

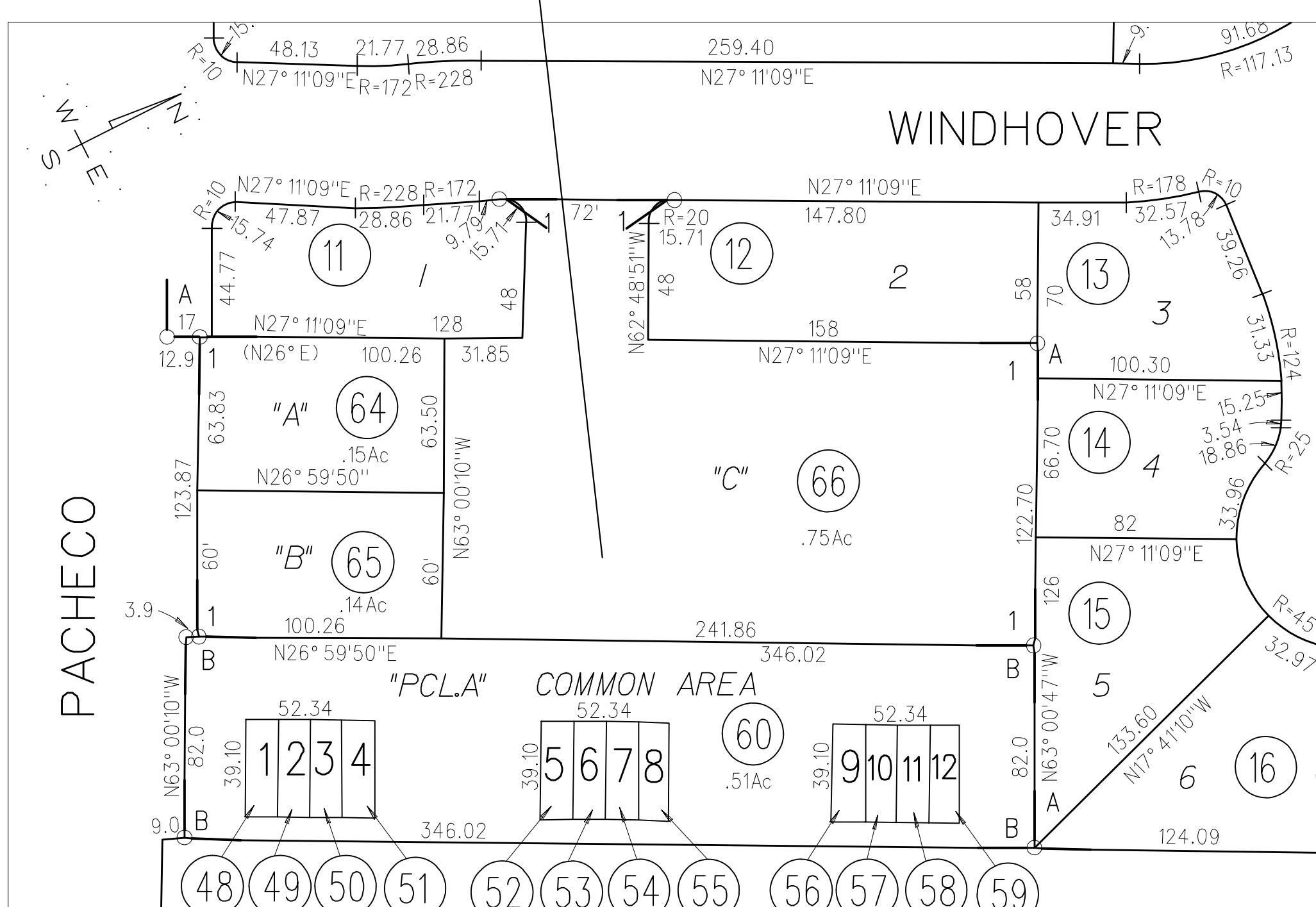
WINDHOVER TERRACE APARTMENTS

APN: 380-220-066

0 PACHECO BLVD, MARTINEZ, CA

PERMIT#: CDDP21-03031

SUBJECT PROPERTY



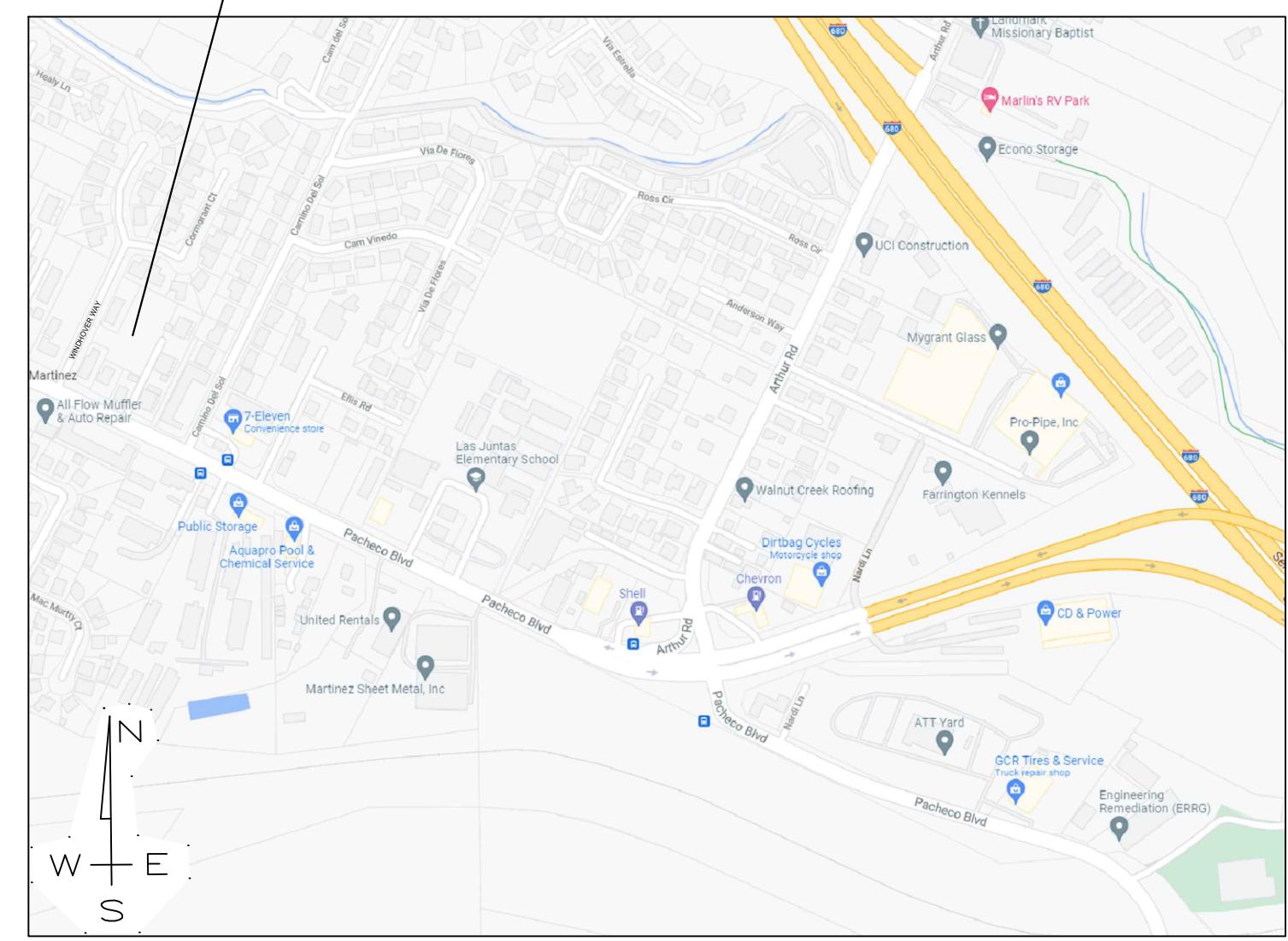
ASSESSOR'S PARCEL MAP

SUBJECT PROPERTY



AERIAL MAP

SUBJECT PROPERTY



VICINITY MAP

Owner:
West Coast Land and Development, Inc.
145 John Glenn Drive
Concord, Ca
(925)246-2870

Civil Engineer:
Calichi Design Group Civil Engineers
3240 Peralta Street, #3
Oakland, CA 94560
(510)250-7877
www.calichi.com

Architectural Designer:
Norcal Design
1501 North Point Street
San Francisco, Ca
(415)295-2012

Landscape Architect:
Smith+Smith
1501 North Point Street
San Francisco, Ca
(415)543-0332

Soils Engineer:
Bear Engineering
3530 Kevin Place
Concord, Ca
(925)978-9754

GENERAL NOTES

ABBREVIATIONS

AND
AT
ABV
ABOVE
ADDL
ADDITIONAL
CBC
CALIFORNIA BUILDING CODE
CLG
CEILING
CONC
CONCRETE
CONT
CONTINUOUS
CNR
CORNER
DBL
DOUBLE
DEL
DELETE
DET / DTL
DETAIL
DWG
DRAWING(S)
(E)
EXISTING
EA
ELEV
ELEVATION
EXT
EXTERIOR
ETD
EXTEND
FIN
FINISH/FINISHING
FLR
FLOOR
FND
FOUNDATION
HORIZ
HORIZONTAL
HT
HEIGHT
ICBO
INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
INT
INTERIOR, INTERSECTION
MAX
MAXIMUM
MIN
MINIMUM
(N)
NEW
NTS
NOT TO SCALE
RF
ROOF
SQ
SQUARE
STD
STANDARD
TBV
TO BE VERIFIED
UBC
UNIFORM BUILDING CODE
UN
UNLESS OTHERWISE NOTED
UOS
UNLESS OTHERWISE SHOWN
VERT
VERTICAL
VIF
VERIFY IN FIELD
W/
WITH
W/I
WITHIN
W/O
WITHOUT

1. INSTALL WATER RESISTANT GYPSUM BOARD (FULL HEIGHT) AROUND ALL SHOWER ENCLOSURES AND BEHIND ALL PLUMBING FIXTURES, EXCEPT BEHIND TILE, INSTALL DUROC, WONDERBOARD, OR SIM. PRODUCT.
2. ALL WALLS WITH SHEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH. FURR WALLS OR CONTINUE PLYWD. TO MAINTAIN THE REQUIRED FLUSH FINISH.
3. ALL EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO THE CITY OR COUNTY SECURITY ORDINANCE.
4. ALL WALLS OVER 10' TALL SHALL BE 2x6 STUDS @ 16" O.C. MINIMUM, WITH FIRE BLOCKING @ 10"-0" INTERVALS.
5. ALL ANGLES OTHER THAN 90° SHALL BE 45° U.O.N.
6. PROVIDE BACKING FOR ALL TOWEL BARS AND TISSUE HOLDERS IN BATHROOMS, TYP.
7. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD U.O.N.
8. VERIFY ALL FINISH MATERIALS WITH OWNER PRIOR TO INSTALLATION.
9. CEILING HEIGHTS ARE MEASURED FROM TOP OF SUBFLOOR, TYP.
10. ALL TEMPERED GLASS SHALL BE AFFIXED W/ A PERMANENT LABEL.
11. SHOWERS AND TUB/SHOWER FIXTURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
12. ALL WINDOWS IN SLEEPING ROOMS SHALL HAVE SILL HEIGHTS NOT MORE THAN 44-INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREETS, PUBLIC ALLEYS, YARDS, OR EXIT COUNTIES.
13. ALL DOORS SHALL BE FRAMED WITH 4" JAMBS, TYP. U.O.N.
14. PROVIDE SAFETY GLAZING AT SPECIFIC LOCATIONS ON PLANS WHERE BOTTOM OF WINDOW WILL BE LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

BUILDING DATA

LEGAL OWNER:
WEST COAST LAND AND DEVELOPMENT, INC.
145 JOHN GLEN DRIVE
CONCORD, CA 94520

PROJECT ADDRESS:
0 PACHECO BLVD
MARTINEZ, CA 94553

PROPOSED AREA:

BUILDING 1ST FLOOR ----- 7,389 SQ.FT.
BUILDING 2ND FLOOR ----- 7,429 SQ.FT.
BUILDING 3RD FLOOR ----- 7,429 SQ.FT.
COVERED PARKING ----- 2,650 SQ.FT.
TRASH ENCLOSURE ----- 276 SQ.FT.
BIKE LOCKERS ----- 76 SQ.FT.
LOT SIZE ----- 32,830 SQ.FT.

APN: 380-220-066

SIZE: 0.75 ACRES

ZONING: M-29

EXISTING STRUCTURES: NONE

LOT COVERAGE:

PROPOSED LOT COVERAGE
BUILDING FOOTPRINT ----- 7,389 SQ. FT.
COVERED PARKING ----- 2,969 SQ. FT.
TRASH ENCLOSURE ----- 276 SQ. FT.
TOTAL ----- 10,619 SQ.FT.

PROPOSED STRUCTURES:
24 UNIT BUILDING WITH ASSOCIATED IMPROVEMENTS

SIZE: 22,247 SQFT LIVING AREA

ALLOWED 32830 x .35 = 11,490 SQ. FT.

SETBACK REQUIREMENTS

MAIN STRUCTURES
FRONT / SIDE / REAR / PARKING
25' MIN. / 20'-0" / 20'-0" / 25'-0"
PROPOSED
FRONT / SIDE / REAR / PARKING
48' / 20'-8" / 20' / 17'-5'

ZONING REQUIREMENTS

BUILDING HEIGHT
MAX. ALLOWED 30'-0"
PROPOSED 37.5'
OPEN SPACE
REQUIRED 25%
PROPOSED 20%

PARKING PROPOSED:

16 Covered
(2 ADA
4 EV Spaces)
13 Uncovered
4 Guest Parking
33 Total Parking

TREES TO BE REMOVED:

9 Total, 1 Protected

INDEX TO DRAWINGS

G1 GENERAL TITLE SHEET

C1.0 SITE, PAVING, HORIZONTAL CONTROL PLAN

C1.1 FIRE PROTECTION EXHIBIT

C2.0 GRADING AND DRAINAGE PLAN

C3.0 UTILITY PLAN

C4.0 STORMWATER CONTROL PLAN

A1 1ST FLOOR PLAN

A2 2ND FLOOR PLAN

A3 3RD FLOOR PLAN

A4 ELEVATIONS

L-1 LANDSCAPE PLAN

L-2 LANDSCAPE FURNITURE & PLANTING IMAGES

CB1 COLOR BOARD

CODES IN EFFECT

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 MECHANICAL CODE (CMC)
- 2019 PLUMBING CODE (CPC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA ENERGY CODE (CEC)
- CONTRA COSTA COUNTY MUNICIPAL CODE

REVISION	DESCRIPTION	BY	DATE

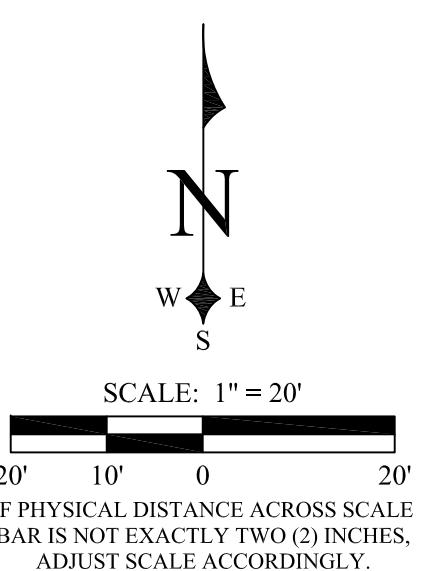
WEST COAST LAND AND DEVELOPMENT, INC.
145 JOHN GLEN DRIVE
CONCORD, CA 94520
(925) 246-2870 WWW.WCLANDS.COM

CUSTOM APARTMENTS
WINDHOVER TERRACE APARTMENTS
0 PACHECO BLVD
MARTINEZ, CA 94553

GENERAL TITLE SHEET

DATE: 10-19-2021
SCALE: NONE
DRAWN BY: PQR
JOB:
Sheet
G1
of
Sheet

RECEIVED on 10/12/2021 CDDP21-03031
By Contra Costa County
Department of Conservation and Development



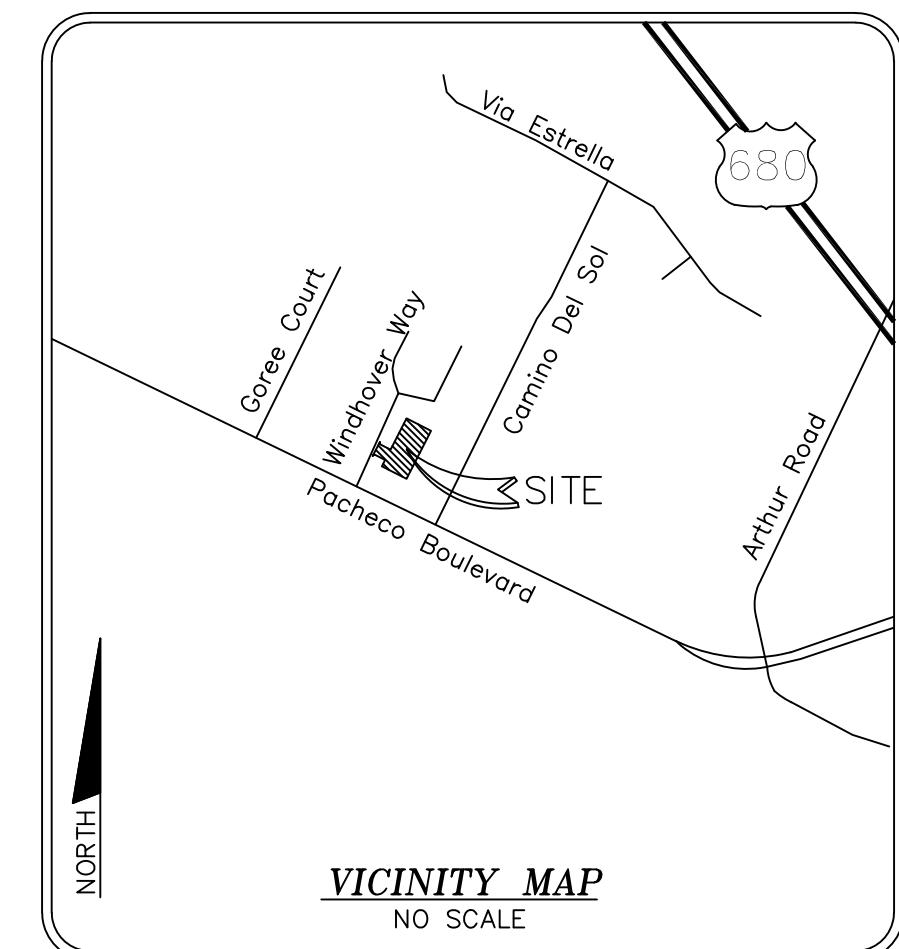
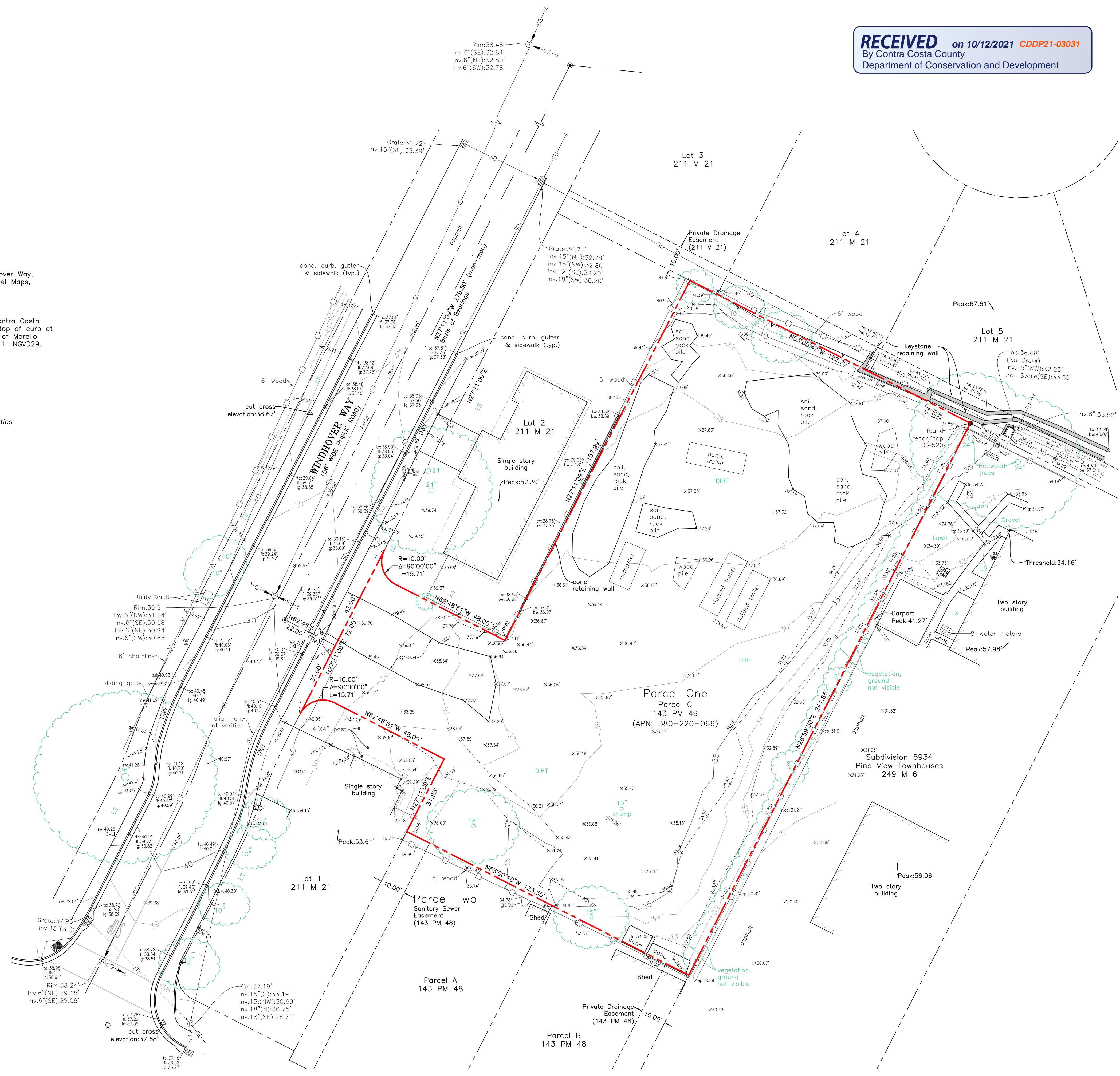
CONTOUR INTERVAL NOTE
Contours shown on this survey are plotted at a 1 foot interval.

BASIS OF BEARINGS NOTE
The bearings shown on this survey are based upon the monuments found marking the monument line of Windhov Way, as shown on the Parcel Map filed in Book 143 of Parcel Maps, at Page 49. That bearing was taken as: N27°11'09"E.

DATUM NOTE
The elevations shown on this survey are based upon Contra Costa County Benchmark No. 3094, Being a nail and tag on top of curb at drain inlet at the south east corner of the intersection of Morello Road and Pacheco Boulevard. Elevation taken as 32.911' NGVD29.

LEGEND

- Existing easement line
- Existing property boundary
- Existing parcel lines of adjacent properties
- Existing street centerline
- Existing street monument line
- Underground utility line as noted
- Existing building line at ground level
- Existing building footprint
- Existing grade break
- Existing wood fence
- Existing chainlink fence
- Existing point line
- Existing retaining wall as noted
- Existing line of slope
- Existing minor contour
- Existing major contour
- Communication
- Concrete
- Drainage inlet
- Electric
- Fiber line
- Finished Grade
- Lip of Gutter
- Landscaping
- Storm Drain
- Sanitary Sewer
- Sidewalk
- Top of Curb
- Water
- Fire hydrant
- Found well monument(143PM49)
- Survey control point as noted
- Gas meter
- Irrigation valve
- Sanitary sewer manhole
- Sign
- Storm drain manhole
- Utility vault as noted
- Water backflow device
- Water meter
- Water valve
- Street light
- Spot elevation
- Tree w/ trunk Ø



TITLE DESCRIPTION
The legal description for the property surveyed hereon is taken from the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

The land referred to in this Policy is situated in the unincorporated area of the County of Contra Costa, State of California, and is described as follows:

Parcel One: Parcel C, as shown on the Parcel Map filed December 5, 1989, in Book 143 of Parcel Maps, Page 48, Contra Costa County Records.

Parcel Two: An easement (not to be exclusive) as an appurtenance to Parcel One above, created in reference thereto in the Deed executed by Dinesh Sawhney, et ux, recorded December 7, 1989, in Book 15523, Page 83, Official Records, as follows: "An easement, as an appurtenance to Parcel "C" of said Subdivision M5, lot 88 (143 PM 48) for the purposes of constructing, laying, maintaining and operating sewer pipes and fixtures and appliances together with the reasonable right of access to such easement, over, under across and along the North ten (10) feet of said Parcel "A", designated Sanitary Sewer Easement". APN: 380-220-066

TITLE EXCEPTIONS AND EXCLUSIONS

The exceptions and exclusions listed in said policy of title insurance are as follows:

Items 1-2: Property taxes and the lien of supplemental taxes, if any. This item is not shown hereon, refer to the title report for particulars.

Item 3: Matters contained or referred to in instrument entitled "Deferred Improvement Agreement" recorded December 5, 1989 in book 15518, page 881, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.

Items 4: Any consequences of the fact that portion of the property lies within the lines of Gull Way as shown on the Map of Subdivision 5210, filed May 31, 1978, in Book 211 of Maps, Page 21, Contra Costa County Records, and the fact that there is not evidence that the public rights over said Gull Way have been abandoned. This item is not shown hereon, refer to the title report for particulars.

Items 5 and 6: Deeds of trust recorded July 27, 2015 as document no's. 2015-0155289 and 2015-0155290, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.

SURVEYOR NOTES

1. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.

2. Utilities shown have been located from visible above-ground, on-site observation only. Therefore the surveyor assumes no liability for the location and/or existence of any utilities that may have been concealed at the time of this survey. The locations of underground utilities have not been located and are not included in this portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.

3. There are no existing buildings on the property.

4. The area of Parcel One (Parcel C-143 PM 49) is 32,830sf±

5. Areas noted as soil, sand, rock pile and vegetation are areas where the ground is not visible and are not surveyed hereon.

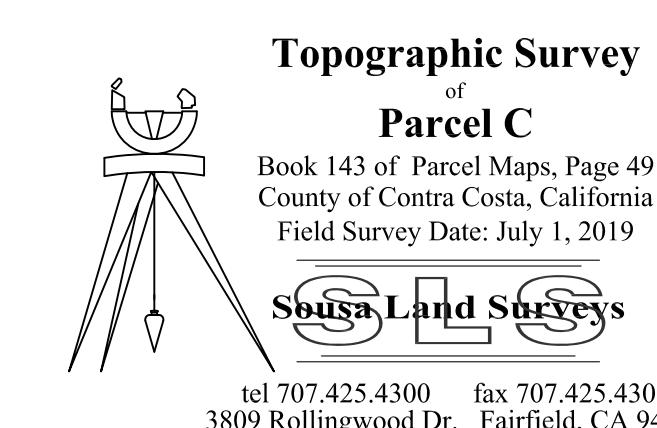
CERTIFICATION

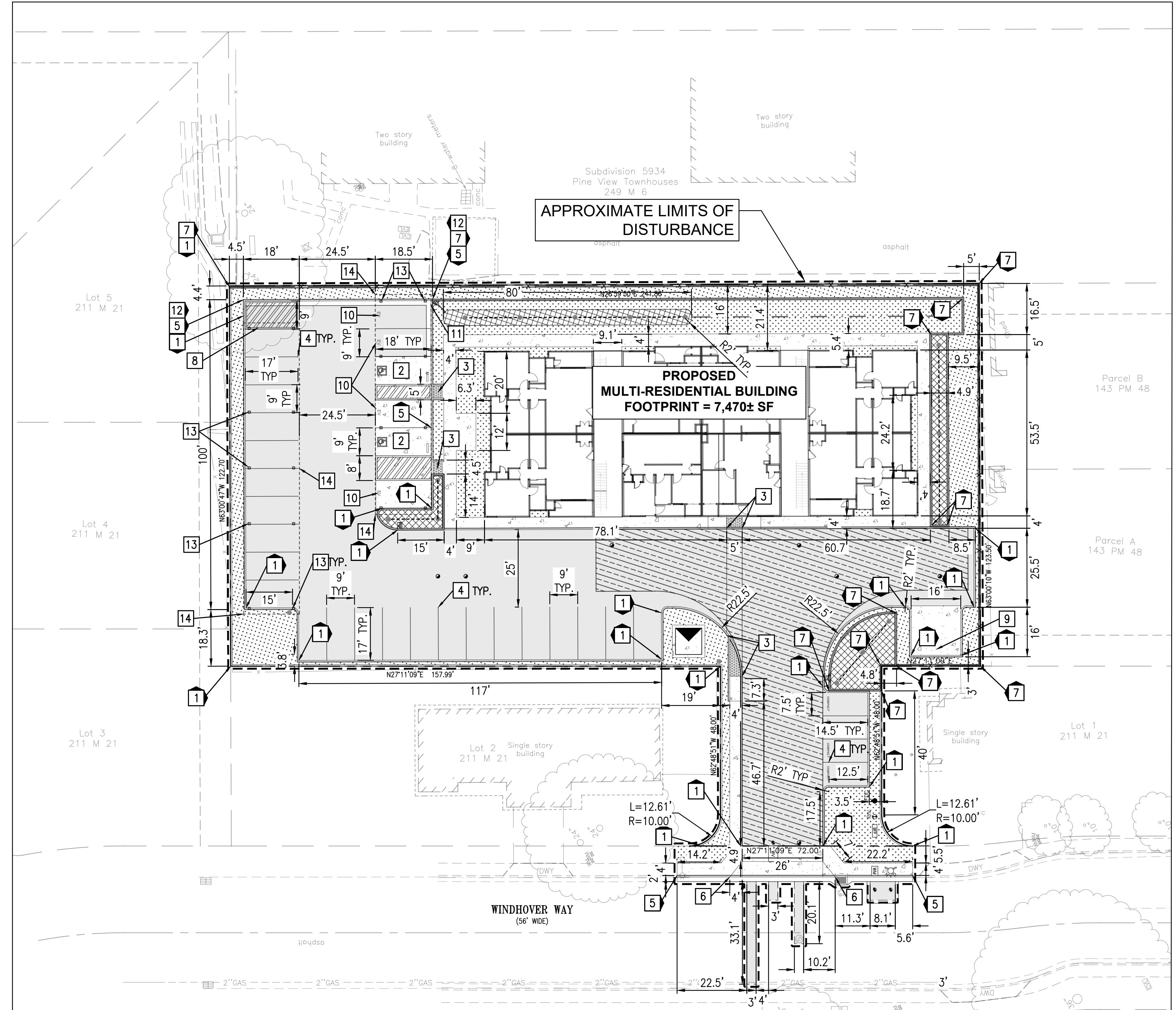
The boundary and easement information shown hereon is based upon the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

This map has been prepared for the sole purpose of showing the location of existing above ground improvements and surface elevations of the subject parcel. All other information shown hereon is for informational purposes only.

Brian L. Sousa
Brian L. Sousa, L.S. 7917

Date: July 22, 2019





0 20 40 60
GRAPHIC SCALE IN FEET SCALE: 1"=20'
CaliChi
Design
Group



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

GENERAL NOTES:

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST SAN MATEO COUNTY AND CITY OF MILLBRAE STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ENGINEER'S ADA NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
- MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
- ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

SITE INFORMATION:

APN: 380-220-066
ZONING: M-29 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'X' PER FIRM PANEL NO: 06001C0059G, DATED AUGUST 3, 2009. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD."

SUMMARY:

PARCEL AREA = ±32,830 SF (±0.772 ACRES)
TOTAL DISTURBED AREA = ±32,830 SF (±0.772 ACRES)
PROPOSED BUILDING FOOTPRINT AREA = ± 7,470 SF

ON-SITE AREA SUMMARY:

TOTAL DISTURBED ON-SITE AREA = ±32,830 SF
EXISTING IMPERVIOUS AREA = ± 0 SF
EXISTING PERVIOUS AREA = ±32,830 SF
PROPOSED IMPERVIOUS AREA = ±26,167 SF (80%)
PROPOSED PERVIOUS AREA = ± 6,663 SF (20%)
PROPOSED PLANTED AREA = ± 6,663 SF
CHANGE IN IMPERVIOUS AREA = ±26,167 SF INCREASE

PAVED PARKING AREA SUMMARY:

PROPOSED PARKING COUNT = 33
PROPOSED PARKING AREA = ± 5,608 SF
REQUIRED LANDSCAPE AREA = ± 280 SF
PROPOSED LANDSCAPE AREA = ± 1,621 SF

PROPOSED

	PROPOSED	EXISTING
PROPERTY LINE		
EASEMENT LINE		
APPROXIMATE LIMIT OF DISTURBANCE		
1-FOOT CONTOUR	9	
5-FOOT CONTOUR	10	
WATER LINE		
WATER LINE		
WTR		
IRRIGATION WATER LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
OVERHEAD ELECTRIC		
GAS LINE		
UNDERGROUND ELECTRIC		
UNDERGROUND TELEPHONE		
FENCE		
TREE		
WATER VALVE/BACK FLOW PREVENTER		
FIRE HYDRANT		
WATER METER OR BOX		
SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
STORM DRAIN MANHOLE		
CATCH BASIN/AREA DRAIN		
STORM CLEANOUT		
GAS METER/BOX		
GAS VALVE		
STREET LIGHT/LIGHT POLE/YARD LIGHT		
ELECTRIC PEDESTAL/BOX/VULT		
ELECTRIC TRANSFORMER		
STANDARD PCC PAVEMENT		
STANDARD PERVIOUS AC PAVEMENT		
STANDARD AC PAVEMENT		
PROPOSED FIRE LANE		
LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.		
BIORETENTION FLOW THROUGH PLANTER		
DIRECTIONAL SHEET FLOW LINE		
RIP RAP		

LEGEND

PROPERTY LINE	
EASEMENT LINE	
APPROXIMATE LIMIT OF DISTURBANCE	
1-FOOT CONTOUR	9
5-FOOT CONTOUR	10
WATER LINE	
WTR	
IRRIGATION WATER LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
OVERHEAD ELECTRIC	
GAS LINE	
UNDERGROUND ELECTRIC	
UNDERGROUND TELEPHONE	
FENCE	
TREE	
WATER VALVE/BACK FLOW PREVENTER	
FIRE HYDRANT	
WATER METER OR BOX	
SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
STORM DRAIN MANHOLE	
CATCH BASIN/AREA DRAIN	
STORM CLEANOUT	
GAS METER/BOX	
GAS VALVE	
STREET LIGHT/LIGHT POLE/YARD LIGHT	
ELECTRIC PEDESTAL/BOX/VULT	
ELECTRIC TRANSFORMER	
STANDARD PCC PAVEMENT	
STANDARD PERVIOUS AC PAVEMENT	
STANDARD AC PAVEMENT	
PROPOSED FIRE LANE	
LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	
BIORETENTION FLOW THROUGH PLANTER	
DIRECTIONAL SHEET FLOW LINE	
RIP RAP	

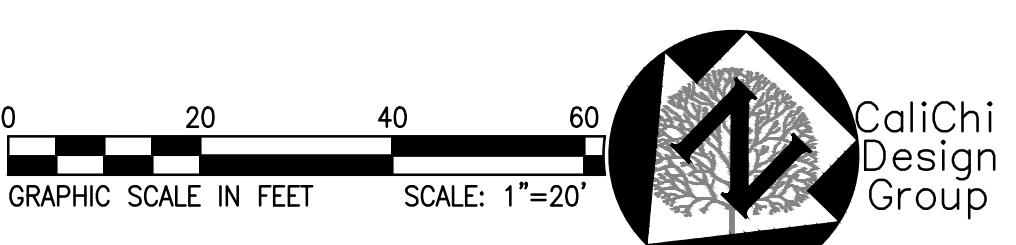
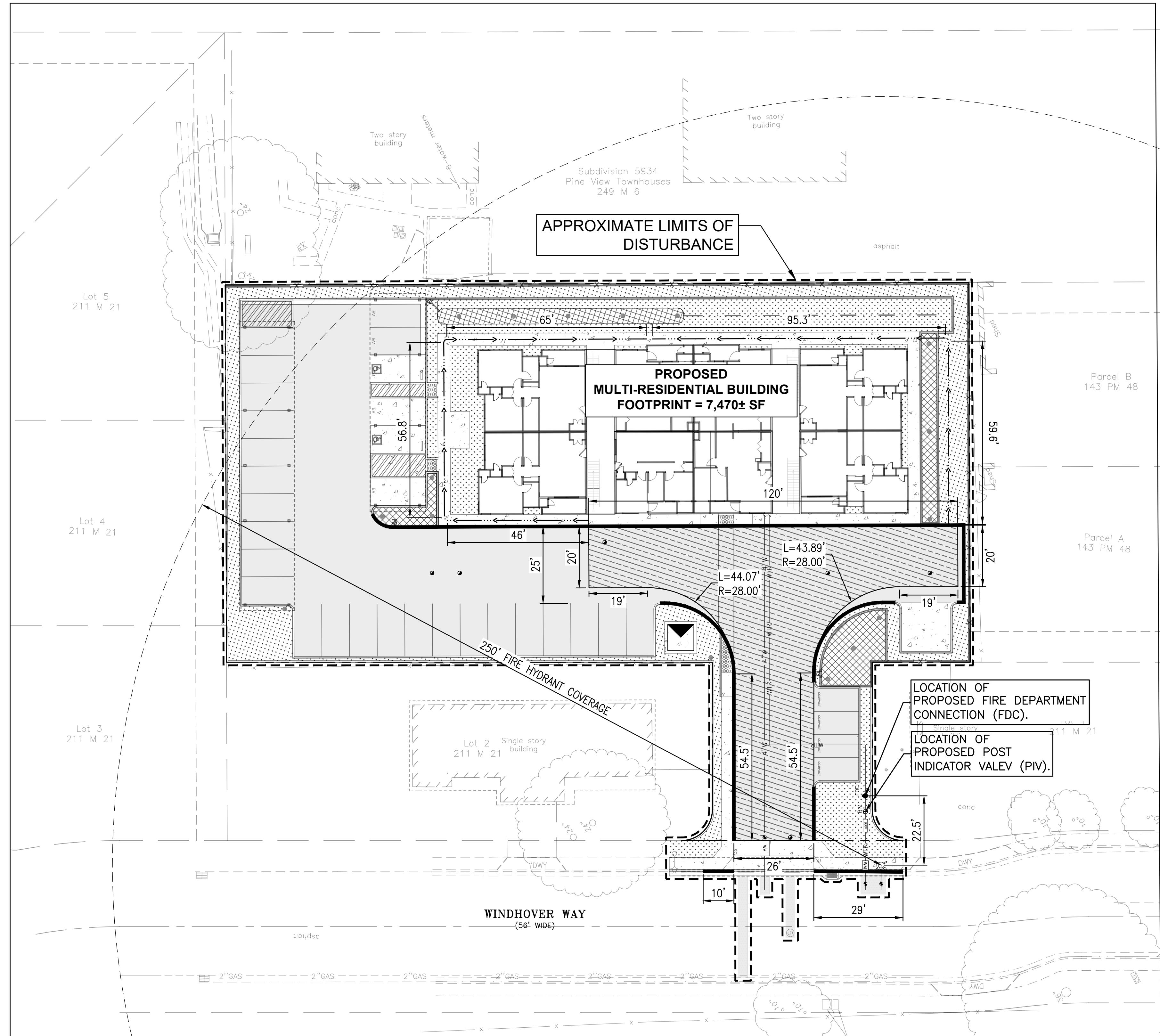


GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING	22/03/15
R2	
PLANNING	19/10/08
RESUBMITTAL	
SCP	19/08/22
SUBMITTAL	
REVISIONS	DATE
JOB:	
DATE:	2022/03/15

SHEET TITLE:	SITE, PAVING, AND HORIZONTAL CONTROL PLAN
SHEET NO.	C1.0

REVISION NO. 0



A graphic scale bar and the CaliChi logo. The scale bar is a horizontal bar divided into four segments, each 15 feet long, with a total length of 60 feet. The segments are black and white. Below the scale bar is the text 'GRAPHIC SCALE IN FEET'. To the right of the scale bar is the text 'SCALE: 1"=20''. The CaliChi logo consists of a stylized tree graphic to the left of the text 'CaliChi Design Group'.

<u>PROPOSED</u>	<u>LEGEND</u>	<u>EXISTING</u>
9	PROPERTY LINE	-----
10	EASEMENT LINE	-----
WTR	APPROXIMATE LIMIT OF DISTURBANCE	-----
FP	1-FOOT CONTOUR	9
IRR	5-FOOT CONTOUR	10
SS	WATER LINE	-----
SD	FIRE PROTECTION WATER LINE	-----
G	IRRIGATION WATER LINE	-----
UE	SANITARY SEWER LINE	-----
UT	STORM DRAIN LINE	-----
X	OVERHEAD ELECTRIC	-----
	GAS LINE	-----
	UNDERGROUND ELECTRIC	-----
	UNDERGROUND TELEPHONE	-----
	FENCE	X
	TREE	4:
●	WATER VALVE/BACK FLOW PREVENTER	WV
◆	FIRE HYDRANT	◆
WM	WATER METER OR BOX	WM
●	SEWER MANHOLE	Ⓜ
●	SANITARY SEWER CLEANOUT	sco
●	STORM DRAIN MANHOLE	Ⓜ
□ ●	CATCH BASIN/AREA DRAIN	AP
●	STORM CLEANOUT	dco
□□□	GAS METER/BOX	GM
●	GAS VALVE	
▶	STREET LIGHT/LIGHT POLE/YARD LIGHT	○ ☼ ☙
	ELECTRIC PEDESTAL/BOX/VULT	EM
	ELECTRIC TRANSFORMER	EB
■	STANDARD PCC PAVEMENT	
■	STANDARD PVIOUS AC PAVEMENT	
■	STANDARD AC PAVEMENT	
■	PROPOSED FIRE LANE	
■	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	
■	BIORETENTION FLOW THROUGH PLANTER	
→ · · · ·	DIRECTIONAL SHEET FLOW LINE	
	RID. RAD.	

FIRE PLAN LEGEND

→→→ HOSE LENGTH
_____ RED CURB DENOTING NO PARKING – FIRE LANE (SEE PLAN FOR DIMENSIONS). NOTE THAT ALL RED CURBS SHALL HAVE "NO PARKING – FIRE LANE" SIGNS EVERY 100-LF

**GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA**

PLANNING
P3 22/03/15

PLANNING
RECOMMENDATION 19/10/08

SCP
SUBMITTAL 19/08/22

REVISIONS DATE

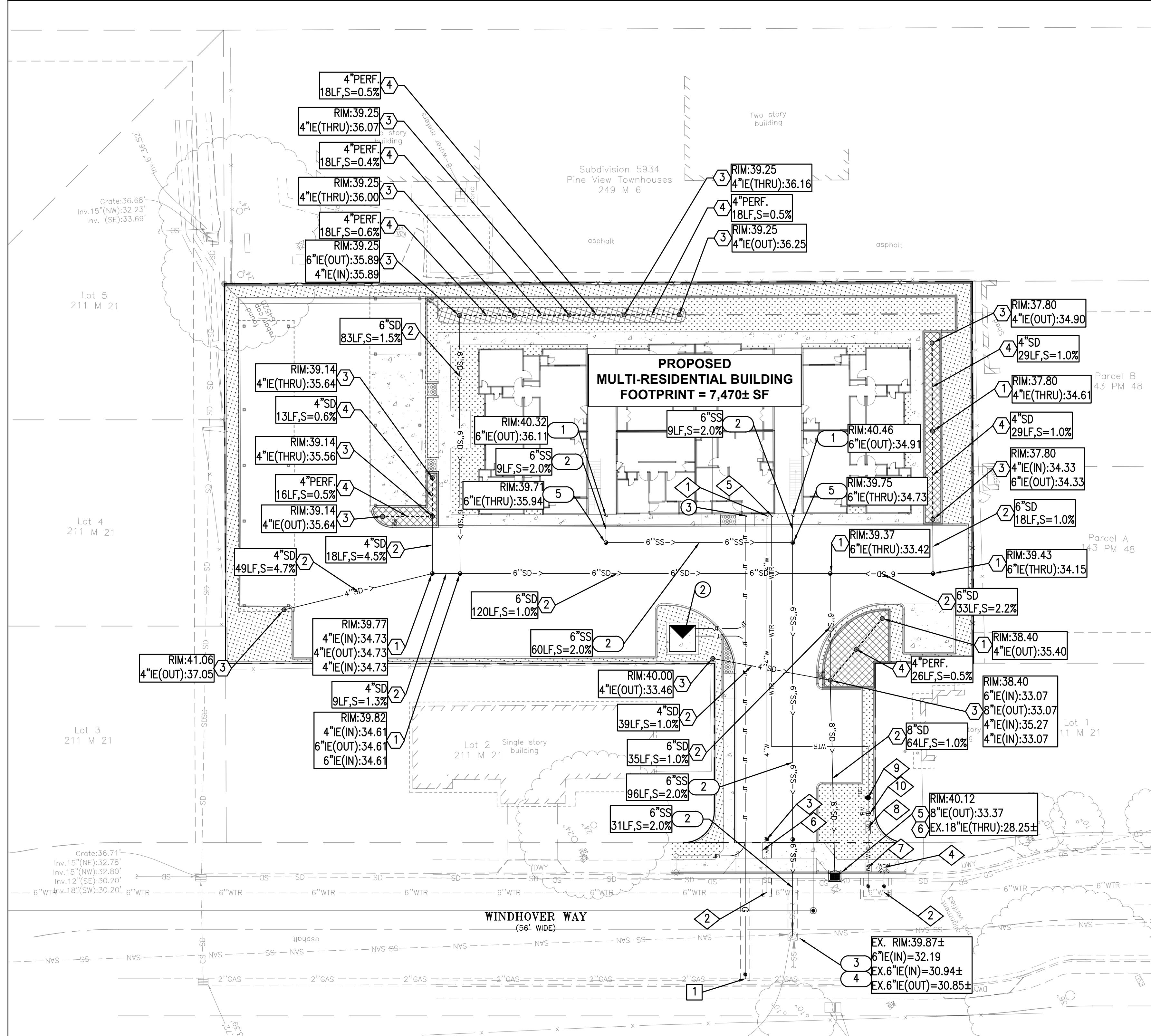
Job:

SHEET TITLE:

**FIRE
PROTECTION**

11. **What is the primary purpose of the *Journal of Clinical Endocrinology and Metabolism*?**

C1.1



0 20 40 60
GRAPHIC SCALE IN FEET SCALE: 1"=20'

ENGINEERS NOTE TO THE CONTRACTOR:

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STORM DRAIN KEY NOTES

- ① PROPOSED STORM CLEANOUT.
- ② PROPOSED PVC STORM DRAIN LINE. LENGTH, SIZE AND SLOPE PER PLAN. TRENCH PER CONTRA COSTA COUNTY STANDARD DETAIL CD01.
- ③ PROPOSED STORM DRAIN INLET. RIM AND INVERT ELEVATION PER PLAN.
- ④ PROPOSED 4" PERFORATED PVC PIPE IN BIO-RETENTION PLANTER. LENGTH AND SLOPE PER PLAN.
- ⑤ PROPOSED CATCH BASIN, PER CONTRA COSTA COUNTY STANDARD DETAIL CD20. RIM AND INVERT PER PLAN.
- ⑥ CONNECT PROPOSED STORM DRAIN CATCH BASIN TO EXISTING 18" MAIN.

DRY UTILITY KEY NOTES

- ① PROPOSED GAS SERVICE AND DATA/ELECTRIC/TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ON SITE GAS PLANS, PG&E PLANS, AND ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- ② PROPOSED UNDERGROUND JOINT TRENCH VAULT WITH TRANSFORMER BY OTHERS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- ③ PROPOSED UNDER-GROUND CONNECTION POINT TO EXISTING LIGHT POLE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

GAS SERVICE KEY NOTES

- ① CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

WATER KEY NOTES

- ① PROPOSED 4" DOMESTIC WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- ② CONNECT PROPOSED WATER LINE TO EXISTING 6" WATER MAIN IN WINDHOVER WAY. CONTRACTOR TO VERIFY EXISTING SIZE AND PIPE MATERIAL DURING DEMOLITION AND NOTIFY ENGINEER OR ANY DISCREPANCIES.
- ③ PROPOSED RESIDENTIAL WATER VALVE.
- ④ PROPOSED FIRE HYDRANT ASSEMBLY, PER CCWD DETAIL SD-5
- ⑤ PROPOSED 6" FIRE WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- ⑥ PROPOSED 6" DOMESTIC WATER METER AND VAULT.
- ⑦ PROPOSED 6" FIRE WATER UNDERGROUND SINGLE DETECTOR CHECK WITH METER ASSEMBLY.
- ⑧ PROPOSED BACKFLOW PREVENTER ASSEMBLY FOR PROPOSED 6" FIRE WATER.
- ⑨ PROPOSED STANDPIPE FIRE DEPARTMENT CONNECTION (FDC).
- ⑩ PROPOSED POST INDICATOR VALVE (PIV).

SANITARY SEWER KEY NOTES

- ① PROPOSED 6" SANITARY SEWER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- ② PROPOSED 6" DIAMETER PVC PIPE. LENGTH AND SLOPE PER PLAN. TRENCH PER CCCSD DETAIL DWG-14 AND DWG-15.
- ③ PROPOSED SANITARY SEWER MANHOLE, PER CCCSD DETAIL DWG-1. RIM AND INVERT PER PLAN.
- ④ CONNECT PROPOSED SANITARY SEWER MANHOLE TO EXISTING SANITARY SEWER MAIN. INVERT PER PLAN.
- ⑤ PROPOSED SANITARY SEWER CLEANOUT, PER CCCSD DETAIL DWG-23. RIM AND INVERT PER PLAN.

UTILITY NOTES:

1. JOINT TRENCH, ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.

PROPOSED

EXISTING

9	1-FOOT CONTOUR
10	5-FOOT CONTOUR
WTR	WATER LINE
FP	FIRE PROTECTION WATER LINE
IRR	IRRIGATION WATER LINE
SS	SANITARY SEWER LINE
SD	STORM DRAIN LINE
G	OVERHEAD ELECTRIC
UE	GAS LINE
UT	UNDERGROUND ELECTRIC
X	UNDERGROUND TELEPHONE
	FENCE
	TREE
	WATER VALVE/BACK FLOW PREVENTER
	FIRE HYDRANT
WM	WATER METER OR BOX
	SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	STORM DRAIN MANHOLE
	CATCH BASIN/AREA DRAIN
	STORM CLEANOUT
	GAS METER/BOX
	GAS VALVE
	STREET LIGHT/LIGHT POLE/YARD LIGHT
	ELECTRIC PEDESTAL/BOX/VULT
	ELECTRIC TRANSFORMER
	STANDARD PCC PAVEMENT
	STANDARD PEROUS AC PAVEMENT
	STANDARD AC PAVEMENT
	PROPOSED FIRE LANE
	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.
	BIORETENTION FLOW THROUGH PLANTER
	DIRECTIONAL SHEET FLOW LINE
	RIP RAP

LEGEND

PROPERTY LINE	APPROXIMATE LIMIT OF DISTURBANCE
EASEMENT LINE	1-FOOT CONTOUR
	5-FOOT CONTOUR
	WATER LINE
	FIRE PROTECTION WATER LINE
	IRRIGATION WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	OVERHEAD ELECTRIC
	GAS LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	FENCE
	TREE
	WATER VALVE/BACK FLOW PREVENTER
	FIRE HYDRANT
WM	WATER METER OR BOX
	SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	STORM DRAIN MANHOLE
	CATCH BASIN/AREA DRAIN
	STORM CLEANOUT
	GAS METER/BOX
	GAS VALVE
	STREET LIGHT/LIGHT POLE/YARD LIGHT
	ELECTRIC PEDESTAL/BOX/VULT
	ELECTRIC TRANSFORMER
	STANDARD PCC PAVEMENT
	STANDARD PEROUS AC PAVEMENT
	STANDARD AC PAVEMENT
	PROPOSED FIRE LANE
	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.
	BIORETENTION FLOW THROUGH PLANTER
	DIRECTIONAL SHEET FLOW LINE
	RIP RAP

NOT FOR CONSTRUCTION

CONSULTANT:

CALICHI
CIVIL ENGINEERS
3240 PERALTA STREET, #3
OAKLAND, CA 94601
(510) 250-7877
WWW.CALICHI.COM

GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING R2 22/03/15

PLANNING RESUBMITTAL 19/10/08

SCP SUBMITTAL 19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

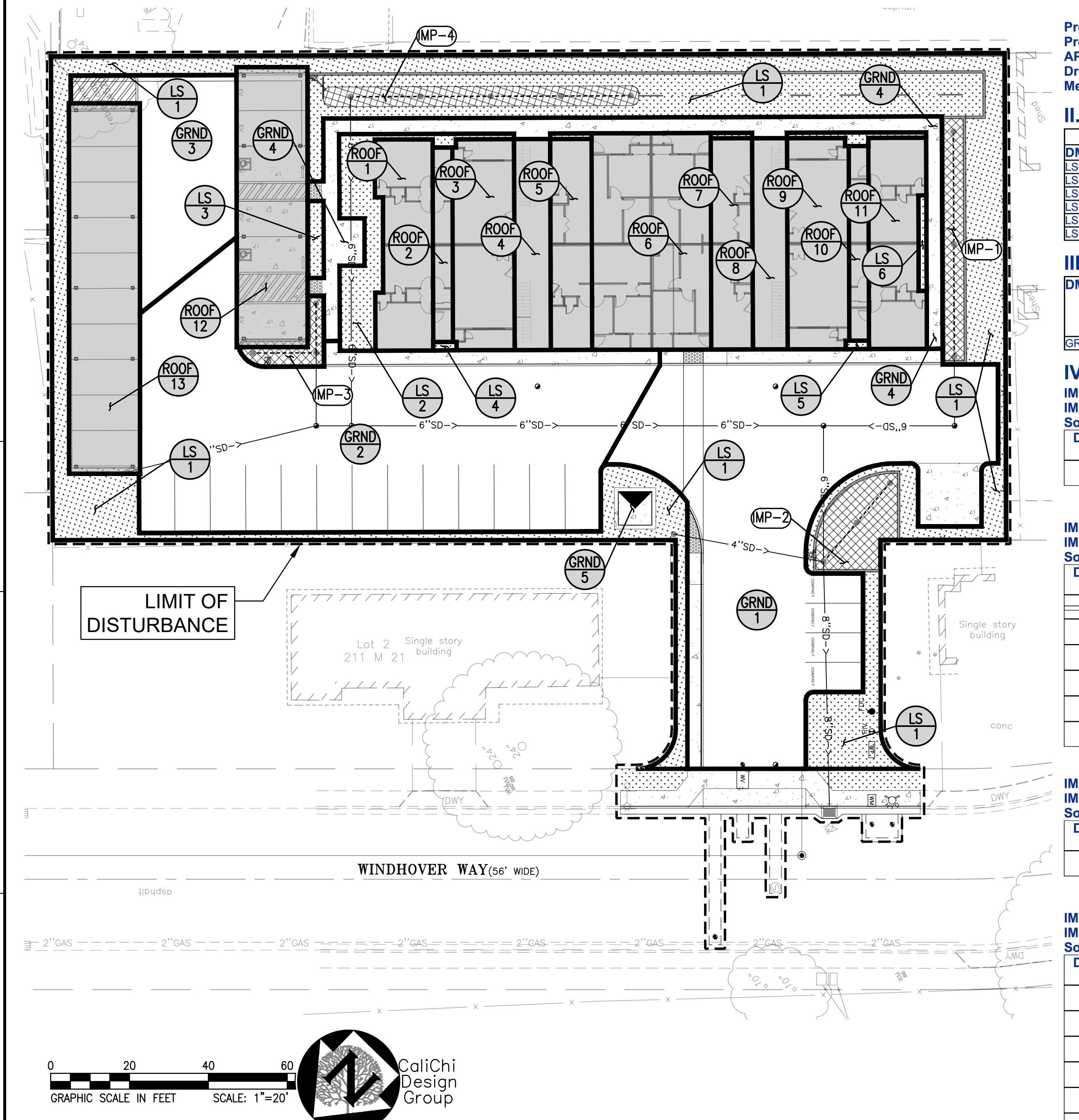
SHEET TITLE:

UTILITY PLAN

SHEET NO.

C3.0

REVISION NO. 0



II. Self-Retaining Areas

Self-Retaining DMA		Area (sq ft)
LS-6		49
LS-5		13
LS-4		13
LS-3		80
LS-2		530
LS-1		5,968

III. Areas Draining to Self-Retaining Areas

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
GRND-5	110	Concrete or Asphalt	1.0	110.0	LS-1	5,968	0.02

IV. Areas Draining to IMPs

IMP Name: IMP1

IMP Type: Bioretention Facility

Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
ROOF-11	736	Conventional Roof	1.00	736				
Total								306
Area								

IMP Name: IMP2

IMP Type: Bioretention Facility

Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-1	5,785	Concrete or Asphalt	1.00	5,785				
ROOF-6	1,659	Conventional Roof	1.00	1,659				
ROOF-7	564	Conventional Roof	1.00	564				
ROOF-8	471	Conventional Roof	1.00	471				
ROOF-9	834	Conventional Roof	1.00	834				
ROOF-10	246	Conventional Roof	1.00	246				
Total								385
Area								

IMP Name: IMP3

IMP Type: Bioretention Facility

Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-2	6,042	Concrete or Asphalt	1.00	6,042				
Total								385
Area								

IMP Name: IMP4

IMP Type: Bioretention Facility

Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-4	1,196	Concrete or Asphalt	1.00	1,196				
GRND-3	1,366	Concrete or Asphalt	1.00	1,366				
ROOF-1	736	Conventional Roof	1.00	736				
ROOF-2	246	Conventional Roof	1.00	246				
ROOF-3	834	Conventional Roof	1.00	834				
ROOF-4	489	Conventional Roof	1.00	489				
ROOF-5	561	Conventional Roof	1.00	561				
ROOF-12	1,278	Conventional Roof	1.00	1,278				
ROOF-13	1,937	Conventional Roof	1.00	1,937				
Total								397
Area								

* NOTE: IMP3 PONDING DEPTH TO BE 12" (6" STANDARD). THEREBY DOUBLING THE VOLUMETRIC TREATMENT CAPACITY (149 X2 = 298).

PROPOSED

PROPOSED	EXISTING
APPROXIMATE LIMIT OF DISTURBANCE	APPROXIMATE LIMIT OF DISTURBANCE
1-FOOT CONTOUR	9
5-FOOT CONTOUR	10
WATER LINE	WTR
FIRE PROTECTION WATER LINE	FP
IRRIGATION WATER LINE	IRR
SANITARY SEWER LINE	SS
STORM DRAIN LINE	SD
OVERHEAD ELECTRIC	OE
GAS LINE	G
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
FENCE	X
TREE	

WATER VALVE/BACK FLOW PREVENTER

FIRE HYDRANT

WATER METER OR BOX

SEWER MANHOLE

SANITARY SEWER CLEANOUT

STORM DRAIN MANHOLE

CATCH BASIN/AREA DRAIN

STORM CLEANOUT

GAS METER/BOX

GAS VALVE

STREET LIGHT/LIGHT POLE/YARD LIGHT

ELECTRIC PEDESTAL/BOX/VULT

ELECTRIC TRANSFORMER

STANDARD PCC PAVEMENT

STANDARD PERVIOUS AC PAVEMENT

STANDARD AC PAVEMENT

PROPOSED FIRE LANE

LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.

BIORETENTION FLOW THROUGH PLANTER

DIRECTIONAL SHEET FLOW LINE

RIP RAP

STORMWATER CONTROL LEGEND

APPROXIMATE BOUNDARY OF DRAINAGE MANAGEMENT AREA

APPROXIMATE BOUNDARY OF ROOF DRAINAGE MANAGEMENT AREA

PROPOSED OVERFLOW DRAIN

PROPOSED STORMWATER CLEANOUT

PROPOSED DRAINAGE MANAGEMENT AREA (ROOF-1, GROUND-2, ETC, AND BMP (BMP-1, BMP-2, ETC) DESIGNATION

PROPOSED STORM DRAIN INLET STENCILING "NO DUMPING! DRAINS TO BAY" PER CITY SPECIFICATIONS

PLANNING R2 22/03/15

PLANNING RESUBMITTAL 19/10/08

SCP SUBMITTAL 19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

SHEET TITLE:

STORM WATER

CONTROL PLAN

SHEET NO.

C4.0

REVISION NO. 0

ON-SITE BIOPRETENTION FACILITY MAINTENANCE PLAN

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND OBSTRUCTIONS AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.

BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):

- PRUNE AND WEED THE PLANTER AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS N

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CUSTOM APARTMENTS

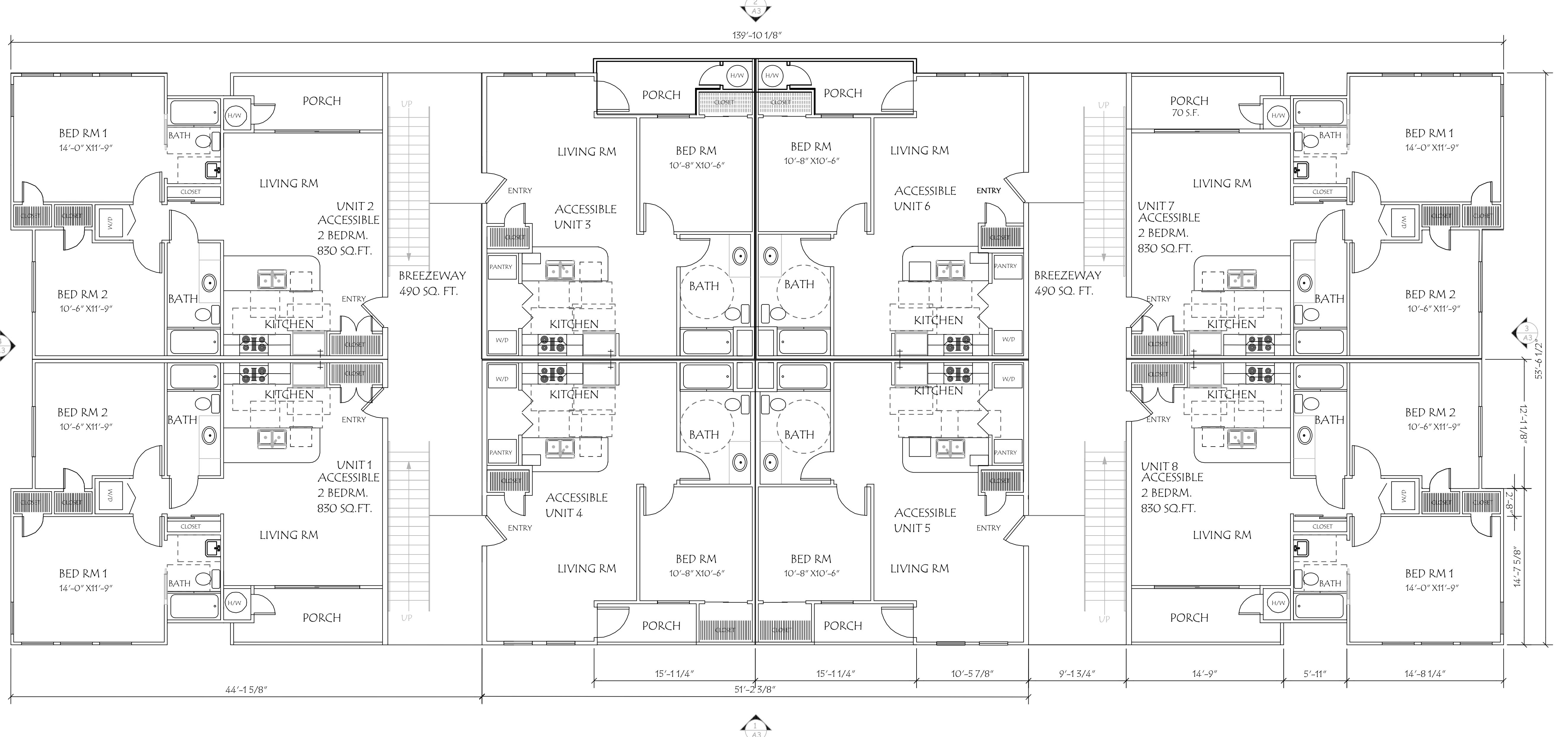
WINDHOVER PROJECT
MARTINEZ, CA 94553

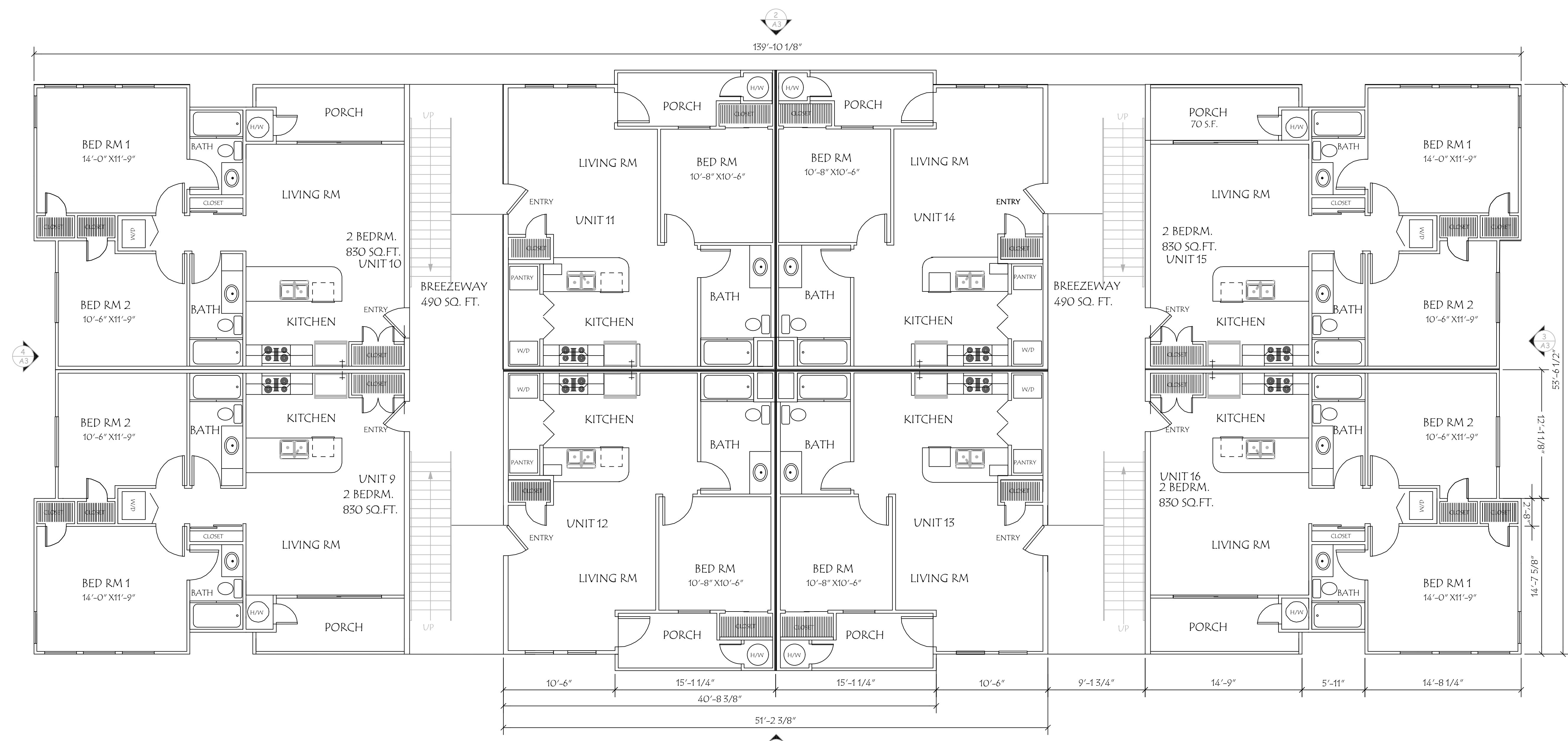
FIRST FLOOR PLAN

DATE: 11-16-2021
SCALE: 3/16"=1'-0"
DRAWN BY: RWW
JOB:
Sheet A1
of 1 Sheet

NOTES

- 1 REFER TO GENERAL NOTES SHEET "C-1" FOR ADDITIONAL INFORMATION
- 2 REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- 3 SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24 HOUR BATTERY BACKUP.
- 4 DUCT PIERCING WALL BETWEEN HOUSE LIVING AREA AND GARAGE SHALL BE 26GA G.I. MATERIAL IN THE GARAGE, SEALED AT EDGES, AND NO OPENINGS INTO GARAGE, SEC 302.4.
- 5 EVERY SLEEPING ROOM SHALL HAVE, AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESUCE. IT SHALL HAVE THE FOLLOWING:
 - A. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - B. A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
 - C. A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
 - D. A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (UBC 310.4)
- 6 EXTERIOR WALL - EXTERIOR FACE: 7/8" 3-COAT STUCCO OVER TYVEK, 1/2 CDX PLYWOOD, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION, INTERIOR FACE: 5/8 GYP. BD, TAPE & TEXTURE LEVEL 5 FINISH.
- 7 INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8 GYP. BD, EACH SIDE. TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N.
- 8 PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" WP. GYP. BD. ON WET SIDE AND 5/8 GYP. BD. ON DRY SIDE TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD AT TILE INSTALLATIONS R-19 BATT INSULATION AT BATHROOM.
- 9 FLOOR PLAN NOTES:
THE FOLLOWING ARE PROVIDED IN EACH UNIT:
 - 10 24" DEEP BASE CABINET WITH 36" HIGH COUNTERTOP AND SPLASH.
 - 11 36" HIGH ISLAND CABINET WITH COUNTERTOP.
 - 12 13" DEEP OVERHEAD CABINET.
 - 13 TWO COMPARTMENT SINK WITH GARBAGE DISPOSAL VERIFY DIMENSIONS IN MANUFACTURER'S SPECIFICATIONS.
 - 14 30" SLIDE-IN RANGE/oven WITH MICROWAVE LIGHT AND EXHAUST FAN ABOVE (DUCT TO OUTSIDE AIR) - VERIFY MANUFACTURE'S SPECIFICATIONS PRIOR TO FABRICATING CABINETS.
 - 15 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RELEASED ON WALL).
 - 16 24" DEEP COUNTERTOP AND SPLASH.
 - 17 BUILT-IN PANTRY W/ SHELVES.
 - 18 32" X 60" ENAMELED STEEL TUB AND SHOWER WITH APPROVED FINISH (3) WALLS TO 80" ABOVE FLOOR - PROVIDE CLEAR TEMPERED GLASS ENCLOSURE AND DOOR (DOOR SHALL HAVE INTEGRAL TOWER BAR) - ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC 410.7). WASHER SPACE PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED WALL.
 - 19 DRYER SPACE- PROVIDE SMOOTH METAL DRYER VENT WITH BACKDRAFT DAMPER - VENT TO OUTSIDE AIR. LENGTH OF CLOTHES DRYER VENT NOT TO EXCEED 14 FT. WITH MAXIMUM OF TWO 90 DEGREE TURNS. TERMINATION TO BE 4"-0" - MINIMUM CLEAR FROM PROPERTY LINE.
 - 20 SHELF AND POLE.
 - 21 SHELF AND DOUBLE POLE.
 - 22 PROVIDE (1) LAYER OF 5/8" TYPE "X" GYP. BD. AT ALL WALLS AND CEILING OF GARAGE.
 - 23 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
 - 24 GAS WATER HEATER ON 18" HIGH PLYWOOD PLATFORM - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE - THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE 24 ENERGY CALCS- PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"X12" LOUVER T&B.
 - 25 FORCED AIR UNIT IN ATTIC- PROVIDE LIGHT, SWITCH, 110V RECEPTACLE AND FUEL GAS PER CMC SEC 319. PROVIDE 22"X30" ATTIC ACCESS



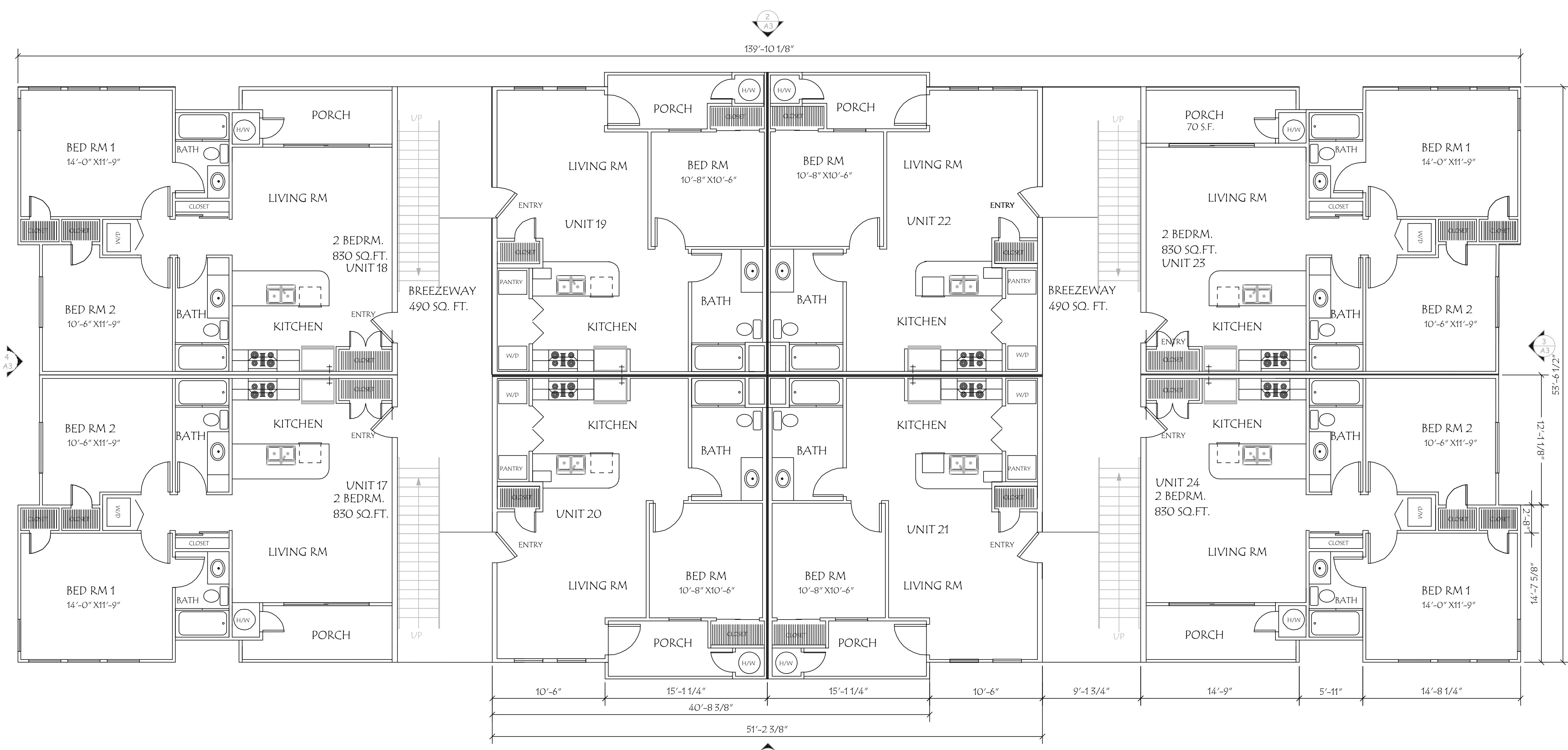


SECOND FLOOR PLAN

CUSTOM APARTMENTS

WINDHOVER PROJECT
MARTINEZ, CA 94553WEST COAST LAND AND
DEVELOPMENT, INC.145 JOHN GLENN DRIVE
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 Sheet A2
 of 1 Sheet



3rd FLOOR

SCALE: 3/16" = 1'-0"

THIRD FLOOR PLAN

CUSTOM APARTMENTS

WEST COAST LAND AND DEVELOPMENT INC.

ELUFVIVEN, INC
145 JOHN GLENN DRIVE
CONCORD, CA 94520

DEV

ELUFVIVEN, INC
145 JOHN GLENN DRIVE
CONCORD, CA 94520

DEV

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3/16" =

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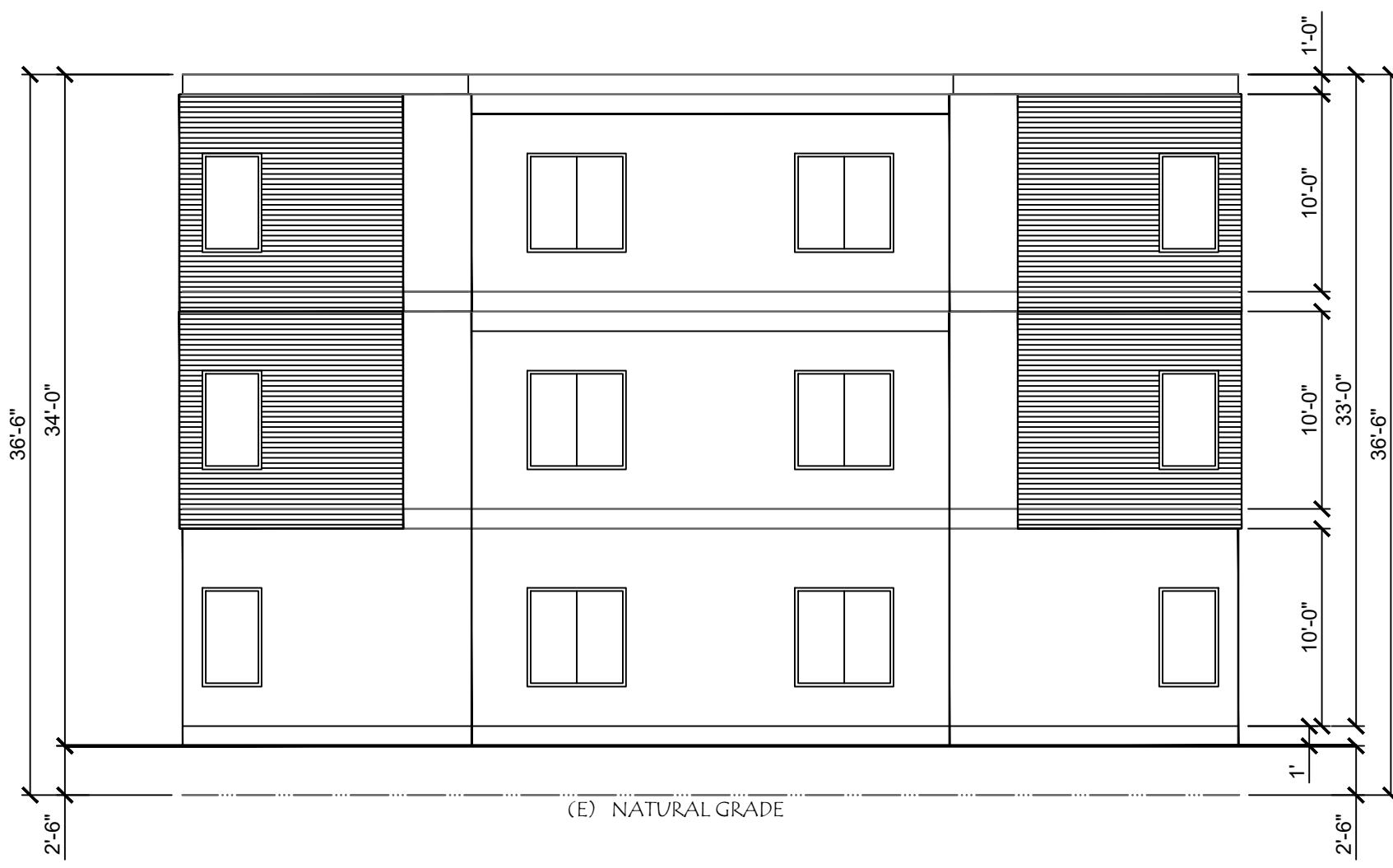
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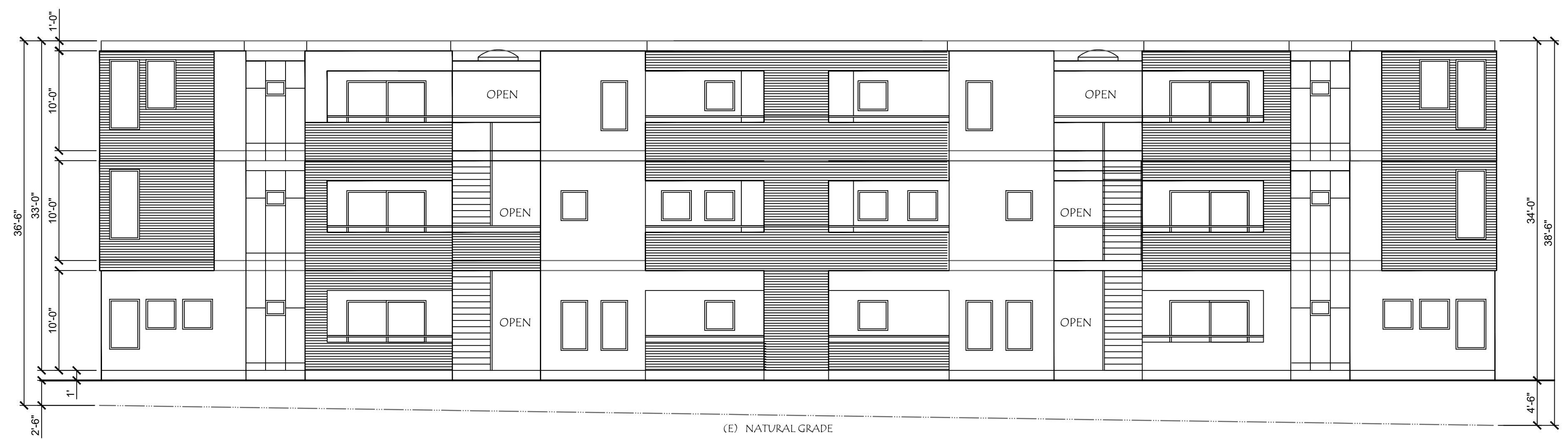
(4) LEFT ELEVATION (NORTH)

SCALE: $\frac{1}{8}$ "=1'

(3) RIGHT ELEVATION (SOUTH)

SCALE: $\frac{1}{8}$ "=1'

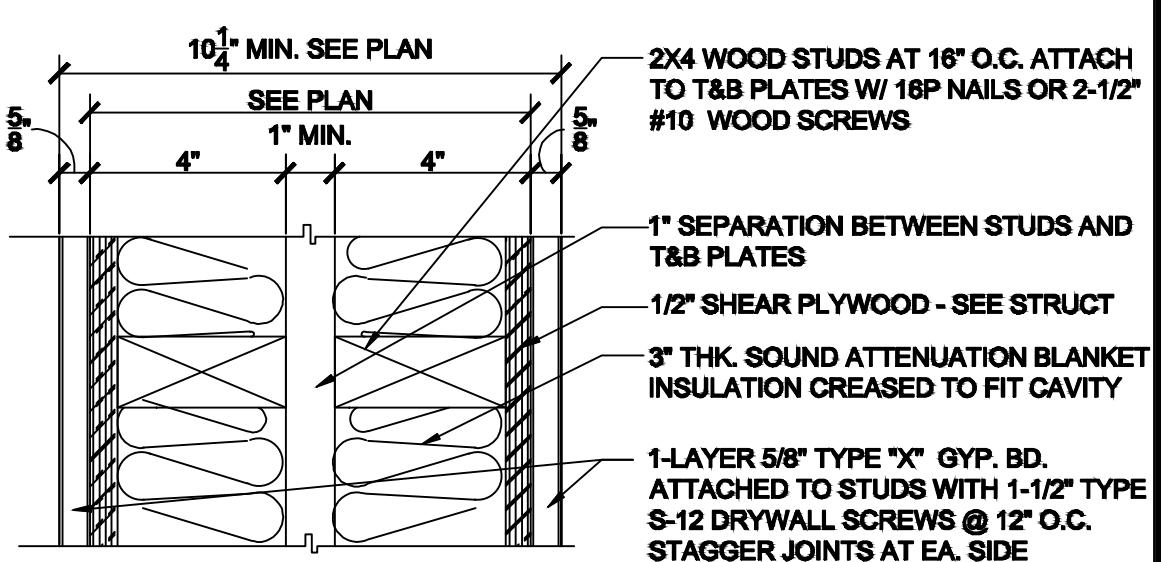
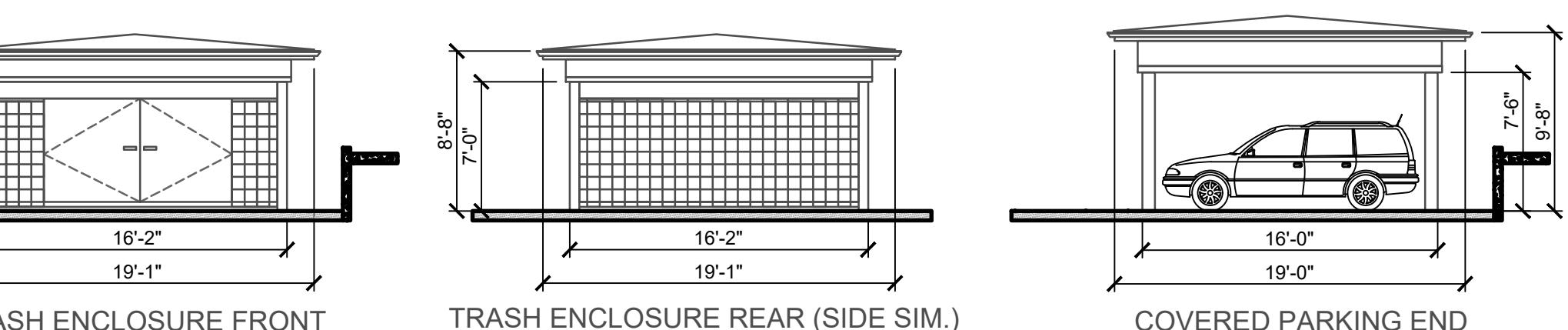
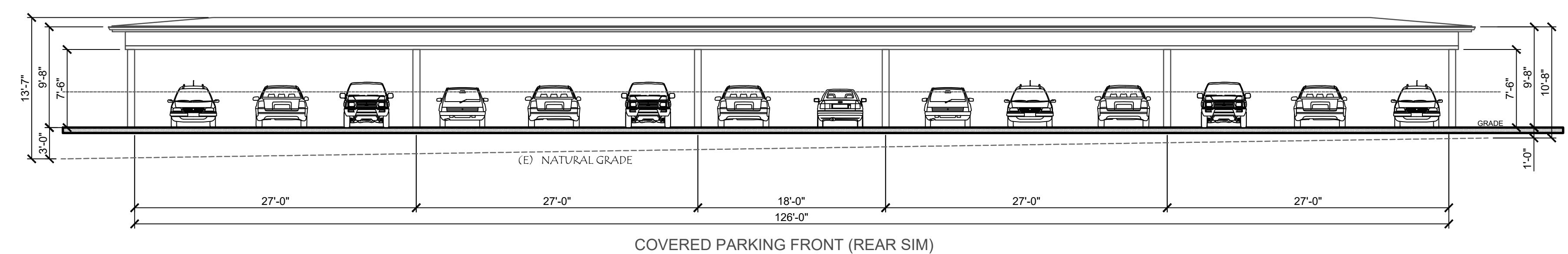
(2) REAR ELEVATION (EAST)

SCALE: $\frac{1}{8}$ "=1'

(1) FRONT ELEVATION (WEST)

SCALE: $\frac{1}{8}$ "=1'

- ① 3-COAT STUCCO W. INTERGRAL COLOR O/ TYVEK & BLDG. PAPER O/ $\frac{1}{2}$ " CDX PLYWOOD
- ② 2X4 PAINTED WOOD TRIM
- ③ 2X10 PAINTED WOOD FASCIA W/ SHEET METAL GUTTER
- ④ 2X WOOD BRACKETS
- ⑤ CLAY TILE CFAPS & PANS O/ 30LB. FELT O/PLYWOOD SUVSTARTE ON FRAMING, SLOPE 6:12-SEE STRUCTURAL.
- ⑥ STUCCO WEEP SCREED
- ⑦ CONCRETE SLAB ON GRADE (SEE STRUC.)
- ⑧ VINYL WINDOWS MFR'S WHITE W/ 1X4 PAINTED WOOD TRIM
- ⑨ VENT FLUE 24' ABOVE ANY POINT WIHTIN A 10'-0" RADIUS
- ⑩ SKYLIGHT ON 4" CURB.
- ⑪ STUCCO WRAPPED COLUMN
- ⑫ PATIO VINYL DOOR W/ CONCRETE LANDING
- ⑬ FINISH GRADE - SEE GRADING PLAN
- ⑭ 42" HIGH WROUGHT IRON RAILING WITH CAP



CDHS 1.2.4.1.5.4	STUD * SIZE	STUD * SPACING	STUD GAUGE	GYP.BD. TYPE	INSUL.
57 STC	2X4 WOOD	16" O.C.	N/A	TYPE X	YES

NOTE: * STUD WALLS OVER 12 FT. HIGH TO HAVE STUDS SPACED AT 12" MAXIMUM OR STUD SIZE INCREASED TO 2X6. PROVIDE FIRE BLOCKING AT 10'-0" EACH DIRECTION MAXIMUM.

SHEET NOTES

6 COVERED PARKING CANOPY & TRASH ENCLOSURE

SCALE 1/8" = 1'-0"

5 PARTY WALL

3'=1'-0"

Sheet

09517-3

A4

Sheet

ELEVATIONS

DATE: 11-16-2021

SCALE: 1/8"=1'-0"

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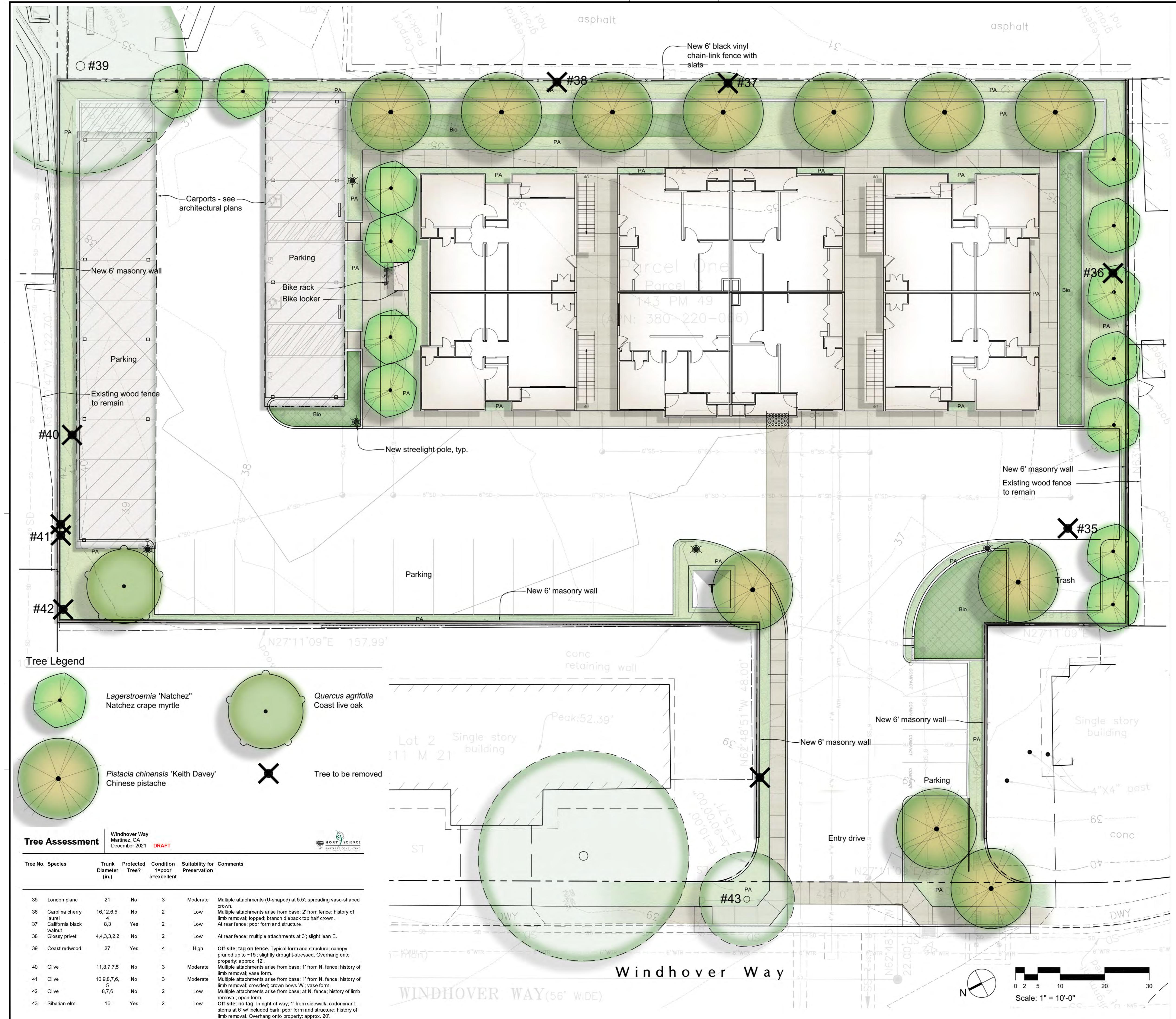
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CUSTOM APARTMENTS

WINDHOVER PROJECT MARTINEZ, CA 94553



Plant List	
Trees	Water-use
<i>Lagerstroemia 'Natchez'</i>	Low
Natchez crape myrtle	
<i>Pistacia chinensis 'Keith Davey'</i>	Low
Chinese pistache	
<i>Quercus agrifolia</i>	Low
Coast live oak	
Shrubs and groundcovers	
<i>Arctostaphylos hookeri</i>	Low
Hookeri manzanita	
<i>Arctostaphylos uva-ursi</i> *	Low
Bearberry	
<i>Callistemon 'Little John'</i>	Low
Little John Dwarf Bottlebrush	
<i>Ceanothus griseus var. horizontalis 'Yankee Point'</i>	Low
Yankee Point California Lilac	
<i>Grevillea x 'Noell'</i>	Low
Noell Grevillea	
<i>Myrtus communis 'Compacta'</i>	Low
Dwarf myrtle	
<i>Westringia fruticosa 'Low Horizon'</i>	Low
Low Horizon Westringia	
Grasses and Perennials	
<i>Anigozanthos 'Ramboball'</i>	Low
Bush Ballad Kangaroo Paw	
<i>Carex tumulicola</i> *	Low
Berkeley Sedge	
<i>Festuca californica</i> *	Low
California Fescue	
<i>Lavandula angustifolia 'Munstead'</i>	Low
Munstead Lavender	
<i>Pennisetum alopecuroides 'Hameln'</i>	Low
Dwarf Fountain Grass	

GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

**PLANNING
SUBMITTAL** 2022/03/14

100

DATE: 2022/03/14

SHEET TITLE:

Landscape Plan

JOURNAL OF POLYMER SCIENCE: PART A: POLYMERS IN ADVANCED TECHNOLOGY

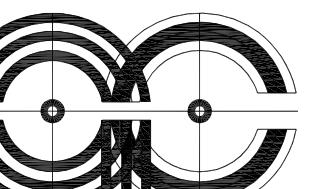
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JOURNAL OF POLYMER SCIENCE: PART A: POLYMERS FOR ADVANCED TECHNOLOGIES

REVISION NO. 0

Figure 10. A 3D surface plot of the error function E versus the parameters α and β . The surface shows the error function E as a function of α and β . The x-axis represents α , the y-axis represents β , and the z-axis represents the error function E . The surface is a smooth, downward-opening paraboloid, indicating that the error function E is minimized when α and β are chosen appropriately.



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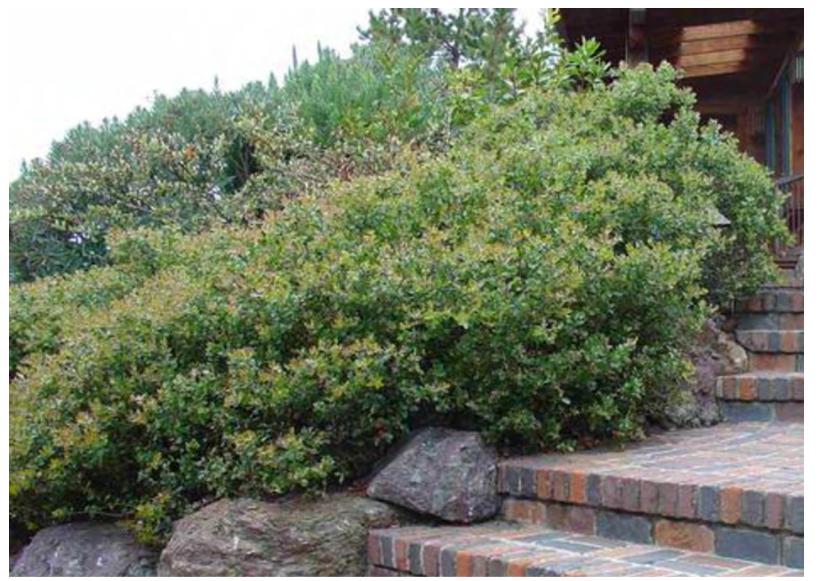
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MARTINEZ, CA

Shrubs and Groundcovers



Arctostaphylos hookeri
Hooker's manzanita



Arctostaphylos uva-ursi
Bearberry



Callistemon 'Little John'
Little John Dwarf Bottlebrush



Ceanothus griseus var. horizontalis
'Yankee Point'
Yankee Point California Lilac



Grevillea x 'Noell'
Noell Grevillea



Myrtus communis 'Compacta'
Dwarf myrtle

Trees



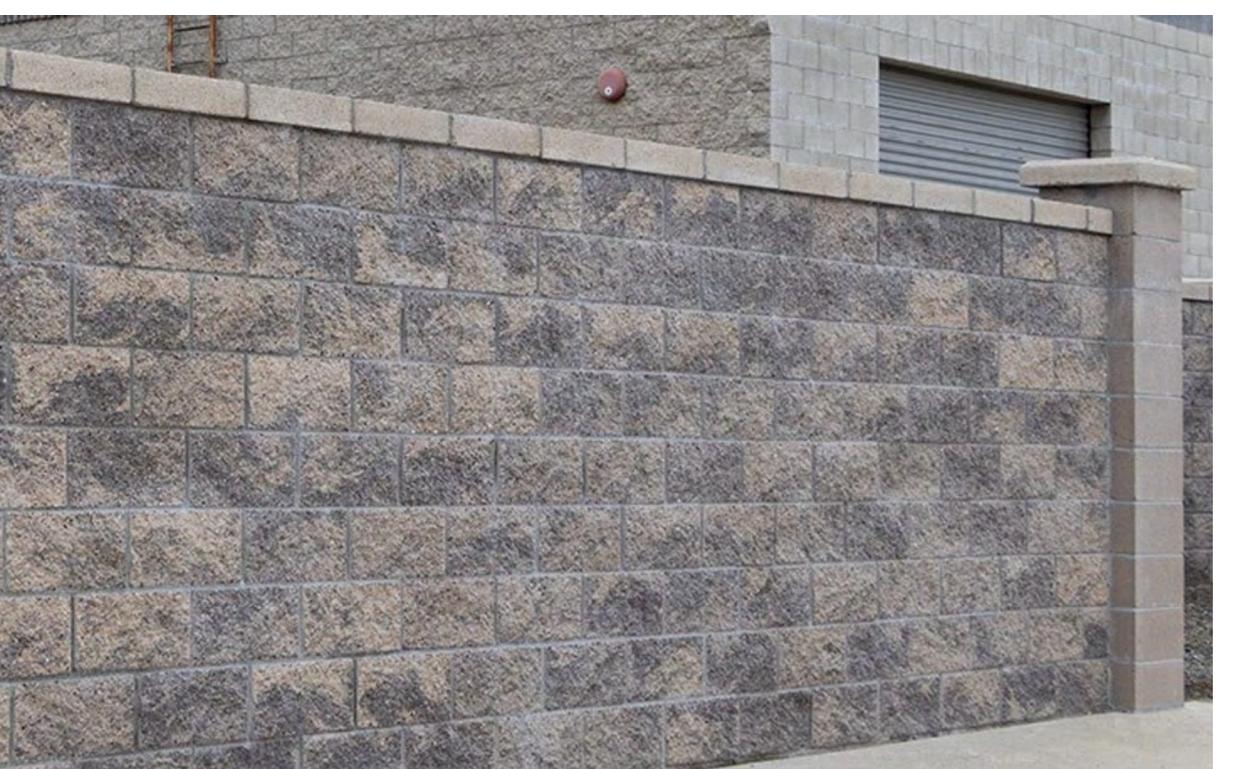
Quercus agrifolia
Coast live oak



Lagerstroemia 'Natchez'
Natchez crape myrtle



Pistacia chinensis 'Keith Davey'
Chinese pistache



6' ht. masonry wall



6' ht. black vinyl fence

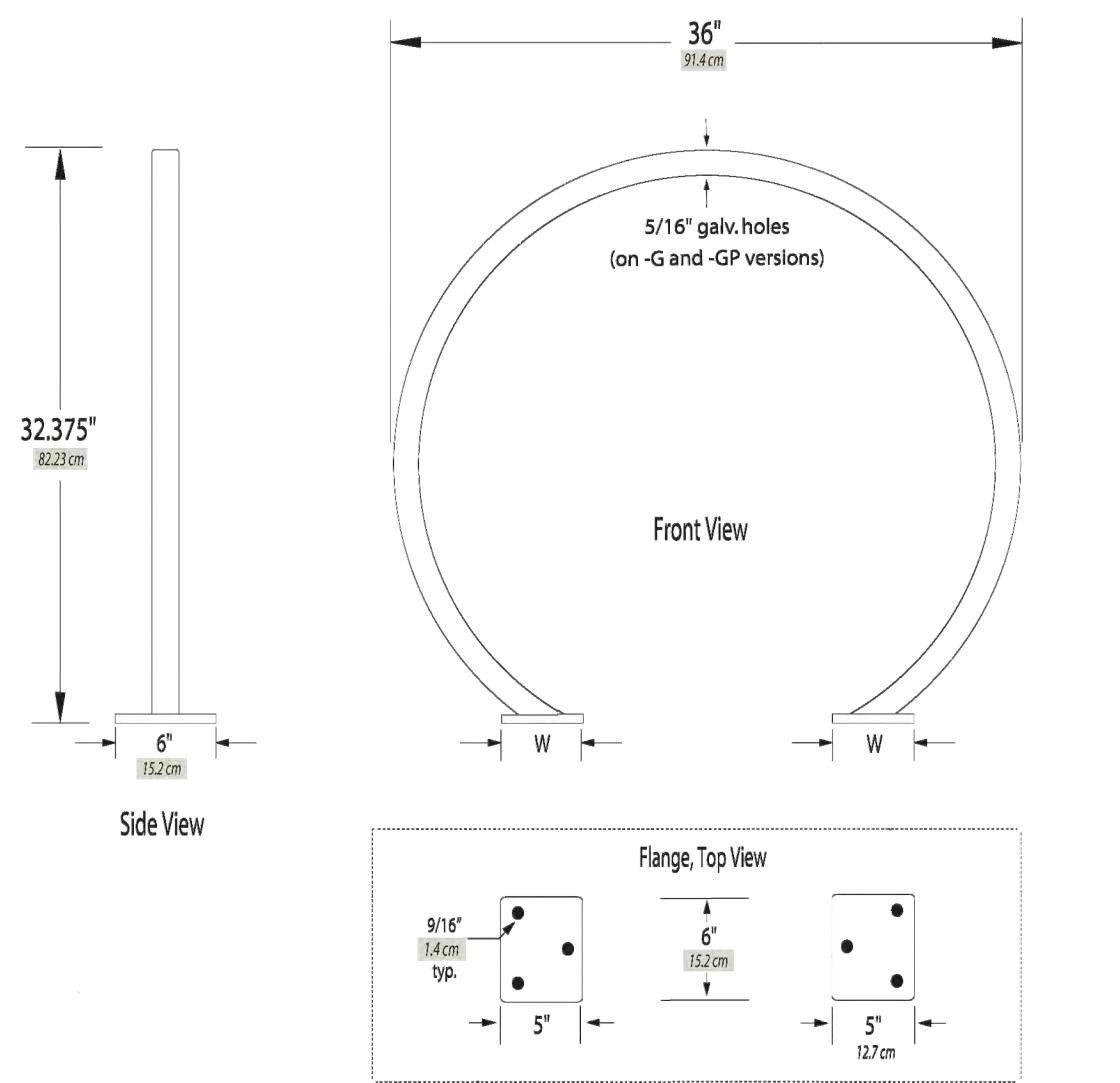
PERIMETER FENCE



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Welle™ Circular Rack
Square Tube
Surface Flange



Tubing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges	Anchors (Not Provided)
Square Tube	WCR02-SQ-SF	38 lbs 17.2 kg	-G Hot Dipped Galvanized -P Powder Coated (color) -GP Hot Dipped Galvanized -PP Powder Coated (color) -SS Stainless #4 Brush Finish	45, 48, -GP, -PP, -GP, -PP, -SS 2" x 2" x 0.188" Square Tube (Regular Steel) 2" x 2" x 0.188" Square Tube (304 SS Alloy)	5/16" galv. holes (on -G and -GP versions) (2) 5" x 6" x 3/8" Plate (2) 5" x 6" x 3/8" Plate each with (3) 9/16" Holes (2) 1/2" x 2.75" (13mm x 72cm) Raw Spike (4) 1/2" x 3.75" (13mm x 93cm) Wedge Anchor Bolt	

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Welle Square Tube Circular Rack

BIKE RACK



MadRax Narrow Bike Locker

BIKE LOCKER



Lumec UrbanScape

LIGHTPOST

GULWAY APARTMENTS WINDHOVER WAY

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MARTINEZ, CA

PLANNING
SUBMITTAL

2022/03/14

REVISIONS

DATE

JOB:

DATE: 2022/03/14

SHEET TITLE:
Landscape
Furniture &
Planting
Images

SHEET NO.

L-2

REVISION NO.



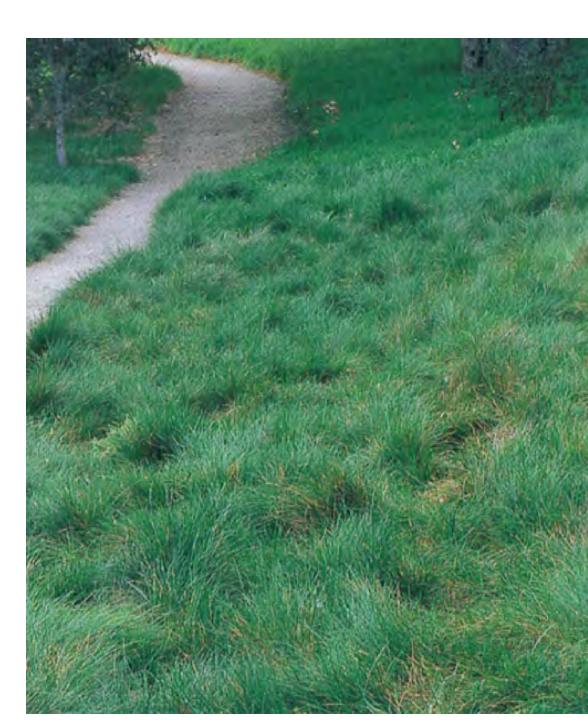
Westringia fruticosa 'Low Horizon'
Low Horizon Westringia



Carex tumulicola
Berkeley Sedge



Pennisetum alopecuroides 'Hameln'
Dwarf Fountain Grass



Festuca californica
California Fescue

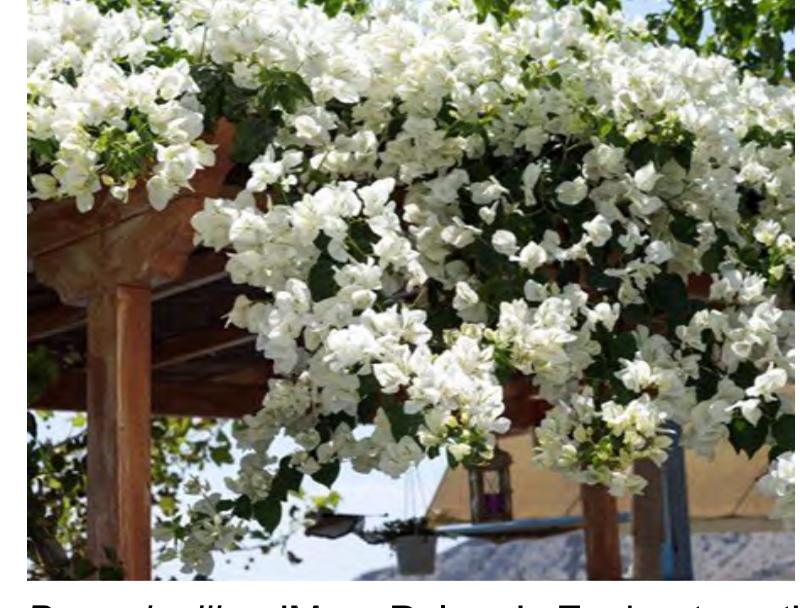


Anigozanthos 'Ramboll'
Bush Ballad Kangaroo Paw



Lavandula angustifolia 'Munstead'
Munstead Lavender

Vines



Bougainvillea 'Mary Palmer's Enchantment'
Mary Palmer's Enchantment Bougainvillea

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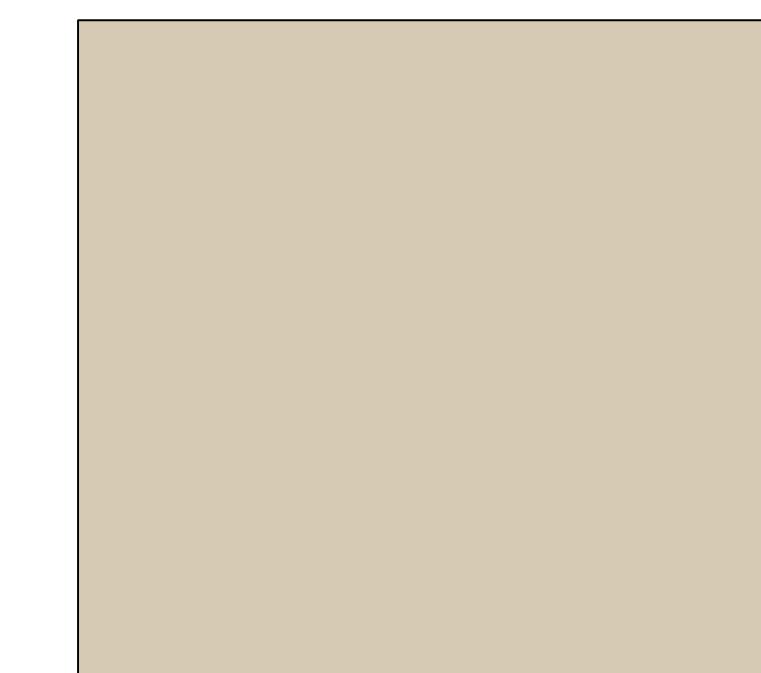
1

HARDIESHINGLE
"PEARL GRAY"



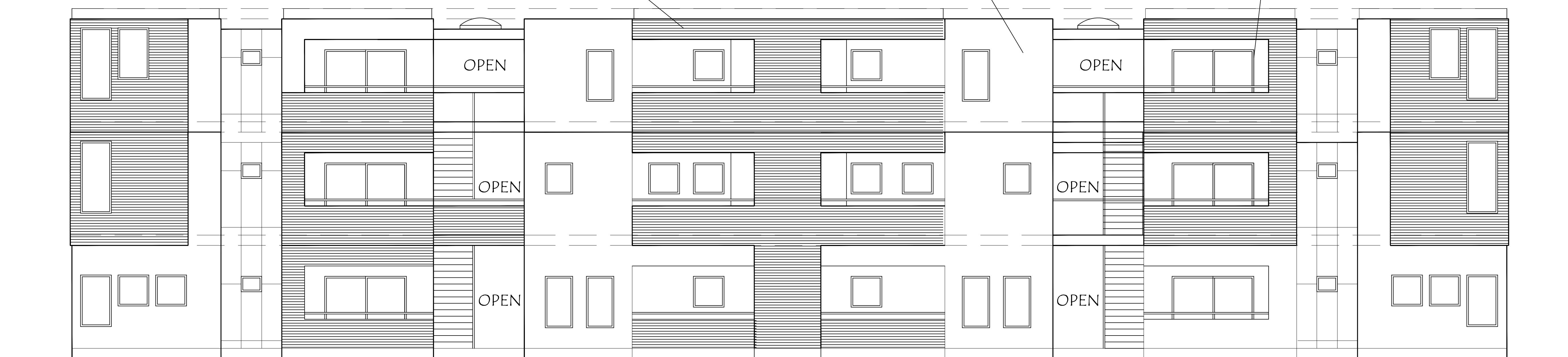
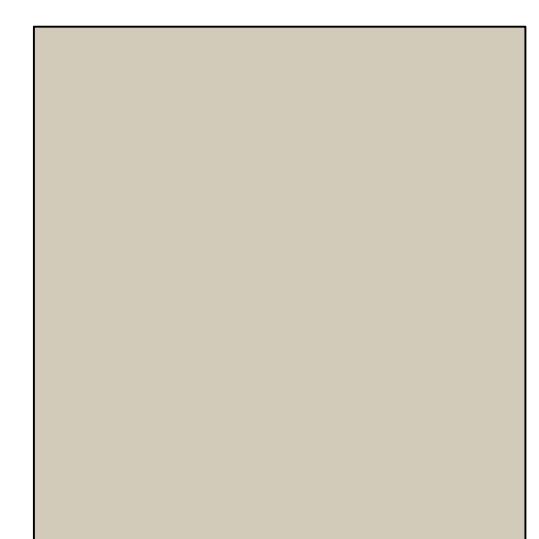
2

7/8" STUCCO -3 COAT :
BEHR "SANDSTONE"



3

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