



AGENCY COMMENT REQUEST

Date 3/6/2024

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

<input checked="" type="checkbox"/> Building Inspection	Grading Inspection
Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	<input checked="" type="checkbox"/> HCP/NCCP Staff
APC PW Staff	County Geologist

HEALTH SERVICES DEPARTMENT

Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services (1 Full-size + 3 email Contacts)

Traffic

Flood Control (Full-size) Special Districts

LOCAL

Fire District _____

San Ramon Valley – (email) rwendel@srvfire.ca.gov

Consolidated – (email) fire@cccfd.org

East CCC – (email) brodriguez@cccfd.org

Sanitary District _____

Water District Diablo Water

City of _____

School District(s) _____

LAFCO

Reclamation District # _____

East Bay Regional Park District

Diablo/Discovery Bay/Crockett CSD

MAC/TAC Knightsen TAC

Improvement/Community Association

CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)

CA Fish and Wildlife, Region 3 – Bay Delta

Native American Tribes

ADDITIONAL RECIPIENTS

Delta Protection Committee; Delta Stewardship Council

Please submit your comments to:

Project Planner Dominique Vogelpohl

Phone # 925-655-2880

E-mail dominique.vogelpohl@dcd.cccounty.ca.gov

County File # CDDP24-03008

Prior to April 3, 2024

We have found the following special programs apply to this application:

- Active Fault Zone (Alquist-Priolo)
Flood Hazard Area, Panel # _____
- 60-dBA Noise Control
CA EPA Hazardous Waste Site
High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDDP24-03008

File Date: 3/5/2024

Applicant:

Debra Fromme
Choice Plans and Permit Services
1021 Vineyard Drive
Oakley, CA 94561

choicepps@yahoo.com
(925) 783-1858

Property Owner:

ROBERT CORT
757 3RD AVE
SAN FRANCISCO, CA 941183908

cortproperty@gmail.com
(415) 573-7443

Project Description:

The applicant requests approval of a Development Plan with a Variance to allow a 6.5-foot setback (where 10 feet is required) for the conversion of an existing, approximately 542 square-foot detached dwelling unit building into a storage building. Interior and exterior improvements include foundation repair/replacement, roof change from pitched to flat, increase height to 13 feet to match main building, and new doors/windows.

Project Location: (Address: 3011 KNIGHTSEN AVE, KNIGHTSEN, CA 945480328), (APN: 020073008)

Additional APNs:

General Plan Designation(s): CO

Zoning District(s): "R-B, -CE"

Flood Hazard Areas: X

AP Fault Zone: Liquefaction

60-dBA Noise Control: Yes

MAC/TAC: Knightsen TAC

Sphere of Influence: None

Fire District: CONSOLIDATED FIRE Former ECC

Sanitary District: None

Housing Inventory Site: No

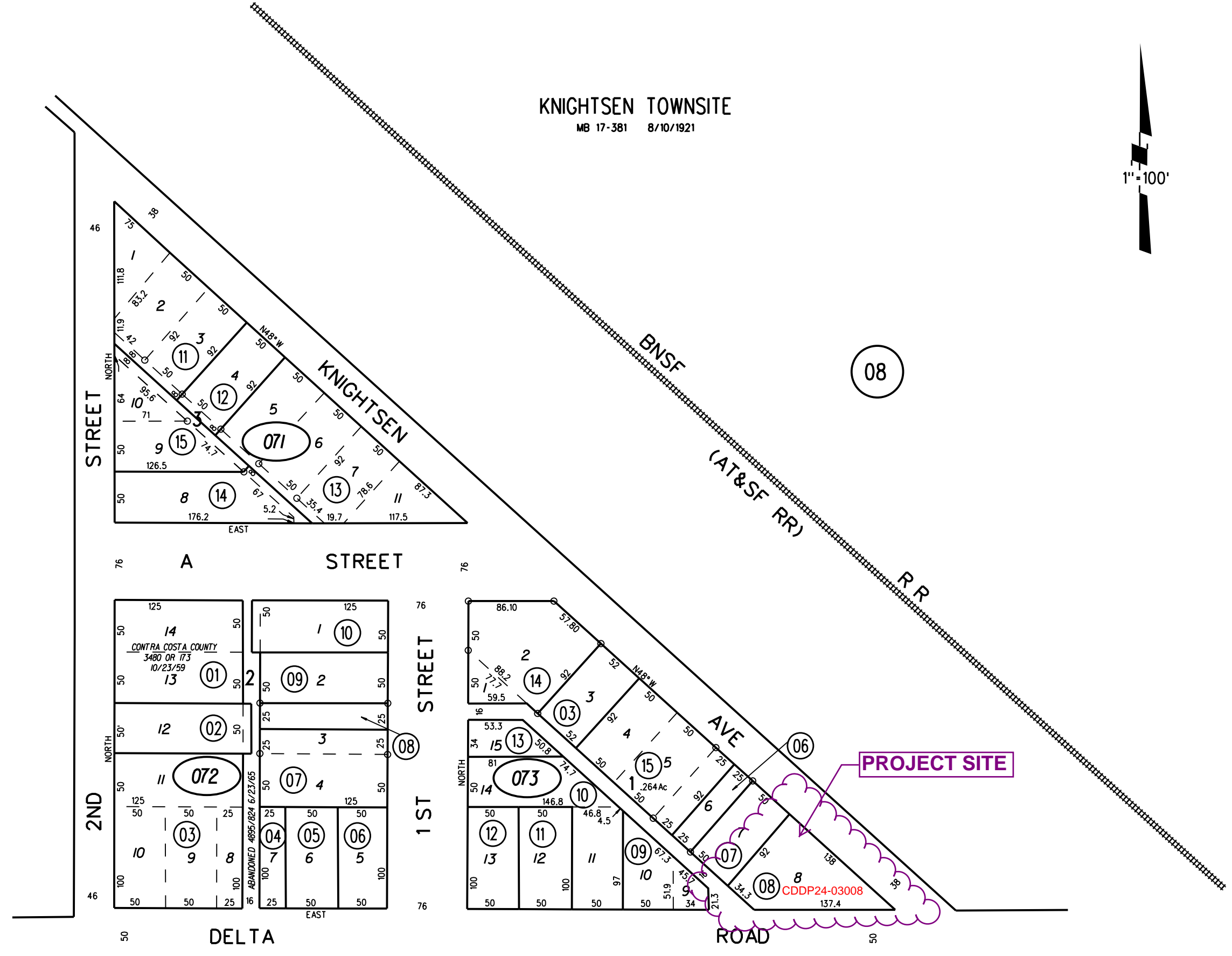
Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
DP016A	Dev Plan Minor Modification (Administrative)	002606-9660-REV-000-5B016A	1500.00	1500.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
Total:			1662.00	1662.00

KNIGHTSEN TOWNSITE
MB 17-381 8/10/1921



06



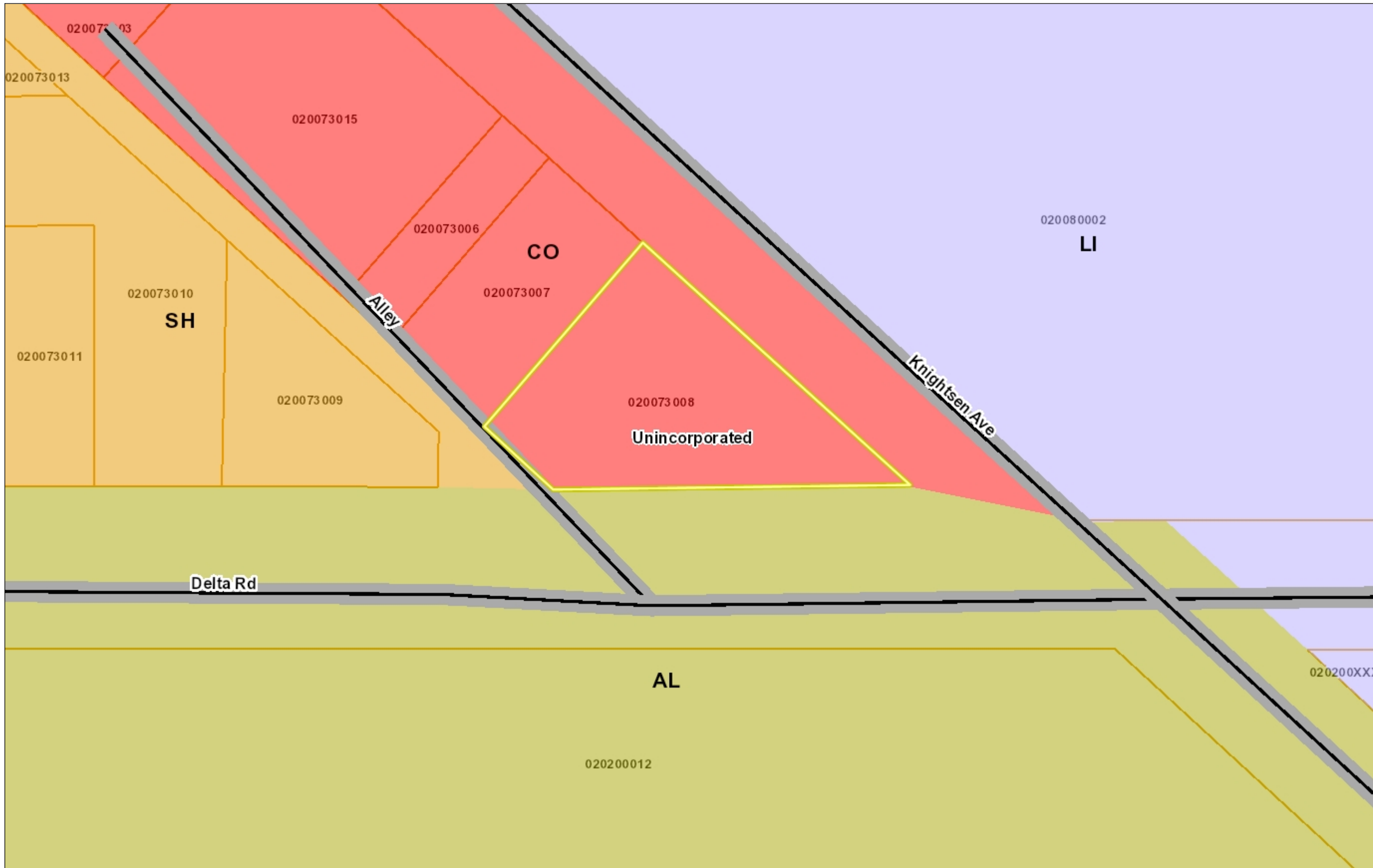
08

PROJECT SITE

- 071
- 072
- 073
- 15 12/10/04
- MAP CORRECTION 7/16/09
- 15 01/25/23

20

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



Legend

- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- General Plan**
- SV (Single Family Residential - Ver
- SL (Single Family Residential - Low
- SM (Single Family Residential - Me
- SH (Single Family Residential - Hig
- ML (Multiple Family Residential - Lc
- MM (Multiple Family Residential - M
- MH (Multiple Family Residential - H
- MV (Multiple Family Residential - V
- MS (Multiple Family Residential - V
- CC (Congregate Care/Senior Housi
- MO (Mobile Home)
- M-1 (Parker Avenue Mixed Use)
- M-2 (Downtown/Waterfront Rodeo I
- M-3 (Pleasant Hill BART Mixed Use
- M-4 (Willow Pass Road Mixed Use)
- M-5 (Willow Pass Road Commercia
- M-6 (Bay Point Residential Mixed U
- M-7 (Pittsburg/Bay Point BART Star
- M-8 (Dougherty Valley Village Cent
- M-9 (Montalvin Manor Mixed Use)
- M-10 (Willow Pass Business Park M
- M-11 (Appian Way Mixed Use)
- M-12 (Triangle Area Mixed Use)
- M-13 (San Pablo Dam Road Mixed
- M-14 (Heritage Mixed Use)
- CO (Commercial)
- OF (Office)
- BP (Business Park)
- LI (Light Industry)
- HI (Heavy Industry)
- AL, OIBA (Agricultural Lands & Off
- CR (Commercial Recreation)
- ACO (Airport Commercial)

1: 564



0.0 0 0.01 0.0 Miles

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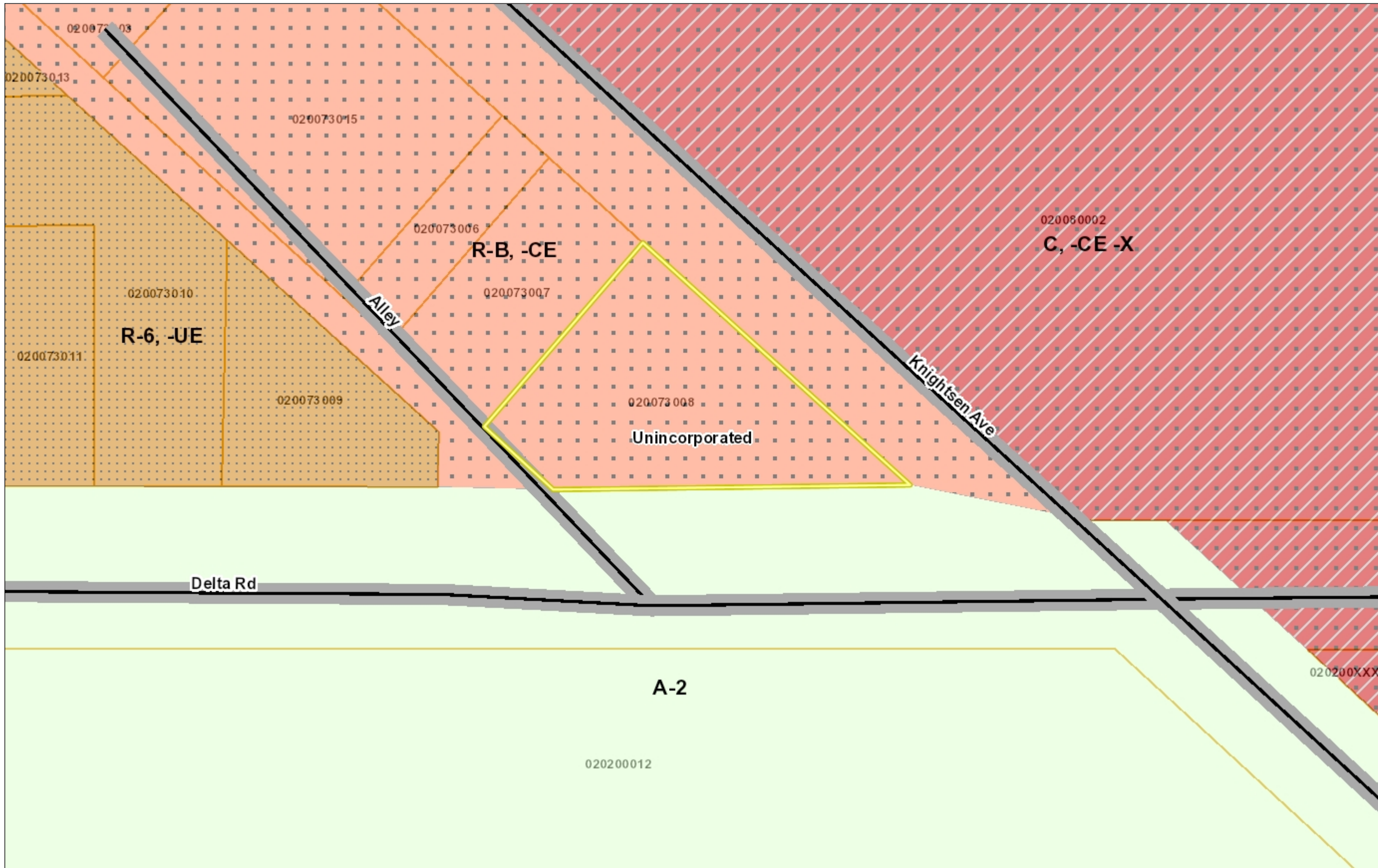
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Contra Costa County -DOIT GIS

Zoning: R-B, -CE



Legend

- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Zoning
 - R-6 (Single Family Residential)
 - R-6, -FH -UE (Flood Hazard and A
 - R-6 -SD-1 (Slope Density Hillside I
 - R-6 -TOV -K (Tree Obstruction anc
 - R-6, -UE (Urban Farm Animal Excl
 - R-6 -X (Railroad Corridor Combinir
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combinir
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exc
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exc
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and A
 - R-40, -UE (Urban Farm Animal Exc
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining Dist
 - D-1, -UE (Urban Farm Animal Excl
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combining
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)
 - F-R -FH (Flood Hazard Combining I
 - F-1 (Water Recreational)
 - F-1 -FH (Flood Hazard Combining I
 - A-2 (General Agriculture)
 - A-2, -BS (Boat Storage Combining I
 - A-2, -BS -SG (Boat Storage and So

1: 564



0.0 0 0.01 0.0 Miles

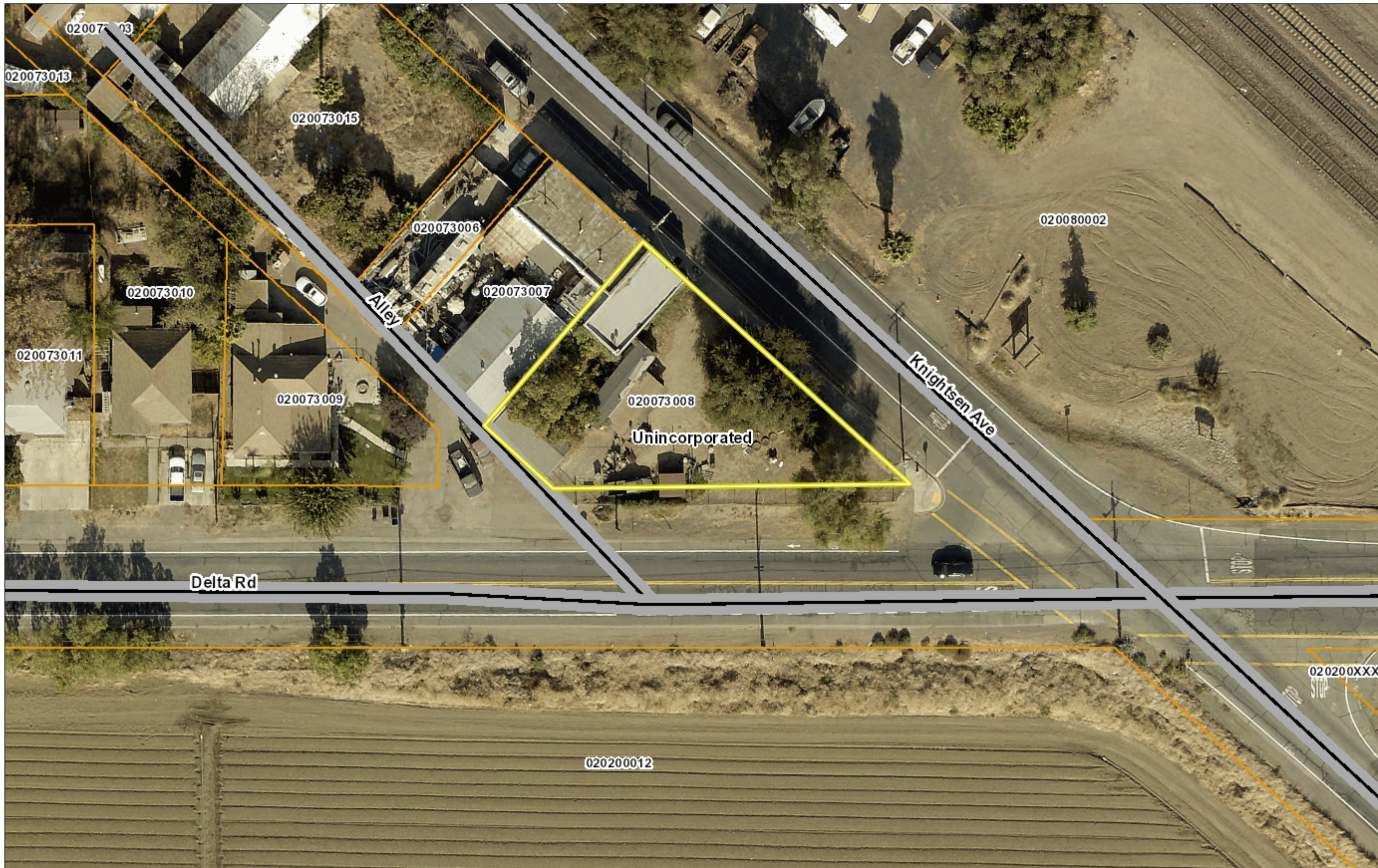
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Notes

Contra Costa County -DOIT GIS



Legend

- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Water Bodies
- County Boundary
- Bay Area Counties
- Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1: 564



0.0 0 0.01 0.0 Miles

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Notes

Contra Costa County -DOIT GIS



RECEIVED on 03/05/2024 CDDP24-03008
 By Contra Costa County
 Department of Conservation and Development

Cort Properties
 (415) 573-7443

Project:
 Accessory
 Building
 Repair/
 Alteration

Project Address:
 3011 Knightsen
 Avenue,
 Knightsen

Sheet Title:
 Title Page

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort

Date:
 16Jan24

Scale:
 N/A

Page
T

SCOPE OF WORK

- REPAIR/ALTER EXISTING LIVING UNIT INTO STORAGE BUILDING IN SAME LOCATION; NO CHANGE IN SIZE

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA CALGREEN CODE

PROJECT DATA

OCCUPANCY TYPE: U
 TYPE OF CONSTRUCTION: V
 STORIES: SINGLE
 AREA OF WORK: STORAGE BUILDING
 FIRE SPRINKLERS: NO
 RISK CATEGORY: II
 SEISMIC DESIGN CATEGORY: D
 ADDRESS: 3011 KNIGHTSEN AVE
 CITY: KNIGHTSEN
 APN: 020-073-008

SHEET INDEX

- TITLE PAGE
- A GENERAL NOTES
- A1 SITE PLAN
- A2 EXISTING/PROPOSED FLOOR PLAN
- A3 EXISTING ELEVATIONS
- A4 PROPOSED ELEVATIONS
- S1 FOUNDATION/FRAMING PLAN
- CD1 CONSTRUCTION DETAILS
- E1 ELECTRICAL PLAN
- P1 PLUMBING PLAN

General Notes

- Contractor is responsible for construction. Subcontractors are the responsibility of the contractor.
- Contractor shall comply with all local laws and ordinances of the public agencies having jurisdiction on this project.
- The scope of plan services are limited to providing a plan set. The plan set is for obtaining a permit, but may not contain all materials and methods for construction.
- All standard notes are typical U.O.N.
- Construction design is based on current California Codes (Title 24).
- Habitable rooms designed with adequate natural light and ventilation according to code minimums.
- Property line setback requirements based on current zoning regulations. Actual setback distances in the field for structures are the responsibility of the property owner.
- Existing structures and construction based on field conditions and are not the responsibility of the plan designer.
- Hard wired smoke alarms (detectors) installed in each bedroom and the adjacent hallway. Smoke alarms to be interconnected. Smoke alarms located per CRC 314.3.3.
- Hard wired Carbon Monoxide (CO) alarm (detector) installed in hallway adjacent to bedrooms. CO alarms to be interconnected. CO alarms located per manufacture.
- Site address installed visible from the street. Address installed with min 4 inch height numbers.
- Attic Access provided with a min 22x30 inch opening.

Grading Notes

- Contractor shall be responsible for adequate temporary drainage facilities during rainy season operation and protect all areas from erosion. Contractor shall repair any areas of erosion
- All excavated soil for foundation work shall be redistributed on site or if removed from site should be properly disposed
- Finished grade shall match existing grade and topography of the property including proper drainage away from the foundation with a minimum .5% slope

Concrete Notes

- All rebar #3 in size required to be grade 40 minimum. All rebar #4 in size or greater required to be grade 60 minimum.
- Minimum strength for structural concrete required to be 2500 psi.
- Rebar clearances 3 inches to earth & 1 1/2 inches to form boards
- 5/8" anchor bolts spaced at 4 ft on center
- Epoxy used for drill and epoxy into existing concrete foundation required to be XP type minimum

Framing Notes

- Wood members to be Douglas-Fir and grade No. 2 or better.
- Mud sill required to be pressure treated
- Studs to be continuous from floor to roof or ceiling.
- Exterior stud framing to be 2x6 spaced 16 inch on center
- Interior stud framing to be 2x6 spaced 16 inch on center
- Project using conventional light framing.
- All wood framing connections per CRC Table 602.3(1) Fastening Schedule.

Electrical Notes

- All electrical equipment to be listed and installed per manufacture.
- Electrical branch circuits and service equipment to be calculated and sized accordingly.
- Electrical conductor sizing based on current NEC sizing table 310.15(B)16
- AFCI protection installed for all new and modified 15 and 20 amp branch circuits located in rooms per CEC 210.12 (A).
- GFCI protection installed for receptacles located in bathrooms, garage, outdoors, kitchens, and laundry rooms.
- Exterior equipment installed is rated for outdoors.
- Outdoor receptacles to be weather-resistive type and have proper covers.
- All circuits to be properly labeled for the devices served.

Plumbing Notes

- Domestic water lines material is copper piping.
- Atmospheric breakers required at exterior hose bibbs.
- Drain, waste, vent (DWV) system to be ABS.
- Toilets installed with min 24 inch clearance in front and 15 inch clearance on sides from the centerline.
- Toilets installed with max 1.28 gallons per flush.

Finishes Notes

- Stucco installed per manufacture with underlayment installed per manufacture.
- Roof material to match existing and is the responsibility of the property owner and contractor
- Roof gutters to be installed and properly drained to lawn or subsurface drain.

Energy/CalGreen

- All new lighting to be high efficacy and will meet the requirements of CEC table 150A
- New outdoor lighting to have photocell control and motion sensor

Cort Properties
(415) 573-7443

Project:
Accessory Building Repair/Alteration

Project Address:
3011 Knightsen Avenue,
Knightsen

Sheet Title:
General Notes

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort

Date:
16Jan24

Scale:
N/A

Page
A

Project:
Accessory
Building
Repair/
Alteration

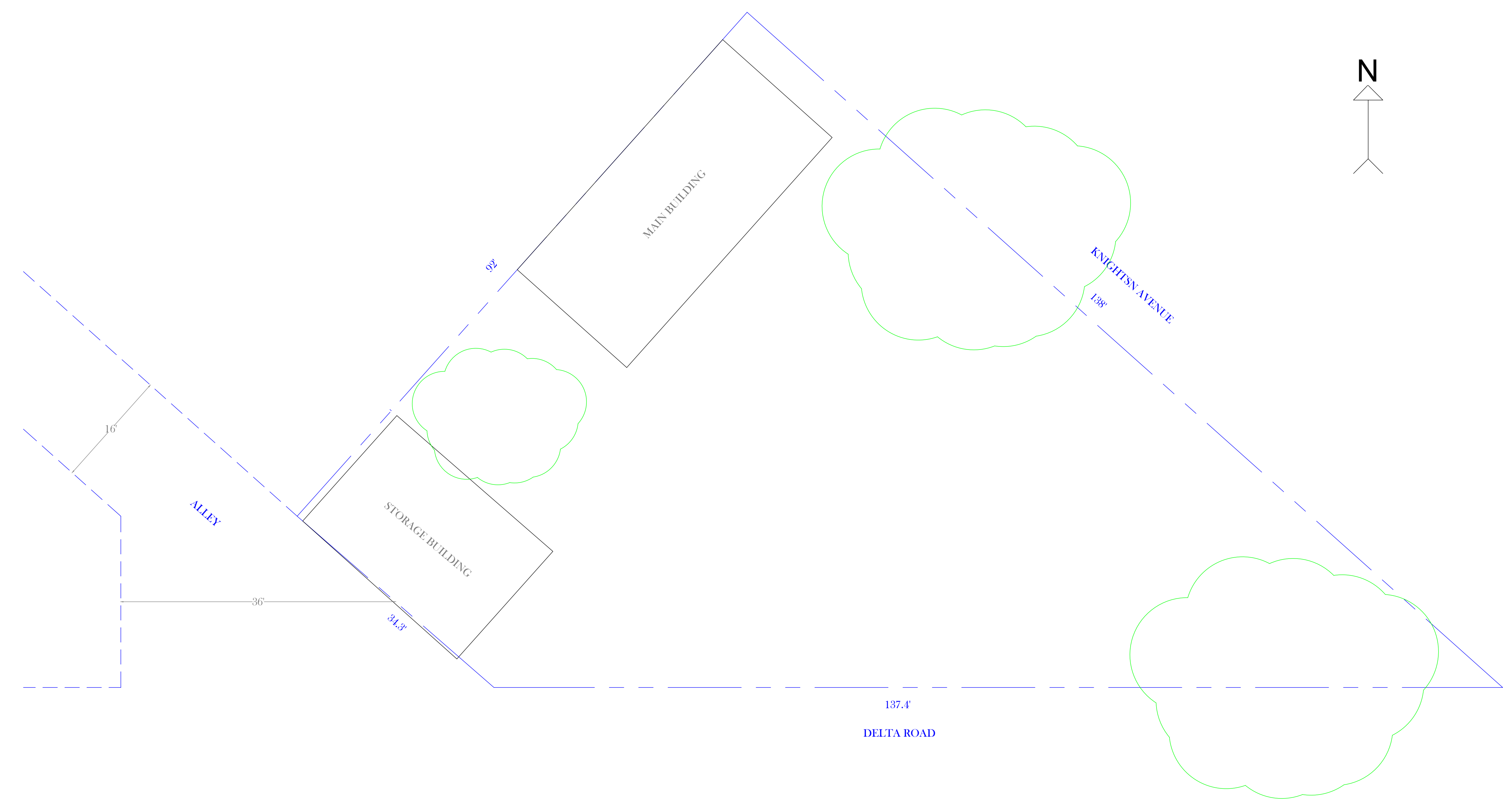
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Avenue,
Knightsen

Sheet Title:
Site Plan

Revisions		
No.	Descrptn	Date

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Robert Cort
Date:
16Jan24
Scale:
1/8" = 1' 0"

Page
A1



1 SITE PLAN

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Existing &
Proposed
Floor Plan

Revisions

No.	Descrptn	Date

Drawn By:

Robert Cort

Date:

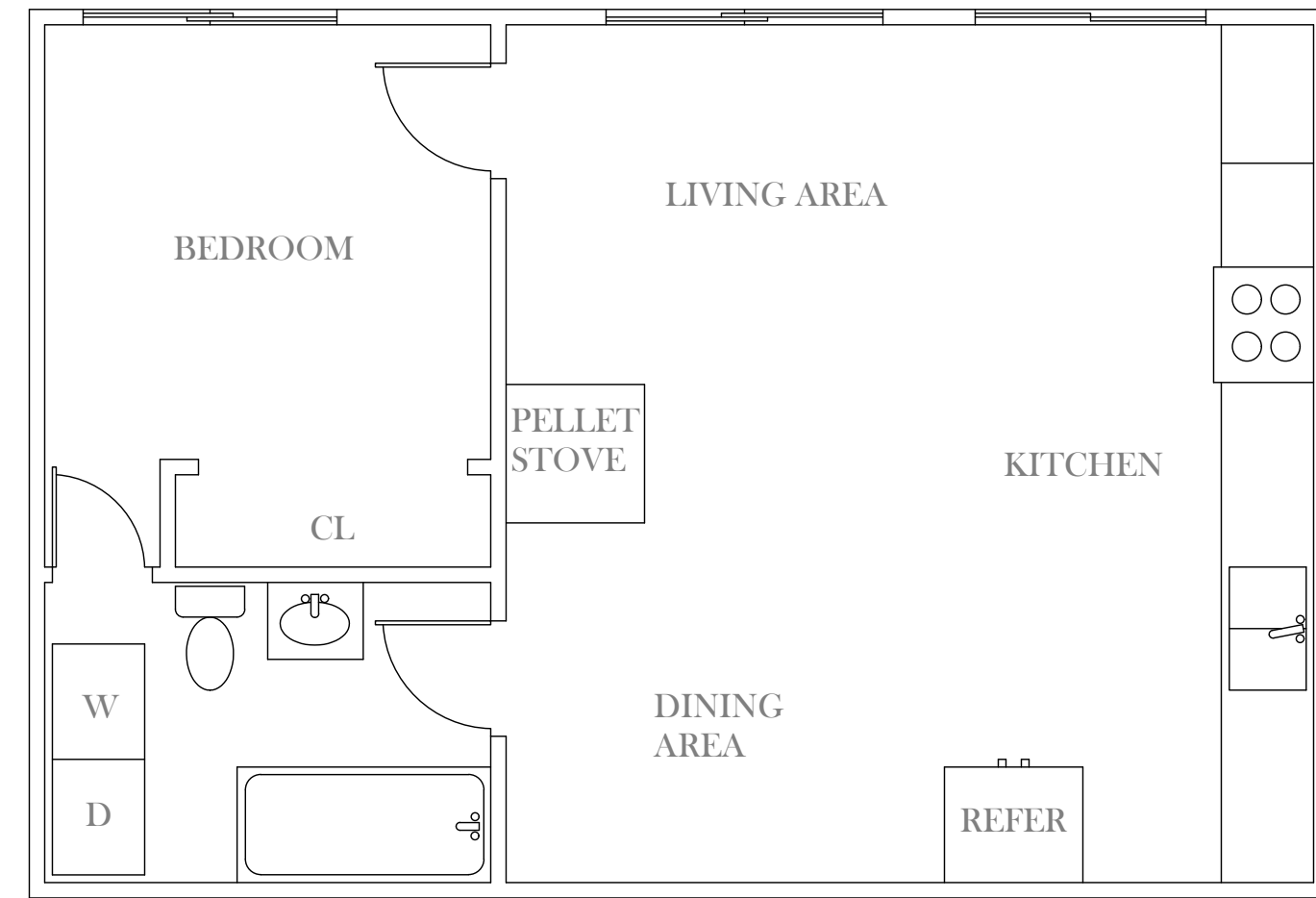
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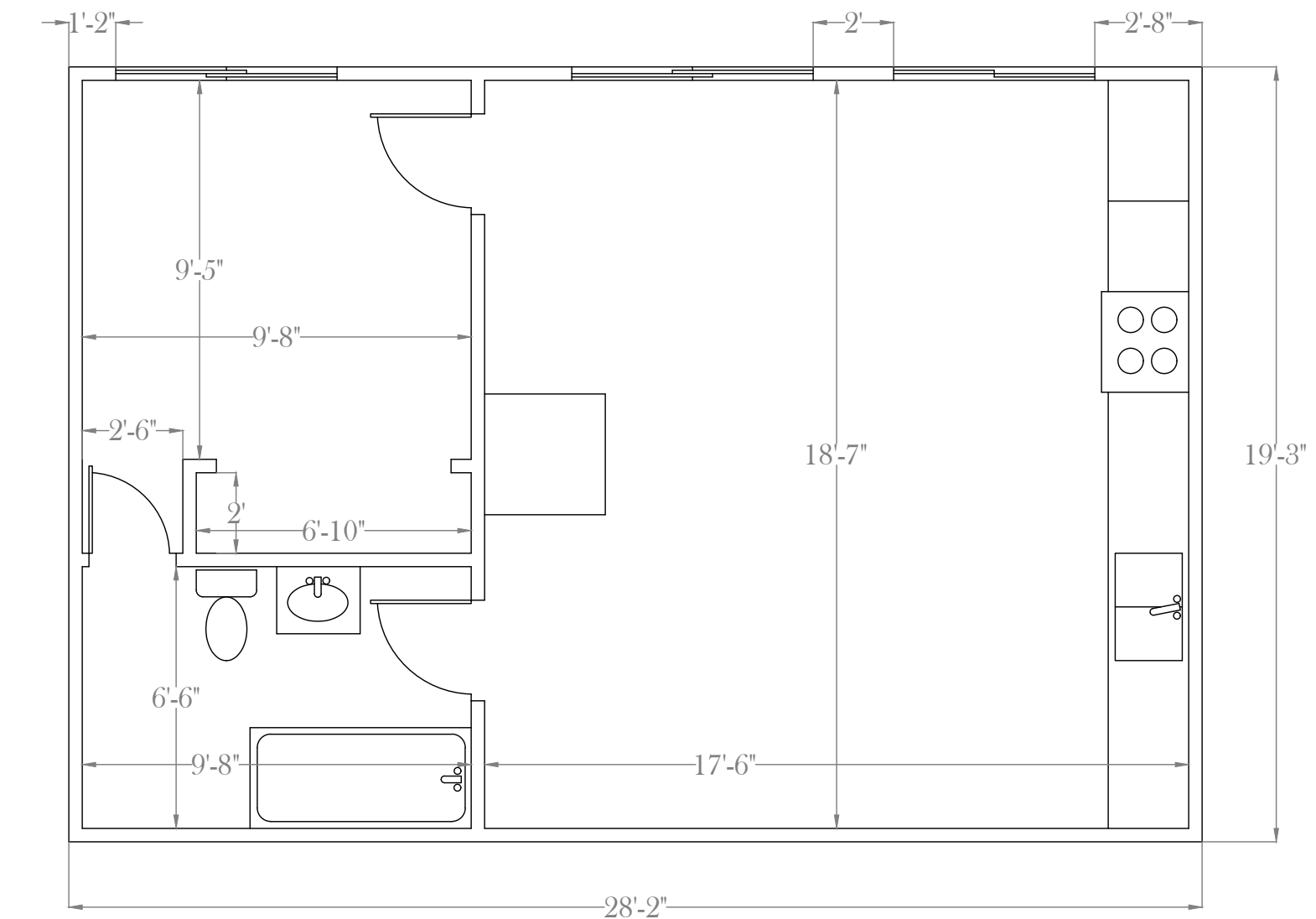
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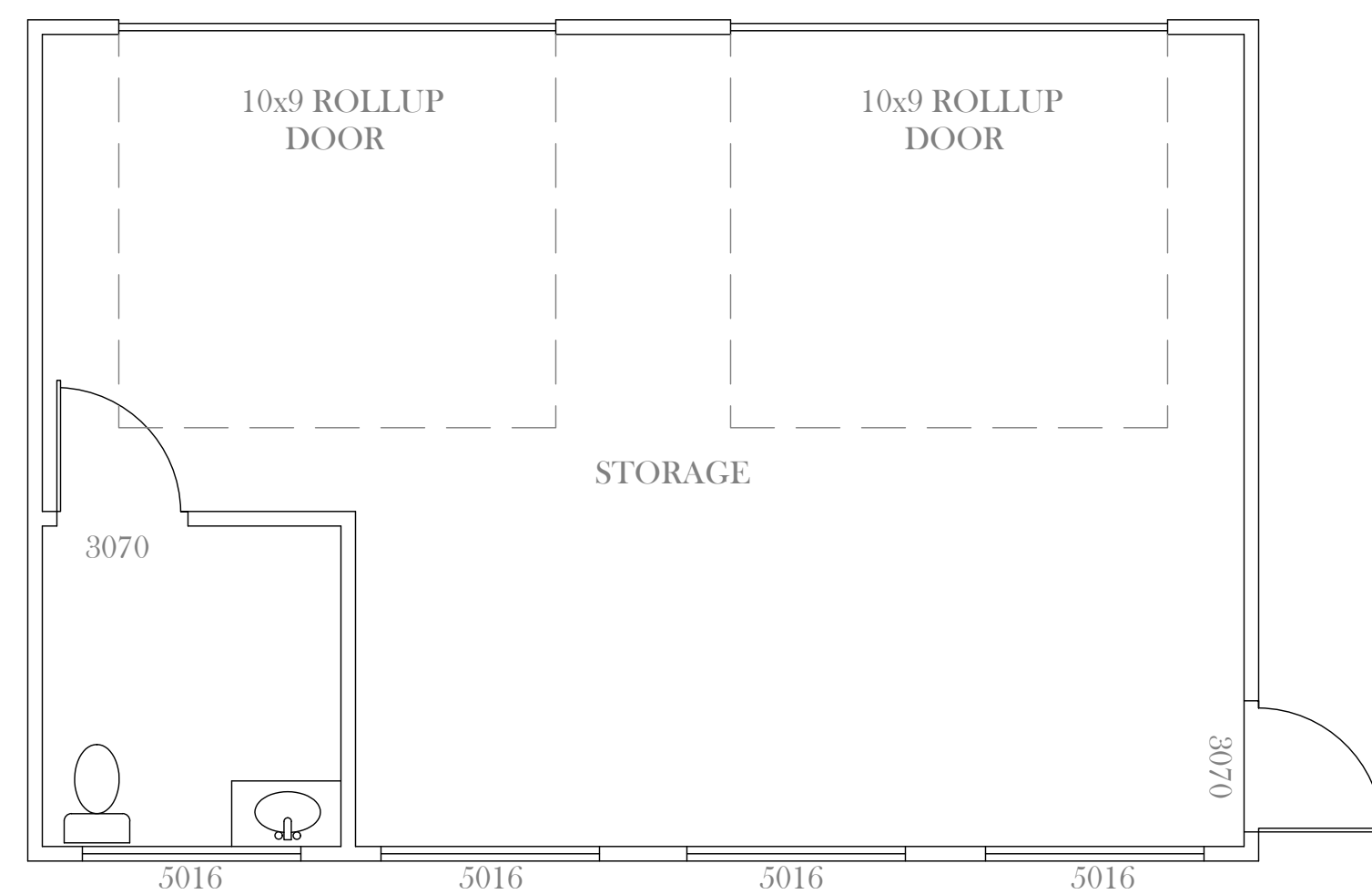


1 - EXISTING FLOOR PLAN

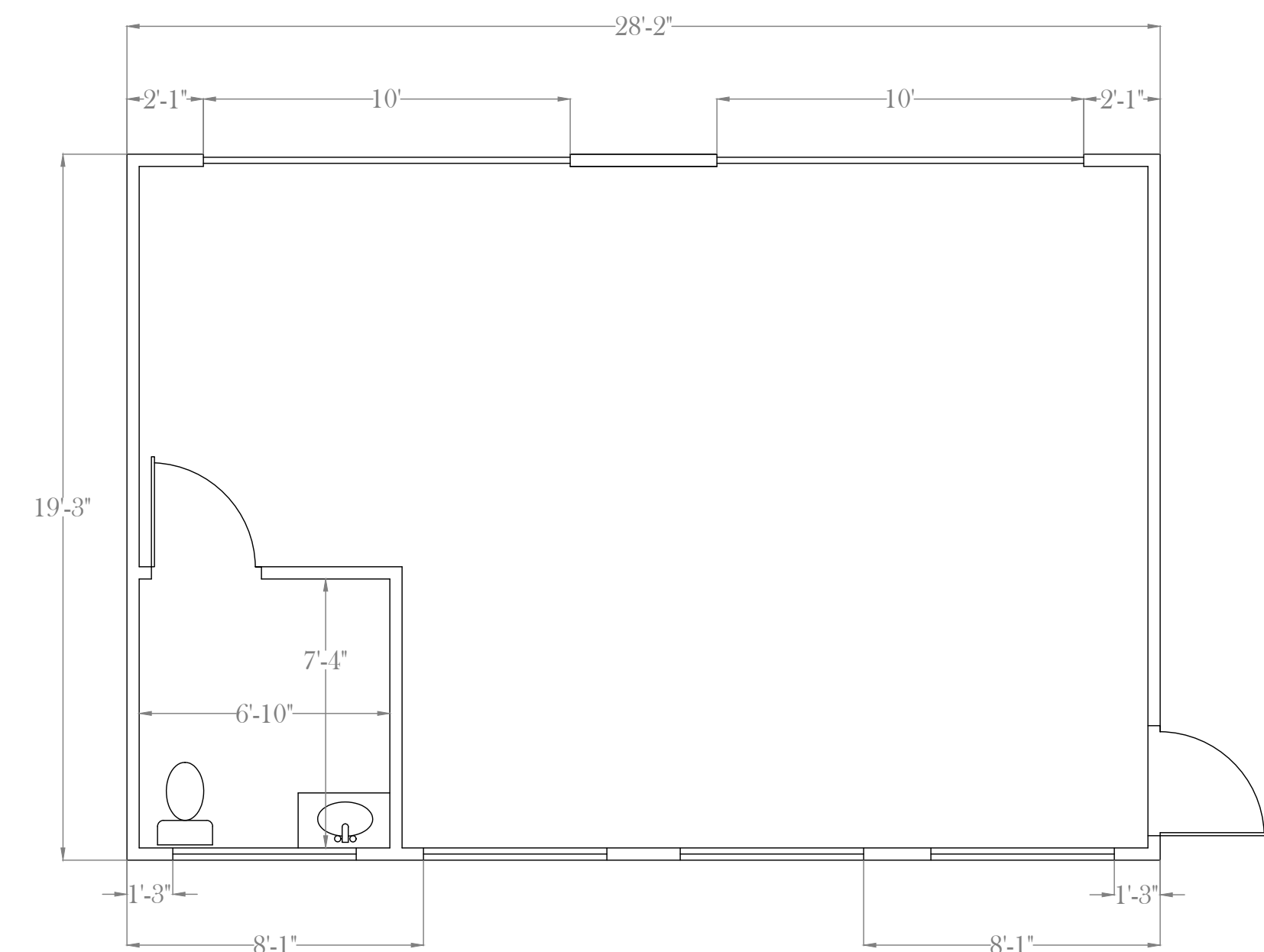
SCOPE OF WORK:
 -CONVERT EXISTING LIVING UNIT INTO A STORAGE BUILDING
 -REPLACE FOUNDATION AS NEEDED DUE TO SETTLING/DAMAGE
 -REPAIR/REPLACE WALLS AS NEEDED DUE TO DRYROT/DAMAGE PER PLAN
 -RECONFIGURE BATHROOM IN NEW STORAGE BUILDING FROM EXISTING LIVING UNIT
 -EXTEND EXISTING WALLS RAISING THE ROOF AND CREATING A FLAT ROOF TO MATCH THE EXISTING MAIN BUILDING WITH A PARAPET
 -INSTALL NEW DOORS AND WINDOWS PER PLAN
 -REPLACE MAIN ELECTRICAL PLAN AND REWIRE PER PLAN



2 - EXISTING FLOOR PLAN WITH DIMENSIONS



3 - PROPOSED FLOOR PLAN



4 - PROPOSED FLOOR PLAN WITH DIMENSIONS

Cort Properties
(415) 573-7443

Project:
Accessory
Building
Repair/
Alteration

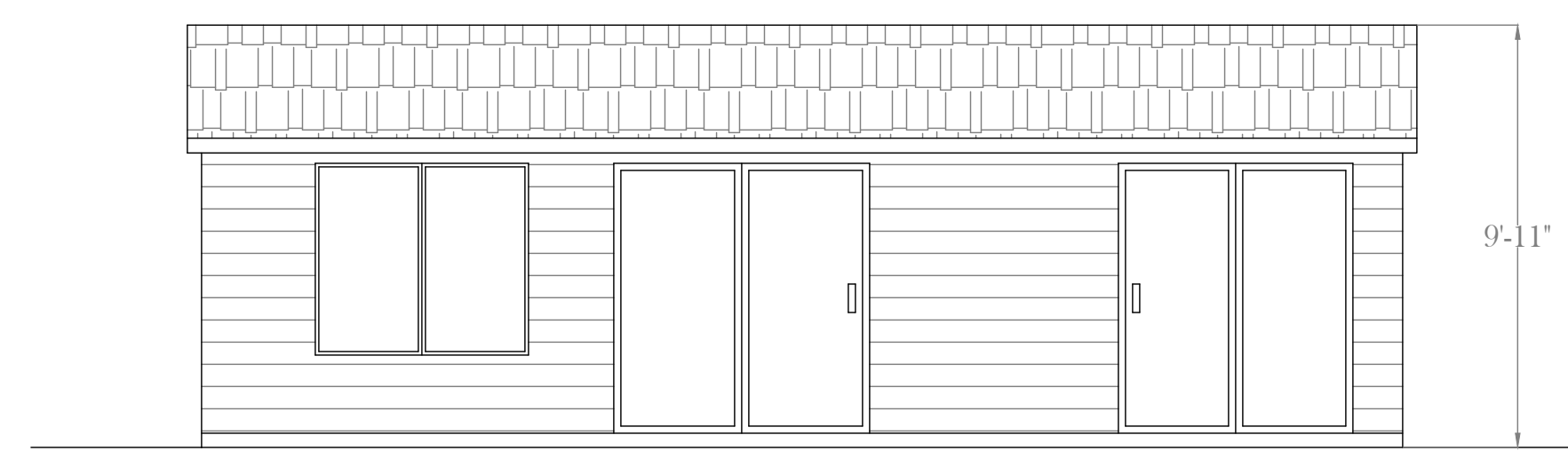
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3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Existing
Elevations

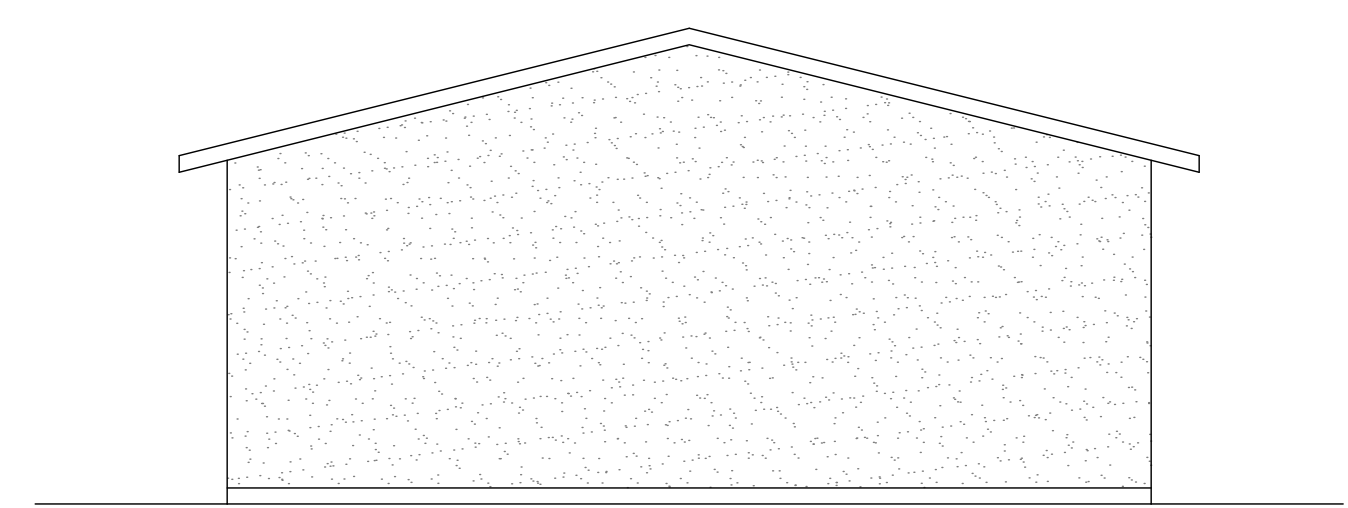
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No.	Descrptn	Date

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Date:
16Jan24
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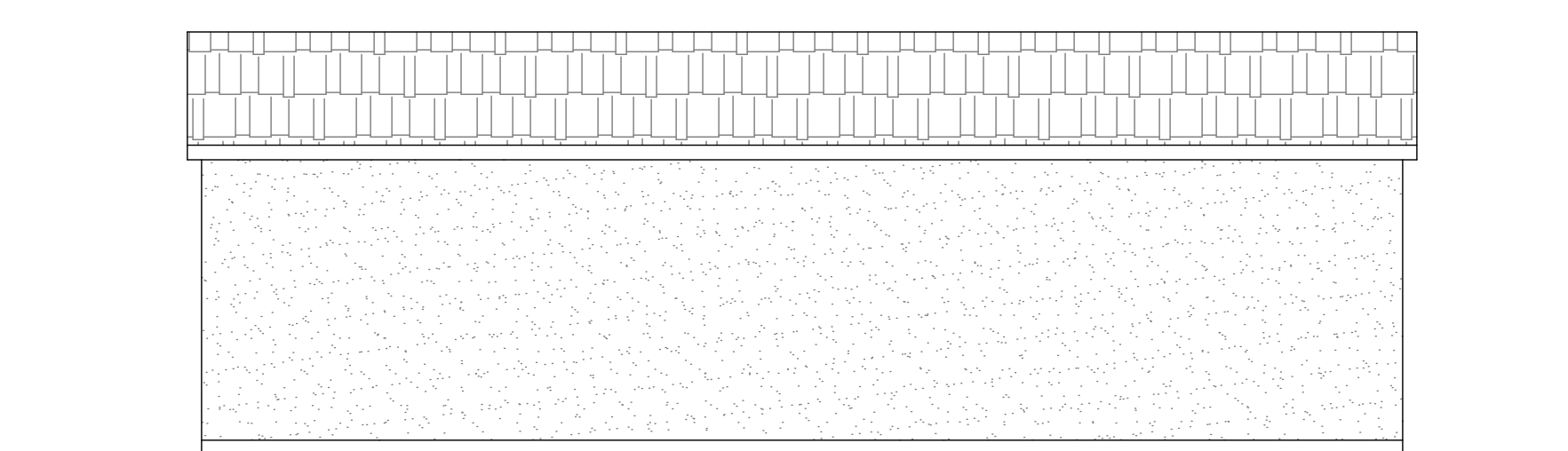
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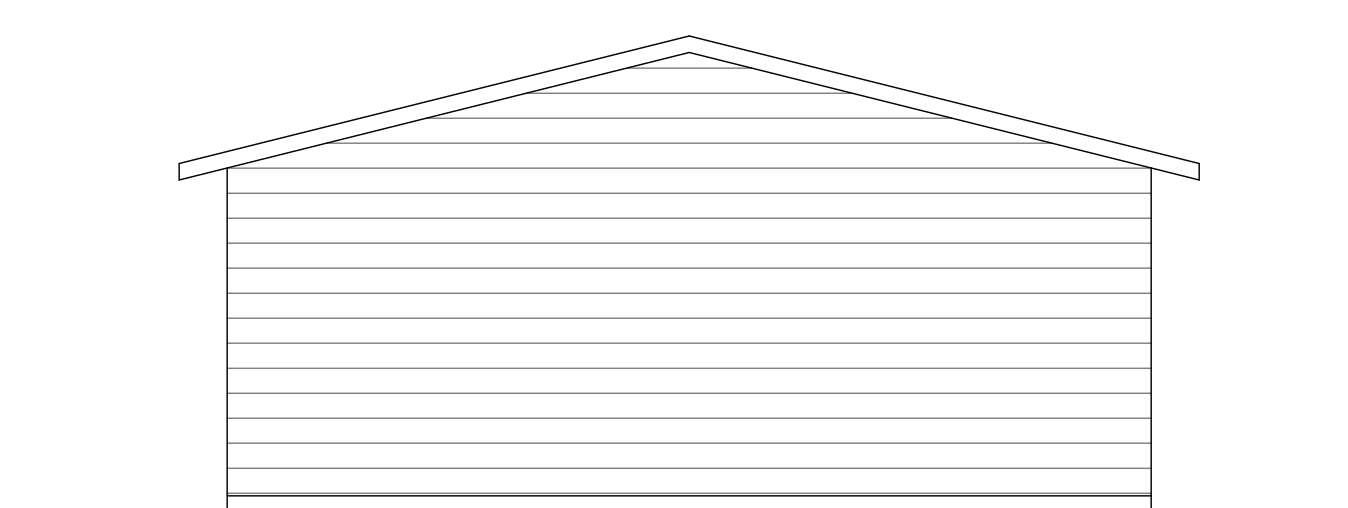
1 FRONT/NORTHEAST ELEVATION



2 SIDE/NORTHWEST ELEVATION



3 REAR/SOUTHWEST ELEVATION



4 SIDE/SOUTHEAST ELEVATION

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Proposed
Elevations

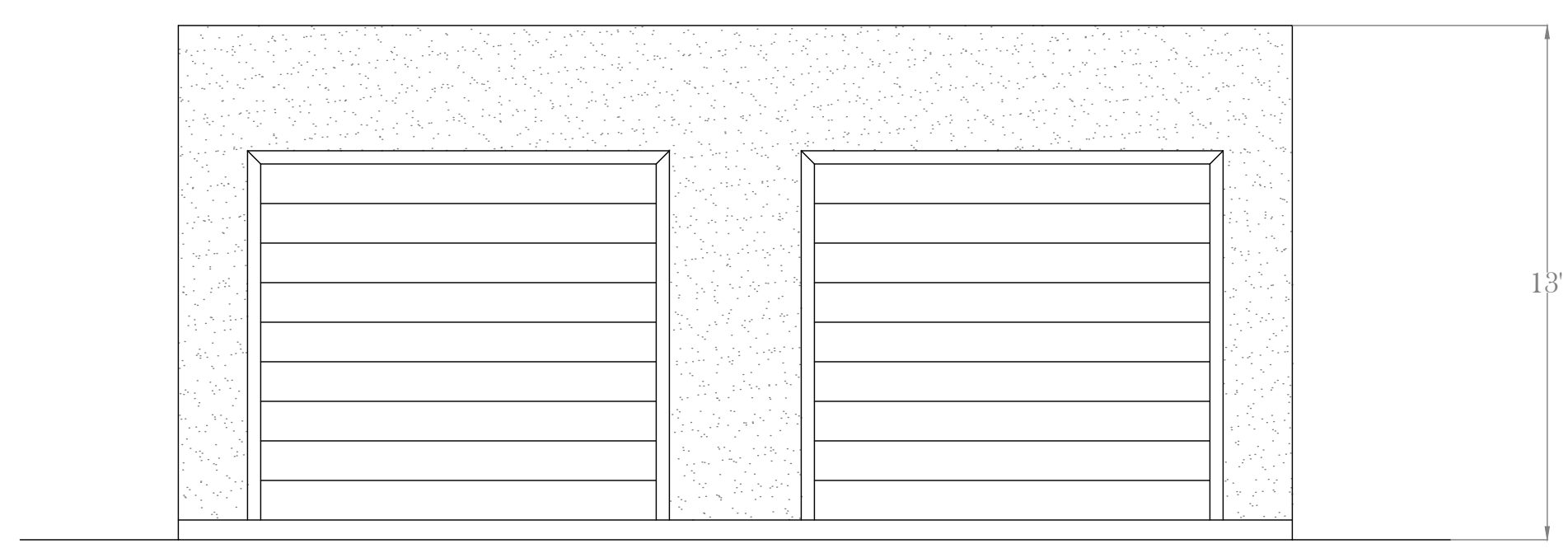
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Robert Cort

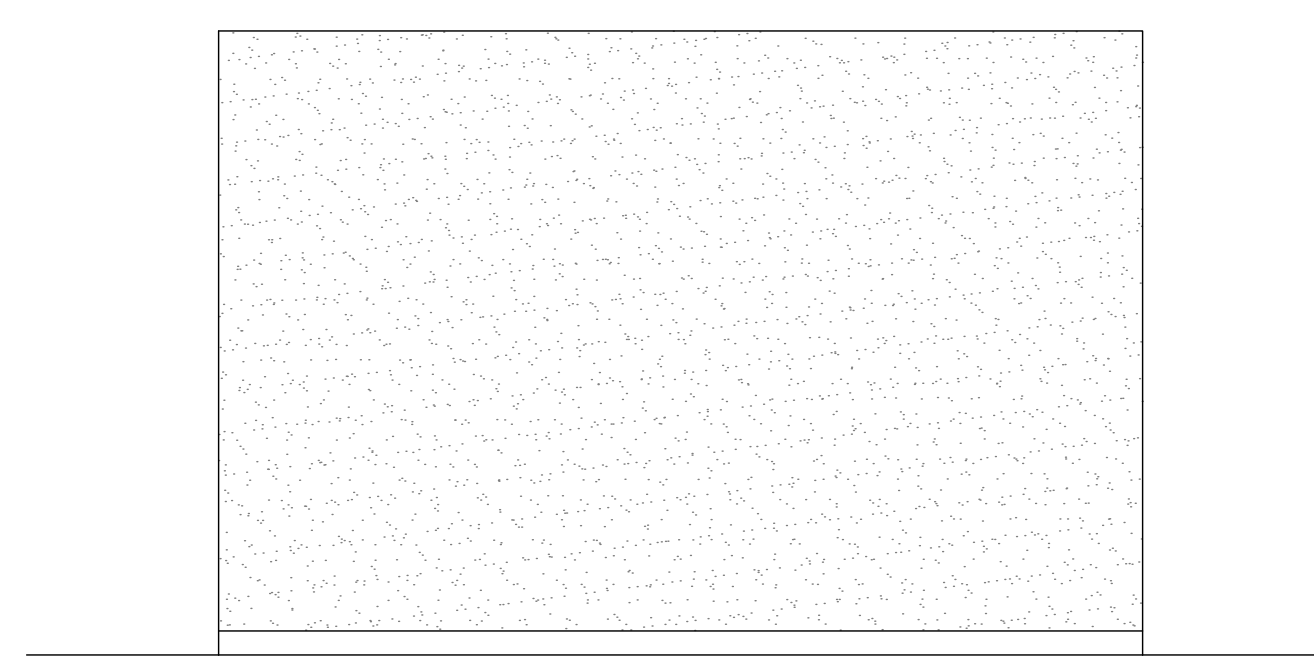
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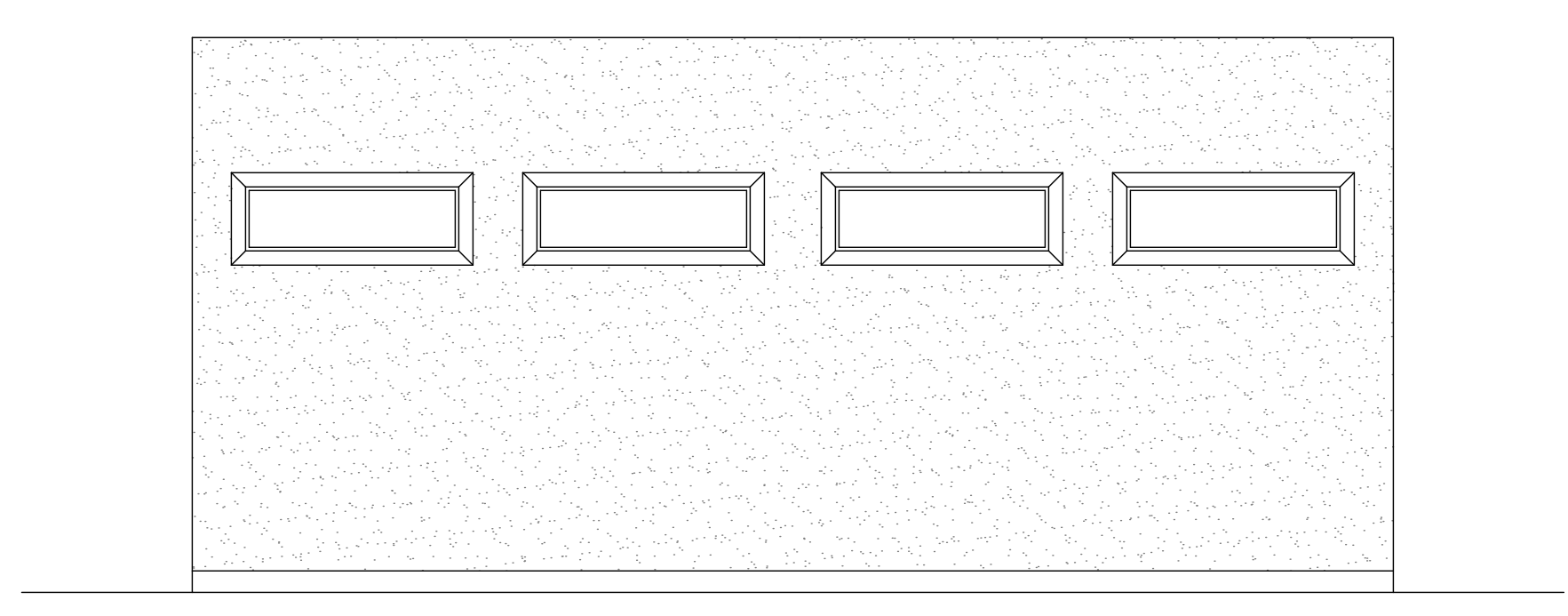
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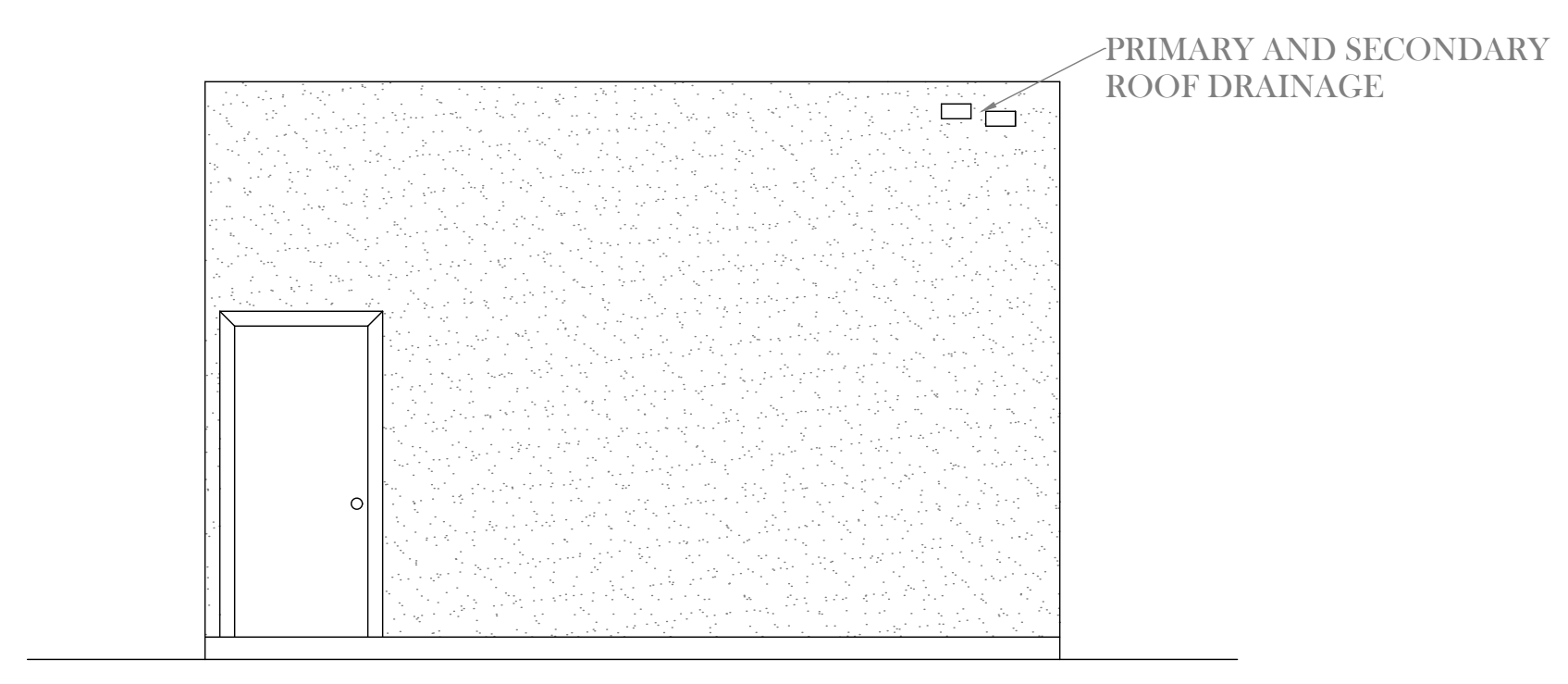
1 FRONT/NORTHEAST ELEVATION



2 SIDE/NORTHWEST ELEVATION



3 REAR/SOUTHWEST ELEVATION



4 SIDE/SOUTHEAST ELEVATION

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Foundation
and Framing
Plan

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort

Date:
16Jan24

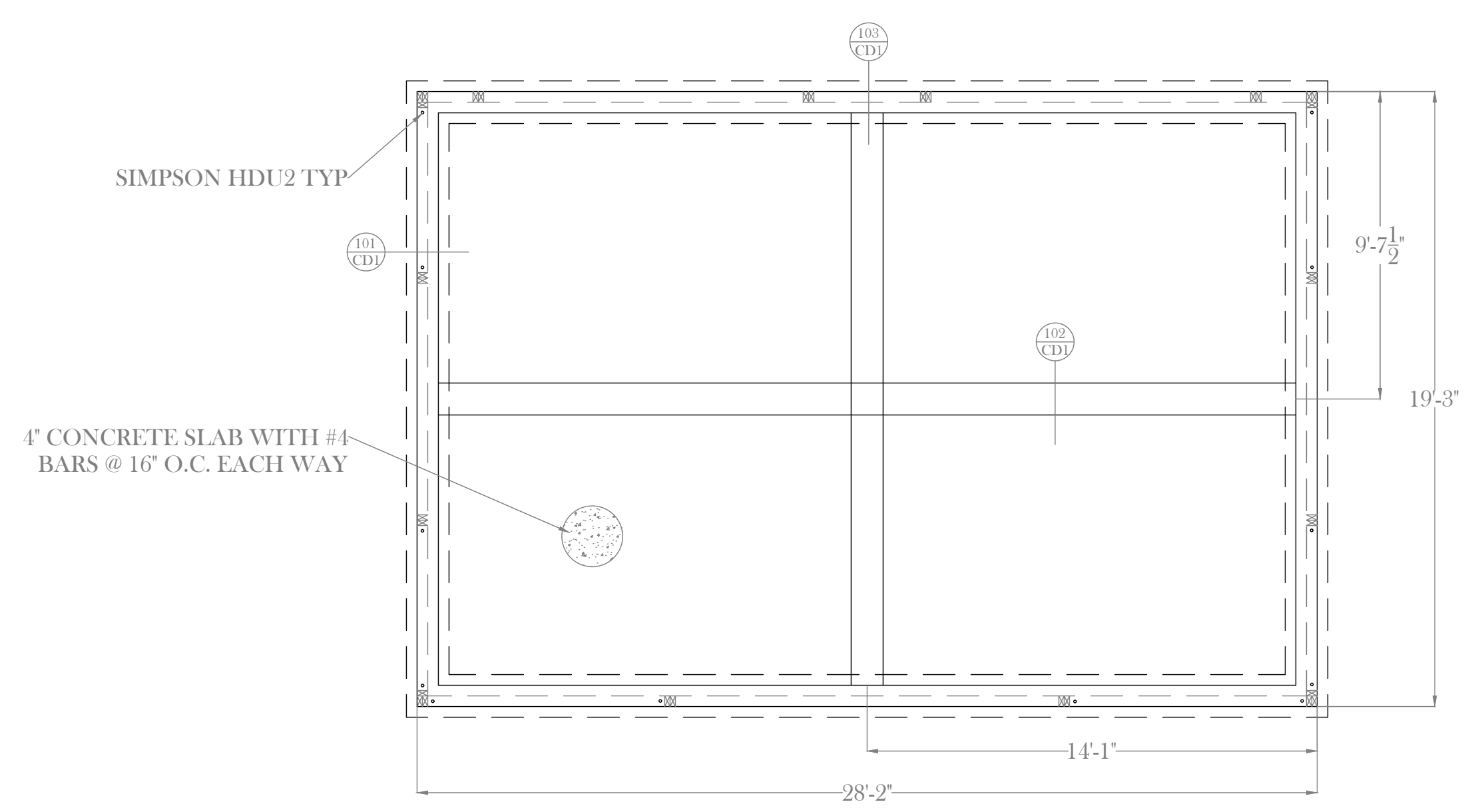
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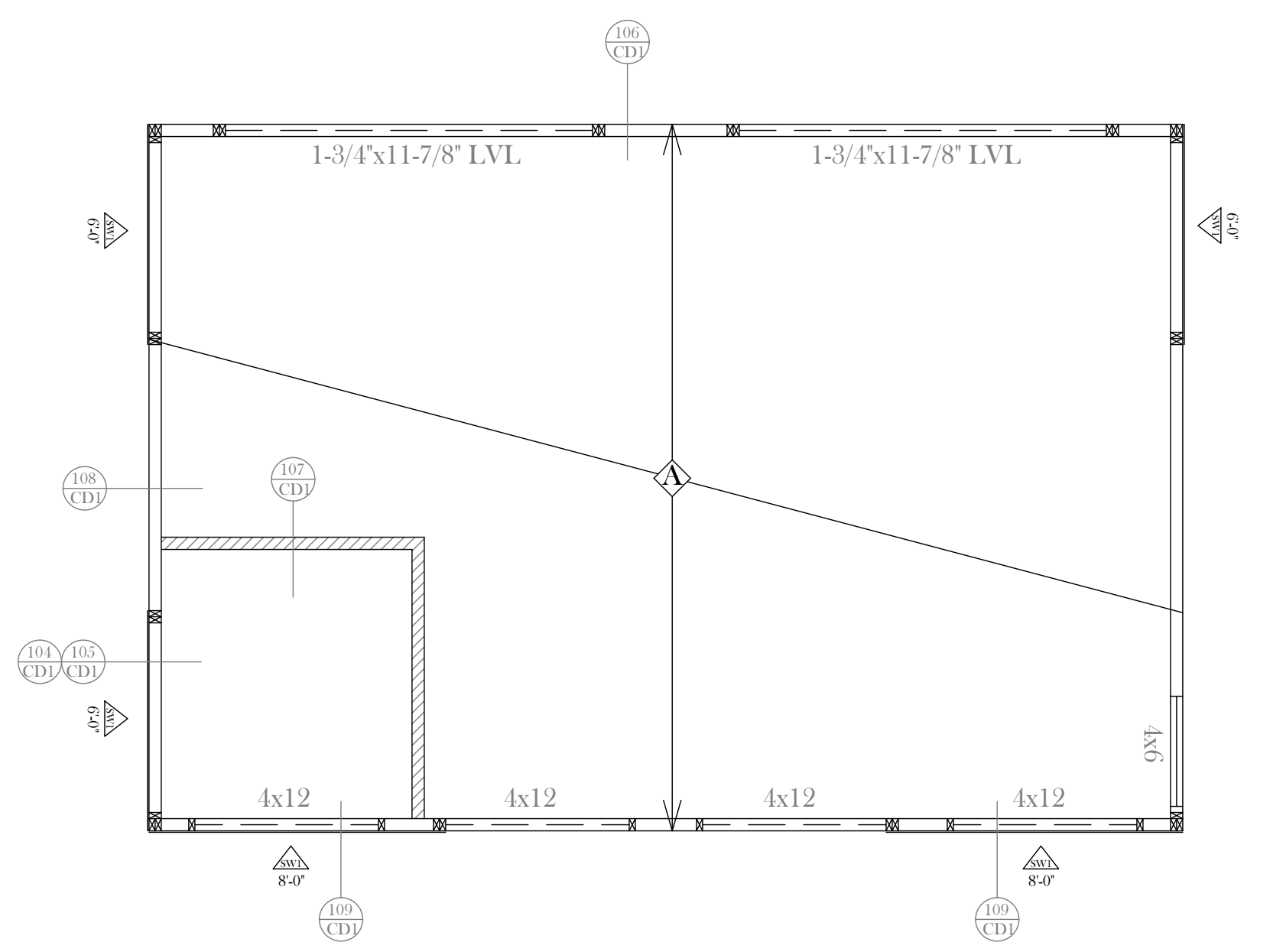
BRACED WALL PANEL SCHEDULE

	Plywood or OSB Sheathing	10d Edge Nailing	10d Field Nailing	Framing member at adjoining panel edges	5/8 anchor bolts at 2x mudsill	Top connector
SW1	15/32"	10d @ 4" o.c.	10d @ 12" o.c.	3x or 2 - 2xs stitched	48" o.c. max	A35 @ 24" o.c.

12' MITEK OPEN WEB WOOD ROOF TRUSSES @ 16" O.C.



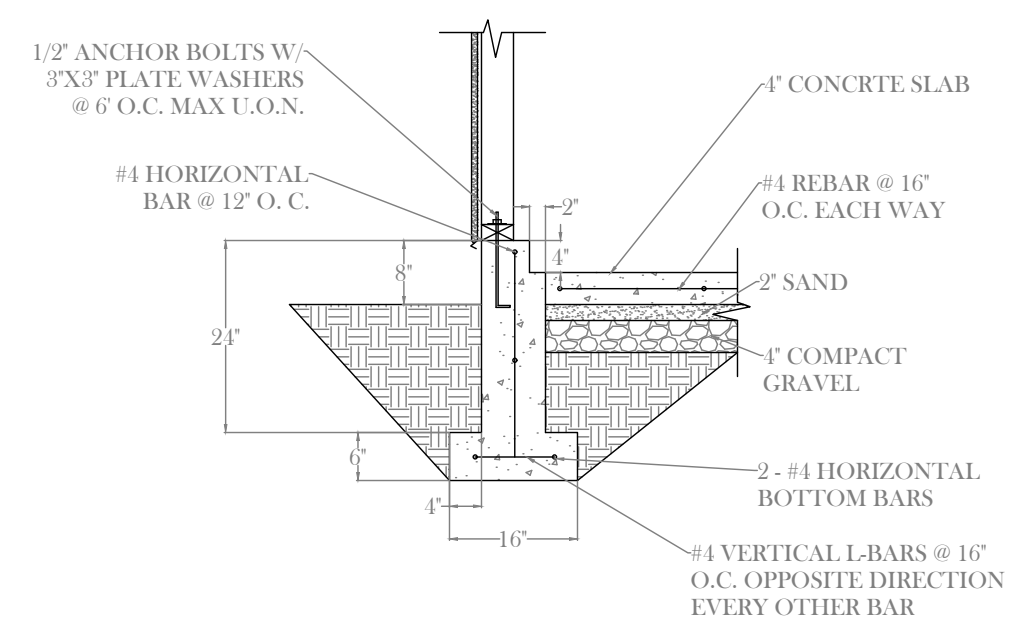
1 FOUNDATION PLAN



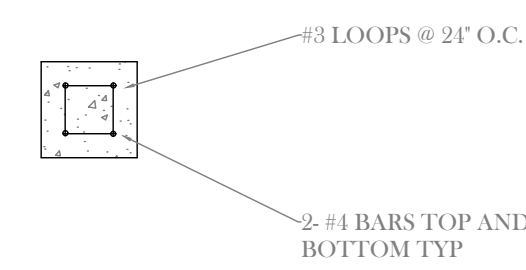
1 BRACED WALL/FRAMING PLAN

*10'-6" CEILING HEIGHT

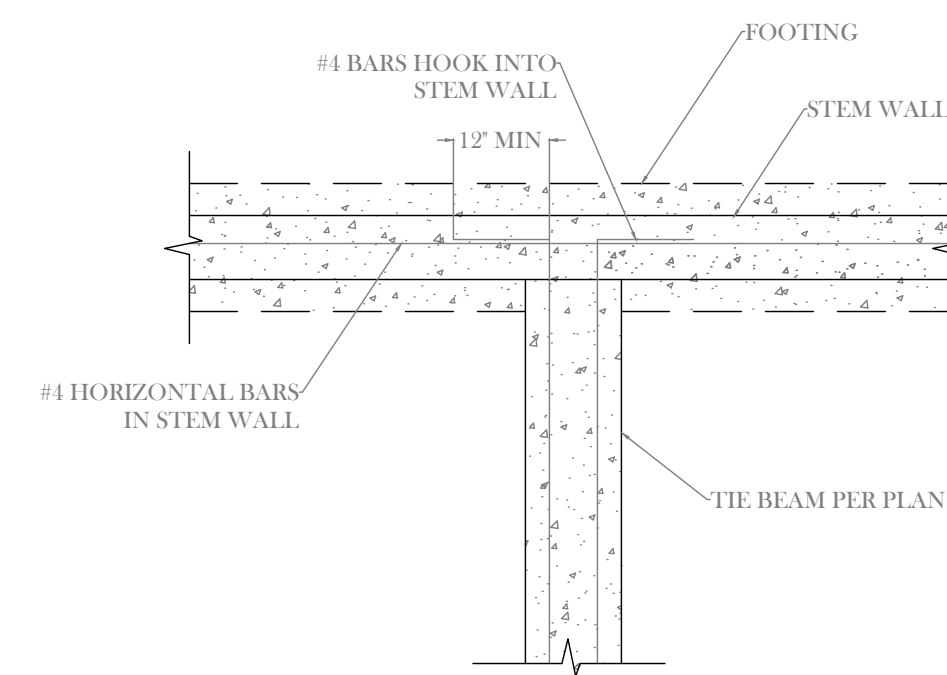
- NEW 2X4 BEARING WALLS
- NEW 2X4 NON-BEARING WALLS



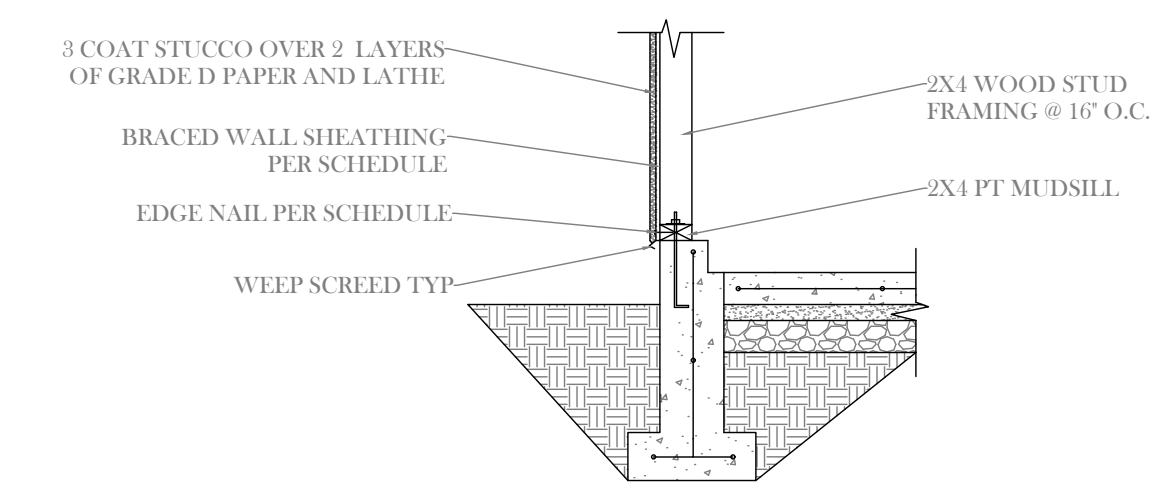
101 PERIMETER FOOTING



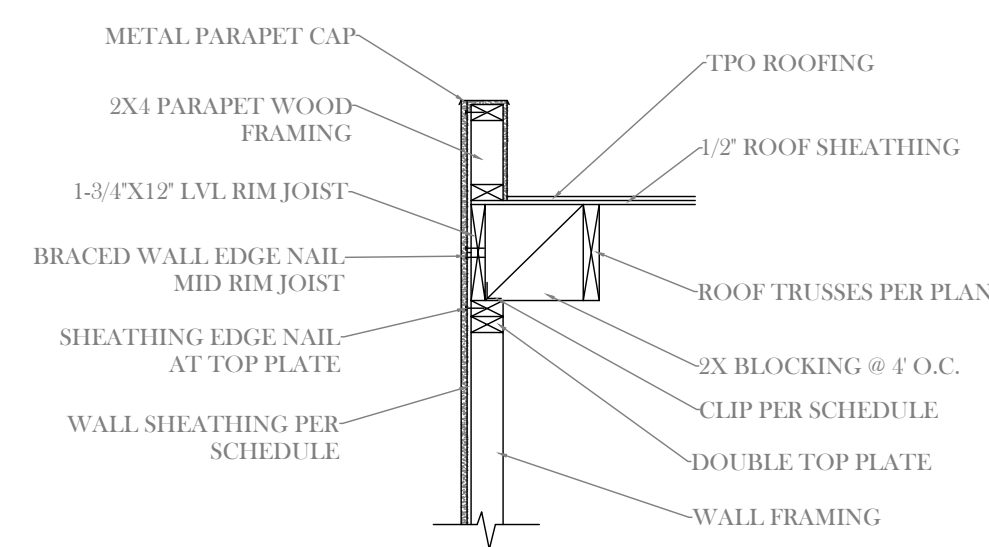
102 CONCRETE TIE BEAM



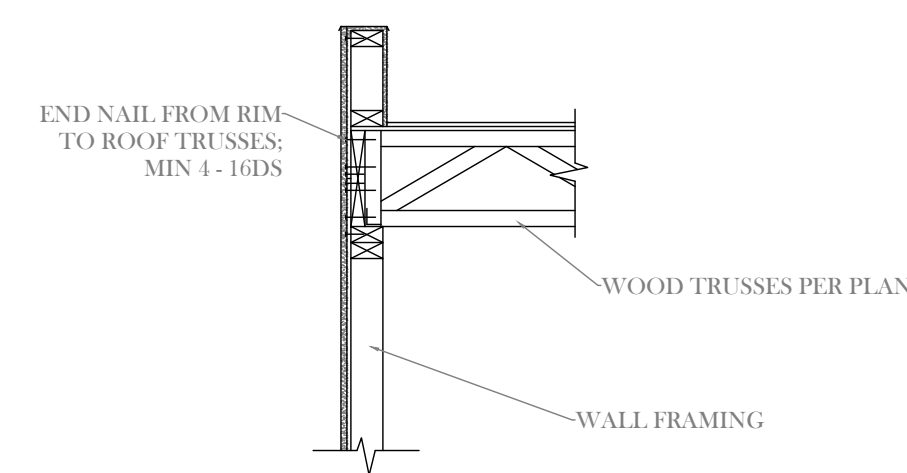
103 TIE BEAM INTERSECTION



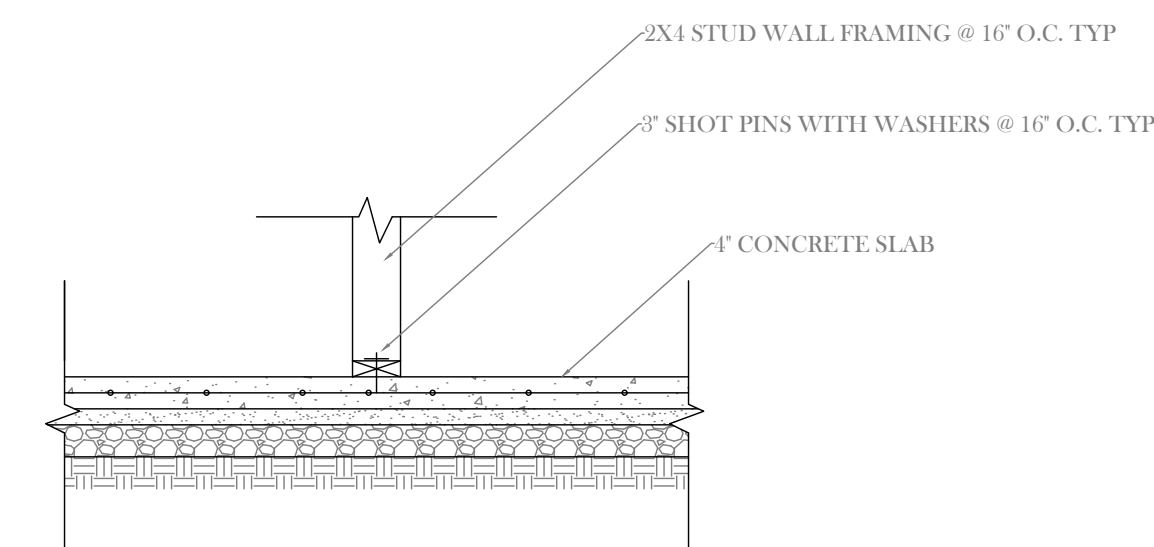
104 BRACED WALL CONNECTION



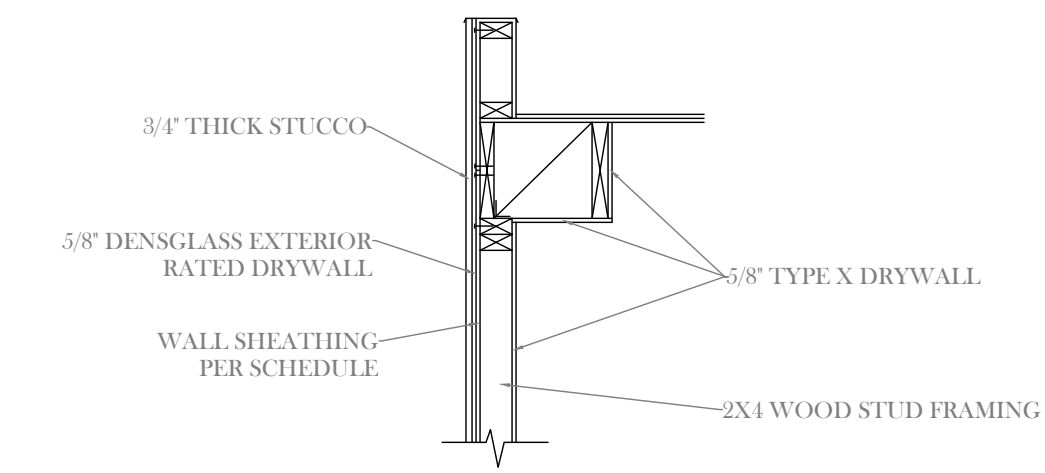
105 ROOF CONNECTION PARALLEL



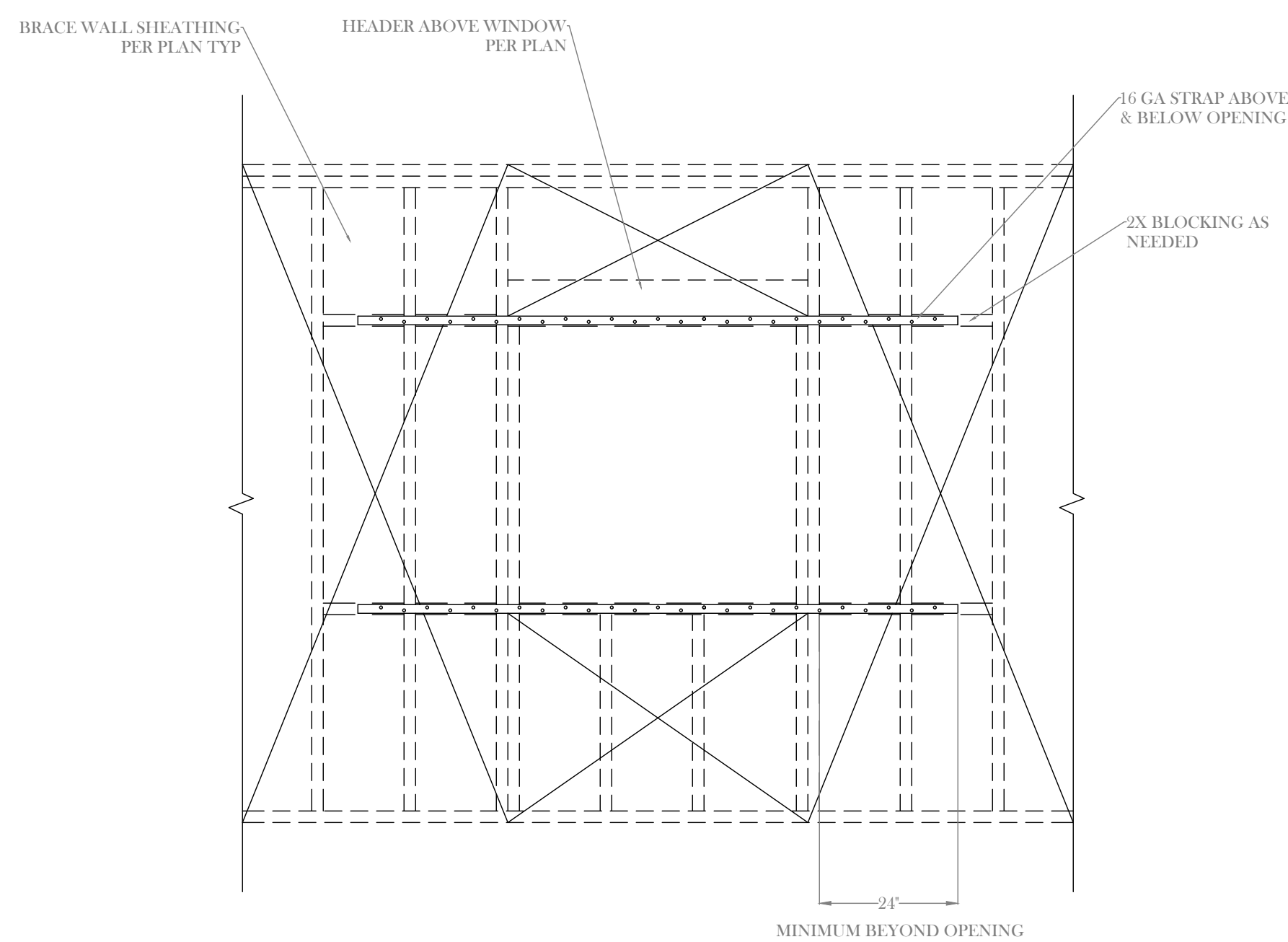
106 ROOF CONNECTION PERPENDICULAR
SEE 104 FOR DETAILS



107 INTERIOR WALL FRAMING DETAIL TYP



108 1 HOUR RATED WALL
UL U305 / GA WP 8130



109 BRACE WALL @ OPENING TYP

Cort Properties
(415) 573-7443

Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Construction
Details

Revisions

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Robert Cort

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16Jan24

Scale:

1/2" = 1' 0"

Page

CD1

Project:
Accessory
Building
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Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Electrical Plan

Revisions

No.	Descriptn	Date

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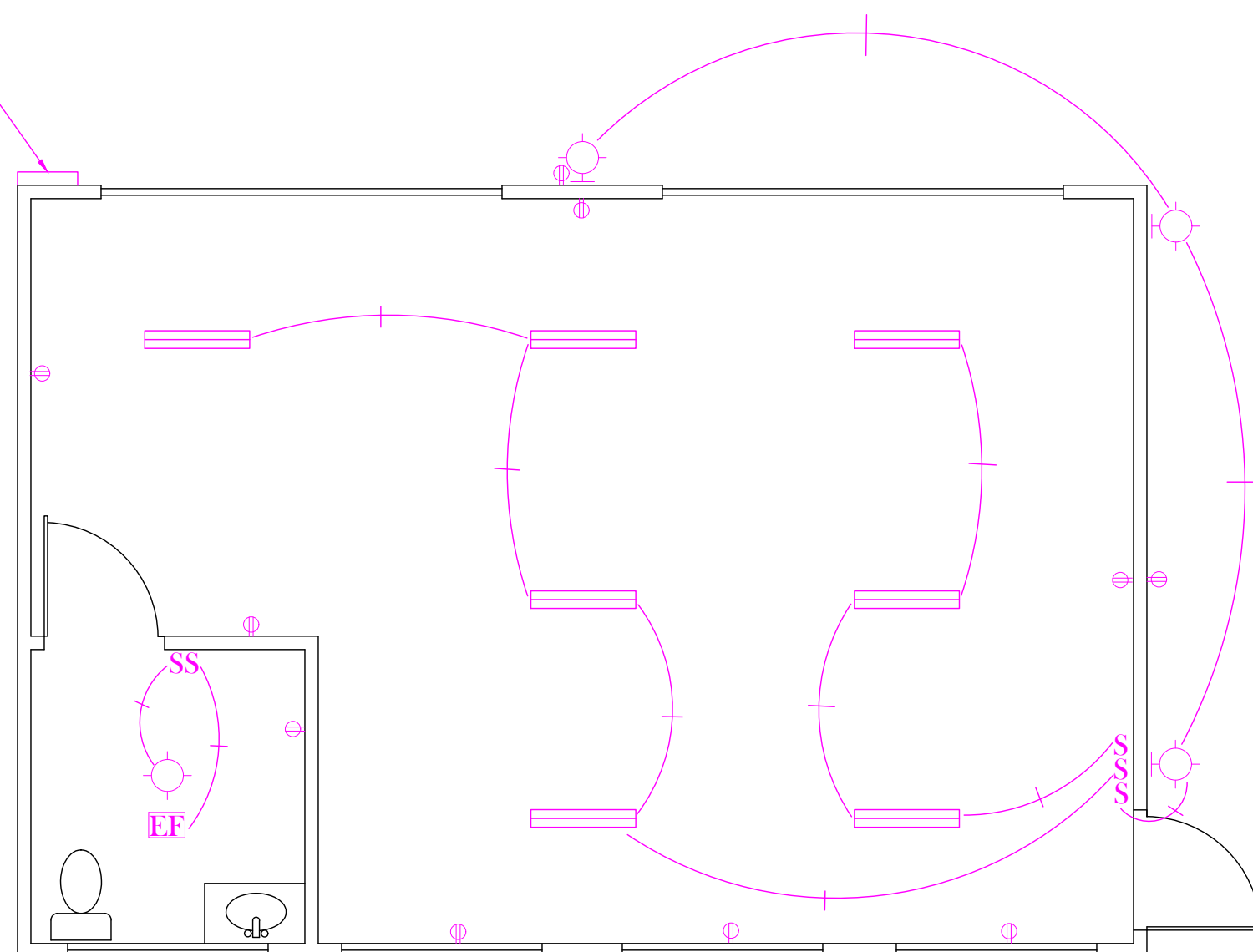
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E1

SUBPANEL FED BY MAIN PANEL
AT THE MAIN BUILDING



ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	COMMENTS
○	LIGHT FIXTURE	
▬▬	DROP LIGHT	
○	EXTERIOR LIGHT	
S	SWITCH	
EF	EXHAUST FAN	
⊙	RECEPTACLE	GFCI AS REQ

SCOPE OF WORK:
-EXISTING 100 AMP SUBPANEL UPGRADED TO 200 AMP;
-REPLACE FEEDERS TO 2/0 AWG THWN CONDUCTORS
-NEW ELECTRICAL THROUGHOUT PER PLAN
-RECEPTACLES IN BATHROOM AND EXTERIOR TO BE GFCI PROTECTED
-EXTERIOR RECEPTACLES TO BE WEATHERPROOF (WP) TYPE WITH PROPER WATER RESISTANT COVER
-ALL LIGHTING TO BE LED TYPE
-EXHAUST FAN & LIGHTING TO BE CONTROLLED SEPARATELY IN THE BATHROOMS
-EXTERIOR LIGHTS TO HAVE PHOTOCELL AND MOTION OR AUTOMATIC CONTROL
-EXTERIOR LIGHTING TO SHALL BE SUITABLE FOR WET LOCATIONS
-VACANCY SENSORS REQUIRED FOR LIGHTING CONTROL IN BATHROOMS

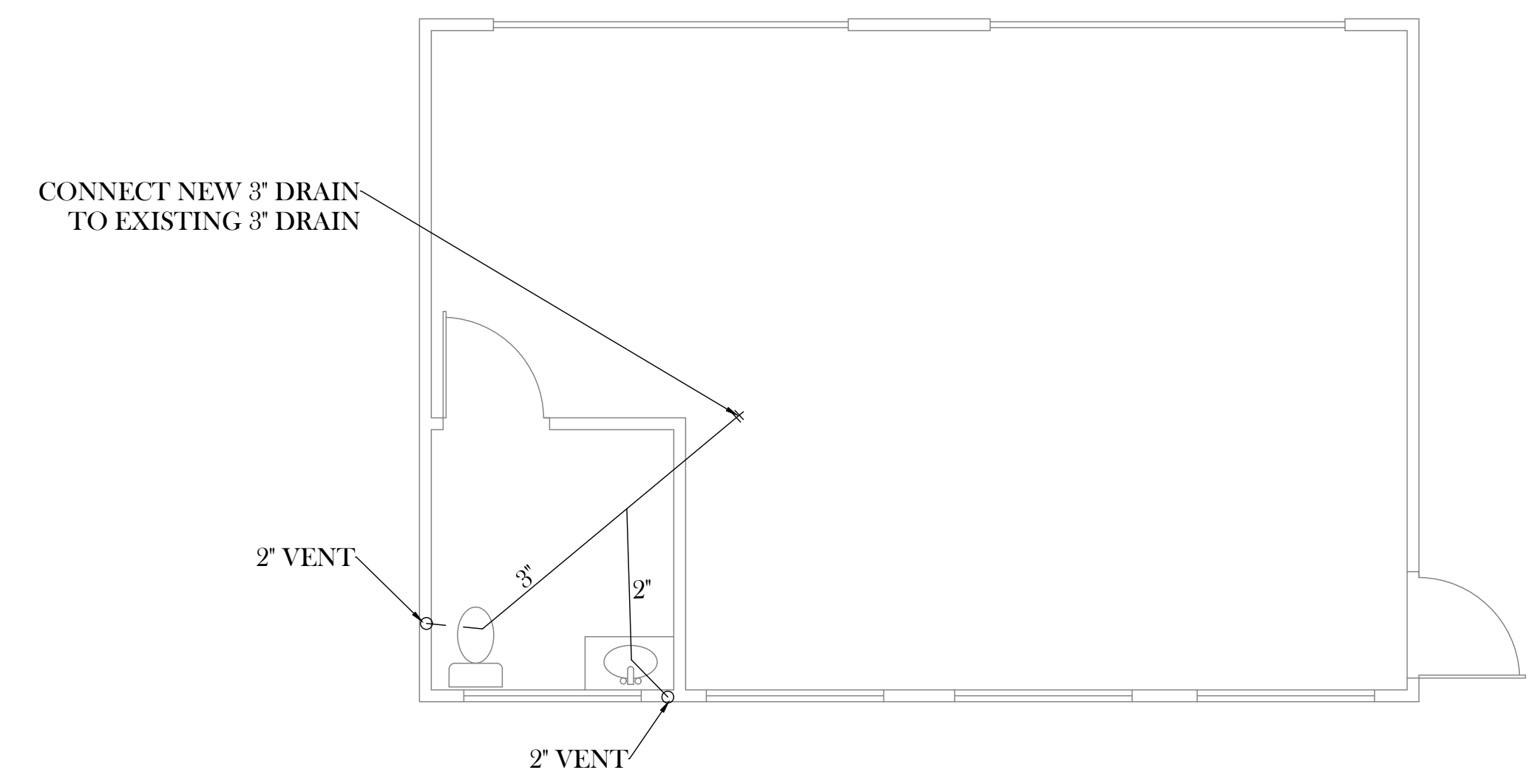
Project:
Accessory
Building
Repair/
Alteration

Project Address:
3011 Knightsen
Avenue,
Knightsen

Sheet Title:
Plumbing Plan

Revisions		
No.	Descrptn	Date

Drawn By:
Robert Cort
Date:
16Jan24
Scale:
1/4" = 1' 0"



SCOPE OF WORK:
-INSTALL NEW TOILET AND SINK IN
NEW CONFIGURED BATHROOM
-CONNECT NEW DRAIN LINES TO
EXISTING BUILDING MAIN DRAIN
-RECONFIGURE EXISTING COLD
WATER LINE FOR NEW TOILET AND
SINK
-ADD ON-DEMAND HOT WATER
HEATER UNDER THE SINK FOR HOT
WATER

1 PLUMBING PLAN