



GRADING AND IMPROVEMENT PLAN

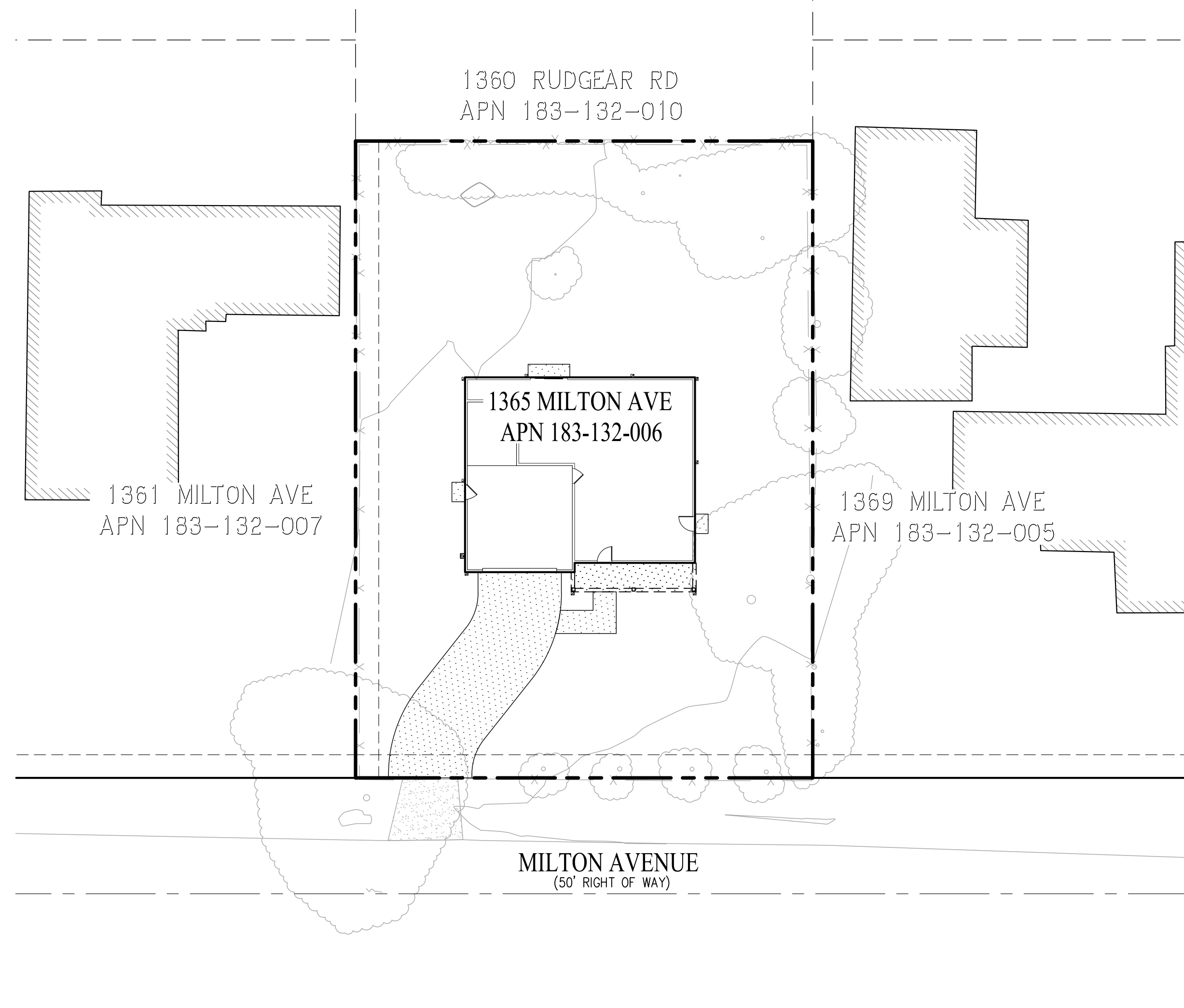
1365 MILTON AVENUE

APN 183-132-006

CONTRA COSTA COUNTY CALIFORNIA

GENERAL NOTES

- SITE ADDRESS: 1365 MILTON AVENUE
WALNUT CREEK, CA 94596
- DEVELOPER: WALL TO WALL OF CALIFORNIA, LLC
2701 W WINSTON AVENUE
HAYWARD, CA 94545
(650) 292-0752
LISA SHARPE
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
ANGELO OBERTELLO, R.C.E. 64345
- GEOTECHNICAL ENGINEER: MID PACIFIC ENGINEERING, INC. (MPE)
8910 EAST VICTOR ROAD
LODI, CA 95240
(209) 625-4400
MARTIN OSIER, P.E. 89860
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM CONTRA COSTA COUNTY FOR ANY WORK TO BE PERFORMED WITHIN THE PUBLIC RIGHT OF WAY.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY WHETHER OR NOT IT IS SHOWN HEREON, AND IS RESPONSIBLE FOR CORRECTING ANY SAID DAMAGE TO SAID UTILITIES.
- LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (811) TO OBTAIN A U.S.A. IDENTIFICATION NUMBER AND TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES.
- TRAFFIC CONTROL SHALL BE PROVIDED IN CONFORMANCE WITH THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) ISSUED BY THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION AND AS REQUIRED BY THE CITY ENGINEER. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE START OF ANY WORK WITHIN A PUBLIC RIGHT OF WAY.
- IF ANY CULTURAL FEATURES OR ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING CONSTRUCTION, ALL WORK WITHIN 100 FT OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) HAS AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND APPROPRIATE MITIGATION MEASURES ARE DETERMINED AND IMPLEMENTED.
- THE CONTRACTOR SHALL NOTIFY EAST BAY MUNICIPAL UTILITY DISTRICT, CENTRAL CONTRA COSTA COUNTY SANITATION DISTRICT, PG&E COMCAST, AT&T AND ANY OTHER AGENCY PRIOR TO THE COMMENCEMENT OF WORK NEAR AGENCY'S FACILITIES AND SHALL COORDINATE ALL WORK WITH AGENCY REPRESENTATIVES.
- CONTRACTOR'S OPERATIONS SHALL CONFORM TO THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO TRENCHES AND EXCAVATIONS.
- MAILBOXES SHALL BE INSTALLED IN LOCATIONS APPROVED BY THE LOCAL POSTMASTER AND PER CITY OF ALAMO STANDARD PLANS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF THEIR DESIGN CONTAINED HEREIN.
- THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONNEL. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE PUBLIC SAFETY AND TO MAINTAIN TRAFFIC CONTROL AT ALL ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED INSPECTIONS AND SHALL NOTIFY THE CITY ENGINEERING, SOILS ENGINEER, OR OTHER REQUIRED INDIVIDUALS OR PUBLIC AGENCIES, A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO ACTUAL NEED.
- THE OWNER'S ENGINEER WILL PROVIDE THE CONSTRUCTION STAKES. THE NUMBER AND LOCATION OF STAKES REQUIRED SHALL BE DETERMINED BEFORE THE CONSTRUCTION BEGINS. ALL STAKING REQUESTS SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO ACTUAL NEED. ANY ADDITIONAL STAKING OR RESTAKING WILL ONLY BE DONE AS DIRECTED AND AUTHORIZED BY THE OWNER OR HIS AUTHORIZED AGENT. THE CITY ENGINEER HAS THE AUTHORITY TO REQUIRE THE OWNER OR HIS AUTHORIZED AGENT TO PLACE ADDITIONAL STAKES OR RESTAKES AS HE DEEMS NECESSARY FOR PROPER CONSTRUCTION OR TO AVOID CONFLICTS. ALL CONSTRUCTION STAKING SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- ALL EXISTING ELEVATIONS ARE AS MEASURED IN THE FIELD UNLESS OTHERWISE NOTED.
- EXISTING CURBS, SIDEWALKS AND UTILITIES WITHIN OR ADJACENT TO THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR.
- THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FINAL GRADE OF CONCRETE UNLESS FORMS ARE CHECKED PRIOR TO CONCRETE PLACEMENT.
- MANHOLE, VALVE AND METER BOX ELEVATIONS, IF SHOWN, ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE RIMS AND COVERS TO THE FINISHED PAVEMENT GRADE. IN UNIMPROVED STREETS, THE RIMS SHALL BE SET AT THE ELEVATION SHOWN.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE AND GIBSON, INC. AT (925) 866-0322 FOR SUCH FURTHER EXPLANATION AS MAY BE NECESSARY.
- UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITIES THE CONTRACTOR SHALL NOTIFY THE ENGINEERING IMMEDIATELY IF A DISCREPANCY ARISES.
- TREES TO BE SAVED SHALL BE FLAGGED AND MARKED PRIOR TO ANY CLEARING OR STRIPPING WORK AND PROTECTIVE FENCING, WHERE REQUIRED BY THE CITY, SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING. LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD BY THE CITY UPON COMPLETION OF THE STAKING OF DAYLIGHT LINES.
- PROJECTS PROPOSED FOR CONSTRUCTION BETWEEN OCTOBER 1ST AND APRIL 30TH, MUST HAVE AN EROSION AND SEDIMENTATION CONTROL PROGRAM APPROVED, AND IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE, PRIOR TO THE START OF ON-SITE EARTHWORK. EARTHWORK THAT IS NECESSARY TO INSTALL EROSION AND SEDIMENTATION CONTROL FACILITIES, SUCH AS DRAINAGE DITCHES AND SEDIMENTATION BASINS, MAY PROCEED CONCURRENT WITH THE INSTALLATION OF THE CONTROL FACILITIES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL BY SEPTEMBER 1, AND IMPLEMENTATION COMPLETED BY OCTOBER 1. ALL SITE WORK EXCEPT IMPLEMENTATION OF THE EROSION CONTROL PLAN WILL BE SUBJECT TO SUSPENSION BY THE CITY IF THE REQUIREMENTS OF THIS GENERAL NOTE ARE NOT MET.
- ANY DAMAGED OR DISPLACED CURB, GUTTER, SIDEWALK, DRIVEWAY OR PAVEMENT SHALL BE REMOVED AND REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO CONSTRUCTION.



SITE MAP
SCALE: 1"=20'

GENERAL NOTES (CONT.)

- THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL ENGINEERING REPORT (MPE NO. 07911-01) DATED DECEMBER 4, 2025, SHALL BE RETAINED ON THE CONSTRUCTION SITE.



LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|---|
| --- | --- | PROPERTY LINE (PROJECT) |
| --- | --- | PROPERTY LINE (ADJOINER) |
| --- | --- | CENTER LINE |
| --- | --- | EXISTING STRUCTURE |
| --- | --- | 4" PVC AREA DRAIN PIPE |
| --- | --- | PVC SANITARY SEWER PIPE OR LATERAL |
| --- | --- | HDPE WATER PIPE |
| --- | --- | JOINT TRENCH |
| --- | --- | FENCE |
| --- | --- | SPOT ELEVATION |
| --- | --- | DOWNSPOUT (PER ARCHITECTURE) |
| --- | --- | AREA DRAIN |
| --- | --- | BUBBLE UP |
| --- | --- | SANITARY SEWER CLEANOUT |
| --- | --- | SANITARY SEWER MANHOLE |
| --- | --- | TREE (SEE LANDSCAPE PLANS) |
| --- | --- | CONCRETE PAVEMENT (SEE LANDSCAPE PLANS) |

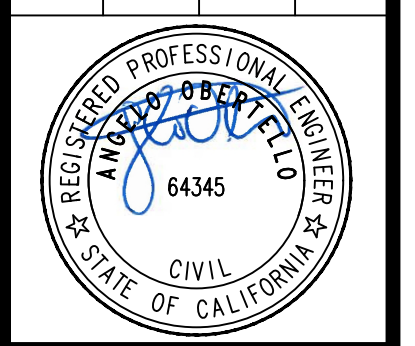
ABBREVIATIONS

| | | | |
|-------|-------------------------------------|------|-------------------------|
| AD | AREA DRAIN | GPAD | GARAGE PAD |
| ADU | ACCESSORY DWELLING UNIT | HP | HIGH POINT |
| APN | ASSESSORS PARCEL NUMBER | INV | INVERT |
| BU | BUBBLE UP | L | LENGTH |
| BFE | BASE FLOOD ELEVATION | LAT | LATERAL |
| CMP | CORRUGATED METAL PIPE | MAX | MAXIMUM |
| COM | COMMUNICATION | MIN | MINIMUM |
| CATV | CABLE TELEVISION | OHW | OVERHEAD WIRE |
| DW | DRIVEWAY | PVC | POLYVINYL CHLORIDE |
| DWS | DOMESTIC WATER SERVICE | SD | SUBDRAIN |
| EX | EXISTING | SS | SANITARY SEWER |
| EBMUD | EAST BAY MUNICIPAL UTILITY DISTRICT | SSCO | SANITARY SEWER CLEANOUT |
| FF | FINISHED FLOOR | SSMH | SANITARY SEWER MANHOLE |
| FI | FIELD INLET | TC | TOP OF CURB |
| FL | FLOW LINE | TYP. | TYPICAL |
| GB | GRADE BREAK | W | WATER |
| GR | GRATE | WM | WATER METER |
| GLIP | GARAGE LIP | WS | WATER SERVICE |

SHEET INDEX

| SHEET NO. | SHEET TITLE |
|-----------|---|
| C-1 | NOTES, LEGEND, ABBREVIATIONS & VICINITY MAP |
| C-2 | GRADING & DRAINAGE PLAN |
| C-3 | UTILITY PLAN |
| C-4 | EROSION CONTROL PLAN |
| C-5 | EROSION CONTROL DETAILS & NOTES |

| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |
| | | | |
| | | | |



DATE: DEC 2025
DRAWN BY: SCA
PROJ. ENGR: SLC
PROJ. MGR: AJO

SAN RAMON (925) 866-0322
 ROSEVILLE (916) 788-4456
 WWW.CBGC.COM
cbg
 CIVIL ENGINEERS SURVEYORS PLANNERS

1365 MILTON AVENUE
GRADING AND IMPROVEMENT PLAN
 NOTES, LEGENDS, ABBREVIATIONS & VICINITY MAP
 CALIFORNIA
 CONTRA COSTA COUNTY

SHEET NUMBER
C-1
 1 OF 5
 JOB NUMBER
 3953-00



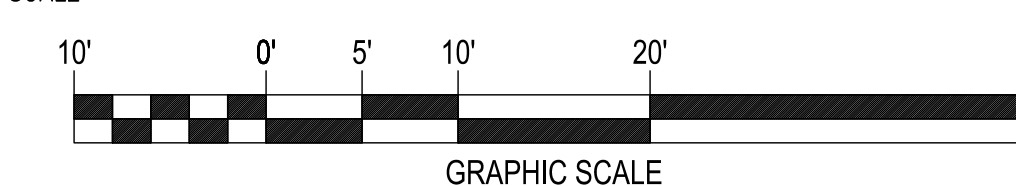
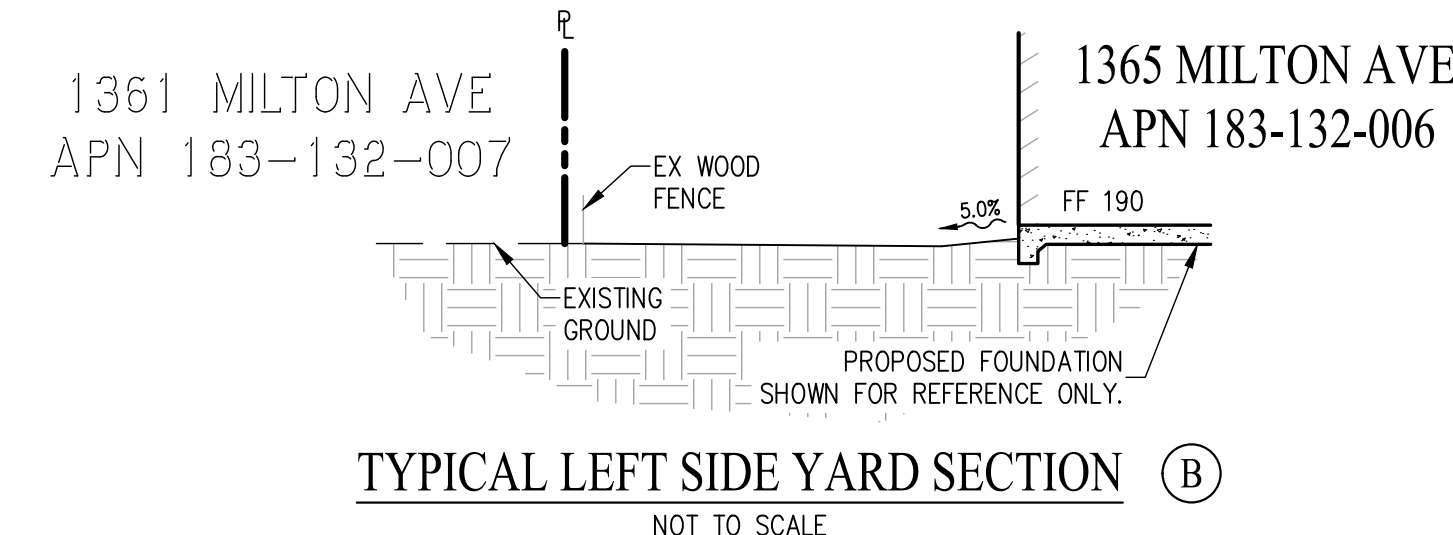
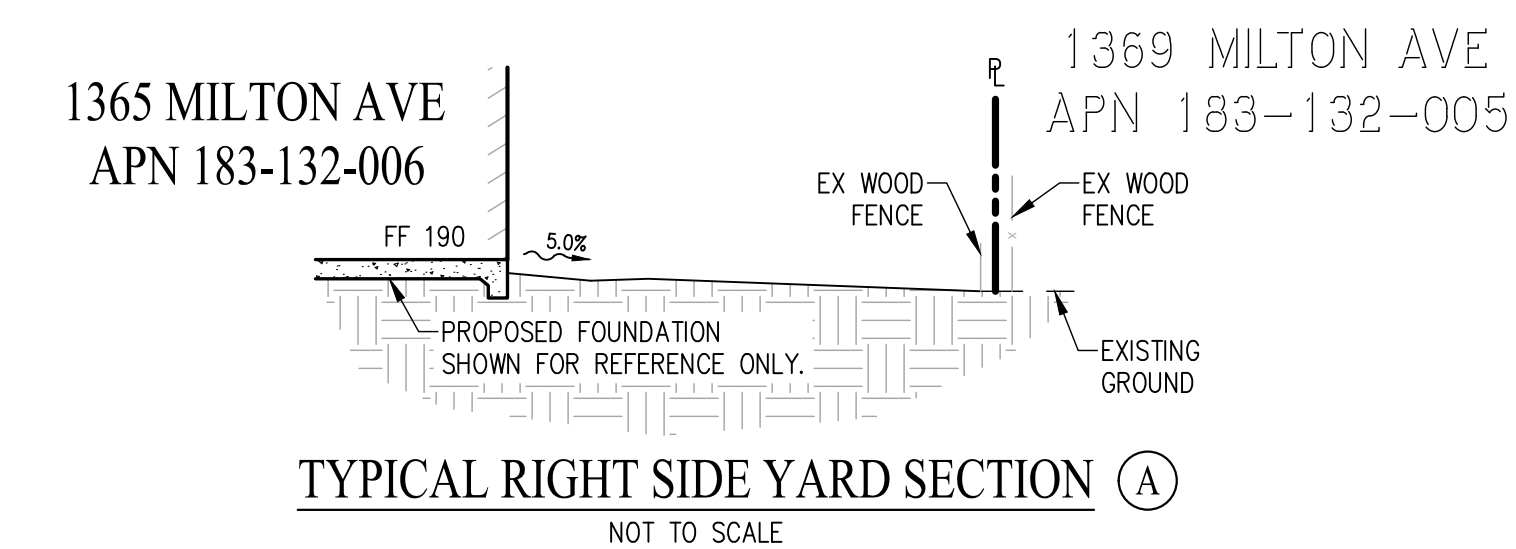
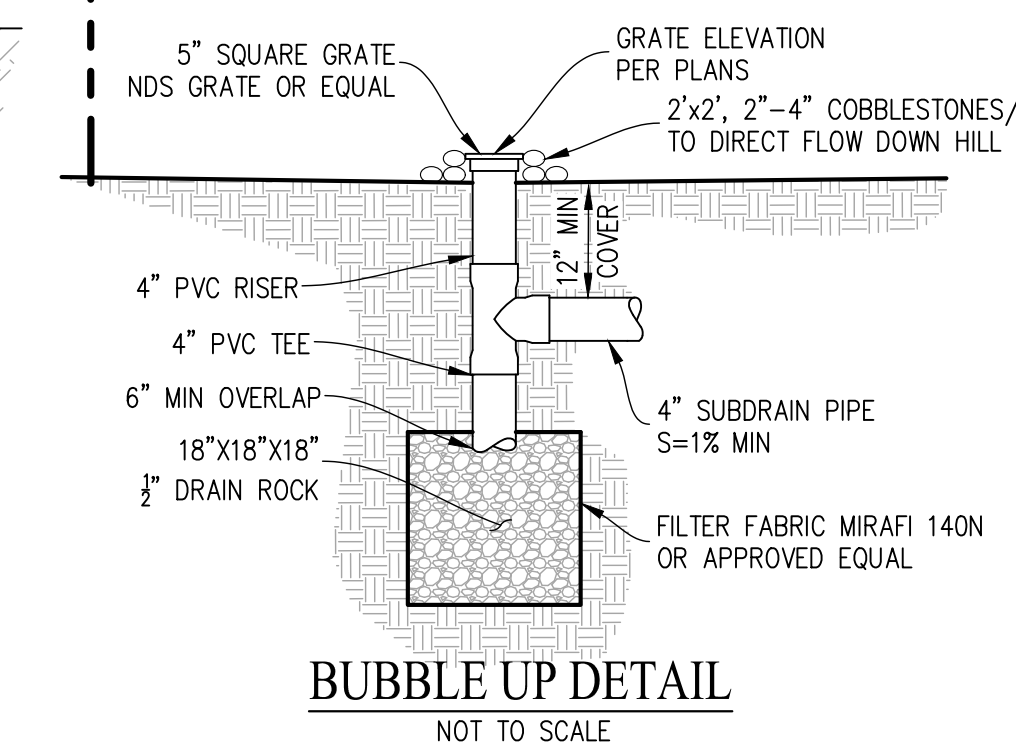
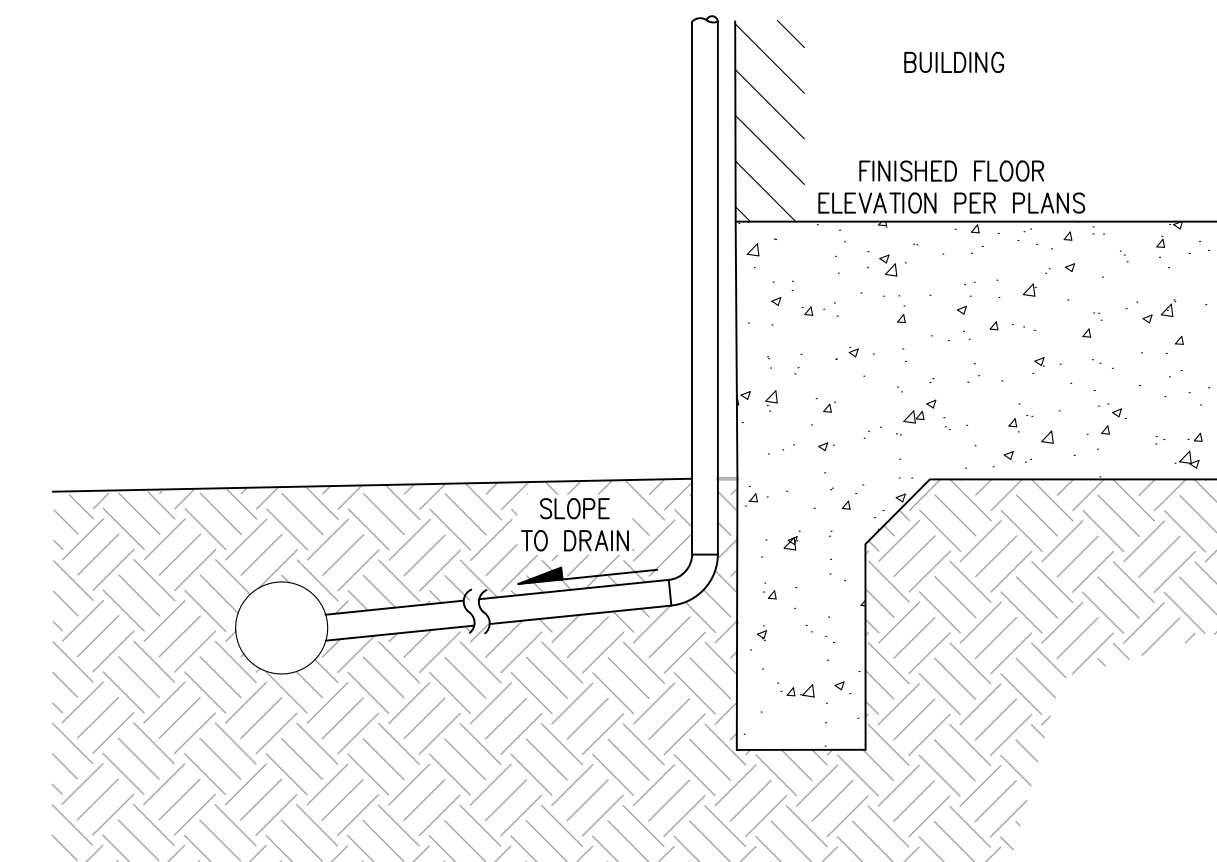
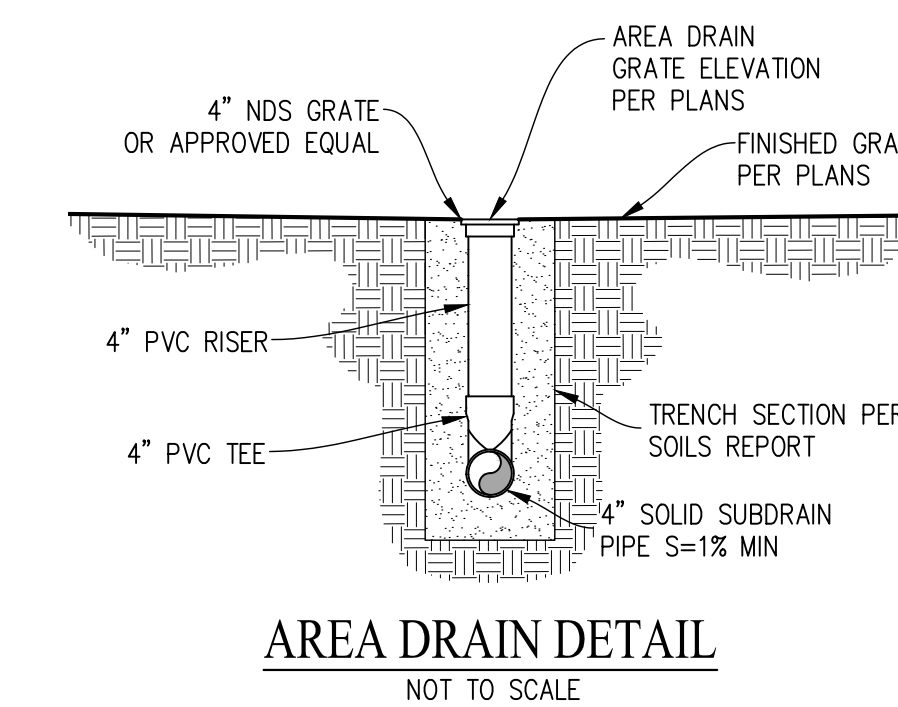
1360 RUDGEAR RD
APN 183-132-010

| PROJECT DATA | |
|--|--------------------------------------|
| PROJECT NAME/NUMBER | 1365 MILTON AVENUE |
| APPLICATION SUBMITTAL DATE | |
| PROJECT LOCATION | 1365 MILTON AVENUE (APN 183-132-006) |
| NAME OF OWNER | WALL TO WALL OF CALIFORNIA, LLC |
| PROJECT PHASE NO. | NOT APPLICABLE |
| PROJECT TYPE AND DESCRIPTION | ONE NEW SINGLE-FAMILY RESIDENCE |
| TOTAL PROJECT SITE AREA (ACRES) | 0.31 |
| TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.) | 0 |
| TOTAL REPLACED IMPERVIOUS SURFACE AREA (SQ. FT.) | 3,257 |
| TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA (SQ. FT.) | 3,504 |
| TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA (SQ. FT.) | 3,257 |
| RUNOFF REDUCTION MEASURES | DISPERSE RUNOFF INTO VEGETATED AREAS |

| SITE DRAINAGE SUMMARY | | | | |
|-----------------------|------------|-------------------------------|-------------------|---------------|
| | TOTAL AREA | IMPERVIOUS AREA | | PERVIOUS AREA |
| | | IMPERVIOUS CONCRETE HARDSCAPE | CONVENTIONAL ROOF | LANDSCAPE |
| PROPOSED SITE | 13,568 SF± | 1,193 SF± | 2,064 SF± | 10,311 SF± |

| ROUGH EARTHWORK SUMMARY | | | |
|-------------------------|------|------|-----------|
| | CUT | FILL | NET |
| 1365 MILTON AVE | 395± | 310± | 85± (CUT) |

NOTE:
ROUGH EARTHWORK QUANTITIES ARE APPROXIMATE BASED ON AVAILABLE INFORMATION AT THIS TIME. QUANTITIES MAY VARY BASED ON FIELD CONDITIONS DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY VERIFY THEIR OWN QUANTITIES.



1361 MILTON AVE
APN 183-132-007

1369 MILTON AVE
APN 183-132-005

MILTON AVENUE
(50' RIGHT OF WAY)
GRADING PLAN
SCALE: 1"=10'

| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |
| | | | |

DATE: DEC 2025
DRAWN BY: SCA
PROJECT ENGR: SLC
PROJ. MGR: AJO

REG. NO. 006270
CIVIL
64345
STATE OF CALIFORNIA

cbg
CIVIL ENGINEERS

1365 MILTON AVENUE
GRADING AND IMPROVEMENT PLAN
GRADING & DRAINAGE PLAN
CONTRA COSTA COUNTY
CALIFORNIA

SHEET NUMBER
C-2
2 OF 5
JOB NUMBER
3953-00



1360 RUDGEAR RD
APN 183-132-010

1361 MILTON AVE
APN 183-132-007

1365 MILTON AVE
APN 183-132-006

1369 MILTON AVE
APN 183-132-005

PROPOSED OVERHEAD WIRE
SEE UTILITY NOTE 5, THIS SHEET.

EX 5'
SEWER EASEMENT IN
FAVOR OF CCCSD

INSTALL NEW SANITARY
SEWER PROPERTY LINE CLEANOUT
SEE UTILITY NOTE 2, THIS SHEET
MIN SLOPE = 2%
FG @ SSCO = 188.0±
INV @ SSCO = 180.8±
INV @ MAIN = 180.3±

INSTALL NEW OPD PER CCCSD DWG 22-05
SSCO RIM 189.1±
4" INV 181.5±
S=2% MIN
SEE UTILITY NOTE 2, THIS SHEET.

PROPOSED BACKFLOW PREVENTOR ASSEMBLY
PER EAST BAY MUNICIPAL UTILITY DISTRICT
STANDARD DETAIL 9498-GB

CONNECT TO EXISTING WATER
METER AND SERVICE
SEE UTILITY NOTE 1, THIS SHEET.

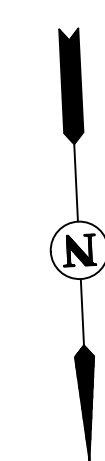
EXISTING GAS LATERAL TO BE ABANDONED
SEE UTILITY NOTE 3, THIS SHEET.

SSMH RIM 186.56
6" INV IN 178.61
12" INV THRU 177.36

EX 12" SS
SSMH RIM 189.03
6" INV IN 181.09
12" INV IN 180.10
12" INV OUT 179.88

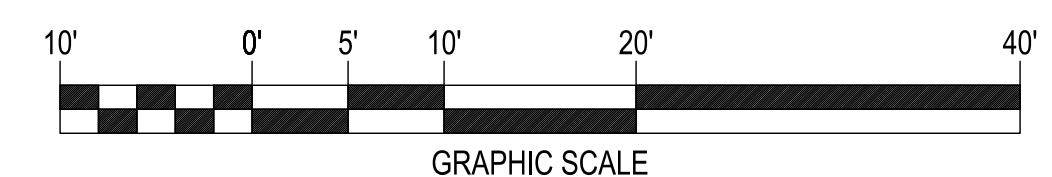
MILTON AVENUE
(50' RIGHT OF WAY)

UTILITY PLAN
SCALE: 1"=10'



UTILITY NOTES

- EXISTING WATER METER AND SERVICE TO REMAIN. THE WATER PROVIDER TO DETERMINE IF EXISTING WATER SERVICE IS SUITABLE FOR PROJECT FLOWS. IF A NEW WATER METER IS NECESSARY, A NEW 2" WATER SERVICE SHALL BE INSTALLED PER EAST BAY MUNICIPAL UTILITY DISTRICT STANDARD DRAWING 292-EA AND A NEW 1" WATER METER SHALL BE INSTALLED PER EAST BAY MUNICIPAL UTILITY DISTRICT STANDARD DRAWING 186-EA. DOMESTIC WATER SERVICE FROM REDUCED BACKFLOW ASSEMBLY TO HOUSE CONNECTION IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER PLUMBING PLANS BY OTHERS.
- EXISTING SANITARY SEWER CLEANOUT AND LATERAL ARE UNKNOWN. IF THE EXISTING PROPERTY LINE CLEANOUT AND SANITARY SEWER LATERAL ARE INSPECTED AND DEEMED UNSUITABLE FOR REUSE, A NEW SANITARY SEWER LATERAL TO BE INSTALLED PER CENTRAL CONTRA COSTA SANITARY DISTRICT STANDARD DRAWING 22-01, AND A NEW PROPERTY LINE CLEANOUT TO BE INSTALLED PER CENTRAL CONTRA COSTA SANITARY DISTRICT STANDARD DRAWING 22-07. INSTALL OVERFLOW PROTECTION DEVICE PER CENTRAL CONTRA COSTA SANITARY DISTRICT STANDARD DRAWING 22-05. ANY SEWER LATERAL MUST HAVE A 1' VERTICAL AND 1' HORIZONTAL CLEARANCE FROM ANOTHER UTILITY. LAYOUT OF THE BUILDING SEWER LATERAL, FROM THE PROPERTY LINE LATERAL TO THE OVERFLOW PROTECTION DEVICE TO THE HOUSE, IS SHOWN FOR REFERENCE ONLY. LAYOUT AND CONSTRUCTION OF BUILDING SEWER SHALL FOLLOW APPROVED PLUMBING PLANS BY OTHERS.
- THE EXISTING GAS SERVICE LATERAL WILL BE ABANDONED. THE LOCATION OF THE EXISTING GAS MAIN IS UNKNOWN AND SHALL BE VERIFIED PRIOR TO ABANDONING EXISTING SERVICE. THE ALIGNMENT OF THE EXISTING GAS MAIN IS APPROXIMATE AND SHOWN FOR REFERENCE ONLY. FINAL ALIGNMENT TO BE COORDINATED WITH DRY UTILITY DESIGN BY OTHERS.
- THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITY LINES TO DETERMINE IF CONFLICTS EXIST.
- THE EXISTING OVERHEAD WIRE SERVING THE PROPERTY SHALL BE REMOVED. THE CONTRACTOR SHOULD VERIFY THE ELECTRICAL PANEL RATING AND CABLE REQUIREMENTS PRIOR TO CONSTRUCTION. THIS INFORMATION AND ALIGNMENT FOR THE UNDERGROUND CONDUIT AND CABLES IS SHOWN FOR REFERENCE ONLY AND SHALL BE CONSTRUCTED PER APPROVED DRY UTILITY PLANS. THIS PLAN DOES NOT COVER THE DEMOLITION OR CONSTRUCTION OF DRY UTILITIES.

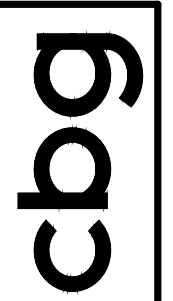


| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

DATE: DEC 2025
DRAWN BY: SCA
PROJ. ENGR: SLC
PROJ. MGR: AJO



SAN RAMON
ROSEVILLE
WWW.CBANDG.COM
SURVEYORS
PLANNERS

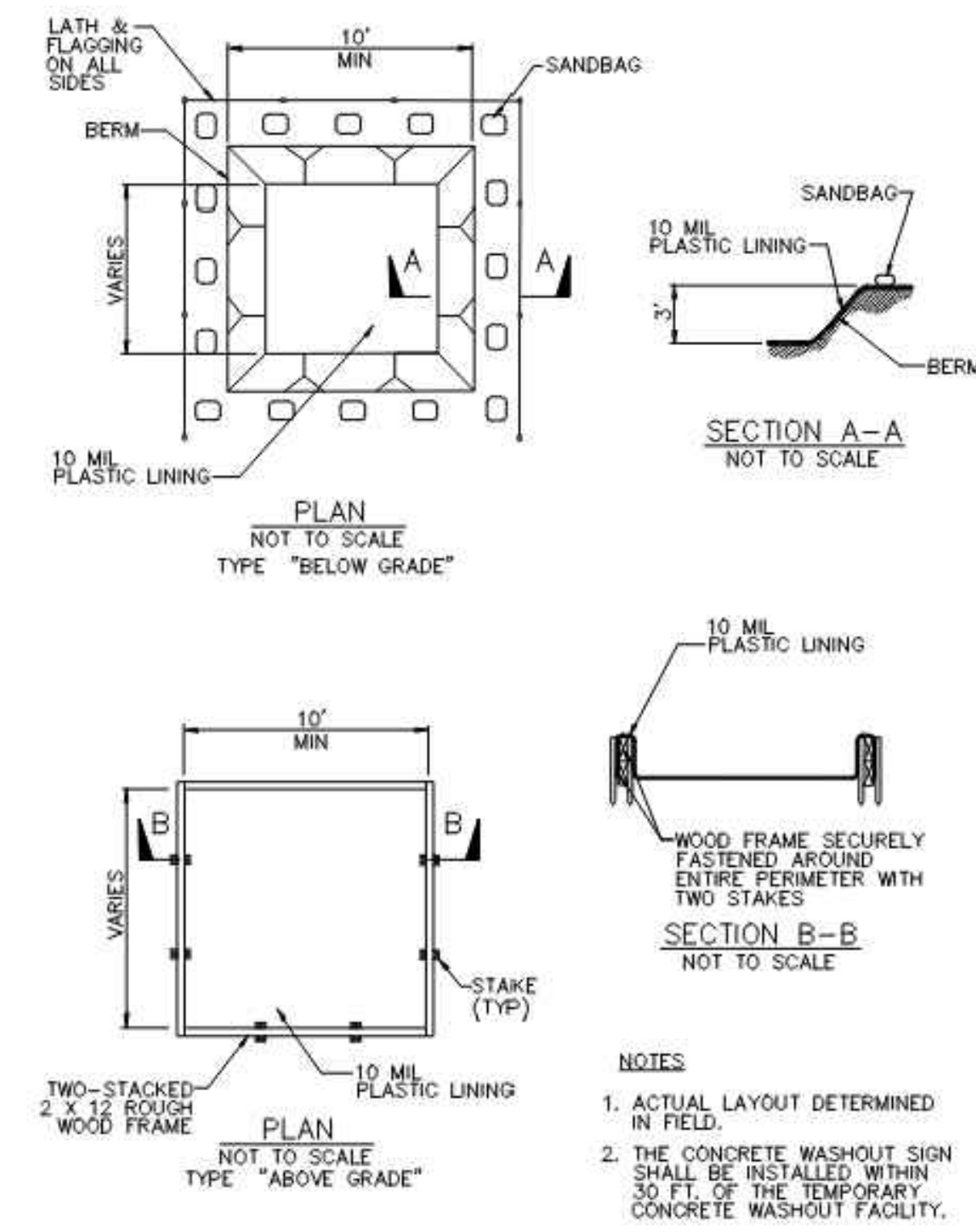


1365 MILTON AVENUE
GRADING AND IMPROVEMENT PLAN
UTILITY PLAN
CALIFORNIA
CONTRA COSTA COUNTY

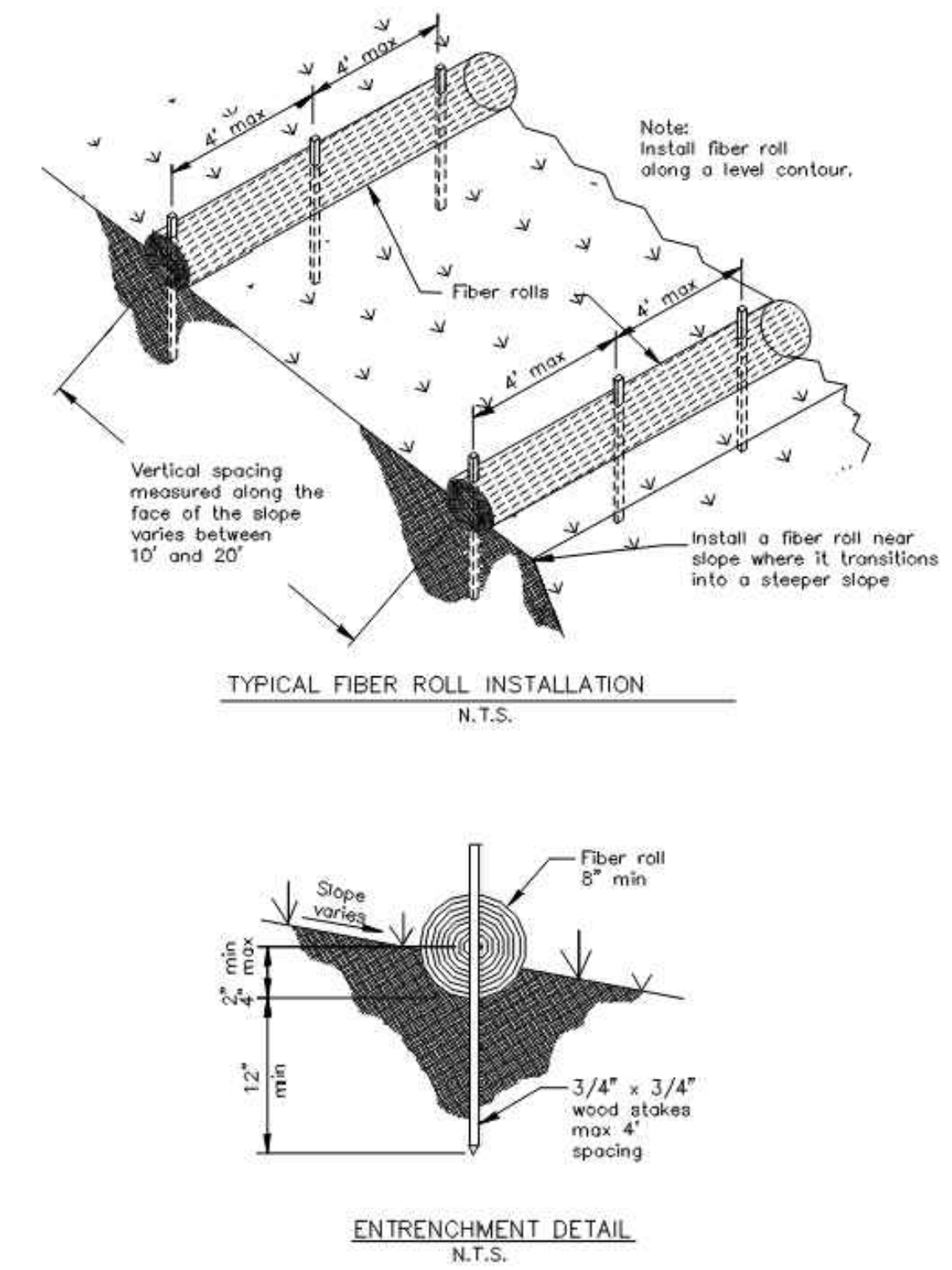
SHEET NUMBER
C-3
3 OF 5
JOB NUMBER
3953-00



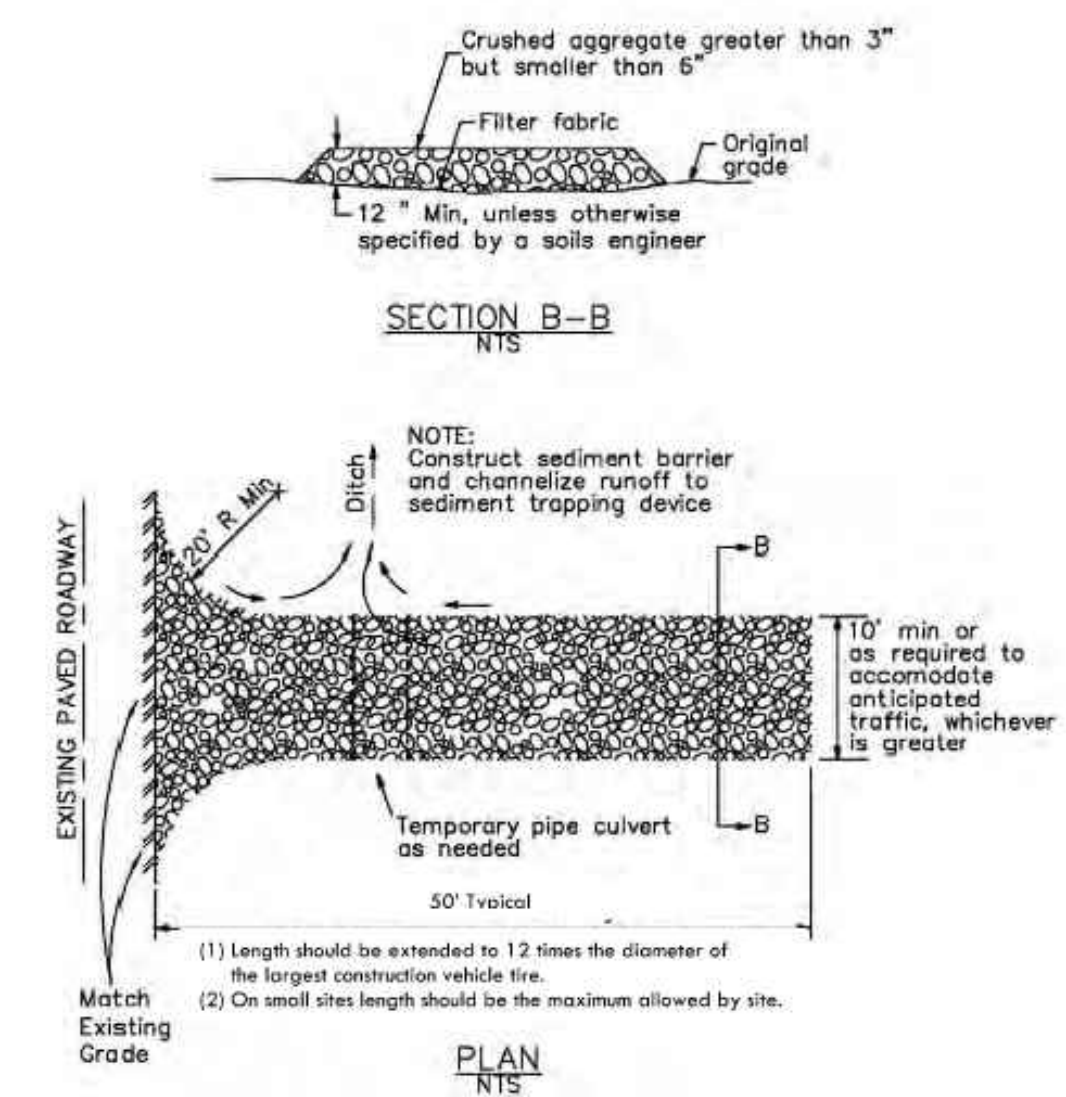
Concrete Waste Management WM-8



Fiber Rolls SE-5

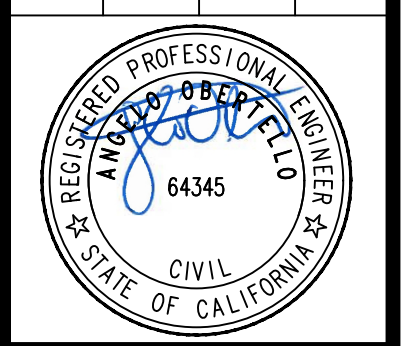


Stabilized Construction Entrance/Exit TC-1

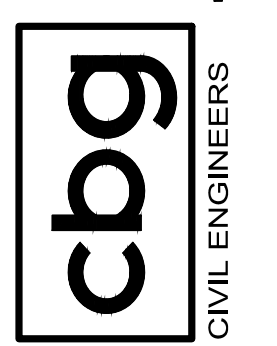


| NO. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

DATE: DEC 2025
 DRAWN BY: SCA
 PROJ. ENGR: SLC
 PROJ. MGR: AJO



SAN RAMON ROSEVILLE
 (925) 866-0322
 (916) 768-4456
 WWW.CBANDG.COM
 PLANNERS
 SURVEYORS



1385 MILTON AVENUE
GRADING AND IMPROVEMENT PLAN
 EROSION CONTROL NOTES & DETAILS
 CONTRA COSTA COUNTY
 CALIFORNIA

SHEET NUMBER
C-5
 5 OF 5
 JOB NUMBER
 3953-00

1365 MILTON AVENUE

WALNUT CREEK, CALIFORNIA

LANDSCAPE CONSTRUCTION DOCUMENTS

DEVELOPER:

VEEV HOMES
2701 W. WINTON AVENUE
HAYWARD, CA 94545
TEL. 650.292.0752

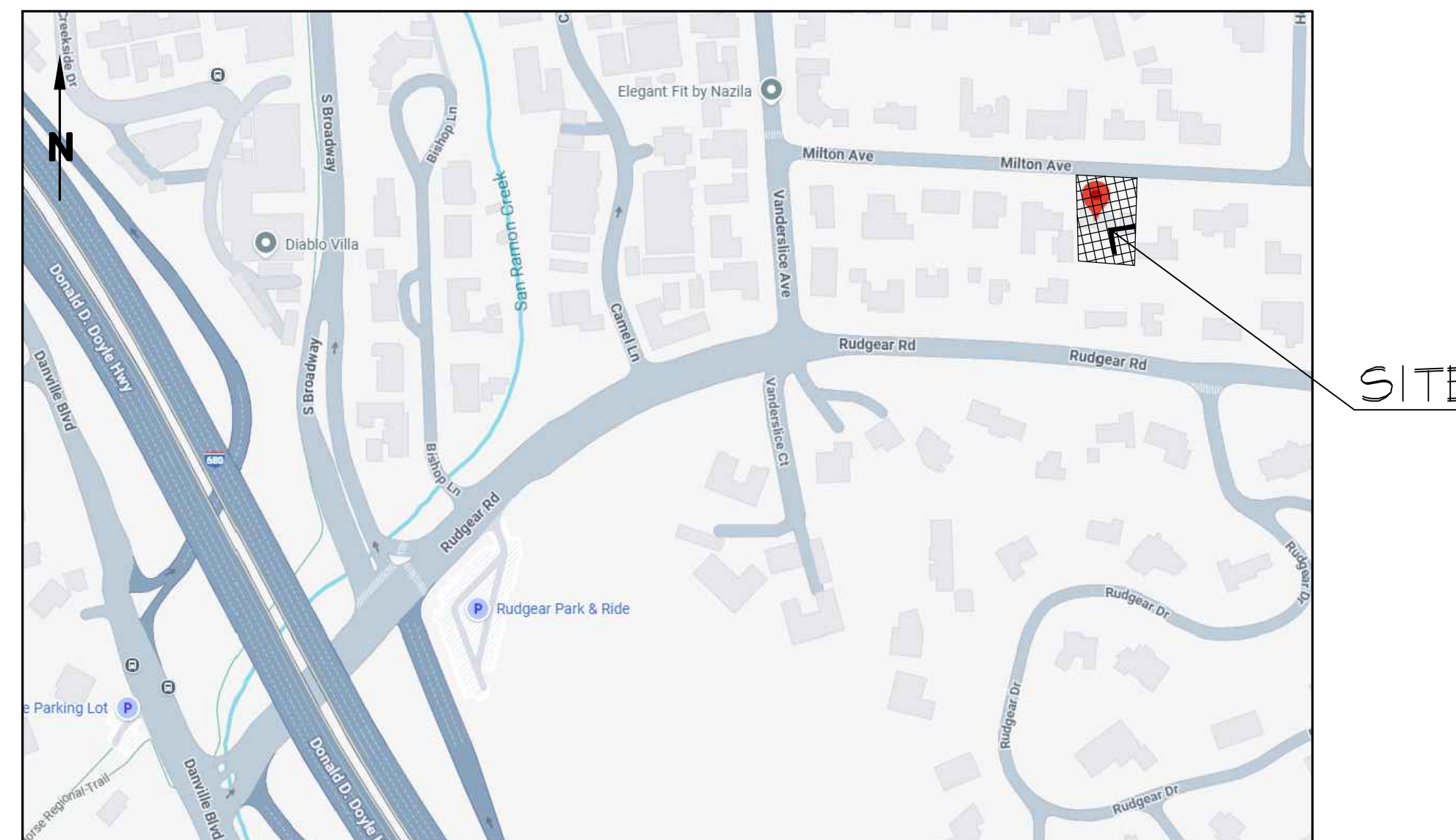
CIVIL ENGINEER:

CARLON, BARBEE AND GIBSON, INC
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA
TEL. 925.866.0322

LANDSCAPE ARCHITECT:

RIPLEY DESIGN GROUP, INC.
1615 BONANZA STREET
SUITE 314
WALNUT CREEK, CA 94596
TEL. (925) 938-7377

SITE LOCATION:



SHEET INDEX:

- LC.1 CONSTRUCTION PLAN
- LC.2 CONSTRUCTION DETAILS
- LI.1 IRRIGATION PLAN
- LI.2 IRRIGATION DETAILS
- LI.3 IRRIGATION NOTES & CALCULATIONS
- LP.1 PLANTING PLAN
- LP.2 PLANTING DETAILS

LANDSCAPE DOCUMENT PACKAGE CHECKLIST:

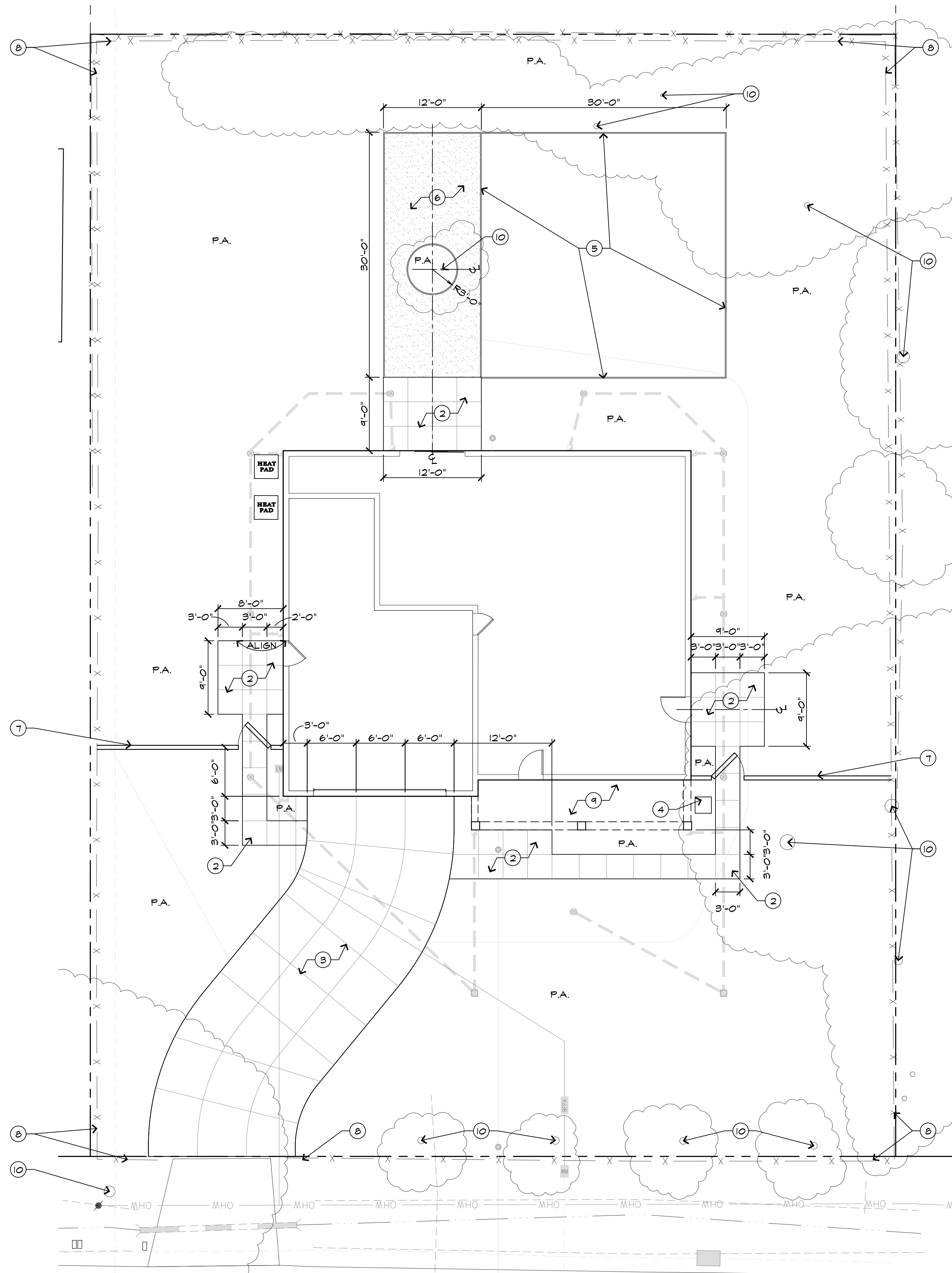
- | | |
|--|--|
| <input checked="" type="checkbox"/> PROJECT INFORMATION: DATE APPLICANT ADDRESS TOTAL LANDSCAPE AREA PROJECT TYPE WATER SUPPLY TYPE CHECKLIST CONTACT INFORMATION SIGNED COMPLIANCE STATEMENT | <input checked="" type="checkbox"/> ESTIMATED TOTAL WATER USE |
| <input checked="" type="checkbox"/> WATER EFFICIENT LANDSCAPE WORKSHEET HYDROZONE INFORMATION TABLE WATER BUDGET CALCULATION | <input checked="" type="checkbox"/> ESTIMATED TOTAL ADJUSTMENT FACTOR |
| <input checked="" type="checkbox"/> MAXIMUM APPLIED WATER ALLOWANCE | <input checked="" type="checkbox"/> SOIL MANAGEMENT REPORT BUILDER TO PROVIDE TO CITY |
| | <input checked="" type="checkbox"/> LANDSCAPE DESIGN PLAN |
| | <input checked="" type="checkbox"/> IRRIGATION DESIGN PLAN |
| | <input checked="" type="checkbox"/> GRADING DESIGN PLAN |

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN:

Annika Carpenter
ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH. #3684



DECEMBER 10, 2025



MILTON AVENUE

CONSTRUCTION LEGEND

1. CONCRETE/AC PAVING PER ENGINEER'S IMPROVEMENT PLANS.
2. CONCRETE PAVING: 4" THICK CONCRETE WITH #3 REBAR 18" O.C. EACH WAY ON 6" AGGREGATE BASE OVER COMPACTED SUBGRADE. REFER TO DETAIL B, SHEET LC.2. INSTALL SCORE LINES AS SHOWN. CONCRETE FINISH: BROOM. CONCRETE COLOR: NATURAL.
3. CONCRETE DRIVEWAY WITH SCORE PATTERN: CONCRETE PER SOILS ENGINEER'S SPECIFICATIONS. INSTALL SCORE LINES AS SHOWN. FINISH: BROOM. COLOR: NATURAL. REFER TO DETAIL C, SHEET LC.2.
4. 2' x 2' SQUARE PAVING STONE: SET LEVEL ON 2" AGG BASE OVER COMPACTED SUBGRADE. MATERIAL SHALL BE STONE OR CONCRETE. IF CONCRETE IS SELECTED MATCH COLOR OF PAVER WITH CONCRETE WALK.
5. TURF HEADER, REFER TO DETAIL E, SHEET LC.2.
6. DECOMPOSED GRANITE PAVING: DECOMPOSED GRANITE TO BE GREY IN COLOR. COMPACTED TO A 3" MINIMUM DEPTH WITH STABILIZER. INSTALL HEADERBOARD WHERE ADJACENT TO PLANTING AREAS PER DETAIL F, SHEET LC.2.
7. 6'-0" WOOD PRODUCTION FENCE W/ GATE: INSTALL PER DETAIL G, H, OR I, SHEET LC.2, BUILDER TO MAKE FINAL FENCE SELECTION.
8. EXISTING FENCING TO REMAIN.
9. FRONT PORCH PER ARCHITECTURE PLANS.
10. EXISTING TREE TO REMAIN AND BE PROTECTED.

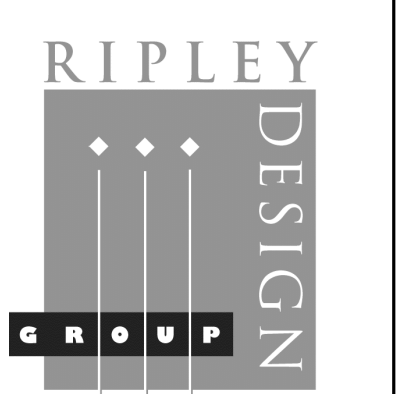
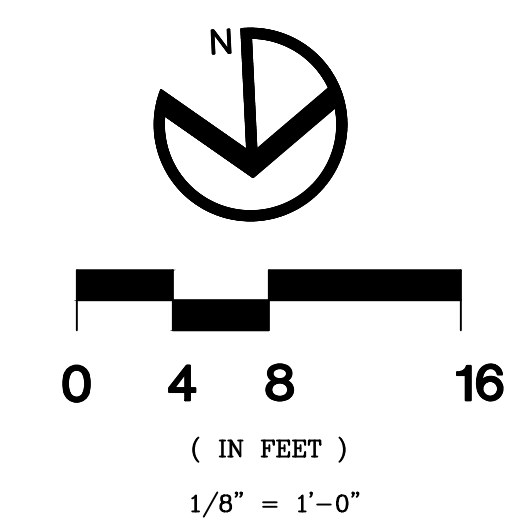
P.A. = PLANTING AREA
 CL = CENTER LINE
 EQ = EQUAL

CONSTRUCTION NOTES:

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF BUILDING, FACE OF WALL OR EDGE OF PAVING, UNLESS OTHERWISE NOTED ON THE PLAN. THE DIMENSIONS SHOWN ARE FOR APPROXIMATE LINE ONLY. ALL RADII AND CURVES SHALL HAVE SMOOTH CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
2. ALL FORMS AND ALIGNMENT OF PAVING AND WALL FOOTINGS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PAVING, A MINIMUM OF 24 HOUR NOTICE REQUIRED. RIPLEY DESIGN GROUP, INC. WILL NOT BE RESPONSIBLE FOR FIELD CHANGES, QUALITY OF CONSTRUCTION, AND PLAN CONFORMANCE UNLESS APPROVED AND/OR REVIEWED BY RIPLEY DESIGN GROUP, INC.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
4. CONTRACTOR SHALL NOTE AND INSTALL ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS.
5. SEE PLANTING PLANS FOR ANY BOXED TREE TO BE INSTALLED PRIOR TO PAVING.
6. ALL HARDWARE, NAILS, LAGS, MACHINE BOLTS, ETC. SHALL BE GALVANIZED.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.
8. CONTRACTOR SHALL INSTALL STEPS AS REQUIRED PER INDIVIDUAL LOT CONDITIONS. CONTRACTOR SHALL NOT INSTALL ANY SINGLE RISERS ON WALKS. CONTRACTOR SHALL NOT INSTALL MORE THAN THREE (3) RISERS IN A SET. SETS OF RISERS SHALL BE SEPARATED BY A LANDING A MINIMUM OF 4'-0" IN LENGTH. INSTALL STEPS PER DETAIL D, SHEET LC.2.

NOTES:
 REFER TO CIVIL ENGINEER'S PLANS FOR GRADING AND DRAINAGE INSTALLATION.
 SEE SHEET LC.2 FOR LANDSCAPE CONSTRUCTION DETAILS.

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN
 Annika Carpenter
 ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH.#3684



RIPLEY DESIGN GROUP, INC.
 Landscape Architecture
 Land Planning
 1615 Bonanza St., Suite 314
 Walnut Creek
 California 94596
 Tel 925.938.7377

DEVELOPER:

VEEV HOMES
 2701 W. WINTON AVE.
 HAYWARD, CA
 94545

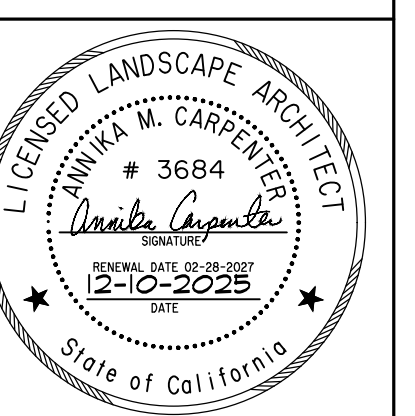
TEL. (650) 292-0752

PROJECT:

1365 MILTON AVE

WALNUT CREEK, CA

CONSTRUCTION PLAN



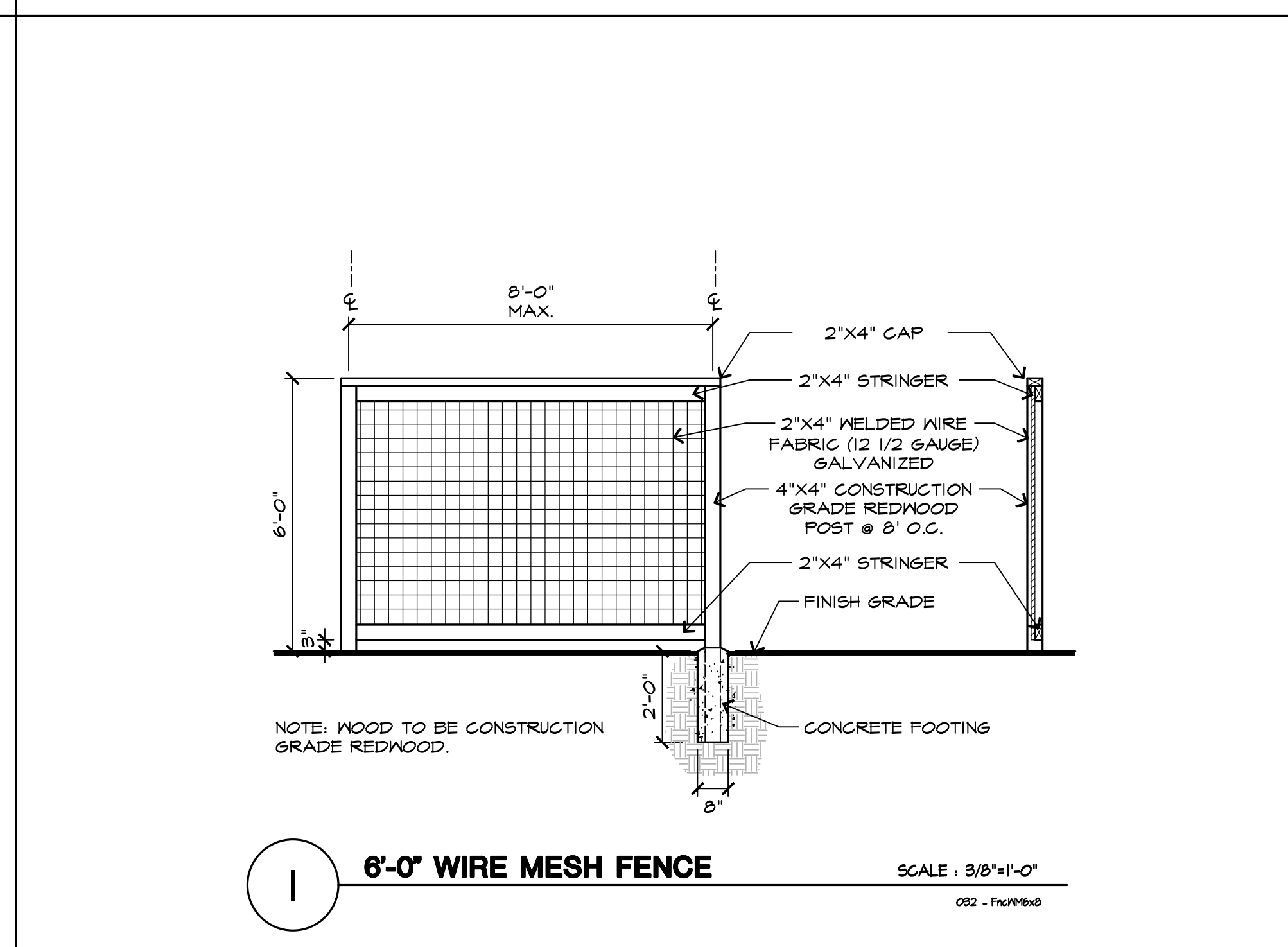
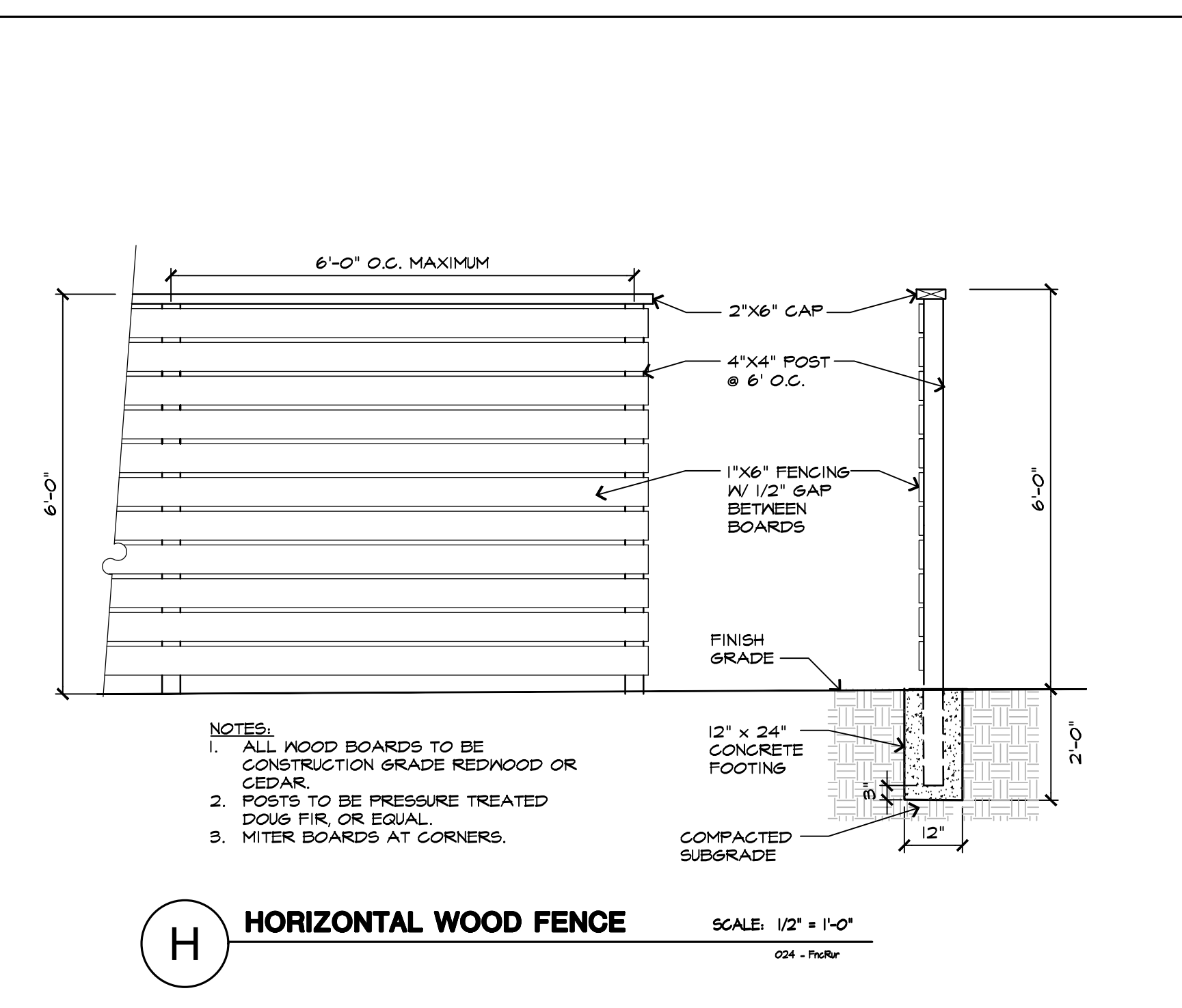
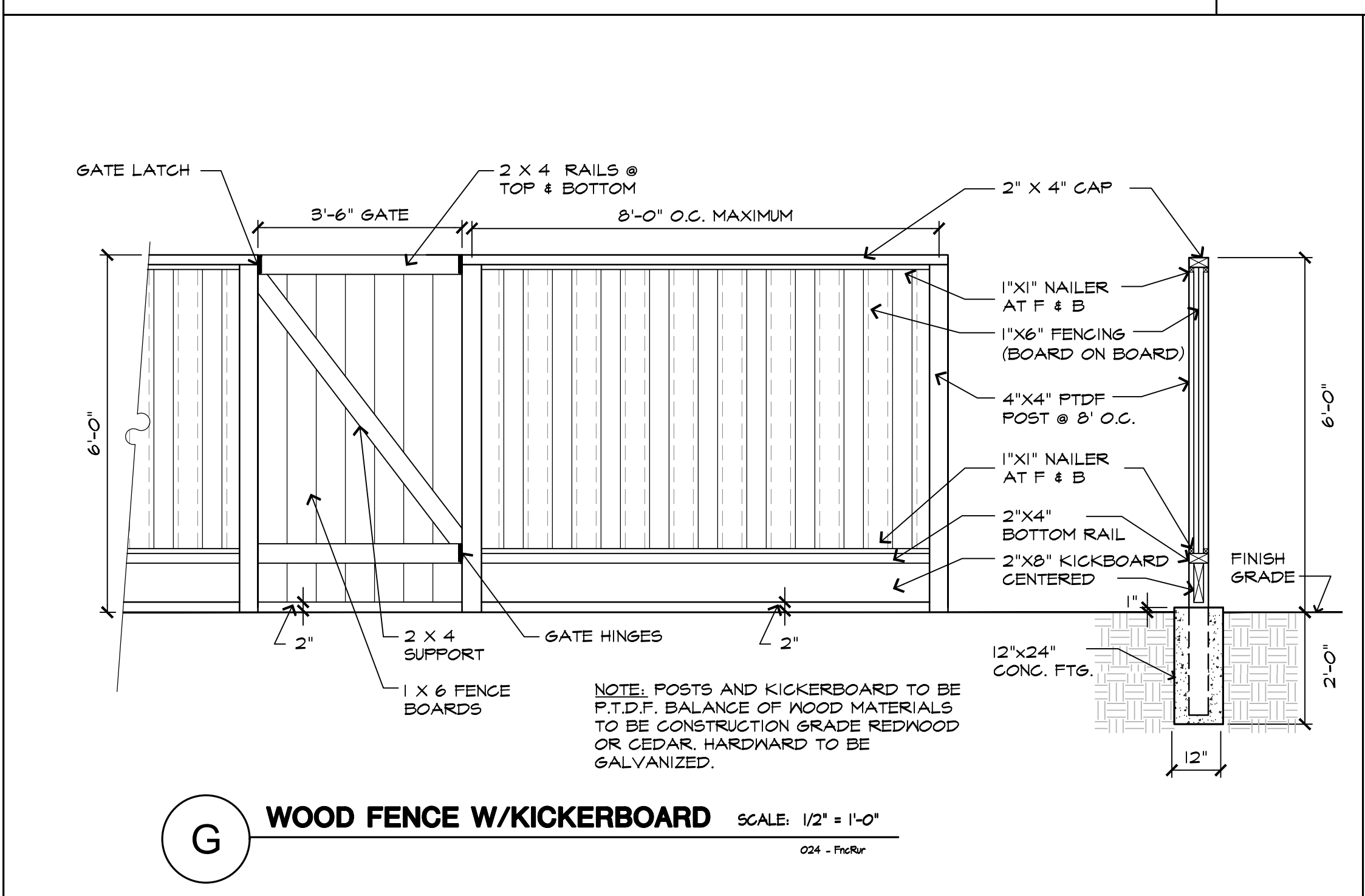
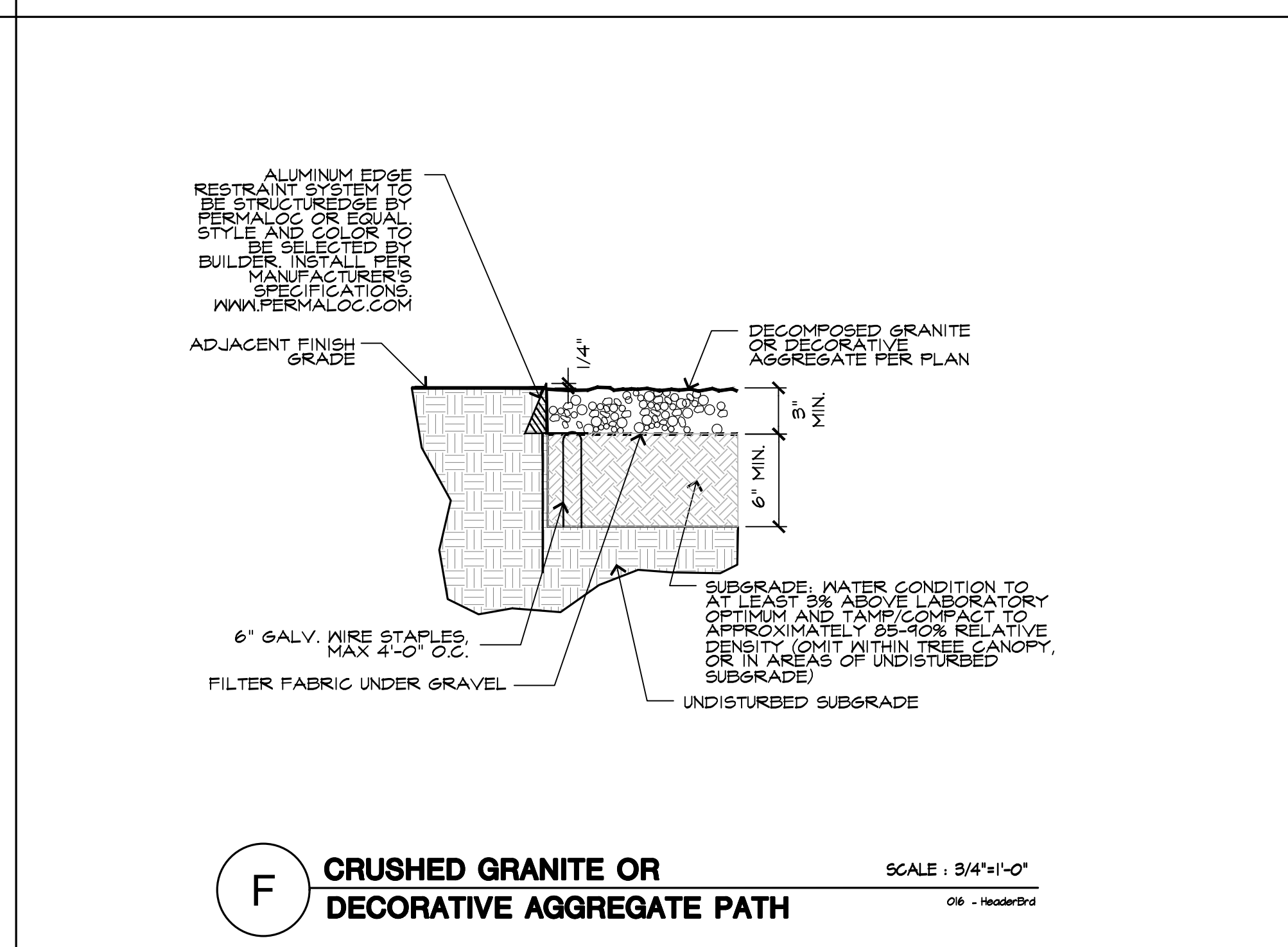
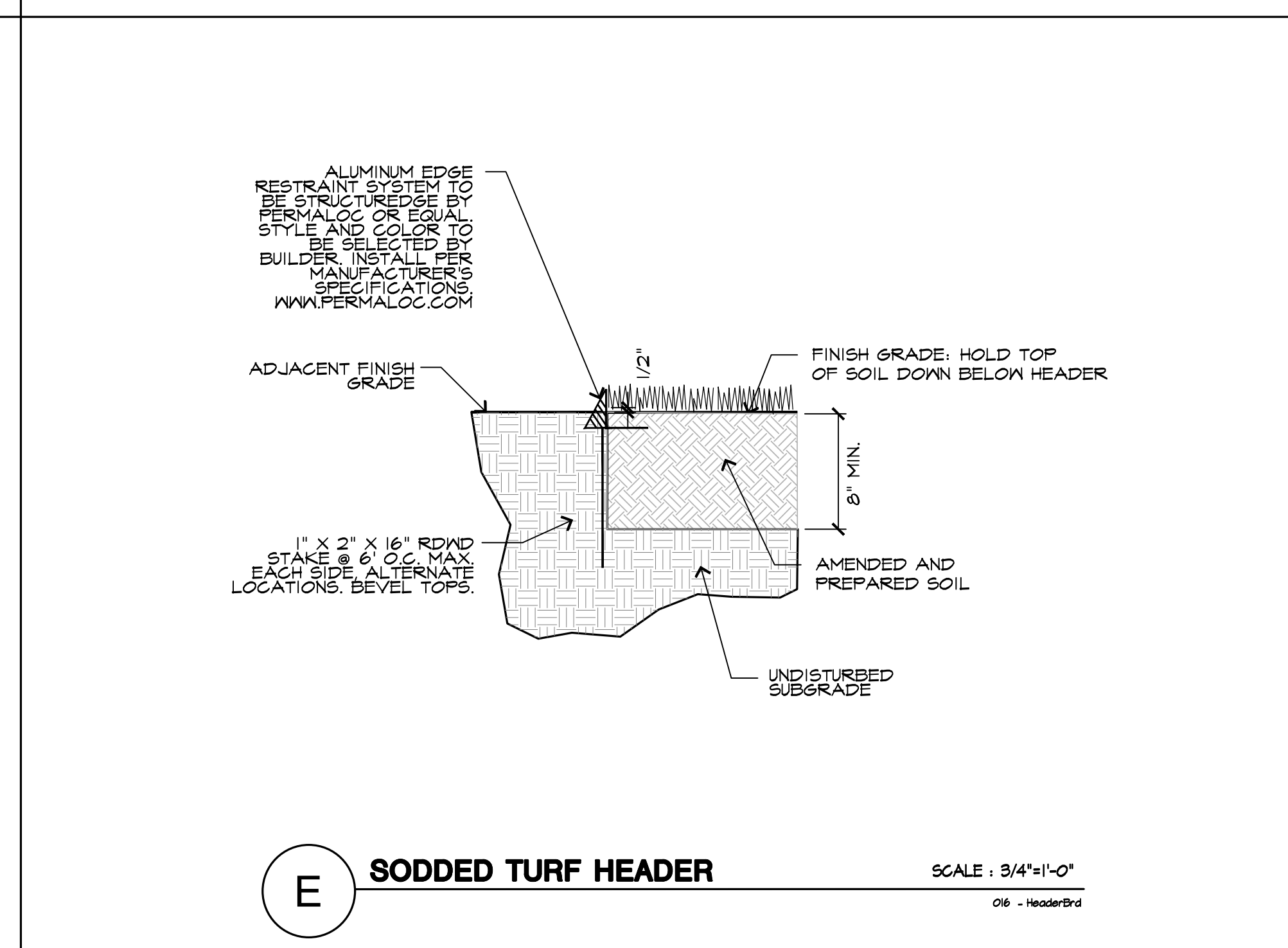
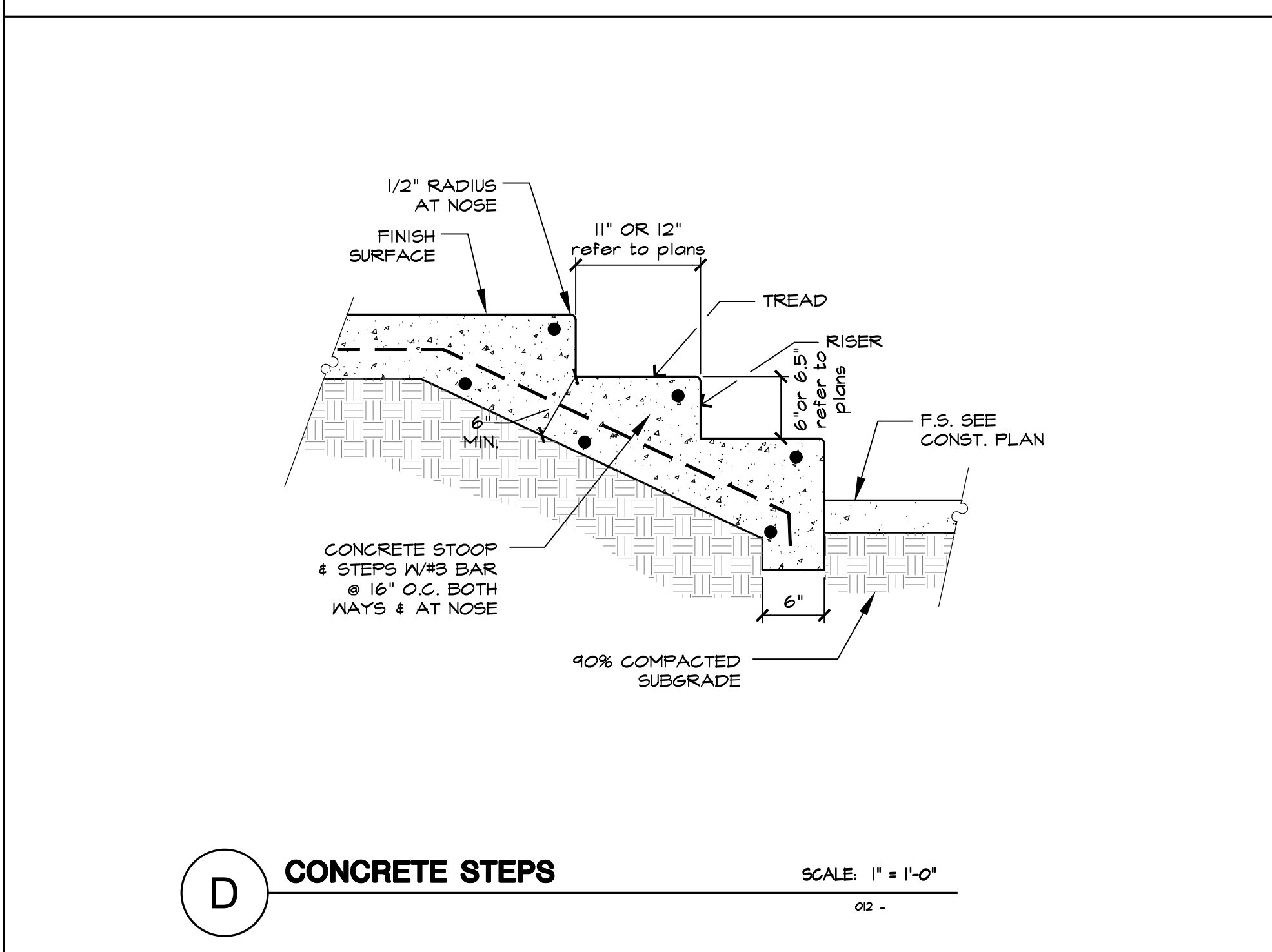
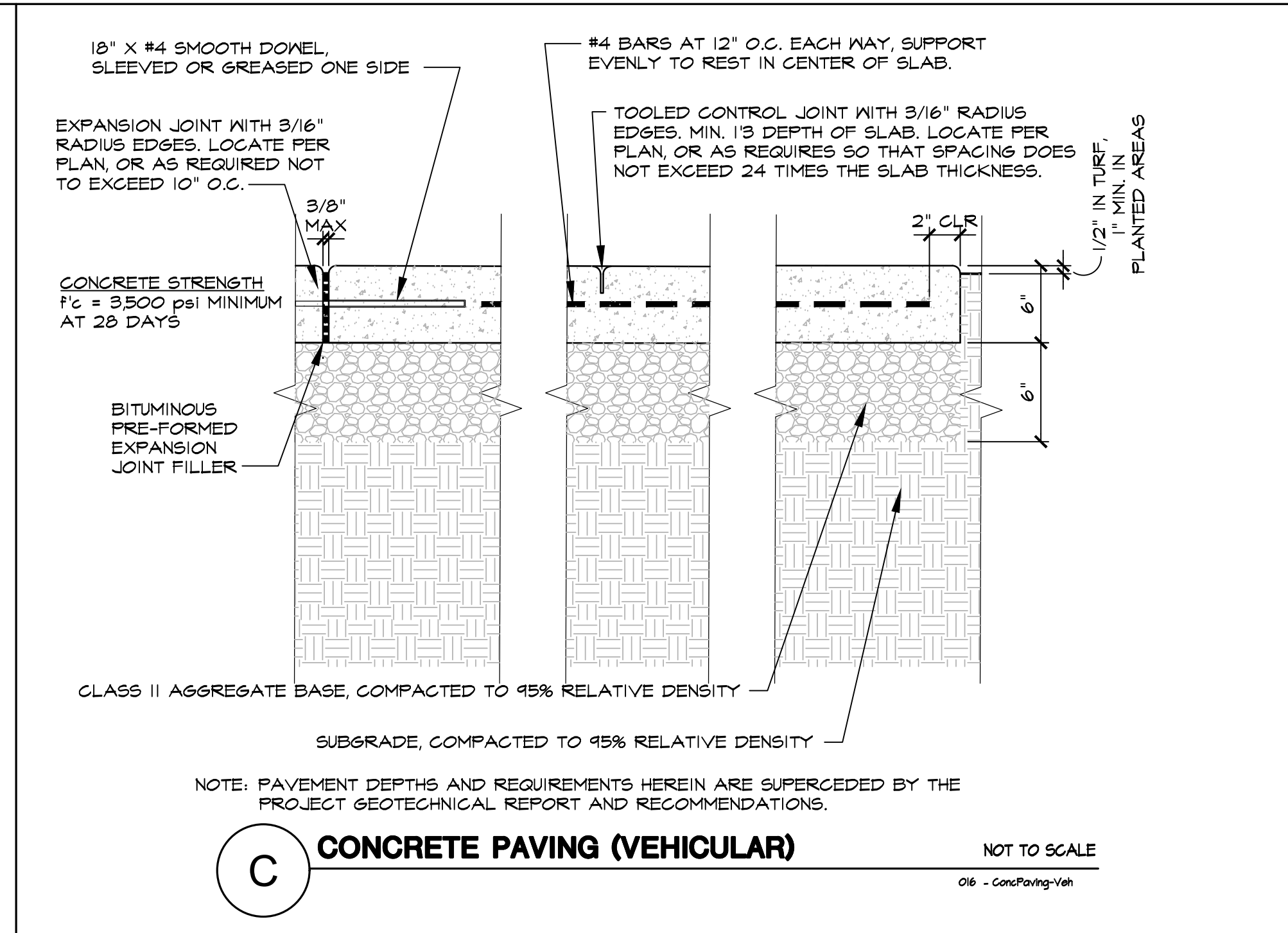
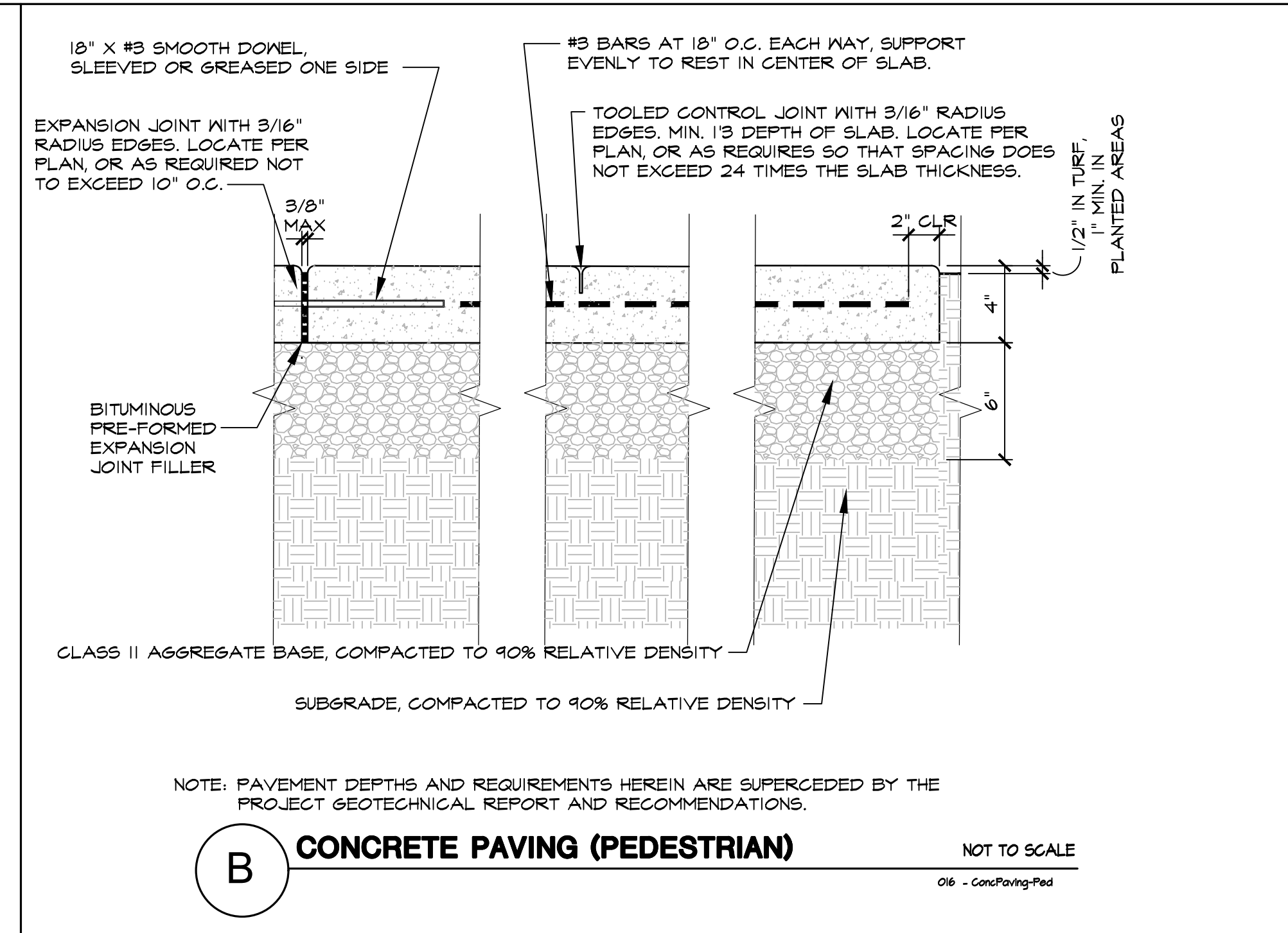
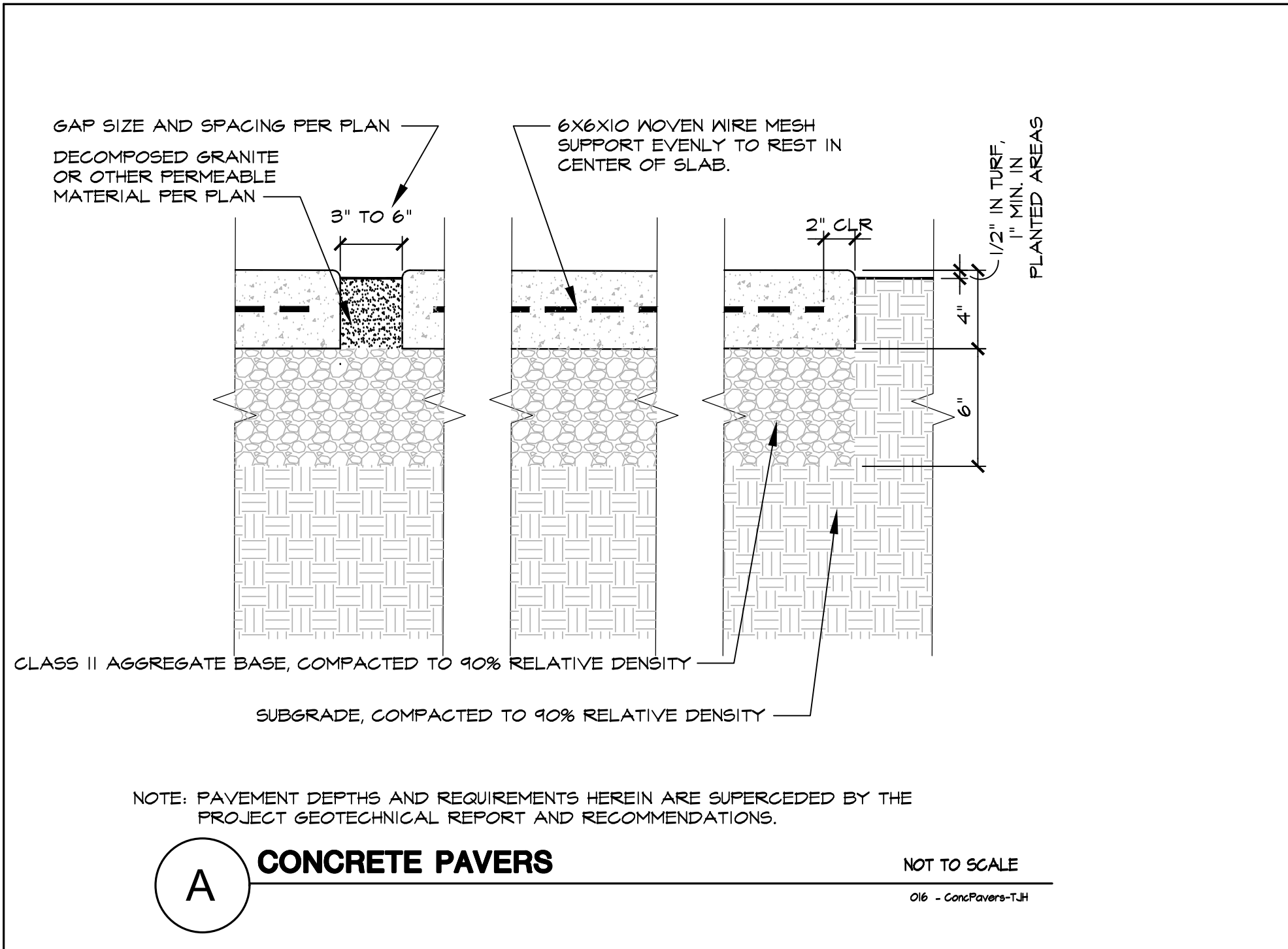
PROJECT #:
 DATE: DEC. 10, 2025
 SCALE: 1/8" = 1'-0"
 DRAWN BY: AMP
 CHECKED BY: AMC

REVISIONS:

SHEET

LC.1

1 OF 7 SHEETS



RIPLEY DESIGN GROUP

RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning

1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377

DEVELOPER:

VEEV HOMES

2701 W. WINTON AVE.
HAYWARD, CA
94545

TEL. (650) 292-0752

PROJECT:

1365 MILTON AVE

WALNUT CREEK, CA

CONSTRUCTION DETAILS

LICENSED LANDSCAPE ARCHITECT
ANNIKA M. CARPENTER
3684
GENERAL SEAL EXPIRES
2-10-2025
State of California

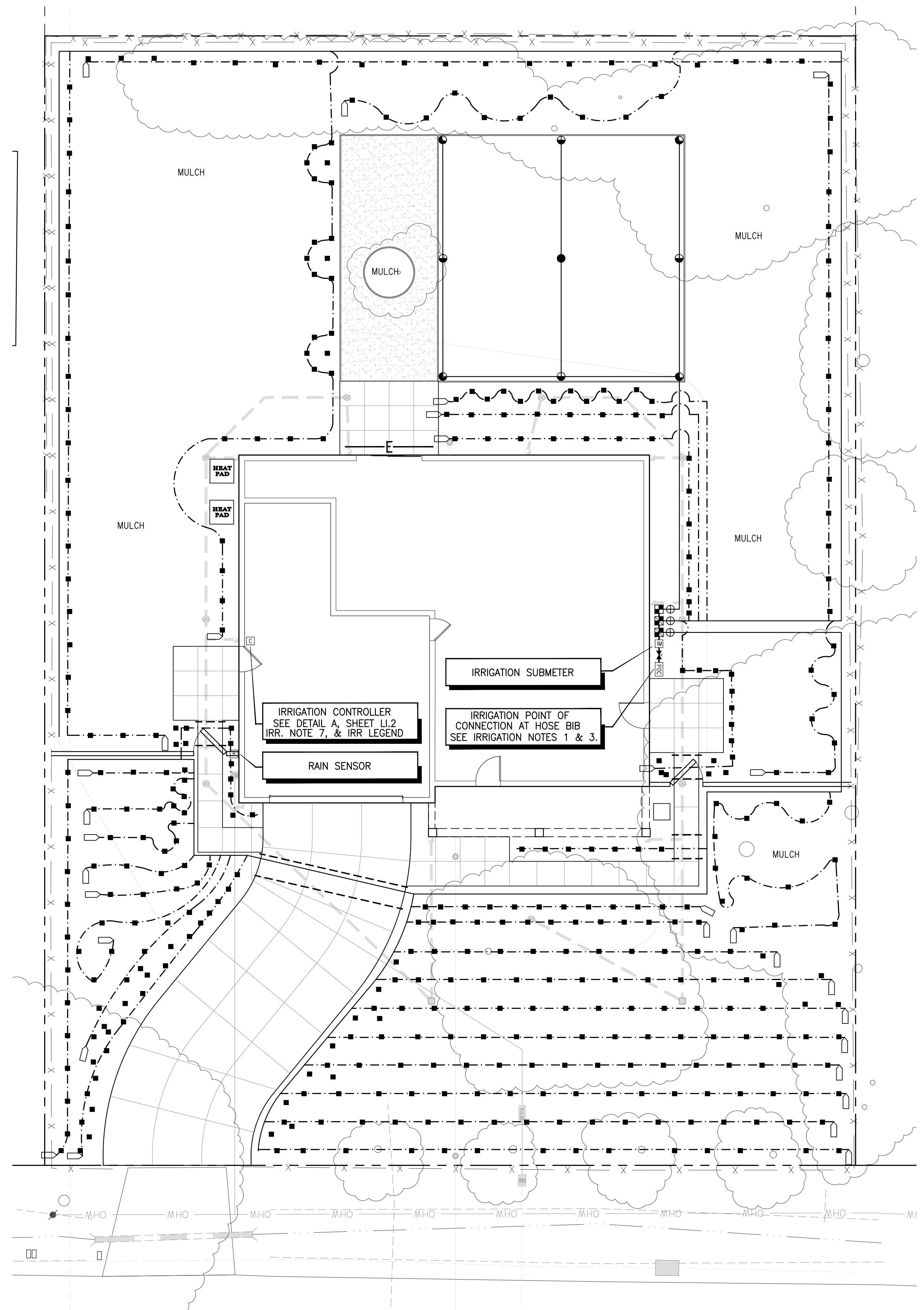
PROJECT #:
DATE: DEC. 10, 2025
SCALE: AS SHOWN
DRAWN BY: AMP
CHECKED BY: AMC

REVISIONS:

SHEET

LC.2

2 OF 7 SHEETS



MILTON AVENUE

IRRIGATION SYSTEM LEGEND

| SYMBOL | DESCRIPTION | SPECIFICATION | NOZZLE GPM | OPERATING PSI |
|--------|----------------------------------|---|------------|---------------|
| ⊠ | DOMESTIC WATER METER | -BY OTHER SECTION OF CONTRACT | | |
| ⊠ | ELECTRIC CONTROLLER | -HUNTER PRO-HC-6 6 STATION CONTROLLER (ET-BASED) | | |
| ⊠ | POINT OF CONNECTION | -CONNECT TO HOSE BIB PER MEP PLANS | | |
| ⊠ | IRRIGATION METER | -HUNTER HC FLOW METER | | |
| ⊠ | RAIN/ET/FREEZE SENSOR | -HUNTER SOLAR SYNC WSS-SEN (WIRELESS) | | |
| ⊠ | REMOTE CONTROL VALVES | -IRRITROL-2713APR | | |
| ⊠ | REMOTE CONTROL VALVES | -IRRITROL-2713APR W/REGULATOR & FILTER | | |
| ⊠ | BALL VALVE | -NIBCO-T-560-BR-20-IRR-LINE SIZE | | |
| ⊠ | BUBBLER (2 PER TREE) | -HUNTER-PCB-50 OR EQUAL | .50 | 30 |
| ⊠ | EMITTER (SHRUB) | -SALCO SINGLE OUTLET EMITTER- SLV-1 with SALCO AR-IPS-025 FLEX HOSE as needed | 1.0 (GPH) | 30 |
| ⊠ | 6" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-ORANGE-90 (10' R) | .17 | 30 |
| ⊠ | 6" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-ORANGE-180 (10' R) | .34 | 30 |
| ⊠ | 6" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-GREEN-360 (10' R) | .69 | 30 |
| ⊠ | IRRIGATION DRIP LINE - 3/4" | -SALCO AR-IPS-075 FLEX HOSE -4" COVER | | |
| ⊠ | FLUSH VALVE | -HUNTER-AFV-T | | |
| ⊠ | AIR VALVE | -HUNTER-AVR-075 | | |
| ⊠ | IRRIGATION SUPPLYLINE - 1" | -1120/SCHEDULE 40 PVC PIPE -18" COVER | | |
| ⊠ | IRRIGATION SPRINKLERLINE | -1120/CLASS 200 PVC PIPE -12" COVER | | |
| ⊠ | ELECTRICAL CONDUIT | -1120/SCHEDULE 40 PVC PIPE -24" COVER | | |
| ⊠ | 4" SLEEVING | -1120/SCHEDULE 40 PVC PIPE -24" COVER | | |
| ⊠ | CONTROLLER STATION NUMBER | | | |
| ⊠ | GALLONS PER MINUTE THROUGH VALVE | | | |
| ⊠ | CONTROL VALVE SIZE | | | |

HYDROZONES

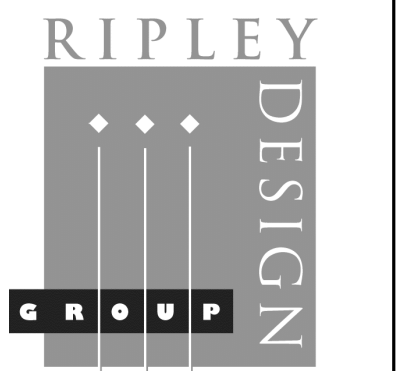
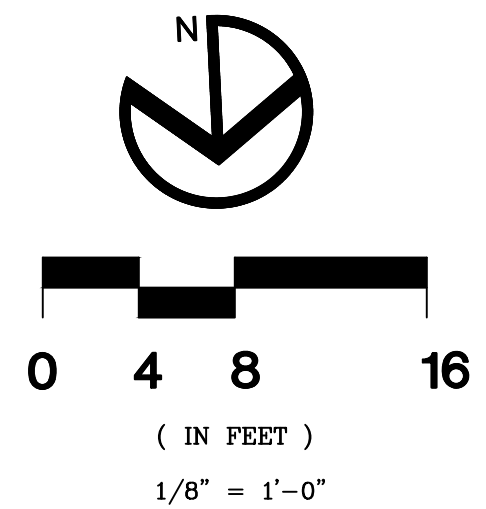
| NAME | TYPE | WATER USE | DESCRIPTION |
|------|-------|-----------|---------------------|
| A-1 | SPRAY | HIGH | TURF - REAR YARD |
| A-2 | DRIP | LOW | SHRUBS - REAR YARD |
| A-3 | DRIP | LOW | SHRUBS - FRONT YARD |

| | | |
|-----|------|------|
| A-1 | 4.08 | 1.00 |
| A-2 | 2.03 | 1.00 |
| A-3 | 3.00 | 1.00 |

NOTE:
SEE SHEET LI.2 FOR IRRIGATION DETAILS.
SEE SHEET LI.3 FOR IRRIGATION NOTES & W.E.L.O. CALCULATIONS

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Annika Carpenter
ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH.#3684



RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377

DEVELOPER:

VEEV HOMES
2701 W. WINTON AVE.
HAYWARD, CA
94545

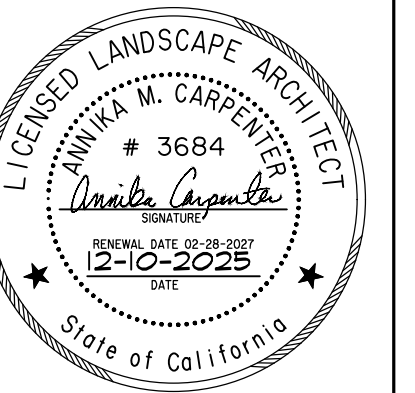
TEL. (650) 292-0752

PROJECT:

1365 MILTON AVE

WALNUT CREEK, CA

IRRIGATION PLAN



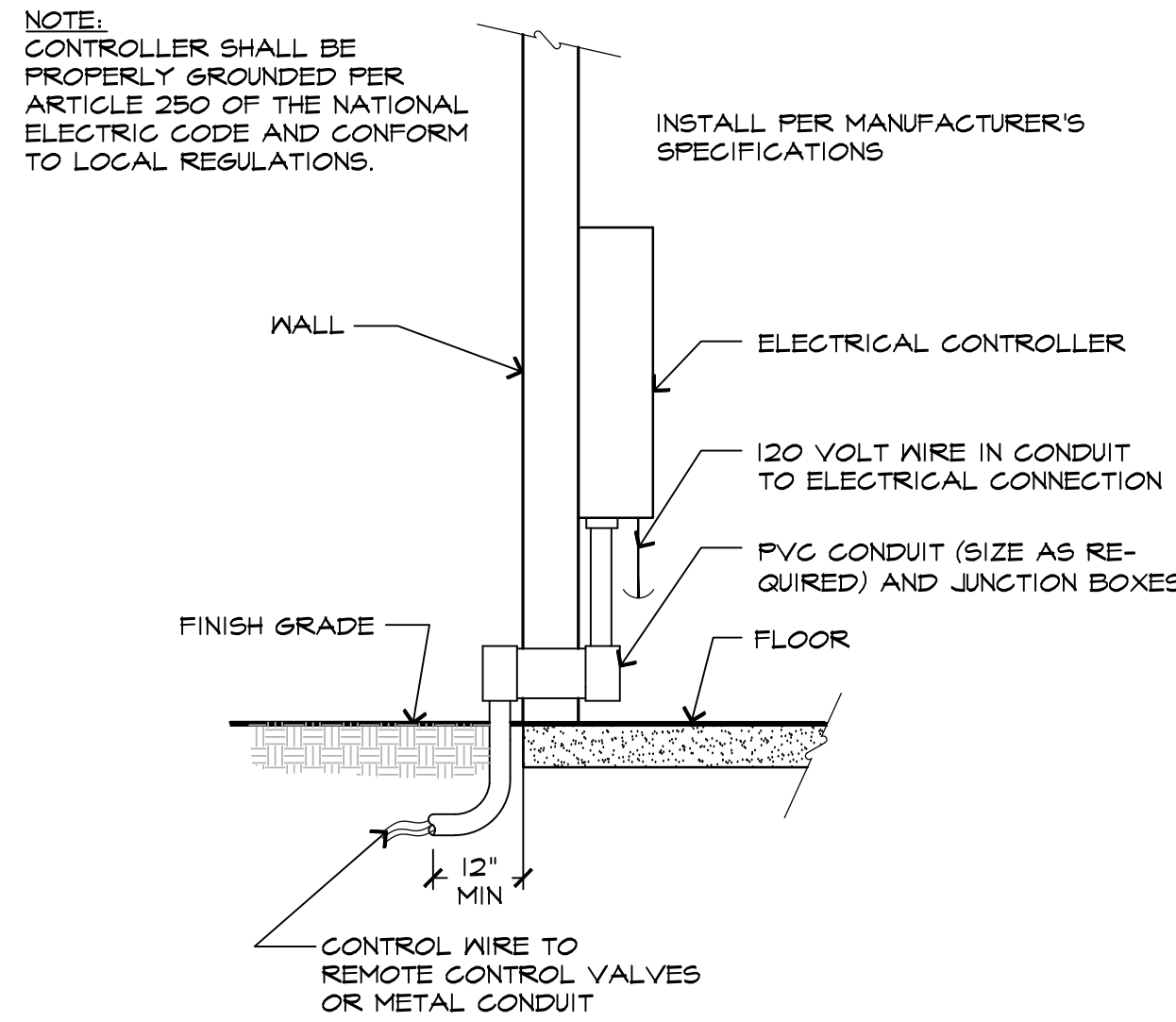
PROJECT #:
DATE: DEC. 10, 2025
SCALE: 1/8" = 1'-0"
DRAWN BY: AMP
CHECKED BY: AMC

REVISIONS:

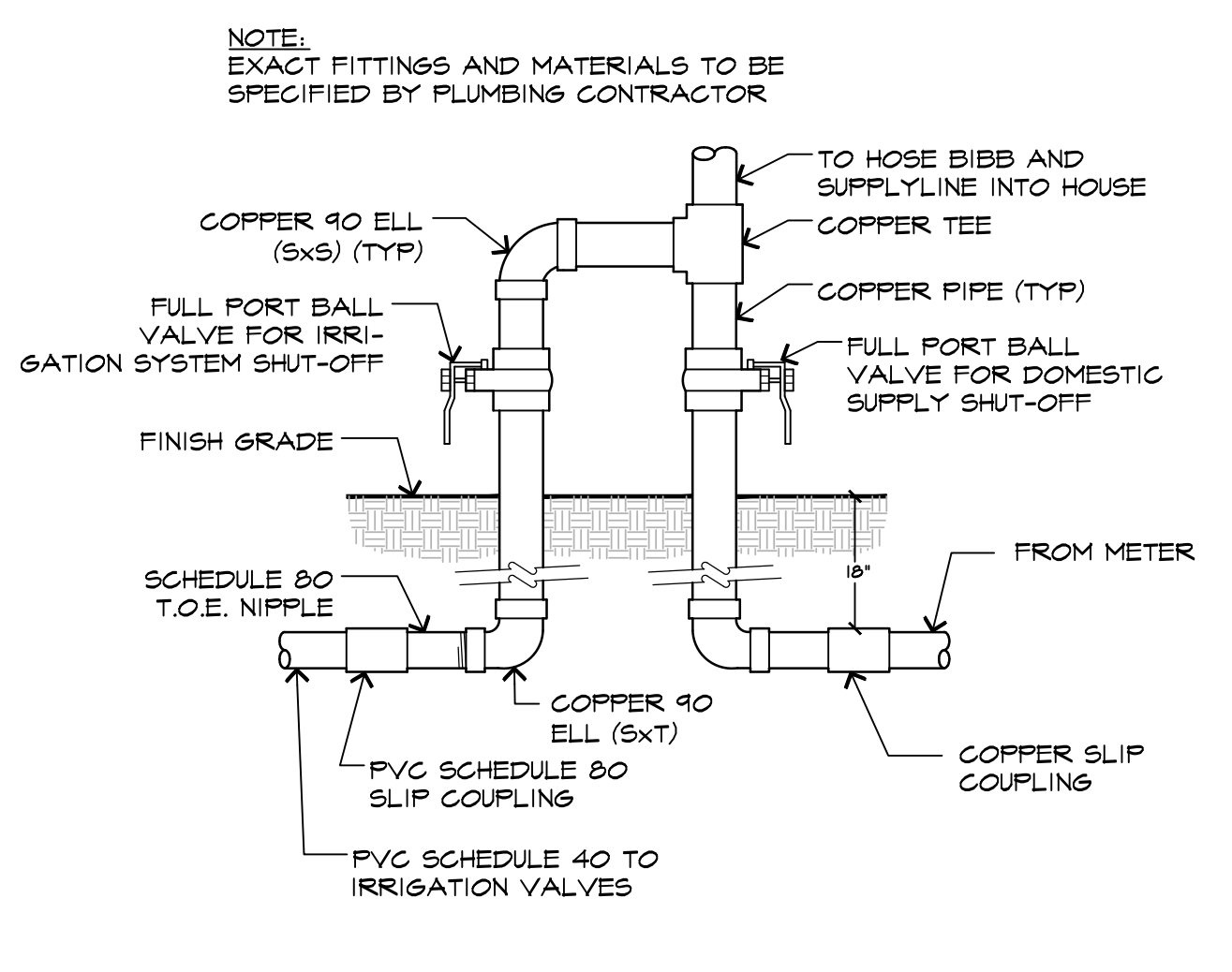
SHEET

LI.1

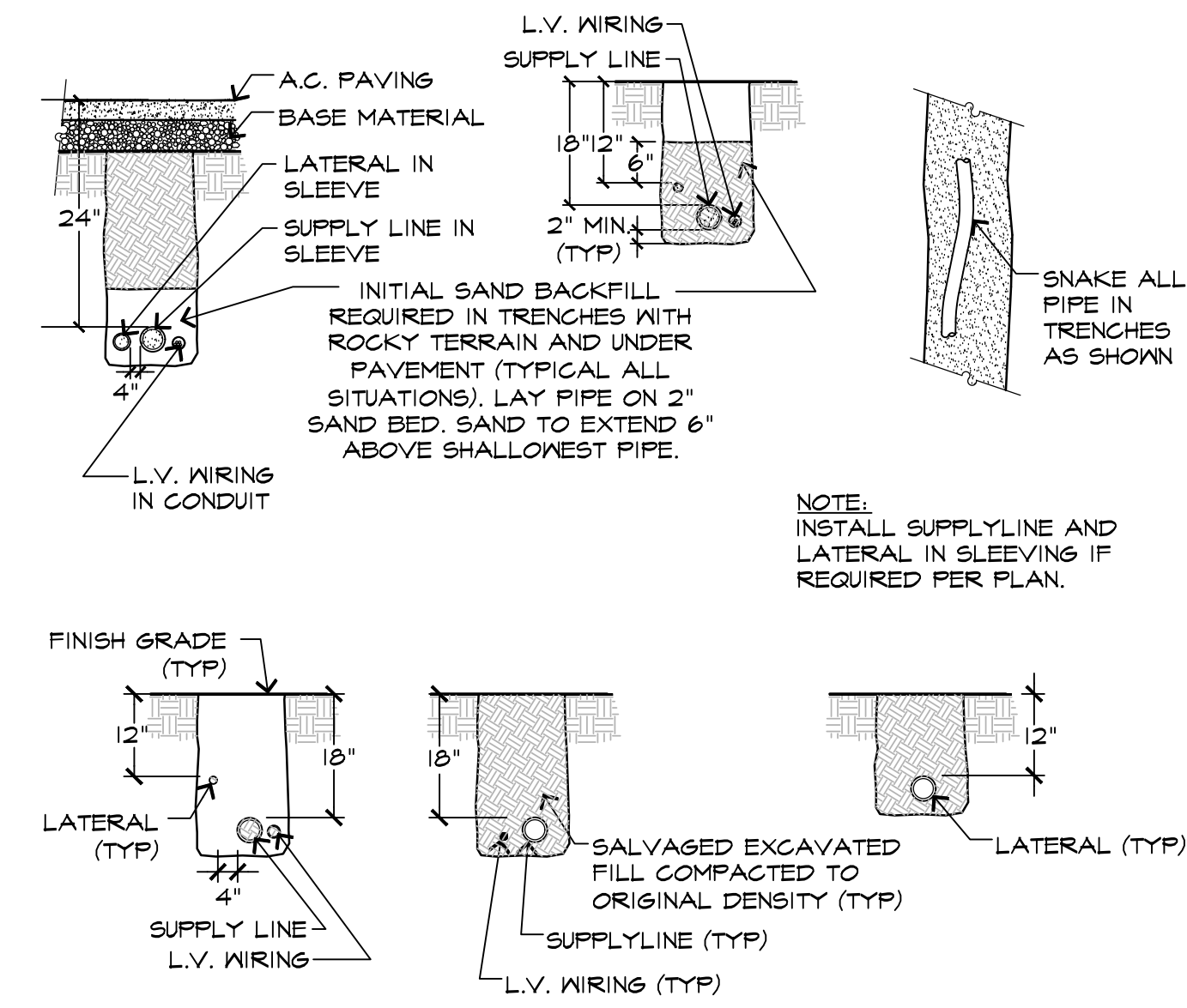
3 OF 7 SHEETS



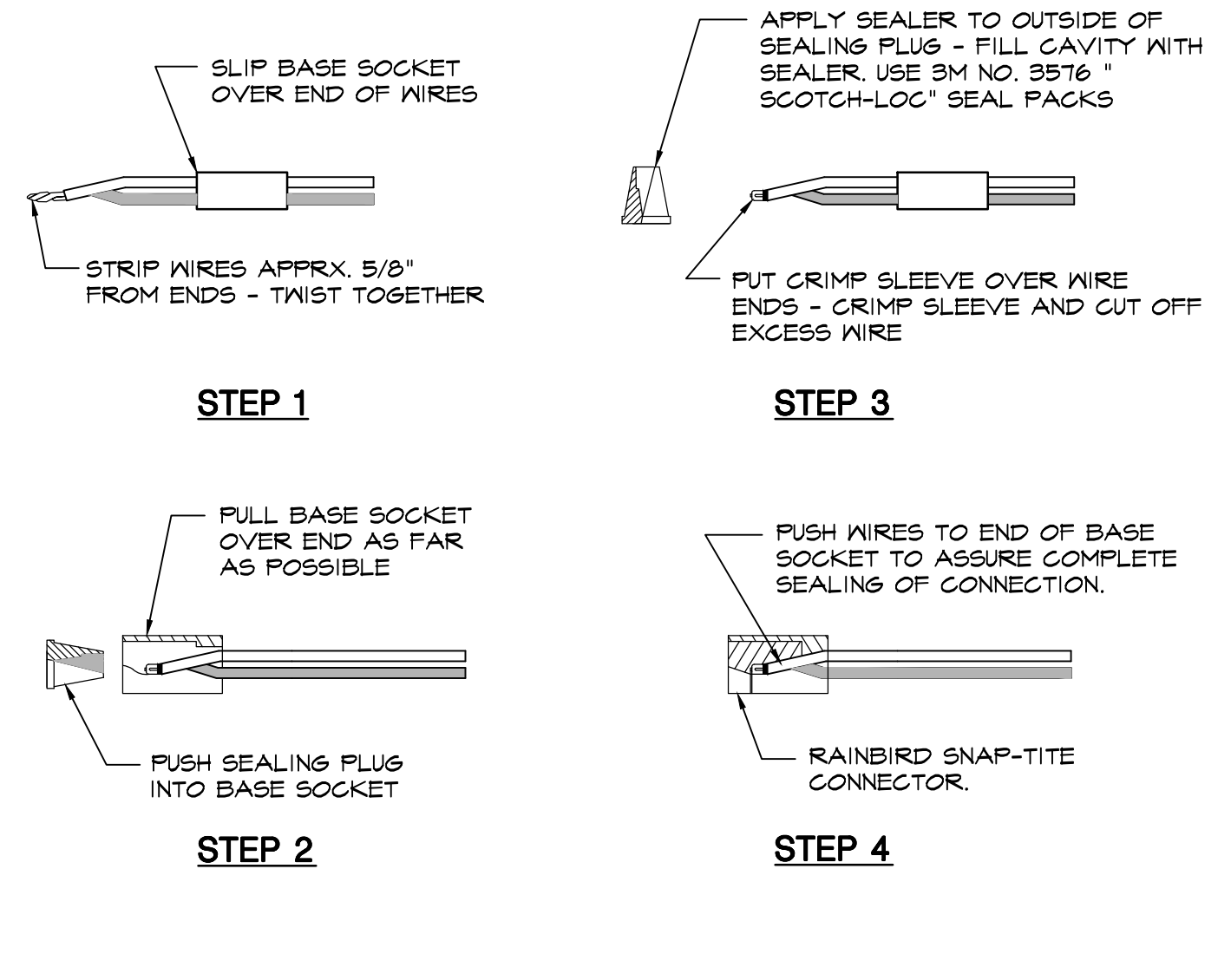
A WALL MOUNT CONTROLLER INSTALLATION SCALE: Not To Scale
024 - 10/18/2025



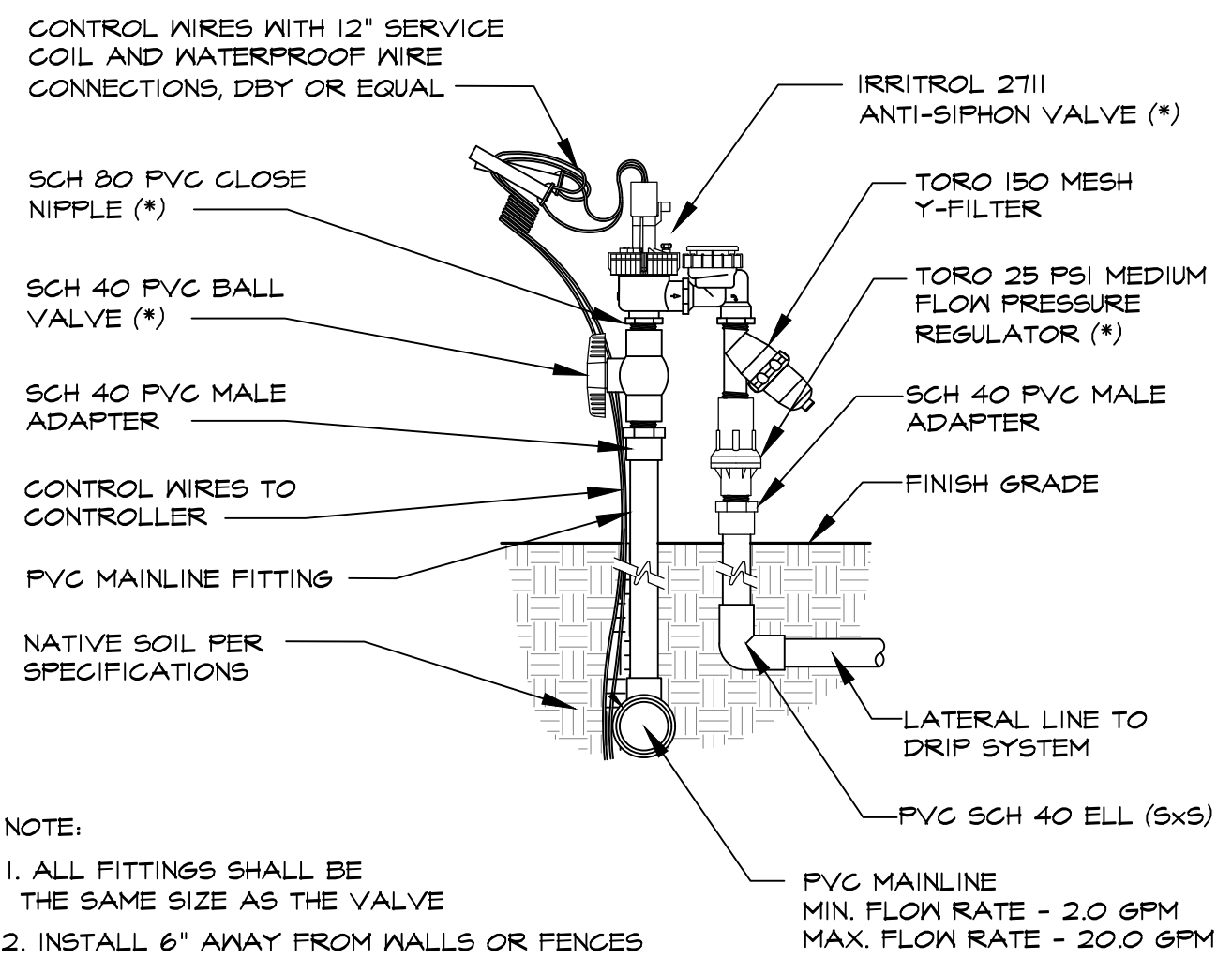
B DOMESTIC SUPPLYLINE CONNECTION DETAIL SCALE: Not To Scale
024 - SupplylineConn



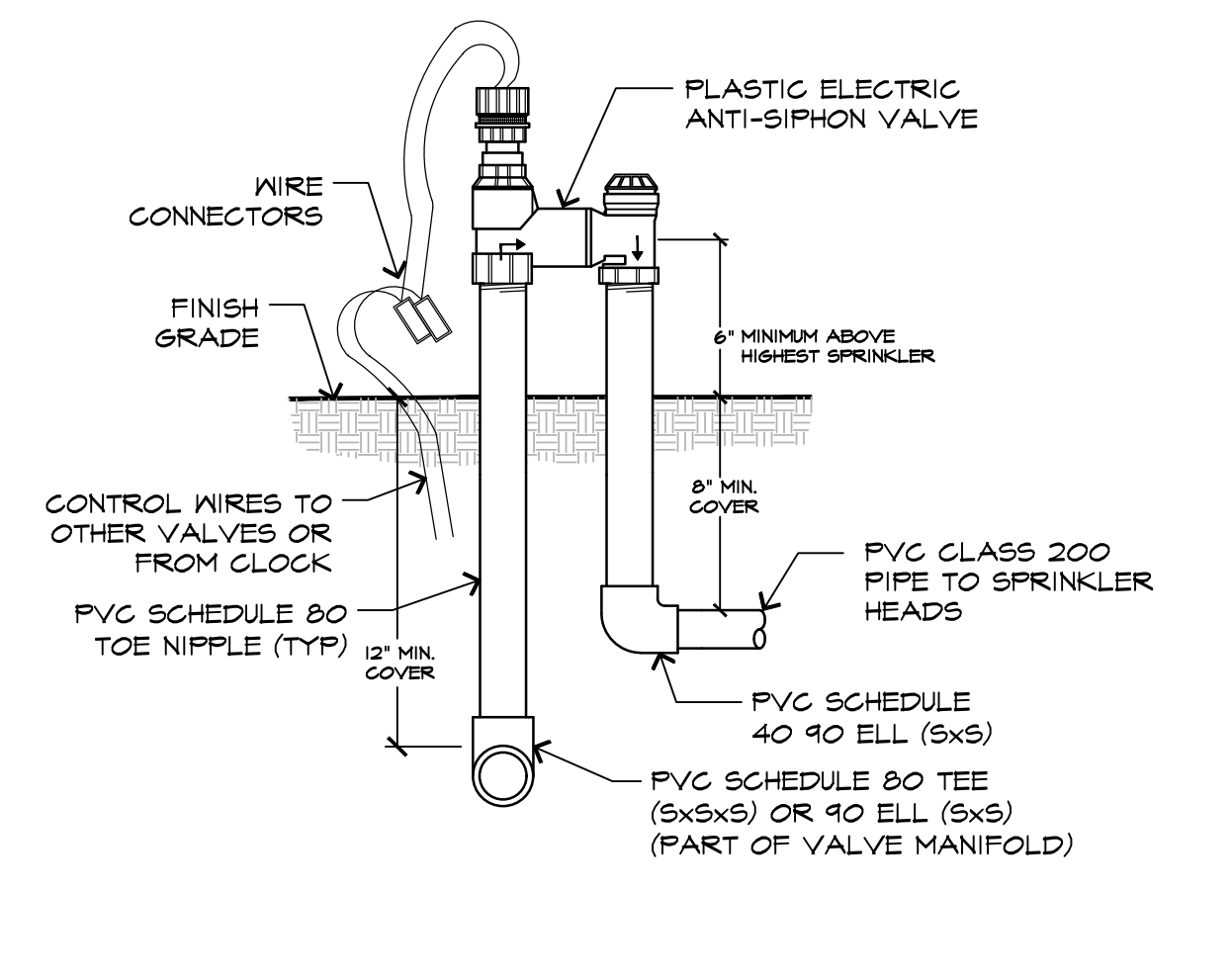
C TRENCHING DETAILS SCALE: 1/2" = 1'-0"
024 -



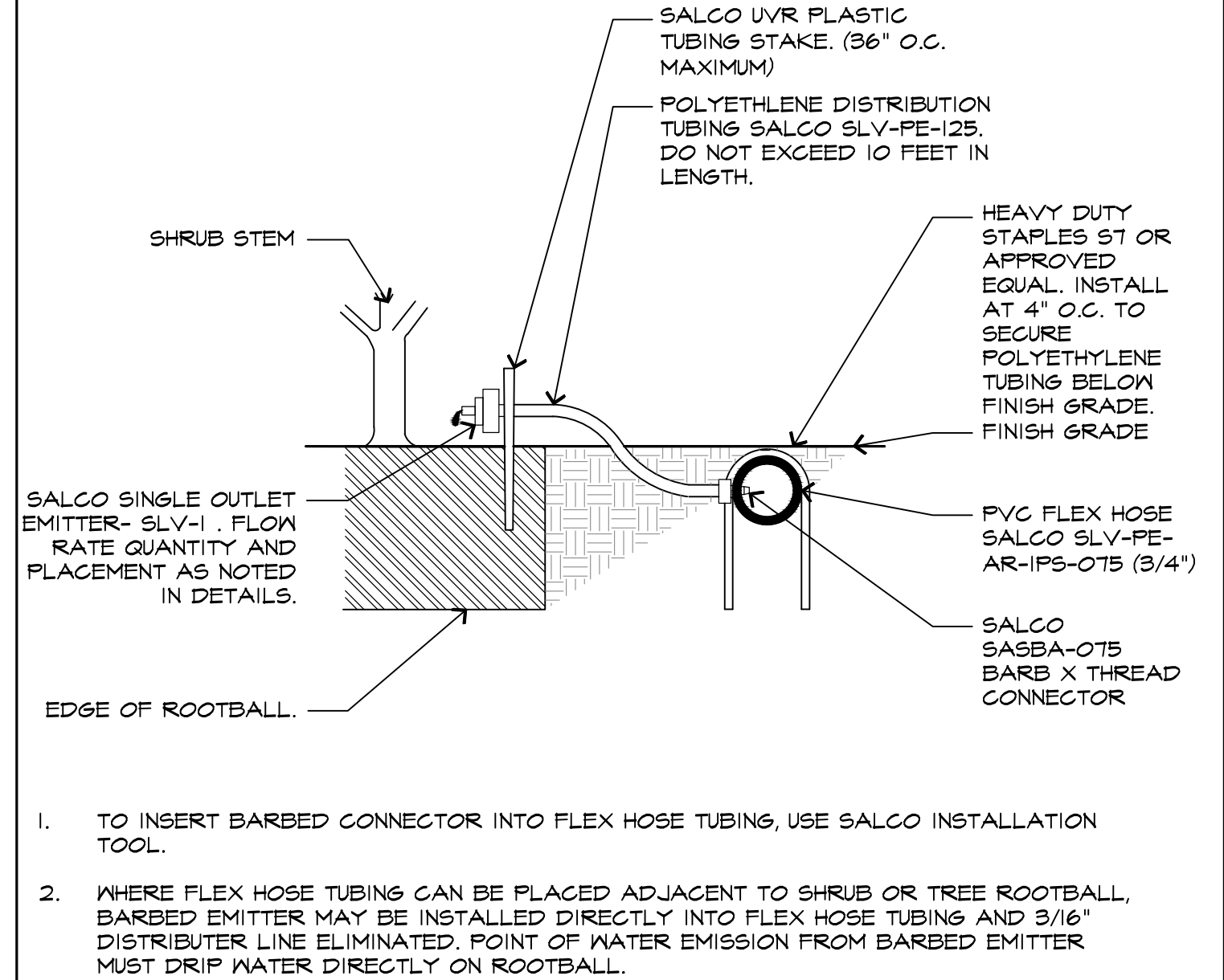
D WIRE CONNECTION SCALE: 3/4" = 1'-0"
016 -



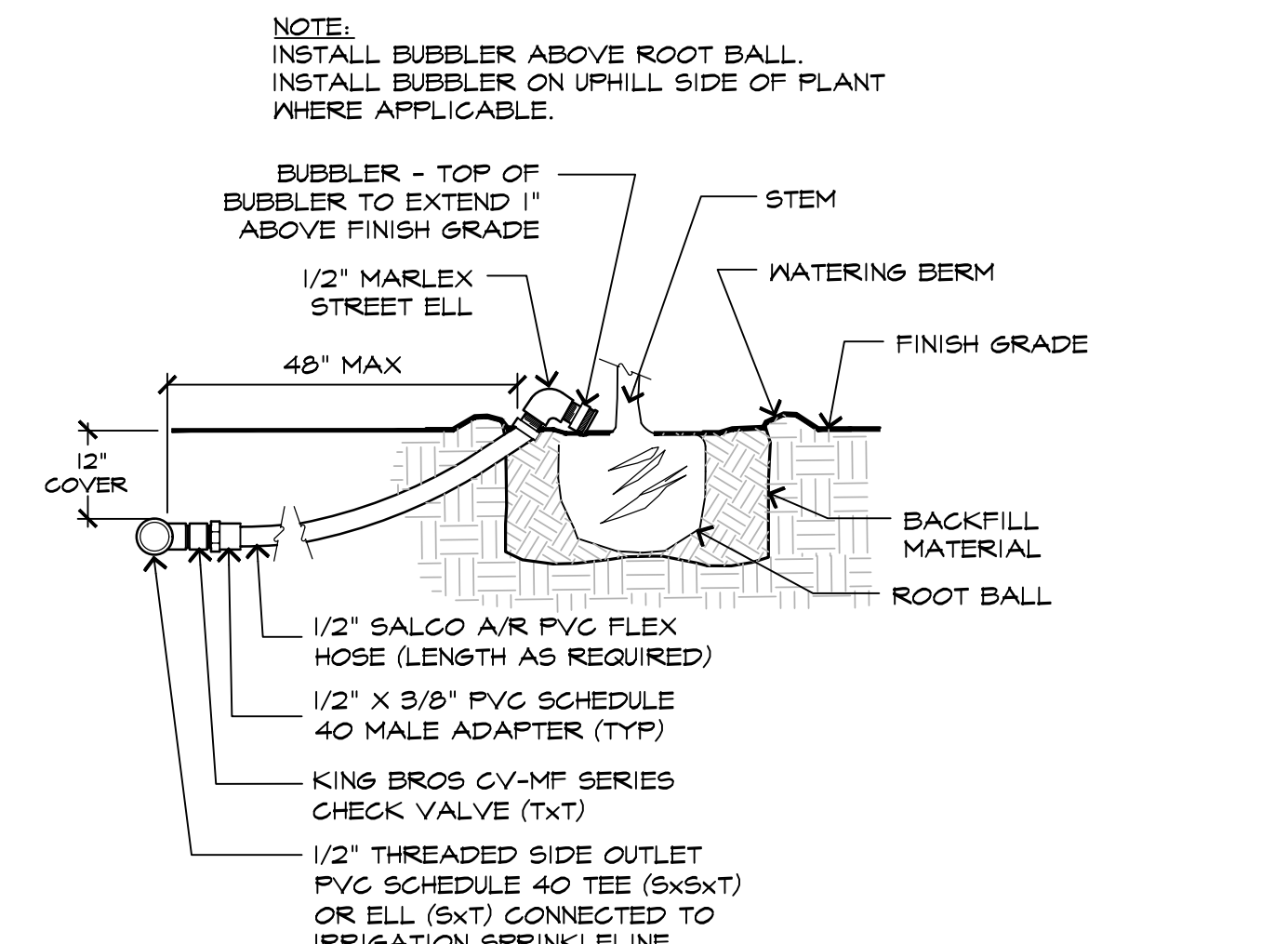
E ANTI-SIPHON VALVE DRIP SCALE: NOT TO SCALE
000 - 08/21/2018



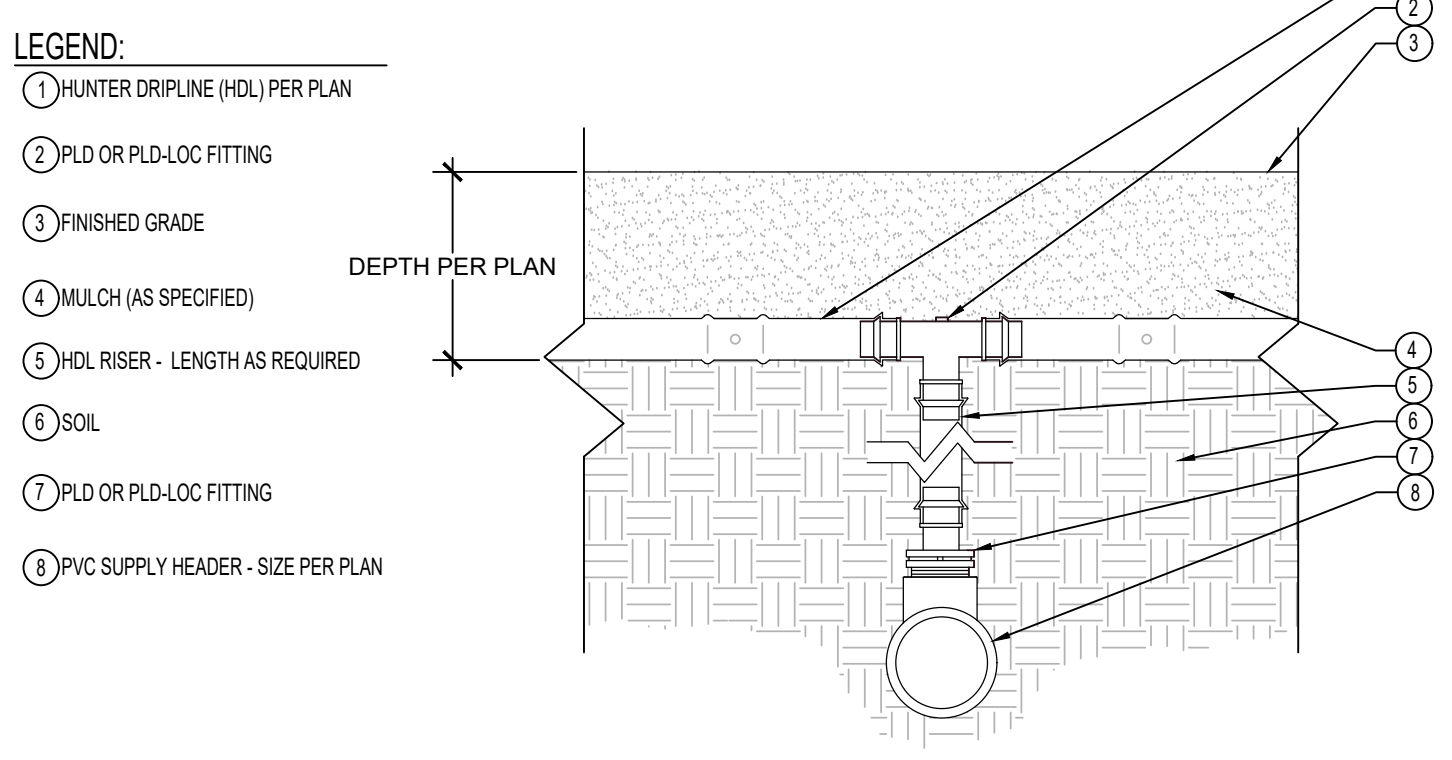
F ELECTRIC ANTI-SIPHON VALVE INSTALLATION SCALE: Not To Scale
024 - AntiSiphonV



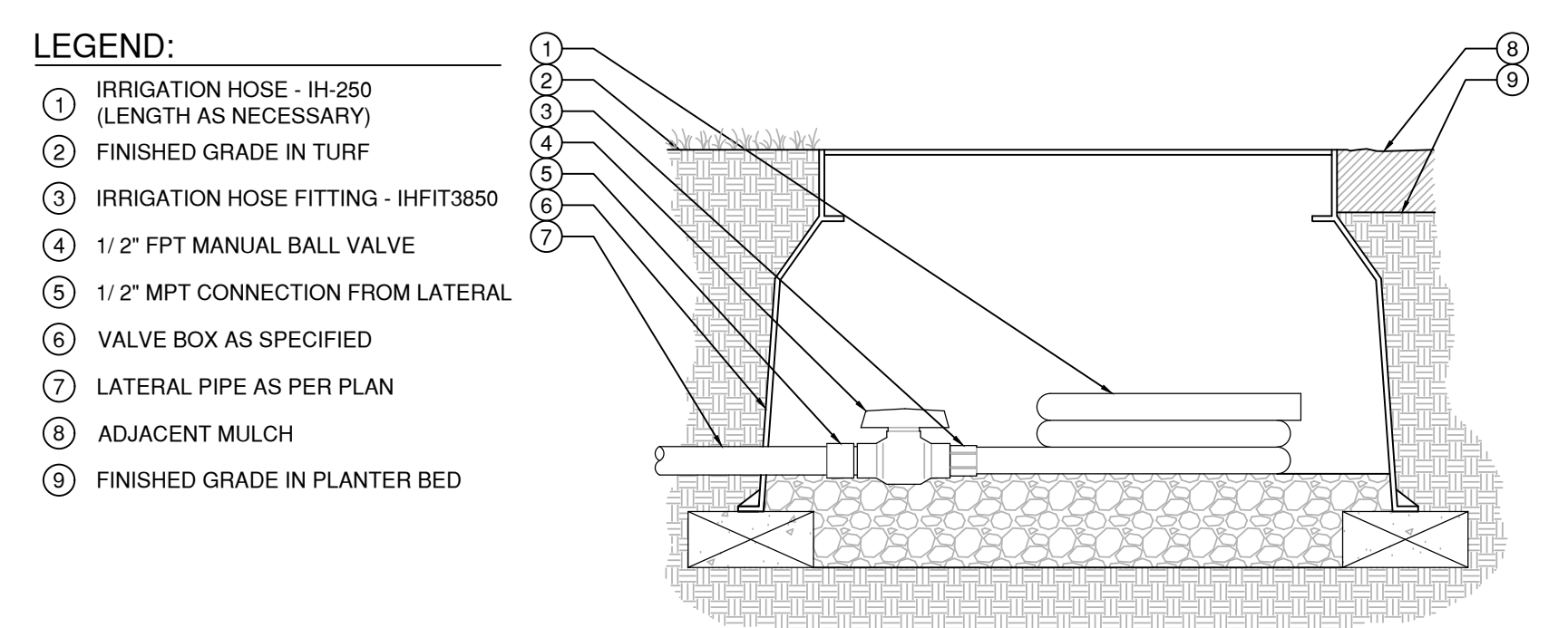
G ON GRADE EMITTER INSTALLATION SCALE: NOT TO SCALE
024 - OnGradeEm



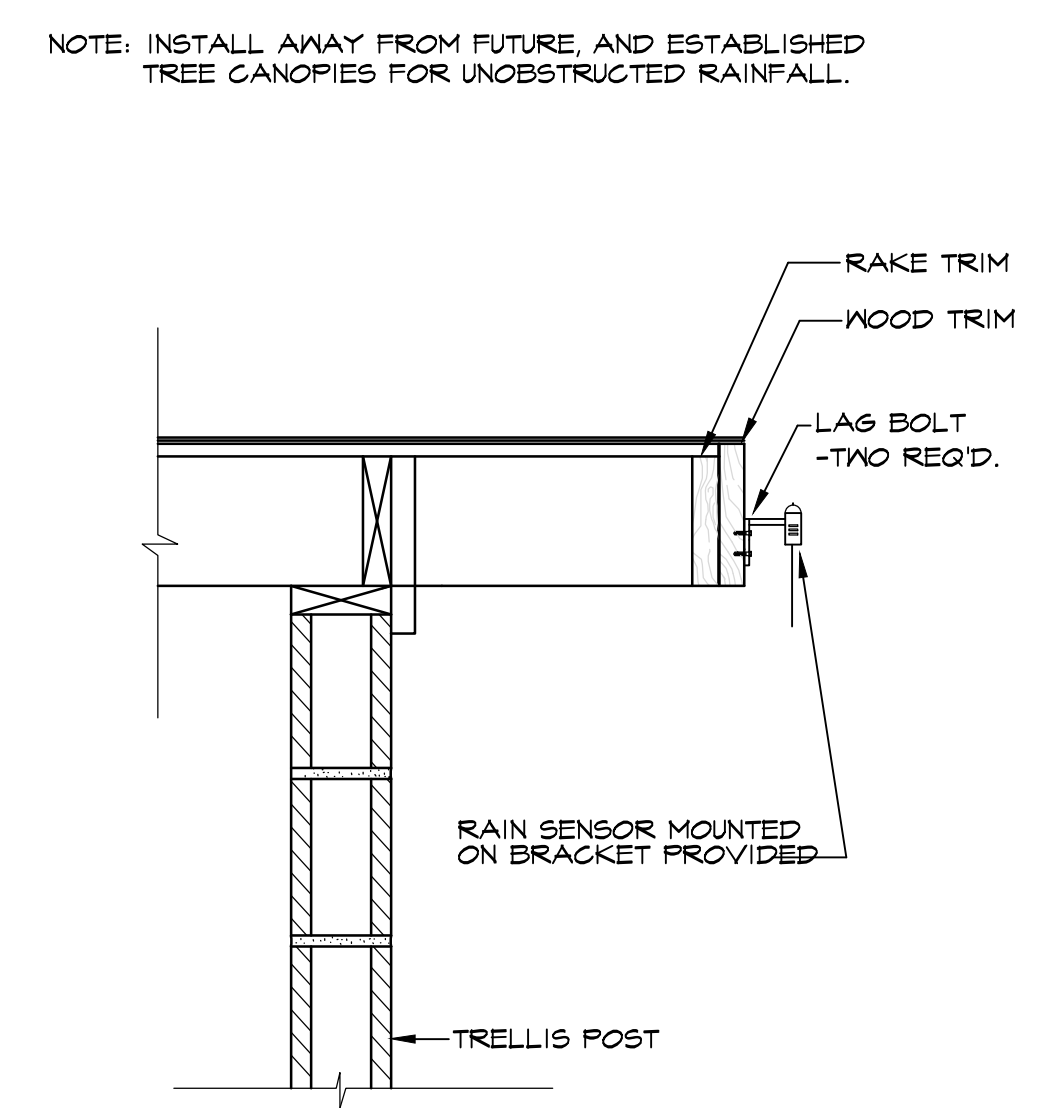
H BUBBLER INSTALLATION FOR TREES IN GC/BARK AREAS SCALE: Not To Scale
024 - BubTrees



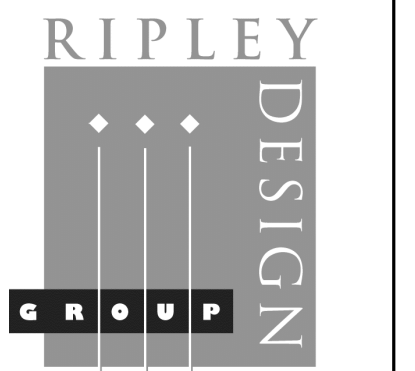
I HUNTER DRIPLINE - CONNECTION WITH DRIPLINE AND TEE NOT TO SCALE
Hunter HM.HDL.06



J FLUSH POINT WITH BALL VALVE NOT TO SCALE
Hunter HM.FP.01



K STRUCTURE RAIN SENSOR MOUNT SCALE: NTS
016 - RAINSENS



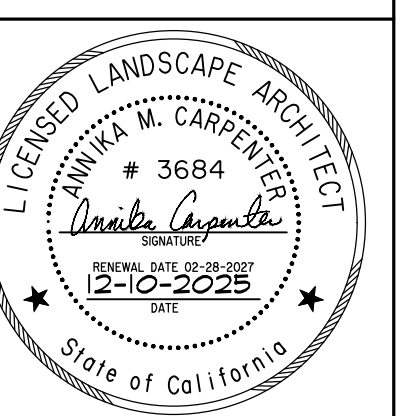
RIPLY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377

DEVELOPER:

VEEV HOMES
2701 W. WINTON AVE.
HAYWARD, CA
94545
TEL. (650) 292-0752

PROJECT:
1365 MILTON AVE
WALNUT CREEK, CA

IRRIGATION DETAILS

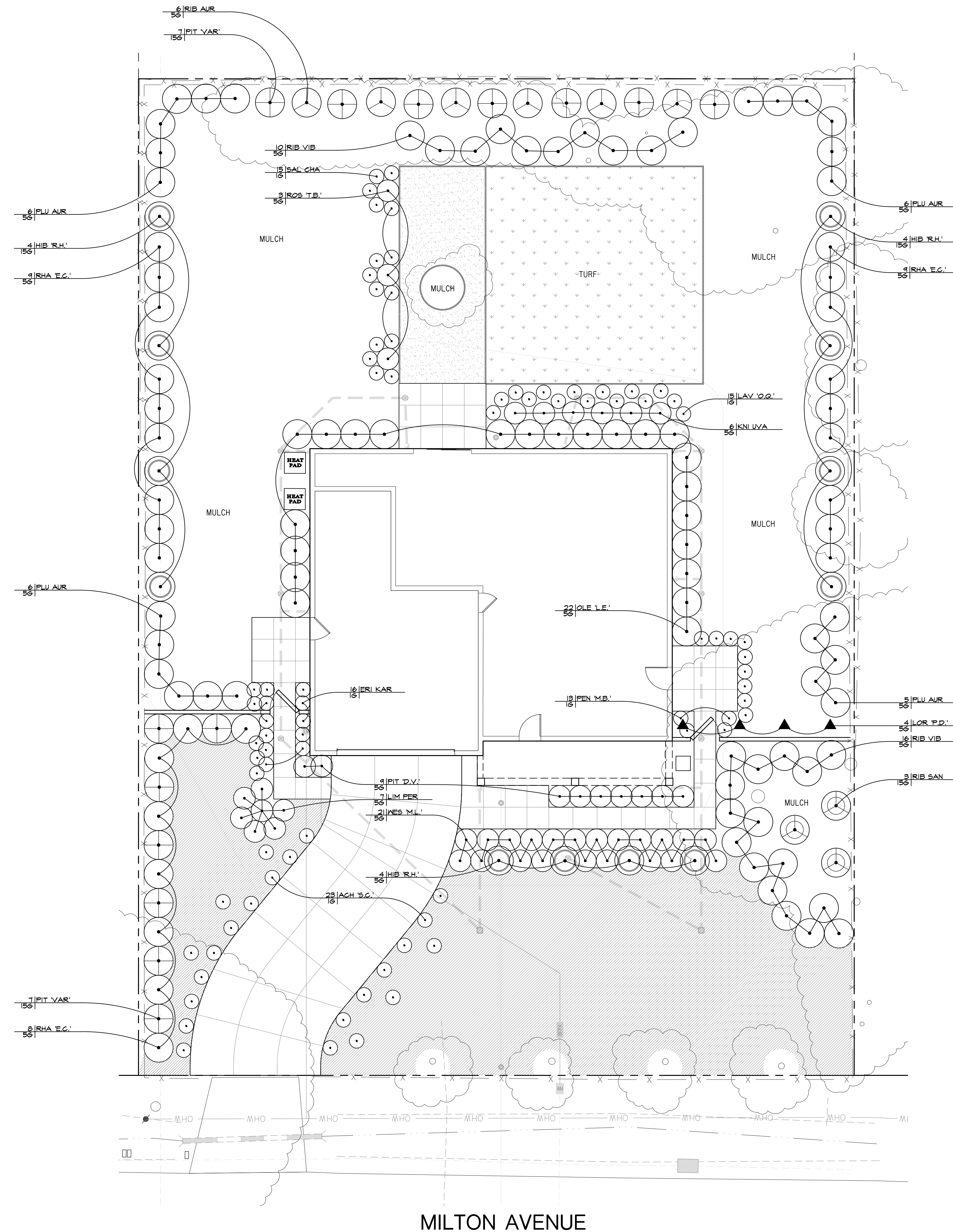


PROJECT #:
DATE: DEC. 10, 2025
SCALE: AS SHOWN
DRAWN BY: AMP
CHECKED BY: AMC

REVISIONS:

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |

SHEET
LI.2
4 OF 7 SHEETS



PLANT LEGEND

| SYMBOL | BOTANICAL NAME | COMMON NAME | WATER USE (WUCOLS) | SIZE (W X H) | CONT SIZE |
|---------------------------|---------------------------------------|---------------------------|--------------------|---------------|------------------|
| SHRUBS & VINES | | | | | |
| ACH 'S.C.' | ACHILLEA MILLEFOLIUM 'SONOMA COAST' | YARROW | LOW | 2' X 1' | 1G |
| ERI KAR | ERIGERON KARVINSKIANUS | SANTA BARBARA DAISY | LOW | 3' X 2' | 5G |
| HIB 'R.H.' | HIBISCUS SYRIACUS 'RED HEART' | ROSE OF SHARON | LOW | 4' X 8' | 15G (PATIO TREE) |
| KNI UVA | KNIPHOFIA UVARIA | RED HOT POKER | LOW | 3' X 3' | 5G |
| LAV 'O.Q.' | LAVANDULA STOECHAS 'OTTO QUAST' | SPANISH LAVENDER | LOW | 2' X 2' | 1G |
| LIM PER | LIMONIUM PEREZII | STATICE | LOW | 3' X 3' | 5G |
| LOR 'P.D.' | LOROPETALUM CHINENSE 'PLUM DELIGHT' | 'FRINGE' FLOWER | LOW | 6-8' X 6-8' | 5G (ESPALIER) |
| OLE 'L.O.' | OLEA E. 'LITTLE OLLIE' | DWARF OLIVE | LOW | 5-6' X 5-6' | 5G |
| PEN 'M.B.' | PENSTEMON H. 'MARGARITA BOP' | FOOTHILL PENSTEMON | LOW | 2' X 2' | 1G |
| PLU AUR | PLUMBAGO AURICULATA 'DARK BLUE' | DARK BLUE PLUMBAGO | LOW | 4-8' X 8-10' | 5G |
| PIT 'D.V.' | PITTIOSPORUM TOBIRA 'DWARF VARIEGATA' | DWARF MOCK ORANGE | LOW | 3' X 3' | 5G |
| PIT 'VAR' | PITTIOSPORUM TOBIRA 'VARIEGATA' | VARIEGATED MOCK ORANGE | LOW | 5-10' X 5-10' | 15G |
| RHA 'E.C.' | RHAMNUS CALIFORNICA 'EVE CASE' | COFFEEBERRY | LOW | 5' X 5' | 5G |
| RIB AUR | RIBES AUREUM | GOLDEN CURRANT | LOW | 6' X 6' | 5G |
| RIB SAN | RIBES SANGUINEUM | RED FLOWERING CURRANT | LOW | 6' X 6' | 15G |
| RIB VIB | RIBES VIBURNIFOLIUM | EVERGREEN CURRANT | LOW | 6' X 3' | 5G |
| ROS 'T.B.' | ROSMARINUS O. 'TUSCAN BLUE' | ROSEMARY | LOW | 3' X 5' | 5G |
| SAL CHA | SALVIA CHAMAEDRYOIDES | GERMANDER | LOW | 3' X 2' | 1G |
| WES 'M.L.' | WESTRINGEA FRUTICOSA 'MORNING LIGHT' | VARIEGATED COAST ROSEMARY | LOW | 3' X 3' | 5G |

GROUNDCOVERS

| | | | |
|--|---|------------------|------|
| | MUHLENBERGIA RICENS 1 GALLON @ 48" O.C. | DEER GRASS | LOW |
| | BOLERO - SODDED TURF AVAILABLE FROM DELTA BLUE GRASS | TALL FESCUE TURF | HIGH |

PLANT CALLOUT SYMBOL KEY

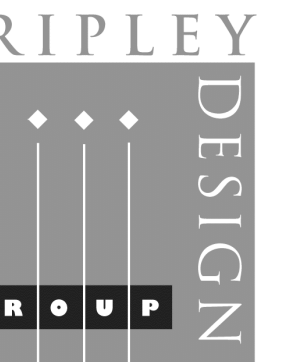
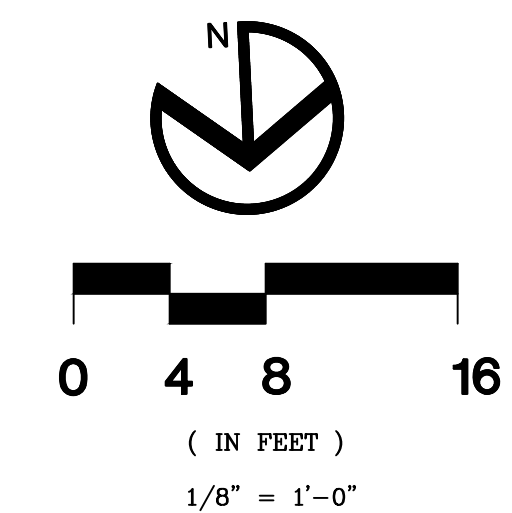
| PLANT QTY | PLANT SYMBOL |
|-----------|--------------|
| SIZE | UNITS |
| | |

NOTE:
A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.

NOTE:
SEE SHEET LP.2 FOR TREE PLANTING/STAKING DETAIL.

THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Annika Carpenter
ANNIKA M. CARPENTER CALIF. LANDSCAPE ARCH.#3684



RIPLY DESIGN GROUP, INC.
Landscape Architecture
Land Planning

1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377

DEVELOPER:

**VEEV
HOMES**

2701 W. WINTON AVE.
HAYWARD, CA
94545

TEL. (650) 292-0752

PROJECT:

**1365
MILTON
AVE**

WALNUT CREEK, CA

**PLANTING
PLAN**



PROJECT #:
DATE: DEC. 10, 2025
SCALE: 1/8" = 1'-0"
DRAWN BY: AMP
CHECKED BY: AMC

REVISIONS:

SHEET

LP.1

6 OF 7 SHEETS

DEVELOPER:

VEEV HOMES

2701 W. WINTON AVE.
HAYWARD, CA
94545

TEL. (650) 292-0752

PROJECT:

1365 MILTON AVE

WALNUT CREEK, CA

PLANTING DETAILS



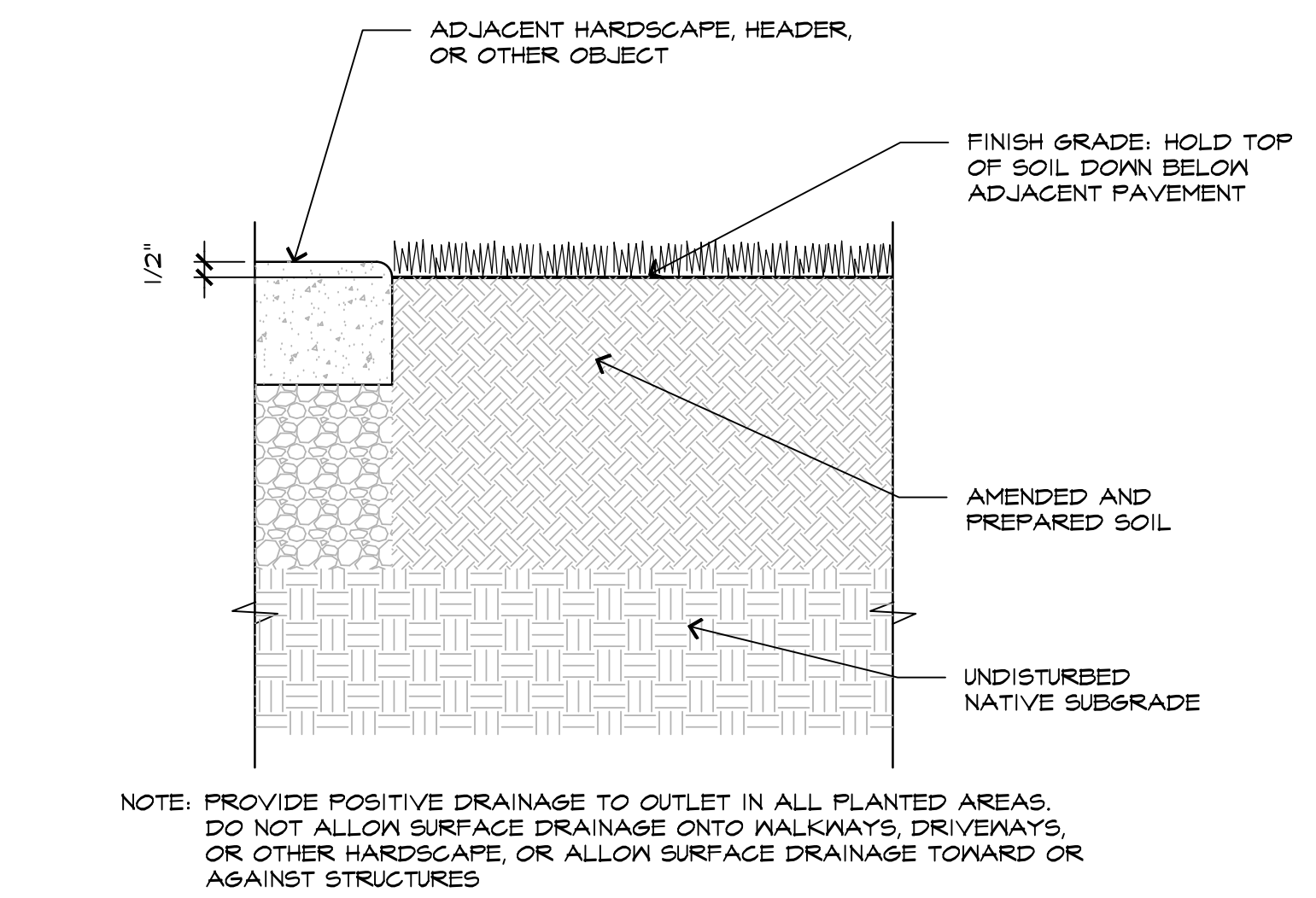
PROJECT #:
DATE: DEC. 10, 2025
SCALE: AS SHOWN
DRAWN BY: AMP
CHECKED BY: AMC

REVISIONS:

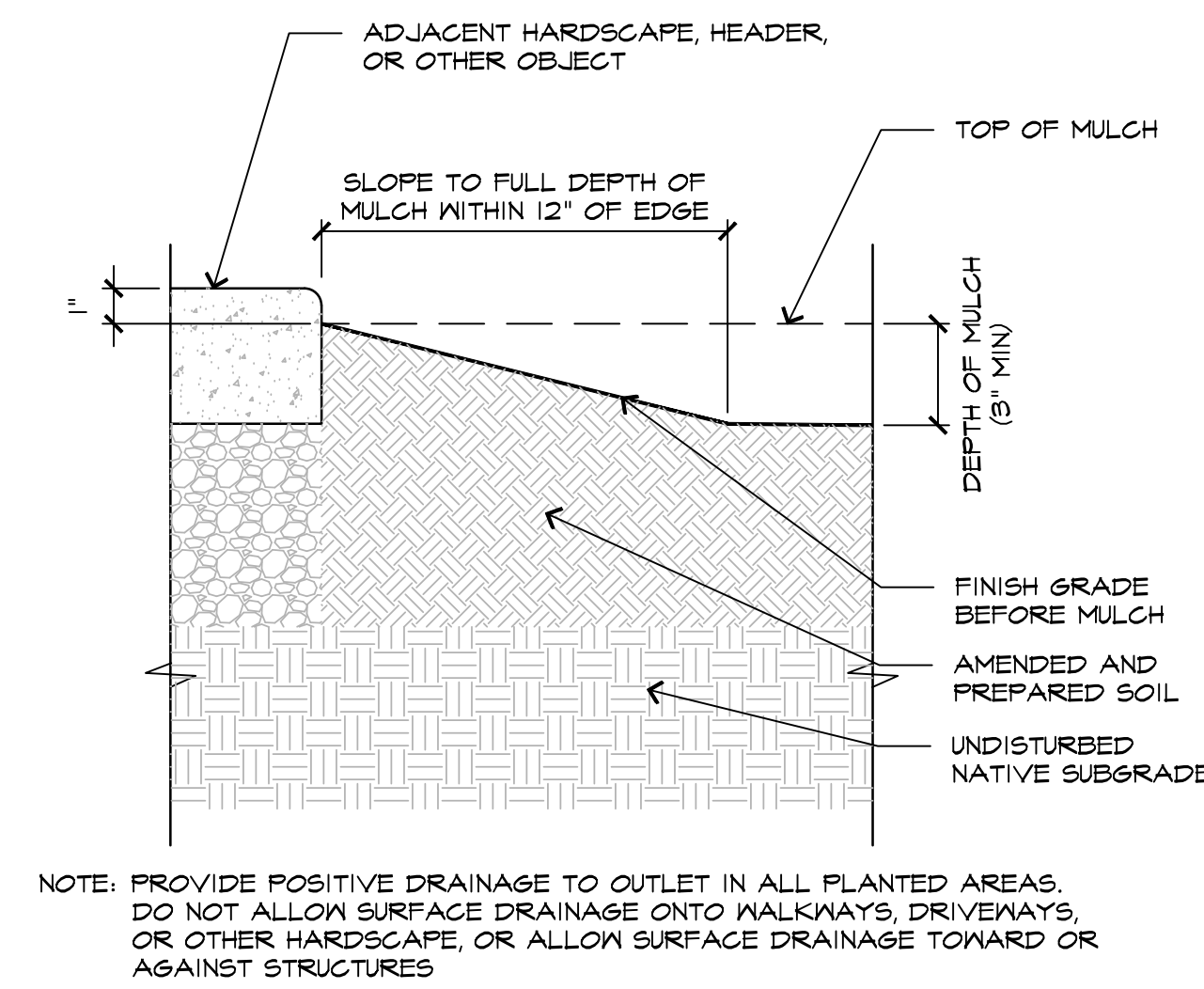
SHEET

LP.2

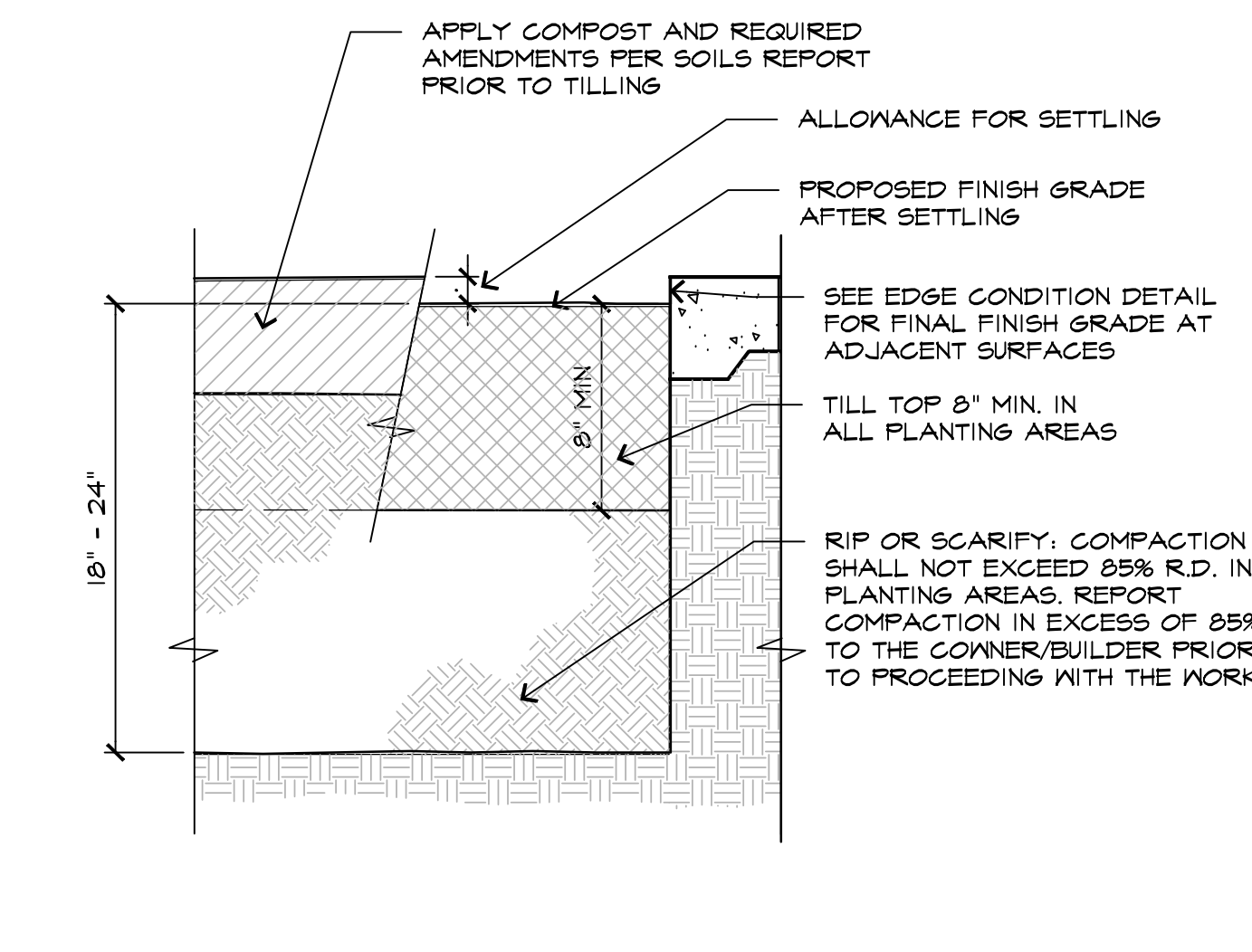
7 OF 7 SHEETS



C SODDED AREAS - EDGE CONDITION NOT TO SCALE
016 - Edge-Sodded



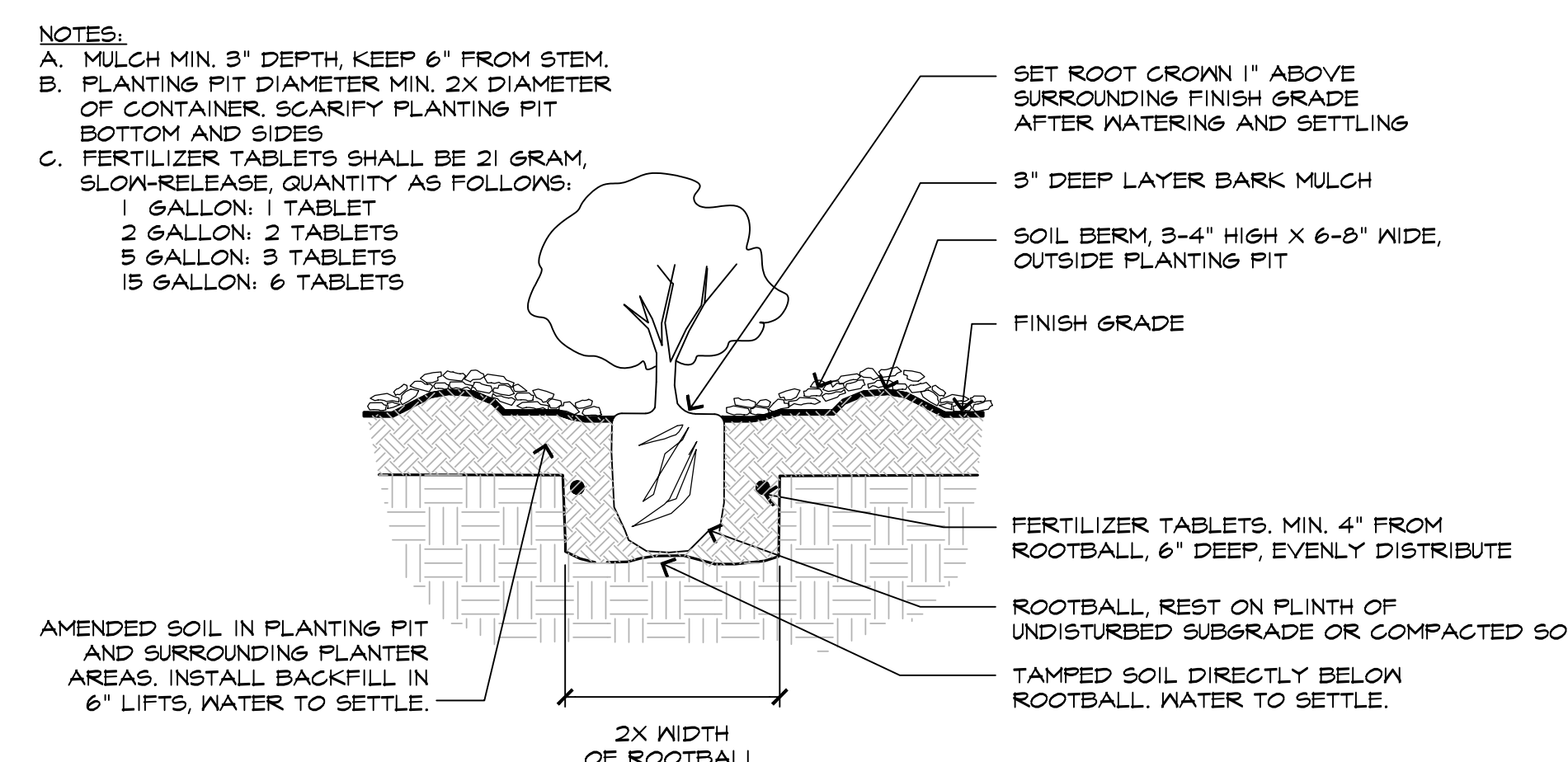
B PLANTED AREAS - EDGE CONDITION NOT TO SCALE
016 - Edge-Planting



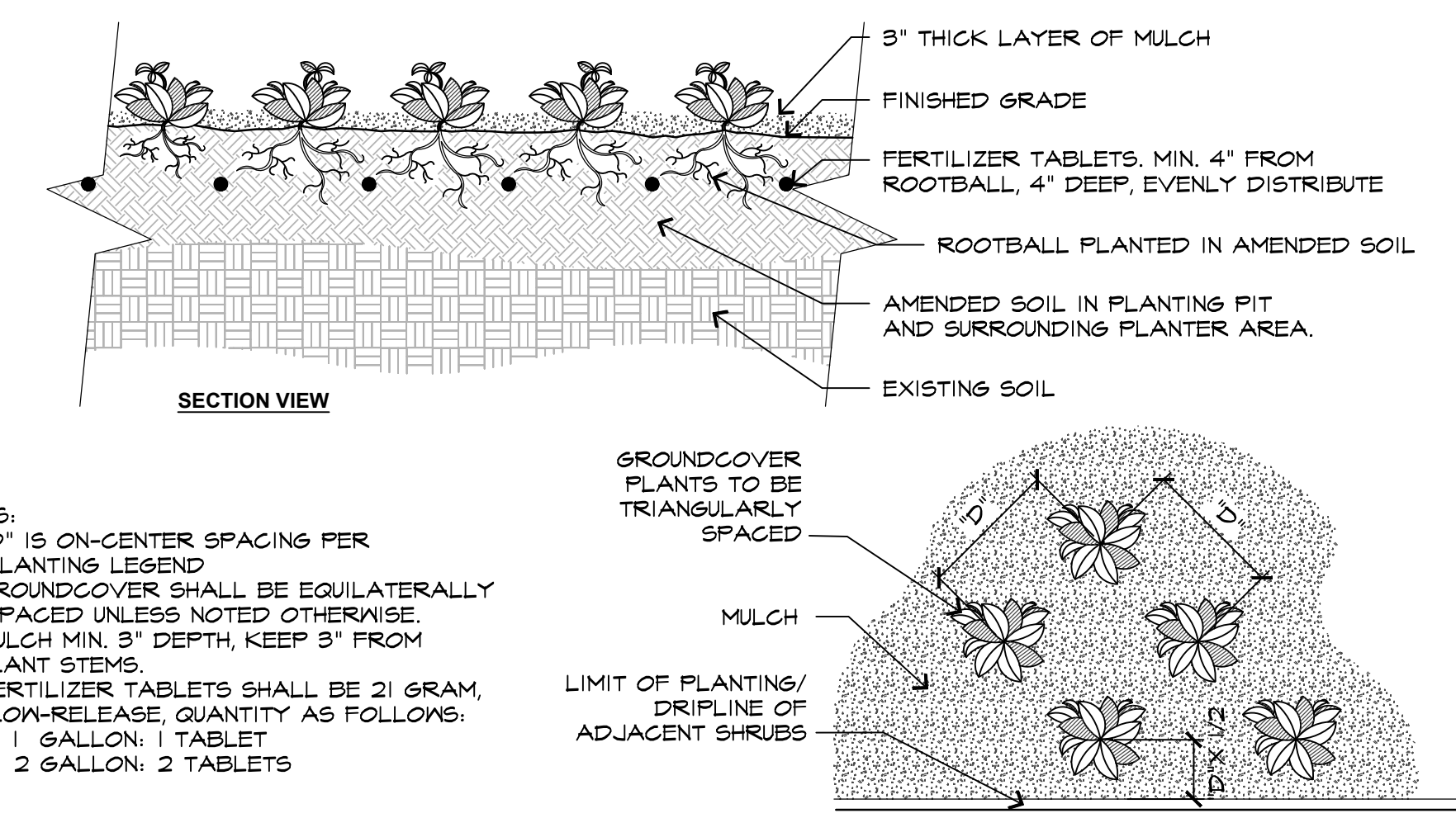
A PLANTING AREA SOIL PREPARATION NOT TO SCALE
016 - PrepSoilPrep

PLANTING NOTES

- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL FORMS OF PLANT MATERIALS AND SPECIFIED INSTALLATIONS, INCLUDING FLATTED GROUNDCOVER.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND STAKING ALL SEWER, UTILITY AND WATER MAIN LINES PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES. CALL COMMON GROUND ALLIANCE (CGA) AT 811 TO LOCATE AND MARK UTILITIES PRIOR TO EXCAVATION.
- SOIL PREPARATIONS: GROUNDCOVER AND TURF AREAS SHALL BE CROSSRIPPED OR TILLED TO A DEPTH OF NINE (9) INCHES. THE AMENDMENT SHALL BE UNIFORMLY BROADCAST PER 1,000 S.F. AND THOROUGHLY INCORPORATED TO A DEPTH OF 9" BY MEANS OF ROTOTILLER OR EQUAL. THE FOLLOWING FORMULA SHALL BE USED FOR BIDDING PURPOSES ONLY:
6 CU.YDS. ORGANIC COMPOST
35 LBS. 6-20-20 COMMERCIAL FERTILIZER
50 LBS. IRON SULFATE (20% Fe)
- BACKFILL FOR TREES AND SHRUBS: THE PLANTING PITS FOR TREES AND SHRUBS SHALL BE EXCAVATED TO TWICE THE DIAMETER AND TO THE DEPTH OF THE ROOTBALL. ON SITE SOIL SHALL BE USED FOR BACKFILL PURPOSES. THE FOLLOWING MIX SHALL BE USED FOR BIDDING PURPOSES ONLY:
6 PARTS BY VOLUME ON SITE SOIL
4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE
2LB./CU.YD. OF MIX 6-20-20
2LB./CU.YD. OF MIX IRON SULFATE PER CU.YD. OF MIX
- ALL SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. ONCE SITE HAS BEEN ROUGH GRADED, CONTRACTOR SHALL OBTAIN A SOILS REPORT (S3C TEST WITH RECOMMENDATIONS) FROM A WESTERN LABORATORIES, INC. (209-529-4080, WWW.AL-LABS-WEST.COM) FOR SOIL AMENDMENTS. CONTRACTOR TO SUBMIT ONE COPY OF THE SOILS REPORT TO THE CITY, ONE COPY TO THE OWNER, AND ONE COPY TO THE LANDSCAPE ARCHITECT FOR USE IN PROVIDING UPDATED IRRIGATION SCHEDULING RECOMMENDATIONS TO BE INCLUDED PRIOR TO APPROVAL OF CERTIFICATE OF COMPLIANCE. CONTRACTOR SHALL FOLLOW THE SOIL PREPARATION, BACKFILL MIX, AND FERTILIZATION PROGRAM PER THE REPORT.
- ALL 5 GALLON SHRUBS SHALL RECEIVE TWO (2) 21 GRAM AGRIFORM PLANTING TABLETS, ALL 15 GALLON TREES SHALL RECEIVE FOUR (4) 21 GRAM AGRIFORM PLANTING TABLETS AND ALL BOX TREES SHALL RECEIVE EIGHT (8) 21 GRAM AGRIFORM TABLETS.
- ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3". MULCH TO BE RECYCLED WOOD WASTE, COLOR TO BE BLACK, 1/2" TO 1" DIAMETER FROM WASTE MANAGEMENT, INC., SACRAMENTO, (916-452-0142).
- CONTRACTOR SHALL SPRAY ALL EXISTING WEEDS IN PLANTING AREAS PRIOR TO RIPPING AND APPLY PRE-EMERGENT TO ALL SHRUB AREAS AFTER PLANTING.
- CONTRACTORS SHALL APPLY FERTILIZER AND PRE-EMERGENT AT END OF MAINTENANCE PERIOD.
- LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO SELECT OR REJECT ANY OR ALL PLANT MATERIAL.
- ALL TURF EDGES TO HAVE HEADERBOARD, REFER TO CONSTRUCTION PLAN.
- REFER TO TREE PLANTING/STAKING DETAIL, THIS SHEET.
- THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
- TURF SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25% (1:4).

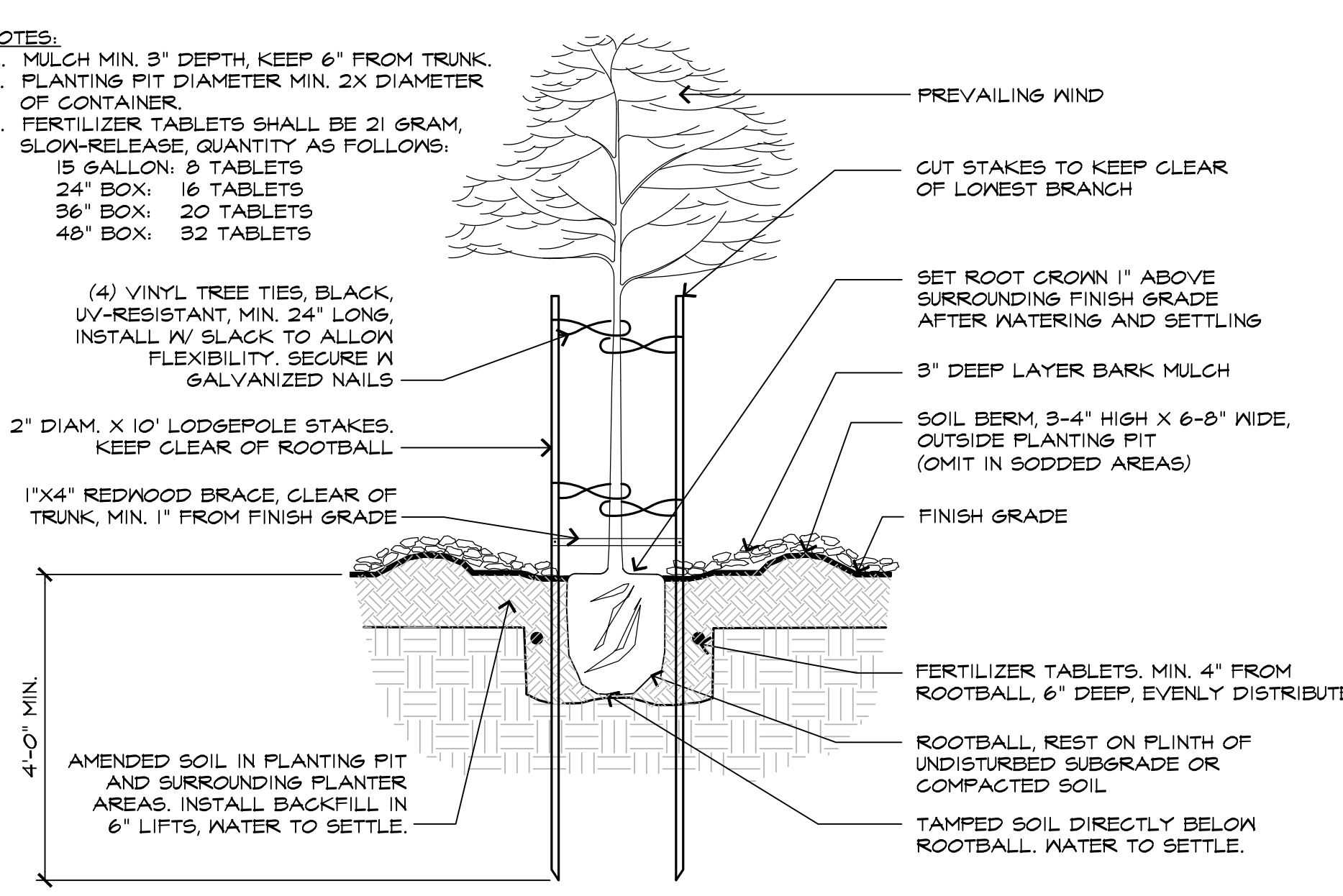


E SHRUB PLANTING DETAIL SCALE: 3/4" = 1'-0"
016 - ShrubPlanting



D GROUNDCOVER PLANTING DETAIL SCALE: 3/4" = 1'-0"
016 -

NOTE:
CONTRACTOR SHALL OBTAIN A SOILS TEST AFTER ROUGH GRADING IS COMPLETE, SEE PLANTING NOTE #6, SHEET LP.2



F TREE PLANTING DETAIL SCALE: 3/4" = 1'-0"
016 - TreePlanting

- NOTES:
- 12" IS ON-CENTER SPACING PER PLANTING LEGEND
 - GROUNDCOVER SHALL BE EQUILATERALLY SPACED UNLESS NOTED OTHERWISE.
 - MULCH MIN. 3" DEPTH, KEEP 3" FROM PLANT STEMS
 - FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:
1 GALLON: 1 TABLET
2 GALLON: 2 TABLETS

- NOTES:
- MULCH MIN. 3" DEPTH, KEEP 6" FROM STEM.
 - PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER. SCARIFY PLANTING PIT BOTTOM AND SIDES
 - FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:
1 GALLON: 1 TABLET
2 GALLON: 2 TABLETS
5 GALLON: 3 TABLETS
15 GALLON: 6 TABLETS

- NOTES:
- MULCH MIN. 3" DEPTH, KEEP 6" FROM TRUNK.
 - PLANTING PIT DIAMETER MIN. 2X DIAMETER OF CONTAINER
 - FERTILIZER TABLETS SHALL BE 21 GRAM, SLOW-RELEASE, QUANTITY AS FOLLOWS:
15 GALLON: 8 TABLETS
24" BOX: 16 TABLETS
36" BOX: 20 TABLETS
48" BOX: 32 TABLETS