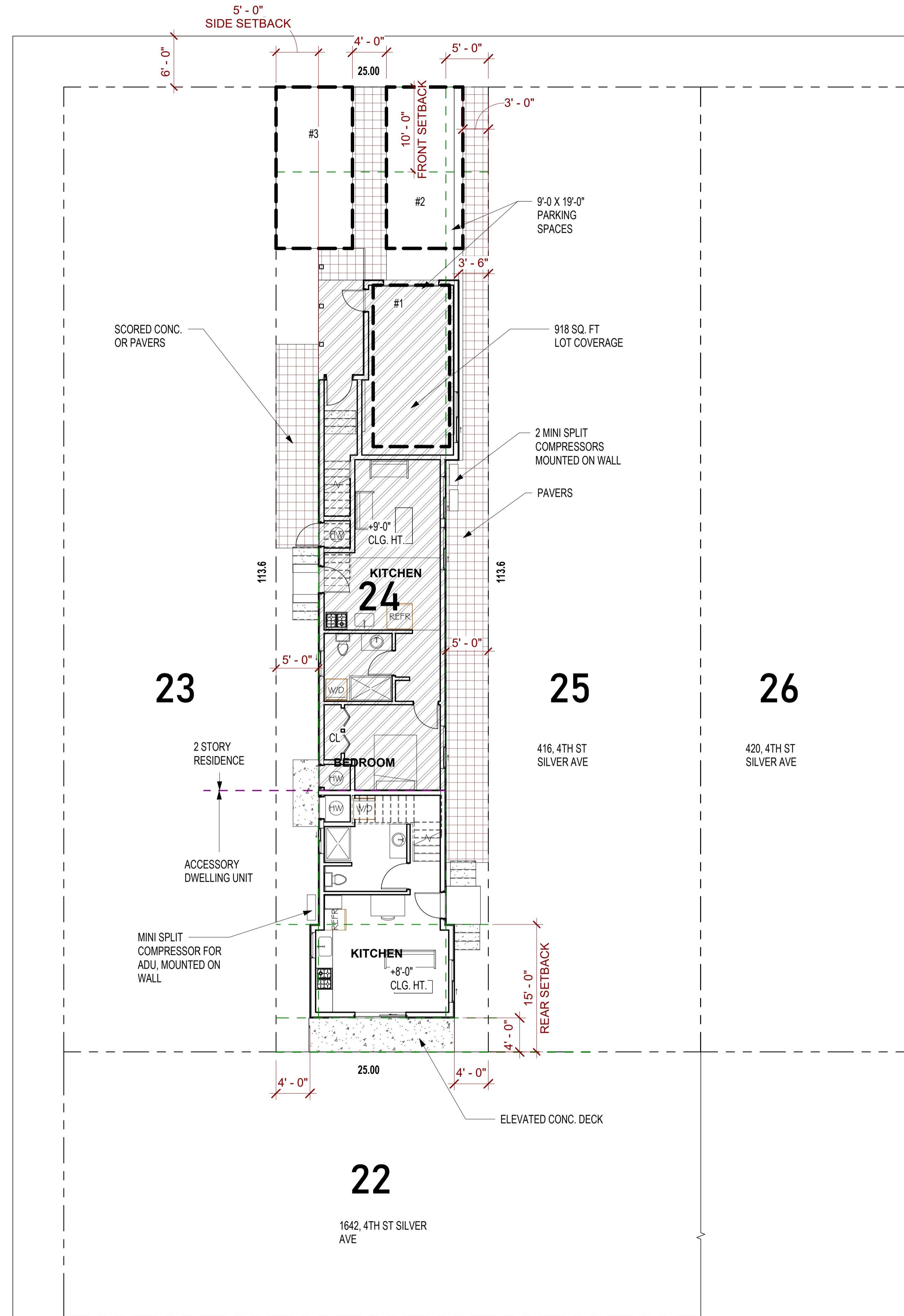
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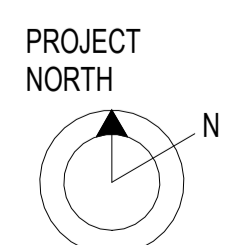
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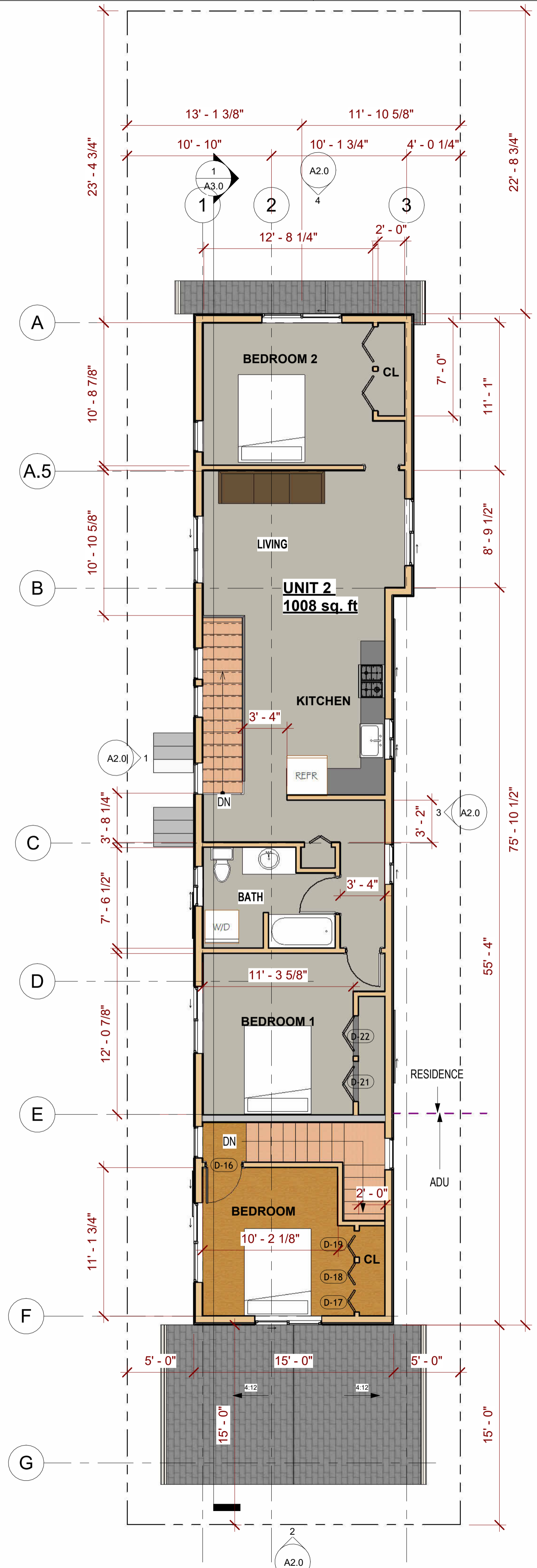
SILVER AVENUE

4TH STREET

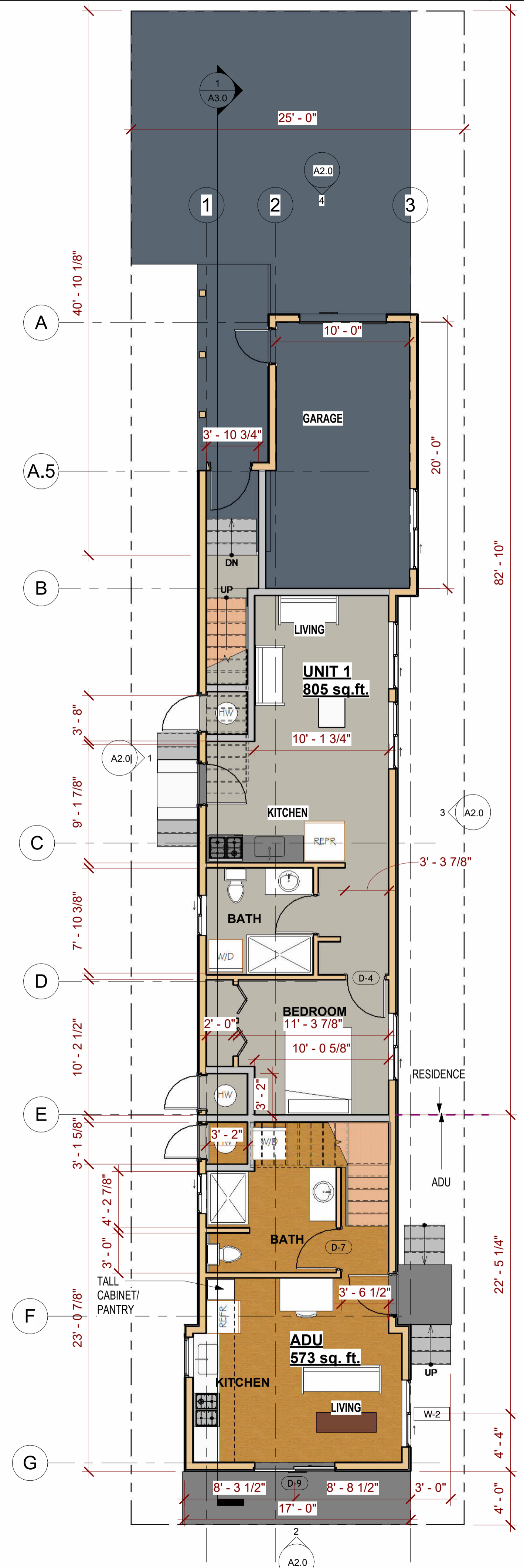


1 PROPOSED SITE PLAN  
1/8" = 1'-0"





2 SECOND FLOOR  
3/16" = 1'-0"



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

**FLOOR PLAN LEGEND**

- NEW WALL
- 1 HOUR RATED WALL
- PROPERTY LINE
- DOOR TAG
- WINDOW TAG



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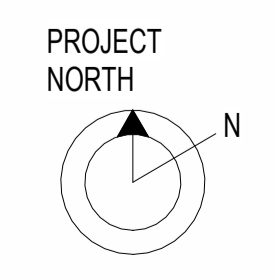


SHEET TITLE:

PROPOSED FLOOR PLAN

SHEET NO:  
A1.1

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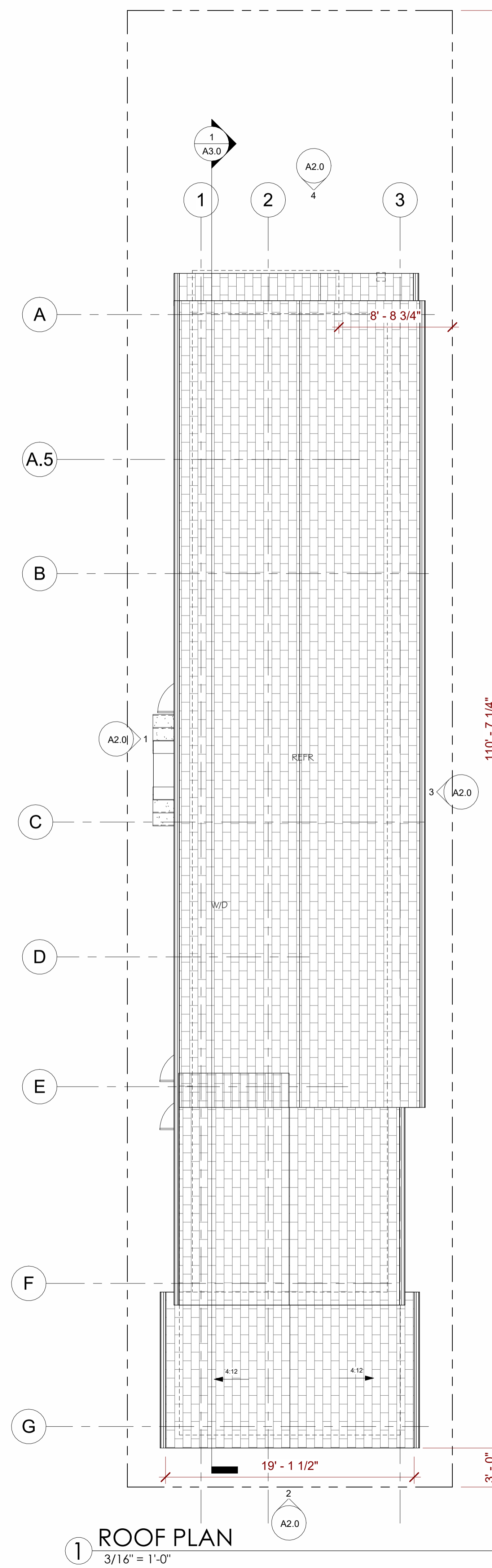




③ 3D VIEW #2



② 3D View 1



① ROOF PLAN  
3/16" = 1'-0"

**FLOOR PLAN LEGEND**

- NEW WALL
- 1 HOUR RATED WALL
- PROPERTY LINE
- 101 DOOR TAG
- L1-001 WINDOW TAG



BACILIA MACIAS  
ARCHITECTURE

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4TH STAND SILVER AVE  
RICHMOND CA 94801  
APN#409171024

DRAWN BY: BM  
DATE: SEPT. 06, 2024



SHEET TITLE:

PROPOSED ROOF PLAN

SHEET NO:  
A1.2

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REVISIONS	DATE

OWNER:  
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PLANNING SET

**NEW RESIDENCE WITH ATTACHED ADU**  
4TH STAND SILVER AVE  
RICHMOND CA 94801  
APN#409171024

DRAWN BY: BM  
DATE: SEPT. 06, 2024

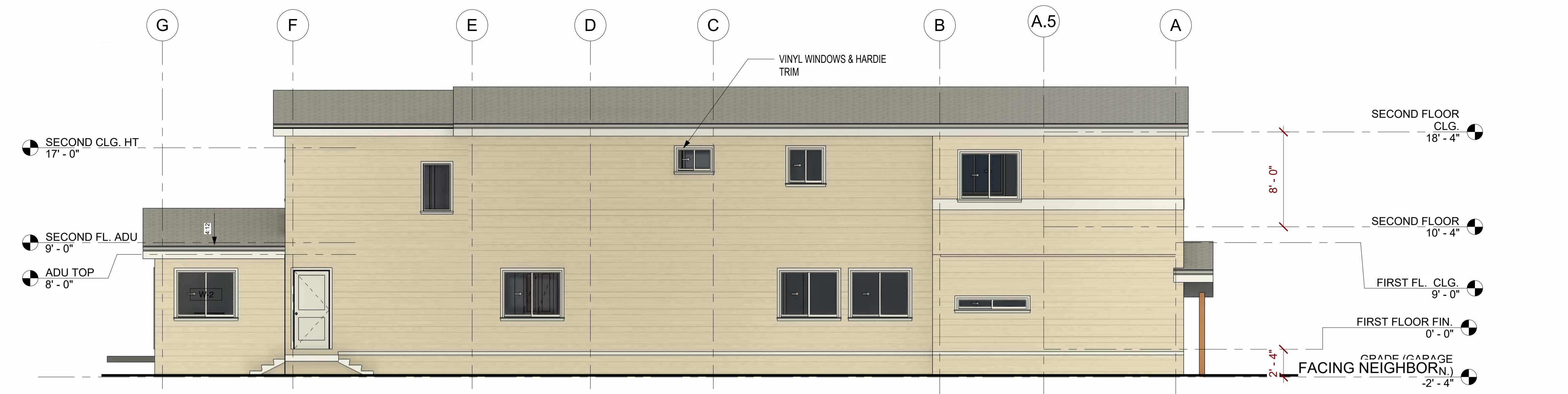


SHEET TITLE:

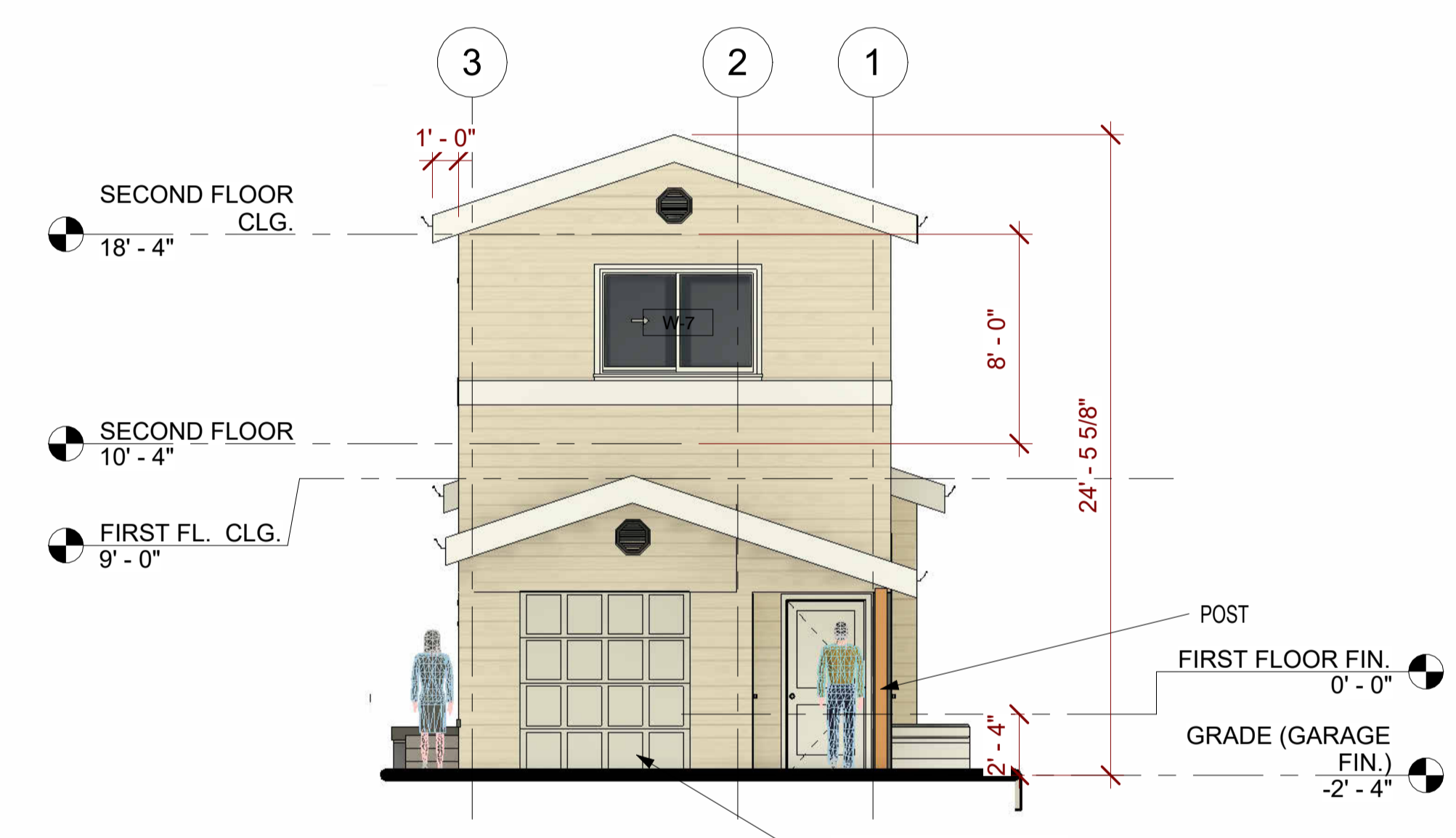
PROPOSED  
EXTERIOR  
ELEVATIONS

SHEET NO:  
A2.0

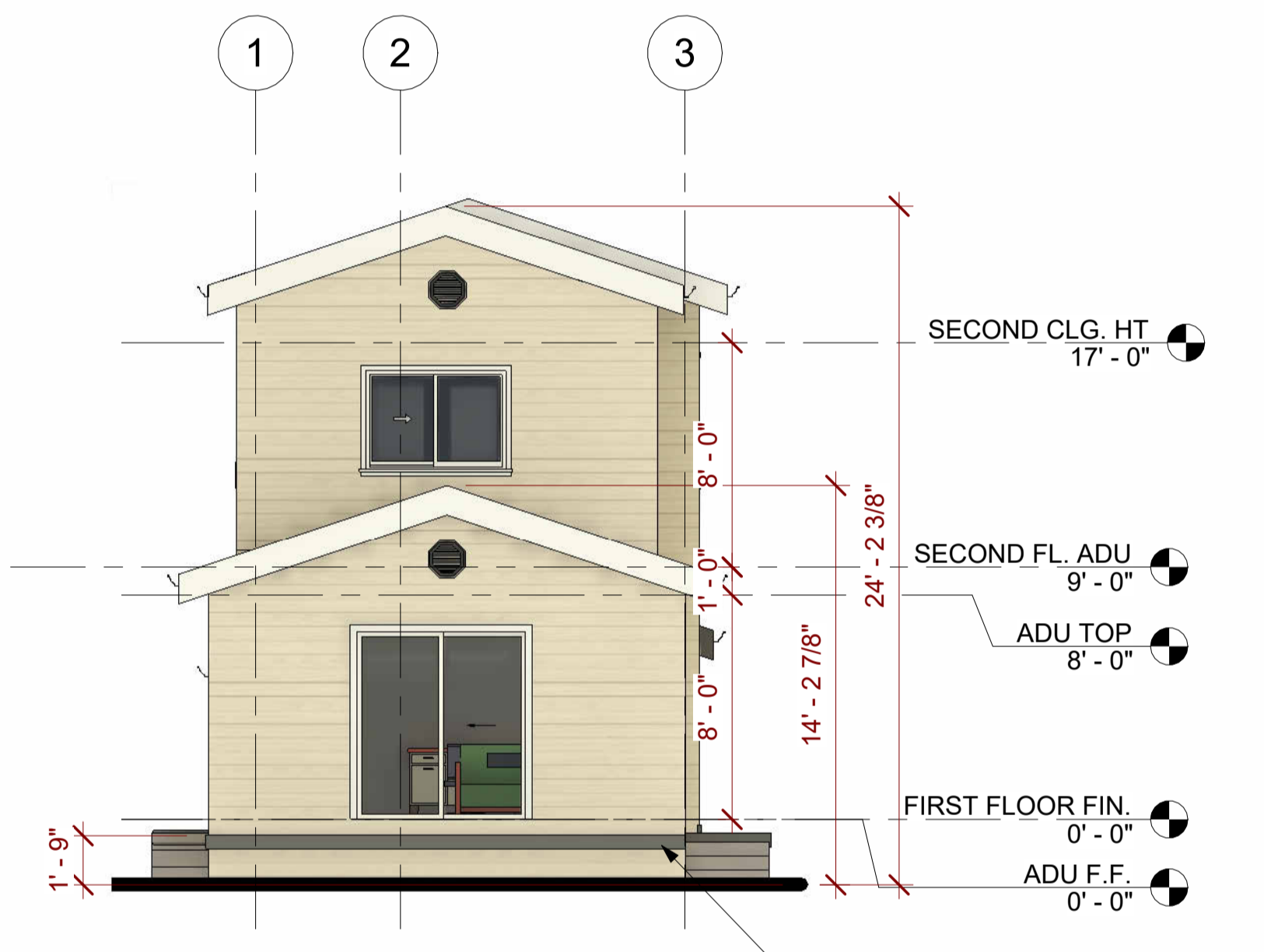
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**3 EAST ELEVATION**  
3/16" = 1'-0"



**4 NORTH ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**1 WEST ELEVATION FACING VACANT LOT**  
3/16" = 1'-0"





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REVISIONS      DATE  
OWNER:  
FERNANDO TAVIRA  
JOSEFINA BUCIO  
P.O. BOX 14662  
OAKLAND, CA 94614  
FJWELDINGINC@GMAIL.COM

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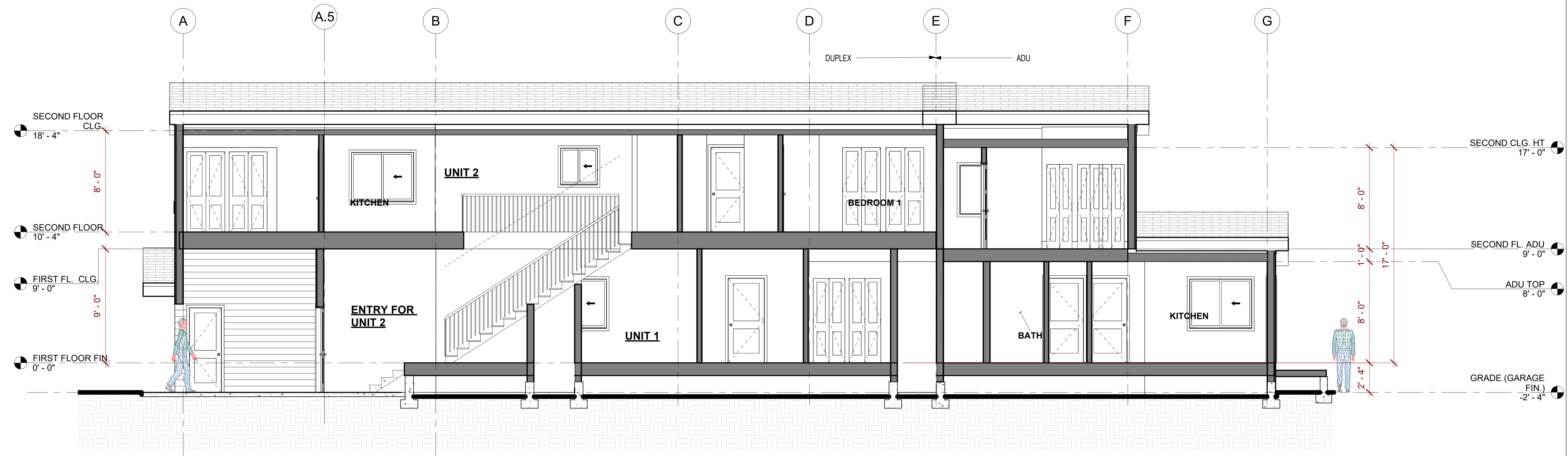


SHEET TITLE:

PROPOSED SECTION

SHEET NO:  
A3.0

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1 SECTION #1  
1/4" = 1'-0"