

OWNERS STATEMENT:

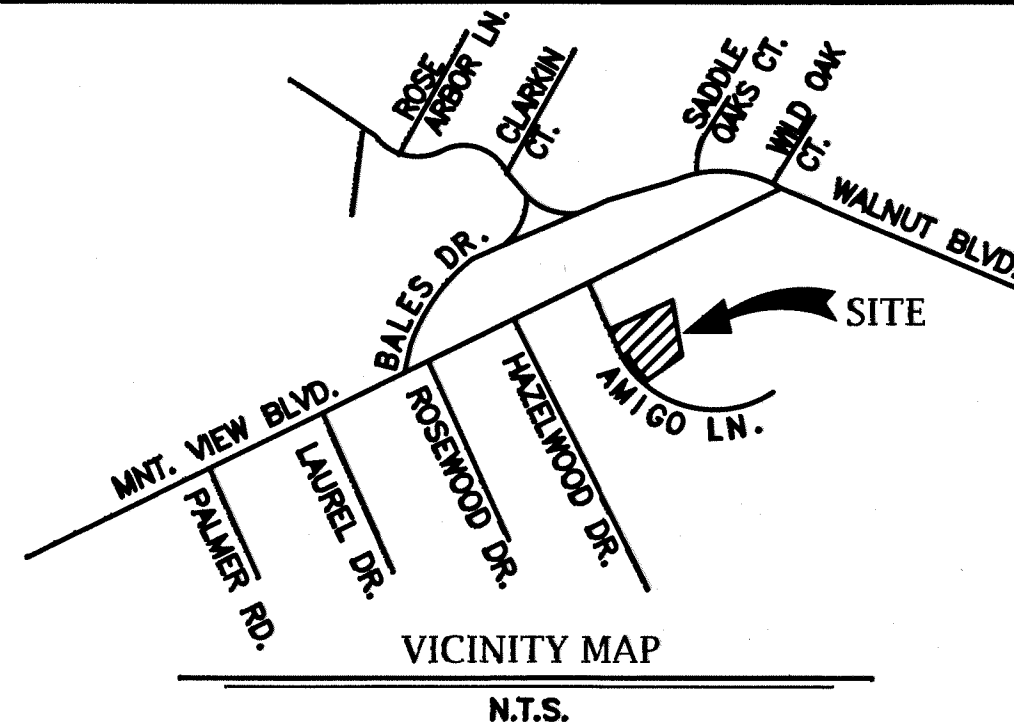
WE, THE UNDERSIGNED, DO HEREBY STATE THAT WE ARE THE OWNERS OF OR HAVE SOME RIGHT, TITLE OR INTEREST OF RECORD IN THE LAND SHOWN ON THIS MAP AND HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS MAP.

THIS MAP SHOWS ALL THE EASEMENTS ON THE PREMISES, OR OF RECORD.

OWNERS: RAVINDER SINGH PARMAR AND ISHVINDER PARMAR

BY: Ravinder Singh Parmar DATE: 8-9-24
RAVINDER SINGH PARMAR

BY: Ishvinder Parmar DATE: 08-09-2024
ISHVINDER PARMAR



PARCEL MAP
SUBDIVISION MS 14-0012

BEING ALL OF PARCELS ONE & TWO AS DESCRIBED IN DEED RECORDED ON AUGUST 6, 2019 UNDER RECORDED SERIES NO. 2019-123643 BEING A PORTION OF RANCHO SAN MIGUEL CONTRA COSTA COUNTY, CALIFORNIA

AUGUST 2024

COUNTY SURVEYOR'S STATEMENT:

THIS MAP WAS EXAMINED BY ME AND IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF. ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND OF ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF THE APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH. I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

BY: DANA M. TREZISE, P.L.S. 7438 DATE: _____
COUNTY SURVEYOR

OWNER'S ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFYS ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED AND NOT THE TRUTHFULNESS, ACCURACY OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF

ON 8-9, 2024 BEFORE ME, Tonya Schroll, Ishvinder Parmar
A NOTARY PUBLIC, PERSONALLY APPEARED Ravinder Singh Parmar and, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL:

SIGNATURE: Tonya Schroll

PRINT NAME: Tonya Schroll

NOTARY PUBLIC IN AND FOR THE COUNTY OF Contra Costa
STATE OF CALIFORNIA

PRINCIPAL COUNTY OF BUSINESS: Contra Costa

COMMISSION EXPIRES: June 12, 2025

COMMISSION # OF NOTARY: 2360844

CLERK OF THE BOARD OF SUPERVISORS CERTIFICATE:

STATE OF CALIFORNIA, COUNTY OF CONTRA COSTA

I, MONICA NINO, CLERK OF THE BOARD OF SUPERVISORS AND COUNTY ADMINISTRATOR OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT THE ABOVE AND FOREGOING MAP ENTITLED "SUBDIVISION MS 14-0012" WAS PRESENTED TO SAID BOARD OF SUPERVISORS, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF HELD ON THE _____ DAY OF _____, 20____, AND THAT SAID BOARD OF SUPERVISORS DID THEREUPON BY RESOLUTION DULY PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP.

I FURTHER CERTIFY THAT ALL TAX LIENS HAVE BEEN SATISFIED AND THAT ALL BONDS AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN MAP HAVE BEEN APPROVED BY THE BOARD OF SUPERVISORS OF CONTRA COSTA COUNTY, AND FILED IN MY OFFICE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS _____ DAY OF _____, 20____.

MONICA NINO
CLERK OF THE BOARD OF SUPERVISORS
OF CONTRA COSTA COUNTY

BY: _____
DEPUTY CLERK

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RAVINDER SINGH PARMAR AND ISHVINDER PARMAR IN APRIL OF 2021. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED, OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

I FURTHER STATE THAT THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER AND OCCUPY THE POSITIONS SHOWN AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED THIS 6 DAY OF August, 2024.

DATE: 8/6/2024

Thomas M. Price
THOMAS M. PRICE, P.L.S. 8920



RECORDERS STATEMENT:

FILED THIS _____ DAY OF _____, 20____, AT _____M.

IN BOOK _____ OF PARCEL MAPS AT PAGES _____ THROUGH _____, INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF CONTRA COSTA AT THE REQUEST OF RAVINDER SINGH PARMAR AND ISHVINDER PARMAR.

KIRISTIN B. CONNELLY
COUNTY RECORDER IN AND FOR
THE COUNTY OF CONTRA COSTA,
STATE OF CALIFORNIA

BY: _____
DEPUTY COUNTY RECORDER



PACIFIC LAND
SURVEYS

2237 SCENIC DRIVE, MODESTO, CA 95355
209.678.7862 www.pacsurv.com

PARCEL MAP SUBDIVISION MS 14-0012

BEING ALL OF PARCELS ONE & TWO AS DESCRIBED IN DEED
RECORDED ON AUGUST 6, 2019 UNDER RECORDED
SERIES NO. 2019-123643
BEING A PORTION OF RANCHO SAN MIGUEL
CONTRA COSTA COUNTY, CALIFORNIA

AUGUST 2024 - SCALE: 1"=40'

BASIS OF BEARINGS

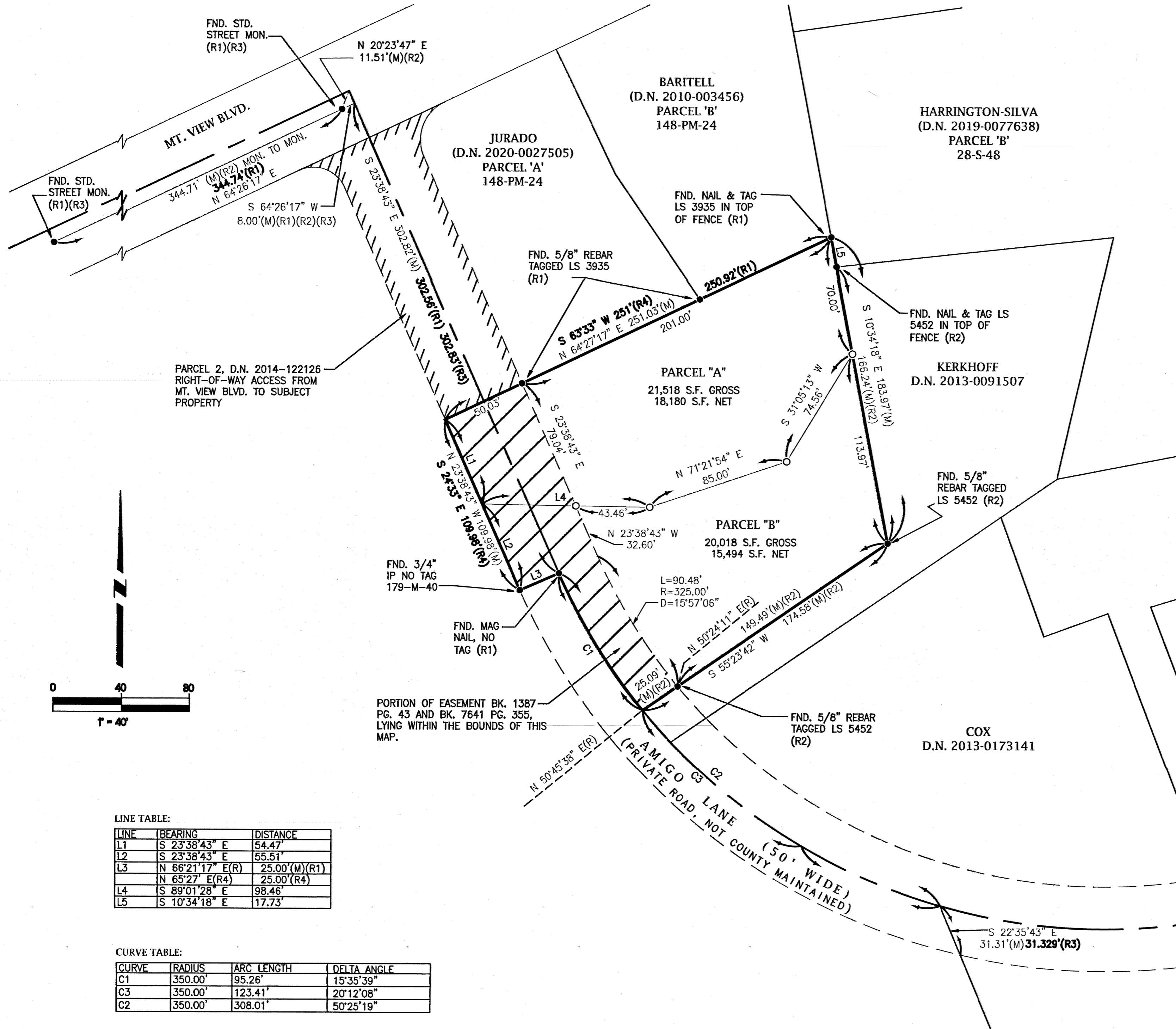
THE BEARING OF NORTH 64°26'17" EAST, 377.71' BETWEEN THE TWO FND. STANDARD STREET MONUMENTS ON MT. VIEW BLVD. AS SHOWN ON SHEET 2 OF 2 OF SUBDIVISION 94-89 RECORDED IN BOOK 148 OF PARCEL MAPS AT PAGE 25 IS THE BASIS OF BEARINGS SHOWN HEREON AND IS BASED ON THE CALIFORNIA COORDINATE SYSTEM, ZONE III. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

REFERENCES

(R1) RECORD DATA PER BOOK 148 OF PARCEL MAPS, PAGE 24, C.C.C.R.
(R2) RECORD DATA PER BOOK 129 OF LICENSED SURVEYORS MAPS, PAGE 39, C.C.C.R.
(R3) RECORD DATA PER BOOK 216 OF PARCEL MAPS, PAGE 48, C.C.C.R.
(R4) RECORD DATA PER GRANT DEED DOC. NO. 2014-0122126

LEGEND

- INDICATES FND. MONUMENT AS NOTED
- INDICATES SET 1/2" X 30" REBAR TAGGED PLS 8920
- FND. INDICATES FND. ON THIS SURVEY
- (M) INDICATES MEASURED THIS SURVEY
- D.N. INDICATES DOCUMENT NUMBER
- C.C.C.R. INDICATES CONTRA COSTA COUNTY RECORDS
- IP INDICATES IRON PIPE
- (R) INDICATES RADIAL BEARING
- INDICATES SUBJECT PROPERTY BOUNDARY
- INDICATES LOT LINE
- - - - - INDICATES RIGHT-OF-WAY PRIVATE ROAD
- INDICATES CENTERLINE
- ////// INDICATES PARCEL 2, D.N. 2014-122126 RIGHT-OF-WAY ACCESS FROM MT. VIEW BLVD. TO SUBJECT PROPERTY
- ▨ INDICATES PORTION OF EASEMENT BK. 1387 PG. 43 (RIGHT-OF-WAY PURPOSES) AND BK. 7641 PG. 355, (NON-EXCLUSIVE EASEMENT) LYING WITHIN SUBJECT PROPERTY

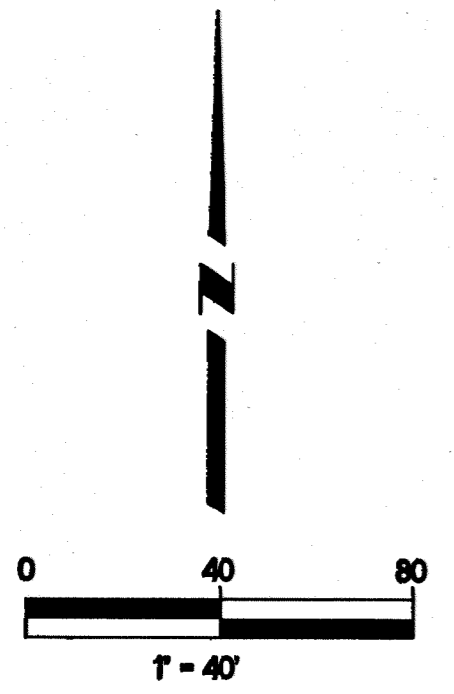


LINE TABLE:

LINE	BEARING	DISTANCE
L1	S 23°38'43" E	54.47'
L2	S 23°38'43" E	55.51'
L3	N 66°21'17" E(R)	25.00'(M)(R1)
	N 65°27' E(R4)	25.00'(R4)
L4	S 89°01'28" E	98.46'
L5	S 10°34'18" E	17.73'

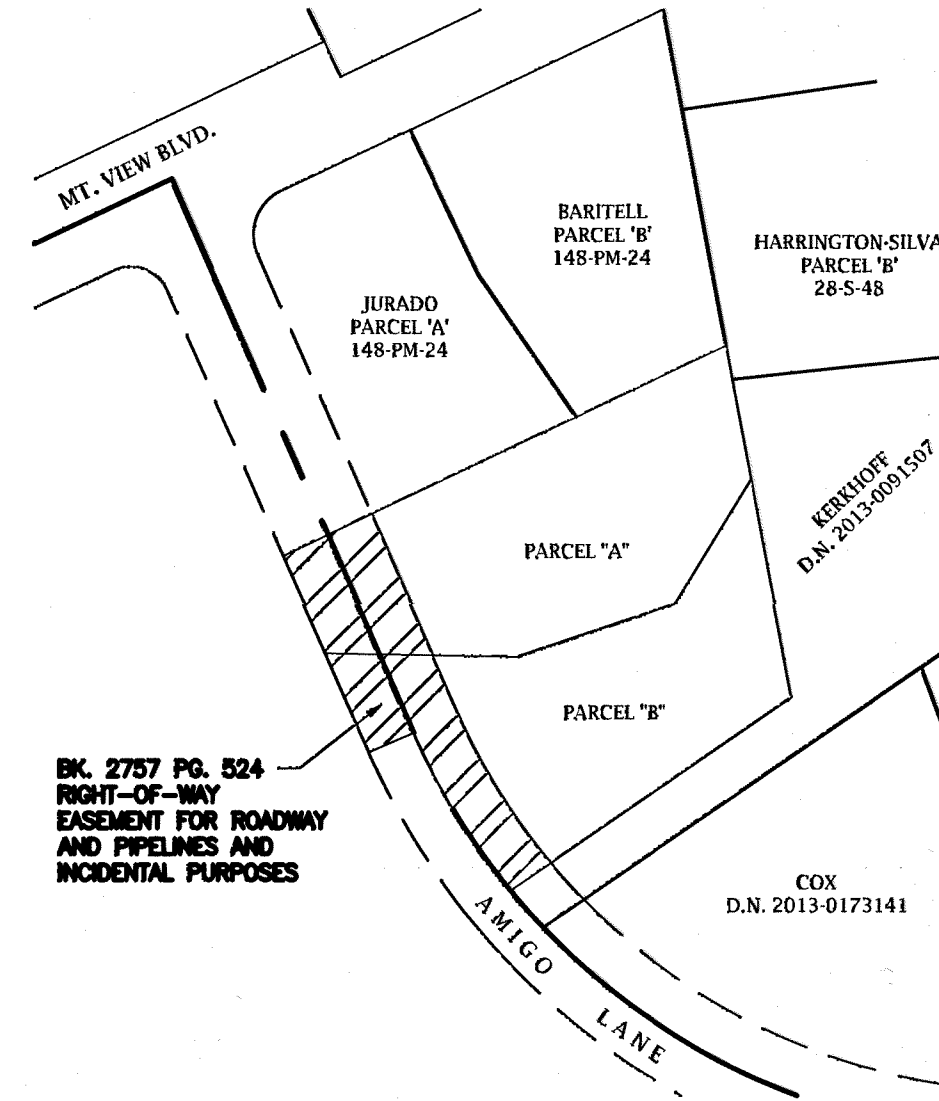
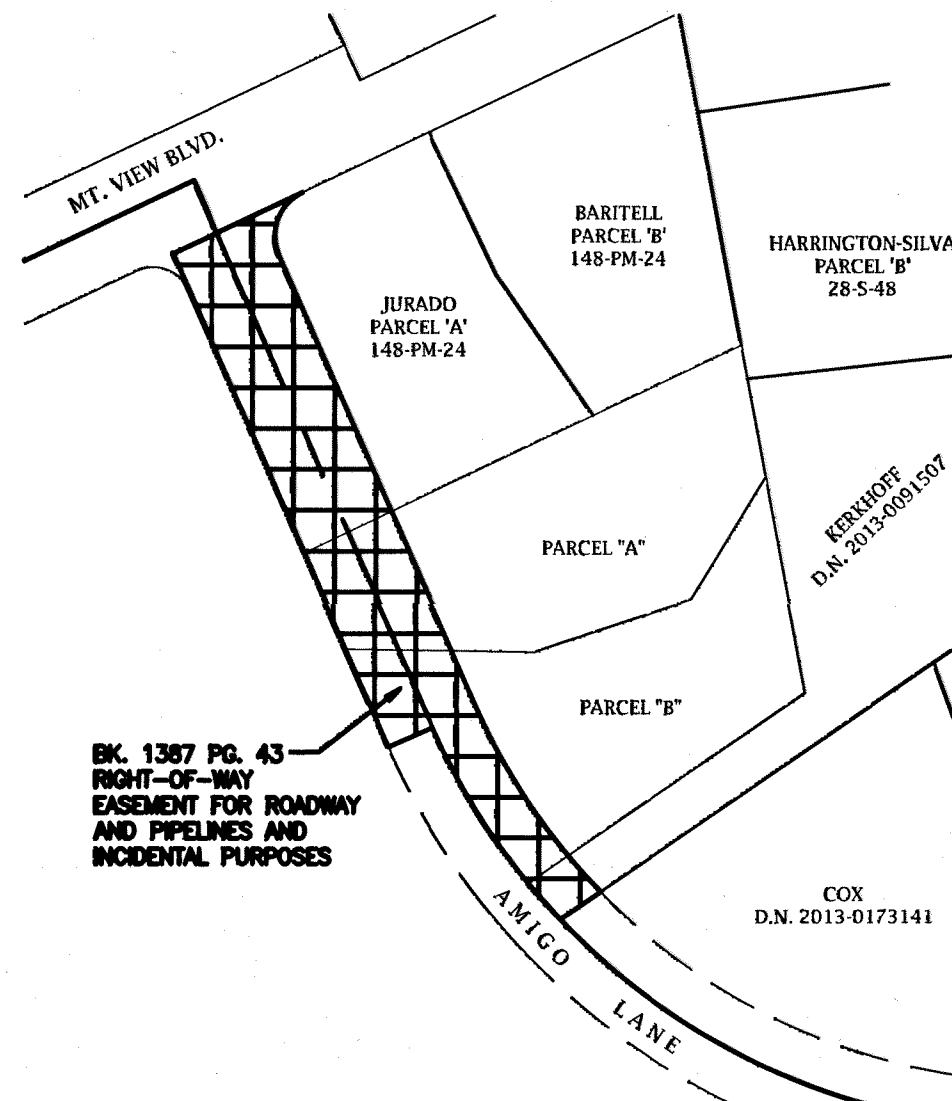
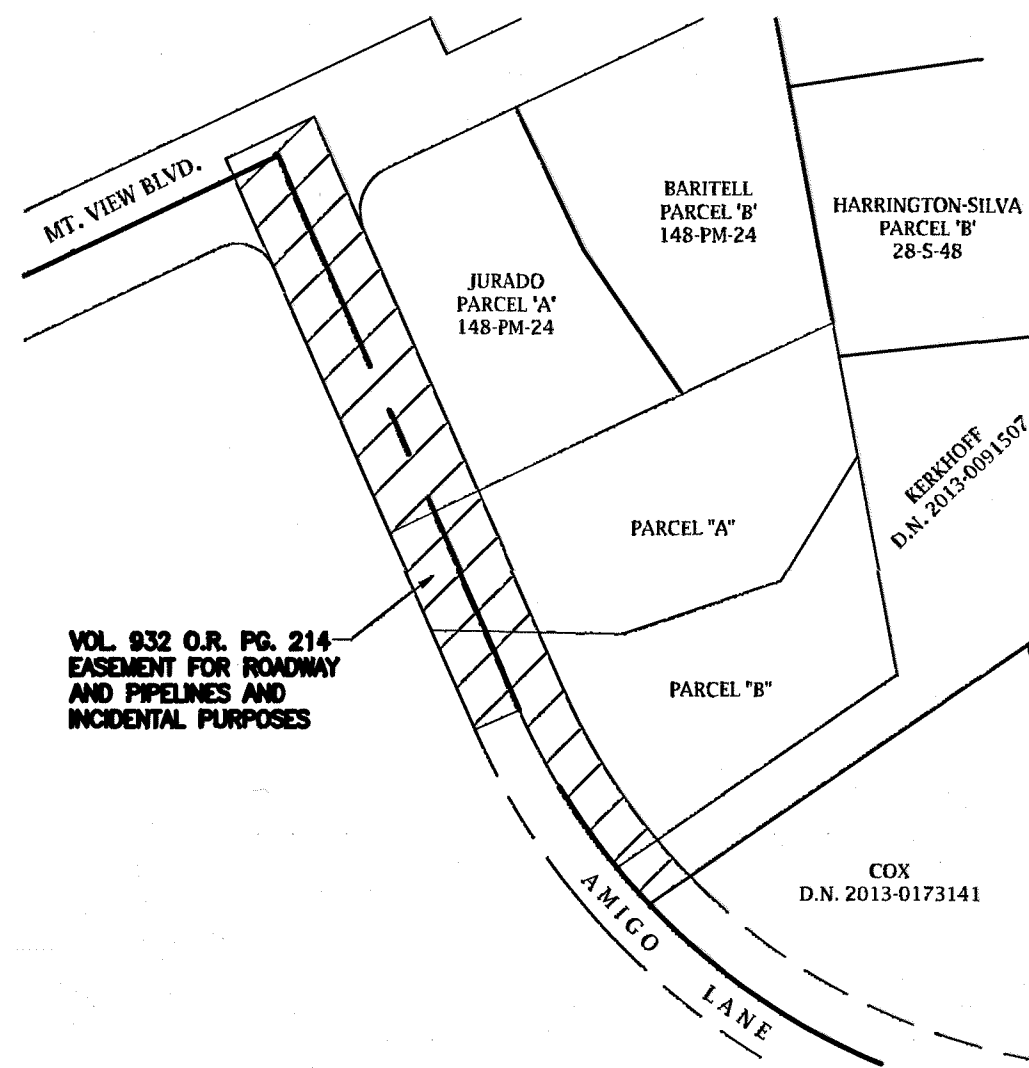
CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	350.00'	95.26'	15°35'39"
C3	350.00'	123.41'	20°12'08"
C2	350.00'	308.01'	50°25'19"



THIS SHEET FOR EASEMENTS ONLY.
NOT TO SCALE

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SUBDIVISION MS 14-0012**
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SERIES NO. 2019-123643
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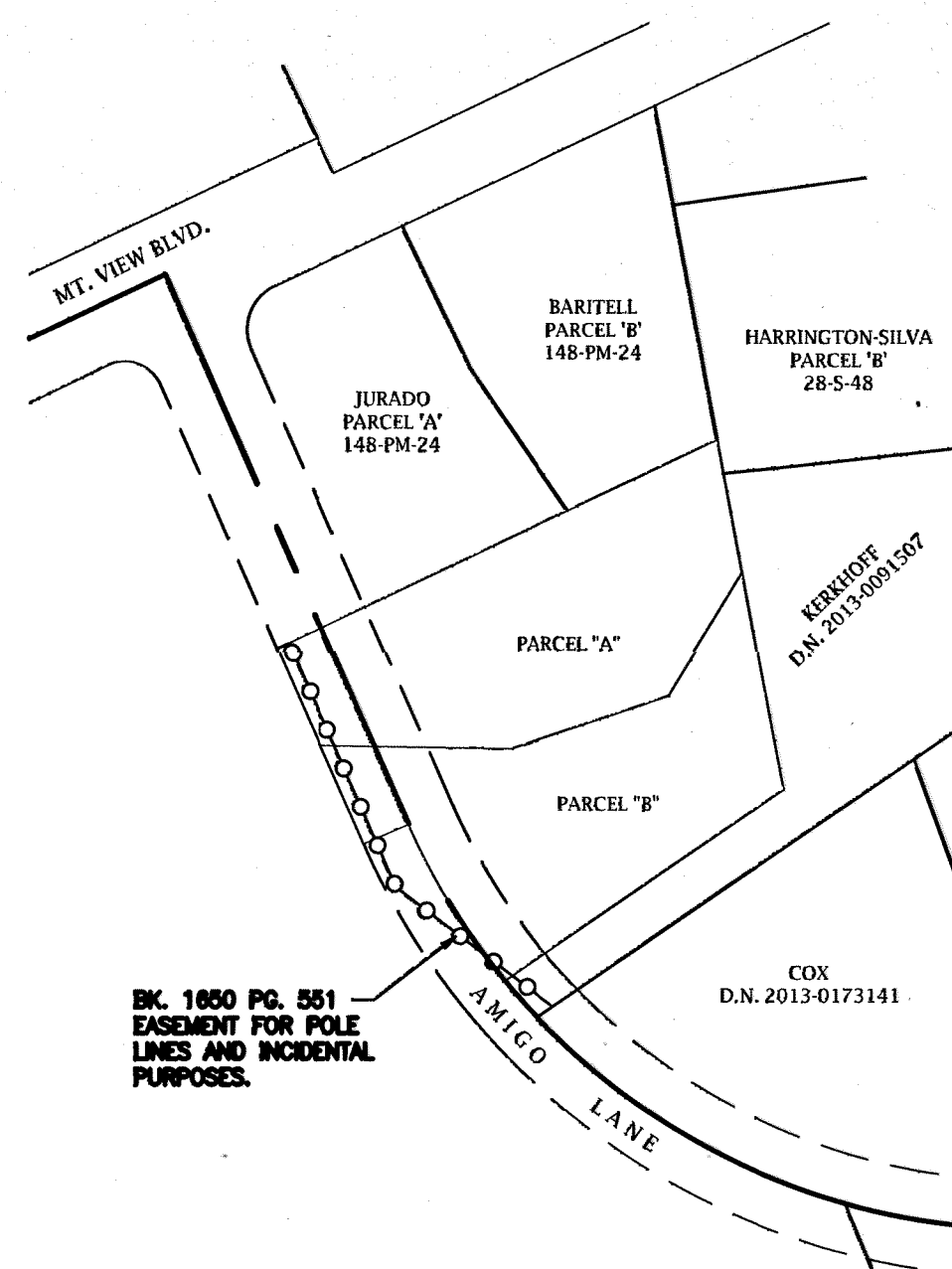
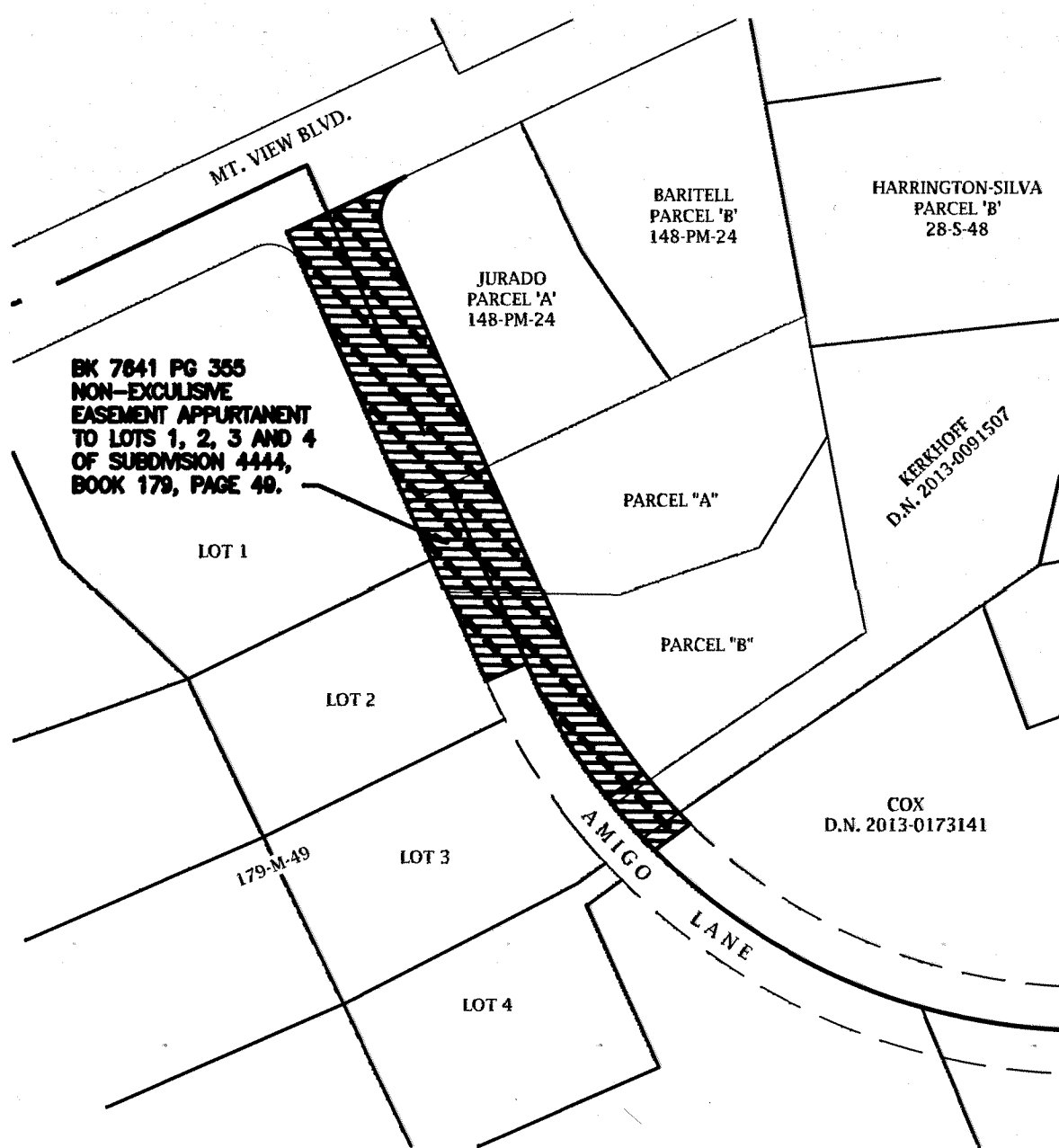
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- INDICATES LOT LINE
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- - - - - INDICATES CENTERLINE



NOT TO SCALE



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