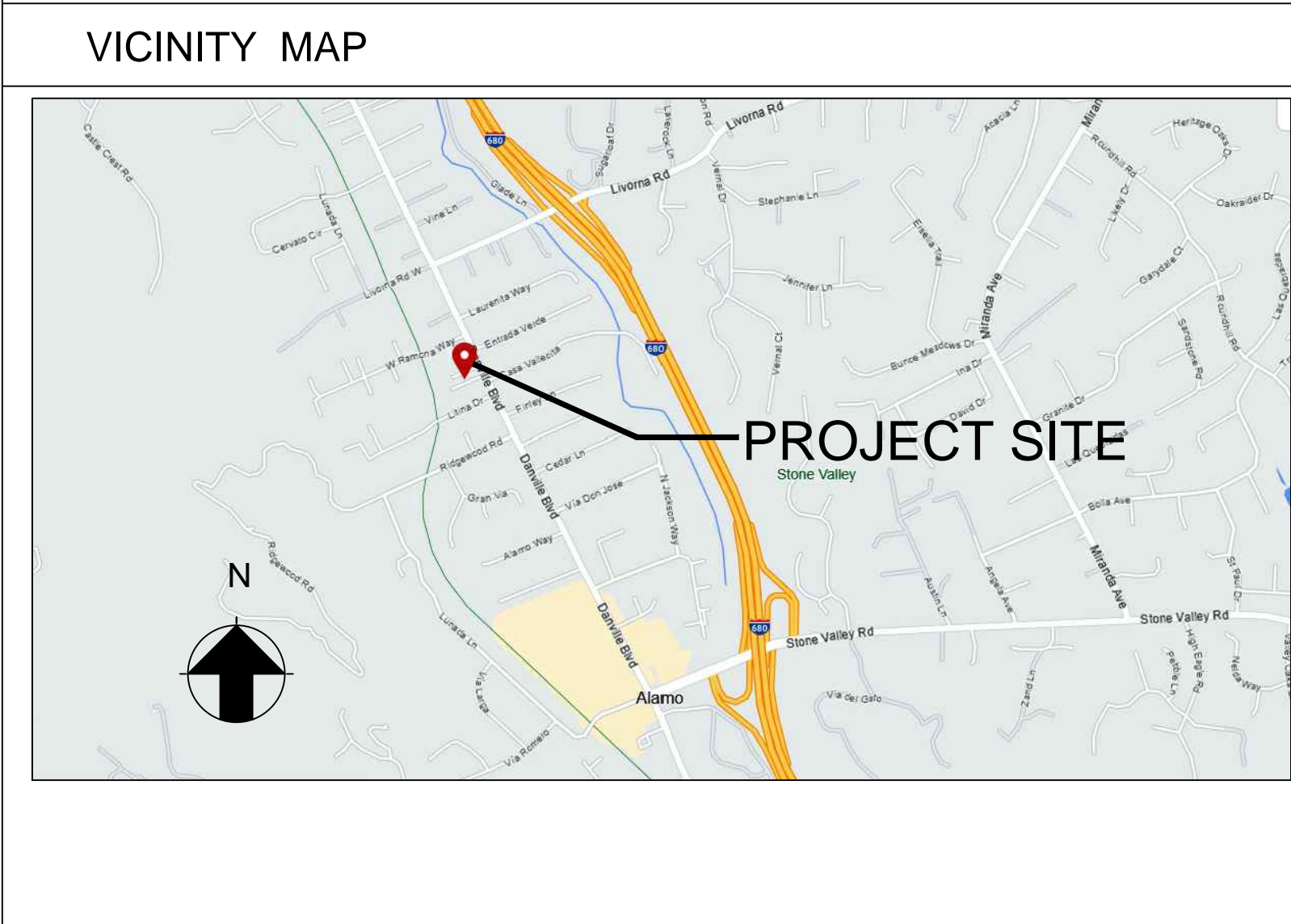



















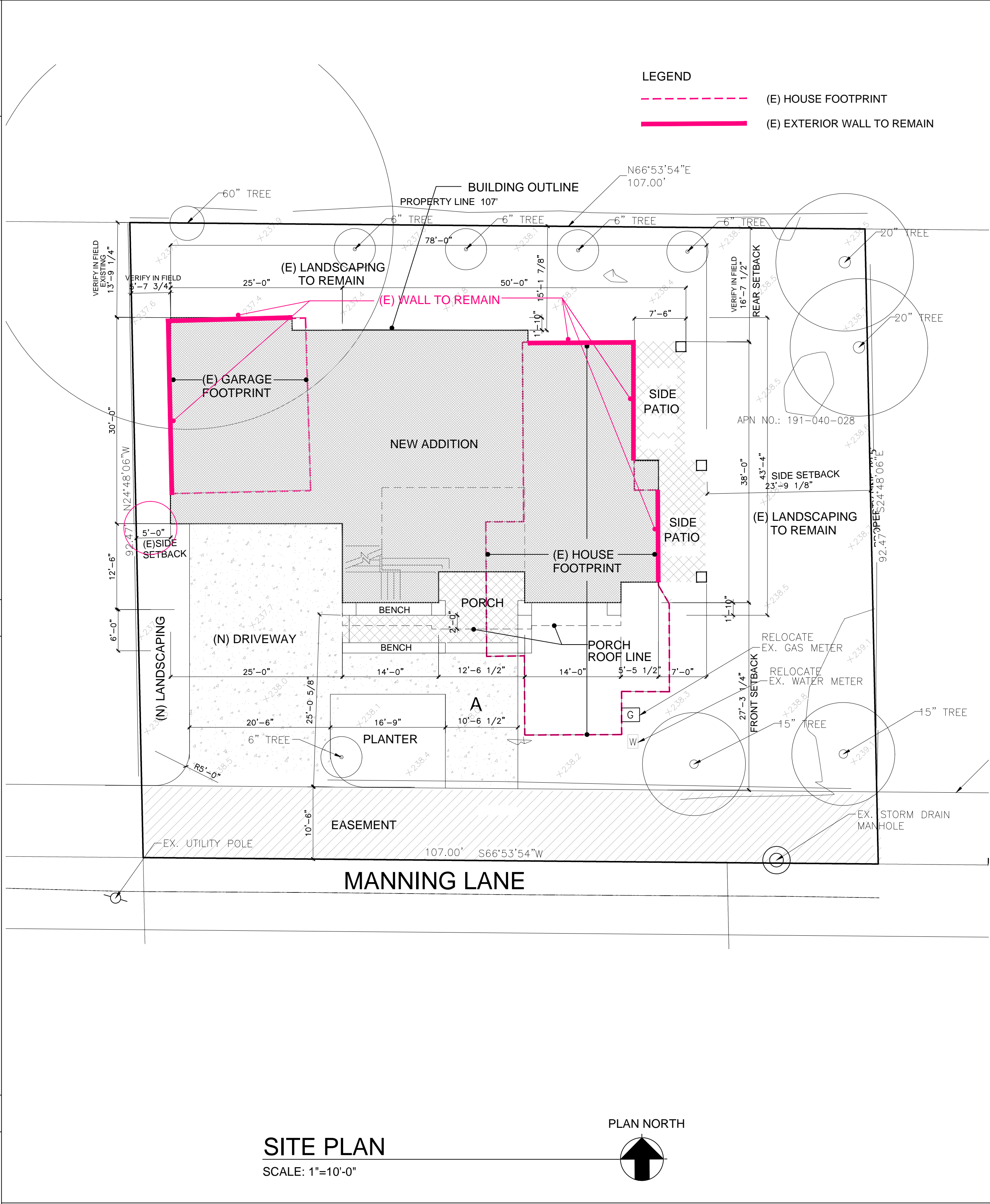


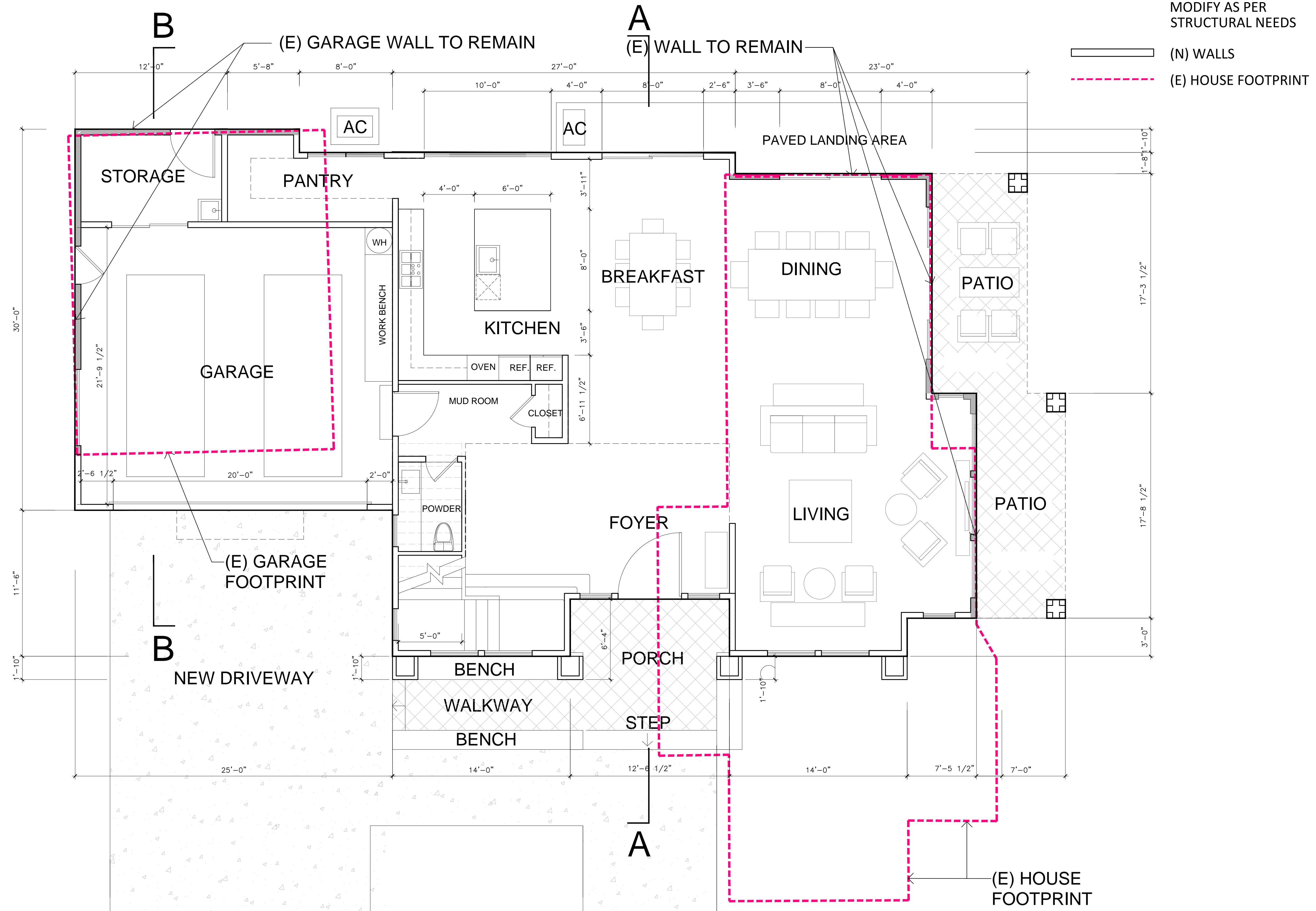
1524 MANNING LN., ALAMO
A RESIDENTIAL EXPANSION PROJECT



ABBREVIATIONS	GRAPHIC SYMBOL LEGEND	DRAWING DIRECTORY
&: And @: At ABV: Above AC: Air Conditioning, Acoustical ADH: Adhesive ADJ: Adjust, Adjustable, Adjacent AFF: Above Finished Floor AGA: American Gas Association ALT: Alternate, Alteration; Altitude BR: Bedroom CLG: Ceiling CLO.: CLEAN-OUT CSMT: CASEMENT DTL: DETAIL E: EXISTING ELEC.: ELECTRICAL GA: Gauge, Gage GAL: Gallon GC: General Contractor GFCl: Ground Fault Circuit Interrupted GLZ: Glaze GPH: Gallons Per Hour GVL: Gravel GYP: Gypsum GYP BD: Gypsum Board INSTL.: Install N: NEW OPT.: OPTIONAL PNL.: PANEL S.D.: STRUCTURAL DRAWING SH: SINGLE HUNG U.O.N.: Unless Otherwise Noted V.C.T. Vinyl Composition Tile V.I.F.: VERIFY IN FIELD VERT. Vertical VYL: Vinyl WD: Wood WDW: Window W.P.M Water Proofing Membrane WT. Weight YD: Yard	 WORK POINT, CONTROL POINT OR DATUM POINT INDICATION  DETAIL NUMBER  DETAIL CUT INDICATOR  SHEET LOCATION  DETAIL AREA CUT  ELEVATION VIEW  ELEVATION NUMBER  SHEET LOCATION  BUILDING SECTION LETTER  SHEET LOCATION  FULL BUILDING SECTION  PARTIAL BUILDING SECTION  REVISION NUMBER  AREA OF REVISION  NORTH  PROJECT AND TRUE NORTH  WINDOW AND DOOR SIZE TAG:  SHEET NOTES TAG  DOOR TAG, SEE WINDOW/DOOR SCHEDULE WINDOW TAG, SEE WINDOW/DOOR SCHEDULE	A-1.1 COVER SHEET AND SITE PLAN A-2.1 1ST FLOOR PLAN A-2.2 2ND FLOOR PLAN A-2.3 ROOF PLAN A-3.1 ELEVATIONS & SECTION A-3.2 ELEVATIONS & SECTION G-1 SURVEY MAP
		SCOPE OF WORK: 1). Expand (E) house of 1140 sf to 1876 sf on 1st floor to accomodate open living/dining/kitchen and foyer. 2). Expand (E) garage to accomodate extra storage and pantry. 3). Add <u>2nd story</u> to accomodate 4 bedrooms/ 4 baths 4). Install new 400AMP electrical panel, heat pump water heater and ducted AC unit ; 5). Install new fire sprinkler system, permit separately; 6). Modify (E) driveway and front yard landscaping.



SITE PLAN NOTES	
<p>1. SEE GENERAL NOTES ON A2.1 FOR ADDITIONAL INFORMATION</p> <p>2. THE SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND LIMITED SITE PLAN LAYOUT ONLY. NO CONTRACTIONS OR VERIFICATION IN FIELD ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES AND SETBACKS, EASEMENTS, UTILITIES AND SUBSTRUCTURES. SITE SPECIFIC SOILS REPORTS AND CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER NOTES AND DETAILS ON THIS SET OF DOCUMENTS.</p> <p>3. THIS PLAN IS NOT A GRADING AND DRAINAGE OR EROSION CONTROL PLAN. CONSULT A CIVIL ENGINEER FOR SUCH INFORMATION.</p> <p>4. DISPLACED TOP SOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION.</p> <p>5. ALL GRADING, SITE PREPARATION, PLACEMENT AND COMPACTION OF FILL IS TO BE DONE IN ACCORDANCE WITH THE COUNTY OF CONTRA COSTA, GRADING ORDINANCE AND ALSO UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.</p> <p>6. AT A MINIMUM, THE PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA DRAIN WHICH SHALL BE PIPED TO STREET(OR OTHER SUITABLE DISCHARGE POINT DETERMINED BY THE CIVIL ENGINEER AND/OR LOCAL GOVERNING AUTHORITY) , VIA A NON-CORROSIVE DEVICE.</p> <p>7. ALL FOUNDATION PERIMETER AND ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DISCHARGE SYSTEM.</p> <p>8. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO THE BUILDING, STRUCTURES, OR UTILITY BOXES.</p> <p>9. SEE LANDSCAPE OR CIVIL DRAWINGS FOR ALL SITE AND HARDCAPE DRAIN</p> <p>10. WATER SHOULD BE PREVENTED FROM PONDING ANYWHERE ON THE LOT PARTICULARLY NEAR THE HOUSE. WATERFROM DOWN SPOUTS AND YARD DRAINS SHOULD BE CONNECTED TO TIGHTLINE PIPES THAT CARRY THE WATER TO AVAILABLE DISCHARGE FACILITIES. REFER TO A-4 CALGREEN CHECKLIST.</p> <p>11. CRAWL SPACES SHOULD BE GRADED IN SUCH A WAY THAT WATER WHICH MAY STILL ENTER THE CRAWL SPACE FLOWS TO A LOW POINT WHERE IT CAN BE PIPED BENEATH THE PERIMETER FOUNDATION (GRADE BEAM OR "T" FOOTING) AND DISCHARGED.</p>	<p>12. AT ALL RETAINING WALLS, LANDSCAPE WALLS OR CLOSE PROXIMITY TO STRUCTURES, PROTECTIVE SUB DRAINAGE SHALL BE INSTALLED BENEATH THE FILLS IN THE SWALE AREAS. THE SUB DRAINS SHOULD CONSIST OF A BLANKET OR TRENCH FILLED WITH CLASS TWO PERMEABLE MATERIAL AND HAVING A WIDTH OF AT LEAST 18 INCHES. THE SUB DRAINS SHOULD HAVE A VERTICAL HEIGHT OF 4 FEET AND SHOULD BE INSTALED AT THE BACK OF THE LOWEST ELEVATION POSSIBLE TO PERMIT DAYLIGHT DRAINAGE ON THE PROPERTY(OR TO AN APPROVED DISCHARGE SYSTEM). ENDS OF PIPES SHALL BE RIP RAPPED SO THEY WILL NOT BECOME BLOCKED IN THE FUTURE. SLD. AND SEE CIVIL AND LANDSCAPE PLUS SEE DETAILS FOR ANY REQUIRED WATERPROOFING ALONG THE VERTICAL FACE OF ANY BURIED WALLS.</p> <p>13. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A SET OF CURRENT, THOROUGH, AND ACCURATE AS-BUILT DRAWINGS OF THE PROJECT SITE.</p> <p>14. ALL WATER USE SHALL BE METERED EXCEPT FOR USE IN DISINFECTION AND FLUSHING OF WATER MAINS.</p> <p>15. NO WATER VALVES ON THE EXISTING SYSTEM NOR ANY NEW VALVE CONNECTED TO THE EXISTING SYSTEM SHALL BE OPENED OR CLOSED BY ANYONE EXCEPT AUTHORIZED WATER DEPARTMENT PERSONNEL.</p> <p>16. MAINTAIN, SECURE, AND PROTECT ANY EXISTING WATER SYSTEM FACILITY IN PLACE UNTIL THE PROPOSED WATER SYSTEM IS COMPLETED AND ACTIVATED.</p> <p>17. PARTS FROM ABANDONED CITY FACILITIES, INCLUDING METERS AND VALVES, SHALL BE RETURNED TO THE WATER DEPARTMENT INSPECTOR.</p> <p>18. NO EXISTING OR NEW UTILITY METERS OR VAULTS SHALL BE LOCATED WITHIN THE NEW DRIVEWAY APPROACH. ALL EXISTING OR NEW UTILITY VAULTS SERVING THE PROJECT SITE SHALL BE LOCATED ON-SITE AND NOT WITHIN THE PUBLIC UTILITY EASEMENT, IF ANY.</p>



PLUMBING FIXTURE SCHEDULE:

FIXTURE TYPE	# OF FIXTURE	FLOW RATE
W.C .	4	1.28 GL/FLUSH
LAV.	6	1.2 GPM@60psi
SHOWERHEAD	3	1.8 GPM@80psi
TUB FAUCET	2	1.8 GPM@80psi
KITCHEN SINK	1	1.8 GPM@60psi
LAUNDRY SINK	1	1.8 GPM@60psi

FLOOR PLAN NOTES

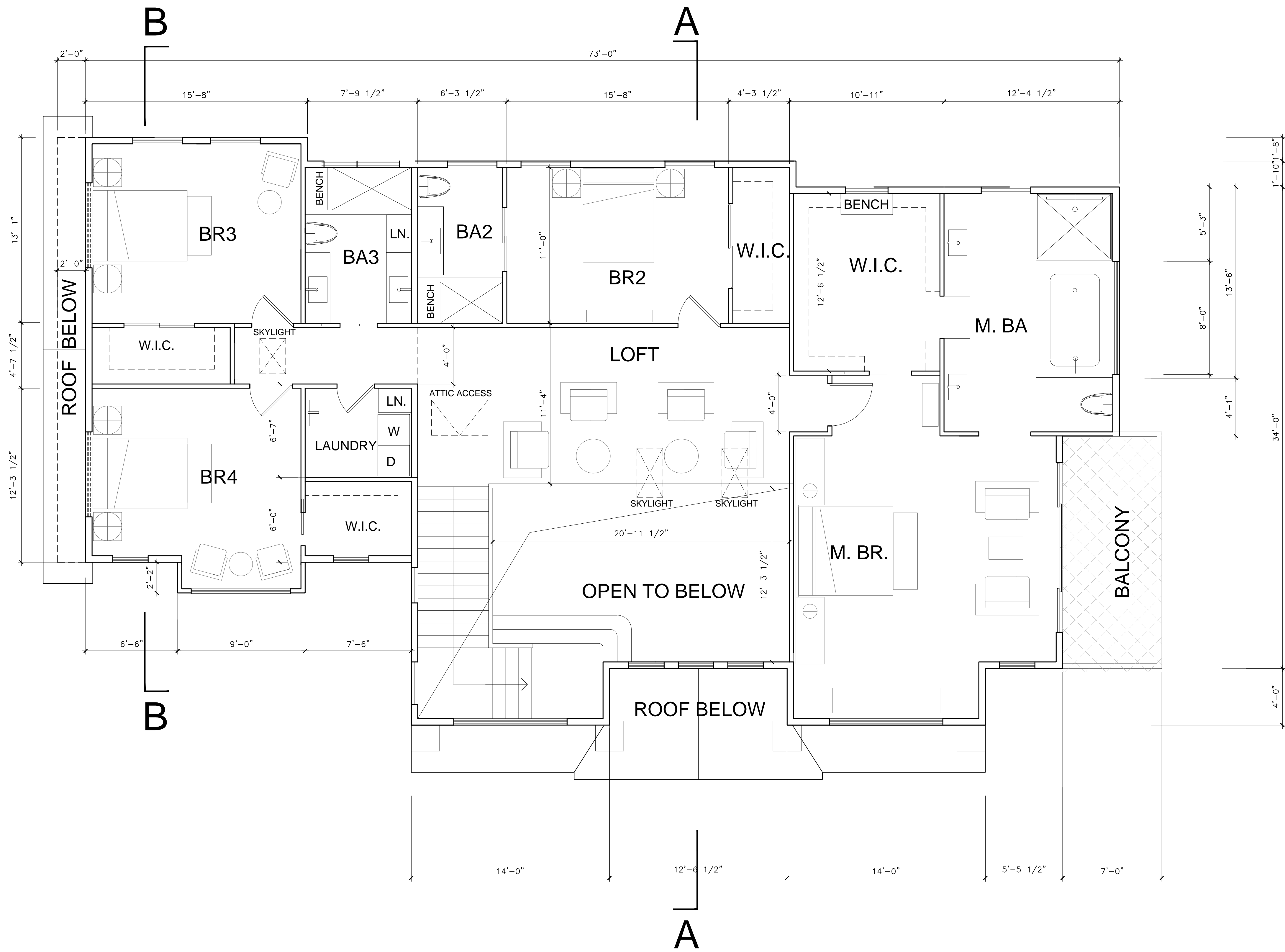
- ALL NEW EXTERIOR WALLS TO BE 2X6 FRAMING
- 1ST FLOOR INTERIOR BEARING WALLS TO BE 2X6 FRAMING
- REMAINING EXTERIOR WALLS TO BE MODIFIED TO MEET STRUCTURAL NEEDS

NOTES FOR STAIRWAY:

- STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY
- STAIRS TO HAVE MAXIMUM 7.75" RISE AND MINIMUM 10" RUN. CRC R311.7.4.1
- STAIRS TO HAVE MINIMUM 80" Head room

1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

1ST FL. LIVING AREA: 1741
2ND FL. LIVING AREA: 2119
TOTAL LIVING AREA: 3860
GARAGE AREA: 656
FRONT PORCH: 82
SIDE PATIO: 255

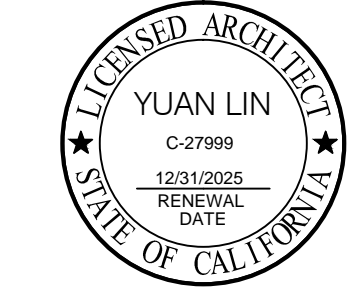


WINDOW / DOOR NOTES

- | | |
|------|---------------------|
| SH | SINGLE HUNG |
| DH | DOUBLE HUNG |
| SLD | SLIDING DOOR |
| SLW | SLIDING WINDOW |
| AWN | AWNING WINDOW |
| FX | FIXED WINDOW |
| PKD | POCKET DOOR |
| CSM | CASEMENT WINDOW |
| COM | COMBINATION WINDOWS |
| STK | STACKED WINDOW |
| 3060 | 3'-0"X6'-0" |
| 2680 | 2'-6"X8'-0" |
| OPT. | OPTIONAL |
| ⊙ | TEMPERED GLASS |

1 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

LIVING AREA: 2119 SF



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

2ND FLOOR PLAN

SHEET NO.

ROOF PLAN NOTES

ROOF PLATE HEIGHTS ARE REFERENCED FROM TOP OF SUB FLOOR AT ENTRY, U.N.O.

CLASS A ROOF COVERING SHALL BE
MANUFACTURER: OWENS CORNING ROOFING OR EQUAL QUALITY PRODUCT
TYPE 1: COMP. SHINGLE ROOFING FOR SLOPED ROOF
COLOR: GRAY

GUTTERS ON ALL ELEVATIONS SHALL BE PROFILED ALUMINUM GUTTERS BY AMERIMAX OR EQUAL

ROOF PITCH SHALL BE AS NOTED ON ROOF PLAN

OVERHANG DIMENSIONS SHALL BE AS NOTED ON ROOF PLAN

DASHED LINES INDICATE WALL(STRUCTURE) BELOW.

LOCATE GUTTERS AND DOWNSPOUTS AS SHOWN. NOTE: LOCATE DOWNSPOUTS MIN. 8" OFF CORNER WHERE POSSIBLE (U.O.N.)

ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.

ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE (WHERE POSSIBLE) SEE DETAIL 11 /A-4.1

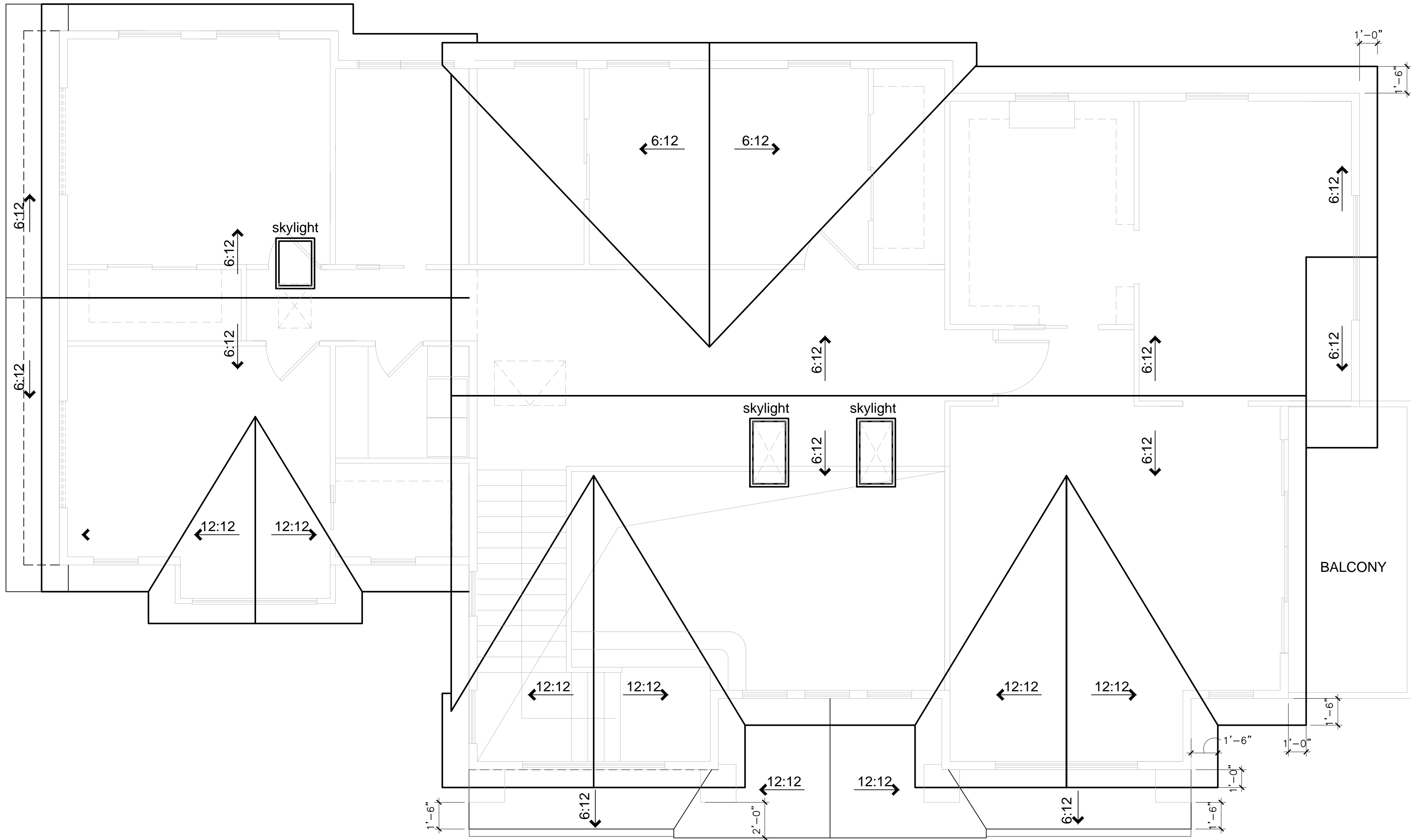
ATTIC VENTILATION SHALL BE PROVIDED PER SECTION 1505.3 OF THE UBC. (SEE CALCULATIONS, THIS SHEET)

LOCATE UPPER AND LOWER ROOF VENTS AS SHOWN ON PLAN.

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I,II,III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. (R905.1.1)

FLASH ALL ROOF VALLEYS (INSTALL FLASHING OVER 30# FELT)

ALL FLASHING SHALL BE 26 GAUGE G.S.M.



1

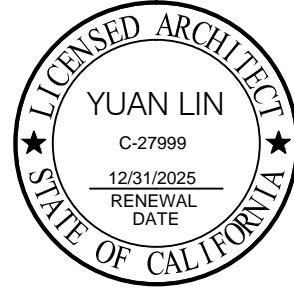
PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"



LNx
ARCHITECTURE
INC.

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PLEASANTON, CA 94566
EMAIL: yuanlinr29@yahoo.com
TEL: 925 357 5801



REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT

OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

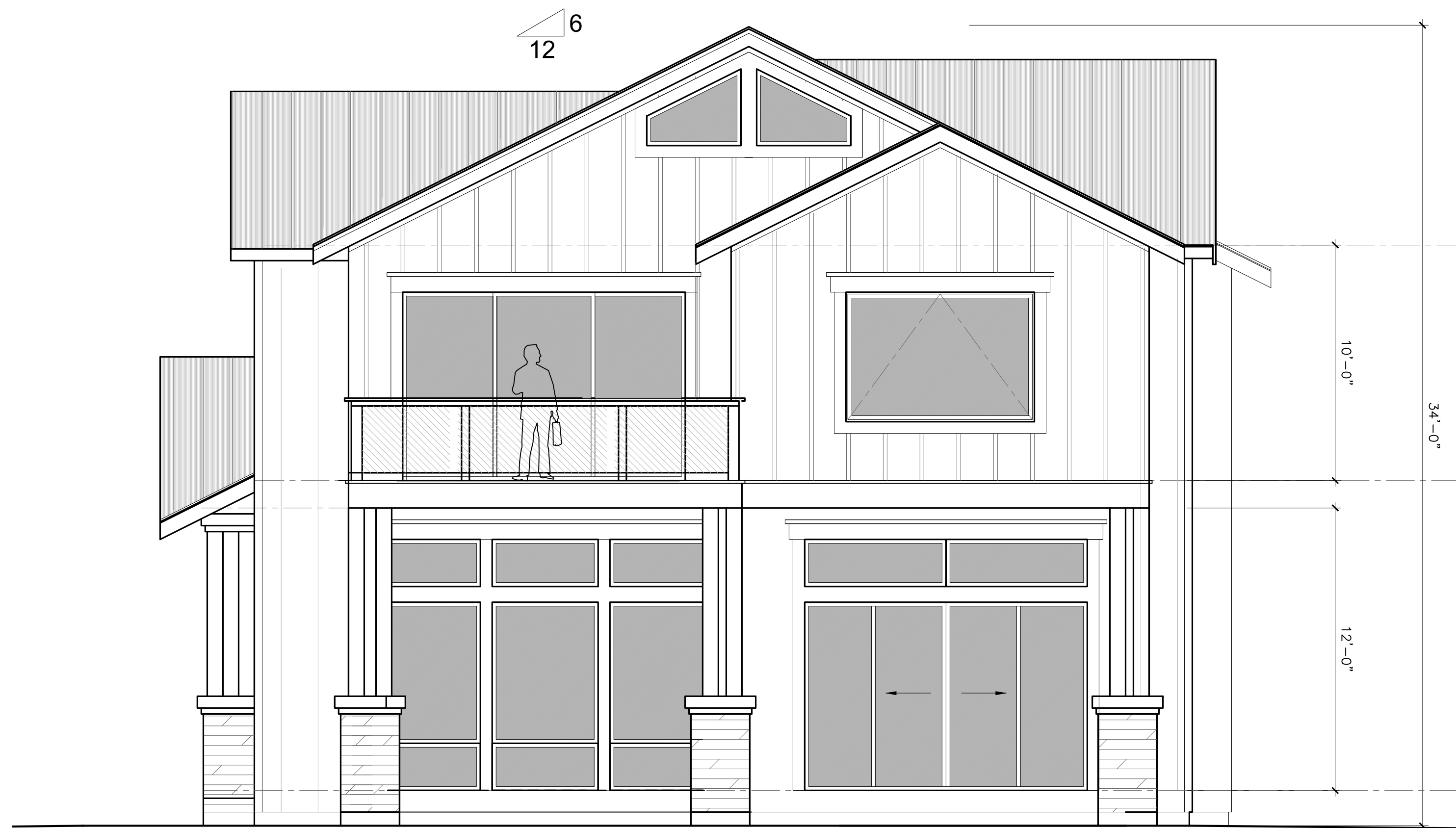
ROOF PLAN

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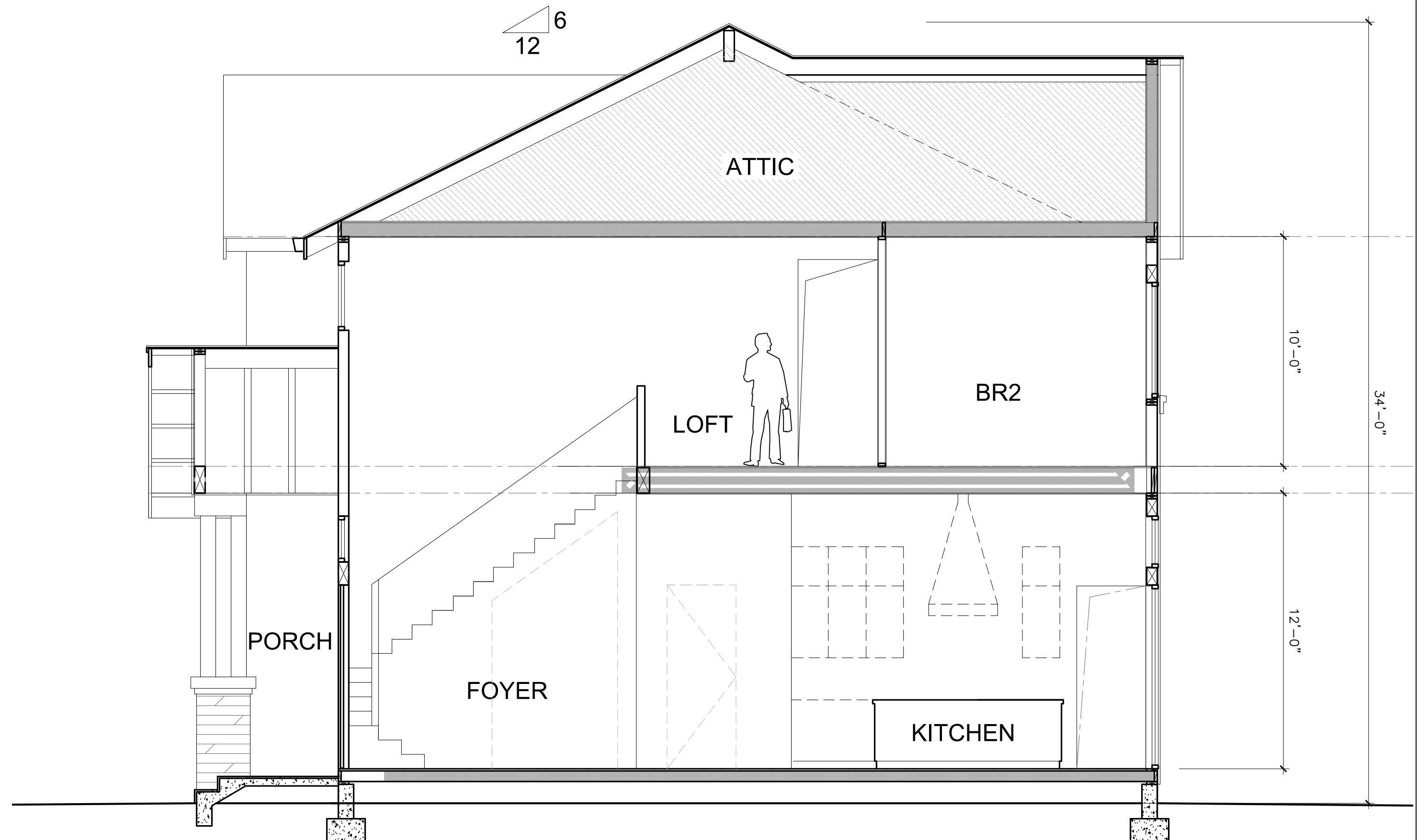
A-2.3



3 FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"

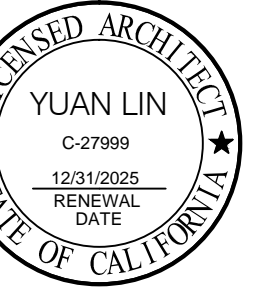


1 BUILDING SECTION A-A
SCALE: 1/4"=1'-0" SCALE: 1/4"=1'-0"



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REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT
OWNER: Mr. & Mrs. Javaid Noorzad

DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

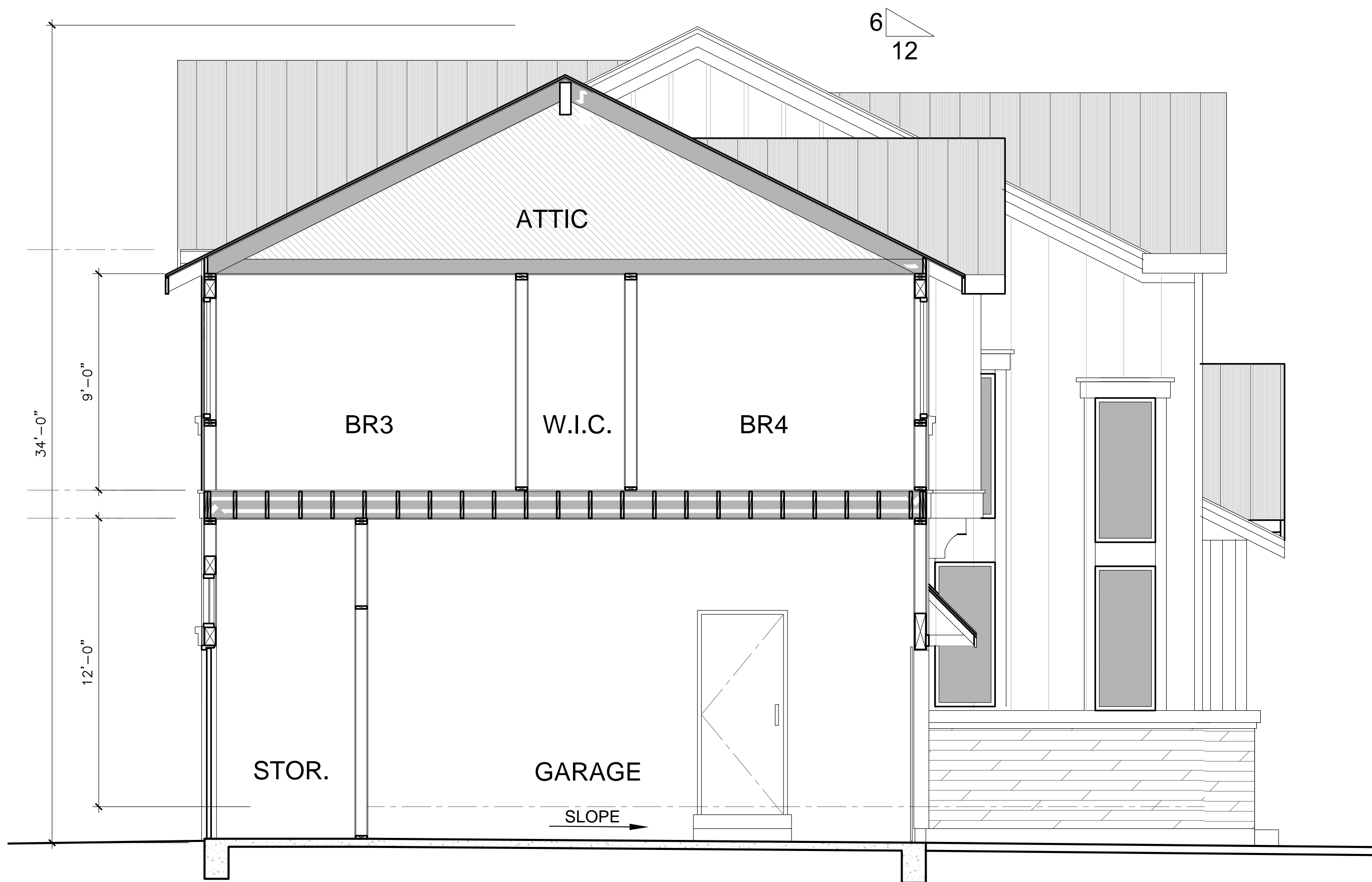
BUILDING
ELEVATIONS
& SECTION

SHEET NO.

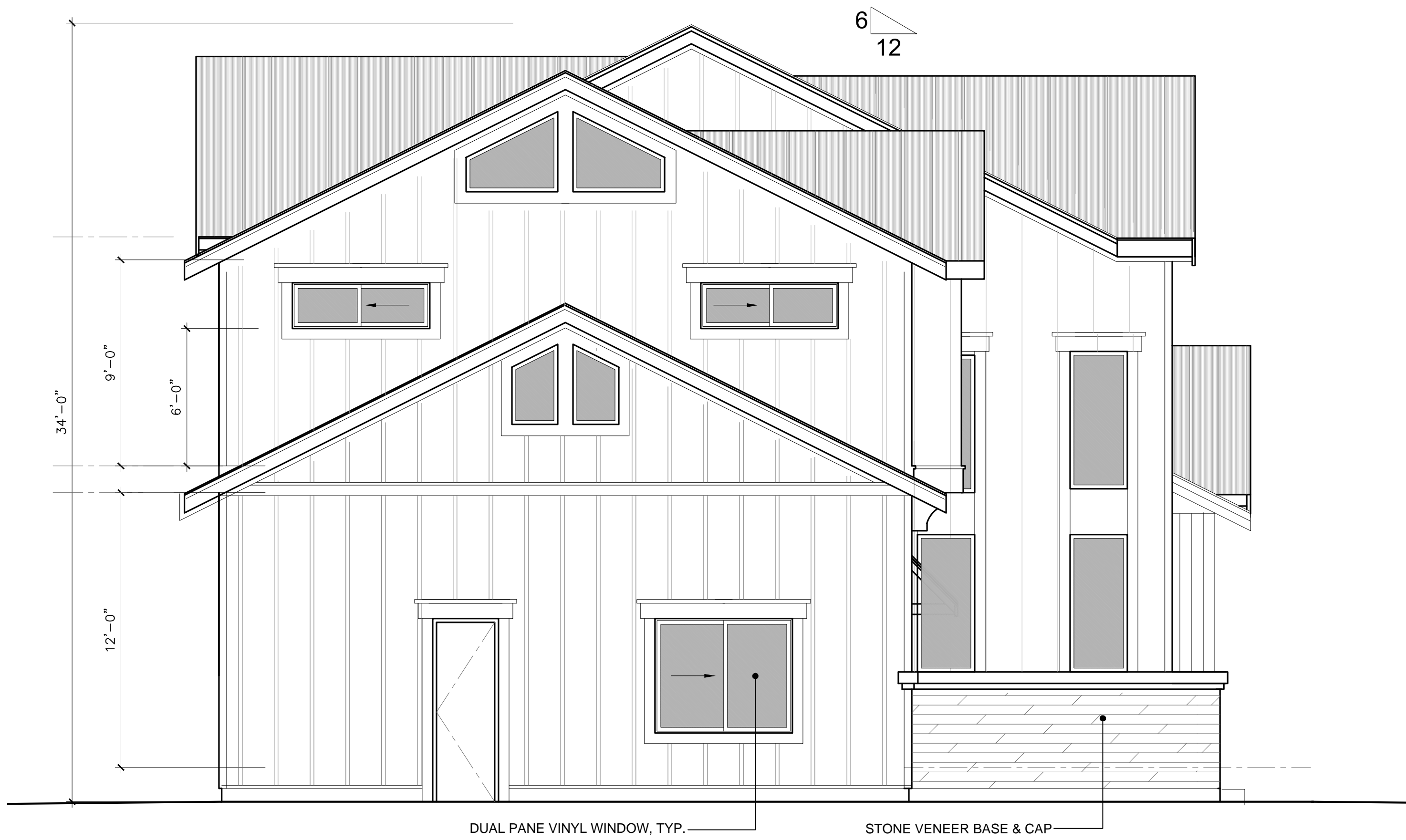
A-3.1



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 SECTION B-B
SCALE: 1/4"=1'-0"

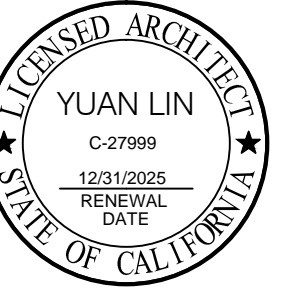


1 LEFT SIDE ELEVATION(EAST)
SCALE: 1/4"=1'-0"



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REVISIONS

PROJECT NAME

1524 MANNING LN., ALAMO, CA
A HOME EXPANSION PROJECT

OWNER: Mr. & Mrs. Javald Noorzad

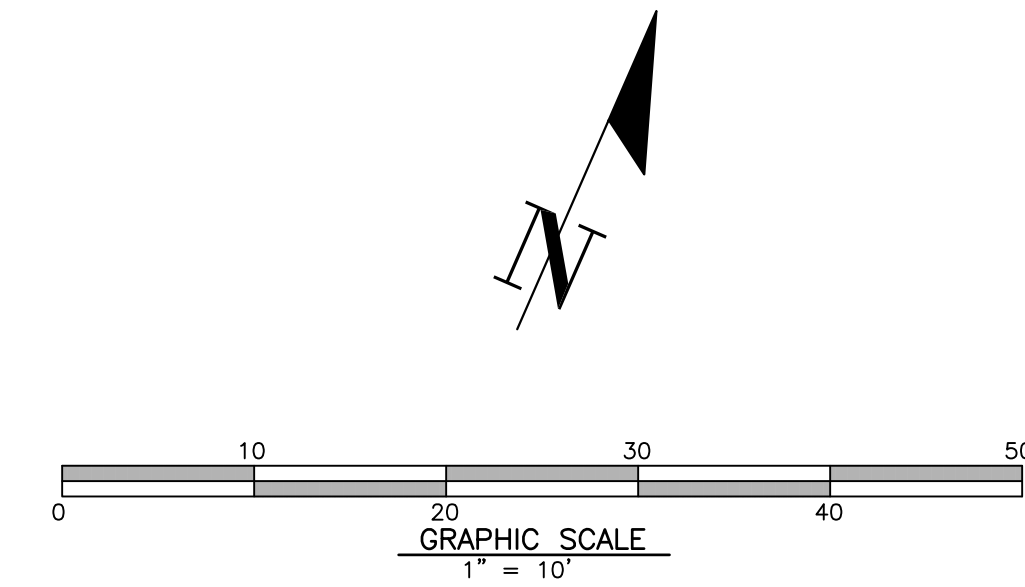
DATE: 06/11/2024
SCALE: AS SHOWN
SHEET NAME

BUILDING
SECTIONS

SHEET NO.

A-3.2

	—200—	NATURAL GRADE CONTOUR LINE
	●	FOUND CITY MONUMENT BOX, OR AS NOTED
	—————	BOUNDARY OF PROPERTY SURVEYED
	()	RECORD INFORMATION
	—————	CENTERLINE
	△	CURB INLET
	—————	CURB LINE
		DRIVEWAY APRON
		ELECTROLIER
	X X X	FENCE
	⊗	FIRE HYDRANT
	⊞	FLAT GRATE INLET
	O.H. PWR	OVERHEAD POWER LINE
	O.H. TEL	OVERHEAD TELEPHONE LINE
	SS	SANITARY SEWER LINE
	⊗	SANITARY SEWER MANHOLE
	●	SANITARY SEWER CLEANOUT
	○	SIGN
	SD	STORM DRAIN LINE
	⊗	STORM DRAIN MANHOLE
	□	UTILITY BOX
	○	UTILITY POLE
	W	WATER LINE
	W	WATER METER
	V	WATER VALVE
	E	ELECTRIC METER
	H	WATER HEATER
	G	GAS



DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE
SOUTH EASTERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 238.86' (NAVD88 DATUM)


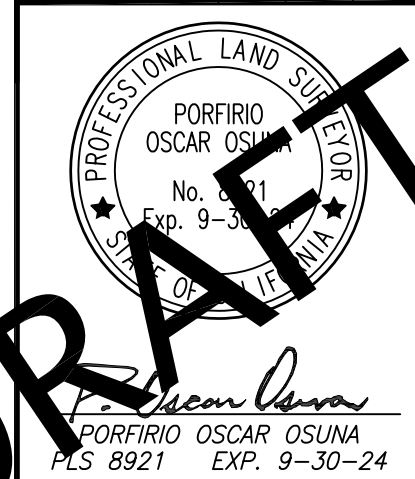
APN	ASSESSOR'S PARCEL NUMBER
AE	ANCHOR EASEMENT
BM	BENCH MARK
BSL	BUILDING SETBACK LINE
BTRC	BACK/TOP OF ROLLED CURB
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
EX	EXISTING
FF	FINISH FLOOR
FFL	FINISH FLOOR ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
R#	REFERENCE DOCUMENT
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT
WCE	WIRE CLEARANCE EASEMENT

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
3. TOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
4. UNLESS SPECIFIED, ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
6. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
7. TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN

THIS PRELIMINARY SITE SURVEY BOUNDARY IS INTENDED FOR INITIAL STUDIES OR PLANNING DESIGN. TO FINALIZE THIS BOUNDARY SURVEY A RECORD OF SURVEY MUST BE FILED PER THE MANDATORY FILING PROVISIONS OF SECTION 8762(B) OF THE PROFESSIONAL LAND SURVEYORS' ACT. OSUNA ENGINEERING, IS CURRENTLY WORKING TOGETHER WITH THE NEIGHBOR SURVEYOR (BAY LAND CONSULTING). BAY LAND CONSULTING WILL FILE A RECORD OF SURVEY WITHIN THE TIME LIMITS PRESCRIBED BY STATE LAW. NOTE THAT ONCE SAID RECORD OF SURVEY IS RECORDED, OSUNA ENGINEERING, INC. WILL FILE A CORNER RECORD OR RECORD OF SURVEY, WHATEVER IS APPROPRIATE AND SET PERMANENT CORNERS.

NOTE THAT CONSTRUCTION STAKING, NOR PERMANENT FIELD MARKERS/CORNERS, ARE TO BE SET IN THE FIELD UNTIL THE BOUNDARY SURVEY IS FINALIZED.

BY	CITY	DATE	REVISIONS
△			
△			
△			
△			
△			



OSUNA
ENGINEERING INC.
Planning | Surveying | Civil Engineering
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

6920 SANTA TERESA BLVD. 206
SAN JOSE, CA 95119
TEL. (408) 772-4381
Info@osunae.com

PRELIMINARY SITE SURVEY

1524 MANNING LANE
APN.: 191-040-028-0

ALAMOG.	CALIFORNIA
Project No.: 3010	Drawn By: J.L.AZ
	Checklist: O.C.
	Date: 6/12/07

SHEET
1
F 1 SHEETS