

April 24, 2025

1850 ALAMEDA DIABLO
Historic Resource Evaluation - DRAFT

The following report summarizes and develops the subject property's historical resource status for the purposes of applying for the Mills Act's historic preservation tax incentive.

1850 Alameda Diablo is a single-family property (assessor's parcel #195-200-01) and residence located within the unincorporated community of Diablo on the western side of Mt. Diablo in western Contra Costa County (figs.1-2). First mapped as lot #139 in the Mt. Diablo Estate tract (fig.3), 1850 Alameda Diablo is an identified contributor to the California Register and Contra Costa County register *Diablo Historic District* (fig.4).

Research efforts underlying this evaluation report have included the collection and review of deed and permit records from Contra Costa County; historic telephone directories (at the Library of Congress, loc.org), newspapers (at the CA Digital Newspaper Collection, CDNC.org and at the San Francisco Library, sfpl.org), and censuses (@heritagequest.com), along with site visits to record the property, its context and conditions. The current effort is also based upon previous research and documentation, by the present author, of another Diablo property (1897 Calle Arroyo), also for the purposes of the Mills Act.

Summary Descriptions

Site and Exteriors (figs.5-24, ske5ch plan fig.31)

The subject lot is a generally rectangular, .42 acre parcel, its 103 foot northern frontage on Alameda Diablo, its parallel side lot lines some 216 feet (west) and 200 feet (east), its rear lot line bent inward to reflect a curve of Diablo Rd. to the south. The property has a generous front yard accommodating a wraparound driveway with interspersed landscape beds. The 1 to 2 story house lies in the middle of the parcel, its entry via a raised brick-paved terrace that is canted (i.e., crooked), as is the front façade.

Along with multiple canted-gabled roofs, the canted form is a primary design characteristic of this house. In plan, the original house was a square with the living room wing canting from its northeast corner. A detached carport/garage, rebuilt in 1988, stands at the east side of and orthogonal to the body of the house. Additions were also completed in the 1980s and that wraparound its rearward half, including wraparound porch roofs at the west side and rear of the original house, as well as a 2-story family and bedroom add at the rearward east side, their roofs complexly integrating with the original roof forms.

A primary characteristic of the site is the creek channel that crosses from west to east at the rear of the original house, which is largely covered by a wood deck while also flowing beneath the family room addition to the east, yet with an open portal and wooden footbridge at the west side yard. To the south of the decked-over creek is a built-in oblong swimming pool, added in 1974, with a fieldstone paved apron, the south side apron raised with a stone clad face above the pool and which apron transitions into stone steps at the pool's east end. Across the whole of the property's rear is a stone retaining wall at the base of a steep wooded bank, as Diablo Rd. lies a couple of stories above the level of the house. A range of trees stand in that steep bank at the top of which a concrete

masonry wall forms the southern property boundary. A small, manufactured garden/pool shed stands just behind the southeast corner of the house.

As inferred above, the exterior form is multi-faceted yet uniformly treated. Exterior walls of the house and garage are painted wood shingles with wood trims. Doors and windows are wood, also painted, with multiple lites plus a few picture windows in the living room, where the eastern window is in the form of a shallow projecting bay capped with a sloped roof. The one exceptional door is the unpainted oak panel with beveled glass lite at the front. Plain windows in one of the west gables and at the south side of the main house are anomalies.

A central front feature is the field stone chimney that stands at and rises above the canted front façade. Wood trimmed roof eaves overhang walls, with metal gutters at level eaves. Deeper roof overhangs with turned wood posts cover outdoor space at the west side and returning to the south. There is another covered porch at the west side of the rearward family room wing, which wing has a shingle clad chimney standing at its south wall. All roofs are wood shake. Entered via a narrow passage between the east side of the living room and garage, an small open court lies in the middle of the house, where there is are secondary entries into the surrounding spaces, including a gabled entry portal wedged between the main house and family room wing. A range of ornamental light fixtures are mounted to exterior walls.

Interiors (figs.25-30, sketch plans figs.32-33)

The house Interiors consist of living spaces – living, dining, kitchen, office, laundry – and a bedroom suite at the first floor of the main house. In the middle of which a stair ascends to a second floor bedroom suite that occupies the spaces of the gabled dormers. A central stairs also descends to a small basement below the kitchen at the rear. From the east side of the kitchen and from a second entrance way from the exterior court, the rear wing includes the family room with a covered porch, a large bedroom suite, a half-bath with access from the rear exterior, and pantry. As depicted, the interiors reinforce the architectural quality and character of the house. However, as this is a private residence, no interior spaces or features are identified herein as having historic importance.

Summary History and Summary of Historic Significance

As noted, 1850 Alameda Diablo is an identified contributor to the California Register and Contra Costa County register listed *Diablo Historic District*. The extant historic district records provide some information about the home's origins as one of a pair of directly neighboring houses built for sisters Ruth Morse John (#1850) and Susan Louise Morse Melvin (#1842), the two homes together known as "The Twins." ¹

The following are excerpts from the previous historical records for 1850 Alameda Diablo (attached).

From CA Department of Parks and Recreation (DPR) from 523 A&B for 1850 Alameda Diablo, dated 2/1/2001:

"Built in 1917, this English Cottage-style house has decorative latticed windows and a pitched shingled roof of intersecting gables. Its exterior is cedar shingles painted a soft moss green.

¹ The historical inventory form identifies the originator of the two houses as William Letts Oliver and for his daughters, which information is not correct, though it is very possible Letts may have done so on the Diablo lots his family then owned.

There is a rock chimney. A brick walk and arbor, partially restored, connect this house to its mirror image home next door. The two homes built as summer cottages and are still called The Twins. The home, in nearly original excellent condition, has a garage and guest quarters addition. In 1970 the house underwent renovation and additions, nearly doubling the size of the home. Roof lines were matched, shingles were hand cut, interior matches were also made. The front door, and many of the windows and street facing features are original. The interior oak floors have a rich patina. Wood shingled exterior with multi-gabled wood shake roofs, multi-lite wood windows and a prominent front chimney of field stone.

A portion of the brick terrace still exists in the front yard. Both "twins" have been renovated and added to, but from the street, they have changed little. They are charming, livable, unique homes. This house is an excellent example of an English Cottage style house, it has strong associations with its neighbor and the site and it is a contributor to the Diablo Historic District."

From *Diablo's Treasures: The Historic Homes & Heritage Oaks of Diablo*, 2021 (p.15):

"Twin Creeks"

1850 Alameda Diablo

Original Owners: Jenkin and Ruth Morse Bevan John

Architectural Style: English Cottage

Built: 1917

"Twin Creeks is one of two neighboring creek-side homes that locals call "The Twins" or the "Sister Houses." As their monikers suggest, the homes look alike: both are in the English Cottage style with brown shingle exterior cladding punctuated with the same pleasing arrangement of paned windows. Prior to additions to both homes, their geometric massing formed a symmetrical unit with each home the mirror image of the other. From the street, the mirror image sections can still be discerned. The names also hint at the relationship of the Oakland residents who built the homes: Mrs. Jenkin Bevan John, formerly Miss Ruth C. Morse, and her husband built Twin Creeks in 1917. Her sister, Susan Louise Morse Melvin and her husband, California Supreme Court Associate Justice Henry A. Melvin, built the other Sister House.

Completing their mirror images in landscaping, each of the Sister Houses had a red brick terrace. Befitting the sisters' close relationship, each terrace was connected by a pergola to a shared teahouse midway between the homes. A small portion of Twin Creeks' brick terrace remains, hinting at the home's fascinating past.

A substantial 1970 addition to Twin Creeks was a study in sensitive renovation.

Importantly, the picturesque streetscape was kept very close to the original by continuing existing roof lines and pitches. New cedar shingles were hand-cut and painted to match the old. The front door, unique paned windows, rock chimney, and interior oak floors were preserved as testaments to the craftsmanship of former times. Since 1996, Ted and Barbara Barstad have lovingly preserved Twin Creeks' unique architecture, a jewel for all to behold."

As were most of the originally developed homes in Diablo, 1850 Alameda Diablo was built as a country home for its city residents, Jenkin B. and Ruth M. John, who resided in Oakland then San Francisco in the brief period of their ownership, 1917-1920. From 1920-1927, the property's

subsequent owner, Helen S. Dinwiddie, likewise resided elsewhere, in her case Berkeley. It was the third owner, Harriett S. Campbell, who made this her residence and which single-family use has continued under its successive owners.

From the time of its mapping in 1916 until the mid-1960s, the street name was Camino Tassajara, thereafter Alameda Diablo.

No original or early plans or photos of this residence have been located. While the original owners are known – Jenkin B. John, a real estate broker, and Ruth M. John, who acquired the parcel directly from the Mount Diablo Villa Homes Association in June 2017 – no original designer is identifiable. The earliest building permit record dates to 1967, at which time it is assumed that the property was still largely original. Since, as permit records indicate, there have been a range of alterations and additions – all, as the historic record states in the following, in accord with the character of the original residence. Such permit records include:

<i>date</i>	<i>work</i>	<i>owner</i>
1967	Repair carport (storm damage)	Tompkin (?)
1974	Add pool, garage repair, add deck and bath, int. remodel	Baender
1986	Addition, int. remodel	Holt
1988	Carport rebuild, foundation repair/replace	Holt
2002	Reroof	?
2007	Bedroom and bath add	?

Based on the record and a current site visit and inventory, historic character-defining features of the site and building are:

@ Site

- Generous and generously landscaped front yard with wraparound drive and walks of exposed aggregate concrete and raised, brick and stone paved entry terrace
- Creek channel bisecting the site, with associated wood bridge, railings and decking
- Designed relationship to adjoining residence

@ Residence

- Primary exterior forms including canted building front and multiple canted-gabled roof forms
- Rustic wood shake roofing
- Rustic fieldstone clad front chimney
- Wood wall shingles and wood trimwork, painted
- Multi-lite wood windows, painted
- Ornamental wood front entry door with beveled glass lite
- Attic vents in gables, painted
- Ornamental exterior lighting
- Contributing additions:
 - Garage
 - Family room
 - Shed roofs with turned posts at west side

As noted above, no interior spaces or features of this private residence are character-defining.

10 Year Mills Act Recommendations

The subject residence and property are well cared for and in good condition. Current and near-term rehabilitation of historic features includes:

Proposed scope	Estimated cost
1. Reroofing, roof drainage and flashing repairs	\$110,000
2. Repair and selective replacement of wood shingles, overall repainting	\$15,000
3. Door and window maintenance and repair	\$5,000
4. Cleaning, repair and repointing of brick and stone front porch	\$4,000
5. Cleaning and maintenance of aggregate concrete paving	\$4,000
6. Repair/replacement of wood deck, railing and bridge at creek	\$30,000
7. Tree maintenance (to reduce falling hazards)	\$12,000
Total est. rehab and maintenance cost: \$184,000	

Proposed Mills Act Rehabilitation Summary

The outline of proposed rehabilitation work associated with the Mills Act application includes:

Exterior Feature/Materials Rehab Work at House

- Wood windows and doors - painted Repair and maintain
- Wood siding and trim - painted Repair, selectively replace and repaint
- Roofs, roof drainage and flashing Replace roofing, flashing and roof drainage assemblies equal to existing
- Wood doors and windows Repairs, selective replacement and maintenance

at Site

- Brick and stone front porch Clean, repair and repoint
- Aggregate concrete paving Repair and maintain
- Wood deck and bridge at creek Repair and rebuild deck and bridge
- Trees Trim (to reduce falling hazards at buildings)

Rehabilitation Project Evaluation

The following evaluates the proposed rehabilitation work relative to the U.S. Secretary of the Interior's *Standards for the Treatment of Historic Properties (Standards)* and, specifically, the Standards for Rehabilitation, which is defined as follows:

"When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment."

The following lists the ten *Standards for Rehabilitation* and analyzes the proposed project with respect to each.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The subject property was historically a single-family residence. The proposed work intends to retain and rehabilitate the single-family residential use. As such, *Standard 1* is met.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed work retains all identified characteristic forms and individual features of the house and its property, so *Standard 2* is met.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed work fully respects the overall form and individual characteristics of the historic house and its associated site. The proposed work does not add or copy any features or elements from this or other historic properties. Thus, the project meets *Standard 3*.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The identified character of the subject house dates to the period of its origins and early history. Its deck and bridge at the creek are either original or early structures that, as they are directly associated with the original and early property, have gained significance in their own right and which, like the house, are proposed to be rehabilitated, so *Standard 4* is met.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

All identified character defining forms, features, finishes, examples of construction techniques and craftsmanship embodied in the house and its site are proposed to be retained and rehabilitated or selectively replaced in kind. Consequently, the proposed work meets *Standard 5*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The rehabilitation program proposes to repair and maintain deteriorated exterior features and materials of the house and site along with selective replacement of irreparable features and materials, as required, to match existing, so the work meets *Standard 6*.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

At this planning stage, all potential treatments of identified historic materials are anticipated to be careful and protective in order to avoid damage. As such, the project also meets with *Standard 7*.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The proposed rehabilitation program has no potential to disturb archeological resources.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

As summarized, the subject house and associated site are proposed to be retained and rehabilitated without alteration of its identified characteristic forms or features. No new work, new additions or new construction is proposed. Thus, the proposed rehabilitation work meets *Standard 9*.

10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Again, no new additions or new construction is proposed, so the proposed rehabilitation work also meets *Standard 10*.

In conclusion, since the proposed work program meets each applicable Standard, then the proposed project readily meets the Secretary of the Interior's Standards for Rehabilitation.

Signed:

A handwritten signature in dark ink, appearing to read "Mark Hulbert", with a stylized flourish at the end.

Mark Hulbert
Preservation Architect

attached: figs.1-30 (pp.8-22); Sketch plans (pp.23-25); DPR forms, 04/24.2025; pages from Diablo Historic District & Diablo Treasures; MH qualifications



Fig.1 – 1850 Alameda Diablo (highlighted) – Location aerial (Google Earth 2024)



Fig.2 – 1850 Alameda Diablo (highlighted) – from Assessor's parcel map

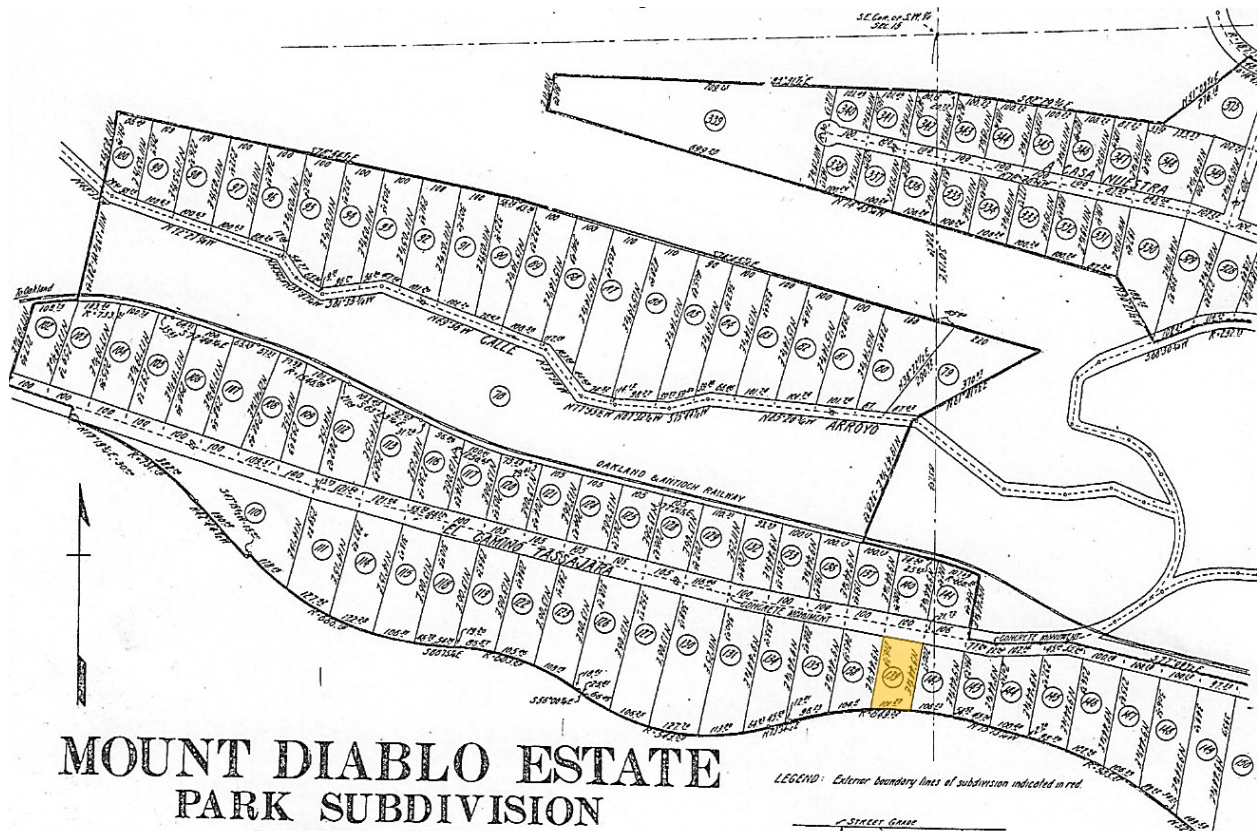


Fig.3 – 1850 Alameda Diablo (highlighted) – 1916 Tract map

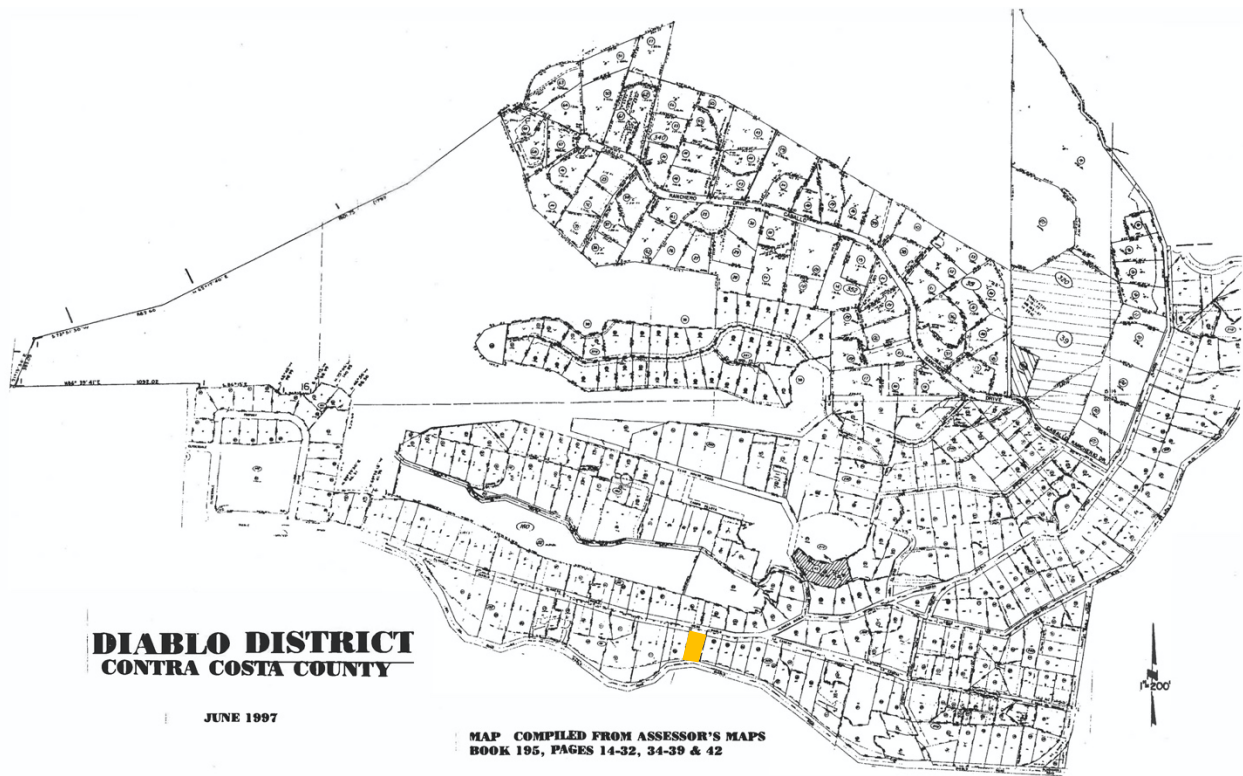


Fig.4 – 1850 Alameda Diablo (highlighted) – Diablo Historic District map, 2002



Fig.5 – 1850 Alameda Diablo – Site aerial depicting original house and carport (bright orange) with rearward additions (north is up)



Fig.6 – 1850 Alameda Diablo – Front (north) of house from west driveway at street (figs.6-24, MH 2025)



Fig.7 – 1850 Alameda Diablo – Front of garage (north) from east driveway at street



Fig.8 – 1850 Alameda Diablo – Canted front (north) façade and front garden, looking south



Fig.9 – 1850 Alameda Diablo – Canted front (north) façade and walks, looking southwest



Figs.10-11 – 1850 Alameda Diablo – Canted front façade and entry (left); Front entry terrace (right)



Fig.12 – 1850 Alameda Diablo – Garage front and east side of living room wing



Fig.13 – 1850 Alameda Diablo – West side from creek bridge



Fig.14 – 1850 Alameda Diablo – Rear of house (left and center) and family room wing (right)



Fig.15 – 1850 Alameda Diablo – Overall rear of house from upper rear yard, looking northeast



Fig.16 – 1850 Alameda Diablo – Overall rear of house from upper rear yard, looking northwest



Fig.17 – 1850 Alameda Diablo – Rear of house with creek deck, creek portal and bridge (at upper left) and pool



Figs.18-19 – 1850 Alameda Diablo – Rear yard looking east (left) and southeast (right)



Figs.20-21 – 1850 Alameda Diablo – Creek portal and bridge



Fig.22 – 1850 Alameda Diablo – South side, living room wing from interior court



Figs.23-24 – 1850 Alameda Diablo – Interior court looking south (right) and east (left)



Fig.25 – 1850 Alameda Diablo – Living Room, looking north towards front (figs.25-XX, Redfin)



Fig.26 – 1850 Alameda Diablo – Living Room, looking east and south



Fig.27 – 1850 Alameda Diablo – Dining Room, looking east



Fig.28 – 1850 Alameda Diablo – Kitchen, looking south



Fig.29 – 1850 Alameda Diablo – Family Room, looking southwest



Fig.30 – 1850 Alameda Diablo – Office, looking west

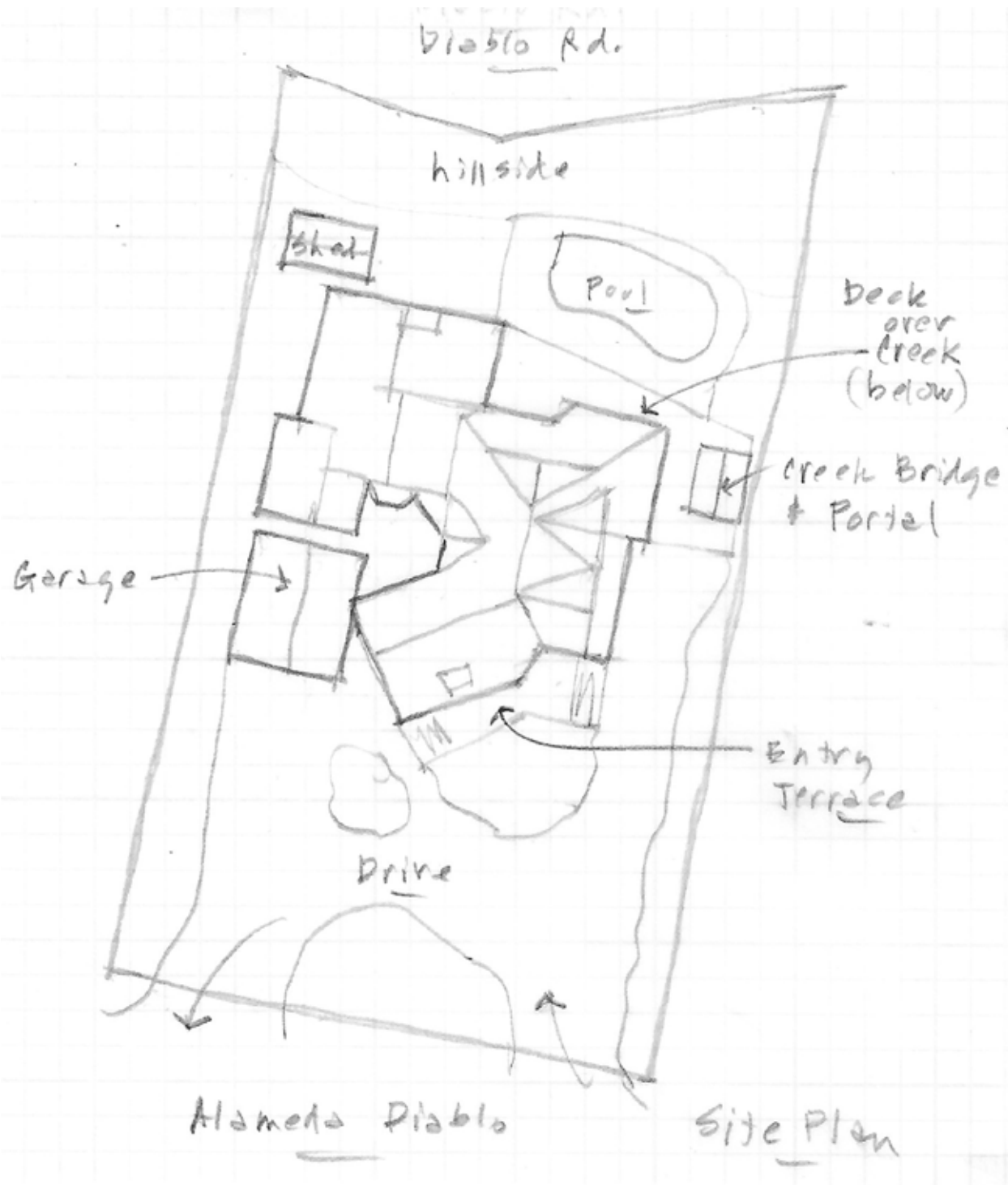


Fig.31 – 1850 Alameda Diablo – Site plan (note: south is up)

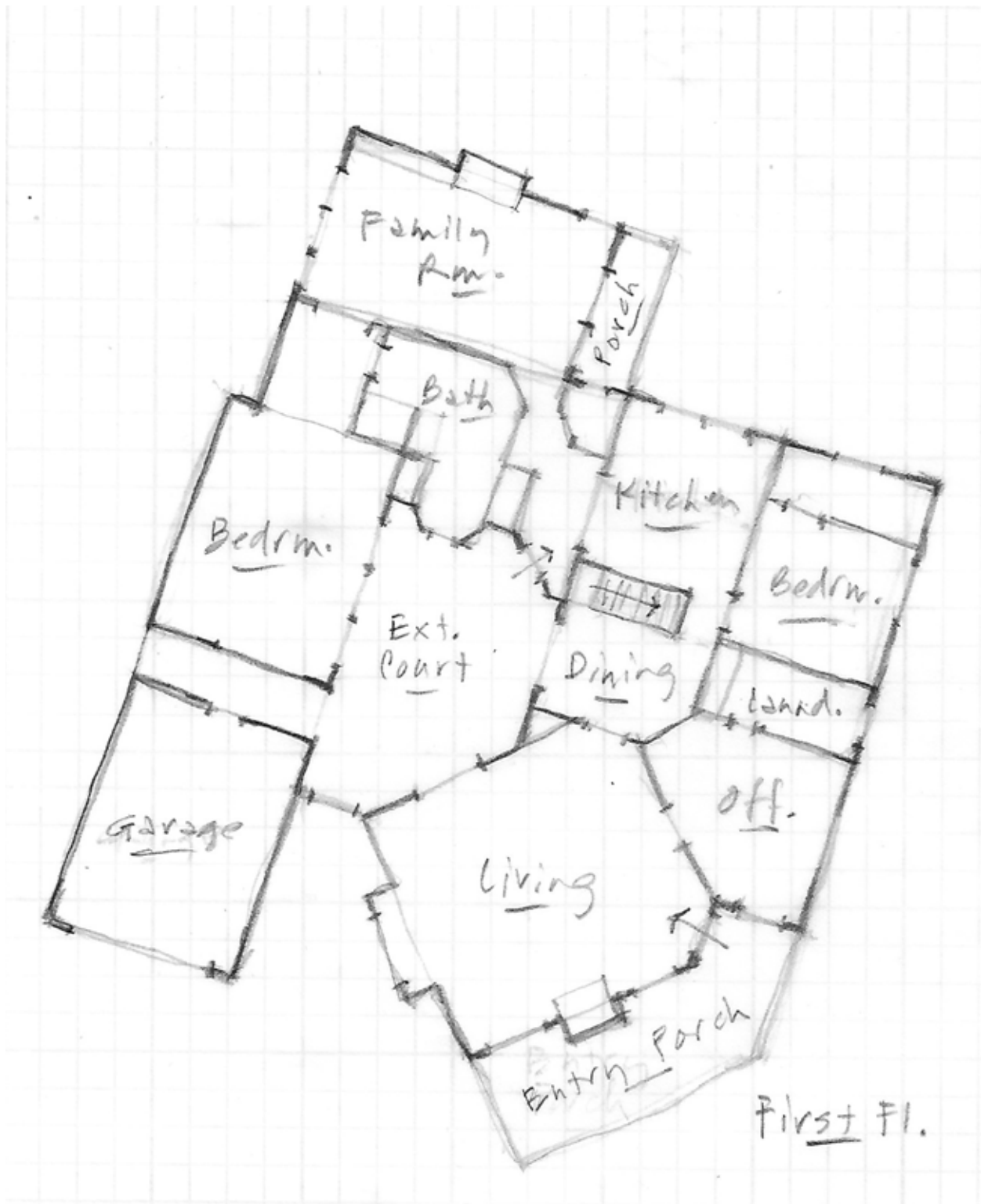


Fig.32 – 1850 Alameda Diablo – First floor plan (south is up)

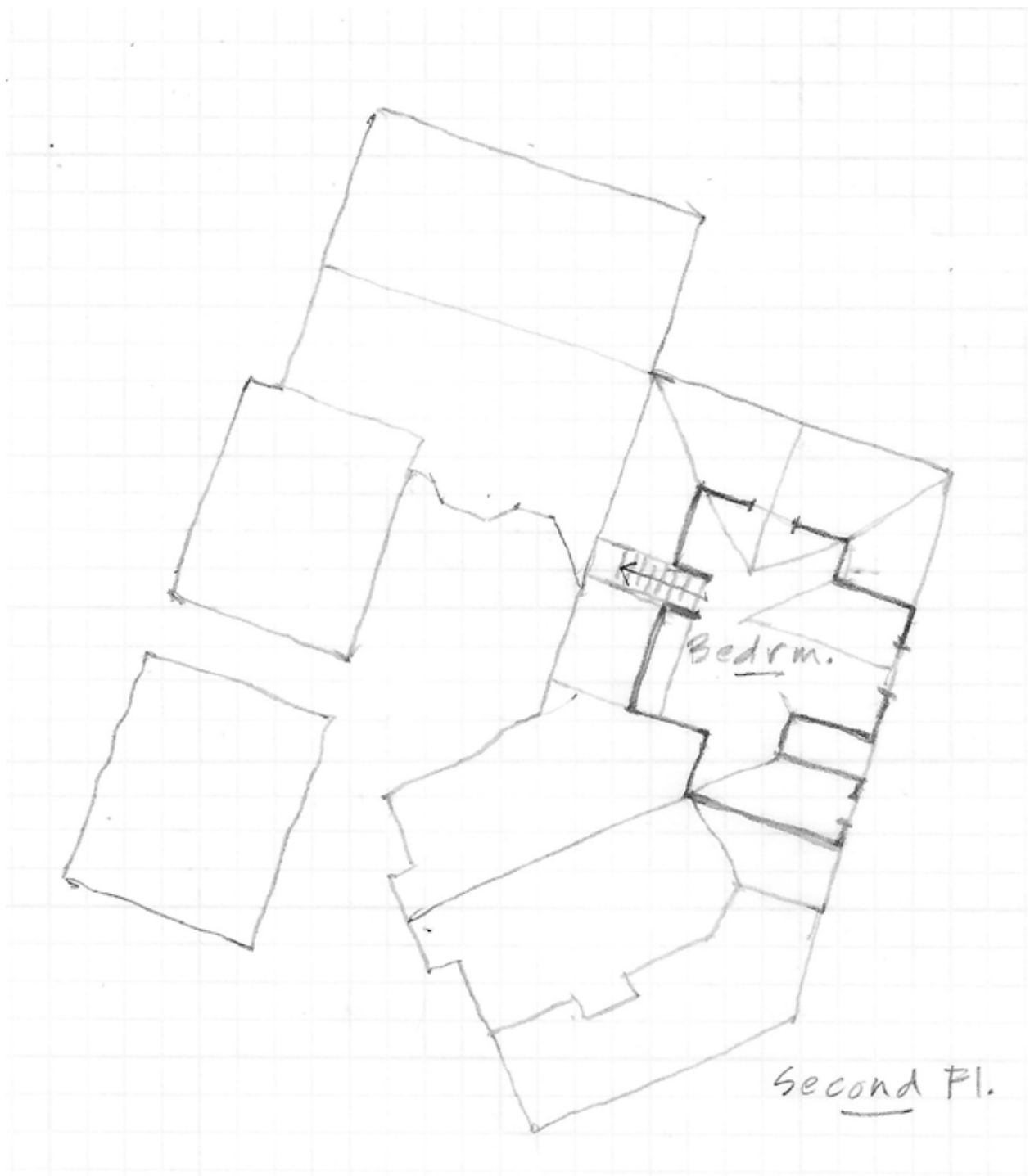


Fig.33 – 1850 Alameda Diablo – Second floor plan (south is up)

PRIMARY RECORD

Primary #

HRI #

Trinomial

NRHP Status Code

Other Listings
Review Code

Reviewer

Date

Page 1 of 5 *Resource Name or #: 1850 Alameda Diablo, Diablo, CA

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Contra Costa and

*b. USGS 7.5' Quad Diablo, CA Date 2021 Township & Range --

c. Address 1850 Alameda Diablo City Diablo Zip 94528

d. UTM: Zone ___, _____ mE/ _____ mN

e. Other Locational Data: Assessor's Parcel Number 195-200-01.

*P3a. Description:

1850 Alameda Diablo is a single-family property and residence located within the unincorporated community of Diablo on the western side of Mt. Diablo in western Contra Costa County. The subject lot is a generally rectangular, .42 acre parcel, its 103 foot northern frontage on Alameda Diablo, its parallel side lot lines some 216 feet (west) and 200 feet (east), its rear lot line bent inward to reflect a curve of Diablo Rd. to the south. The property has a generous front yard accommodating a wraparound driveway with interspersed landscape beds. The 1 to 2 story house lies in the middle of the parcel, its entry via a raised brick-paved terrace that is canted (i.e., crooked), as is the front façade. (cont. on p3)

P5a. Photograph



Fig.1 – 1850 Alameda Diablo – Front (north)

*P3b. Resource Attributes:

HP-2 – Single-family property

*P4. Resources Present: ☒ Building ☐
☐ Structure ☐ Object ☐ Site ☐ District ☐
☐ Element of District ☐ Other

P5b. Description of Photo:

fig.1,3-4) MH 2025;

2) Google Earth, 2024

*P6. Date Constructed/Age and Source:

☒ Historic ☐ Prehistoric ☐ Both
1917 (historic record)

*P7. Owner and Address:

Mark and Chika Lewandowski

1850 Alameda Diablo

Diablo, CA 94528

*P8. Recorded by:

Mark Hulbert

1315 Walnut St.

Berkeley, CA 94709

P9. Date Recorded:

April 24, 2025

*P10. Survey Type: Intensive

*P11. Report Citation: CA Department of Parks and Recreation (DPR) from 523 A&B for 1850 Alameda Diablo, 2/1/2001; Diablo's Treasures: The Historic Homes & Heritage Oaks of Diablo, 2021

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # 1850 Alameda Diablo, Diablo, CA *NRHP Status Code _____
Page 2 of 5

B1. Historic Name: The Twins; Twin Creeks
B2. Common Name: 1850 Alameda Diablo, Diablo, CA
B3. Original Use: Single-family residence B4. Present Use: same
*B5. Architectural Style: English Cottage

***B6. Construction History:**

As were most of the originally developed homes in Diablo, 1850 Alameda Diablo was built as a country home for its city residents, Jenkin B. and Ruth M. John, who resided in Oakland then San Francisco in the brief period of their ownership, 1917-1920. From 1920-1927, the property's subsequent owner, Helen S. Dinwiddie, likewise resided elsewhere, in her case Berkeley. (cont. on p4)

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: Adjacent residence at 1842 Alameda Diablo

B9a. Architects: unknown b. Builders: unknown

*B10. Significance: Theme Community Plan Dev, Recreation & Architecture Area Contra Costa County.
Period of Significance 1917-1929 Property Type Residential Applicable Criteria 1 and 3

1850 Alameda Diablo is an identified contributor to the California Register and Contra Costa County register listed *Diablo Historic District*. As identified in that 2002 *Diablo Historic District* record, 1850 Alameda Diablo is significant under CR criterion 1 for its association with the planned recreational development of the community of Diablo and under criterion 3 as the residence is a distinctive example of an English Cottage style house with strong historical associations to its direct western neighbor. (cont. on p5)

B11. Additional Resource Attributes: none

***B12. References:**

Contra Costa County directories (loc.org; sfpl.org); Contra Costa County permit and Assessor's records; U.S. Census records (heritagequest.com); historic newspapers (cdnc.org).

B13. Remarks:

*B14. Evaluator: Mark Hulbert Preservation Architect

*Date of Evaluation: April 24, 2025

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



Fig.2 – 1850 Alameda Diablo (highlighted)



CONTINUATION SHEET

Property Name: 1850 Alameda Diablo, Diablo, CA

Page 3 of 5

Description (cont. from p1)



Fig.3 – Canted front (north) façade and walks, looking southwest



Fig.4 – Overall rear of house from upper rear yard, looking northeast

CONTINUATION SHEET

Property Name: 1850 Alameda Diablo, Diablo, CA

Page 4 of 5

Description (cont. from p3)

Along with multiple canted-gabled roofs, the canted form is a primary design characteristic of this house. In plan, the original house was a square with the living room wing canting from its northeast corner. A detached carport/garage, rebuilt in 1988, stands at the east side of and orthogonal to the body of the house. Additions were also completed in the 1980s and that wraparound its rearward half, including wraparound porch roofs at the west side and rear of the original house, as well as a 2-story family and bedroom add at the rearward east side, their roofs complexly integrating with the original roof forms.

A primary characteristic of the site is the creek channel that crosses from west to east at the rear of the original house, which is largely covered by a wood deck while also flowing beneath the family room addition to the east, yet with an open portal and wooden footbridge at the west side yard. To the south of the decked-over creek is a built-in oblong swimming pool, added in 1974, with a fieldstone paved apron, the south side apron raised with a stone clad face above the pool and which apron transitions into stone steps at the pool's east end. Across the whole of the property's rear is a stone retaining wall at the base of a steep wooded bank, as Diablo Rd. lies a couple of stories above the level of the house. A range of trees stand in that steep bank at the top of which a concrete masonry wall forms the southern property boundary. A small, manufactured garden/pool shed stands just behind the southeast corner of the house.

As inferred above, the exterior form is multi-faceted yet uniformly treated. Exterior walls of the house and garage are painted wood shingles with wood trims. Doors and windows are wood, also painted, with multiple lites plus a few picture windows in the living room, where the eastern window is in the form of a shallow projecting bay capped with a sloped roof. The one exceptional door is the unpainted oak panel with beveled glass lite at the front. Plain windows in one of the west gables and at the south side of the main house are anomalies.

A central front feature is the field stone chimney that stands at and rises above the canted front façade. Wood trimmed roof eaves overhang walls, with metal gutters at level eaves. Deeper roof overhangs with turned wood posts cover outdoor space at the west side and returning to the south. There is another covered porch at the west side of the rearward family room wing, which wing has a shingle clad chimney standing at its south wall. All roofs are wood shake. Entered via a narrow passage between the east side of the living room and garage, an small open court lies in the middle of the house, where there is are secondary entries into the surrounding spaces, including a gabled entry portal wedged between the main house and family room wing. A range of ornamental light fixtures are mounted to exterior walls.

Construction History (cont. from p2)

It was the third owner, Harriett S. Campbell, who made this her residence and which single-family use has continued under its successive owners. From the time of its mapping in 1916 until the mid-1960s, the street name was Camino Tassajara, thereafter Alameda Diablo.

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Page 5 of 5

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Significance (cont. from p2)

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PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 2

Resource Name or #: (Assigned by recorder) 1850 Alameda Diablo

P1. Other Identifier: _____

P2. Location: ☐ Not for Publication ☒ Unrestricted a. County Contra Costa

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 1850 Alameda Diablo City Diablo, California Zip 94528

d. UTM: (Give more than one for large and/linear resources) _____ ; _____ mE/ _____ mN

e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)

Right side, Alameda Diablo from Diablo's entrance. One of two mirror homes built side-by-side

Parcel No. 195-200-0014

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Built in 1917, this English Cottage-style house has decorative latticed windows and a pitched shingled roof of intersecting gables. Its exterior is cedar shingles are painted a soft moss green. There is a rock chimney. A brick walk and arbor, partially restored, connect this house to its mirror image home next door. The two homes built as summer cottages and are still called The Twins. The home, in nearly original excellent condition, has a garage and guest quarters addition. In 1970 the house underwent renovation and additions, nearly doubling the size of the home. Roof lines were matched, shingles were hand cut, interior matches were also made. The front door, and many of the windows and street facing features are original. The interior oak floors have a rich patina.

P3b. Resource Attributes: (List attributes and codes) HP2 - Single Family Property

P4. Resources Present ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

P5b. Description of Photo: (View, date, accession #)
Photo looking south



P6. Date Constructed/Age and Sources:

☐ Prehistoric ☒ Historic ☐ Both

built in 1917
Deed, County Records

P7. Owner and Address

Ted and Barbara Barstad
1850 Alameda Diablo
Diablo CA 94528

P8. Recorded by: (Name, affiliation, and address)

Roberta Seabury
Diablo Historic Preservation Committee
1904 La Cadena PO Box 535
Diablo CA 94528

P9. Date Recorded: 2/1/2001

P10. Survey Type: (Describe)

Neighborhood Survey

P11. Report Citation: (Cite survey report and other sources, or enter "none")

Attachments

☐ NONE

☐ Continuation Sheet

☐ District Record

☐ Rock Art Record

☐ Other: (List)

☐ Location Map

☒ Building, Structure, and Object Record

☐ Linear Feature Record

☐ Artifact Record

☐ Sketch Map

☐ Archaeological Record

☐ Milling Station Record

☐ Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

D.4 12-03-02 41
Primary # _____

HRI # _____

Page 2 of 2

NRHP Status Code _____

Resource Name or #: (Assigned by recorder) 1850 Alameda Diablo

B1. Historic Name: The Twins

B2. Common Name: _____

B3. Original Use: Residential

B4. Present Use: Residential

B5. Architectural Style: English cottage

B6. Construction History: (Construction date, alterations, and date of alterations)

Built 1917 by Letts Oliver, one of two identical homes mirrored, for his two married daughters. Jenkin H. Johns and his wife lived in this home.

B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

B8. Related Features: _____

B9a. Architect: unknown

b. Builder: unknown

B10. Significance: Theme: Comm Plan Dev, Recreation & Architecture Area: Contra Costa County

Period of Significance: 1912-1929 Property Type: Residential

Applicable Criteria: 1 & 3

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

Letts Oliver bought two lots and had identical homes built in mirror image of each other with connecting brick terraces and pergola with a tea house in the center. His two married daughters each received a home. This house, 1850 Alameda Diablo, was given to Jenkin H. Johns and his wife, Oliver's daughter. A portion of the brick terrace still exists in the front yard. Both "twins" have been renovated and added to, but from the street, they have changed little. They are charming, livable, unique homes. This house is an excellent example of an English Cottage style house, it has strong associations with its neighbor and the site and it is a contributor to the Diablo Historic District.

B11. Additional Resource Attributes: (List attributes and codes) HP2 - Single Family Property

B12. References:

See continuation sheet of district form for references.

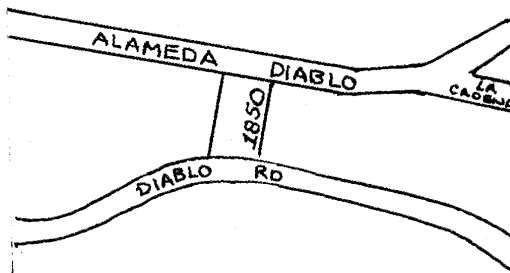
N
↑
(Sketch Map with north arrow required.)

B13. Remarks: _____

B14. Evaluator: Diablo Historic Preservation Committee

Date of Evaluation: 2/1/2001

(This space reserved for official comments.)





"Twin Creeks"
1850 Alameda Diablo
Original Owners: Jenkin and Ruth Morse Bevan John
Architectural Style: English Cottage
Built in 1917

Twin Creeks is one of two neighboring creek-side homes that locals call "The Twins" or the "Sister Houses." As their monikers suggest, the homes look alike: both are in the English Cottage style with brown shingle exterior cladding punctuated with the same pleasing arrangement of paned windows. Prior to additions to both homes, their geometric massing formed a symmetrical unit with each home the mirror image of the other. From the street, the mirror image sections can still be discerned. The names also hint at the relationship of the Oakland residents who built the homes: Mrs. Jenkin Bevan John, formerly Miss Ruth C. Morse, and her husband built Twin Creeks in 1917. Her sister, Susan Louise Morse Melvin and her husband, California Supreme Court Associate Justice Henry A. Melvin, built the other Sister House.

Completing their mirror images in landscaping, each of the Sister Houses had a red brick terrace. Befitting the sisters' close relationship, each terrace was connected by a pergola to a shared teahouse midway between the homes. A small portion of Twin Creeks' brick terrace remains, hinting at the home's fascinating past.

A substantial 1970 addition to Twin Creeks was a study in sensitive renovation. Importantly, the picturesque streetscape was kept very close to the original by continuing existing roof lines and pitches. New cedar shingles were hand-cut and painted to match the old. The front door, unique paned windows, rock chimney, and interior oak floors were preserved as testaments to the craftsmanship of former times. Since 1996, Ted and Barbara Barstad have lovingly preserved Twin Creeks' unique architecture, a jewel for all to behold.

PRESERVATION ARCHITECTURE

Mark Hulbert
Preservation Architect

With forty years of professional preservation experience – including, since 2002, as an independent historical and cultural resources consultant with offices in Oakland – I have been privileged to work on many important historical projects as a consultant, planner, architect and author. The range of my work includes:

- Preservation and rehabilitation consultation to property owners, project sponsors and their project teams;
- The preparation of historic structures reports, landscape reports, and preservation plans;
- Cultural and historical resources evaluation and consultation specific to local, state and national criteria;
- Historic preservation tax credit applications.

My professional qualifications exceed the Secretary of the Interior's Professional Qualifications Standards in the fields of History, Historic Architecture and Architecture; I am listed by the State of California Historical Resources Information System (CHRIS) as a CEQA qualified historical architect and historic preservation consultant; additionally hold a Certificate in Architectural Conservation from UNESCO's International Centre for the Conservation and Restoration of Cultural Property (ICCROM) in Rome, Italy; am serving a second term as a member of Marin County's Frank Lloyd Wright Civic Center Conservancy; and have been a registered California Architect since 1989.

Professional Experience

2002- Mark Hulbert Preservation Architecture, Oakland, CA
1998-2002 Associate/Preservation Architect, C David Robinson Architects, San Francisco
1990-1998 Architectural Conservator/Preservation Architect, Page & Turnbull, San Francisco
1986-1989 Architect, Michael Rex Associates, Sausalito, CA
1984-1985 Architecture & Preservation, Buttrick, White & Burtis, NY, NY
1982-1984 Retail Planning, Architectural & Industrial Design, Milton Glaser, NY, NY
1981-1982 Architecture & Preservation, William A. Hall & Associates, NY, NY

Professional Education

International Centre for the Conservation of Cultural Property, Rome, Italy; ARC, 1996.
North Carolina State University School of Design, Raleigh, NC: B-Env.Des.-Arch., 1980-81.
Boston Architectural Center, Boston, MA; 1979-1980
Mercer College, Trenton, NJ: A. Arch., 1977-1979

Professional Registration/Affiliation

Certificate, Architectural Conservation, ICCROM, 1996
California Architect C 21014, 1989
Member & Chairperson (current), The Frank Lloyd Wright Civic Center Conservancy, Marin County

Selected Preservation & Rehabilitation Project Experience

Pier 70/20th Street Historic Buildings (1886-1945), San Francisco
Brickyard Landing Masonry Structures, Point Richmond
Mare Island Sentry Houses, Mare Island, Vallejo
Tomaes Town Hall, Tomaes
Napa Post Office (William Corlett, 1933), Napa
Sherwin Factory (The Austin Co., 1920-1938), 1450 Sherwin Ave. Emeryville
General Storehouse Building 8 (1939), Naval Station Alameda
Hawk Hill/Battery Construction 129, Marin Headlands, GGNRA

Selected Preservation & Rehabilitation Project Experience-cont.

HJK/Oakland Auditorium (John J. Donovan, 1914), Oakland
La Bahia Hotel/Casa del Rey (William C. Hays, 1926), Santa Cruz
BPR Hotel/Petaluma Silk Mill (C. Havens, 1892; Brainerd Jones, 1922), Petaluma
Borroo Building (1877), Napa
Eschol/Trefethen Winery Building (Hamden McIntyre, 1886), Napa
471 Throckmorton Ave. (Harvey Klyce, c1892), Mill Valley
The Chalet, (Bernard Maybeck, 1904) Sonoma County
The Marshall Houses (C.M. Cook, 1900; Cunningham Bros., 1903), Berkeley
Archer Hotel/1212-1221 First Street (1929), Napa
Phoenix Lake Log Cabin (1893-94), Marin Municipal Water District
Cardiff House (1864), UC Santa Cruz
Mill Valley Lumber Co. (c1892-1926), Mill Valley
Gamble Building (c1850), Big Oak Flat
Buildings 45 and 223, Mare Island
Saint Mary's College (John J. Donovan, 1928; Milton T. Pflueger, 1960), Moraga
Marin County Civic Center Chambers (Frank Lloyd Wright, 1962), Marin County
Filbert Street Cottages (1906-1946), San Francisco
Shattuck Hotel (Benjamin McDougal, 1909-14; Walter Ratcliff, Jr., 1927), Berkeley
The Valhalla (1893), Sausalito
Demmel Boathouse, Inverness
Petaluma & Santa Rosa Railroad Trestle (1922), Petaluma
Highland Hospital (Henry H. Meyers Arch., Howard Gilkey Landscape Arch., 1926), Oakland
Claremont Branch Library (James Plachek, 1924), Berkeley
Richmond Civic Center (Pflueger & Pflueger Arch., H. Leland Vaughan Landscape Arch., 1948), Richmond
San Joaquin Experimental Range (1934), Madera County
Ford Assembly Building (Albert Kahn, 1929), Richmond
Clark Kerr Campus Buildings and Landscape (Alfred Eichler, 1930-1950), UC Berkeley
Building 165/Baylink Ferry, Mare Island Naval Shipyard, Vallejo
Chi Theta Chi House (W. Corlett, 1935-1950), Stanford
Municipal Boathouse (John G. Howard, 1907), Oakland
Los Gatos High School Theatre (William Weeks, c1925), Los Gatos
Marshall General Store/Hog Island Oyster Co., Marshall
Cryer Ranch, Hayward
Kingman Hall (Drysdale & Thomson, 1914), Berkeley
YWCA (Julia Morgan, 1914), Oakland
Studio One Arts Center, Oakland
William Colby House (Julia Morgan, 1905), Berkeley
Keeler Residence (Bernard Maybeck, 1902), Berkeley
SummerHill Historic Homes, (904-932 Bryant St., 264-270 Channing Way), Palo Alto
Edwards Stadium, UC Berkeley
Pier 40, San Francisco
Boudrow Residence (Julius Krafft, 1881), Berkeley
Heritage Theatre/Campbell High School Auditorium (William Weeks, 1925), Campbell
Lucie Stern Community Theater (Birge Clark, c1921), Palo Alto
Hearst Memorial Mining Building (John G. Howard, 1907), University of California, Berkeley
Geary Theater (Bliss & Faville, 1910), San Francisco
Pacific Gas & Electric Company (Bakewell & Brown, 1922; Bliss & Faville, 1925), San Francisco

Selected Historical Resource and Project Evaluations

Sausalito Yacht Club
Mallard Point, Belvedere
CA Capitol Annex, Sacramento
100 E. Grand Ave., South San Francisco
Laflin Residence, Berkeley
1897 Calle Arroyo, Diablo
170 Bridge Rd., Hillsborough
Dwight/Milvia Properties, Berkeley
Alexandria, San Carlos
2526 Hawthorne, Berkeley
Hayward Plunge, Hayward
12/14 Onyx Street, Larkspur
2115 Broadway, Oakland
Ladera Winery, Angwin
Kennedy Park House, Napa
Cambrian Park Plaza, San Jose
Stanford Financial Square, Palo Alto
Trefethen Winery, Napa County
Sausalito City Hall, Sausalito
Point Reyes Lodge, Olema
Saint Mary's College, Moraga
94th & International, Oakland
1212-1222 First Street, Napa
1945 Broadway, Oakland
Demmel Boathouse, Inverness
Mill Valley Lumber Co., Mill Valley
450 Hayes Street, San Francisco
565 Throckmorton Avenue, Mill Valley
The Valhalla, Sausalito
167 Lovell Avenue, Mill Valley
Wheeler Plaza, San Carlos
1538 3rd Street, Napa
1501 Third Street, Napa
94th & International, Oakland
136 Ord Street, San Francisco
University/Shattuck Properties, Berkeley
466 Missouri Street, San Francisco
352 Richland Ave., San Francisco
1531 Oak Park Blvd., Pleasant Hill
12 Laurel Way, Kentfield
St. Matthew School, San Mateo
2 Glenwood Avenue, Ross
Claremont Branch Library, Berkeley
Horseshoe Hill Ranch, Bolinas
Menlo Park Fire Station 2, East Palo Alto
Yolanda-Hurd Ranch, Danville

Lick Mansion, Santa Clara
Laurel Ranch, Clayton
401 Taylor Blvd., Pleasant Hill
350 Bella Vista, Belvedere
Fire Station 66, Richmond
Masonic Homes, Union City
280 Divisadero Ave., San Francisco
660 Bridgeway Blvd., Sausalito
24829 Palomares Road, Castro Valley
Richmond Public Library, Richmond
San Antonio Hills Neighborhood, Oakland
30935 Vallejo Street, Union City
1 Culloden Park Road, San Rafael
1500 San Pablo Avenue, Berkeley
2600 Shattuck Avenue, Berkeley
St. Brigids Church, San Francisco
2255 Lyon Street, San Francisco
216 Corte Madera Avenue, Mill Valley
Armstrong School Building, Berkeley
First Congregational Church, San Francisco
412 Monte Vista Avenue, Oakland
1849 Van Ness Avenue, San Francisco
Booker T. Washington Center, San Francisco
SF Boys & Girls Club, San Francisco
430 Main & 429 Beale Street, San Francisco
Town & Country Village, Palo Alto
Winters Building, Richmond
3900 Adeline Street, Emeryville
323 University Avenue, Palo Alto
Alto Spring Estate, Berkeley
5924-30 Foothill Blvd., Oakland
Mazda Lamp Works, Oakland
461 Baker Street, San Francisco
Berkland Baptist Church, Oakland
Pier 40, San Francisco
1505 Shattuck Avenue, Berkeley
Harrison Street Properties, San Francisco
2121 Allston Way/Magnus Museum, Berkeley
45 Lansing Street, San Francisco
401 Alice & 420 Third Streets, Oakland
Pier 23, San Francisco
1919 Market Street, Oakland
Clayburgh Building, San Francisco
Terminal One, Richmond
Saratoga Lanes, San Jose
Macdonald Avenue, Richmond

Historic Structure Reports and Preservation Plans

Maybeck Chalet, Sonoma	323 University Avenue, Palo Alto
Phoenix Lake Log Cabin, MMWD	Camera Obscura, San Francisco
Hawk Hill/Battery 129, GGNRA	Ahwahnee Hotel, Yosemite
Girton Hall, UC Berkeley	Geary Theatre, San Francisco
The Pelican Building, UC Berkeley	California State Office Building, San Francisco
Sea Scout Base, Palo Alto	Casa Amesti, Monterey
Municipal Boathouse, Oakland	U.S. Court House, Los Angeles
SummerHill Historic Homes, Palo Alto	U.S. Customs House, San Francisco
Petaluma Silk Mill, Petaluma	U.S. Appraiser's Building, San Francisco
Richmond Civic Center, Richmond	U.S. Court of Appeals, San Francisco
Cloyne Court Hotel, Berkeley	Presidio of Monterey
Clark Kerr Campus, UC Berkeley	

Recent Awards**Pier 70, 20th Street Historic Buildings, San Francisco:**

- Governor's Historic Preservation Award, 2023

Pier 70, Building 102, San Francisco:

- Traditional Building's Palladio Design Award, 2022

Pier 70, Buildings 113-116, San Francisco:

- ASCE-SF Historical Renovation Project of the Year, 2019
- California Preservation Foundation, Preservation Design Award, 2018
- Engineering News Record, Best Project Award, 2018

Trefethen Winery Building, Napa:

- California Preservation Foundation, Preservation Design Award, 2017

Filbert Street Cottages, San Francisco:

- California Preservation Foundation, Preservation Design Award, 2017

Ford Assembly Building, Richmond:

- California Governor's Historic Preservation Award for 2013
- California Heritage Council, Award of Recognition, 2013
- National Trust for Historic Preservation, National Honor Award, 2008
- California Preservation Foundation, Preservation Design Award, 2009
- AIA East Bay Chapter, Citation Award, 2009
- AIA San Francisco Chapter, Historic Preservation and Innovation Award, 2010

Highland Hospital, Alameda County:

- Design/Build Institute of America, Western Pacific Region, Award of Distinction, 2012

Richmond Civic Center, Richmond:

- California Governor's Historic Preservation Award, 2011
- California Preservation Foundation, Preservation Design Award, 2010
- AIA San Francisco Chapter, Historic Preservation and Innovation Award, 2010
- Design/Build Institute of America, Western Pacific Region, Regional Award, 2010
- City of Richmond, Historic Preservation Award, 2010
- California Construction Award, Overall Top Project, 2009

Municipal Boathouse, Oakland:

- California Preservation Foundation, Preservation Design Award, 2011

Studio One Arts Center, Oakland:

- AIA East Bay Chapter, Citation Award, 2011