

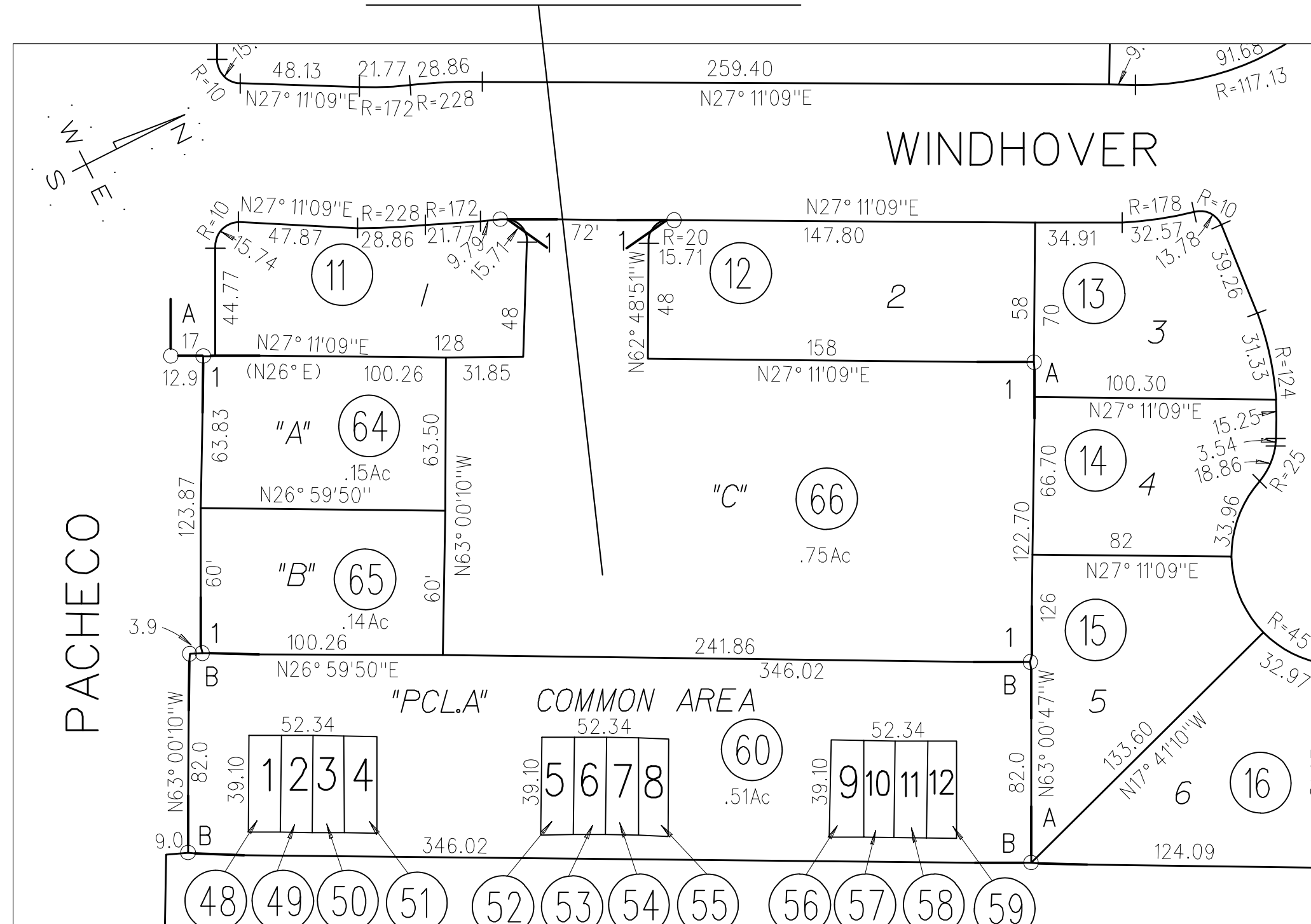
WINDHOVER TERRACE APARTMENTS

APN: 380-220-066

0 PACHECO BLVD, MARTINEZ, CA

PERMIT#: CDDP21-03031

SUBJECT PROPERTY



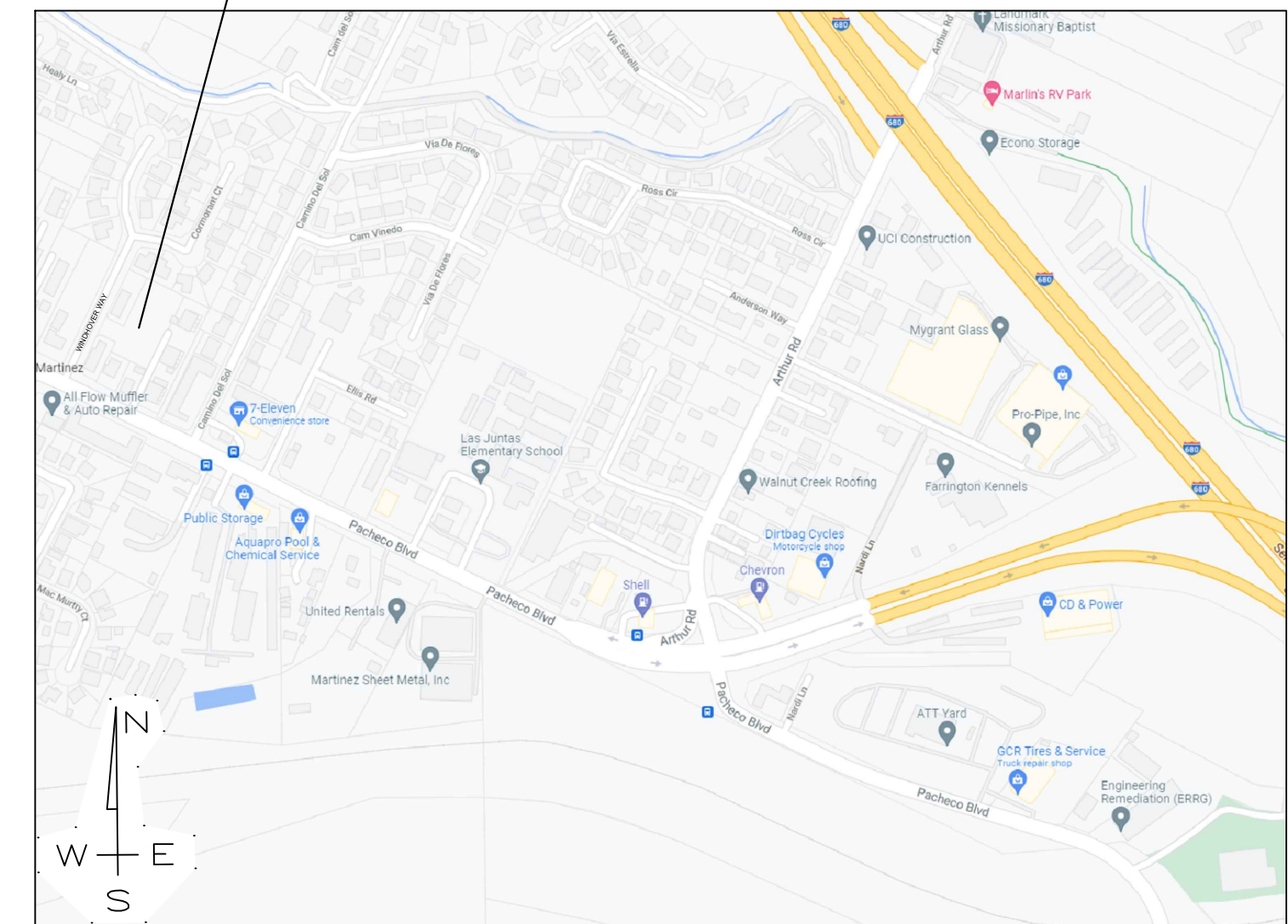
ASSESSOR'S PARCEL MAP

SUBJECT PROPERTY



AERIAL MAP

SUBJECT PROPERTY



VICINITY MAP

Owner:

West Coast Land and
Development, Inc.
145 John Glenn Drive
Concord, Ca
(925)246-2870

Civil Engineer:

Calichi Design Group Civil Engineers
3240 Peralta Street, #3
Oakland, Ca 94560
(510)250-7877
www.calichi.com

Architectural Designer:

Norcal Design
1501 North Point Street
San Francisco, Ca
(415)295-2012

Landscape Architect:

Smith+Smith
1501 North Point Street
San Francisco, Ca
(415)543-0332

Soils Engineer:

Bear Engineering
3530 Kevin Place
Concord, Ca
(925)978-9754

GENERAL NOTES

ABBREVIATIONS

&	AND
@	AT
ABV	ABOVE
ADDL	ADDITIONAL
CBC	CALIFORNIA BUILDING CODE
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
CNR	CORNER
DBL	DOUBLE
DEL	DELETE
DET / DTL	DETAIL
DWG	DRAWING(S)
(E)	EXISTING
EA	EACH
ELEV	ELEVATION
EXT	EXTERIOR
ETD	EXTEND
FIN	FINISH/FINISHING
FDR	FLOOR
FND	FOUNDATION
HORIZ	HORIZONTAL
HT	HEIGHT
ICRO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
INT	INTERIOR, INTERSECTION
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
RF	ROOF
SQ	SQUARE
STD	STANDARD
TBV	TO BE VERIFIED
UBC	UNIFORM BUILDING CODE
UON	UNLESS OTHERWISE NOTED
UOS	UNLESS OTHERWISE SHOWN
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/I	WITHIN
W/O	WITHOUT

1. INSTALL WATER RESISTANT GYPSUM BOARD (FULL HEIGHT) AROUND ALL SHOWER ENCLOSURES AND BEHIND ALL PLUMBING FIXTURES, EXCEPT BEHIND TILE, INSTALL DURCO, WONDERBOARD, OR SIM. PRODUCT.
2. ALL WALLS WITH SHEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH. FURR WALLS OR CONTINUE PLYWD. TO MAINTAIN THE REQUIRED FLUSH FINISH
3. ALL EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO THE CITY OR COUNTY SECURITY ORDINANCE.
4. ALL WALLS OVER 10'0" TALL SHALL BE 2x6 STUDS @ 16" O.C. MINIMUM, WITH FIRE BLOCKING @ 10'-0" INTERVALS
5. ALL ANGLES OTHER THAN 90° SHALL BE 45° U.O.N.
6. PROVIDE BACKING FOR ALL TOWEL BARS AND TISSUE HOLDERS IN BATHROOMS, TYP.
7. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD U.O.N.
8. VERIFY ALL FINISH MATERIALS WITH OWNER PRIOR TO INSTALLATION.
9. CEILING HEIGHTS ARE MEASURED FROM TOP OF SUBFLOOR, TYP.
10. ALL TEMPERED GLASS SHALL BE AFFIXED W/ A PERMANENT LABEL.
11. SHOWERS AND TUB/SHOWER FIXTURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE.
12. ALL WINDOWS IN SLEEPING ROOMS SHALL HAVE SILL HEIGHTS NOT MORE THAN 44-INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREETS, PUBLIC ALLEYS, YARDS, OR EXIT COUNTY.
13. ALL DOORS SHALL BE FRAMED WITH 4" JAMBS, TYP. U.O.N.
14. PROVIDE SAFETY GLAZING AT SPECIFIC LOCATIONS ON PLANS WHERE BOTTOM OF WINDOW WILL BE LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

BUILDING DATA

LEGAL OWNER: WEST COAST LAND AND DEVELOPMENT, INC. 145 JOHN GLEN DRIVE CONCORD, CA 94520 PROJECT ADDRESS: 0 PACHECO BLVD MARTINEZ, CA 94553		PROPOSED AREA: BUILDING 1ST FLOOR ----- 7,389 SQ. FT. BUILDING 2ND FLOOR ----- 7,429 SQ. FT. BUILDING 3RD FLOOR ----- 7,429 SQ. FT. COVERED PARKING ----- 2,650 SQ. FT. TRASH ENCLOSURE ----- 276 SQ. FT. BIKE LOCKERS ----- 76 SQ. FT. LOT SIZE ----- 32,830 SQ. FT.	
APN: 380-220-066 SIZE: 0.75 ACRES ZONING: M-29 EXISTING STRUCTURES: NONE		LOT COVERAGE: PROPOSED LOT COVERAGE BUILDING FOOTPRINT ----- 7,389 SQ. FT. COVERED PARKING ----- 2,969 SQ. FT. TRASH ENCLOSURE ----- 276 SQ. FT. TOTAL ----- 10,619 SQ. FT. ALLOWED 32830 x .35 = 11,490 SQ. FT.	
PROPOSED STRUCTURES: 24 UNIT BUILDING WITH ASSOCIATED IMPROVEMENTS SIZE: 22,247 SQFT LIVING AREA		SETBACK REQUIREMENTS MAIN STRUCTURES FRONT / SIDE / REAR / PARKING 25' MIN. / 20'-0" / 20'-0" / 25'-0" PROPOSED FRONT / SIDE / REAR / PARKING 48' / 20'/82' / 20' / 17.5' ZONING REQUIREMENTS BUILDING HEIGHT MAX. ALLOWED PROPOSED 30'-0" 37.5' OPEN SPACE REQUIRED PROPOSED 25% 20%	
PARKING PROPOSED: 16 Covered (2 ADA 4 EV Spaces) 13 Uncovered 4 Guest Parking 33 Total Parking		TREES TO BE REMOVED: 9 Total, 1 Protected	

INDEX TO DRAWINGS

G1	GENERAL TITLE SHEET		
C1.0	SITE, PAVING, HORIZONTAL CONTROL PLAN		
C1.1	FIRE PROTECTION EXHIBIT		
C2.0	GRADING AND DRAINAGE PLAN		
C3.0	UTILITY PLAN		
C4.0	STORMWATER CONTROL PLAN		
A1	1ST FLOOR PLAN		
A2	2ND FLOOR PLAN		
A3	3RD FLOOR PLAN		
A4	ELEVATIONS		
L-1	LANDSCAPE PLAN		
L-2	LANDSCAPE FURNITURE & PLANTING IMAGES		
CB1	COLOR BOARD		

CODES IN EFFECT

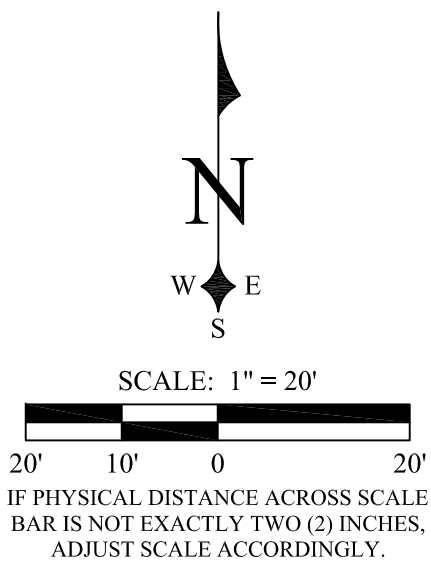
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 MECAHNICAL CODE (CMC)
- 2019 PLUMBING CODE (CPC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA ENERGY CODE (CEnC)
- CONTRA COSTA COUNTY MUNICIPAL CODE

WEST COAST LAND AND
DEVELOPMENT, INC.
145 JOHN GLENN DRIVE
CONCORD, CA 94520
(925) 246-2870 WWW.WCLANDS.COM



CUSTOM APARTMENTS
WINDHOVER TERRACE APARTMENTS
0 PACHECO BLVD
MARTINEZ, CA 94553

GENERAL TITLE SHEET



CONTOUR INTERVAL NOTE

Contours shown on this survey
are plotted at a 1 foot interval.

BASIS OF BEARINGS NOTE

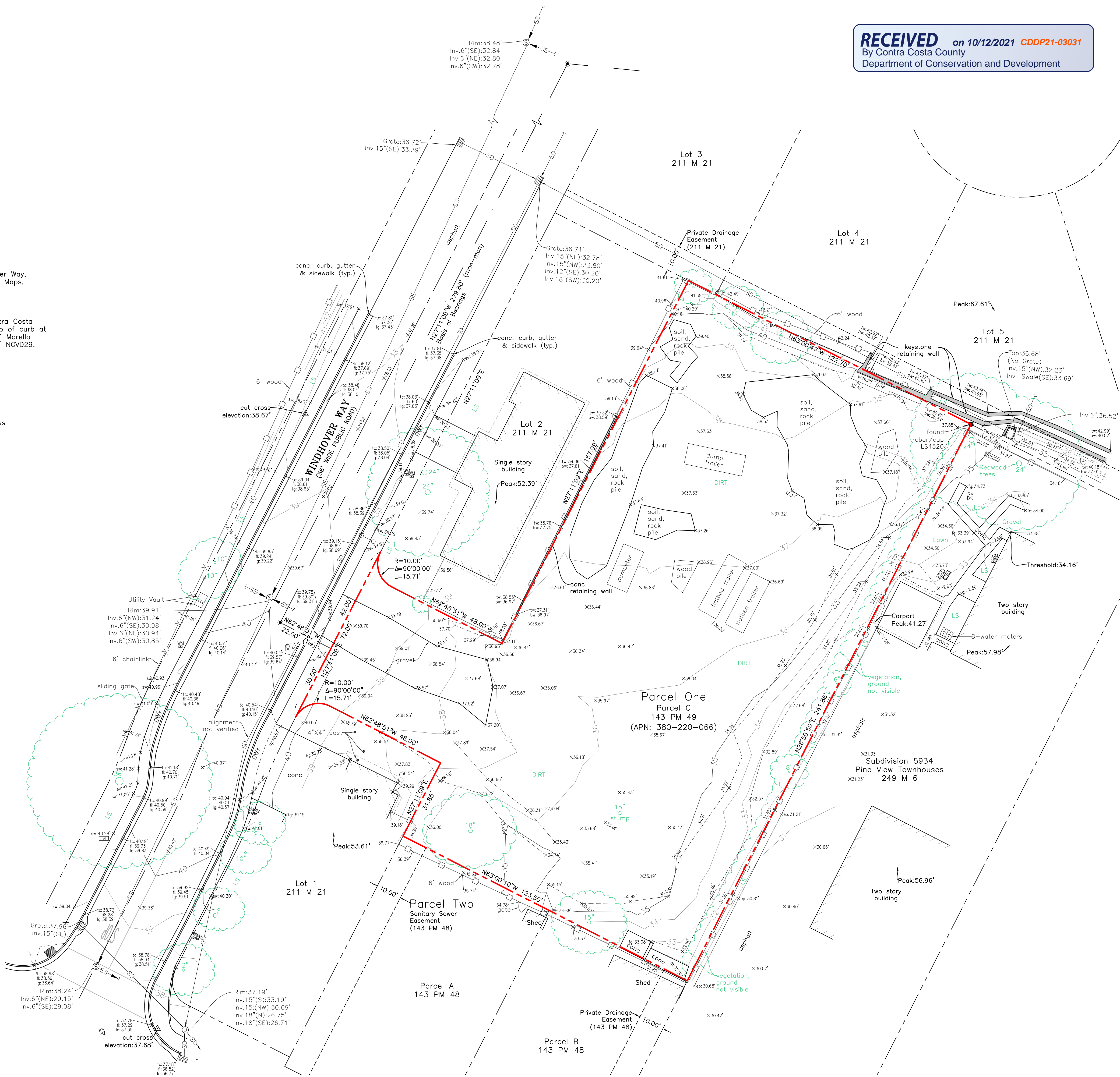
The bearings shown on this survey are based upon the monuments found marking the monument line of Windhover Way, as shown on the Parcel Map filed in Book 143 of Parcel Maps, at Page 49. That bearing was taken as: N27°11'09"E.

DATUM NOTE

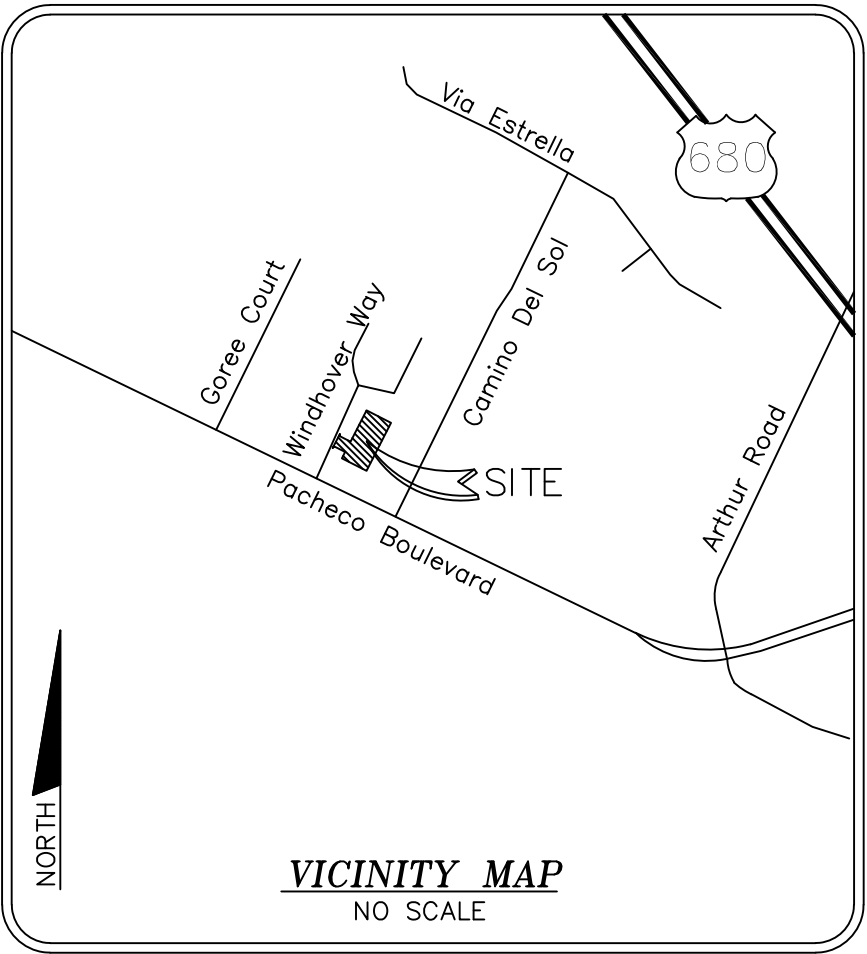
The elevations shown on this survey are based upon Contra Costa County Benchmark No. 3094, Being a nail and tag on top of curb at drain inlet at the south east corner of the intersection of Morello Road and Pacheco Boulevard. Elevation taken as 32.911' NGVD29.

LEGEND

- Existing easement line
- Existing property boundary
- Existing parcel lines of adjacent properties
- Existing street centerline
- Existing street monument line
- Underground utility line as noted
- Existing building line at ground level
- Existing building overhang
- Existing grade break
- Existing wood fence
- Existing chainlink fence
- Existing paint line
- Existing retaining wall as noted
- Existing top of slope
- Existing minor contour
- Existing major contour
- Communication
- Concrete
- Drainage inlet
- Electric
- Flow line
- Finished Grade
- Lip of Gutter
- Landscaping
- Storm Drain
- Sanitary Sewer
- Sidewalk
- Top of Curb
- Water
- Fire hydrant
- Found well monument(143PM49)
- Survey control point as noted
- Gas meter
- Irrigation valve
- Sanitary sewer manhole
- Sign
- Storm drain manhole
- Utility vault as noted
- Water backflow device
- Water meter
- Water valve
- Street light
- Spot elevation
- Tree w/ trunk



RECEIVED on 10/12/2021 CDDP21-03031
By Contra Costa County
Department of Conservation and Development



TITLE DESCRIPTION

The legal description for the property surveyed hereon is taken from the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

The land referred to in this Policy is situated in the unincorporated area of the County of Contra Costa, State of California, and is described as follows:

Parcel One: Parcel C, as shown on the Parcel Map filed December 5, 1989, in Book 143 of Parcel Maps, Page 48, Contra Costa County Records.

Parcel Two: An easement (not to be exclusive) as an appurtenance to Parcel One above created in reference thereto in the Deed executed by Dinesh Sawhney, et ux, recorded December 7, 1989, in Book 15523, Page 83, Official Records, as follows: "An easement, as an appurtenance to Parcel 'C' of said Subdivision MS 115-88 (143 PM 48) for the purposes of constructing, laying, maintaining and operating sewer pipes and appliances and appliances together with the reasonable right of access to such easement, over, under across and along the North ten (10) feet of said Parcel 'A', designated 'Sanitary Sewer Easement'. APN: 380-220-066

TITLE EXCEPTIONS AND EXCLUSIONS

The exceptions and exclusions listed in said policy of title insurance are as follows:

Items 1-2: Property taxes and the lien of supplemental taxes, if any. This item is not shown hereon, refer to the title report for particulars.

Item 3: Matters contained or referred to in instrument entitled "Deferred Improvement Agreement" recorded December 5, 1989 in book 15518, page 881, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.

Items 4: Any consequences of the fact that portion of the property lies within the lines of Gull Way as shown on the Map of Subdivision 5210, filed May 31, 1978, in Book 211 of Maps, Page 21, Contra Costa County Records, and the fact that there is not evidence that the public rights over said Gull Way have been abandoned. This item is not shown hereon, refer to the title report for particulars.

Item 5 and 6: Deeds of trust recorded July 27, 2015 as document no's. 2015-0155289 and 2015-0155290, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.

SURVEYOR NOTES

- All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- Utilities shown have been located from visible above-ground, on-site observation only. Therefore the surveyor assumes no liability for the location and or existence of any utilities that may have been conceded at the time of this survey. The locations of underground utilities have not been located and are not included as a portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
- There are no existing buildings on the property.
- The area of Parcel One (Parcel C-143 PM 49) is 32,830sq±
- Areas noted as soil, sand, rock pile and vegetation are areas where the ground is not visible and are not surveyed hereon.

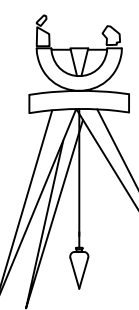
CERTIFICATION

The boundary and easement information shown hereon is based upon the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

This map has been prepared for the sole purpose of showing the location of existing above ground improvements and surface elevations of the subject parcel. All other information shown hereon is for informational purposes only.

Brian L. Sousa
Brian L. Sousa, L.S. 7917

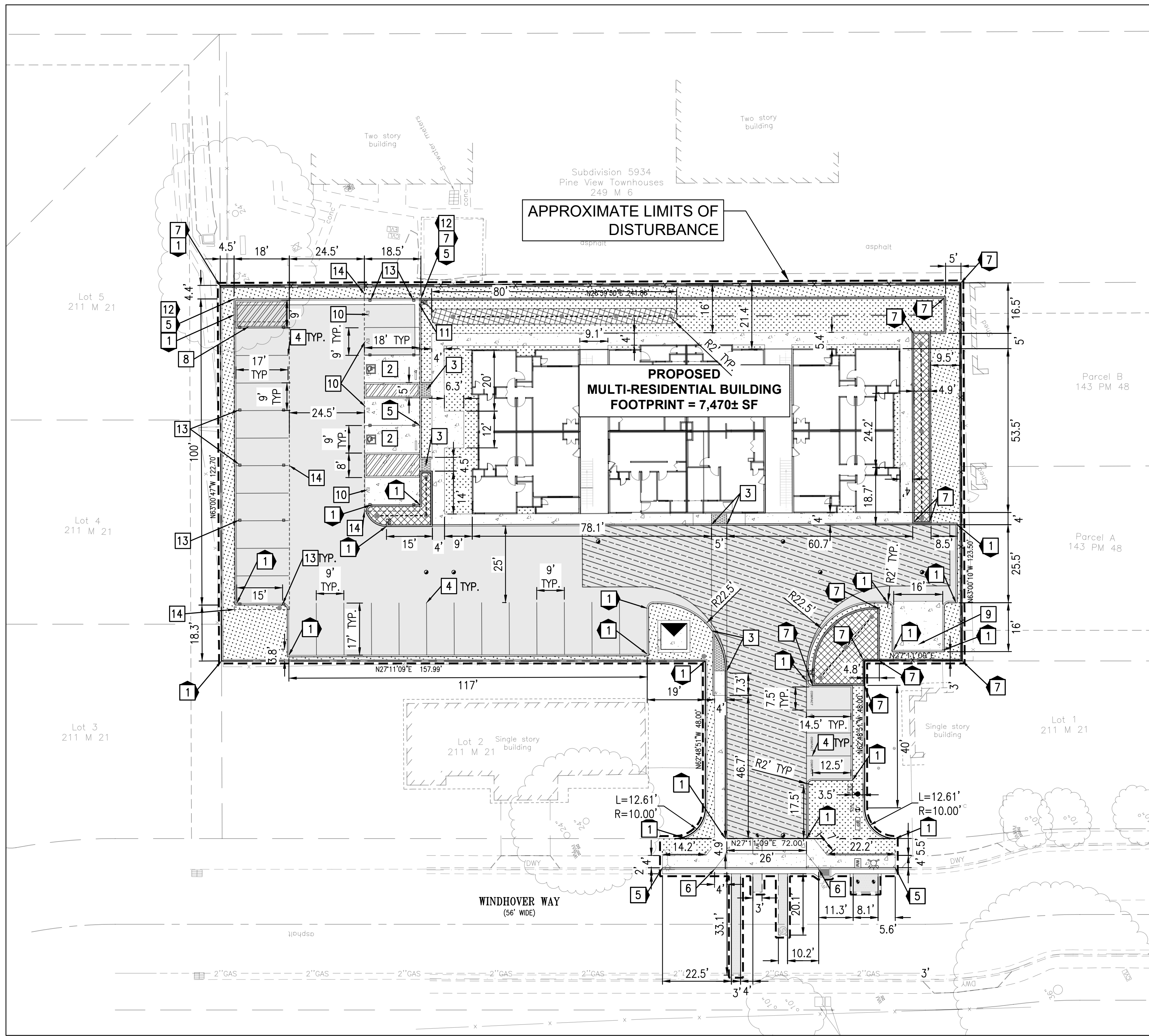
Date: July 22, 2019



Topographic Survey
of
Parcel C
Book 143 of Parcel Maps, Page 49
County of Contra Costa, California
Field Survey Date: July 1, 2019

Sousa Land Surveys

tel 707.425.4300 fax 707.425.4300
3809 Rollingwood Dr. Fairfield, CA 94543



GENERAL NOTES:

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST SAN MATEO COUNTY AND CITY OF MILLBRAE STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ENGINEER'S ADA NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
- MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%.
- ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
- ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THE THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

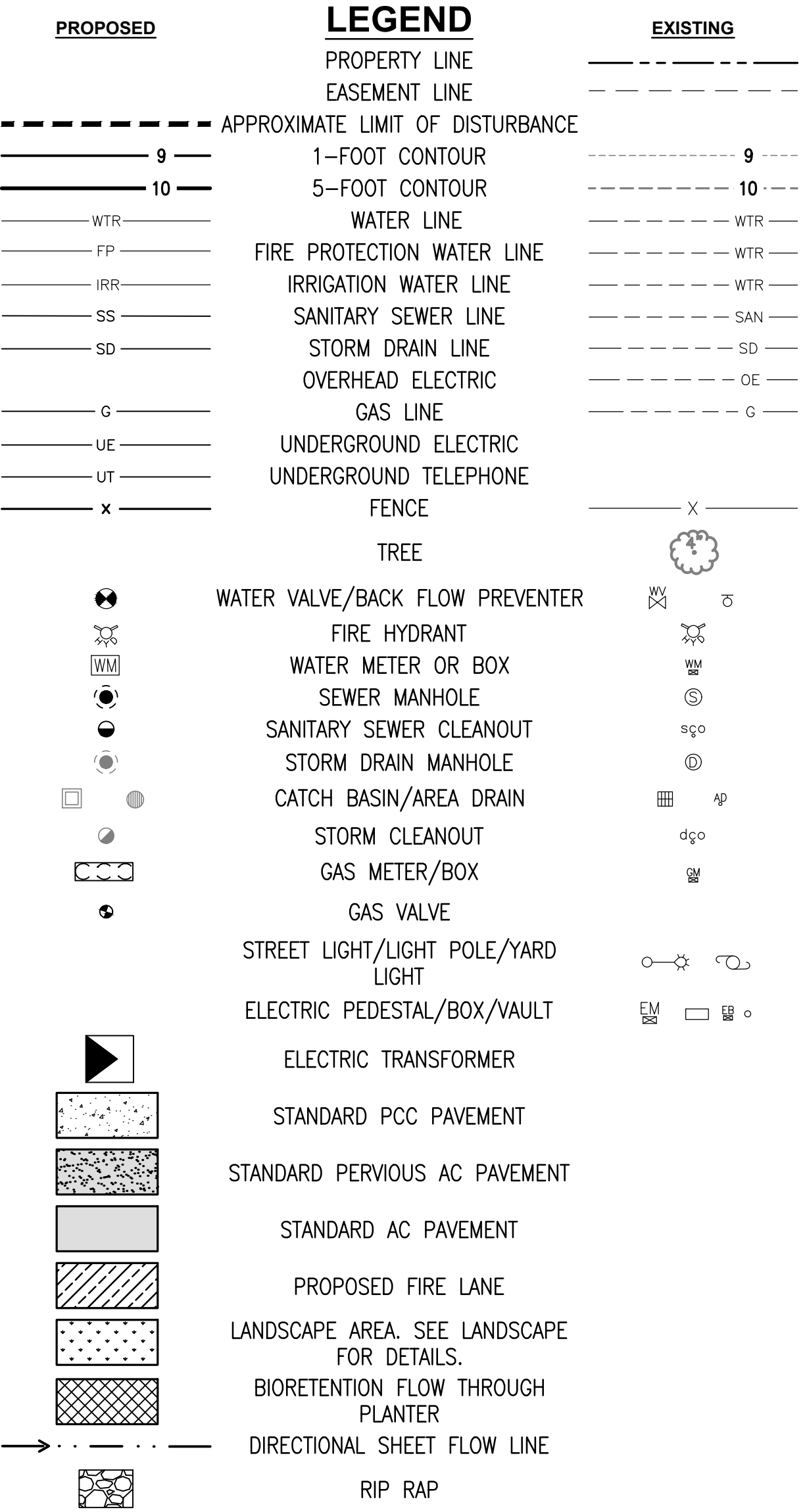
SITE INFORMATION:

APN: 380-220-066
ZONING: M-29 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'X' PER FIRM PANEL NO: 06001C0059G, DATED AUGUST 3, 2009. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD."

SUMMARY:
PARCEL AREA = ±32,830 SF (±0.772 ACRES)
TOTAL DISTURBED AREA = ±32,830 SF (±0.772 ACRES)
PROPOSED BUILDING FOOTPRINT AREA = ± 7,470 SF

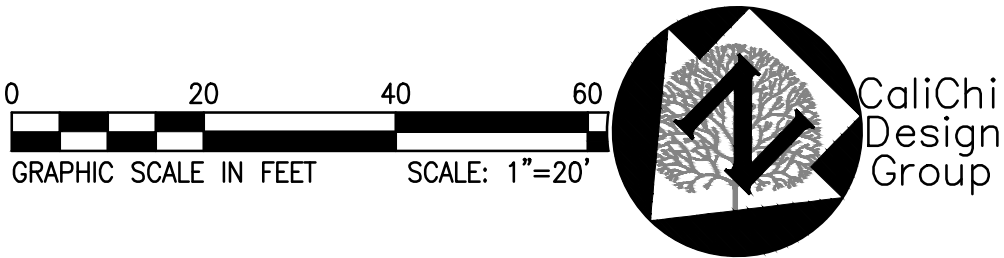
ON-SITE AREA SUMMARY:
TOTAL DISTURBED ONSITE AREA = ±32,830 SF
EXISTING IMPERVIOUS AREA = ± 0 SF
EXISTING PERVIOUS AREA = ±32,830 SF
PROPOSED IMPERVIOUS AREA = ±26,167 SF (80%)
PROPOSED PERVIOUS AREA = ± 6,663 SF (20%)
PROPOSED PLANTED AREA = ± 6,663 SF
CHANGE IN IMPERVIOUS AREA = ±26,167 SF INCREASE

PAVED PARKING AREA SUMMARY:
PROPOSED PARKING COUNT = 33
PROPOSED PARKING AREA = ± 5,608 SF
REQUIRED LANDSCAPE AREA = ± 280 SF
PROPOSED LANDSCAPE AREA = ± 1,621 SF



SITE PLAN KEY NOTES

- PROPOSED CONCRETE RETAINING CURB, PER CONTRA COSTA COUNTY STANDARD DETAIL CA71. SEE GRADING PLAN FOR ELEVATIONS.
- PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AND ACCESSIBLE MARKING.
- PROPOSED ADA ACCESSIBLE RAMP WITH DEPRESSED CURB AND DETECTIBLE WARNING, PER CALTRANS STANDARD DETAILS A88A AND A88B.
- PROPOSED 4" WIDE PARKING STRIPE. TRAFFIC WHITE PAINT, MINIMUM TWO COATS.
- PROPOSED CONCRETE CURB AND GUTTER, PER CONTRA COSTA COUNTY STANDARD DETAIL CA71.
- PROPOSED CONCRETE DRIVEWAY RAMP, PER CONTRA COSTA COUNTY STANDARD DETAIL CA72.
- PROPOSED RETAINING WALL. SEE GRADING PLAN FOR ELEVATIONS AND STRUCTURAL PLANS FOR DETAIL.
- PROPOSED DEAD END PARKING TURN-AROUND SPACE
- PROPOSED TRASH ENCLOSURE LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED ELECTRICAL VEHICLE CHARGING SPACE.
- PROPOSED CURB CUT FOR DRAINAGE.
- PROPOSED GUTTER.
- PROPOSED PARKING CANOPY SUPPORT COLUMN. SEE ARCHITECTURAL PLANS.
- PROPOSED PARKING CANOPY OVERHANG. SEE ARCHITECTURAL PLANS.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



NOT FOR CONSTRUCTION



GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

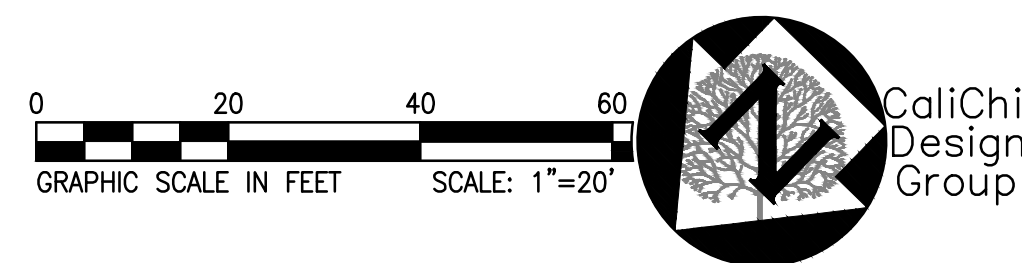
SHEET TITLE:

SITE, PAVING, AND HORIZONTAL CONTROL PLAN

SHEET NO.


C1.0

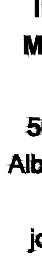

REVISION NO. 0

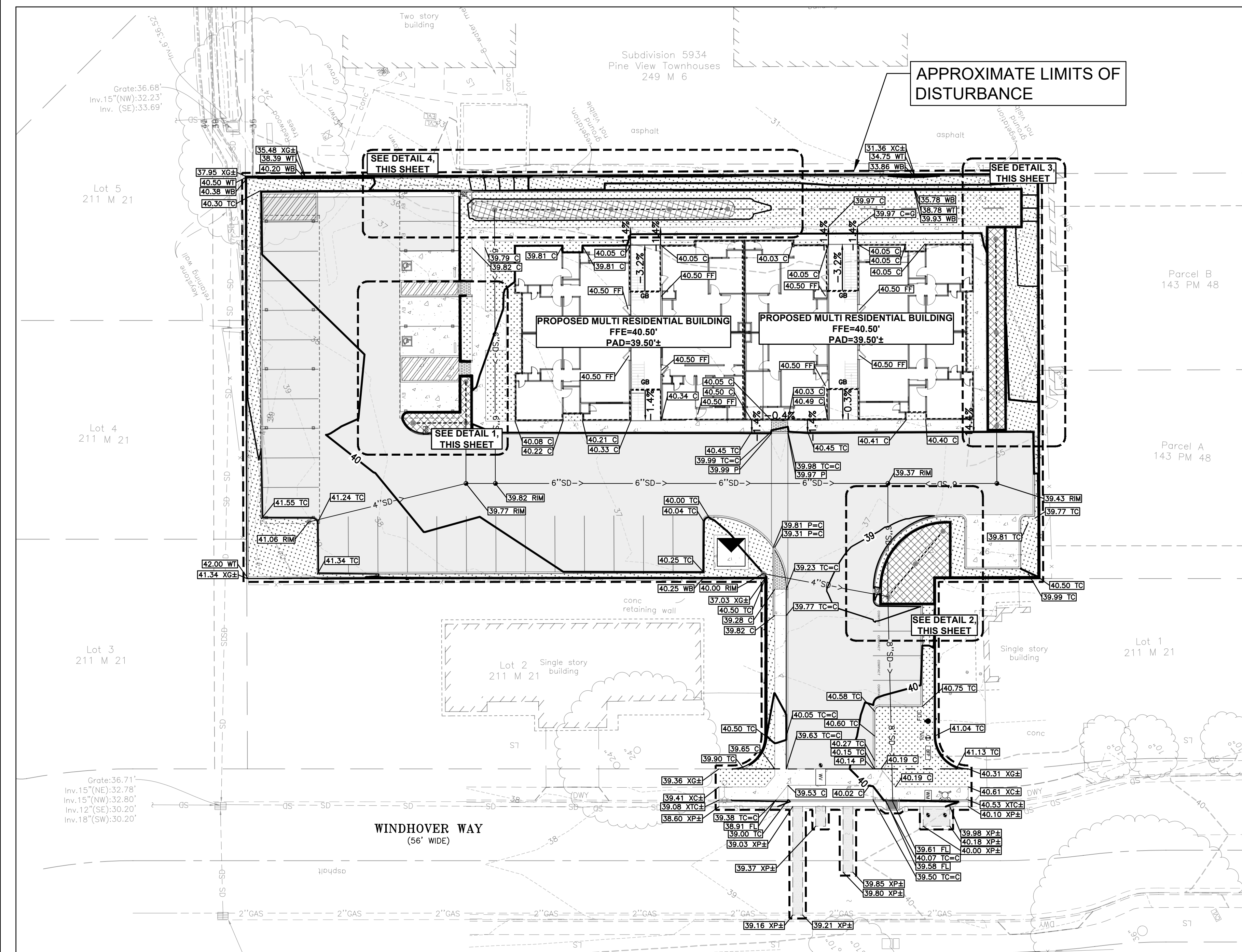


FIRE PLAN LEGEND

→...→...→... HOSE LENGTH

 RED CURB DENOTING NO PARKING – FIRE LANE (SEE PLAN FOR DIMENSIONS). NOTE THAT ALL RED CURBS SHALL HAVE "NO PARKING – FIRE LANE" SIGNS EVERY 100'-LF

 ARCHITECTURAL CONCEPTS ARCHITECTURE INTERIOR DESIGN MASTER PLANNING 509 Ramona Avenue Albany, Ca 94706 -1431 T/F 510-525-9630 jcooves6@gmail.com www.architectural-concepts.net	
STAMP:	
NOT FOR CONSTRUCTION	
CONSULTANT:	
 CALICHI CALICHI DESIGN GROUP CIVIL ENGINEERS 3240 PERALTA STREET, #3 OAKLAND, CA 9460 (510) 250-7377 WWW.CALICHI.COM	
GULWAY APARTMENTS WINDHOVER WAY APN: 380-220-066 MARTINEZ, CA	
PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22
REVISIONS	DATE
JOB:	
DATE: 2022/03/15	
SHEET TITLE:	
FIRE PROTECTION EXHIBIT	
SHEET NO.	
C1.1	
REVISION NO. 0	



EARTHWORK EG TO FG CALCULATIONS

SITE CUT	7 CUBIC YARDS
SITE FILL	3803 CUBIC YARDS
NET	3796 CUBIC YARDS (FILL)

NOTE:
*QUANTITIES SHOWN ARE APPROXIMATE. NO ALLOWANCE HAS BEEN PROVIDED FOR UNSUITABLE SOILS OR SHRINK/SWELL FACTORS. EXISTING SITE PAVEMENT AND TOPSOIL CONDITIONS TO BE VERIFIED IN FIELD PRIOR TO EXCAVATION.

GRADING NOTES:

- ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO AVOID ANY DEFINED CRESTS OR SUMPS.
- UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) AND CONCRETE ELEVATION(C) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

PROPOSED

9 - APPROXIMATE LIMIT OF DISTURBANCE

10 - 1-FOOT CONTOUR

WTR - WATER LINE

FP - FIRE PROTECTION WATER LINE

IRR - IRRIGATION WATER LINE

SS - SANITARY SEWER LINE

SD - STORM DRAIN LINE

G - GAS LINE

UE - UNDERGROUND ELECTRIC

UT - UNDERGROUND TELEPHONE

X - FENCE

LEGEND

PROPERTY LINE

EASEMENT LINE

1-FOOT CONTOUR

5-FOOT CONTOUR

WATER LINE

FIRE PROTECTION WATER LINE

IRRIGATION WATER LINE

SANITARY SEWER LINE

STORM DRAIN LINE

OVERHEAD ELECTRIC

GAS LINE

UNDERGROUND ELECTRIC

UNDERGROUND TELEPHONE

FENCE

TREE

WATER VALVE/BACK FLOW PREVENTER

FIRE HYDRANT

WATER METER OR BOX

SEWER MANHOLE

SANITARY SEWER CLEANOUT

STORM DRAIN MANHOLE

CATCH BASIN/AREA DRAIN

STORM CLEANOUT

GAS METER/BOX

GAS VALVE

STREET LIGHT/LIGHT POLE/YARD LIGHT

ELECTRIC PEDESTAL/BOX/VAULT

ELECTRIC TRANSFORMER

STANDARD PCC PAVEMENT

STANDARD PERVIOUS AC PAVEMENT

STANDARD AC PAVEMENT

PROPOSED FIRE LANE

LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.

BIORETENTION FLOW THROUGH PLANTER

DIRECTIONAL SHEET FLOW LINE

RIP RAP

EXISTING

9

10

WTR

FP

IRR

SS

SD

G

UE

UT

X

SPOT GRADING LEGEND

80.00 X= INDICATES ELEVATION TO MATCH EXISTING ITEM

80.00 TC INDICATES ELEVATION AT TOP OF CURB

80.00 C INDICATES ELEVATION AT FINISHED GROUND

80.00 G INDICATES ELEVATION AT TOP OF CONCRETE

80.00 FL INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER

80.00 RIM INDICATES RIM ELEVATION OF UTILITY

80.00 P INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT

80.00 TC=C INDICATES TOP OF CURB EQUAL TO CONCRETE ELEVATION

80.00 TC=P INDICATES TOP OF CURB EQUAL TO ASPHALT PAVEMENT ELEVATION

80.00 SB INDICATES ELEVATIONS AT BOTTOM OF STAIRS.

80.00 ST INDICATES ELEVATION AT TOP OF STAIRS

80.00 WB INDICATES ELEVATION AT BOTTOM OF WALL

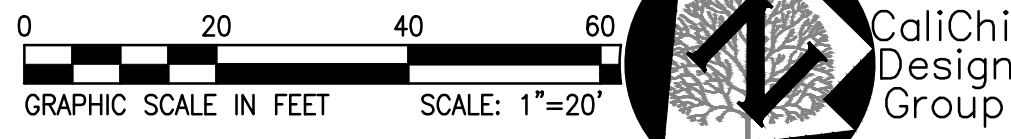
80.00 WT INDICATES ELEVATION AT TOP OF WALL

80.00 FF INDICATES ELEVATION AT FLOOR FINISH

1.5% DRAINAGE ARROW AND PROPOSED SLOPE

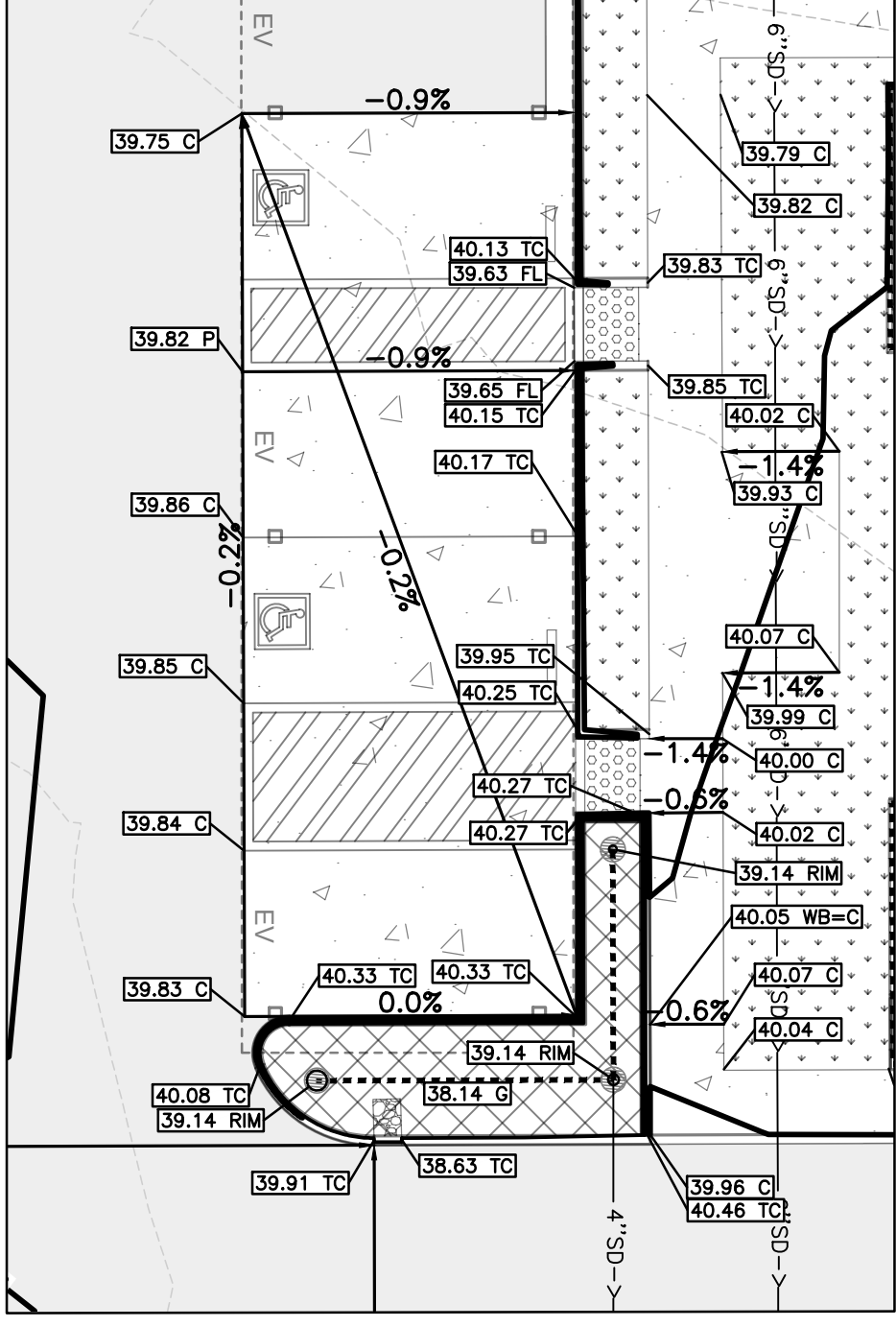
GB GRADE BREAK

INDICATES FINISH FLOOR ELEVATION

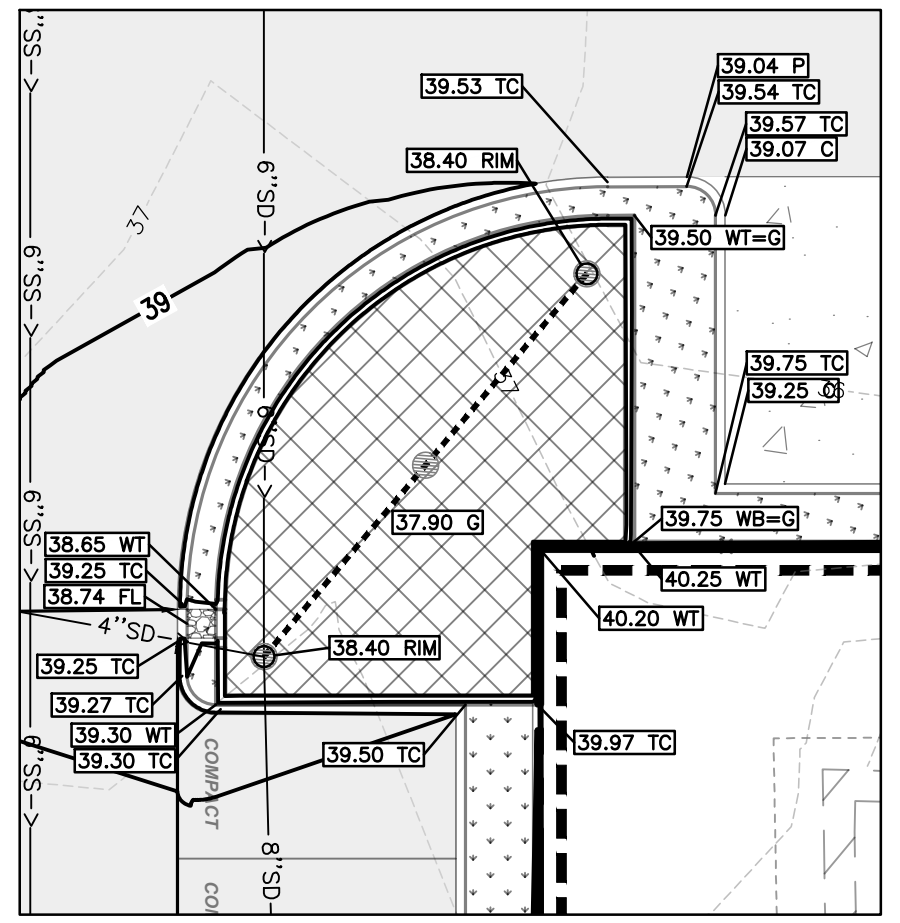


ENGINEERS NOTE TO THE CONTRACTOR:

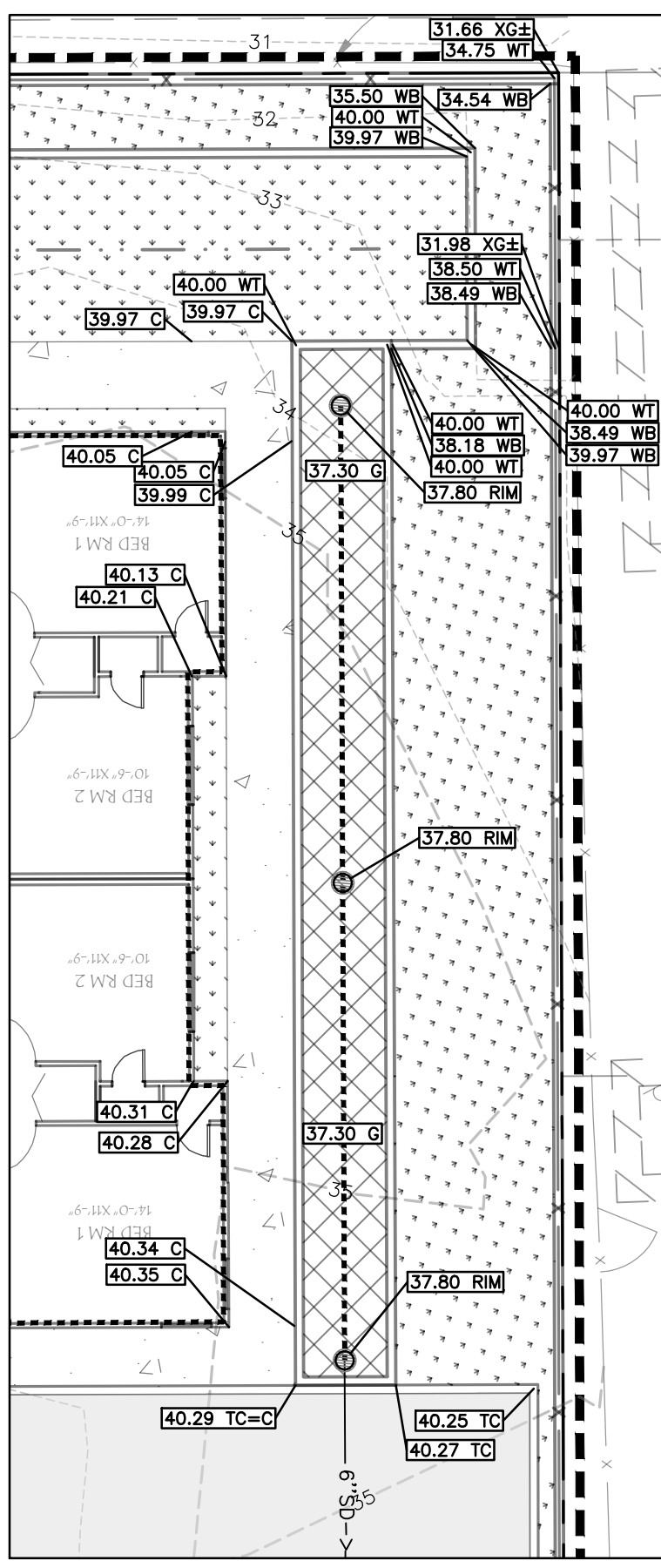
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



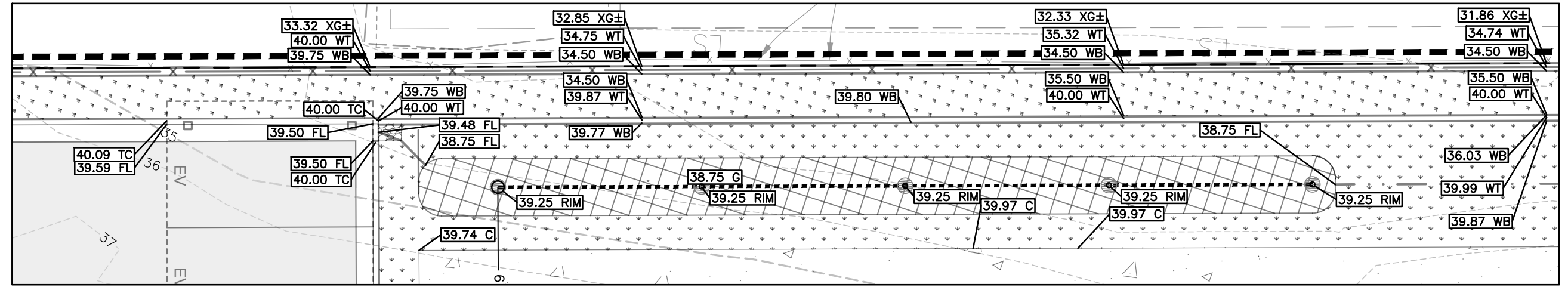
DETAIL 1
SCALE: 1"=10'



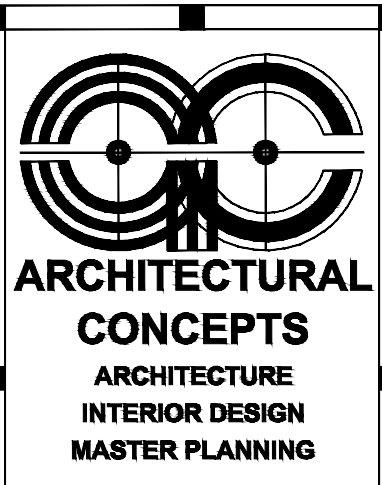
DETAIL 2
SCALE: 1"=10'



DETAIL 3
SCALE: 1"=10'



DETAIL 4
SCALE: 1"=10'



509 Ramona Avenue
Albany, Ca 94706-1431
T/F 510-525-9630
jcoowe6@gmail.com
www.architectural-concepts.net

NOT FOR CONSTRUCTION



CALICHI DESIGN GROUP
CIVIL ENGINEERS
3240 PERALTA STREET, #3
OAKLAND, CA 9460
(510) 255-7877
WWW.CALICHI.COM

GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

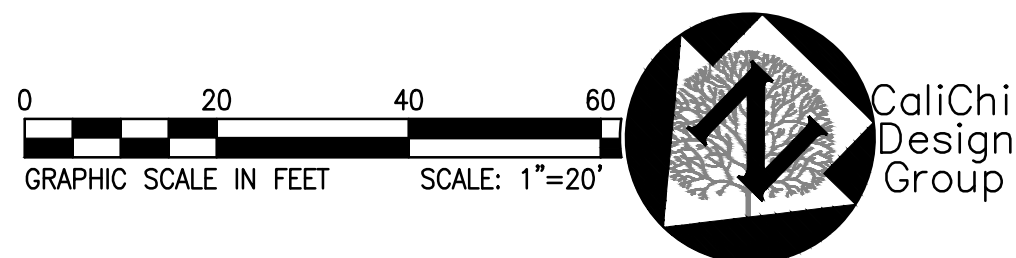
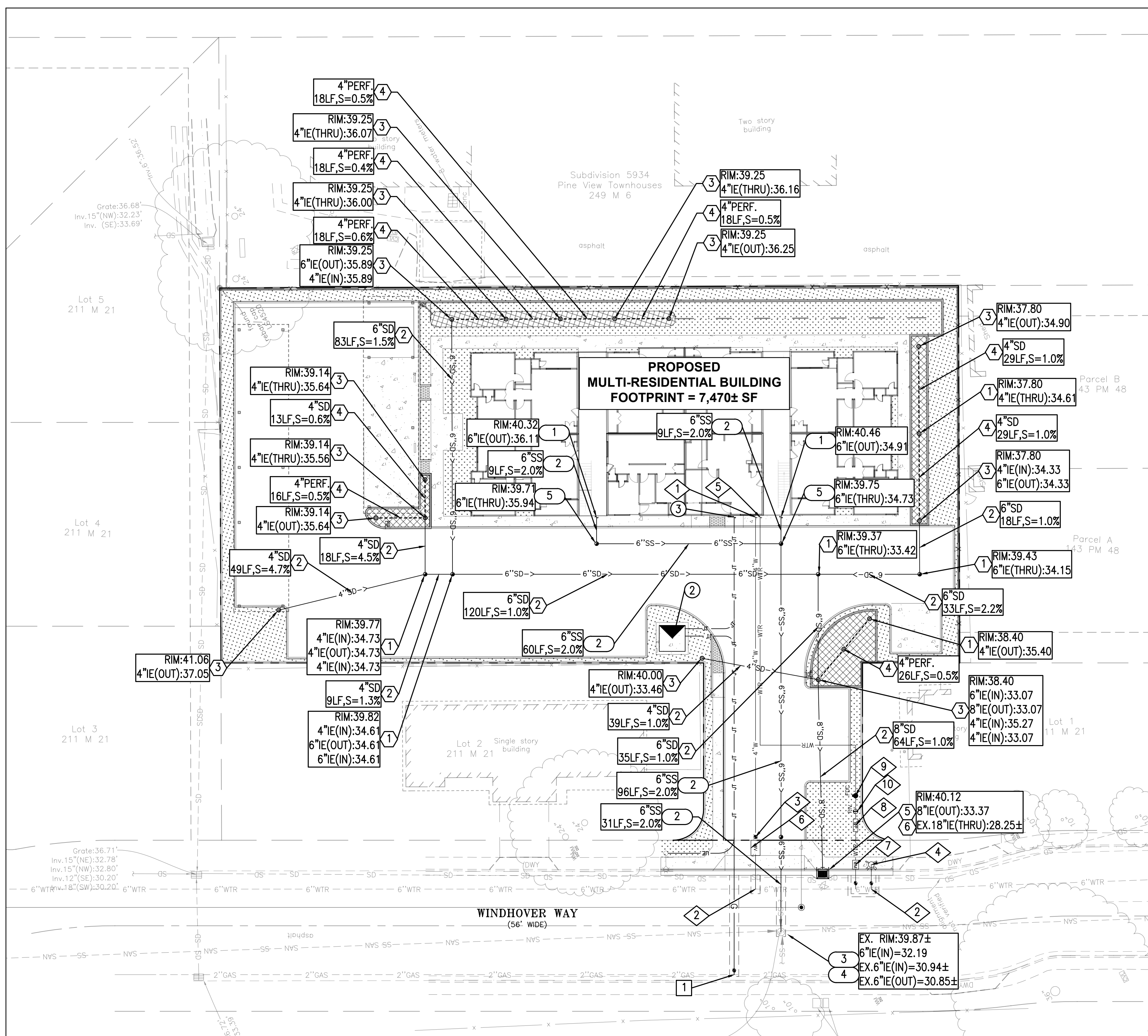
SHEET TITLE:

GRADING AND DRAINAGE PLAN

SHEET NO.

C2.0

REVISION NO. 0



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

STORM DRAIN KEY NOTES

- 1 PROPOSED STORM CLEANOUT.
- 2 PROPOSED PVC STORM DRAIN LINE. LENGTH, SIZE AND SLOPE PER PLAN. TRENCH PER CONTRA COSTA COUNTY STANDARD DETAIL CD01.
- 3 PROPOSED STORM DRAIN INLET. RIM AND INVERT ELEVATION PER PLAN.
- 4 PROPOSED 4" PERFORATED PVC PIPE IN BIO-RETENTION PLANTER. LENGTH AND SLOPE PER PLAN.
- 5 PROPOSED CATCH BASIN, PER CONTRA COSTA COUNTY STANDARD DETAIL CD20. RIM AND INVERT PER PLAN.
- 6 CONNECT PROPOSED STORM DRAIN CATCH BASIN TO EXISTING 18" MAIN.

DRY UTILITY KEY NOTES

- 1 PROPOSED GAS SERVICE AND DATA/ELECTRIC/TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE GAS PLANS, PG&E PLANS, AND ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- 2 PROPOSED UNDERGROUND JOINT TRENCH VAULT WITH TRANSFORMER BY OTHERS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- 3 PROPOSED UNDER-GROUND CONNECTION POINT TO EXISTING LIGHT POLE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

GAS SERVICE KEY NOTES

- 1 CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

WATER KEY NOTES

- 1 PROPOSED 4" DOMESTIC WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 2 CONNECT PROPOSED WATER LINE TO EXISTING 6" WATER MAIN IN WINDHOVER WAY. CONTRACTOR TO VERIFY EXISTING SIZE AND PIPE MATERIAL DURING DEMOLITION AND NOTIFY ENGINEER OR ANY DISCREPANCIES.
- 3 PROPOSED RESIDENTIAL WATER VALVE.
- 4 PROPOSED FIRE HYDRANT ASSEMBLY, PER CCWD DETAIL SD-5
- 5 PROPOSED 6" FIRE WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 6 PROPOSED 6" DOMESTIC WATER METER AND VAULT.
- 7 PROPOSED 6" FIRE WATER UNDERGROUND SINGLE DETECTOR CHECK WITH METER ASSEMBLY.
- 8 PROPOSED BACKFLOW PREVENTER ASSEMBLY FOR PROPOSED 6" FIRE WATER.
- 9 PROPOSED STANDPIPE FIRE DEPARTMENT CONNECTION (FDC).
- 10 PROPOSED POST INDICATOR VALVE (PIV).

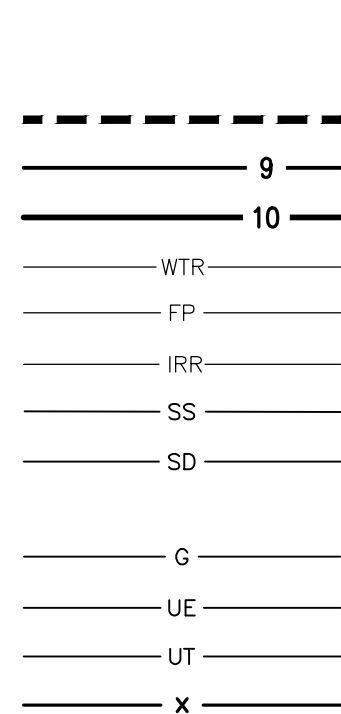
SANITARY SEWER KEY NOTES

- 1 PROPOSED 6" SANITARY SEWER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- 2 PROPOSED 6" DIAMETER PVC PIPE. LENGTH AND SLOPE PER PLAN. TRENCH PER CCCSD DETAIL DWG-14 AND DWG-15.
- 3 PROPOSED SANITARY SEWER MANHOLE, PER CCCSD DETAIL DWG-1. RIM AND INVERT PER PLAN.
- 4 CONNECT PROPOSED SANITARY SEWER MAN HOLE TO EXISTING SANITARY SEWER MAIN. INVERT PER PLAN.
- 5 PROPOSED SANITARY SEWER CLEANOUT, PER CCCSD DETAIL DWG-23. RIM AND INVERT PER PLAN.

UTILITY NOTES:

1. JOINT TRENCH, ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.

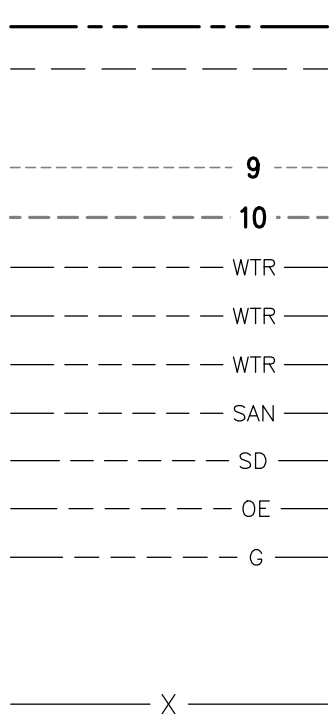
PROPOSED



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- 1-FOOT CONTOUR
- 5-FOOT CONTOUR
- WATER LINE
- FIRE PROTECTION WATER LINE
- IRRIGATION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD ELECTRIC
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FENCE
- TREE
- WATER VALVE/BACK FLOW PREVENTER
- FIRE HYDRANT
- WATER METER OR BOX
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM DRAIN MANHOLE
- CATCH BASIN/AREA DRAIN
- STORM CLEANOUT
- GAS METER/BOX
- GAS VALVE
- STREET LIGHT/LIGHT POLE/YARD LIGHT
- ELECTRIC PEDESTAL/BOX/VAULT
- ELECTRIC TRANSFORMER
- STANDARD PCC PAVEMENT
- STANDARD PERVIOUS AC PAVEMENT
- STANDARD AC PAVEMENT
- PROPOSED FIRE LANE
- LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.
- BIORETENTION FLOW THROUGH PLANTER
- DIRECTIONAL SHEET FLOW LINE
- RIP RAP

EXISTING



509 Ramona Avenue
Albany, Ca. 94706-1431
T/F 510-525-9630
jcoowe6@gmail.com
www.architectural-concepts.net

STAMP:

NOT FOR
CONSTRUCTION

CONSULTANT:



**GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA**

PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

SHEET TITLE:

UTILITY PLAN

SHEET NO.

C3.0

REVISION NO. 0

Project Name: Gulway Apartment
Project Type: Treatment Only
APN: 380-220-066
Drainage Area: 32,830
Mean Annual Precipitation: 16.3

II. Self-Retaining Areas

Self-Retaining DMA	
DMA Name	Area (sq ft)
LS-6	49
LS-5	13
LS-4	13
LS-3	80
LS-2	530
LS-1	5,968

III. Areas Draining to Self-Retaining Areas

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
GRND-5	110	Concrete or Asphalt	1.0	110.0	LS-1	5,968	0.02

IV. Areas Draining to IMPs

IMP Name: IMP1
IMP Type: Bioretention Facility
Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
ROOF-11	736	Conventional Roof	1.00	736	IMP Sizing Factor	1.000	29	306
Total				736				
				Area	0.040	1.000	29	306

IMP Name: IMP2
IMP Type: Bioretention Facility
Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-1	5,785	Concrete or Asphalt	1.00	5,785	IMP Sizing Factor	1.000	382	385
ROOF-6	1,659	Conventional Roof	1.00	1,659				
ROOF-7	564	Conventional Roof	1.00	564				
ROOF-8	471	Conventional Roof	1.00	471				
ROOF-9	834	Conventional Roof	1.00	834				
ROOF-10	246	Conventional Roof	1.00	246				
Total				9,559				
				Area	0.040	1.000	382	385

IMP Name: IMP3
IMP Type: Bioretention Facility
Soil Group: IMP3

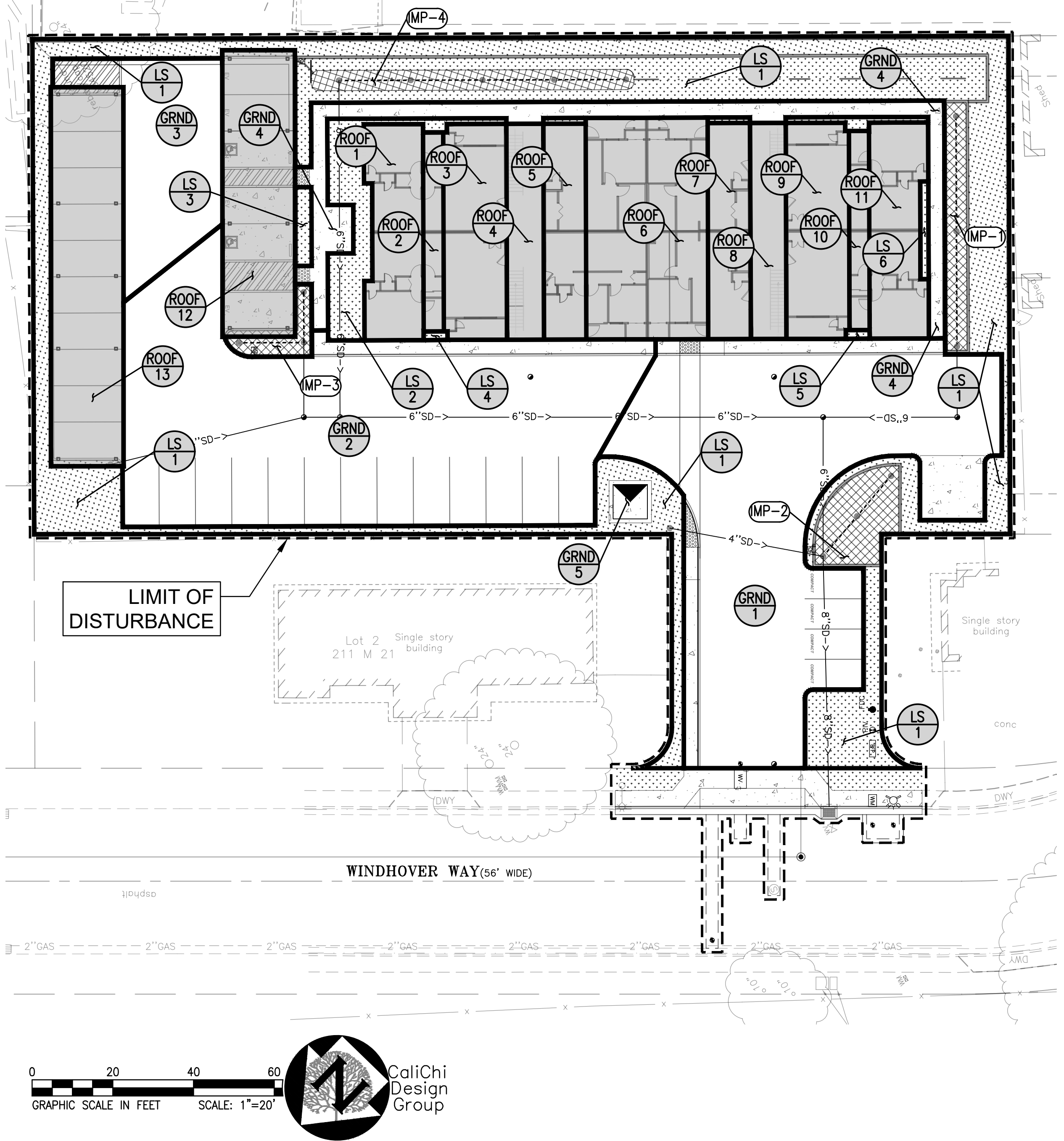
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-2	6,042	Concrete or Asphalt	1.00	6,042	IMP Sizing Factor	1.000	242	149
Total				6,042				
				Area	0.040	1.000	242	149

* NOTE: IMP3 PONDING DEPTH TO BE 12" (6" STANDARD). THEREBY DOUBLING THE VOLUMETRIC TREATMENT CAPACITY (149 X2 = 298).

IMP Name: IMP4
IMP Type: Bioretention Facility
Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-4	1,196	Concrete or Asphalt	1.00	1,196	IMP Sizing Factor	1.000	346	397
GRND-3	1,366	Concrete or Asphalt	1.00	1,366				
ROOF-1	736	Conventional Roof	1.00	736				
ROOF-2	246	Conventional Roof	1.00	246				
ROOF-3	834	Conventional Roof	1.00	834				
ROOF-4	489	Conventional Roof	1.00	489				
ROOF-5	561	Conventional Roof	1.00	561				
ROOF-12	1,278	Conventional Roof	1.00	1,278				
ROOF-13	1,937	Conventional Roof	1.00	1,937				
Total				8,643				
				Area	0.040	1.000	346	397

Report generated on 2/14/2022 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



ON-SITE BIORETENTION FACILITY MAINTENANCE PLAN

ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):

- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND OBSTRUCTIONS AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.

BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):

- PRUNE AND WEED THE PLANTER AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THR USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):

- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

INSPECTION AND MAINTENANCE

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD

PROPOSED

9

10

WTR

FP

IRR

SS

SD

G

UE

UT

x

LEGEND

PROPERTY LINE

EASEMENT LINE

APPROXIMATE LIMIT OF DISTURBANCE

1-FOOT CONTOUR

5-FOOT CONTOUR

WATER LINE

FIRE PROTECTION WATER LINE

IRRIGATION WATER LINE

SANITARY SEWER LINE

STORM DRAIN LINE

OVERHEAD ELECTRIC

GAS LINE

UNDERGROUND ELECTRIC

UNDERGROUND TELEPHONE

FENCE

TREE

WATER VALVE/BACK FLOW PREVENTER

FIRE HYDRANT

WATER METER OR BOX

SEWER MANHOLE

SANITARY SEWER CLEANOUT

STORM DRAIN MANHOLE

CATCH BASIN/AREA DRAIN

STORM CLEANOUT

GAS METER/BOX

GAS VALVE

STREET LIGHT/LIGHT POLE/YARD LIGHT

ELECTRIC PEDESTAL/BOX/VAULT

ELECTRIC TRANSFORMER

STANDARD PCC PAVEMENT

STANDARD PERVIOUS AC PAVEMENT

STANDARD AC PAVEMENT

PROPOSED FIRE LANE

LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.

BIORETENTION FLOW THROUGH PLANTER

DIRECTIONAL SHEET FLOW LINE

RIP RAP

EXISTING

9

10

WTR

WTR

WTR

SAN

SD

OE

G

X

WTR

WTR

WTR

SAN

SD

OE

G

X

WTR

WTR

WTR

SAN

SD

OE

G

X

STORMWATER CONTROL LEGEND

APPROXIMATE BOUNDARY OF DRAINAGE MANAGEMENT AREA

APPROXIMATE BOUNDARY OF ROOF DRAINAGE MANAGEMENT AREA

PROPOSED OVERFLOW DRAIN1

PROPOSED STORMWATER CLEANOUT1

PROPOSED DRAINAGE MANAGEMENT AREA (ROOF-1, GROUND-2, ETC), AND BMP (BMP-1, BMP-22, ETC) DESIGNATION

PROPOSED STORM DRAIN INLET STENCILING "NO DUMPING! DRAINS TO BAY" PER CITY SPECIFICATIONS

CALL 811 OR 1-800-227-2600

CALL BEFORE YOU DIG

UNDERGROUND SERVICE ALERT

WWW.USANORTH.ORG

CALL TWO WORKING DAYS BEFORE YOU DIG

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

ARCHITECTURAL CONCEPTS

ARCHITECTURE

INTERIOR DESIGN

MASTER PLANNING

509 Ramona Avenue
Albany, Ca. 94706-1431
T/F 510-525-9630
jcoowee@gmail.com
www.architectural-concepts.net

STAMP:

NOT FOR CONSTRUCTION

CONSULTANT:

CALICHI

CALICHI DESIGN GROUP
CIVIL ENGINEERS

3240 PERALTA STREET, #3
OAKLAND, CA 9460
(510) 255-7877
WWW.CALICHI.COM

GULWAY APARTMENTS

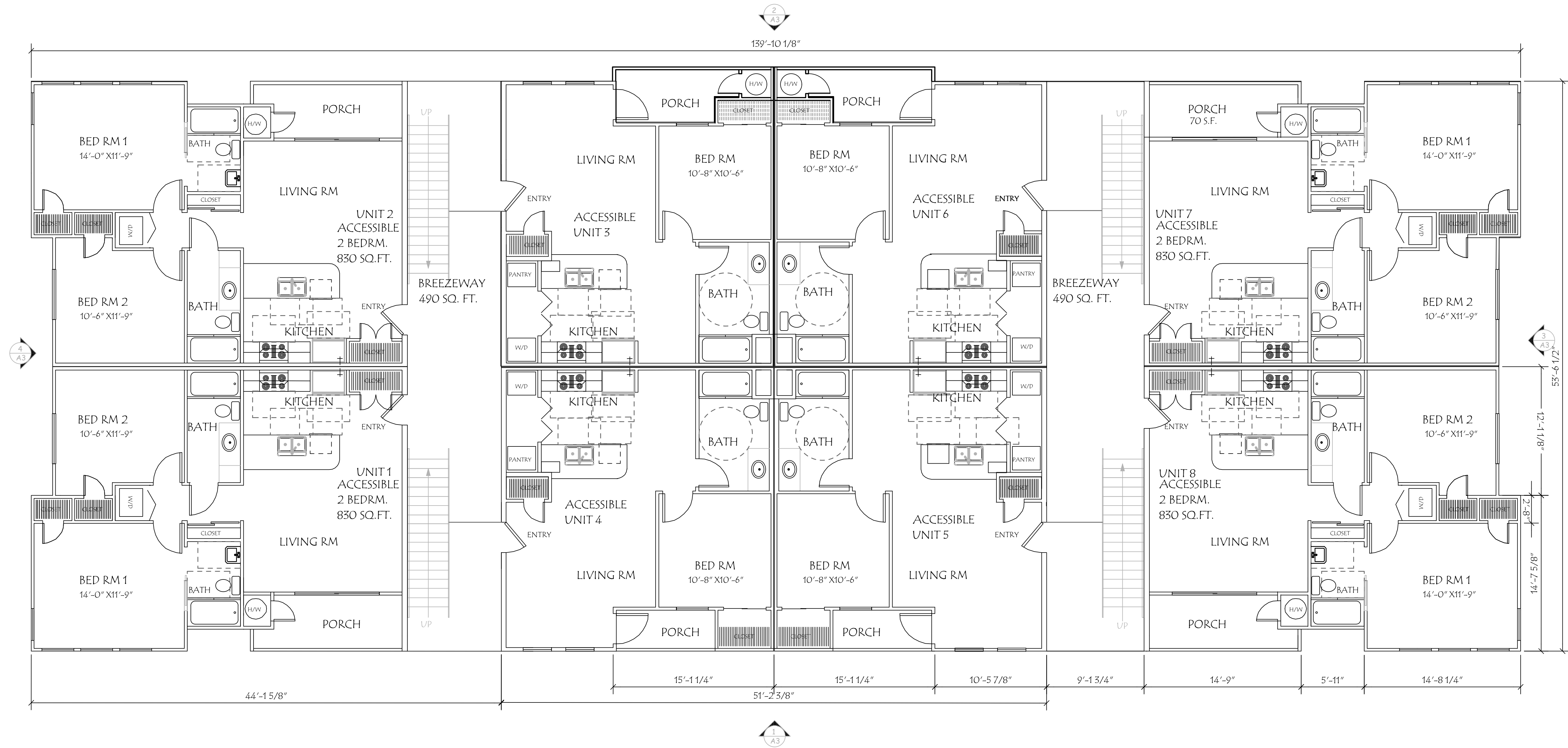
WINDHOVER WAY

APN: 380-220-066

MARTINEZ, CA

PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22
REVISIONS	DATE
JOB:	
DATE:	2022/03/15
SHEET TITLE:	STORM WATER CONTROL PLAN
SHEET NO.	C4.0
REVISION NO. 0	

© 2016 WEST COAST LAND AND DEVELOPMENT, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF WEST COAST LAND AND DEVELOPMENT, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM WEST COAST LAND AND DEVELOPMENT, INC., NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



1ST FLOOR SCALE: 3/16" = 1'-0"

NOTES

- 1 REFER TO GENERAL NOTES SHEET "C-1" FOR ADDITIONAL INFORMATION
- 2 REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- 3 SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24 HOUR BATTERY BACKUP.
- 4 DUCT PIERCING WALL BETWEEN HOUSE LIVING AREA AND GARAGE SHALL BE 26GA G.I. MATERIAL IN THE GARAGE, SEALED AT EDGES, AND NO OPENINGS INTO GARAGE, SEC 302.4.
- 5 EVERY SLEEPING ROOM SHALL HAVE, AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESCUE. IT SHALL HAVE THE FOLLOWING:
A. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
B. A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
C. A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
D. A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (UBC 310.4)
- 6 EXTERIOR WALL - EXTERIOR FACE: 7/8" 3-COAT STUCCO OVER TYVEK, 1/2 CDX PLYWOOD, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION, INTERIOR FACE: 5/8 GYP, BD, TAPE & TEXTURE LEVEL 5 FINISH.
- 7 INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8 GYP, BD, EACH SIDE. TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N.
- 8 PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" WP, GYP, BD, ON WET SIDE AND 5/8 GYP, BD, ON DRY SIDE TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD AT TILE INSTALLATIONS R-19 BATT INSULATION AT BATHROOM.
- 9 FLOOR PLAN NOTES:
THE FOLLOWING ARE PROVIDED IN EACH UNIT:
10 24" DEEP BASE CABINET WITH 36" HIGH COUNTERTOP AND SPLASH.
11 36" HIGH ISLAND CABINET WITH COUNTERTOP.
12 13" DEEP OVERHEAD CABINET.
13 TWO COMPARTMENT SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS IN MANUFACTURER'S SPECIFICATIONS.
14 30" SLIDE-IN RANGE/OVEN WITH MICROWAVE LIGHT AND EXHAUST FAN ABOVE (DUCT TO OUTSIDE AIR) - VERIFY DIMENSIONS & REQUIRED CLEARANCES WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATING CABINETS.
15 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RELEASED ON WALL).
16 24" DEEP COUNTERTOP AND SPLASH.
17 BUILT-IN PANTRY W/ SHELVES.
18 32" X 60" ENAMELED STEEL TUB AND SHOWER WITH APPROVED FINISH (3) WALLS TO 80" ABOVE FLOOR - PROVIDE CLEAR TEMPERED GLASS ENCLOSURE AND DOOR (DOOR SHALL HAVE INTEGRAL TOWER BAR) - ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC 410.7). WASHER SPACE PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED WALL.
19 DRYER SPACE- PROVIDE SMOOTH METAL DRYER VENT WITH BACKDRAFT DAMPER - VENT TO OUTSIDE AIR. LENGTH OF CLOTHES DRYER VENT NOT TO EXCEED 14 FT. WITH MAXIMUM OF TWO 90 DEGREE TURNS. TERMINATION TO BE 4"-0" - MINIMUM CLEAR FROM PROPERTY LINE.
20 SHELF AND POLE.
21 SHELF AND DOUBLE POLE.
22 PROVIDE (1) LAYER OF 5/8" TYPE "X" GYP. BD. AT ALL WALLS AND CEILING OF GARAGE.
23 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELCTRICAL DRAWINGS.
24 GAS WATER HEATER ON 18" HIGH PLYWOOD PLATFORM - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE - THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE -24 ENERGY CALCS- PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"X12" LOUVER T&B.
25 FORCED AIR UNIT IN ATTIC- PROVIDE LIGHT, SWITCH, 110V RECEPTABLE AND FUEL GAS PER CMC SEC 319. PROVIDE 22"X30" ATTIC ACCESS

WEST COAST LAND AND
DEVELOPMENT, INC.

145 JOHN GLENN DRIVE
CONCORD, CA 94520
(925) 246-2870 WWW.WCLANDS.COM



CUSTOM APARTMENTS

WINDHOVER PROJECT
MARTINEZ, CA 94553

FIRST FLOOR PLAN

DATE: 11-16-2021

SCALE: 3/16"=1'-0"

DRAWN BY: RWW

JOB:

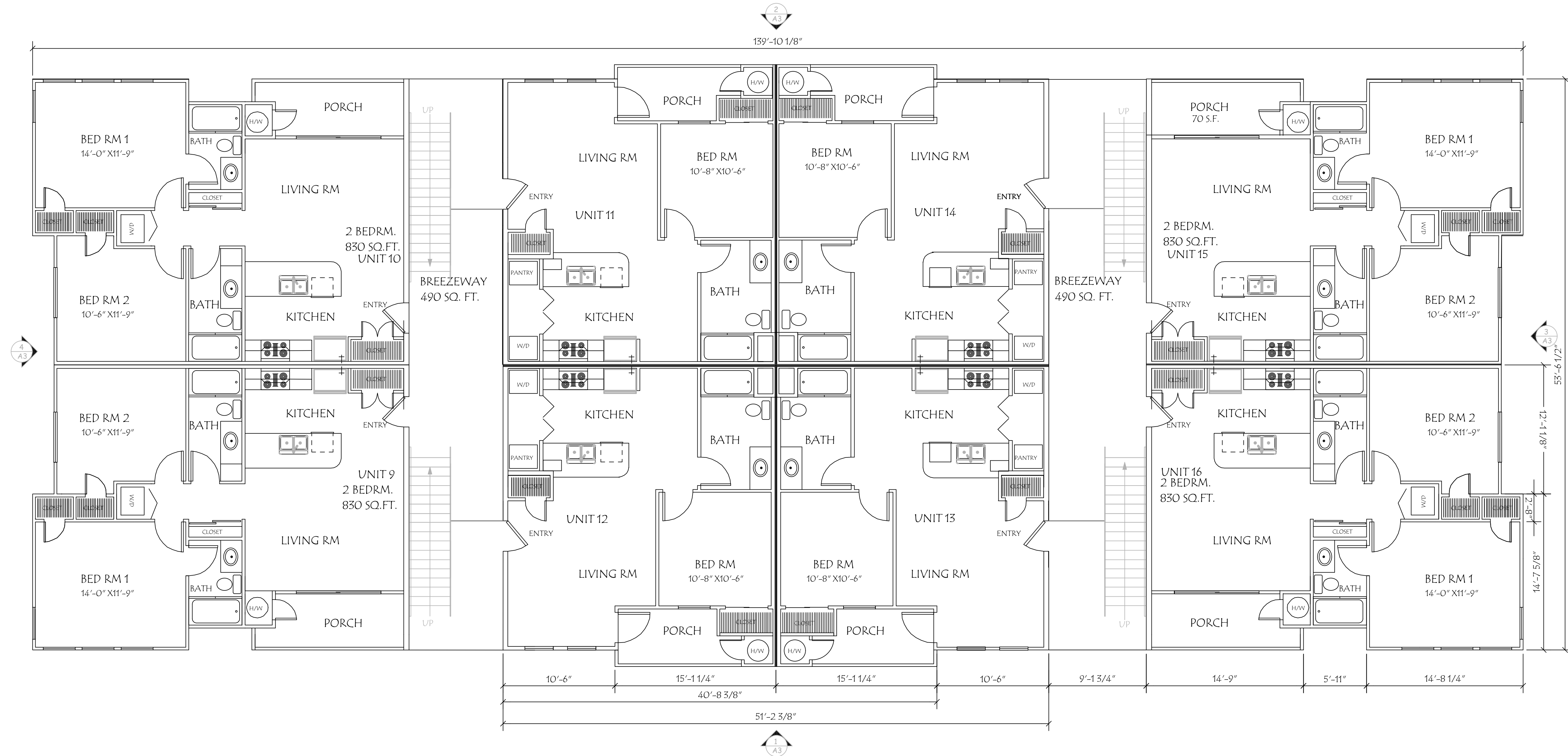
Sheet

A1

of

Sheet

© 2020 WEST COAST LAND AND DEVELOPMENT, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF WEST COAST LAND AND DEVELOPMENT, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WEST COAST LAND AND DEVELOPMENT, INC. 145 JOHN GLENN DRIVE, CONCORD, CA 94520 (925) 246-2870 WWW.WCLANDS.COM



2nd FLOOR SCALE: 3/16" = 1'-0"

WEST COAST LAND AND DEVELOPMENT, INC.
145 JOHN GLENN DRIVE
CONCORD, CA 94520
(925) 246-2870 WWW.WCLANDS.COM



CUSTOM APARTMENTS

WINDHOVER PROJECT
MARTINEZ, CA 94553

SECOND FLOOR PLAN

DATE: 11-16-2021
SCALE: 3/16"=1'-0"
DRAWN BY: RWW
JOB:
Sheet
A2
of





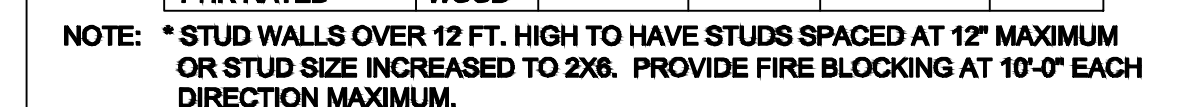
-
- 13'-7"
9'-8"
7'-6"
3'-0"
- 126'-0"
18'-0"
27'-0"
27'-0"
27'-0"
- 1'-0"
- (E) NATURAL GRADE
- GRADE

Architectural elevation drawing of a building facade. The drawing shows a central entrance with a pediment and two side windows. Dimensions are provided for the overall height and width, as well as the height of the entrance and the width of the entrance and side windows.

- Overall height: 8'-8"
- Height of entrance: 7'-0"
- Width of entrance: 16'-2"
- Width of side windows: 19'-1"

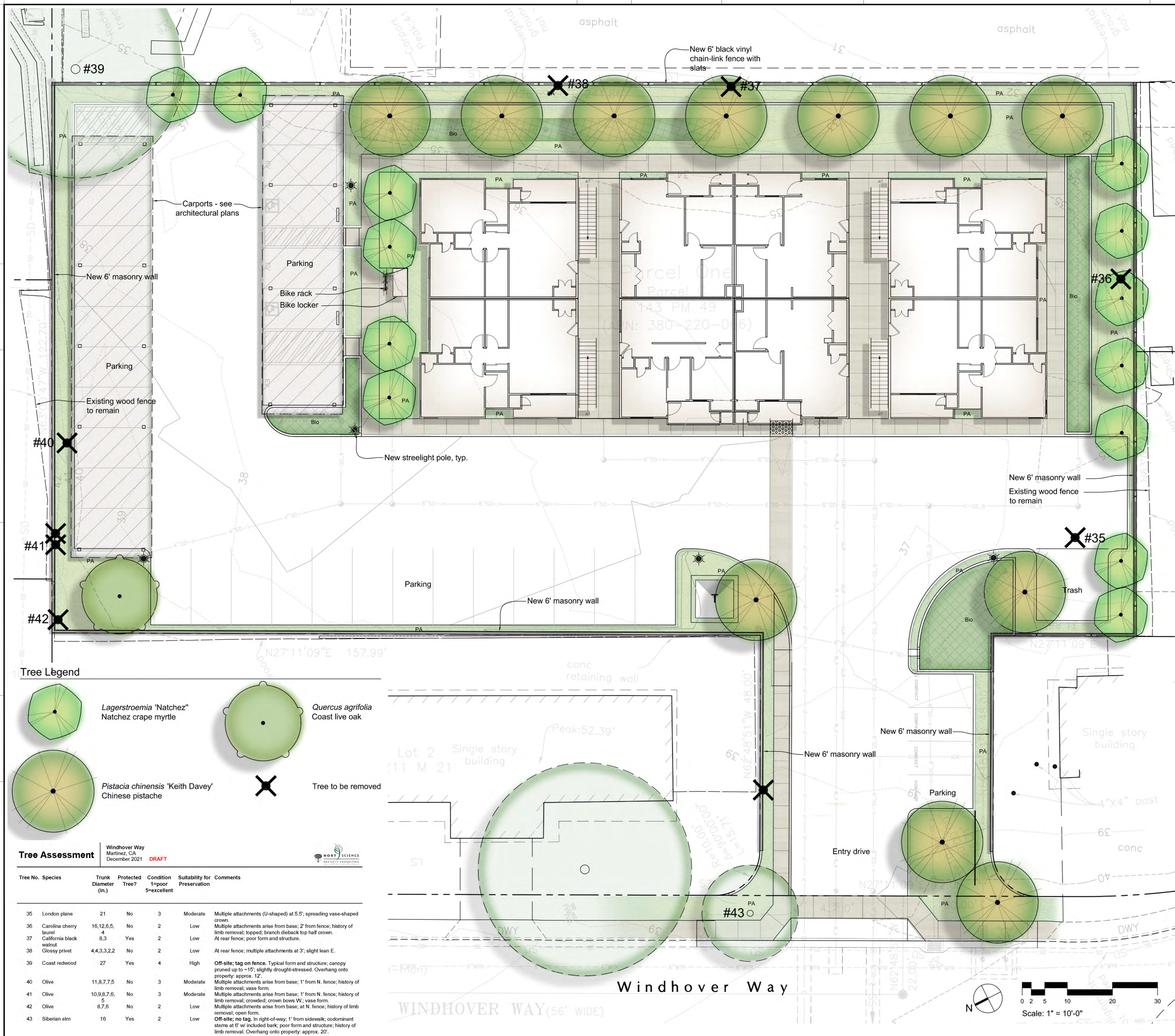
Diagram showing the elevation of a building facade. The facade features a large grid pattern (likely a window or screen) and a pedimented roof. Dimensions are provided for the overall height (8'-8" and 7'-0"), the width (16'-2" and 19'-1"), and the depth (16'-2").

A diagram of a carport structure. A car is shown inside the carport. The car's width is labeled as 16'-0". The carport's width is labeled as 19'-0". The carport's height is labeled as 7'-6".



6 COVERED PARKING CANOPY & TRASH ENCLOSURE SCALE 1/8" = 1'-0"

9517-3



Plant List

Trees		Water-use
<i>Lagerstroemia</i> 'Natchez'		Low
Natchez crape myrtle		
<i>Pistacia chinensis</i> 'Keith Davey'		Low
Chinese pistache		
<i>Quercus agrifolia</i>		Low
Coast live oak		
Shrubs and groundcovers		
<i>Arctostaphylos hookeri</i>		Low
Hooker manzanita		
<i>Arctostaphylos uva-ursi</i> *		Low
Bearberry		
<i>Callistemon</i> 'Little John'		Low
Little John Dwarf Bottlebrush		
<i>Ceanothus griseus</i> var. <i>horizontalis</i> 'Yankee Point'		Low
Yankee Point California Lilac		
<i>Grevillea</i> x 'Noell'		Low
Noell Grevillea		
<i>Myrtus communis</i> 'Compacta'		Low
Dwarf myrtle		
<i>Westringia fruticosa</i> 'Low Horizon'		Low
Low Horizon Westringia		
Grasses and Perennials		
<i>Anigozanthos</i> 'Ramboball'		Low
Bush Ballad Kangaroo Paw		
<i>Carex tumulicola</i> *		Low
Berkeley Sedge		
<i>Festuca californica</i> *		Low
California Fescue		
<i>Lavandula angustifolia</i> 'Munstead'		Low
Munstead Lavender		
<i>Pennisetum alopecuroides</i> 'Hameln'		Low
Dwarf Fountain Grass		
Vines		
<i>Bougainvillea</i> 'Mary Palmer's Enchantment'		Low
Mary Palmer's Enchantment Bougainvillea		

* Denotes species suitable for use in bio-treatment planters

Planting Notes

- Plant materials are low water-use selections.
- Native topsoil is to be amended to a depth of 6" min. as recommended by laboratory soil testing.
- Top-dress all newly planted areas except turf with 3" organic mulch.
- All newly planted areas will be irrigated by an automatic irrigation system in conformance with state and local water-efficient landscape regulations. The irrigation system will use 'smart' weather-based controls and efficient sub-surface drip and/or bubbler application methods. Estimated landscape water use will not exceed maximum applied water allowance.
- Minimum plant material installations sizes are to be as follows:
 - Trees: 24" box
 - Shrubs, groundcovers: 1-gallon
 - Grasses: 1-gallon
 - Vines: 5-gallon
- Plants at maturity will not interfere with structures, lighting or security cameras.
- A majority of materials in the plant materials palette are native and/or drought resistant.
- Provide tree root barriers at all trees within 5' of paving, curbs and sidewalks.
- Provide a landscape maintenance period of 90 days after project acceptance.

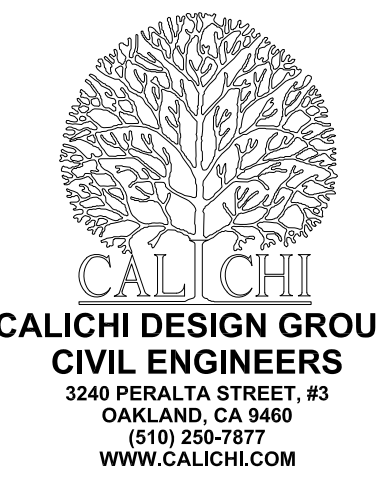


509 Ramona Avenue
Albany, Ca 94706 -1431
T/F 510-525-9630
jcowee@gmail.com
www.architectural-concepts.net

STAMP:

NOT FOR
CONSTRUCTION

CONSULTANT:



GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING
SUBMITTAL 2022/03/14

REVISIONS DATE

JOB:

DATE: 2022/03/14

SHEET TITLE:
Landscape
Plan

SHEET NO.

L-1

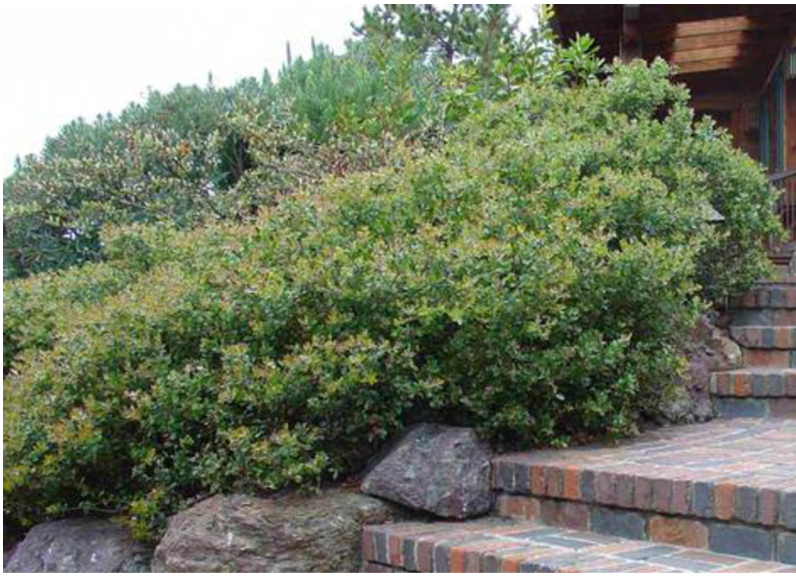
REVISION NO. 0

SMITH+SMITH

P: (415) 848-0332 1801 North Point Street
F: (415) 848-0110 San Francisco, CA 94133
www.smith2.com

LANDSCAPE ARCHITECTS

Shurbs and Groundcovers



Arctostaphylos hookeri
Hookeri manzanita



Arctostaphylos uva-ursi
Bearberry



Callistemon 'Little John'
Little John Dwarf Bottlebrush



Ceanothus griseus var. horizontalis
'Yankee Point'
Yankee Point California Lilac



Grevillea x 'Noell'
Noell Grevillea



Myrtus communis 'Compacta'
Dwarf myrtle



Westringia fruticosa 'Low Horizon'
Low Horizon Westringia

Vines



Bougainvillea 'Mary Palmer's Enchantment'
Mary Palmer's Enchantment Bougainvillea

Grasses and Perennials



Carex tumulicola
Berkeley Sedge



Pennisetum alopecuroides 'Hameln'
Dwarf Fountain Grass



Festuca californica
California Fescue



Anigozanthos 'Ramboball'
Bush Ballad Kangaroo Paw



Lavandula angustifolia 'Munstead'
Munstead Lavender

Trees



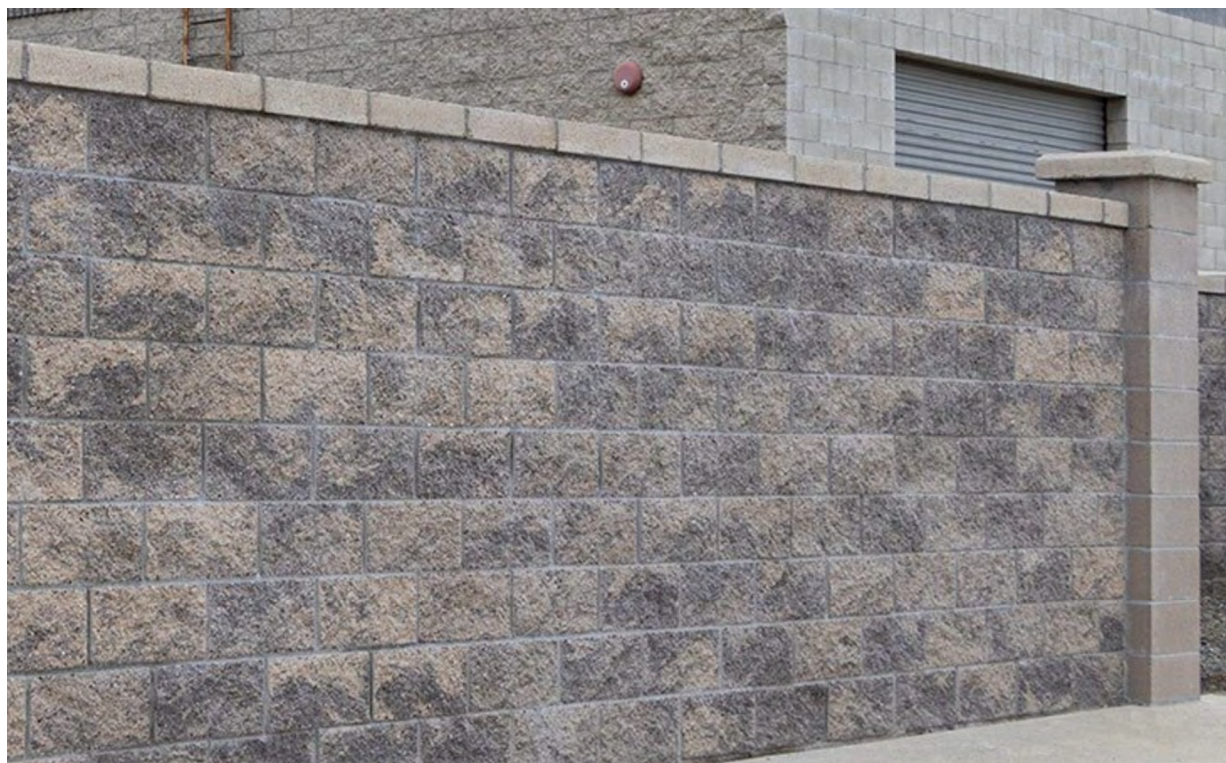
Quercus agrifolia
Coast live oak



Lagerstroemia 'Natchez'
Natchez crape myrtle

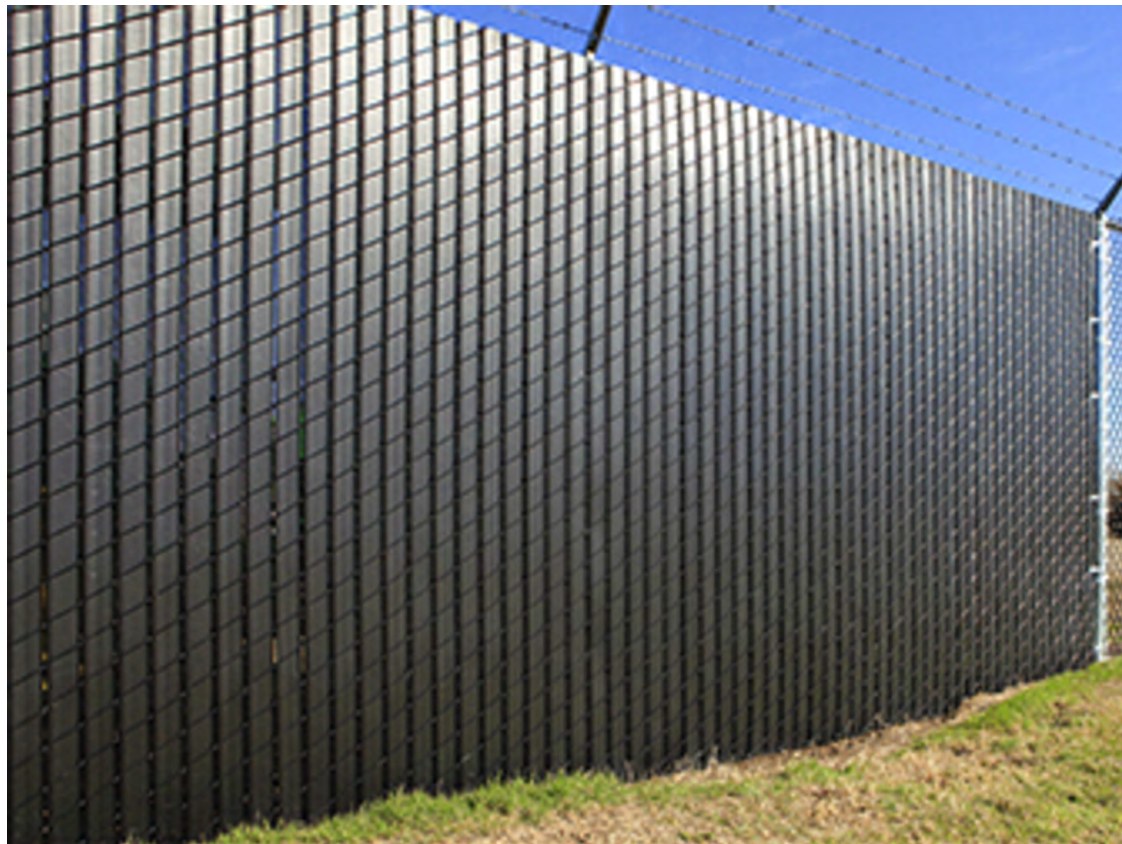


Pistacia chinensis 'Keith Davey'
Chinese pistache



6' ht. masonry wall

5 PERIMTER WALL

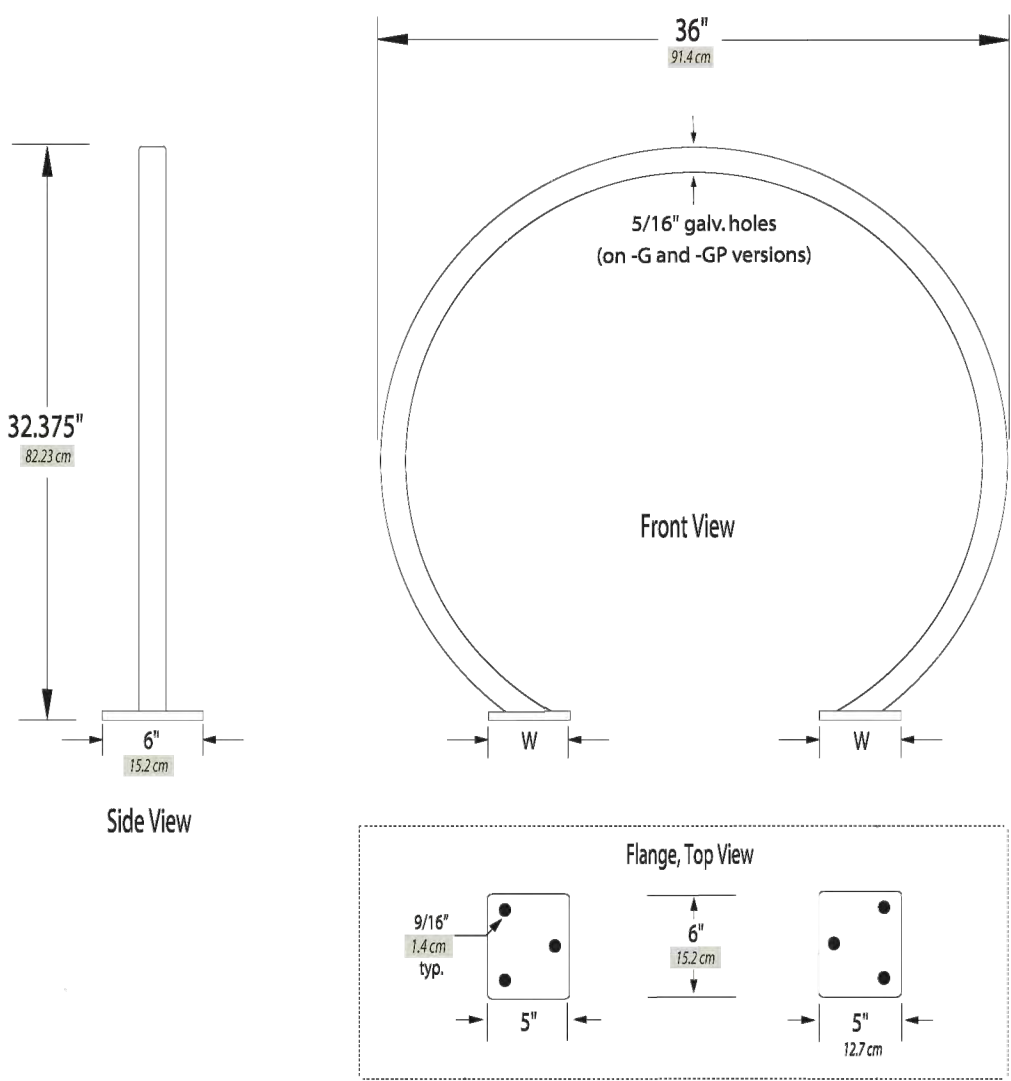


6' ht. black vinyl fence

4 PERIMTER FENCE

**BIKEPARKING.COM™**
Tel: 415.333.6428 Tel: 888.764.2453 Fax: 415.333.2032 E: info@bikeparking.com
Palmer Group, LLC 1728 Ocean Avenue #132 San Francisco CA 94112 USA

Welle® Circular Rack
Square Tube Surface Flange



Welle® Circular Rack Square Tube Surface Flange							
Tubing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges (Same material as hoop)	Anchors (Not Provided)	
Square Tube	WCR02-SQ-5F	36 lbs 177.6g	-G Hot Dipped Galvanized	-G, -GP 2" x 2" x 0.188" Square Tube (51.8mm x 51.8mm)	Regular Steel 102.7mm	(2) 5/8" x 6" x 3/8" Plates, 152mm x 152mm x 10mm	(2) 1/2" x 2.75" 10mm x 7mm
			-P Powder Coated (color)				
			-GP Hot Dipped Galvanized with Powder Coat (color) Top-Coat				
			-SS Stainless #4 Brush Finish				
				-SS 2" x 2" x 0.188" Square Tube (51.8mm x 51.8mm)	each with (3) 9/16" Holes (36mm)	(4) 1/2" x 3.75" 10mm x 9.5mm Wedge Anchor Bolt	

© 2012 Palmer Group, LLC - All Rights Reserved. 2012.04.11

Welle Square Tube Circular Rack

3 BIKE RACK



MadRax Narrow Bike Locker

2 BIKE LOCKER



Lumec UrbanScape

1 LIGHTPOST

SMITH+SMITH
P: (415) 848-0882 F: (415) 848-0110 1801 North Point Street San Francisco, CA 94133 www.ssmith2.com

LANDSCAPE ARCHITECTS

**ARCHITECTURAL CONCEPTS**
ARCHITECTURE
INTERIOR DESIGN
MASTER PLANNING

509 Ramona Avenue
Albany, Ca 94706 -1431
T/F 510-525-9630
jcowee@gmail.com
www.architectural-concepts.net

STAMP:

NOT FOR CONSTRUCTION

CONSULTANT:
**CALICHI**
CALICHI DESIGN GROUP
CIVIL ENGINEERS
3240 PERALTA STREET, #3
OAKLAND, CA 94600
(510) 250-7877
WWW.CALICHI.COM

GULWAY APARTMENTS
WINDHOVER WAY
APN: 380-220-066
MARTINEZ, CA

PLANNING SUBMITTAL 2022/03/14
REVISIONS DATE
JOB:
DATE: 2022/03/14

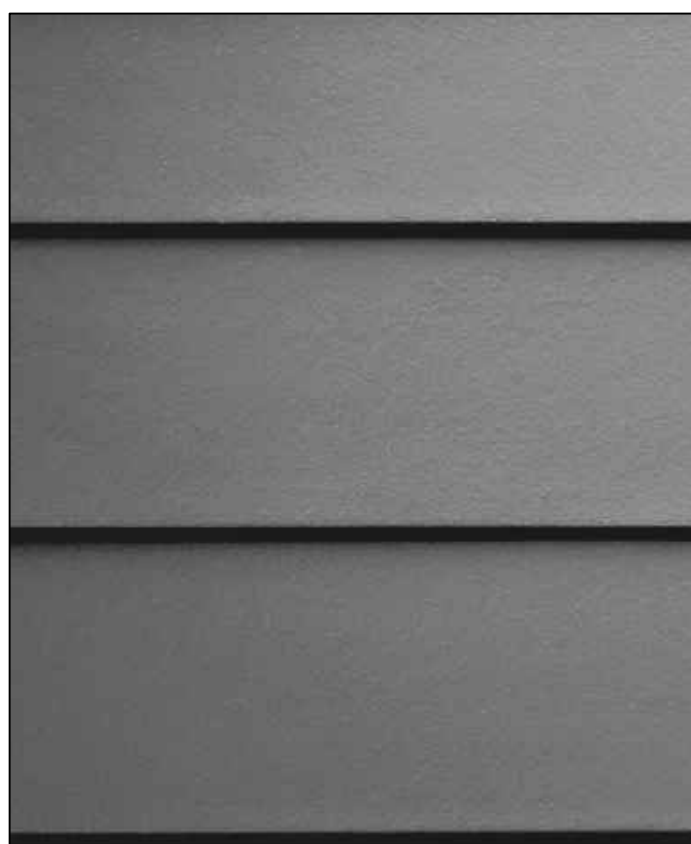
SHEET TITLE:
Landscape Furniture & Planting Images

SHEET NO.
L-2

REVISION NO. 0

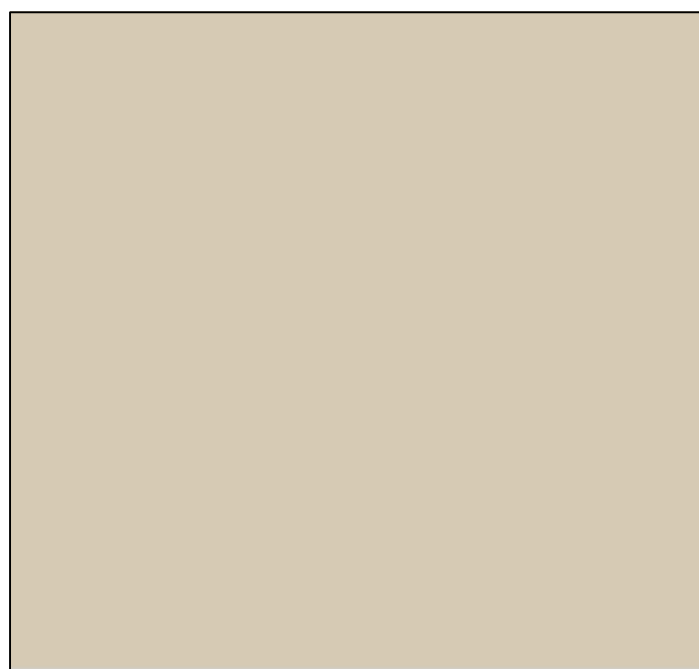
1

HARDIESHINGLE
"PEARL GRAY"



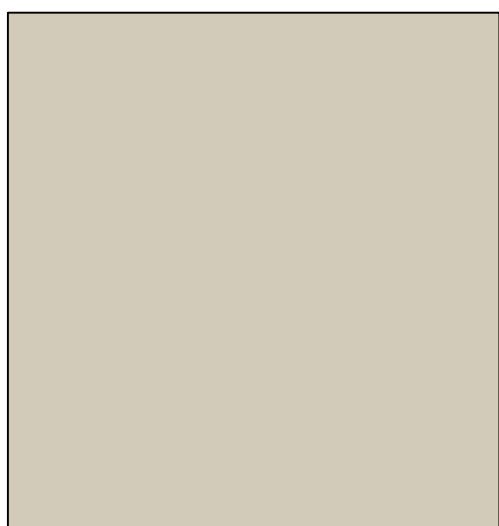
2

7/8" STUCCO -3 COAT :
BEHR "SANDSTONE"



3

WINDOWS: VINYL STYLE
ANDERSEN "SAND"



FRONT ELEVATION (WEST)

© 2022 WEST COAST LAND AND DEVELOPMENT, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF WEST COAST LAND AND DEVELOPMENT, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM WEST COAST LAND AND DEVELOPMENT, INC.

REVISION	DESCRIPTION	BY	DATE

**WEST COAST LAND AND
DEVELOPMENT, INC.**
145 JOHN GLENN DRIVE
CONCORD, CA 94520
(925) 246-2870 WWW.WCLANDS.COM



CUSTOM APARTMENTS

WINDHOVER PROJECT
MARTINEZ, CA 94553

COLOR BOARD

DATE	3-10-2022
SCALE	NTS
Drawn By:	PQR
Job	
Sheet	
	CB1
of	Sheet