

# Proposed Residential Dwellings

APN # 375257003  
Almond Street, Martinez,  
Contra Costa County, Calif.



PROPOSED 3D VIEW

ABBREVIATIONS

ADJ. ADJUSTABLE	EXP. EXPOSED	LAM. LAMINATE	RECOMM. RECOMMENDS	UON UNLESS OTHERWISE NOTED
ALUM. ALUMINUM	EXT. EXTERIOR	LT. LIGHT	REF. REFERENCE	VERT. VERTICAL
ARCH. ARCHITECT/ARCHITECTURAL	FDN. FOUNDATION	MFR. MANUFACTURER	REFR. REFRIGERATOR	VIF. VERIFY IN FIELD
ASPH. ASPHALT	FF. FINISH FLOOR	MAX. MAXIMUM	REG. REGISTER	W. WEST
BD. BOARD	F.G. FIXED GLAZING	MC. MEDICINE CABINET	REQ. REQUIRED	W/ WITH
BLDG. BUILDING	FIN. FINISH	MECH. MECHANICAL	RET. RETURN	W/ WITHOUT
BLKG. BLOCKING	F.L. FLOOR	MEMB. MEMBRANE	RM. ROOM	WC WATER CLOSET
BM. BEAM	F.O.C. FACE OF CONCRETE	MIN. MINIMUM	RWL. RAIN WATER LEADER	WD. WOOD
B.O. BOTTOM OF	F.O.F. FACE OF FINISH	MTL. METAL	S. SOUTH	WIND. WINDOW
B.R. BOTTOM-UP ROOF	F.O.S. FACE OF STUD	(N) NEW	SA. SUPPLY AIR	WP. WATERPROOF
	F.O.P. FACE OF PLYWOOD	N.I.C. NOT IN CONTRACT	S.A.D. SEE ARCHITECTURAL DRAWING	
	FURN. FURNACE	NO. or #NUMBER	S.E.D. SEE ELECTRICAL DRAWING	
CLG. CEILING	GA. GAUGE		SF. SUB-FLOOR	
CLR. CLEAR	GALV. GALVANIZED	O/ OVER	SHT. SHEET	
CNTL. CONTROL	GCO. GRADE CLEAN-OUT	O.C. ON CENTER	SHTG. SHEETING	
CONC. CONCRETE	GND. GROUND	O.D. OUTSIDE DIAMETER	S.L.D. SEE LANDSCAPE DRAWING	
CONT. CONTINUE	GWB. GYPSUM WALL BOARD	O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED	S.P. SINGLE POLE	
CTR. CENTER	GYP BD. GYPSUM BOARD	O.F.O.I. OWNER FURNISHED OWNER INSTALLED	S/P. SHELF & POLE	
	G.S.M. GALVANIZED SHEET METAL	OPNG. OPENING	SQ. SQUARE	
DBL. DOUBLE	HB. HOSE BIBB	PL. PLATE	SS. SANITARY SEWER / WASTE	
D.F. DOUGLAS FIR	HC. HOLLOW CORE	PLYWD. PLYWOOD	S.S. SINGLE SHELF	
DN. DOWN	HDR. HEADER	P.T. PRESSURE TREATED	S.S.D. SEE STRUCTURAL DRAWING	
D.P. DOUBLE POLE	HR. STL. HOT-ROLLED STEEL	PT. POINT	STD. STANDARD	
D.S. DOWN SPOUT	HVAC. HEATING, VENTILATION & AC	R. RADIUS	T & G. TONGUE AND GROOVE	
DWG. DRAWING	HW. HOT WATER HEATER	RA. RETURN AIR	T.O. TOP OF	
(E) EXISTING	ID. INSIDE DIMENSION	RDWD. REDWOOD	T.O.F. TOP OF FINISH FLOOR	
EA. EAST	INSUL. INSULATION		T.O.P. TOP OF PLATE	
EA. EACH OR EXHAUST AIR	INT. INTERIOR		T.O.S. TOP OF SLAB	
ELEV. ELEVATION			TP. TOP PLATE OR TOILET PAPER	
EQ. EQUAL			T.S. TUBE STEEL	
EW. EACH WAY			TYP. TYPICAL	

SYMBOL LEGEND

<b>ROOM NAME</b> 10'6" x 12'	ROOM NAME ROOM DIMENSIONS	1 A101	Ref = VIEW NUMBER EXTERIOR BUILDING ELEVATION MARK SHEET NUMBER
101	DOOR IDENTITY TAG	1 A101	VIEW NUMBER SECTION SHEET NUMBER
1	WALL TYPE TAG	1 Ref A101	VIEW NUMBER INTERIOR ELEVATION MARK SHEET NUMBER
1	WINDOW IDENTITY TAG	1 Ref AXX	VIEW NUMBER CALLOUT FOR ENLARGED VIEW/DETAIL SHEET NUMBER

UNIT A  
3 BDRM FLOOR PLAN

Number of Rooms: 7  
Number of Bathrooms: 2  
Width of house: 26'-0"±  
Depth of house: 50'-0"±  
Total living Area: 1300 sq.ft.  
Front Porch: 16 sq.ft.  
Cars: 1 Car  
Floor Plate lines: 8'-0"

Architectural Style: Ranch  
Exterior Finish: Combination  
Wall Structure: 2 x 6 studs  
Roof Framing: Truss  
Roof Pitch: 5:12  
Roof Peak: 25'-0" ± (Grade to Peak)

UNIT B  
3 BDRM FLOOR PLAN

Number of Rooms: 7  
Number of Bathrooms: 2  
Width of house: 50'-0"±  
Depth of house: 26'-0"±  
Total living Area: 1300 sq.ft.  
Front Porch: 16 sq.ft.  
Cars: 1 Car  
Floor Plate lines: 8'-0"

Architectural Style: Ranch  
Exterior Finish: Combination  
Wall Structure: 2 x 6 studs  
Roof Framing: Truss  
Roof Pitch: 5:12  
Roof Peak: 25'-0" ± (Grade to Peak)

LOT COVERAGE:

Lot Sq Ft. Gross 9640  
Living Area 2600 sq. ft.  
Car Garages 968  
covered Porch 80  
living + car + porch 3648 sq. ft.

3648 / 9640 = 37.8% Net use  
Open Area 2386  
Percent of Lot = 24.8%

Applicable Codes (2022 CRC, CPC, CMC, CEC, CGBSC, CA Energy Code, local ordinances, state law, etc.).

Occupancy Group - (R-3/U for Single Family Dwelling)

Type of Construction - (Type V-B for wood framed construction)

2022 CBC 2308 Light-Frame Construction

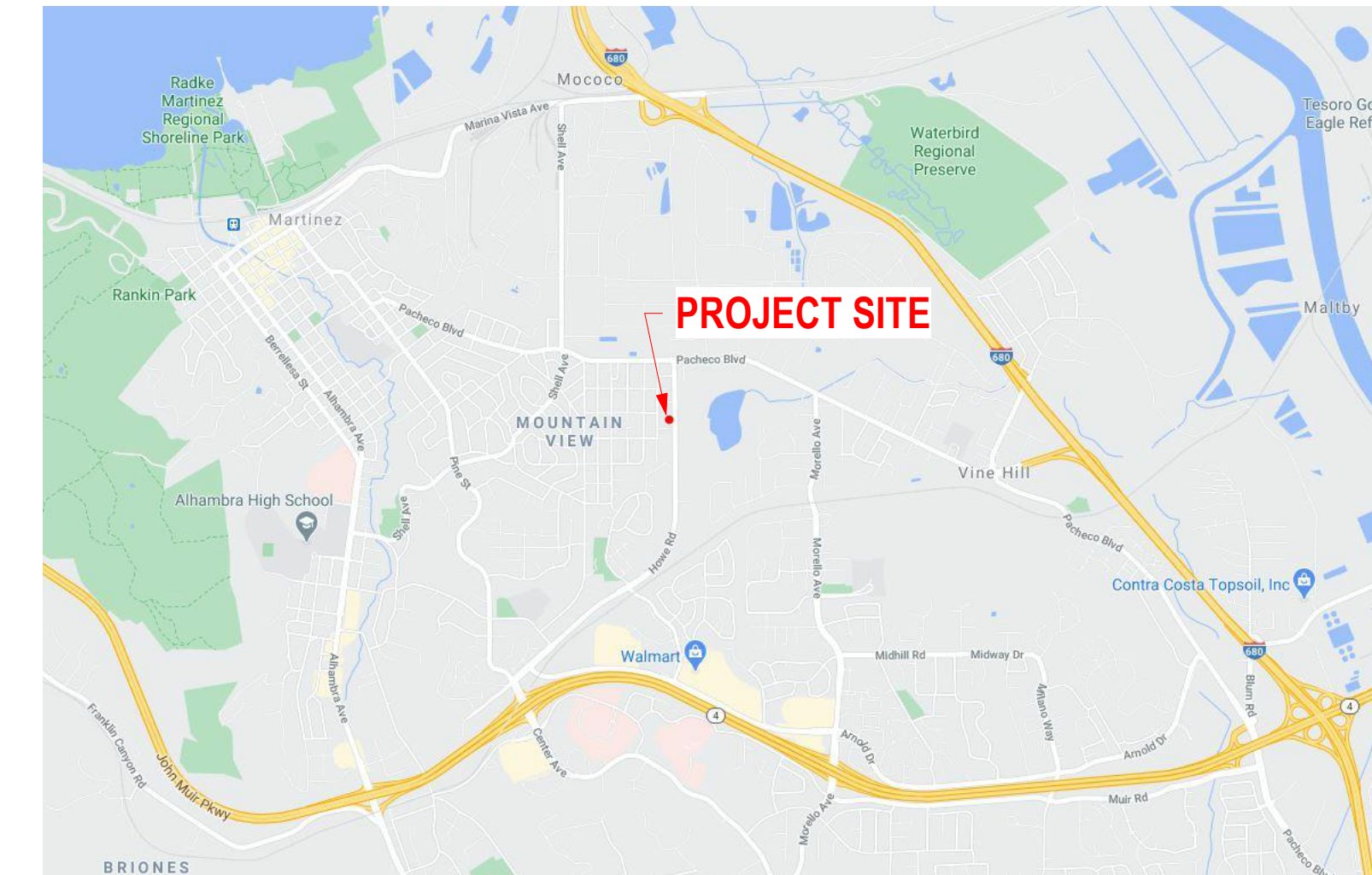
Occupancy Groups: R-3/U Wood

Type of Construction: Conventional Light-Frame Construction

Sprinklers: Yes

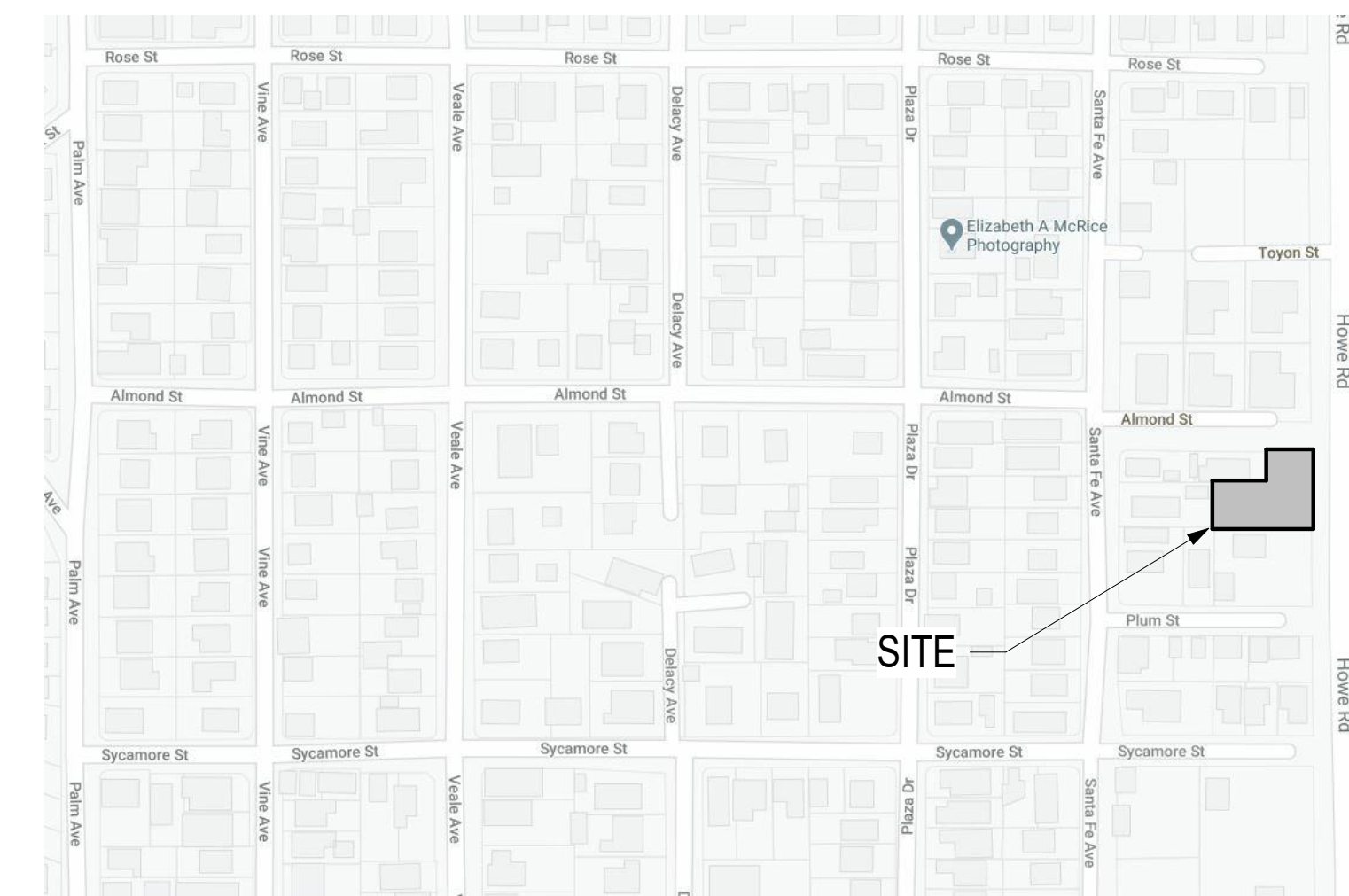
Stories: Two (2)

Area of Work (sq.ft.) A=2x1300, B=2x1300



1 VACINITY MAP

NOT TO SCALE



2 SITE MAP

NOT TO SCALE

Sheet No.	Sheet Name	DISCRPTION	Current Revision	Revision Date
G001	COVER SHEET		B	12/08/25
A0.1	SITE PLAN	Proposed Site Plan	C	12/08/25
A1.0	BUILDING A & B	FOUNDATION PLANS AND DETAILS	B	12/08/25
A1.1	BUILDING A & B	2ND FLOOR PLAN & BUILDING SECTIONS	A	7/25/25
A2.1	ARCHITECTURAL BLDG. A & B	1ST FLOOR PLANS	A	7/25/25
A2.2	ARCHITECTURAL BLDG. A & B	2ND FLOOR PLANS	A	7/25/25
A3.1	BUILDING "A"	ELEVATIONS	A	7/25/25
A3.2	BUILDING "B"	ELEVATIONS	A	7/25/25
A4.0	REFLECTED CEILING PLANS	1ST & 2ND FLOOR PLANS & SECTIONS	A	7/25/25
A4.1	ROOF PLANS	BUILDINGS A & B	A	7/25/25
A5.1	ARCHITECTURAL	DETAILS	B	12/08/25
A5.2	ARCHITECTURAL	DETAILS	A	7/25/25
M1.1	MECHANICAL	1ST & 2ND FLOOR PLANS	A	7/25/25
E1.1	ELECTRICAL	1ST & 2ND FLOOR PLANS	A	7/25/25
P1.1	PLUMBING	1ST & 2ND FLOOR PLAN - DOMESTIC WATER	A	7/25/25
P1.2	PLUMBING	1ST & 2ND FLOOR PLANS - DRAIN, WASTE & VENT	A	7/25/25

**Proposed Residential For:**  
APN 375257003 Almond Street  
Martinez, Contra Costa County, Calif.  
CHS Developmet Co.

Drawing Title:  
**COVER SHEET**

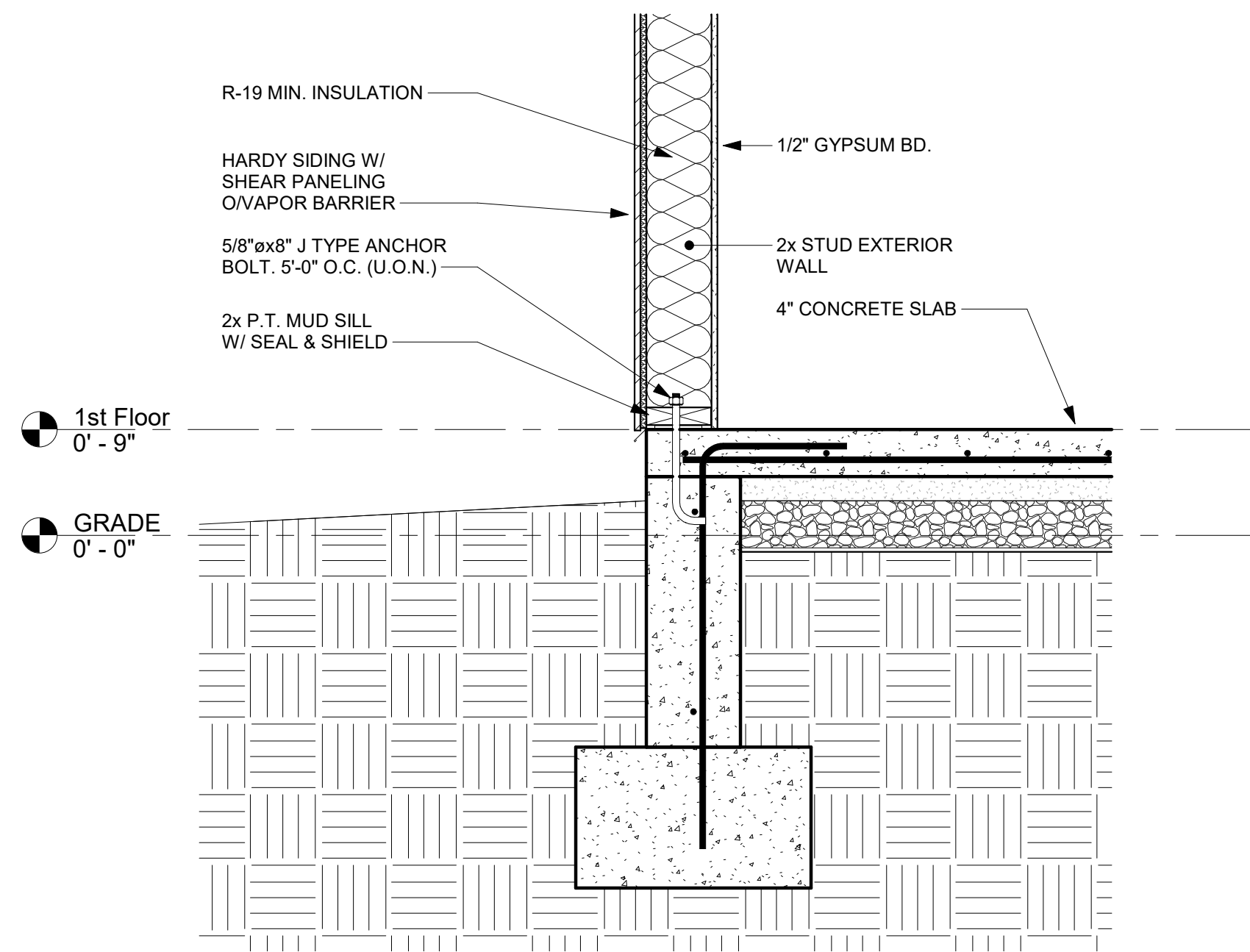
No.	Revisions	Date
A	Issue to Planning Dept.	7/25/25
B	Re-issue to Planning Dept.	12/08/25

Date  
Drawn by RDM  
Checked by CS  
Project number  
Scale As indicated  
Sheet No.

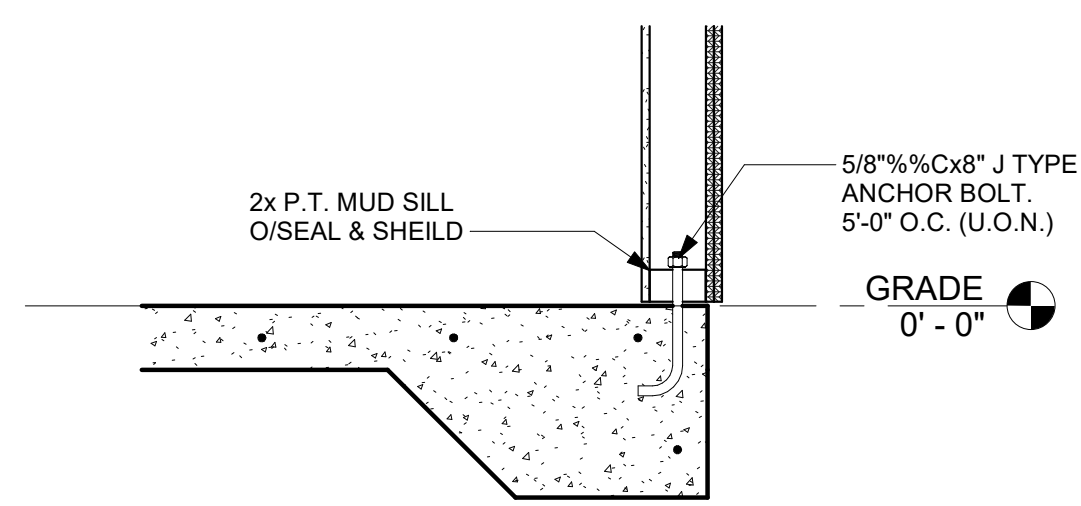
**G001**



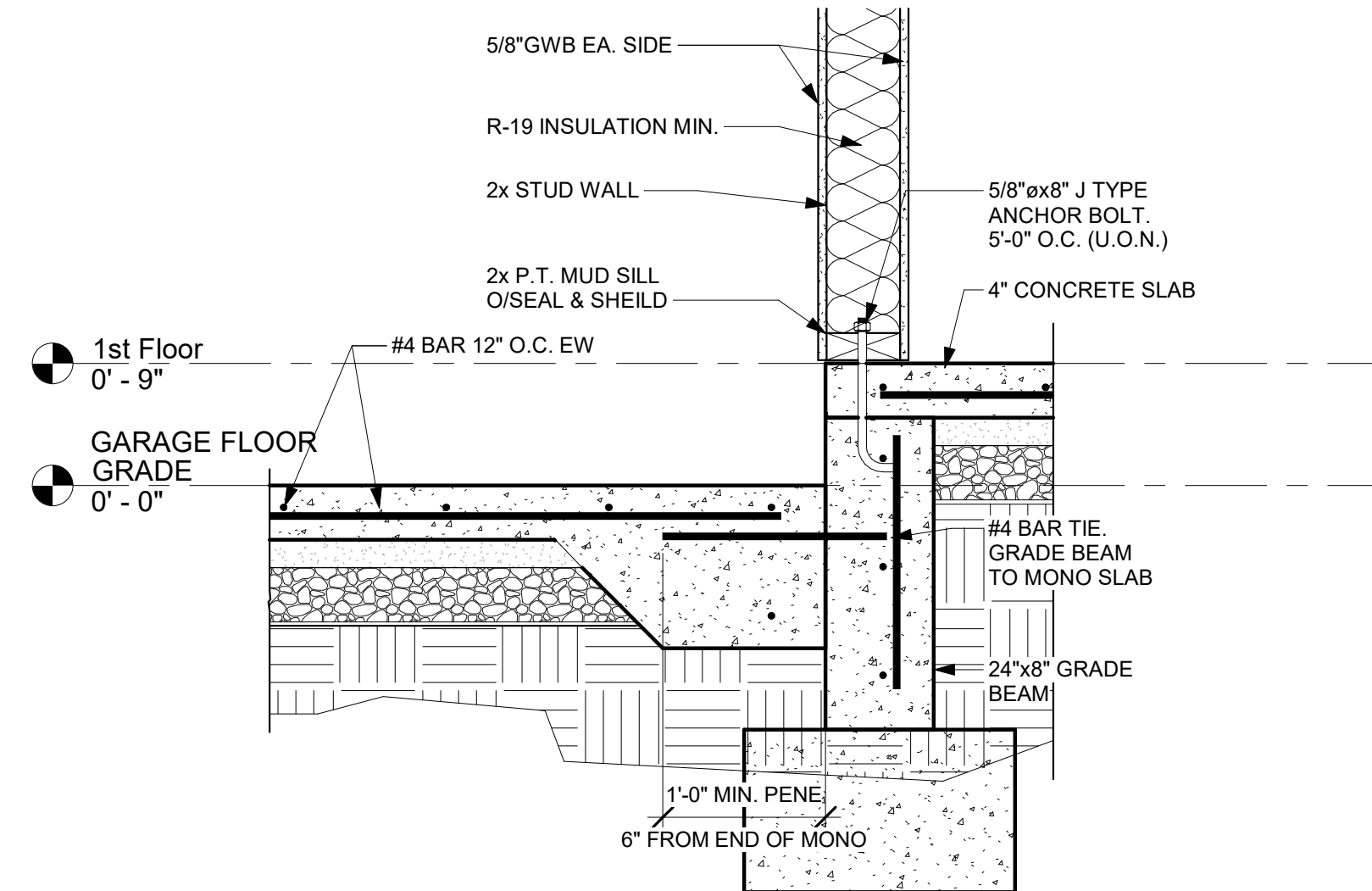




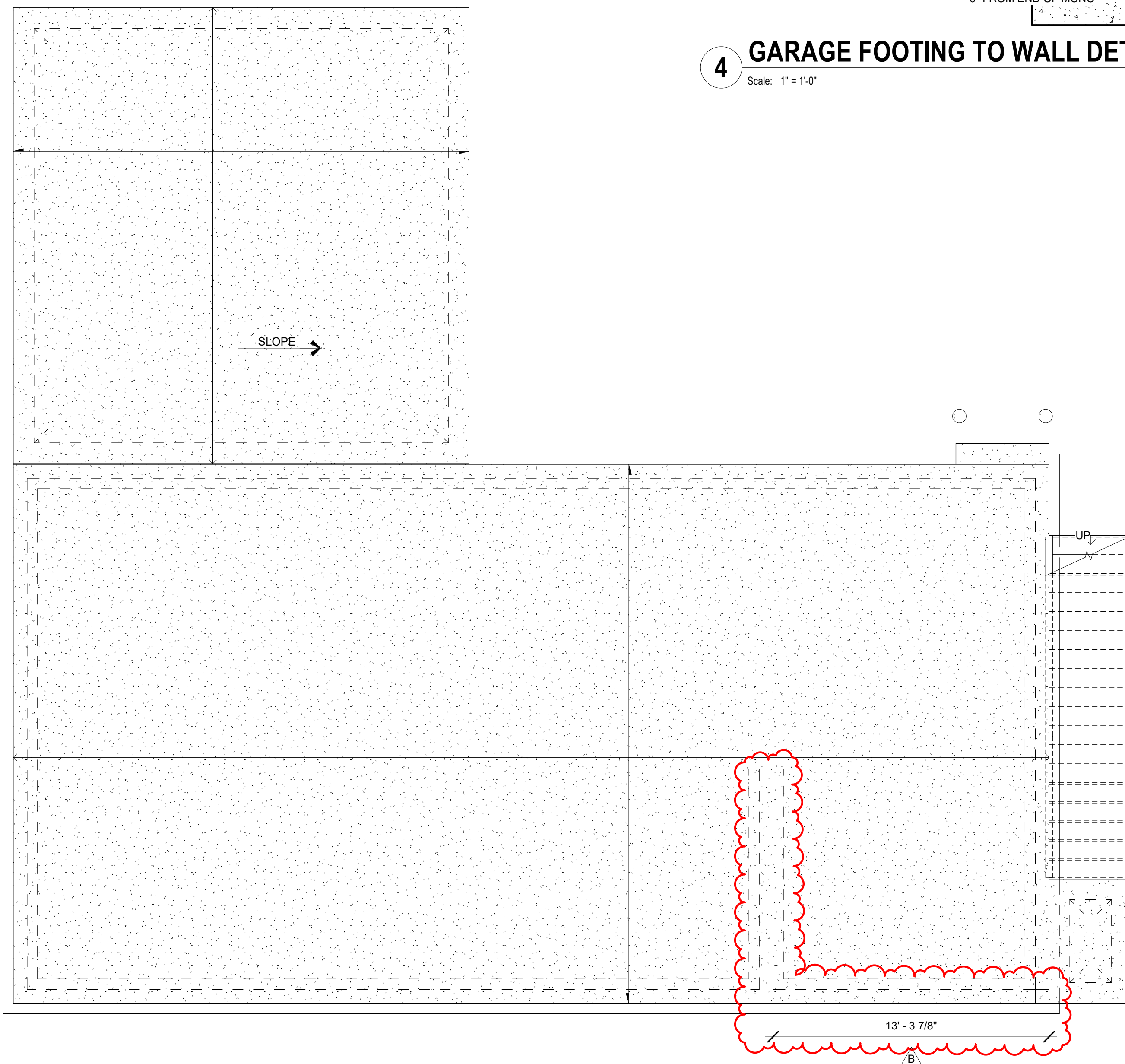
**5 FOOTING TO WALL DETAIL**  
Scale: 1" = 1'-0"



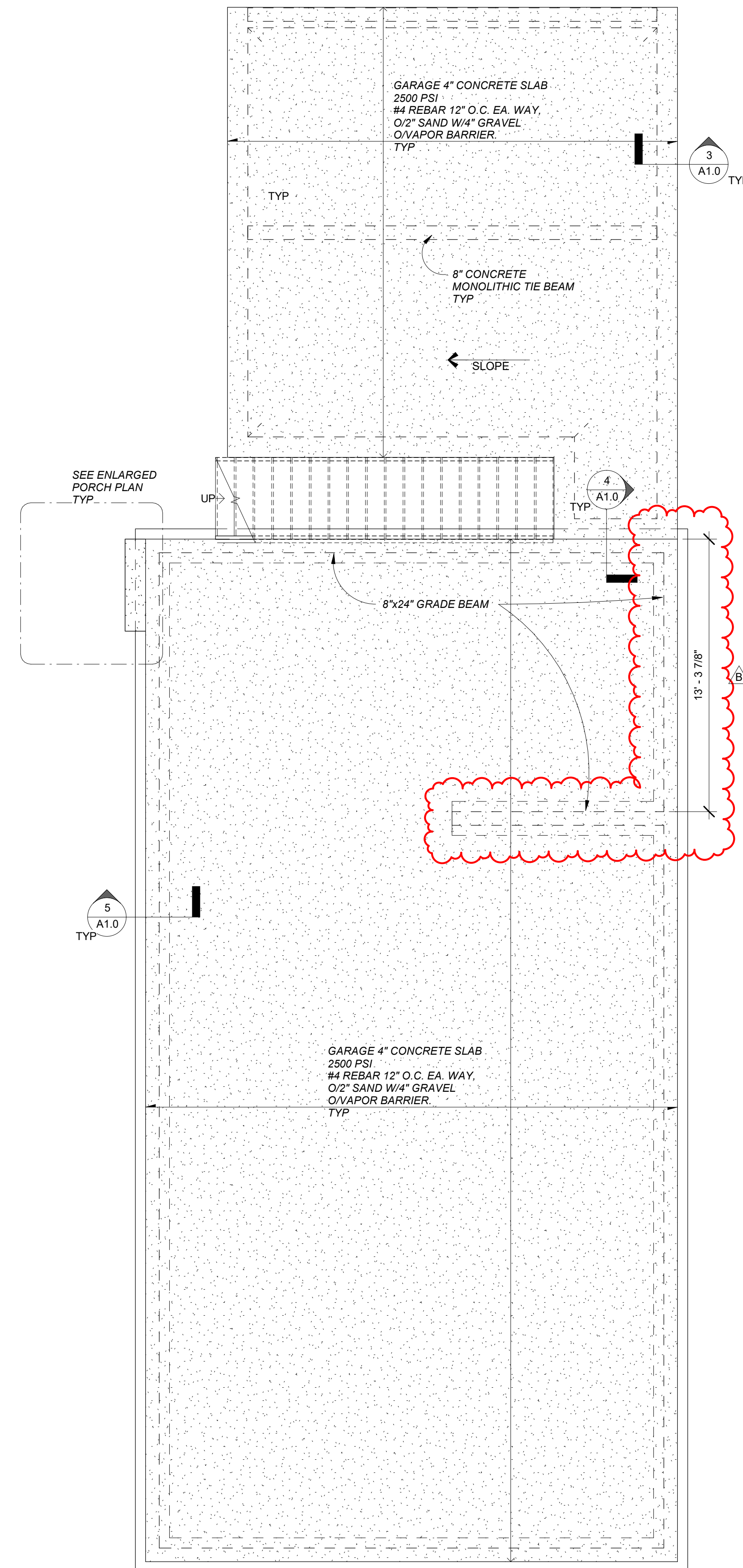
**3 GARAGE FOOTING DETAIL**  
Scale: 1" = 1'-0"



**4 GARAGE FOOTING TO WALL DETAIL**  
Scale: 1" = 1'-0"



**2 FOUNDATION PLAN - BUILDING B**  
Scale: 1/4" = 1'-0"



**1 FOUNDATION PLAN - BUILDING A**  
Scale: 1/4" = 1'-0"

**Proposed Residential For:**  
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Drawing Title:  
**BUILDING A & B**

**FOUNDATION PLANS  
 AND DETAILS**

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**A1.0**





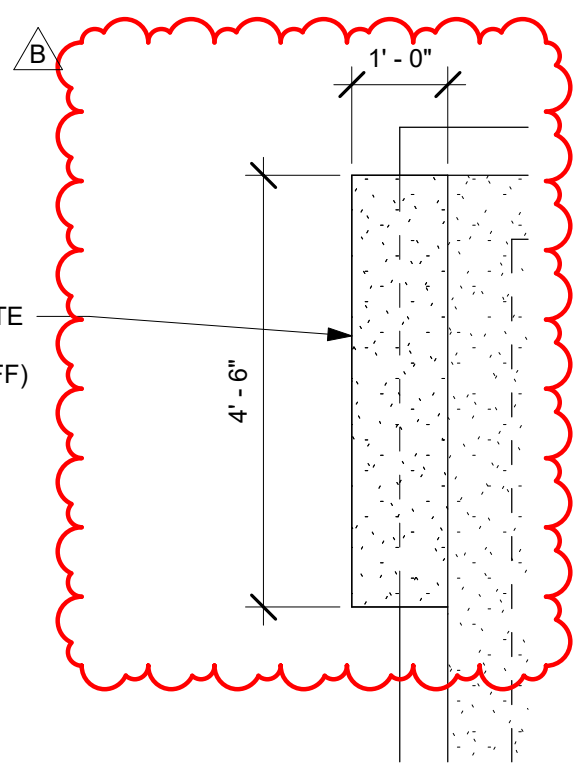






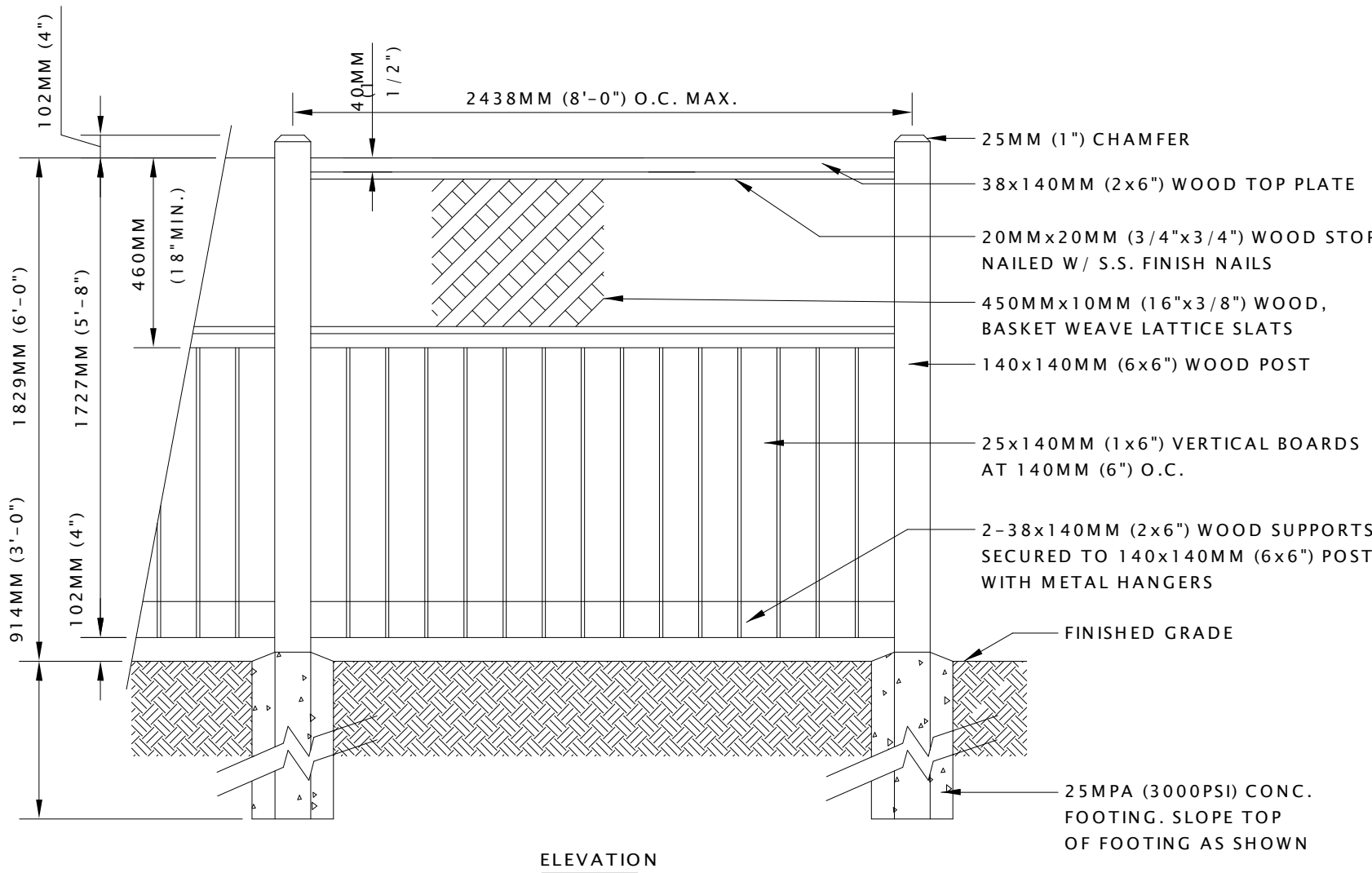
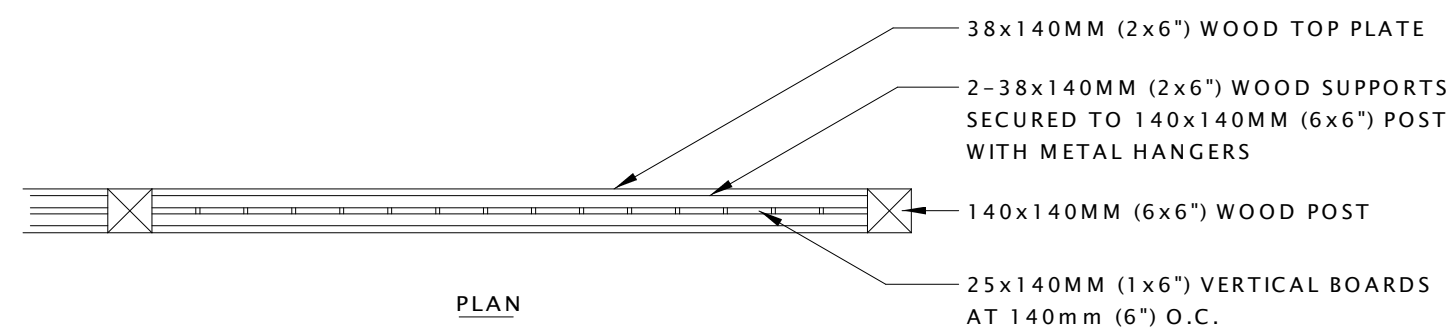






**7 1ST FLOOR PORCH PLAN**

Scale: 1/2" = 1'-0"

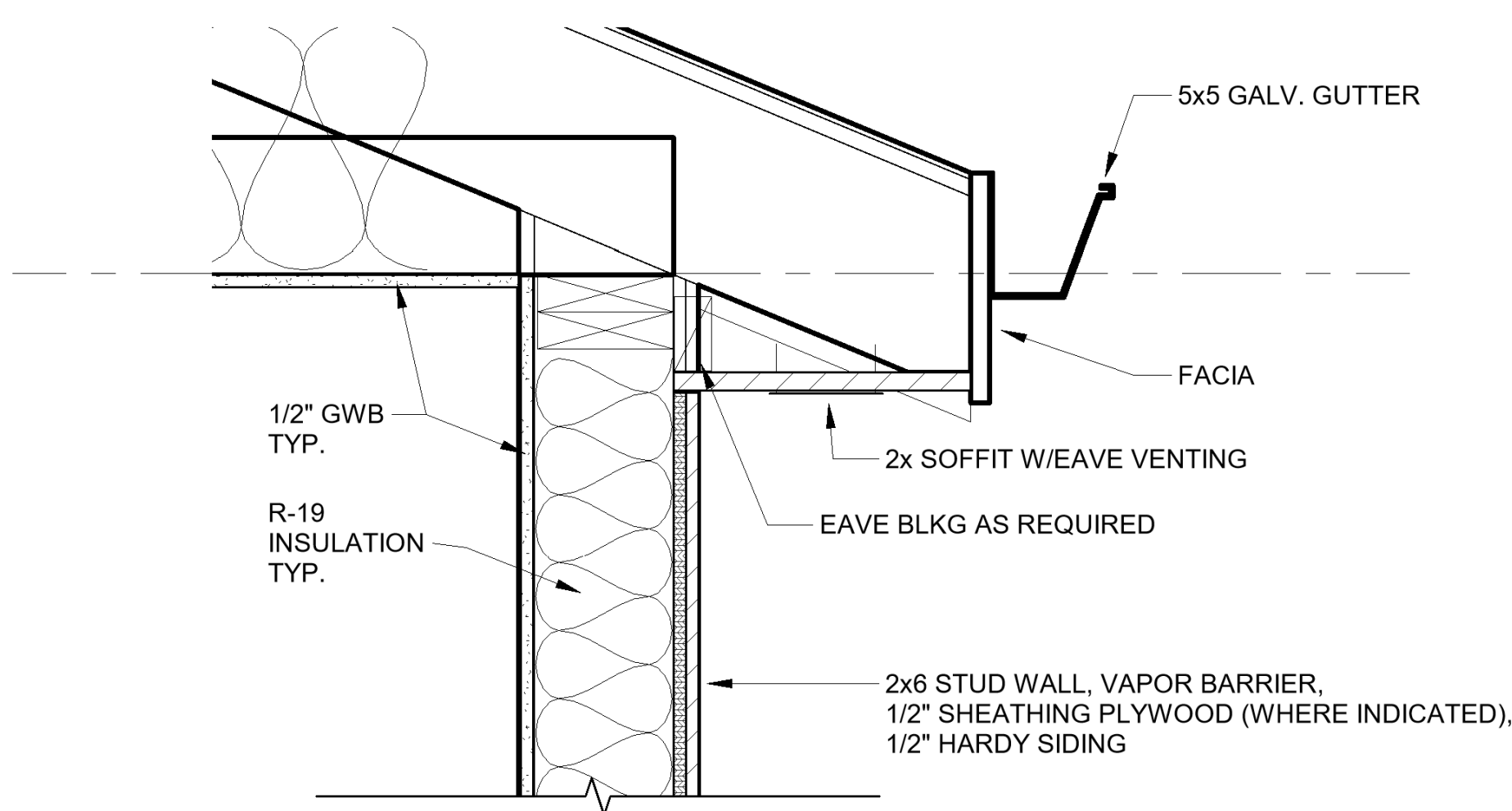


**SPECIFICATIONS:**

1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR KNOTS, UNLESS NOTED OTHERWISE ON DRAWING.
2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED.
3. ALL WOOD TO BE COATED WITH TWO COATS OF SOLID STAIN.

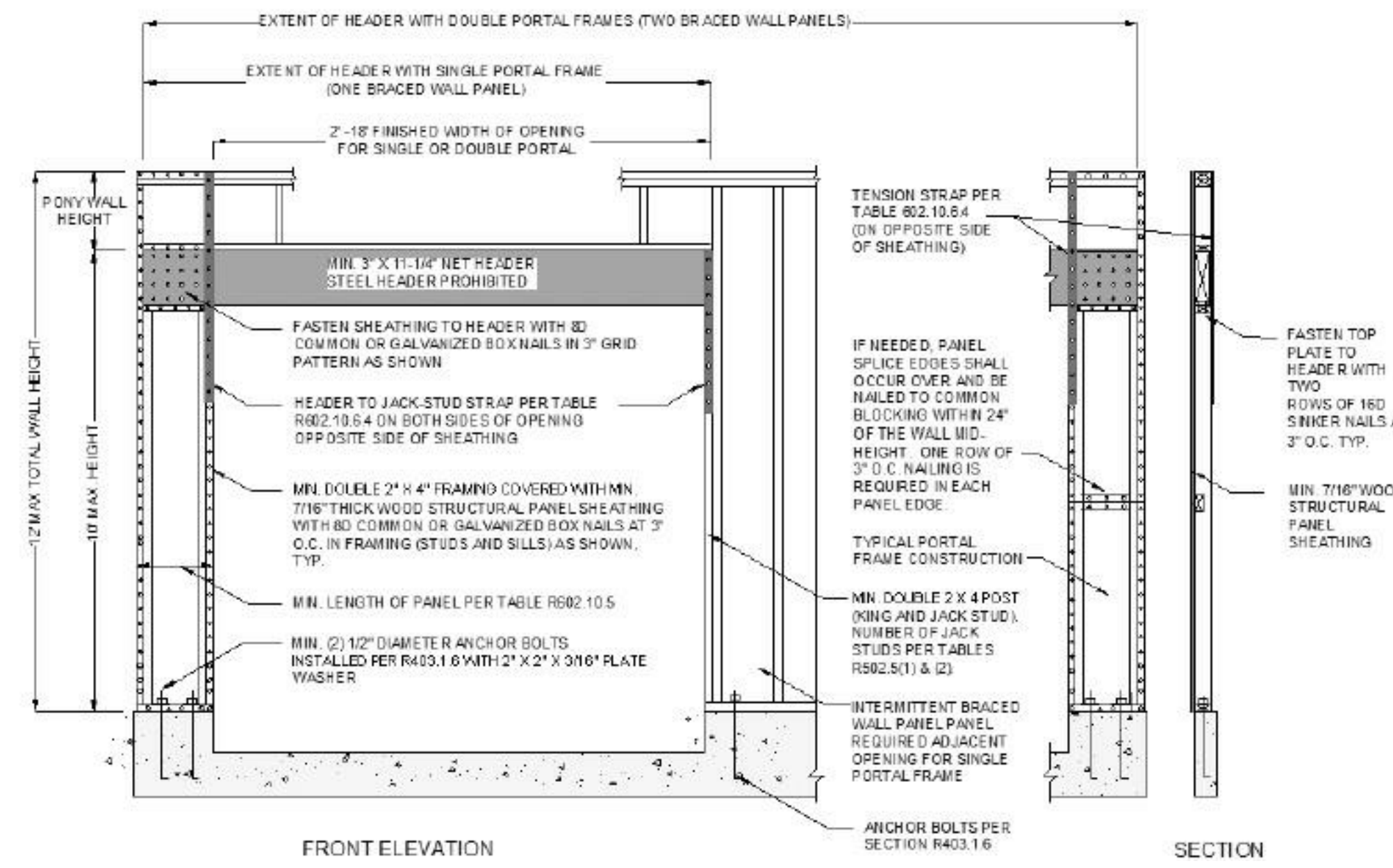
**8 FENCE DETAIL**

NOT TO SCALE



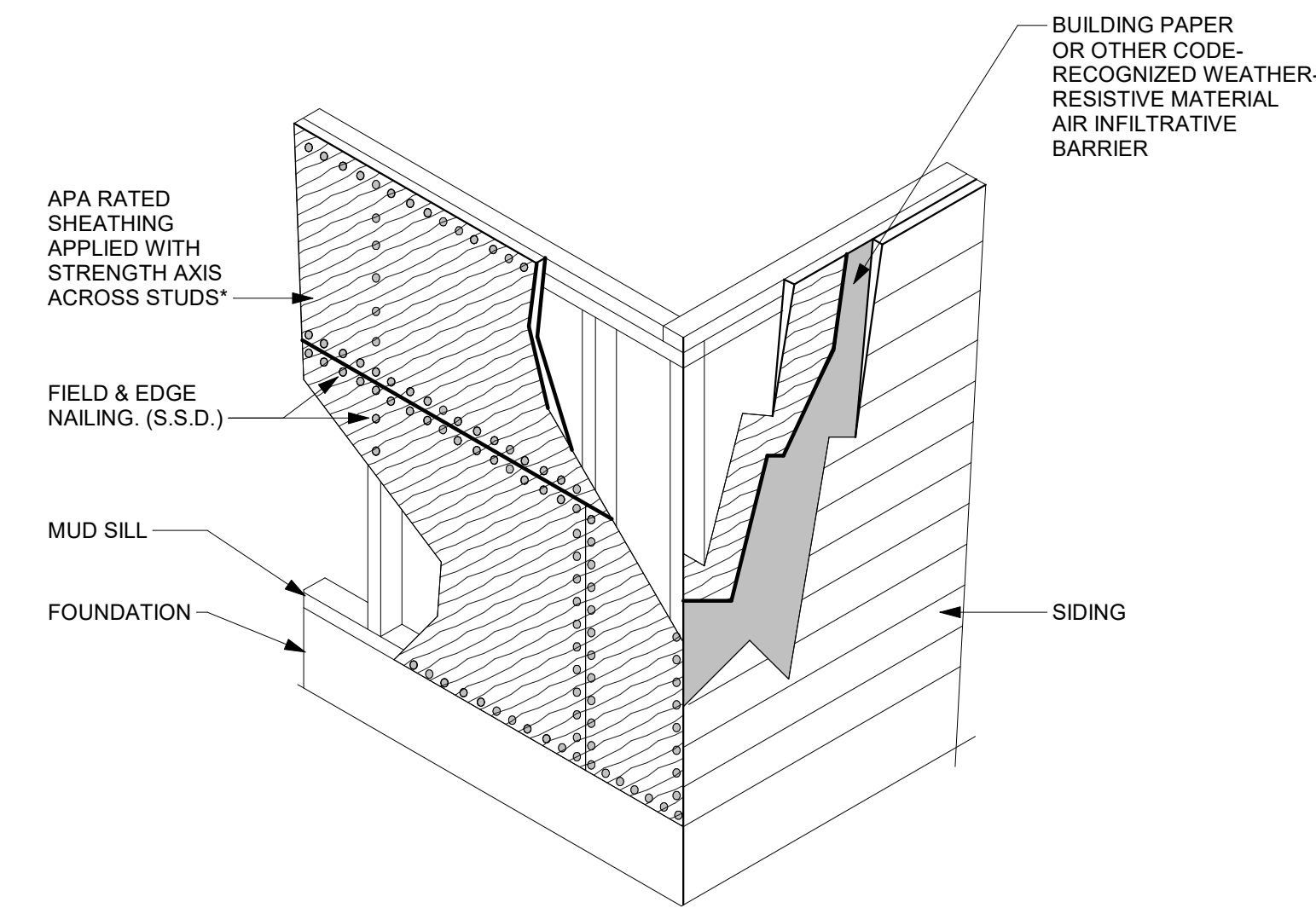
**9 TYPICAL EAVE DETAIL**

Scale: 1/2" = 1'-0"



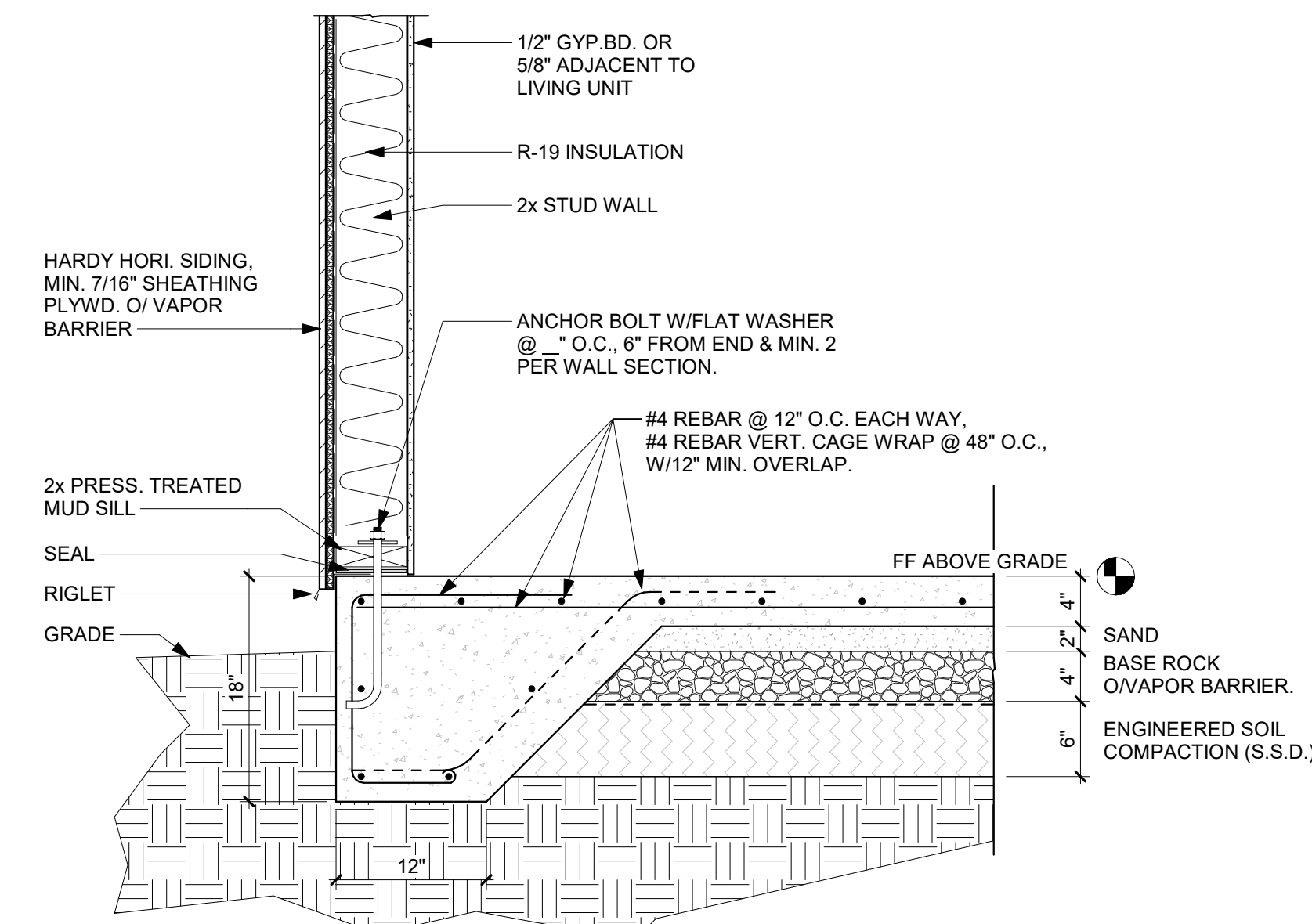
**4 GARAGE DOOR PORTAL DETAIL**

NOT TO SCALE



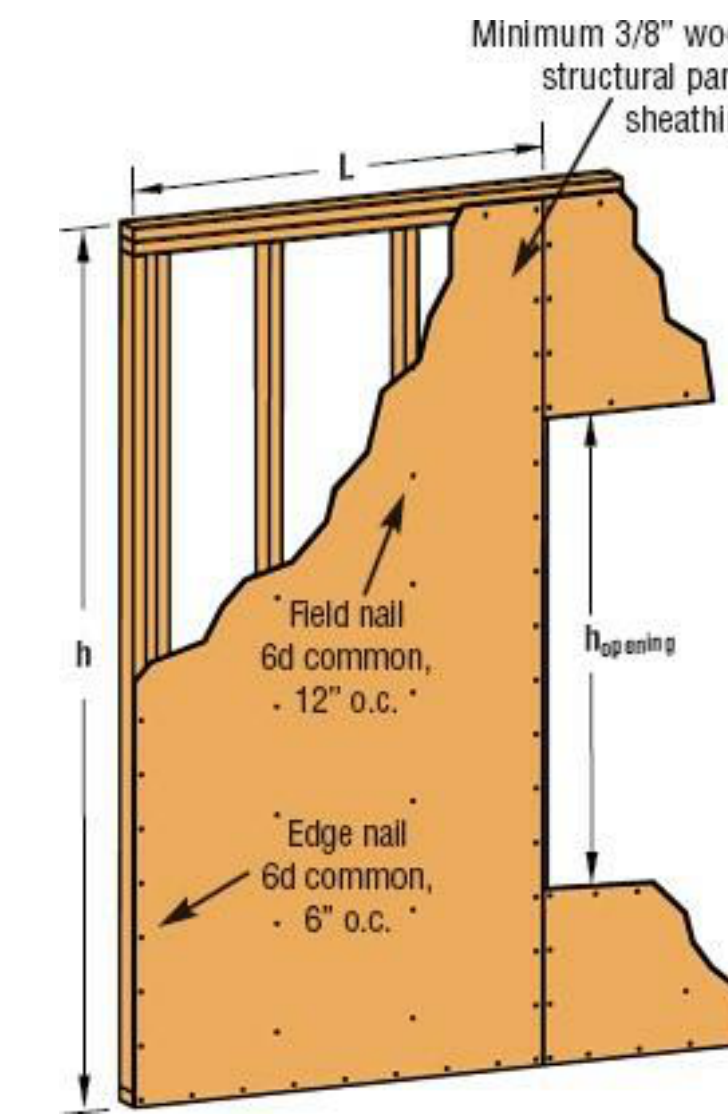
**5 SIDING SECTION**

NOT TO SCALE



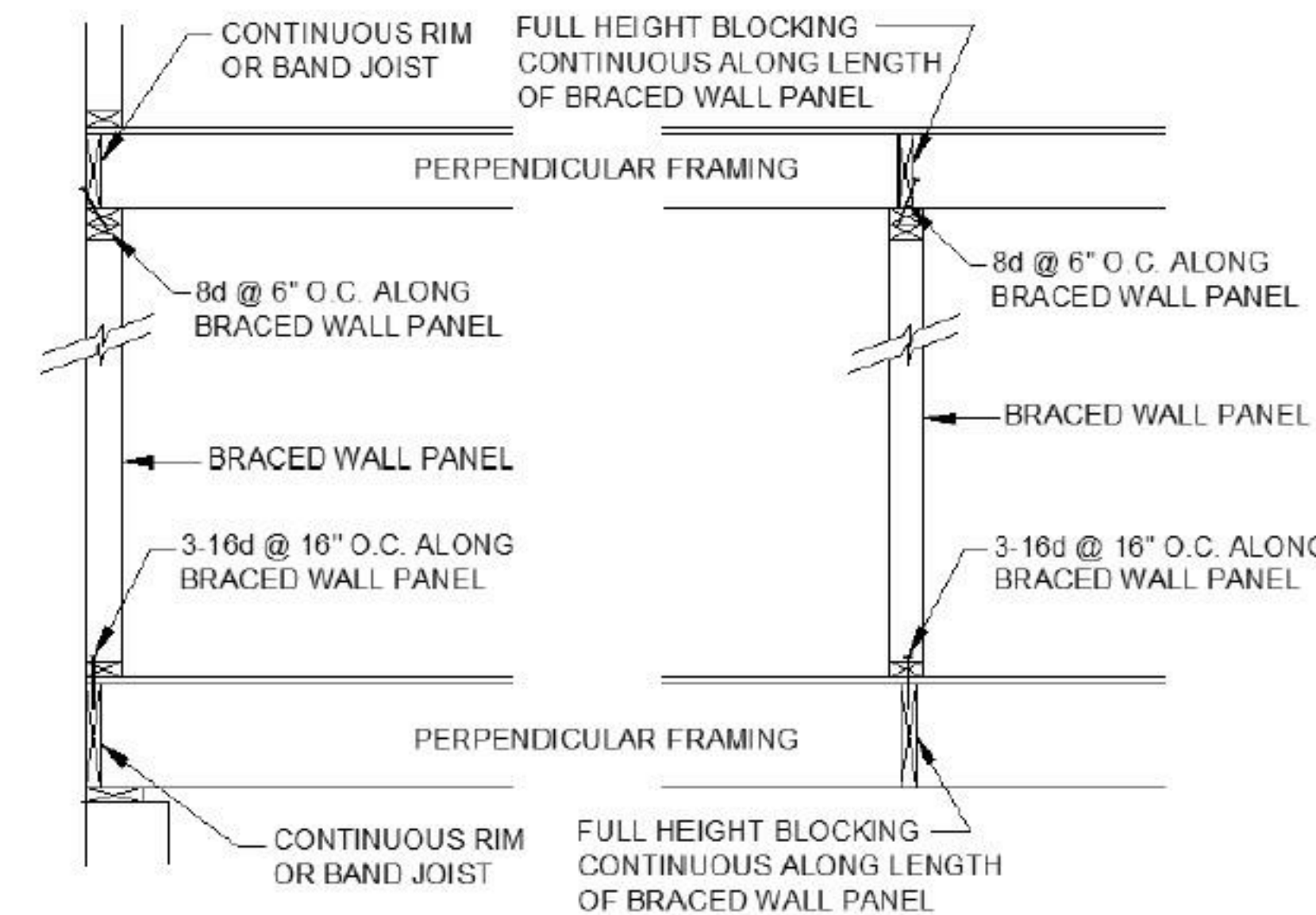
**6 FOUNDATION WALL DETAIL**

Scale: 1" = 1'-0"



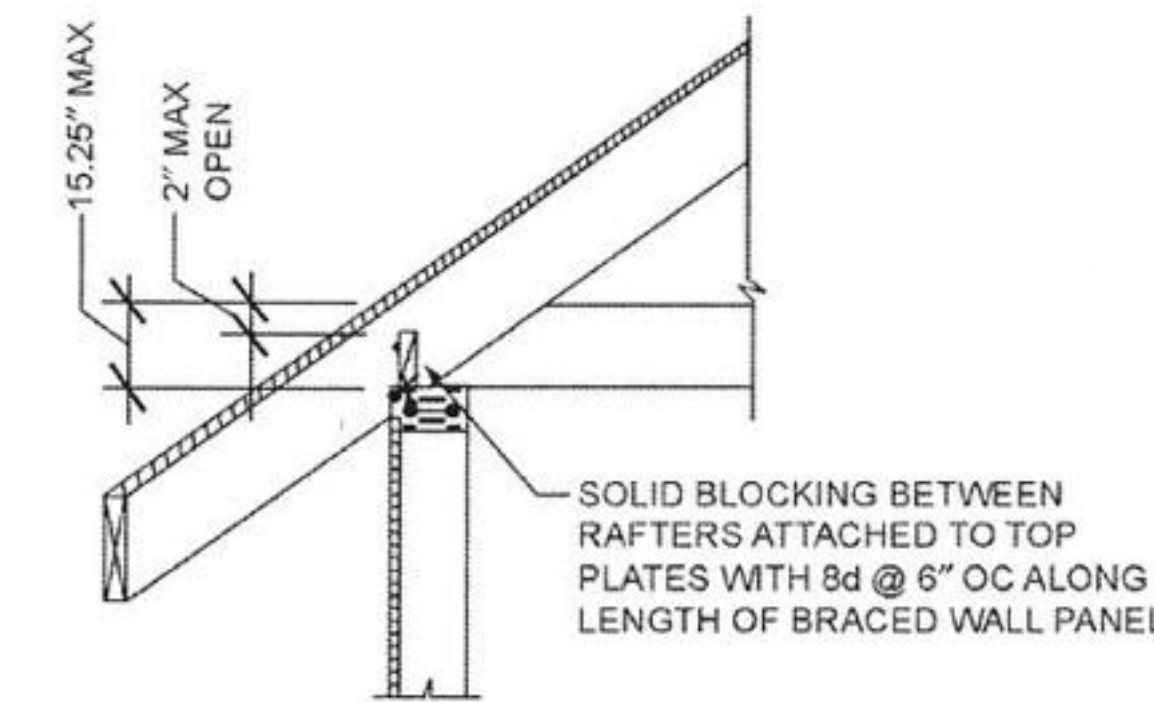
**1 BRACED WALL CONTINUOUS DETAIL**

NOT TO SCALE



**2 BRACED WALL TO ROOF DETAIL**

NOT TO SCALE



For SI: 1 inch = 25.4 mm.

**FIGURE R602.10.8.2(1)  
BRACED WALL PANEL CONNECTION  
TO PERPENDICULAR RAFTERS**

❖ See the commentary for Section R602.10.8.2

Figure 2. 2012 IRC Figure R602.10.8.2(1).

**3 WALL TO ROOF CONNECTION DETAIL**

NOT TO SCALE

**Proposed Residential For:**  
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 CHS Developmet Co.

Drawing Title:  
**ARCHITECTURAL**

DETAILS

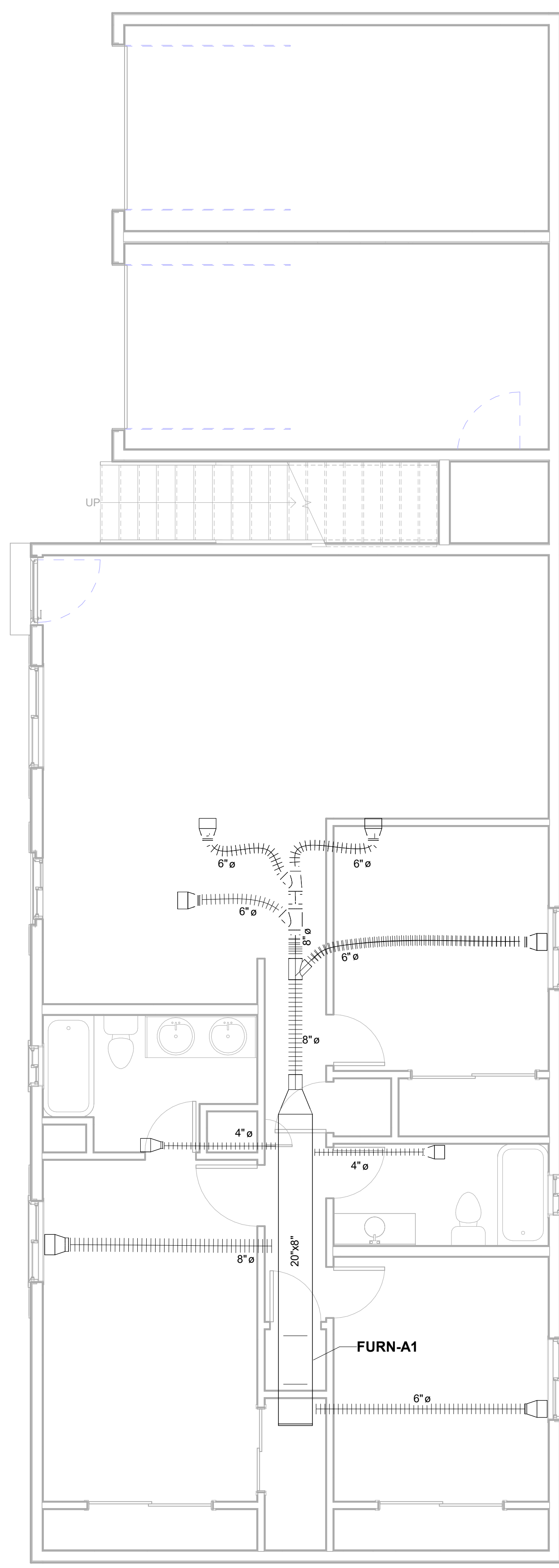
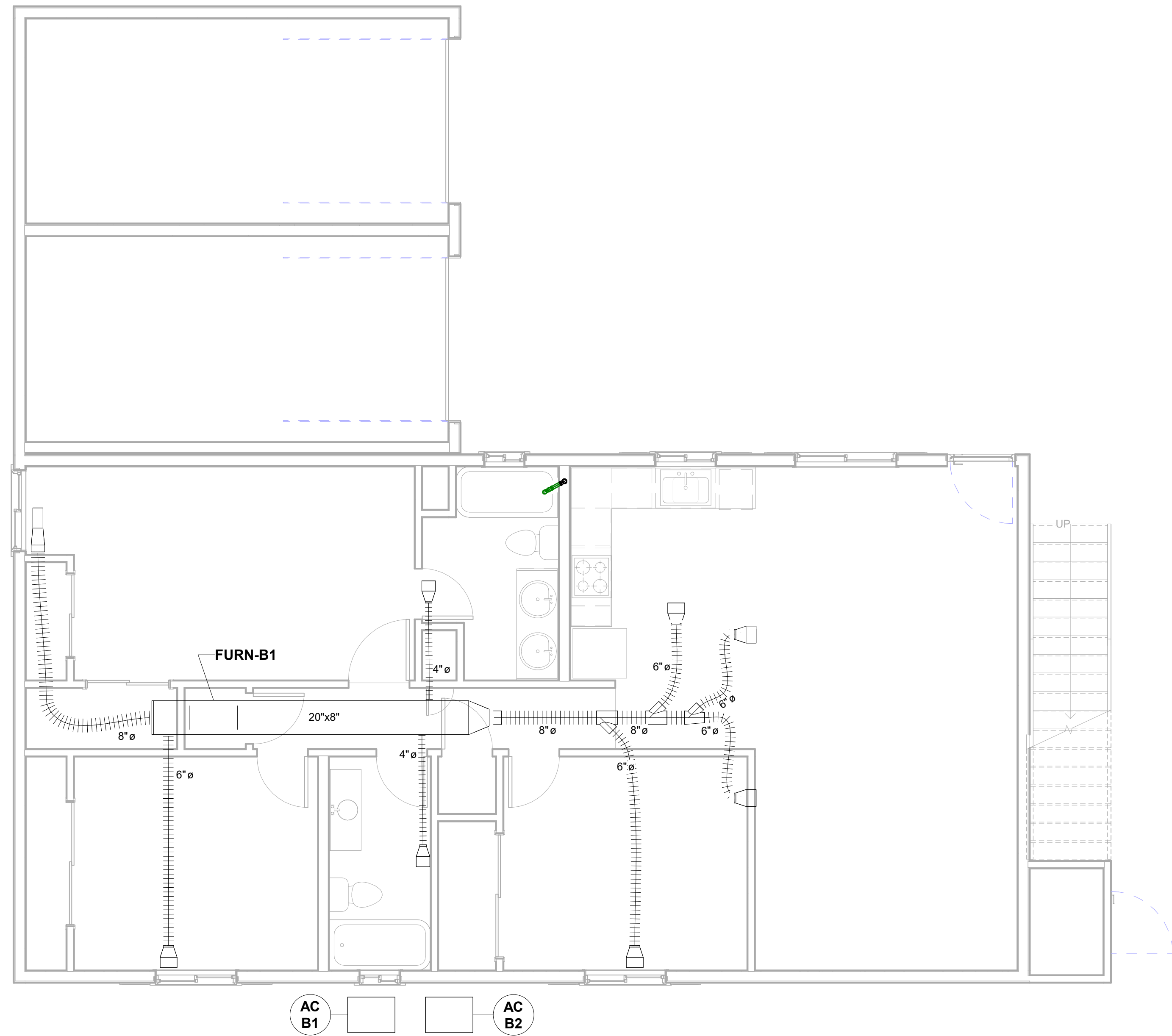
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**A5.1**

**MECHANICAL / ELECTRICAL NOTES**

- 1 ALL PLUMBING FIXTURES AND FITTINGS SHALL BE LOW-FLOW TYPE, CEC CERTIFIED. SHOWERHEADS SHALL BE 2.0 GPM MAX FLOW AT 80 PSI. KITCHEN FAUCET SHALL BE 2.2 GPM MAX. (TEMPORARY FLOW) WITH DEFAULT TO 1.8 GPM AT 60 PSI. BATH FAUCETS SHALL BE 1.8 GPM AT 60 PSI.
- 2 ALL TOILETS SHALL BE 1.28 GALLON / FLUSH MAXIMUM.
- 3 SHOWERS SHALL HAVE PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE (MAX. 120 DEGREES F)
- 4 PLUMBING CLEANOUTS; PROVIDE CLEANOUTS PER CPC
- 5 AT ONE-HOUR RATED WALLS USE METAL DEVICE BOXES WRAPPED WITH ONE-HOUR RATED INTUMESCENT PUTTY PAD (3M OR EQUAL) AND SEAL GAP TO GYP. BOARD WITH ONE-HOUR RATED FIRE CAULKING (3M OR EQUAL)
- 6 LIGHTING : (ALL NEW FIXTURES TO BE SELECTED)
  - a) KITCHEN LIGHTING : ALL LIGHTING IS HIGH EFFICACY
  - b) SENSOR : WHERE SENSORS ARE INDICATED THEY ARE MANUAL-ON / AUTOMATIC-OFF VACANCY SENSORS WITH A MANUAL-OFF SWITCH. TEMPORARY PROGRAMMING SETTINGS, IF USED, SHALL LIMIT DELAYED-OFF TO 30 MINUTES OR LESS. SENSORS SHALL NOT HAVE MINIMUM LOAD FEATURE. AT 3-WAY LIGHTING CONDITIONS, OCCUPANT SENSOR SHALL BE CEILING MOUNTED.
  - c) DIMMERS : WHERE DIMMERS ARE INDICATED THEY ARE LINE-VOLTAGE DIMMERS WITH INCANDESCENT FIXTURES MEETING THE REQUIREMENTS OF TITLE 24, SECTION 19
  - d) RECESSED LIGHTS : RECESSED LIGHTS SHALL BE BOTH IC RATED FOR INSULATION CONTACT AND AIRTIGHT (AT) RATED WHERE SCHEDULED.
  - e) OUTDOOR LIGHTING OPTIONS:
    1. HIGH EFFICACY FIXTURE WITH MANUAL ON/OFF SWITCH OR
    2. LOW EFFICACY FIXTURE WITH A MANUAL ON/OFF SWITCH AND A MOTION SENSOR WITHOUT AN OVERRIDE OR BYPASS, AND ONE OF THE FOLLOWING:
      - A. PHOTO CELL CONTROL (TEMPORARY OVERRIDE WITH 6 HOUR LIMIT OK)
      - B. ASTRONOMICAL TIME CLOCK
      - C. ENERGY MANAGEMENT CONTROL SYSTEM (EMCS)
- 7 EXHAUST FANS SHALL HAVE BACKDRAFT OR AUTOMATIC DAMPERS, ENERGY STAR CERTIFIED WITH HUMIDITY CONTROL.
- 8 DUCT INSULATION : SEE TITLE 24 REQUIREMENTS APPLICABLE TO NEW DUCTWORK
- 9 EXISTING RADIANT HEAT CEILING AND THRU-WALL A/C UNIT ARE BEING REMOVED. A NEW ELECTRIC HEAT PUMP (SPLIT SYSTEM) IS BEING ADDED. HVAC SYSTEM IS DESIGN-BUILD WITH HVAC CONTRACTOR
- 10 ALL NEW OUTLETS SHALL BE TAMPER-RESISTANT TYPE
- 11 TWO 20A CIRCUITS MINIMUM IN KITCHEN AT COUNTERTOP AREA (SMALL APPLIANCES)
- 12 ONE 20A CIRCUIT IN EACH BATHROOM FOR COUNTERTOP OUTLETS
- 13 SMOKE DETECTORS SHALL BE BATTERY-OPERATED TYPE. CARBON MONOXIDE DETECTORS SHALL BE PLUG-IN TYPE WITH BATTERY BACK-UP (OR COMBINATION TYPE WITH SMOKE DETECTOR)



**SHEET NOTES**

1. DIMENSIONS ON FOR 2ND FLOOR CONSTRUCTION SHALL BE IDENTICAL TO 1ST FLOOR PLAN (U.O.N.).
2. ELECTRICAL, MECHANICAL AND PLUMBING 2ND FLOOR PLANS SHALL BE IDENTICAL TO 1ST FLOOR PLANS (U.O.N.).

**1 MECHANICAL - FIRST & SECOND FLOOR PLAN**

Scale: 1/4" = 1'-0"

**Proposed Residential For:**  
 APN 375257003 Almond Street  
 Martinez, Contra Costa County, Calif.  
 CHS Developmet Co.

Drawing Title:  
**MECHANICAL**

**1ST & 2ND FLOOR PLANS**

No.	Revisions	Date
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**M1.1**



California Plumbing Code Section 507.2 requires that all water heaters shall be supported and strapped to prevent movement during an earthquake.

Two metal straps, not less than 22 gauge, nor less than 5/8-inch wide shall be used. One strap shall be placed within the upper 1/3 of the water heater's vertical dimension and the other shall be placed within the bottom 1/3 of the water heater's vertical dimension. At the lower point, a minimum distance of 4 inches shall be maintained above the controls with the strapping. The means of connection to the structure shall be made by the use of screws not less than 1/4 inch in size with a minimum penetration of 1-1/2 inch into a framing member of the wall. A cut washer shall be used between the head of the screw and the strap to insure a positive support.

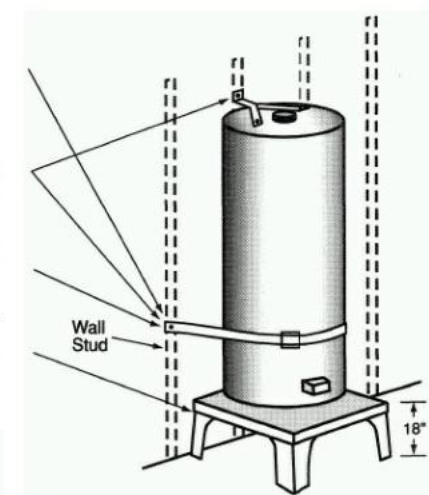
**SAMPLE #1**

Drill pilots on centerline of stud; insert screws through punched holes in strap.

These types of supports are over-the-counter products sold as a packages unit.

This strap is installed 4 inches above the control unit.

This 18" stand is required for heaters installed in a garage location.



**SAMPLE #2**

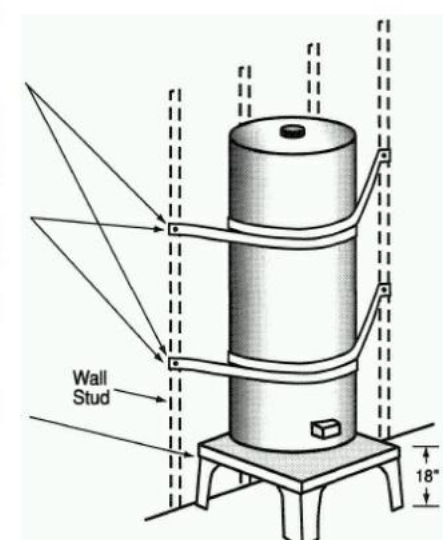
Drill pilots on centerline of stud; insert screws through punched holes in strap.

Minimum 22 Gauge metal strap material installed within the top 1/3 of the heater and the bottom 1/3 of the heater.

The lower strap is installed minimum 4 inches above the control unit.

Minimum 1/4-inch screws with minimum 1-1/2-inch penetration are allowed.

This 18-inch stand is required for heaters installed in a garage location.



**3 WATER HEATER DETAIL**

Scale: 1 1/2" = 1'-0"

**Shower/Tub-Shower Notes**

1. Tub and shower compartments shall be furnished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. [R307.2]. See 2/A-09 for additional requirements.
2. Densfield material as backers for wall tile and shower areas and wall panels. [R702.4.2]

**Plumbing Notes**

1. All Hose Bibbs shall be protected to insure the elimination infiltration of flood waters into the water supply and distribution systems.
2. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. [CPC 411.2]  
Showerheads shall have a maximum flow rate of 1.8 gallons per minute at 80psi. [CPC 408.2.1]  
The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. [CPC 407.2.2]  
The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons (6.8 L) per minute at 60 psi. [CPC 420.2.1]

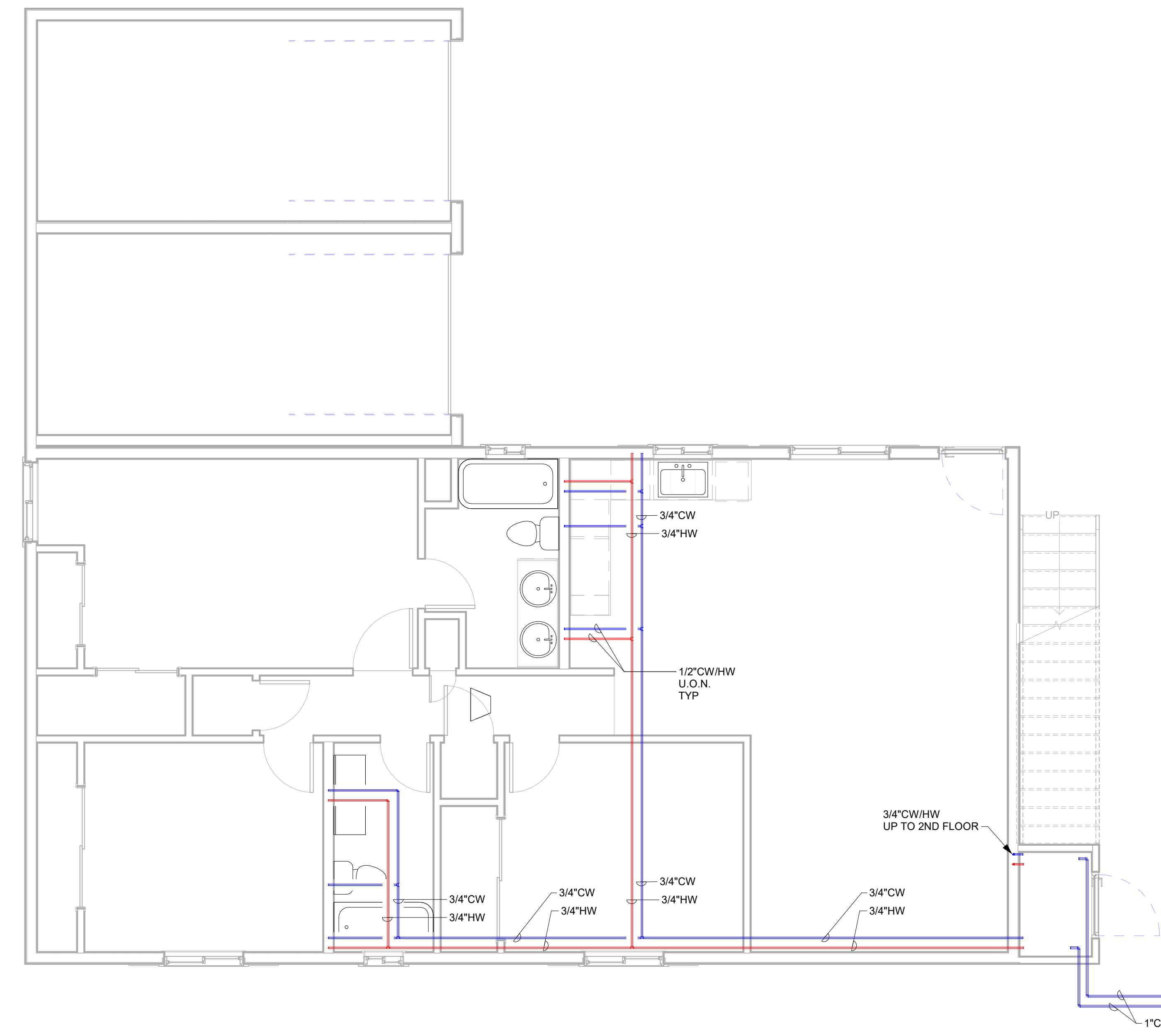
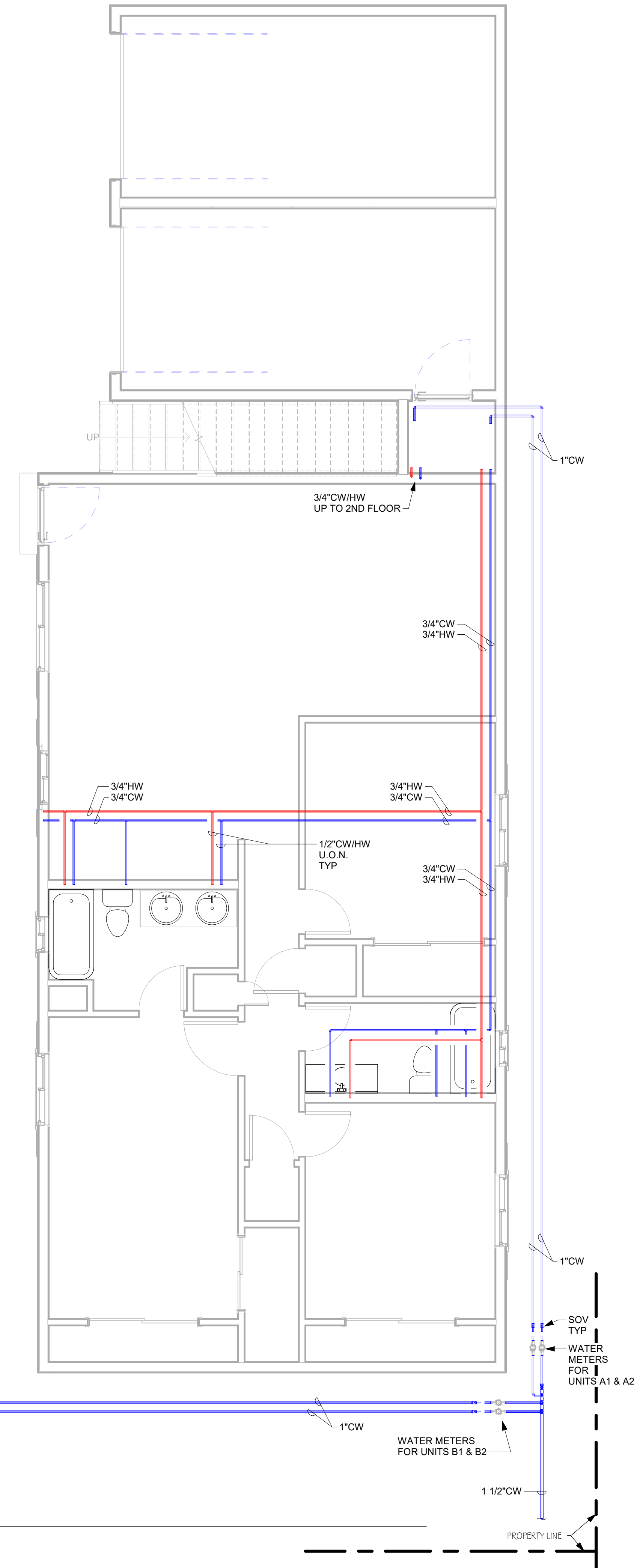
**Aging in Place & Fall Prevention Notes**

1. See Detail 2/A-09 in accordance with Sections R327.1.1 through R327.1.4 information.

**PLUMBING NOTES**

**SEWER CONSTRUCTION NOTES**

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATION DESIGN AND CONSTRUCTION OF WASTEWATER FACILITIES, CONTRA COSTA COUNTY SANITARY DISTRICT (CCCSO) STANDARD SPECIFICATIONS, 2014, ISSUED BY THE DISTRICT ENGINEER, THE CENTRAL CONTRA COSTA SANITARY DISTRICT (CCCSO) STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION, INCLUDING STANDARD DRAWINGS, 2014 EDITION BY REFERENCE.
2. THE CONTRACTOR SHALL OBTAIN A SEWER CONSTRUCTION PERMIT FROM THE DISTRICT OFFICE PRIOR TO COMMENCING WORK, AND PAY ALL FEES.
3. THE CONTRACTOR SHALL NOTIFY THE DISTRICT OFFICE 48 HOURS PRIOR TO REQUIRING INSPECTION SERVICES (925) 228-5635.
4. THE CONTRACTOR SHALL CALL FOR PRECONSTRUCTION MEETING PRIOR TO START OF TRENCHING WORK.
5. THE NEW 4" BUILDING SEWER LINE MUST HAVE A MINIMUM OF 1 FOOT SEPARATION TO THE EXISTING UTILITIES IN THE ROADWAY, AND WILL BE MARKED WITH WARNING TAPE PER CCCSD DWG-24.
6. AN OVERFLOW PROTECTION DEVICE (OPD) PER (CCCSO DWG-23) SHALL BE INSTALLED ON THE BUILDING SEWER AT THE CLEANOUT.
7. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING NEAR OR CONNECTING TO EXISTING SEWER MAINS AND FACILITIES SO AS NOT TO INTERRUPT EXISTING SERVICE. ANY COST INCURRED BY SANITARY DISTRICT IN REPAIRING OR RESTORING EXISTING FACILITIES DAMAGED BY THE CONTRACTOR OPERATION SHALL BE PAID BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA) 811 A MINIMUM OF 48 HOURS IN ADVANCE OF TRENCHING.
9. CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CCCSD HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DISTRICT.
10. IF SEWER SERVICE LINE IS REPLACED WITHIN THE PUBLIC ROADWAY THE CONTRACTOR SHALL SUBMIT TO CCCSD A COPY OF THE CONTRA COSTA COUNTY ENCROACHMENT PERMIT.



**1 PLUMBING FIRST & SECOND FLOOR PLAN - DOMESTIC WATER**

Scale: 1/4" = 1'-0"

**SHEET NOTES**

1. DIMENSIONS ON FOR 2ND FLOOR CONSTRUCTION SHALL BE IDENTICAL TO 1ST FLOOR PLAN (U.O.N.).
2. ELECTRICAL, MECHANICAL AND PLUMBING 2ND FLOOR PLANS SHALL BE IDENTICAL TO 1ST FLOOR PLANS (U.O.N.).

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**CHS Developmet Co.**

Drawing Title:  
**PLUMBING**

**1ST & 2ND FLOOR PLAN - DOMESTIC WATER**

No.	Revisions	Date
A	Issue to Planning Dept.	7/25/25

Date	
Drawn by	RDM
Checked by	CS
Project number	
Scale	As indicated
Sheet No.	

**P1.1**

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