

# WINDHOVER TERRACE APARTMENTS

APN: 380-220-066

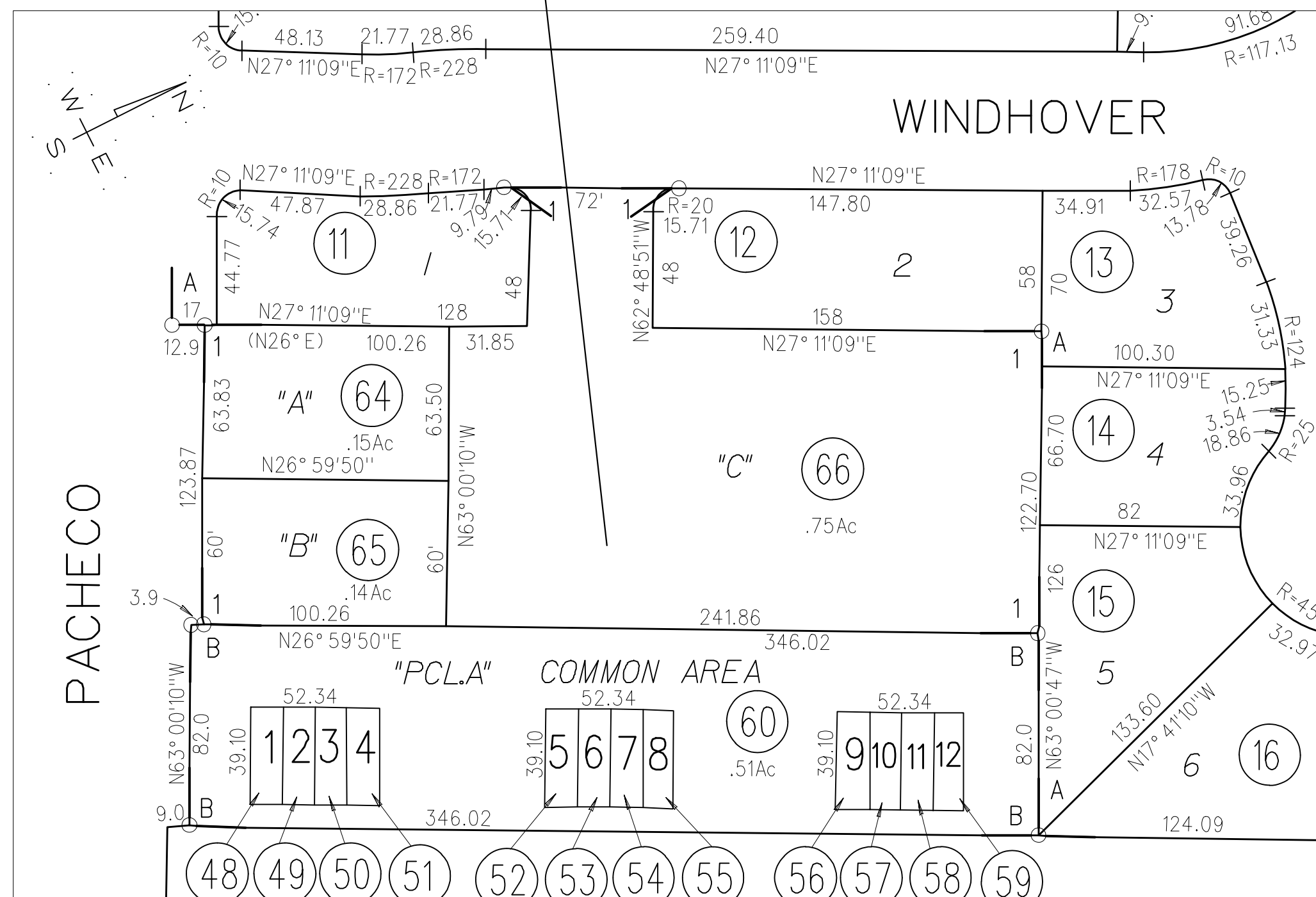
0 PACHECO BLVD, MARTINEZ, CA

PERMIT#: CDDP21-03031

SUBJECT PROPERTY

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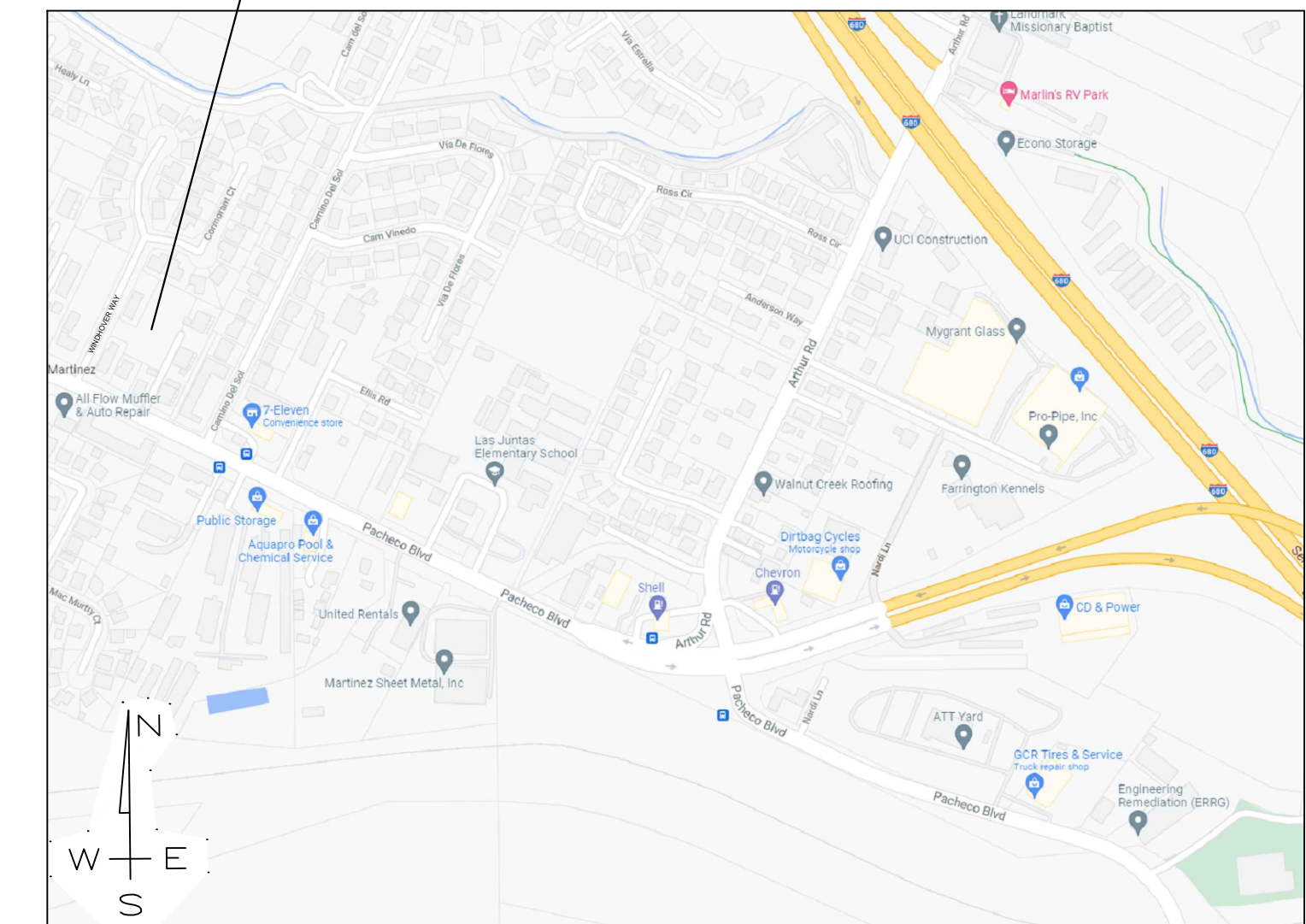
SUBJECT PROPERTY



ASSESSOR'S PARCEL MAP



AERIAL MAP



VICINITY MAP

**Owner:**

West Coast Land and Development, Inc.  
145 John Glenn Drive  
Concord, Ca  
(925)246-2870

**Civil Engineer:**

Calichi Design Group Civil Engineers  
3240 Peralta Street, #3  
Oakland, Ca 94560  
(510)250-7877  
www.calichi.com

**Architectural Designer:**

Norcal Design  
1501 North Point Street  
San Francisco, Ca  
(415)295-2012

**Landscape Architect:**

Smith+Smith  
1501 North Point Street  
San Francisco, Ca  
(415)543-0332

**Soils Engineer:**

Bear Engineering  
3530 Kevin Place  
Concord, Ca  
(925)978-9754

**GENERAL NOTES**

ABBREVIATIONS		GENERAL NOTES
&	AND	1. INSTALL WATER RESISTANT GYPSUM BOARD (FULL HEIGHT) AROUND ALL SHOWER ENCLOSURES AND BEHIND ALL PLUMBING FIXTURES, EXCEPT BEHIND TILE, INSTALL DUROC, WONDERBOARD, OR SIM. PRODUCT. 2. ALL WALLS WITH SHEAR PLYWOOD SHALL HAVE A CONTINUOUS FLUSH FINISH, FURR WALLS OR CONTINUE PLYWD. TO MAINTAIN THE REQUIRED FLUSH FINISH. 3. ALL EXTERIOR DOORS AND WINDOWS SHALL CONFORM TO THE CITY OR COUNTY SECURITY ORDINANCE. 4. ALL WALLS OVER 10'0" TALL SHALL BE 2x6 STUDS @ 16" O.C. MINIMUM, WITH FIRE BLOCKING @ 10'-0" INTERVALS. 5. ALL ANGLES OTHER THAN 90° SHALL BE 45° U.O.N. 6. PROVIDE BACKING FOR ALL TOWEL BARS AND TISSUE HOLDERS IN BATHROOMS, TYP. 7. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD U.O.N. 8. VERIFY ALL FINISH MATERIALS WITH OWNER PRIOR TO INSTALLATION. 9. CEILING HEIGHTS ARE MEASURED FROM TOP OF SUBFLOOR, TYP. 10. ALL TEMPERED GLASS SHALL BE AFFIXED W/ A PERMANENT LABEL. 11. SHOWERS AND TUB/SHOWER FIXTURES SHALL BE EQUIPPED W/ A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE. 12. ALL WINDOWS IN SLEEPING ROOMS SHALL HAVE SILL HEIGHTS NOT MORE THAN 44-INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREETS, PUBLIC ALLEYS, YARDS, OR EXIT COUNTY. 13. ALL DOORS SHALL BE FRAMED WITH 4" JAMBS, TYP. U.O.N. 14. PROVIDE SAFETY GLAZING AT SPECIFIC LOCATIONS ON PLANS WHERE BOTTOM OF WINDOW WILL BE LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
@	AT	
ABV	ABOVE	
ADDL	ADDITIONAL	
CBC	CALIFORNIA BUILDING CODE	
CLG	CEILING	
CONC	CONCRETE	
CONT	CONTINUOUS	
CNR	CORNER	
DBL	DOUBLE	
DEL	DELETE	
DET / DTL	DETAIL	
DWG	DRAWING(S)	
(E)	EXISTING	
EA	EACH	
ELEV	ELEVATION	
EXT	EXTERIOR	
ETD	EXTEND	
FIN	FINISH/FINISHING	
FLR	FLOOR	
FND	FOUNDATION	
HORIZ	HORIZONTAL	
HT	HEIGHT	
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	
INT	INTERIOR, INTERSECTION	
MAX	MAXIMUM	
MIN	MINIMUM	
(N)	NEW	
NTS	NOT TO SCALE	
RF	ROOF	
SQ	SQUARE	
STD	STANDARD	
TRV	TO BE VERIFIED	
UBC	UNIFORM BUILDING CODE	
UON	UNLESS OTHERWISE NOTED	
UOS	UNLESS OTHERWISE SHOWN	
VERT	VERTICAL	
VIF	VERIFY IN FIELD	
W/	WITH	
W/I	WITHIN	
W/O	WITHOUT	

**BUILDING DATA**

<p><b>LEGAL OWNER:</b> WEST COAST LAND AND DEVELOPMENT, INC. 145 JOHN GLENN DRIVE CONCORD, CA 94520 <b>PROJECT ADDRESS:</b> 0 PACHECO BLVD MARTINEZ, CA 94553</p>	<p><b>PROPOSED AREA:</b> BUILDING 1ST FLOOR ..... 7,389 SQ. FT. BUILDING 2ND FLOOR ..... 7,429 SQ. FT. BUILDING 3RD FLOOR ..... 7,429 SQ. FT. COVERED PARKING ..... 2,650 SQ. FT. TRASH ENCLOSURE ..... 276 SQ. FT. BIKE LOCKERS ..... 76 SQ. FT. LOT SIZE ..... 32,830 SQ. FT.</p>
<p><b>APN:</b> 380-220-066 <b>SIZE:</b> 0.75 ACRES <b>ZONING:</b> M-29 <b>EXISTING STRUCTURES:</b> NONE</p>	<p><b>LOT COVERAGE:</b> <b>PROPOSED LOT COVERAGE</b> BUILDING FOOTPRINT ..... 7,389 SQ. FT. COVERED PARKING ..... 2,969 SQ. FT. TRASH ENCLOSURE ..... 276 SQ. FT. <b>TOTAL</b> ..... 10,619 SQ. FT. <b>ALLOWED</b> 32830 x .35 = 11,490 SQ. FT.</p>
<p><b>PROPOSED STRUCTURES:</b> 24 UNIT BUILDING WITH ASSOCIATED IMPROVEMENTS <b>SIZE:</b> 22,247 SQFT LIVING AREA</p>	<p><b>SETBACK REQUIREMENTS</b> <b>MAIN STRUCTURES</b> FRONT / SIDE / REAR / PARKING 25' MIN. / 20'-0" / 20'-0" / 25'-0" <b>PROPOSED</b> FRONT / SIDE / REAR / PARKING 48' / 20'/82' / 20' / 17.5'</p>
<p><b>PARKING PROPOSED:</b> 16 Covered (2 ADA) 4 EV Spaces 13 Uncovered 4 Guest Parking 33 Total Parking</p>	<p><b>ZONING REQUIREMENTS</b> <b>BUILDING HEIGHT</b> MAX. ALLOWED PROPOSED 30'-0" 37.5' <b>OPEN SPACE</b> REQUIRED PROPOSED 25% 20%</p>
<p><b>TREES TO BE REMOVED:</b> 9 Total, 1 Protected</p>	

**INDEX TO DRAWINGS**

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**CODES IN EFFECT**

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 MECAHNICAL CODE (CMC)
- 2019 PLUMBING CODE (CPC)
- 2019 CALIFORNIA FIRE CODE (CFC)
- 2019 CALIFORNIA ENERGY CODE (CEnc)
- CONTRA COSTA COUNTY MUNICIPAL CODE

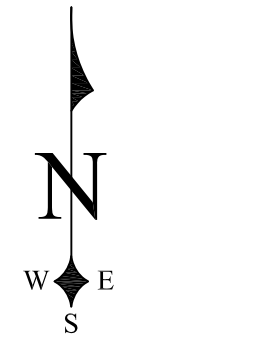
WEST COAST LAND AND DEVELOPMENT, INC.  
145 JOHN GLENN DRIVE  
CONCORD, CA 94520  
(925) 246-2870 WWW.WC.LANDS.COM



CUSTOM APARTMENTS  
WINDHOVER TERRACE APARTMENTS  
0 PACHECO BLVD  
MARTINEZ, CA 94553

GENERAL TITLE SHEET





SCALE: 1" = 20'  
 20' 10' 0' 20'  
 IF PHYSICAL DISTANCE ACROSS SCALE  
 BAR IS NOT EXACTLY TWO (2) INCHES,  
 ADJUST SCALE ACCORDINGLY.

**CONTOUR INTERVAL NOTE**

Contours shown on this survey are plotted at a 1 foot interval.

**BASIS OF BEARINGS NOTE**

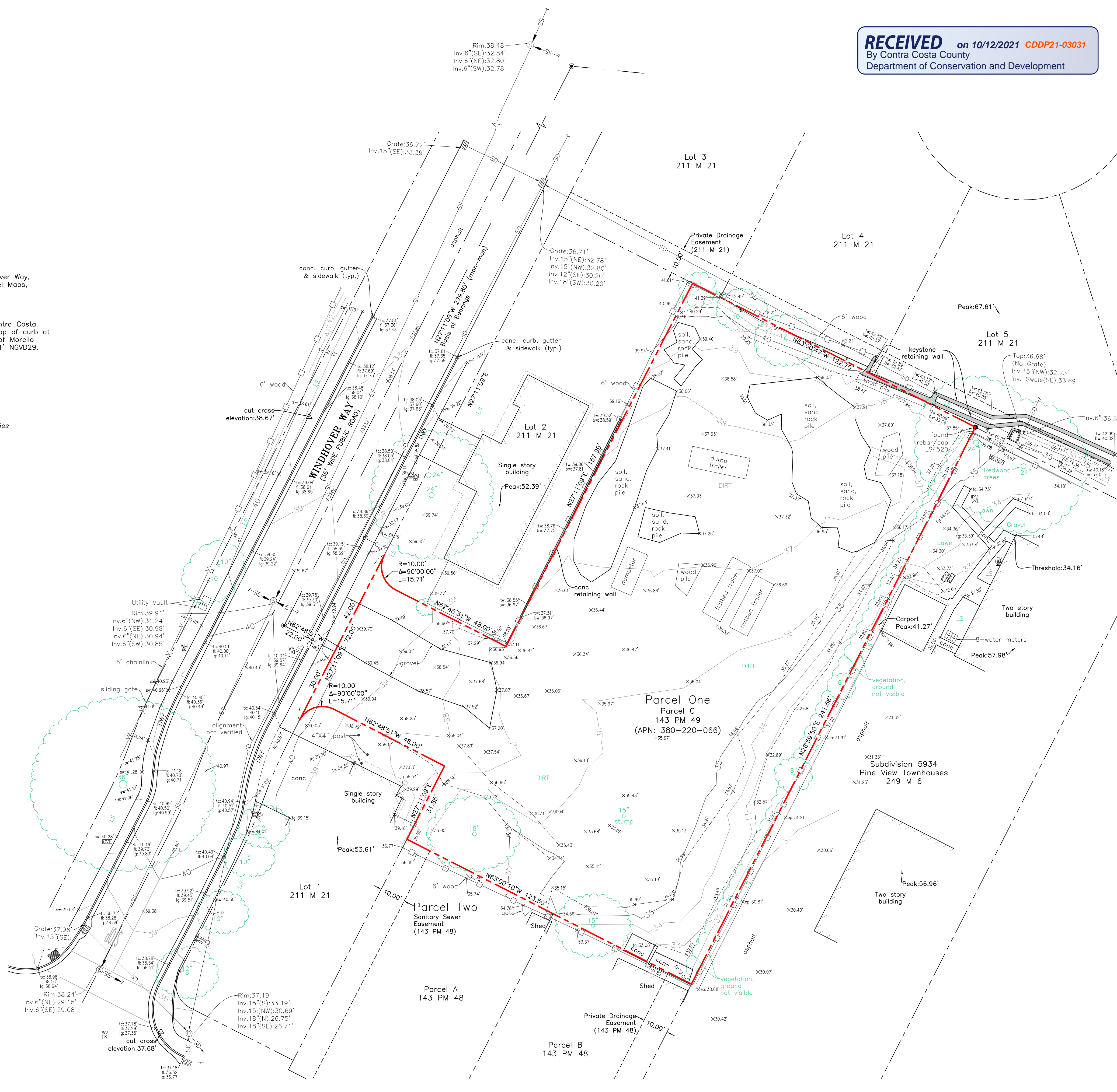
The bearings shown on this survey are based upon the monuments found marking the monument line of Windhover Way, as shown on the Parcel Map filed in Book 143 of Parcel Maps, at Page 49. That bearing was taken as: N27°11'09"E.

**DATUM NOTE**

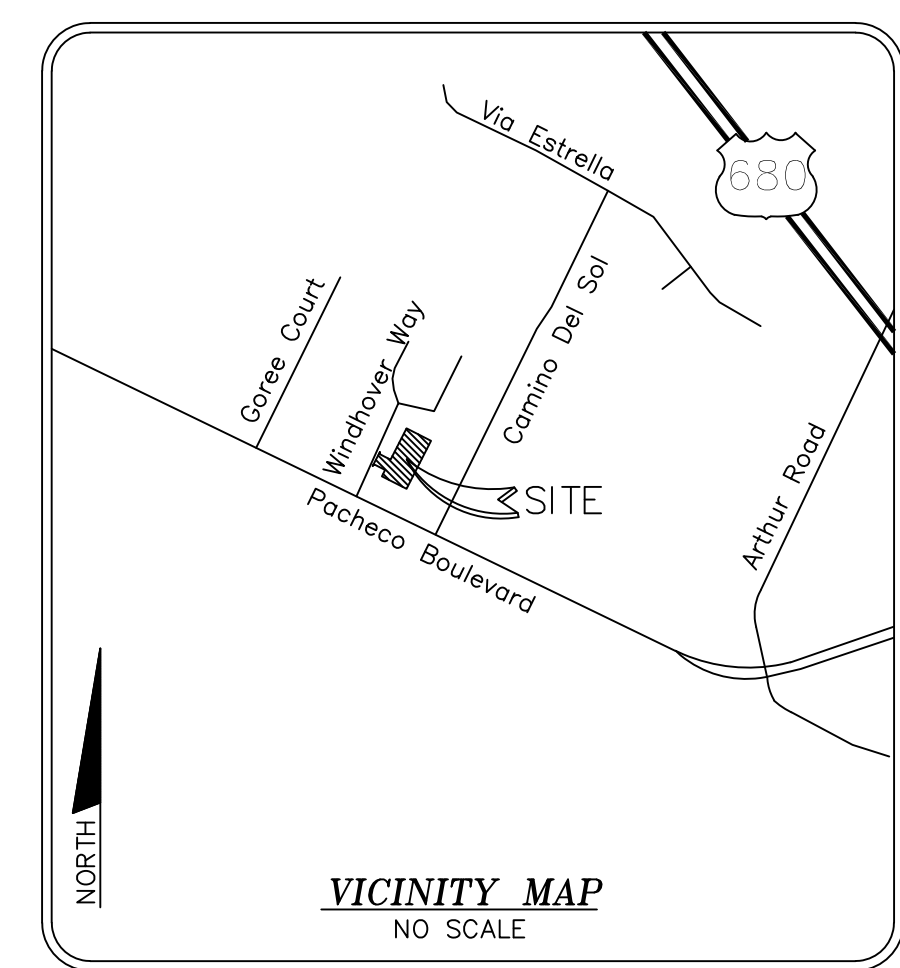
The elevations shown on this survey are based upon Contra Costa County Benchmark No. 3094, Being a nail and tag on top of curb at drain inlet at the south east corner of the intersection of Morello Road and Pacheco Boulevard. Elevation taken as 32.911' NGVD29.

**LEGEND**

- - - Existing easement line
- - - Existing property boundary
- - - Existing parcel lines of adjacent properties
- - - Existing street centerline
- - - Existing street monument line
- - - Underground utility line as noted
- - - Existing building line at ground level
- - - Existing building overhang
- - - Existing grade break
- - - Existing wood fence
- - - Existing chainlink fence
- - - Existing paint line
- - - Existing retaining wall as noted
- - - Existing top of slope
- - - Existing minor contour
- - - Existing major contour
- - - Communication
- - - Concrete
- - - Drainage inlet
- - - Electric
- - - Flow line
- - - Finished Grade
- - - Lip of Gutter
- - - Landscaping
- - - Storm Drain
- - - Sanitary Sewer
- - - Sidewalk
- - - Top of Curb
- - - Water
- - - Fire hydrant
- - - Found well monument(143PM49)
- - - Survey control point as noted
- - - Gas meter
- - - Irrigation valve
- - - Sanitary sewer manhole
- - - Sign
- - - Storm drain manhole
- - - Utility vault as noted
- - - Water backflow device
- - - Water meter
- - - Water valve
- - - Street light
- - - Spot elevation
- - - Tree w/ trunk



**RECEIVED** on 10/12/2021 CDDP21-03031  
 By Contra Costa County  
 Department of Conservation and Development



**TITLE DESCRIPTION**

The legal description for the property surveyed hereon is taken from the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

The land referred to in this Policy is situated in the unincorporated area of the County of Contra Costa, State of California, and is described as follows:

Parcel One: Parcel C, as shown on the Parcel Map filed December 5, 1989, in Book 143 of Parcel Maps, Page 48, Contra Costa County Records.  
 Parcel Two: An easement (not to be exclusive) as an appurtenance to Parcel One above created in reference thereto in the Deed executed by Dinesh Sawhney, et ux, recorded December 7, 1989, in Book 15523, Page 83, Official Records, as follows: "An easement, as an appurtenance to Parcel 'C' of said Subdivision MS 115-88 (143 PM 48) for the purposes of constructing, laying, maintaining and operating sewer pipes and appurtenances together with the reasonable right of access to such easement, over, under across and along the North ten (10) feet of said Parcel 'A', designated "Sanitary Sewer Easement". APN: 380-220-066

**TITLE EXCEPTIONS AND EXCLUSIONS**

- The exceptions and exclusions listed in said policy of title insurance are as follows:
- Items 1-2: Property taxes and the lien of supplemental taxes, if any. This item is not shown hereon, refer to the title report for particulars.
  - Item 3: Matters contained or referred to in instrument entitled "Deferred Improvement Agreement" recorded December 5, 1989 in book 15518, page 881, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.
  - Items 4: Any consequences of the fact that portion of the property lies within the lines of Gull Way as shown on the Map of Subdivision 5210, filed May 31, 1978, in Book 211 of Maps, Page 21, Contra Costa County Records, and the fact that there is not evidence that the public rights over said Gull Way have been abandoned. This item is not shown hereon, refer to the title report for particulars.
  - Item 5 and 6: Deeds of trust recorded July 27, 2015 as document no's. 2015-0155289 and 2015-0155290, Official Records of Contra Costa County. This item is not shown hereon, refer to the title report for particulars.

**SURVEYOR NOTES**

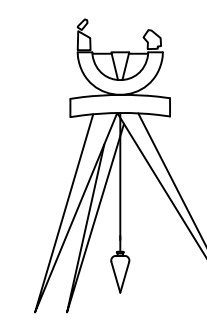
1. All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, party walls, parking, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
2. Utilities shown have been located from visible above-ground, on-site observation only. Therefore the surveyor assumes no liability for the location and or existence of any utilities that may have been concealed at the time of this survey. The locations of underground utilities have not been located and are not included as a portion of this survey. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned.
3. There are no existing buildings on the property.
4. The area of Parcel One (Parcel C-143 PM 49) is 32,830sq±
5. Areas noted as soil, sand, rock pile and vegetation are areas where the ground is not visible and are not surveyed hereon.

**CERTIFICATION**

The boundary and easement information shown hereon is based upon the CLTA standard coverage policy of title insurance dated July 27, 2015, prepared by Old Republic Title Company at 524 Gibson Drive, Roseville, CA, 95678, under Policy Number A04008-FTYA-228446.

This map has been prepared for the sole purpose of showing the location of existing above ground improvements and surface elevations of the subject parcel. All other information shown hereon is for informational purposes only.

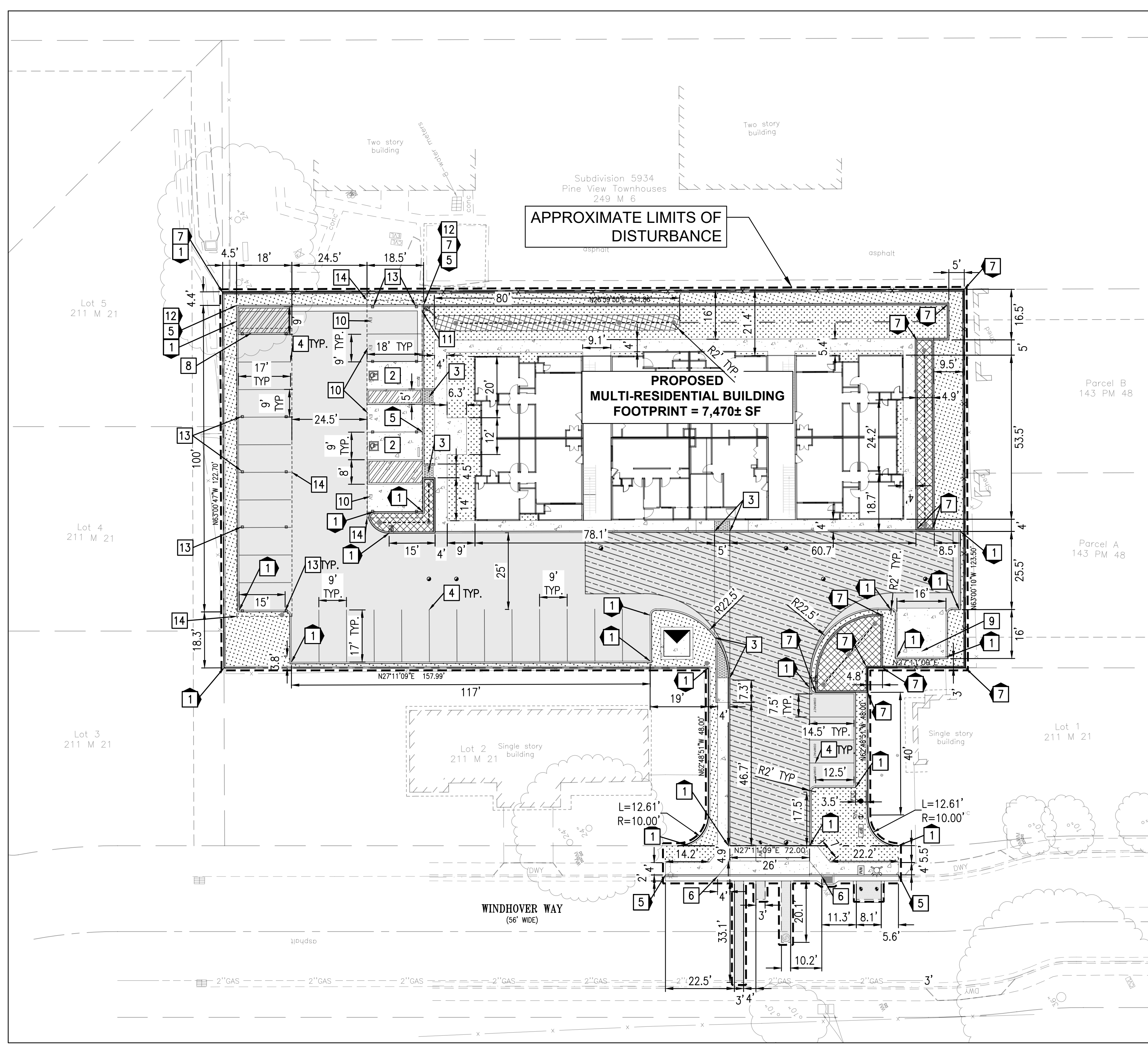
*Brian L. Sousa* Date: July 22, 2019  
 Brian L. Sousa, L.S. 7917



**Topographic Survey**  
 of  
**Parcel C**  
 Book 143 of Parcel Maps, Page 49  
 County of Contra Costa, California  
 Field Survey Date: July 1, 2019

**Sousa Land Surveys**  
 tel 707.425.4300 fax 707.425.4300  
 3809 Rollingwood Dr. Fairfield, CA 94534





**GENERAL NOTES:**

- ALL CURBS ARE PCC VERTICAL BARRIER CURB 6" UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST SAN MATEO COUNTY AND CITY OF MILLBRAE STANDARDS.
- ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**ENGINEER'S ADA NOTES:**

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
- RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
- MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
- ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THESE PLANS AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

**SITE INFORMATION:**

APN: 380-220-066  
 ZONING: M-29 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)  
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'X' PER FIRM PANEL NO: 06001C0059G, DATED AUGUST 3, 2009. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD."

**SUMMARY:**  
 PARCEL AREA = ±32,830 SF (±0.772 ACRES)  
 TOTAL DISTURBED AREA = ±32,830 SF (±0.772 ACRES)  
 PROPOSED BUILDING FOOTPRINT AREA = ± 7,470 SF

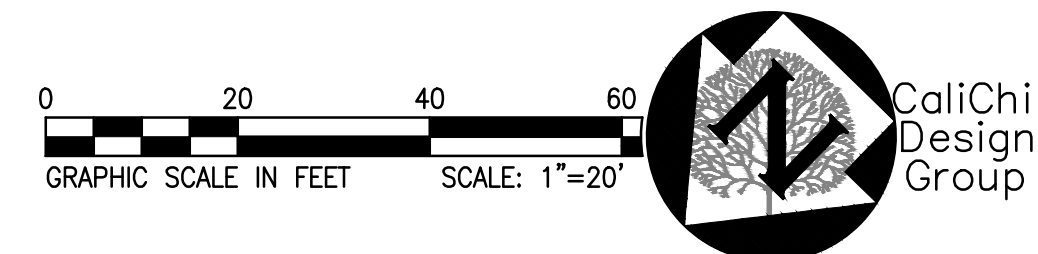
**ON-SITE AREA SUMMARY:**  
 TOTAL DISTURBED ONSITE AREA = ±32,830 SF  
 EXISTING IMPERVIOUS AREA = ± 0 SF  
 EXISTING PERVIOUS AREA = ±32,830 SF  
 PROPOSED IMPERVIOUS AREA = ±26,167 SF (80%)  
 PROPOSED PERVIOUS AREA = ± 6,663 SF (20%)  
 PROPOSED PLANTED AREA = ± 6,663 SF  
 CHANGE IN IMPERVIOUS AREA = ±26,167 SF INCREASE

**PAVED PARKING AREA SUMMARY:**  
 PROPOSED PARKING COUNT = 33  
 PROPOSED PARKING AREA = ± 5,608 SF  
 REQUIRED LANDSCAPE AREA = ± 280 SF  
 PROPOSED LANDSCAPE AREA = ± 1,621 SF

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	WTR
IRR	IRRIGATION WATER LINE	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
G	OVERHEAD ELECTRIC GAS LINE	OE
UE	UNDERGROUND ELECTRIC	G
UT	UNDERGROUND TELEPHONE	
x	FENCE	x
	TREE	
	WATER VALVE/BACK FLOW PREVENTER	
	FIRE HYDRANT	
	WATER METER OR BOX	
	SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN MANHOLE	
	CATCH BASIN/AREA DRAIN	
	STORM CLEANOUT	
	GAS METER/BOX	
	GAS VALVE	
	STREET LIGHT/LIGHT POLE/YARD LIGHT	
	ELECTRIC PEDESTAL/BOX/VAULT	
	ELECTRIC TRANSFORMER	
	STANDARD PCC PAVEMENT	
	STANDARD PERVIOUS AC PAVEMENT	
	STANDARD AC PAVEMENT	
	PROPOSED FIRE LANE	
	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	
	BIORETENTION FLOW THROUGH PLANTER	
	DIRECTIONAL SHEET FLOW LINE	
	RIP RAP	

**SITE PLAN KEY NOTES**

- PROPOSED CONCRETE RETAINING CURB, PER CONTRA COSTA COUNTY STANDARD DETAIL CA71. SEE GRADING PLAN FOR ELEVATIONS.
- PROPOSED ACCESSIBLE PARKING STALL, WITH PCC WHEELSTOP, ACCESSIBLE LOADING AND ACCESSIBLE MARKING.
- PROPOSED ADA ACCESSIBLE RAMP WITH DEPRESSED CURB AND DETECTIBLE WARNING, PER CALTRANS STANDARD DETAILS A88A AND A88B.
- PROPOSED 4" WIDE PARKING STRIPE. TRAFFIC WHITE PAINT, MINIMUM TWO COATS.
- PROPOSED CONCRETE CURB AND GUTTER, PER CONTRA COSTA COUNTY STANDARD DETAIL CA71.
- PROPOSED CONCRETE DRIVEWAY RAMP, PER CONTRA COSTA COUNTY STANDARD DETAIL CA72.
- PROPOSED RETAINING WALL. SEE GRADING PLAN FOR ELEVATIONS AND STRUCTURAL PLANS FOR DETAIL.
- PROPOSED DEAD END PARKING TURN-AROUND SPACE
- PROPOSED TRASH ENCLOSURE LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED ELECTRICAL VEHICLE CHARGING SPACE.
- PROPOSED CURB CUT FOR DRAINAGE.
- PROPOSED GUTTER.
- PROPOSED PARKING CANOPY SUPPORT COLUMN. SEE ARCHITECTURAL PLANS.
- PROPOSED PARKING CANOPY OVERHANG. SEE ARCHITECTURAL PLANS.



**ENGINEERS NOTE TO THE CONTRACTOR:**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CALL 811 OR 1-800-227-2600  
**CALL BEFORE YOU DIG**  
 UNDERGROUND SERVICE ALERT  
 WWW.USANORTH.ORG  
 CALL TWO WORKING DAYS BEFORE YOU DIG

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 jcoowe6@gmail.com  
 www.architectural-concepts.net

NOT FOR CONSTRUCTION

**CALICHI**  
 CALICHI DESIGN GROUP  
 CIVIL ENGINEERS

3240 PERALTA STREET, #3  
 OAKLAND, CA 94660  
 (510) 255-7877  
 WWW.CALICHI.COM

**GULWAY APARTMENTS  
 WINDHOVER WAY  
 APN: 380-220-066  
 MARTINEZ, CA**

PLANNING	DATE
R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

REVISIONS DATE

JOB: DATE: 2022/03/15

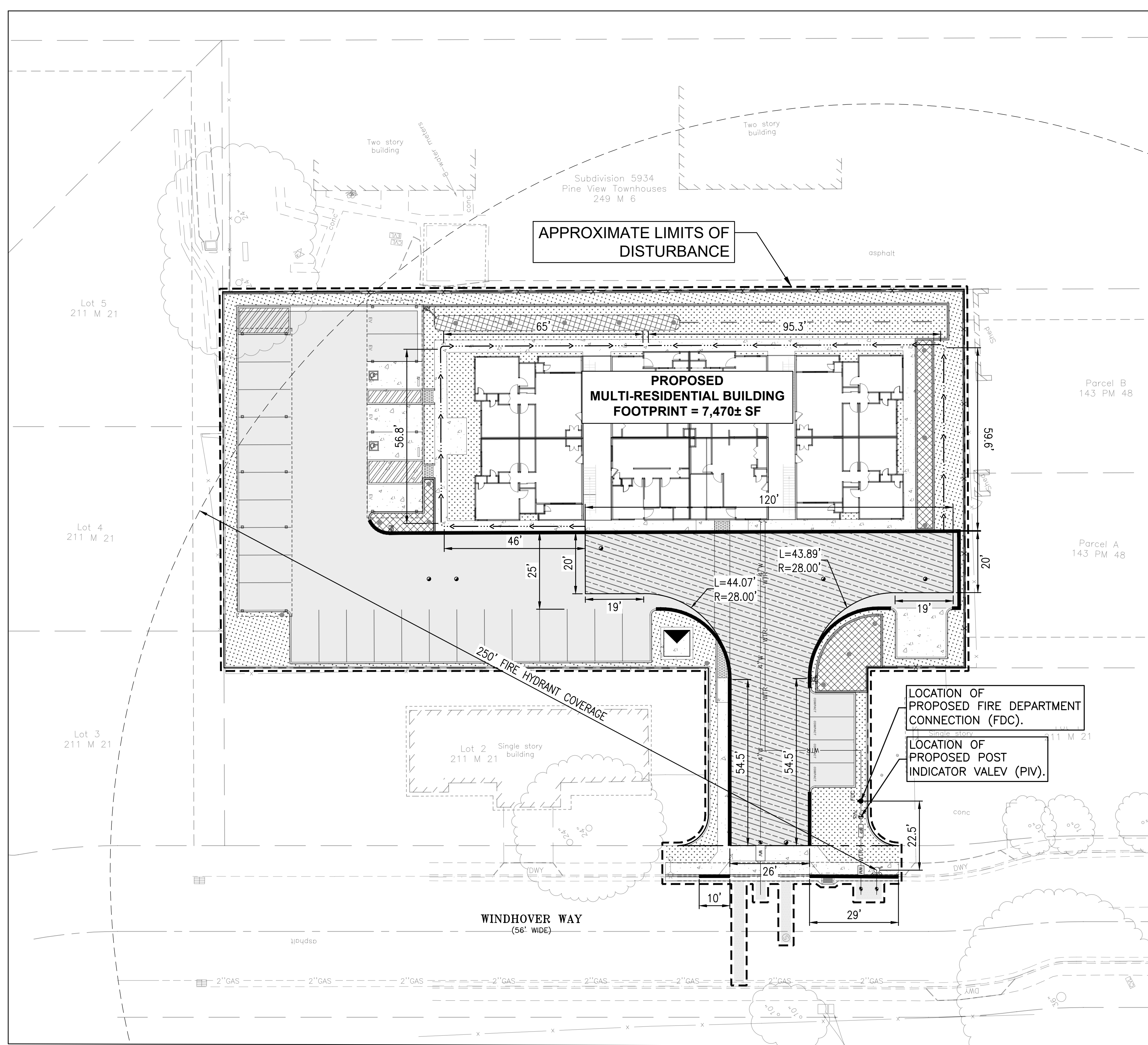
SHEET TITLE:

SITE, PAVING, AND HORIZONTAL CONTROL PLAN

SHEET NO.

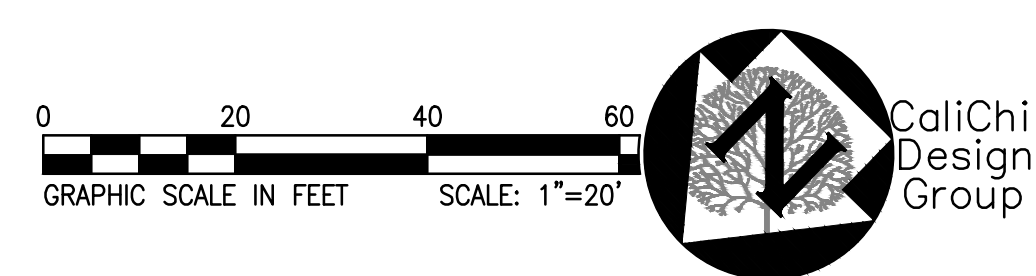
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REVISION NO. 0



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	WATER LINE	---
---	FIRE PROTECTION WATER LINE	---
---	IRRIGATION WATER LINE	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	OVERHEAD ELECTRIC	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND TELEPHONE	---
---	FENCE	---
---	TREE	---
---	WATER VALVE/BACK FLOW PREVENTER	---
---	FIRE HYDRANT	---
---	WATER METER OR BOX	---
---	SEWER MANHOLE	---
---	SANITARY SEWER CLEANOUT	---
---	STORM DRAIN MANHOLE	---
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---	STANDARD PCC PAVEMENT	---
---	STANDARD PERVIOUS AC PAVEMENT	---
---	STANDARD AC PAVEMENT	---
---	PROPOSED FIRE LANE	---
---	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	---
---	BIORETENTION FLOW THROUGH PLANTER	---
---	DIRECTIONAL SHEET FLOW LINE	---
---	RIP RAP	---

FIRE PLAN LEGEND	
---	HOSE LENGTH
---	RED CURB DENOTING NO PARKING - FIRE LANE (SEE PLAN FOR DIMENSIONS). NOTE THAT ALL RED CURBS SHALL HAVE "NO PARKING - FIRE LANE" SIGNS EVERY 100-LF



**ARCHITECTURAL CONCEPTS**  
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**CALICHI**  
 CALICHI DESIGN GROUP  
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**GULWAY APARTMENTS**  
**WINDHOVER WAY**  
 APN: 380-220-066  
 MARTINEZ, CA

REVISIONS	DATE
PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

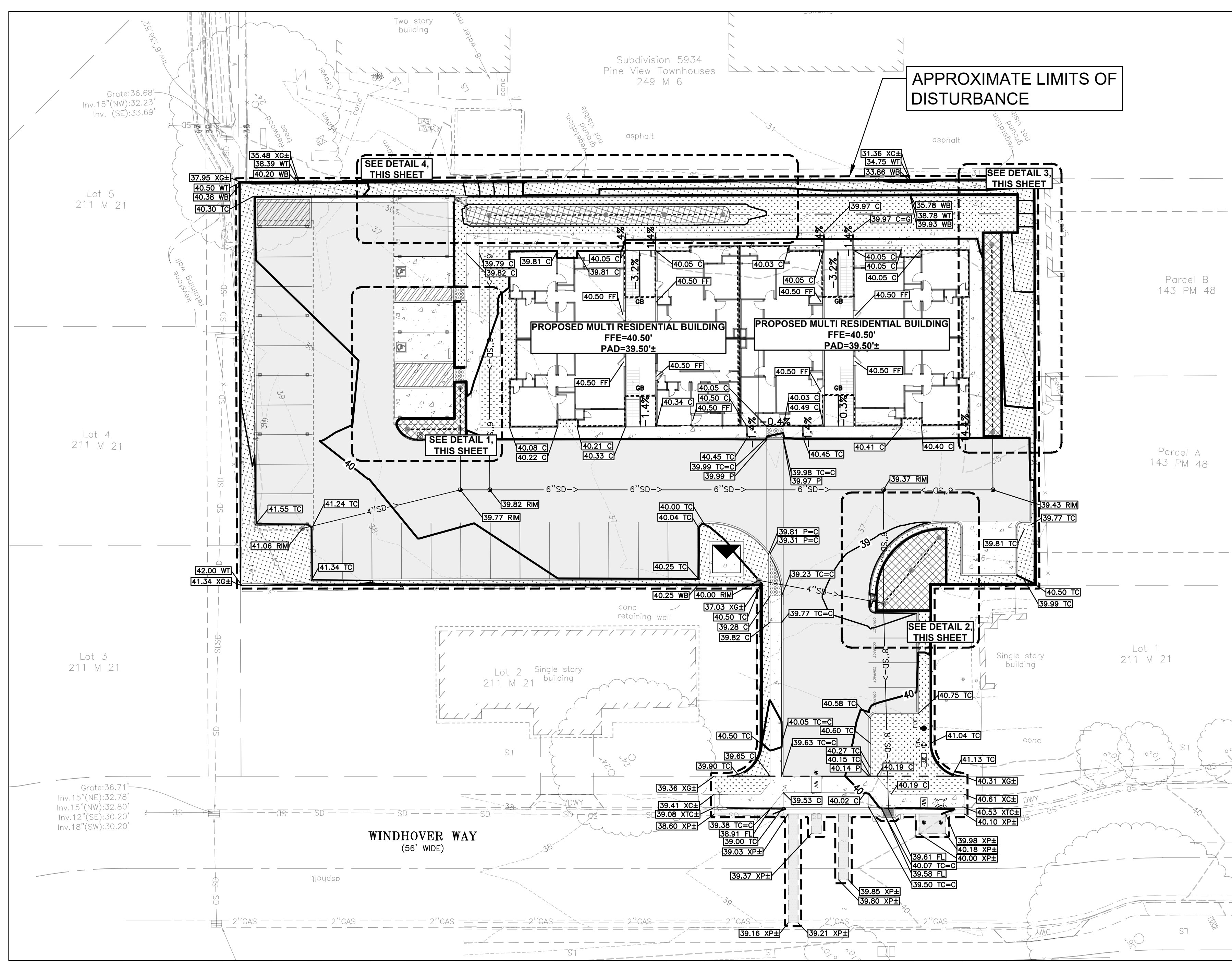
JOB:  
 DATE: 2022/03/15

SHEET TITLE:  
 FIRE PROTECTION EXHIBIT

SHEET NO.  
**C1.1**  
 REVISION NO. 0



APPROXIMATE LIMITS OF DISTURBANCE



**EARTHWORK EG TO FG CALCULATIONS**

SITE CUT	7 CUBIC YARDS
SITE FILL	3803 CUBIC YARDS
NET	3796 CUBIC YARDS (FILL)

NOTE:  
\*QUANTITIES SHOWN ARE APPROXIMATE. NO ALLOWANCE HAS BEEN PROVIDED FOR UNSUITABLE SOILS OR SHRINK/SWELL FACTORS. EXISTING SITE PAVEMENT AND TOPSOIL CONDITIONS TO BE VERIFIED IN FIELD PRIOR TO EXCAVATION.

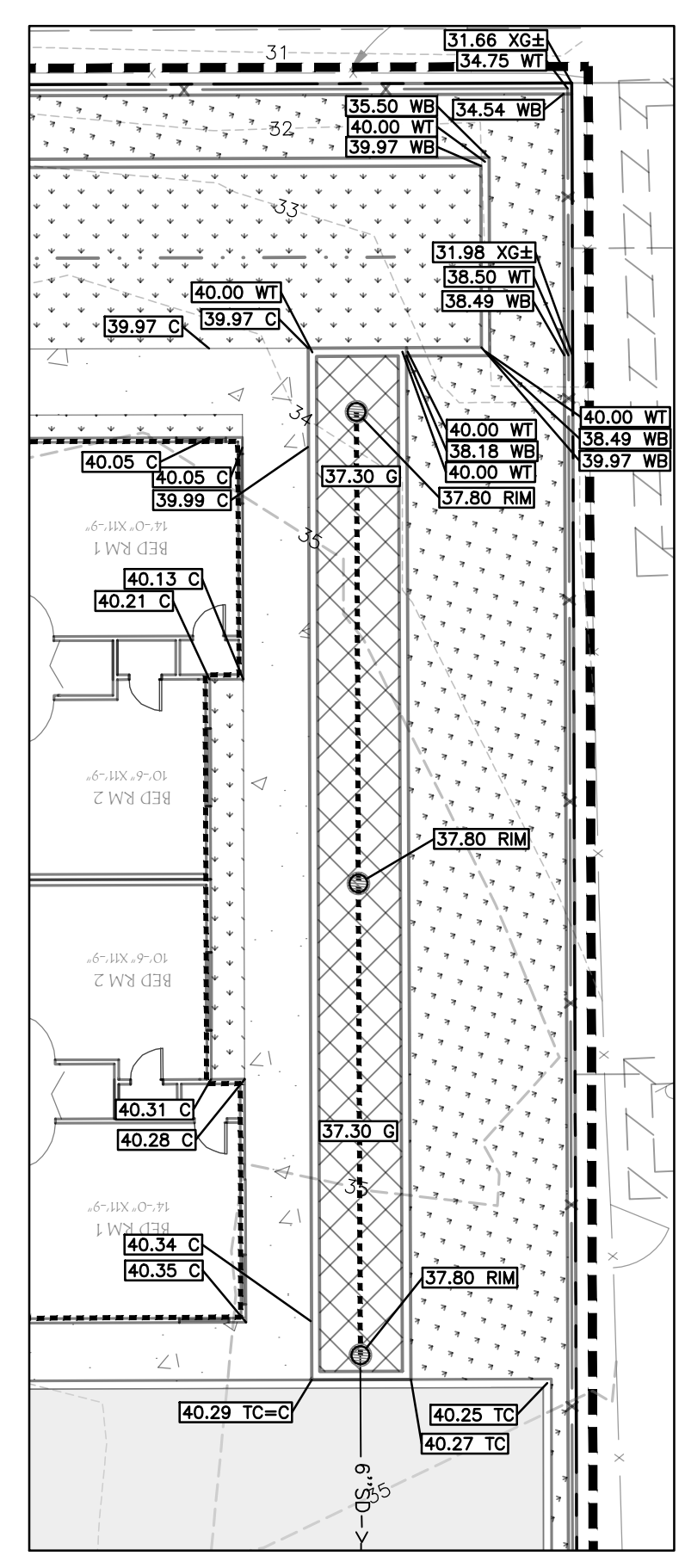
**GRADING NOTES:**

- ALL GRADE BREAKS SHALL BE CONSTRUCTED AS A VERTICAL CURVE TO AVOID ANY DEFINED CRESTS OR SUMPS.
- UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) AND CONCRETE ELEVATION(C) IS 6" BELOW THE TOP OF CURB (TC) ELEVATION.

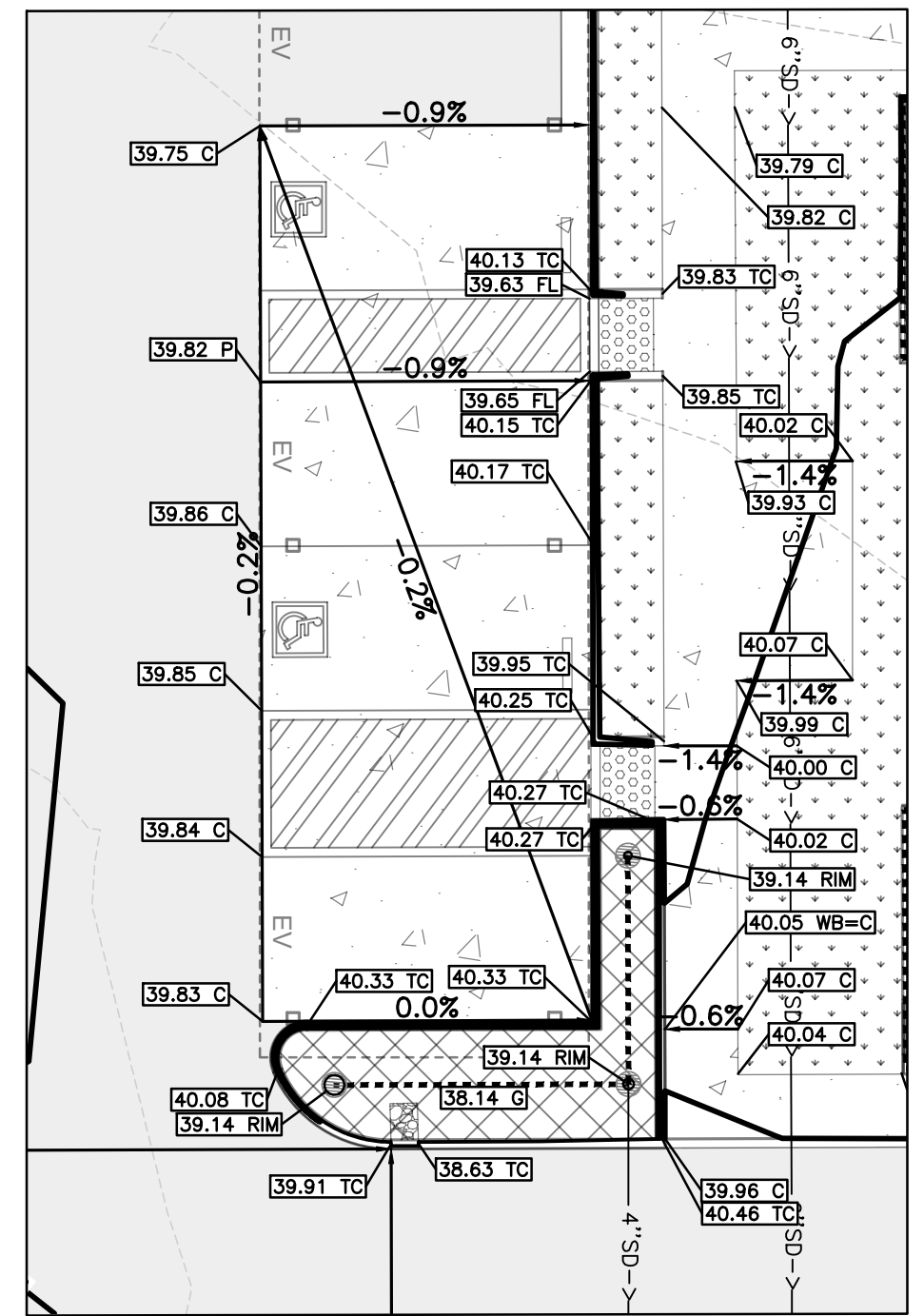
<b>PROPOSED</b>	<b>LEGEND</b>	<b>EXISTING</b>
---	PROPERTY LINE	---
---	EASEMENT LINE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
9	1-FOOT CONTOUR	9
10	5-FOOT CONTOUR	10
WTR	WATER LINE	WTR
FP	FIRE PROTECTION WATER LINE	WTR
IRR	IRRIGATION WATER LINE	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
G	OVERHEAD ELECTRIC	OE
UE	UNDERGROUND ELECTRIC	UE
UT	UNDERGROUND TELEPHONE	UT
X	FENCE	X
	TREE	
	WATER VALVE/BACK FLOW PREVENTER	
	FIRE HYDRANT	
	WATER METER OR BOX	
	SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN MANHOLE	
	CATCH BASIN/AREA DRAIN	
	STORM CLEANOUT	
	GAS METER/BOX	
	GAS VALVE	
	STREET LIGHT/LIGHT POLE/YARD LIGHT	
	ELECTRIC PEDESTAL/BOX/Vault	
	ELECTRIC TRANSFORMER	
	STANDARD PCC PAVEMENT	
	STANDARD PERVIOUS AC PAVEMENT	
	STANDARD AC PAVEMENT	
	PROPOSED FIRE LANE	
	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	
	BIORETENTION FLOW THROUGH PLANTER	
	DIRECTIONAL SHEET FLOW LINE	
	RIP RAP	

**SPOT GRADING LEGEND**

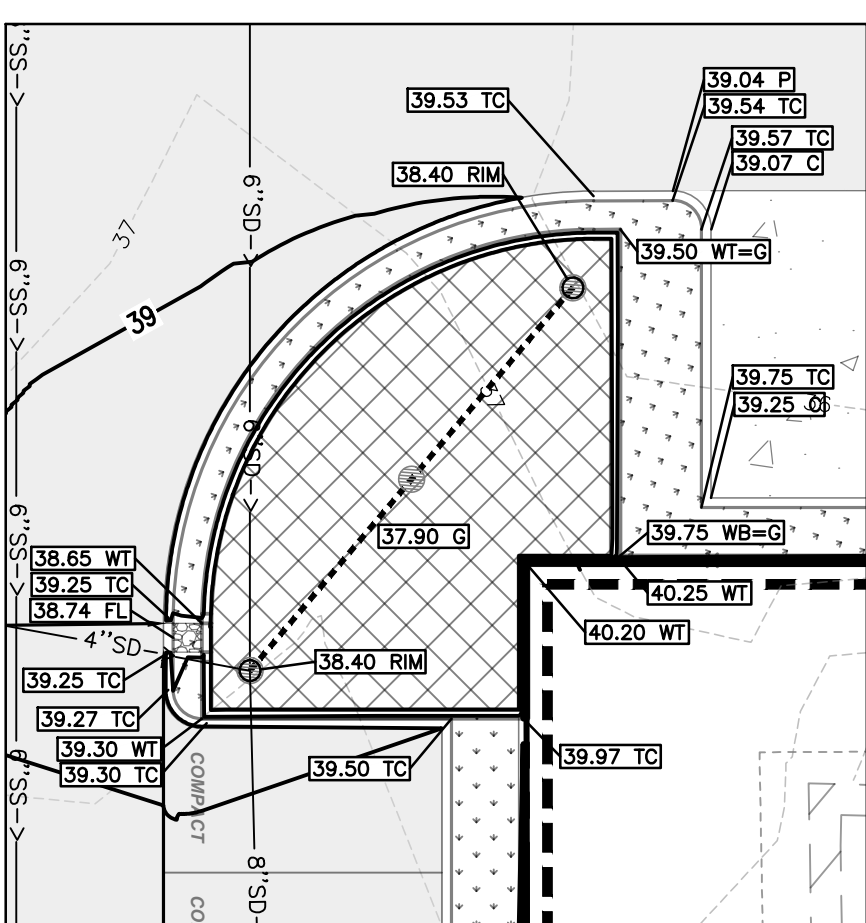
- 80.00 X=C INDICATES ELEVATION TO MATCH EXISTING ITEM
- 80.00 TC INDICATES ELEVATION AT TOP OF CURB
- 80.00 G INDICATES ELEVATION AT FINISHED GROUND
- 80.00 C INDICATES ELEVATION AT TOP OF CONCRETE
- 80.00 FL INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER
- 80.00 RIM INDICATES RIM ELEVATION OF UTILITY
- 80.00 P INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- 80.00 TC=C INDICATES TOP OF CURB EQUAL TO CONCRETE ELEVATION
- 80.00 TC=P INDICATES TOP OF CURB EQUAL TO ASPHALT PAVEMENT ELEVATION
- 80.00 SB INDICATES ELEVATIONS AT BOTTOM OF STAIRS.
- 80.00 ST INDICATES ELEVATION AT TOP OF STAIRS
- 80.00 WB INDICATES ELEVATION AT BOTTOM OF WALL
- 80.00 WT INDICATES ELEVATION AT TOP OF WALL
- 80.00 FF INDICATES ELEVATION AT FLOOR FINISH
- 1.5% DRAINAGE ARROW AND PROPOSED SLOPE
- GB GRADE BREAK
- INDICATES FINISH FLOOR ELEVATION



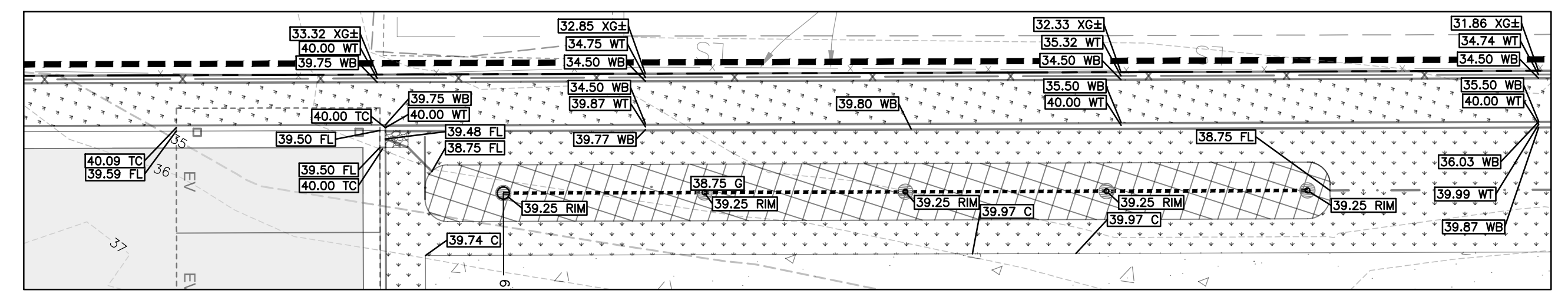
**DETAIL 3**  
SCALE: 1"=10'



**DETAIL 1**  
SCALE: 1"=10'



**DETAIL 2**  
SCALE: 1"=10'



**DETAIL 4**  
SCALE: 1"=10'

0 20 40 60  
GRAPHIC SCALE IN FEET SCALE: 1"=20'

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UNDERGROUND SERVICE ALERT  
WWW.USANORTH.ORG  
CALL TWO WORKING DAYS BEFORE YOU DIG

**ENGINEERS NOTE TO THE CONTRACTOR:**  
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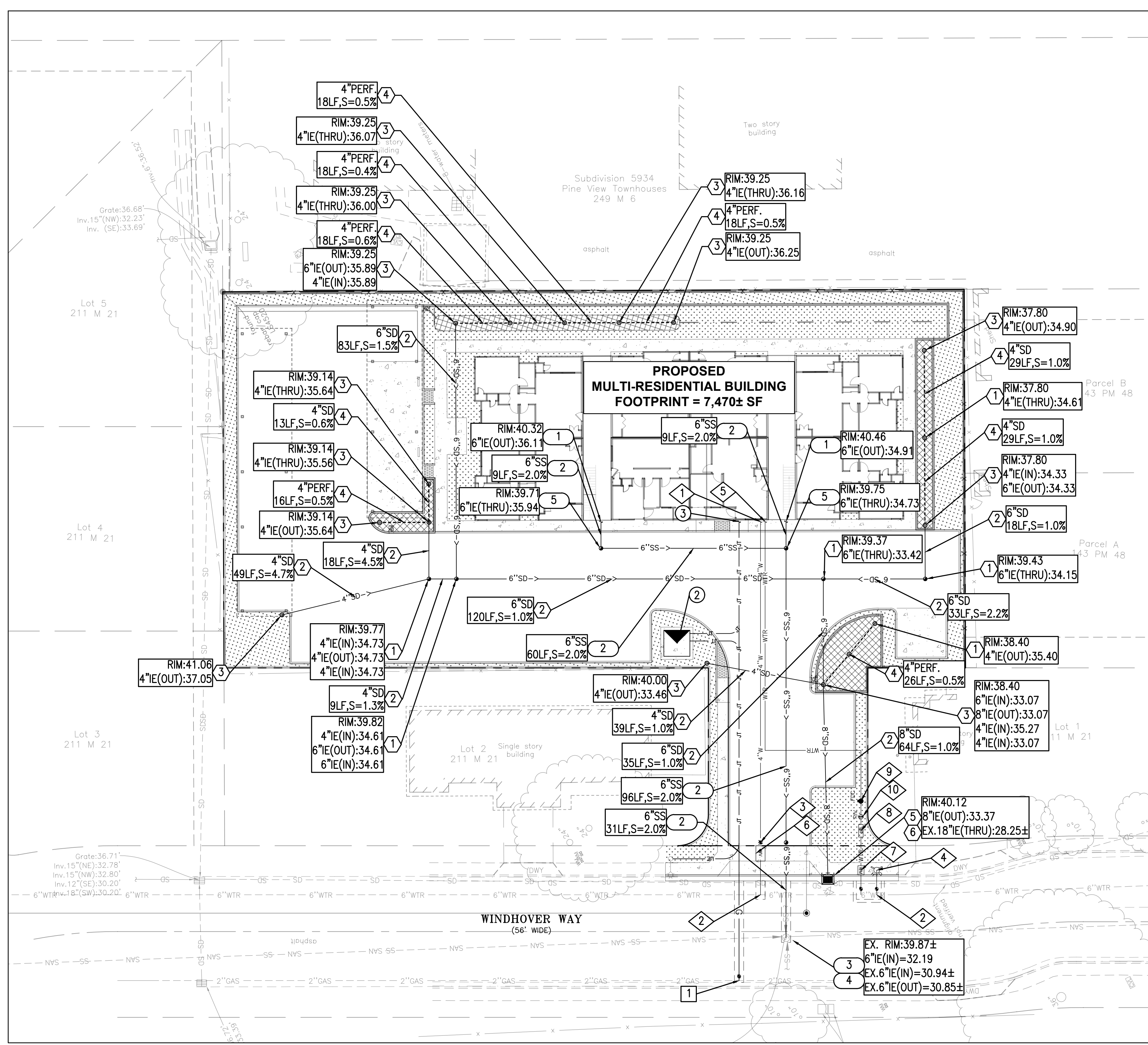
PLANNING R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22
<b>REVISIONS</b>	<b>DATE</b>
<b>JOB:</b>	
<b>DATE:</b>	2022/03/15

**SHEET TITLE:**  
GRADING AND DRAINAGE PLAN

**SHEET NO.**  
C2.0

**REVISION NO. 0**





**STORM DRAIN KEY NOTES**

- ① PROPOSED STORM CLEANOUT.
- ② PROPOSED PVC STORM DRAIN LINE. LENGTH, SIZE AND SLOPE PER PLAN. TRENCH PER CONTRA COSTA COUNTY STANDARD DETAIL CD01.
- ③ PROPOSED STORM DRAIN INLET. RIM AND INVERT ELEVATION PER PLAN.
- ④ PROPOSED 4" PERFORATED PVC PIPE IN BIO-RETENTION PLANTER. LENGTH AND SLOPE PER PLAN.
- ⑤ PROPOSED CATCH BASIN, PER CONTRA COSTA COUNTY STANDARD DETAIL CD20. RIM AND INVERT PER PLAN.
- ⑥ CONNECT PROPOSED STORM DRAIN CATCH BASIN TO EXISTING 18" MAIN.

**DRY UTILITY KEY NOTES**

- ① PROPOSED GAS SERVICE AND DATA/ELECTRIC/TELEPHONE PVC SERVICE CONDUITS TO BUILDING. SEE ONSITE GAS PLANS, PG&E PLANS, AND ELECTRICAL PLANS AND DATA PROVIDER PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- ② PROPOSED UNDERGROUND JOINT TRENCH VAULT WITH TRANSFORMER BY OTHERS. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.
- ③ PROPOSED UNDER-GROUND CONNECTION POINT TO EXISTING LIGHT POLE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

**GAS SERVICE KEY NOTES**

- ① CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE. SEE PG&E AND JOINT TRENCH PLANS FOR DETAIL.

**WATER KEY NOTES**

- ① PROPOSED 4" DOMESTIC WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- ② CONNECT PROPOSED WATER LINE TO EXISTING 6" WATER MAIN IN WINDHOVER WAY. CONTRACTOR TO VERIFY EXISTING SIZE AND PIPE MATERIAL DURING DEMOLITION AND NOTIFY ENGINEER OR ANY DISCREPANCIES.
- ③ PROPOSED RESIDENTIAL WATER VALVE.
- ④ PROPOSED FIRE HYDRANT ASSEMBLY, PER CCWD DETAIL SD-5
- ⑤ PROPOSED 6" FIRE WATER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- ⑥ PROPOSED 6" DOMESTIC WATER METER AND VAULT.
- ⑦ PROPOSED 6" FIRE WATER UNDERGROUND SINGLE DETECTOR CHECK WITH METER ASSEMBLY.
- ⑧ PROPOSED BACKFLOW PREVENTER ASSEMBLY FOR PROPOSED 6" FIRE WATER.
- ⑨ PROPOSED STANDPIPE FIRE DEPARTMENT CONNECTION (FDC).
- ⑩ PROPOSED POST INDICATOR VALVE (PIV).

**SANITARY SEWER KEY NOTES**

- ① PROPOSED 6" SANITARY SEWER POINT OF CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- ② PROPOSED 6" DIAMETER PVC PIPE. LENGTH AND SLOPE PER PLAN. TRENCH PER CCCSD DETAIL DWG-14 AND DWG-15.
- ③ PROPOSED SANITARY SEWER MANHOLE, PER CCCSD DETAIL DWG-1. RIM AND INVERT PER PLAN.
- ④ CONNECT PROPOSED SANITARY SEWER MAN HOLE TO EXISTING SANITARY SEWER MAIN. INVERT PER PLAN.
- ⑤ PROPOSED SANITARY SEWER CLEANOUT, PER CCCSD DETAIL DWG-23. RIM AND INVERT PER PLAN.

**UTILITY NOTES:**

- 1. JOINT TRENCH, ELECTRICAL, DATA, AND GAS ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY EACH UTILITY COMPANY SERVICE PROVIDER AND ELECTRICAL PLANS FOR DETAILS.

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SD	STORM DRAIN LINE	SD
G	OVERHEAD ELECTRIC	OE
UE	GAS LINE	G
UT	UNDERGROUND ELECTRIC	
X	UNDERGROUND TELEPHONE	
	FENCE	X
	TREE	
	WATER VALVE/BACK FLOW PREVENTER	
	FIRE HYDRANT	
	WATER METER OR BOX	
	SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
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	CATCH BASIN/AREA DRAIN	
	STORM CLEANOUT	
	GAS METER/BOX	
	GAS VALVE	
	STREET LIGHT/LIGHT POLE/YARD LIGHT	
	ELECTRIC PEDESTAL/BOX/VAULT	
	ELECTRIC TRANSFORMER	
	STANDARD PCC PAVEMENT	
	STANDARD PERVIOUS AC PAVEMENT	
	STANDARD AC PAVEMENT	
	PROPOSED FIRE LANE	
	LANDSCAPE AREA. SEE LANDSCAPE FOR DETAILS.	
	BIORETENTION FLOW THROUGH PLANTER	
	DIRECTIONAL SHEET FLOW LINE	
	RIP RAP	



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R2	22/03/15
PLANNING RESUBMITTAL	19/10/08
SCP SUBMITTAL	19/08/22

REVISIONS DATE

JOB:

DATE: 2022/03/15

SHEET TITLE:

UTILITY PLAN

SHEET NO.

C3.0

REVISION NO. 0



Project Name: Gulway Apartment  
 Project Type: Treatment Only  
 APN: 380-220-066  
 Drainage Area: 32,830  
 Mean Annual Precipitation: 16.3

**II. Self-Retaining Areas**

Self-Retaining DMA	
DMA Name	Area (sq ft)
LS-6	49
LS-5	13
LS-4	13
LS-3	80
LS-2	530
LS-1	5,968

**III. Areas Draining to Self-Retaining Areas**

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self-Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
GRND-5	110	Concrete or Asphalt	1.0	110.0	LS-1	5,968	0.02

**IV. Areas Draining to IMPs**

IMP Name: IMP1  
 IMP Type: Bioretention Facility  
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
ROOF-11	736	Conventional Roof	1.00	736	0.040	1.000	29	306
<b>Total</b>				736				

IMP Name: IMP2  
 IMP Type: Bioretention Facility  
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume			
GRND-1	5,785	Concrete or Asphalt	1.00	5,785	0.040	1.000	382	385			
ROOF-6	1,659	Conventional Roof	1.00	1,659							
ROOF-7	564	Conventional Roof	1.00	564							
ROOF-8	471	Conventional Roof	1.00	471							
ROOF-9	834	Conventional Roof	1.00	834							
ROOF-10	246	Conventional Roof	1.00	246							
<b>Total</b>				9,559							

IMP Name: IMP3  
 IMP Type: Bioretention Facility  
 Soil Group: IMP3

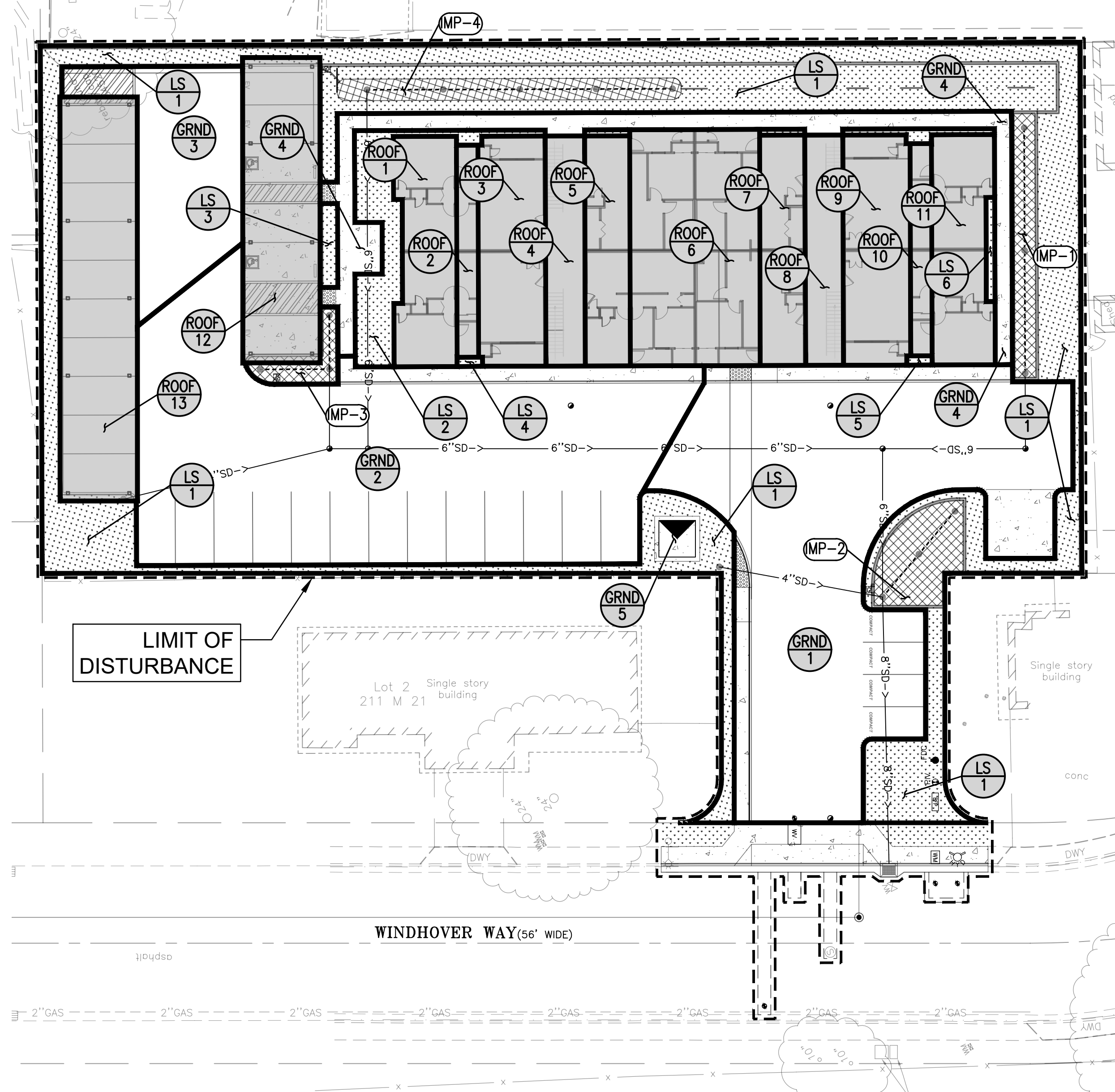
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
GRND-2	6,042	Concrete or Asphalt	1.00	6,042	0.040	1.000	242	*149
<b>Total</b>				6,042				

IMP Name: IMP4  
 IMP Type: Bioretention Facility  
 Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume			
GRND-4	1,196	Concrete or Asphalt	1.00	1,196	0.040	1.000	346	397			
GRND-3	1,366	Concrete or Asphalt	1.00	1,366							
ROOF-1	736	Conventional Roof	1.00	736							
ROOF-2	246	Conventional Roof	1.00	246							
ROOF-3	834	Conventional Roof	1.00	834							
ROOF-4	489	Conventional Roof	1.00	489							
ROOF-5	561	Conventional Roof	1.00	561							
ROOF-12	1,278	Conventional Roof	1.00	1,278							
ROOF-13	1,937	Conventional Roof	1.00	1,937							
<b>Total</b>				8,643							

\* NOTE: IMP3 PONDING DEPTH TO BE 12" (6" STANDARD). THEREBY DOUBLING THE VOLUMETRIC TREATMENT CAPACITY (149 X2 = 298).

Report generated on 2/14/2022 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



**ON-SITE BIORETENTION FACILITY MAINTENANCE PLAN**

**ROUTINE MAINTENANCE (MONTHLY INSPECTIONS, OR AS NEEDED AFTER STORM EVENTS):**

- INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR AND OBSTRUCTIONS AND REMOVE TRASH, FALLEN LEAVES, AND DEBRIS.
- INSPECT PLANTER BOX AFTER STORMS TO ENSURE STRUCTURAL INTEGRITY OF THE BOX AND THAT THE PLANTER IS NOT CLOGGING, AND IS DRAINING WITHIN 3-4 HOURS AFTER STORM EVENTS. IF PONDED WATER DOES NOT DRAIN, THE SURFACE SOILS SHOULD BE TILLED OR REPLACED AND REPLANTED AS NECESSARY. IF MOSQUITO LARVAE ARE OBSERVED, CONTACT THE COUNTY VECTOR CONTROL DISTRICT AT (510) 567-6800.
- INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH AND REMOVE ANY ACCUMULATION OF SEDIMENT.
- CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY.

**BI-ANNUAL INSPECTION (AT LEAST TWICE A YEAR):**

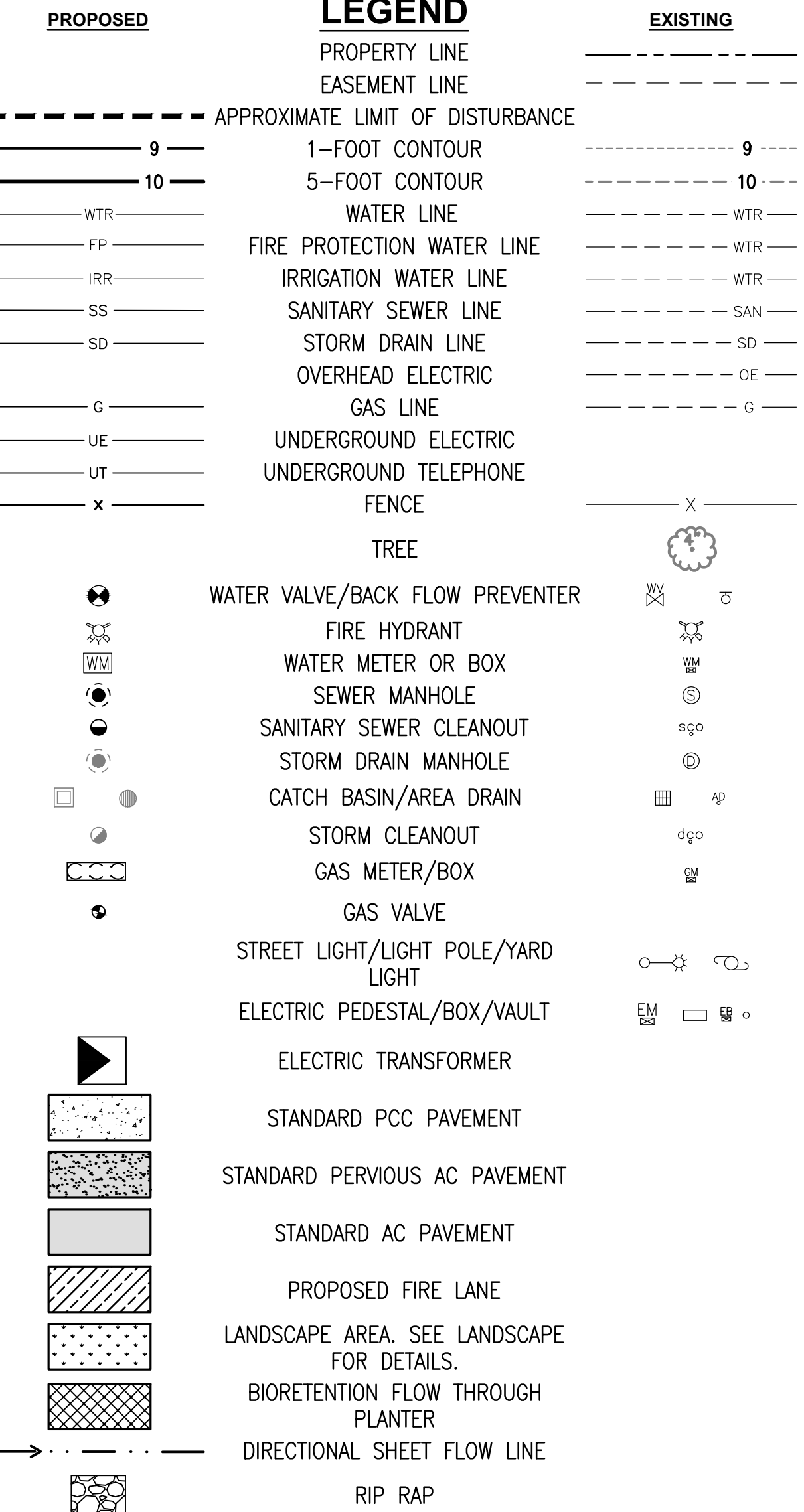
- PRUNE AND WEED THE PLANTER AREA.
- REMOVE AND REPLACE ANY DEAD OR DYING PLANTS.
- TREAT DISEASED PLANTS, AS NEEDED, USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE.
- AVOID THE USE OF PESTICIDES AND QUICK-RELEASE SYNTHETIC FERTILIZERS AND FOLLOW THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). CHECK WITH THE LOCAL JURISDICTION FOR ANY LOCAL POLICIES REGARDING THE USE OF PESTICIDES AND FERTILIZERS.
- MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).

**ANNUAL INSPECTION (JUST PRIOR TO THE WET SEASON):**

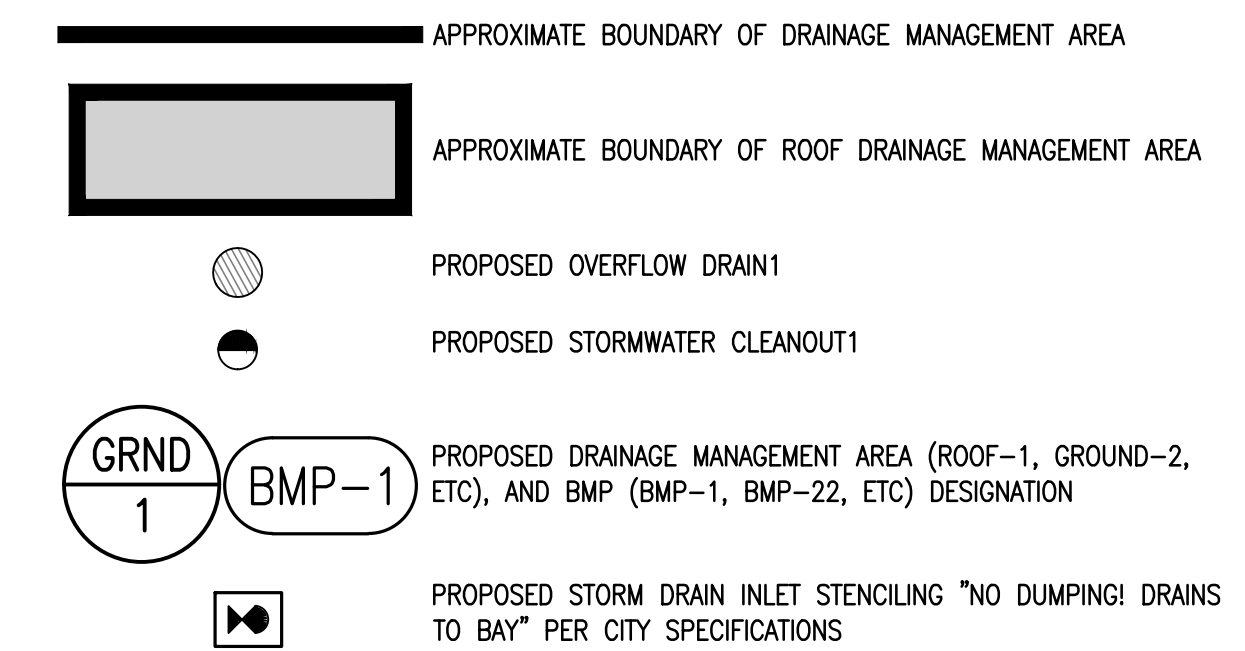
- APPLY 1" TO 2" OF COMPOSED MULCH TO BE APPLIED ONCE A YEAR AND WHEN EROSION IS EVIDENT; SPOT MULCHING MAY BE SUFFICIENT FOR RANDOM VOID AREAS.

**INSPECTION AND MAINTENANCE**

RESPONSIBLE PARTY FOR BMP MAINTENANCE: TBD



**STORMWATER CONTROL LEGEND**



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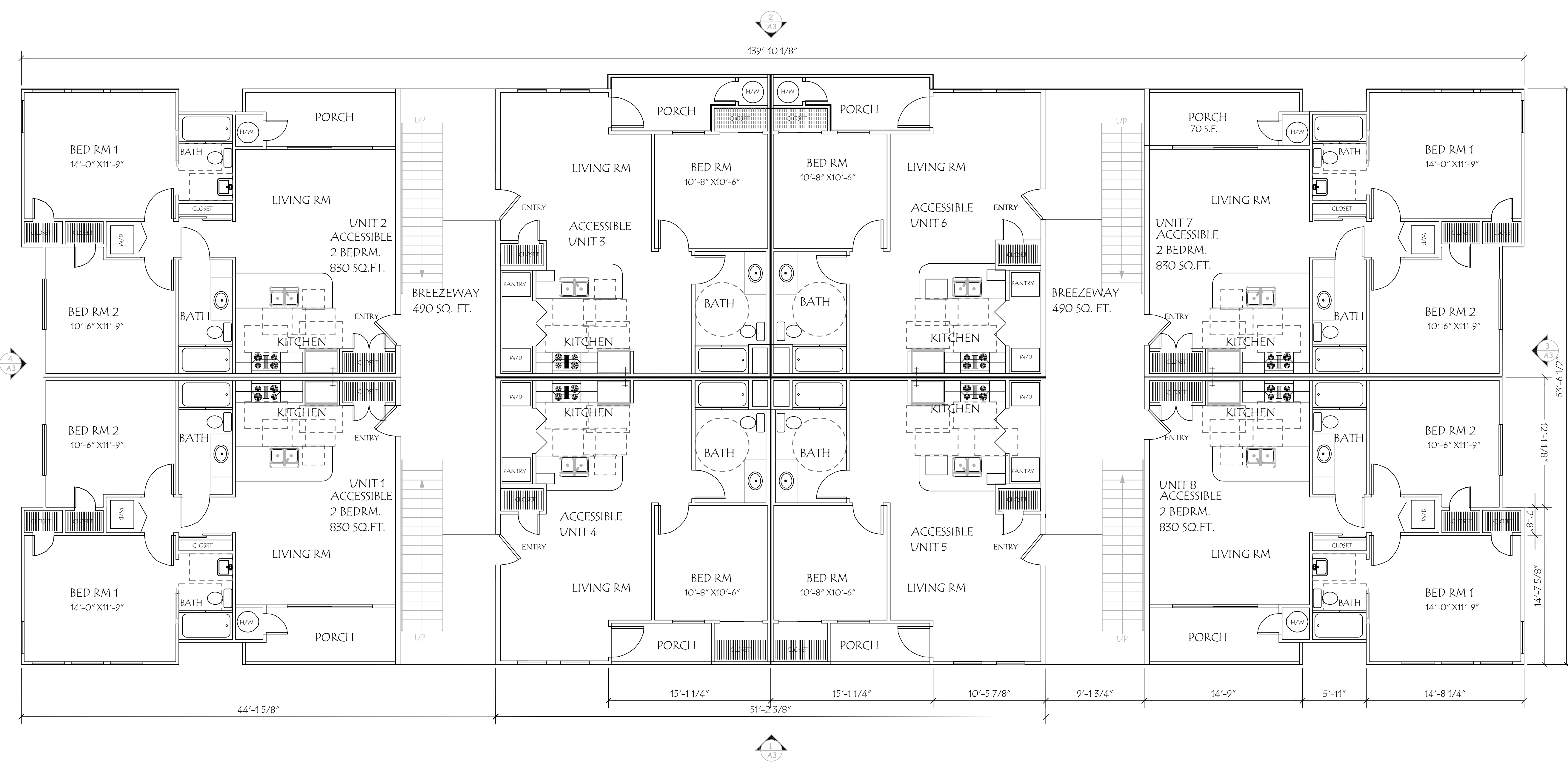
SHEET TITLE:  
**STORM WATER CONTROL PLAN**

SHEET NO.  
**C4.0**  
 REVISION NO. 0



**NOTES**

- 1 REFER TO GENERAL NOTES SHEET "C-1" FOR ADDITIONAL INFORMATION
- 2 REFER TO ELECTRICAL PLANS FOR LOCATIONS OF ALL SWITCHES, LIGHTS, RECEPTACLES, SMOKE DETECTORS, ETC.
- 3 SMOKE DETECTORS SHALL BE PERMANENTLY WIRED AND SHALL BE EQUIPPED WITH 24 HOUR BATTERY BACKUP.
- 4 DUCT PIERCING WALL BETWEEN HOUSE LIVING AREA AND GARAGE SHALL BE 26GA G.I. MATERIAL IN THE GARAGE, SEALED AT EDGES, AND NO OPENINGS INTO GARAGE, SEC 302.4.
- 5 EVERY SLEEPING ROOM SHALL HAVE, AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESCUE. IT SHALL HAVE THE FOLLOWING:
  - A. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
  - B. A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
  - C. A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
  - D. A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
  - E. BARS, GRILLES OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS (UBC 310.4)
- 6 EXTERIOR WALL - EXTERIOR FACE: 7/8" 3-COAT STUCCO OVER TYVEK, 1/2" CDX PLYWOOD, 2X6 WOOD STUDS @ 16" O.C., R-22 HIGH DENSITY INSULATION, INTERIOR FACE: 5/8" GYP, BD, TAPE & TEXTURE LEVEL 5 FINISH.
- 7 INTERIOR WALLS - 2X4 STUDS @ 16" O.C. WITH 5/8" GYP, BD, EACH SIDE. TAPE & TEXTURE LEVEL 5 FINISH. R-13 AT BATHROOM U.O.N.
- 8 PLUMBING WALL - 2X6 STUDS @ 16" O.C. WITH 5/8" WP, GYP, BD, ON WET SIDE AND 5/8" GYP, BD, ON DRY SIDE TAPE & TEXTURE LEVEL 5 FINISH. PROVIDE CEMENT BACKER BD AT TILE INSTALLATIONS R-19 BATT INSULATION AT BATHROOM.
- 9 FLOOR PLAN NOTES: THE FOLLOWING ARE PROVIDED IN EACH UNIT:
  - 10 24" DEEP BASE CABINET WITH 36" HIGH COUNTERTOP AND SPLASH.
  - 11 36" HIGH ISLAND CABINET WITH COUNTERTOP.
  - 12 13" DEEP OVERHEAD CABINET.
  - 13 TWO COMPARTMENT SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS IN MANUFACTURER'S SPECIFICATIONS.
  - 14 30" SLIDE-IN RANGE/OVEN WITH MICROWAVE LIGHT AND EXHAUST FAN ABOVE (DUCT TO OUTSIDE AIR) - VERIFY DIMENSIONS & REQUIRED CLEARANCES WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO FABRICATING CABINETS.
  - 15 36" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RELEASED ON WALL).
  - 16 24" DEEP COUNTERTOP AND SPLASH.
  - 17 BUILT-IN PANTRY W/ SHELVES.
  - 18 32" X 60" ENAMELED STEEL TUB AND SHOWER WITH APPROVED FINISH (3) WALLS TO 80" ABOVE FLOOR - PROVIDE CLEAR TEMPERED GLASS ENCLOSURE AND DOOR (DOOR SHALL HAVE INTEGRAL TOWER BAR) - ALL SHOWER AND TUB/SHOWER COMBINATIONS ARE REQUIRED TO HAVE A THERMOSTATIC MIXING VALVE TYPE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE TYPE PER (UPC 410.7). WASHER SPACE PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED WALL.
  - 19 DRYER SPACE - PROVIDE SMOOTH METAL DRYER VENT WITH BACKDRAFT DAMPER - VENT TO OUTSIDE AIR. LENGTH OF CLOTHES DRYER VENT NOT TO EXCEED 14 FT. WITH MAXIMUM OF TWO 90 DEGREE TURNS. TERMINATION TO BE 4"-0" - MINIMUM CLEAR FROM PROPERTY LINE.
  - 20 SHELF AND POLE.
  - 21 SHELF AND DOUBLE POLE.
  - 22 PROVIDE (1) LAYER OF 5/8" TYPE "X" GYP. BD. AT ALL WALLS AND CEILING OF GARAGE.
  - 23 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
  - 24 GAS WATER HEATER ON 18" HIGH PLYWOOD PLATFORM - PROVIDE SEISMIC STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE - THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A DISTANCE OF 4 INCHES ABOVE THE CONTROLS AND INSULATION PER TITLE 24 ENERGY CALCS - PROVIDE PRESSURE RELIEF VALVE WITH 1/2" COPPER DRAIN TO OUTSIDE. (PRIDE WATER HEATER VENT THROUGH ROOF) & 12"X12" LOUVER T&B.
  - 25 FORCED AIR UNIT IN ATTIC - PROVIDE LIGHT, SWITCH, 110V RECEPTABLE AND FUEL GAS PER CMC SEC 319. PROVIDE 22"X30" ATTIC ACCESS



**1ST FLOOR** SCALE: 3/16" = 1'-0"

DATE	BY	DESCRIPTION	REVISION	DATE

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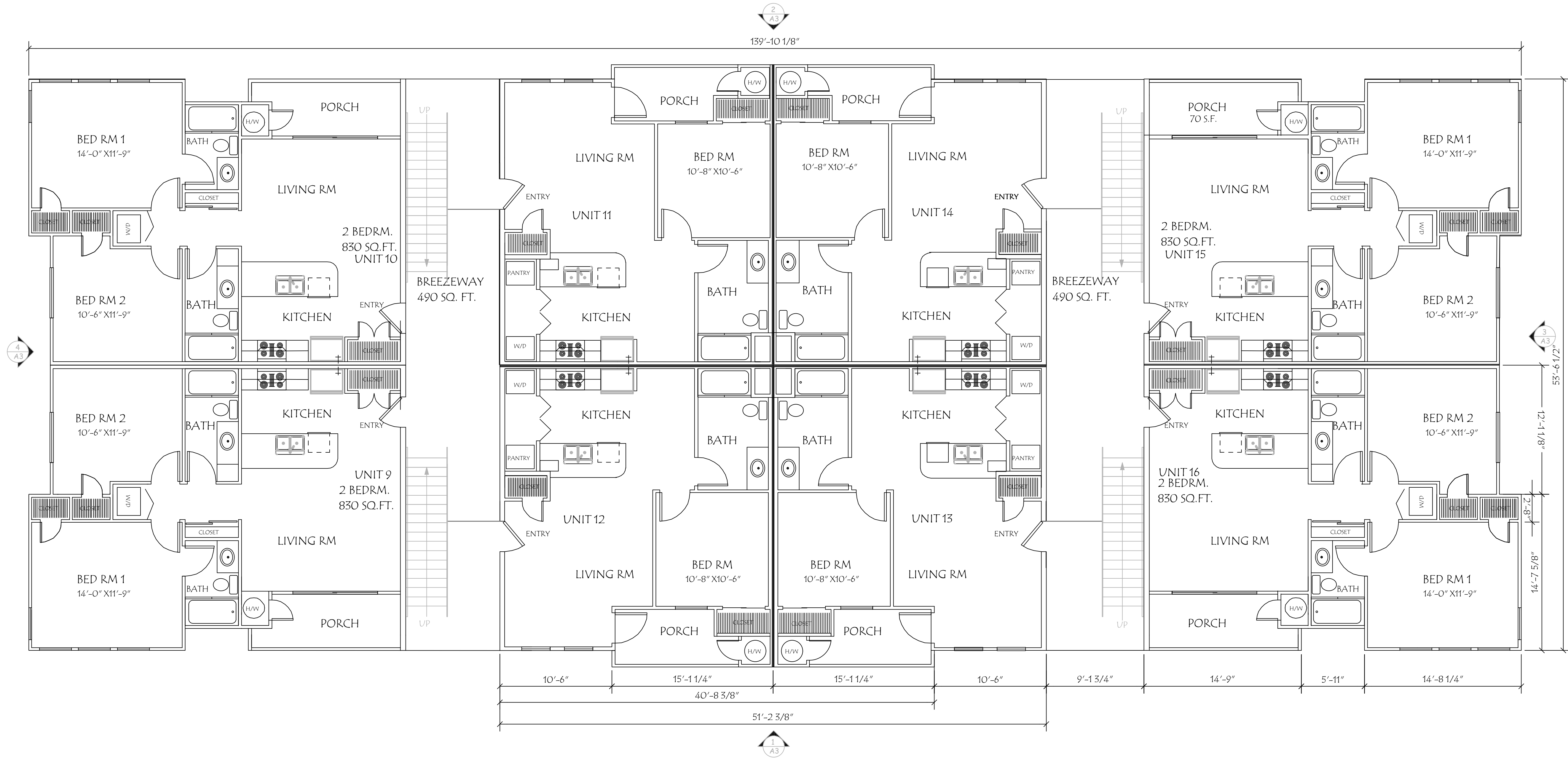
**CUSTOM APARTMENTS**  
 WINDHOVER PROJECT  
 MARTINEZ, CA 94553

**FIRST FLOOR PLAN**

DATE: 11-16-2021
SCALE: 3/16"=1'-0"
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JOB:
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2nd FLOOR SCALE: 3/16" = 1'-0"

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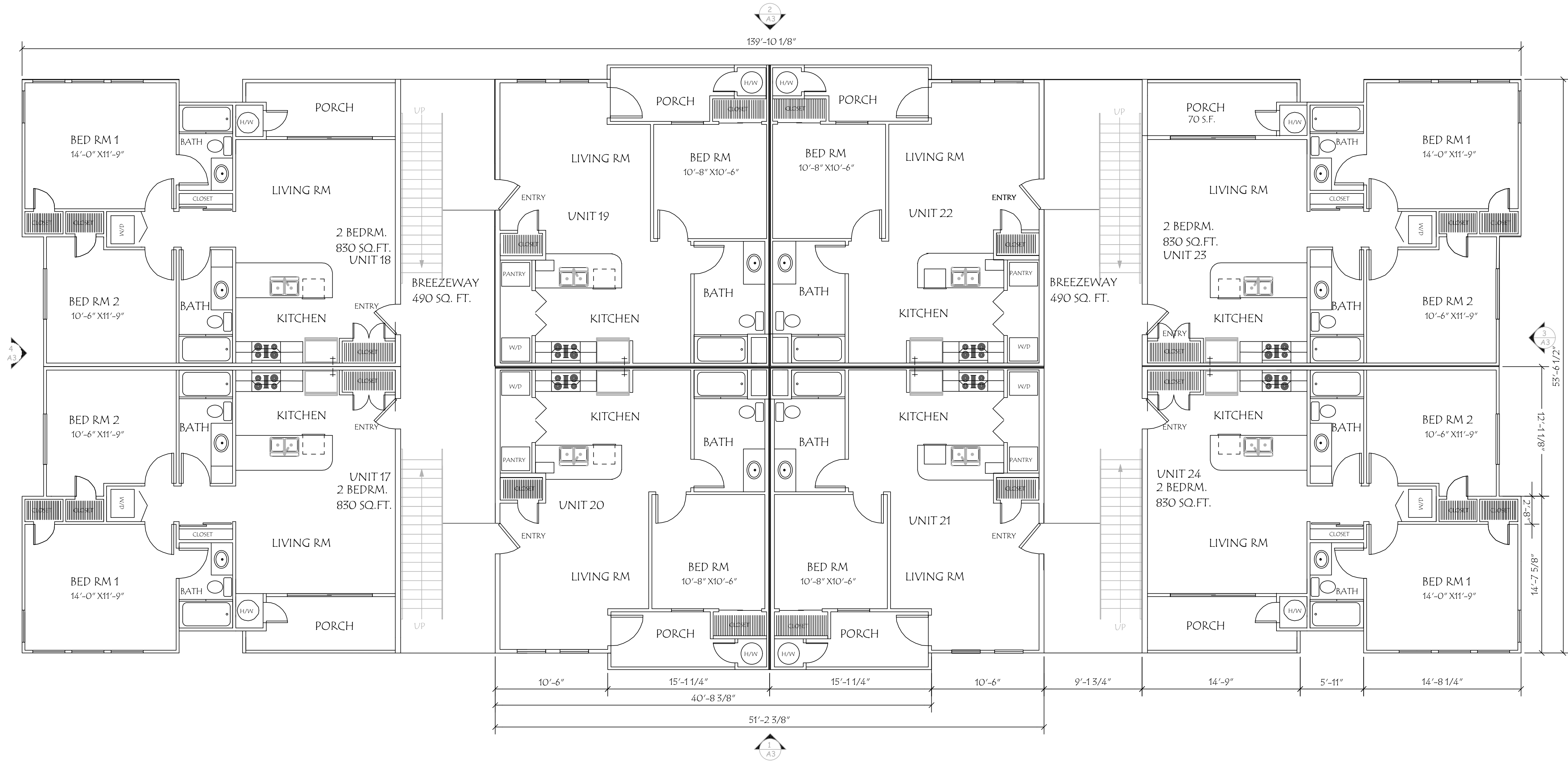


CUSTOM APARTMENTS  
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SECOND FLOOR PLAN

DATE:	11-16-2021
SCALE:	3/16" = 1'-0"
DRAWN BY:	RWW
JOB:	
Sheet	A2
of	Sheet





3rd FLOOR SCALE: 3/16" = 1'-0"

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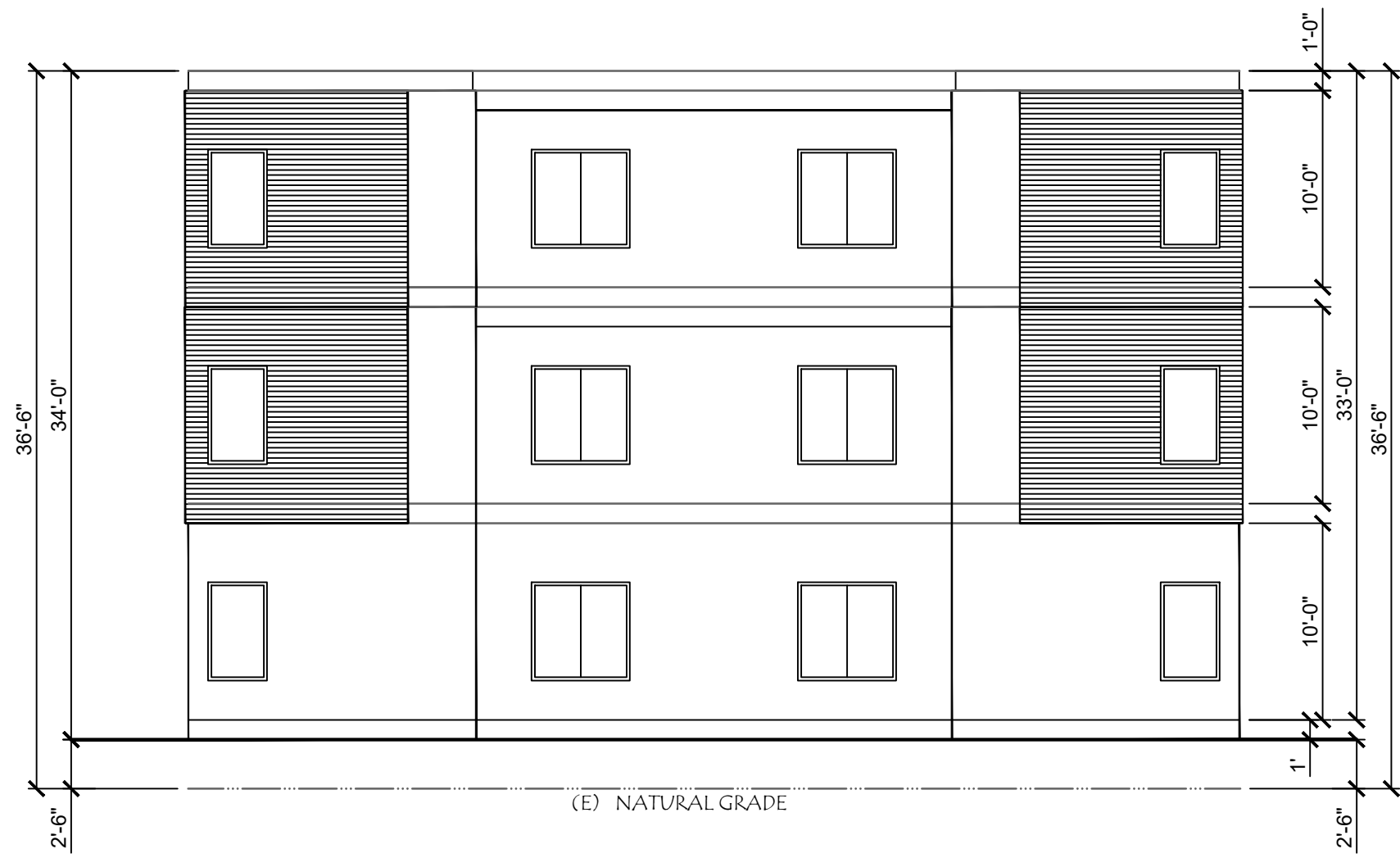


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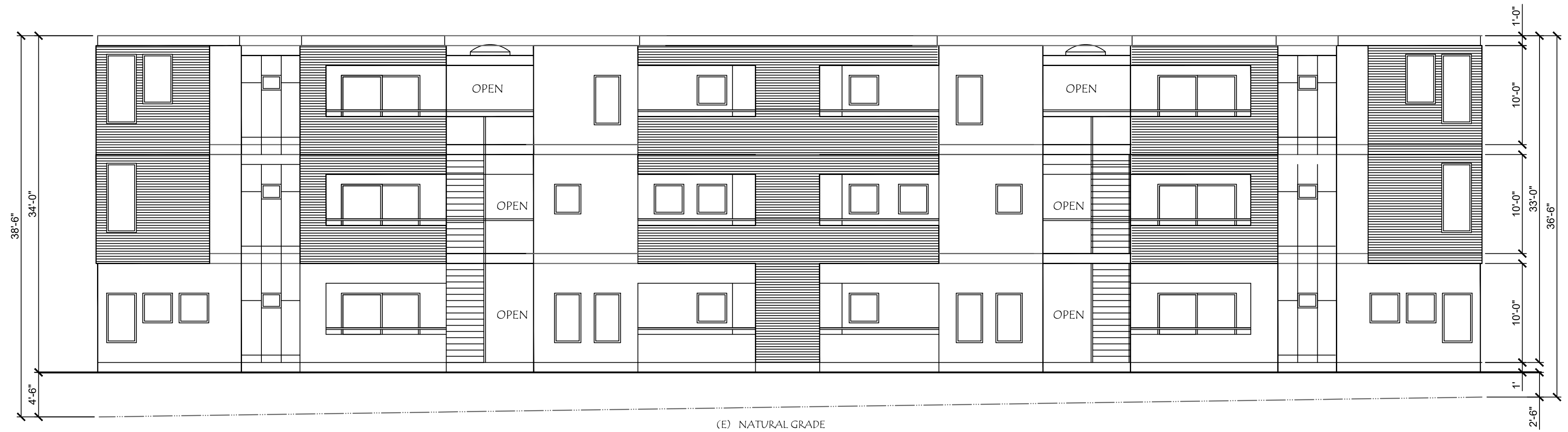
THIRD FLOOR PLAN

DATE:	11-16-2021
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DRAWN BY:	RWW
JOB:	
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of	Sheet

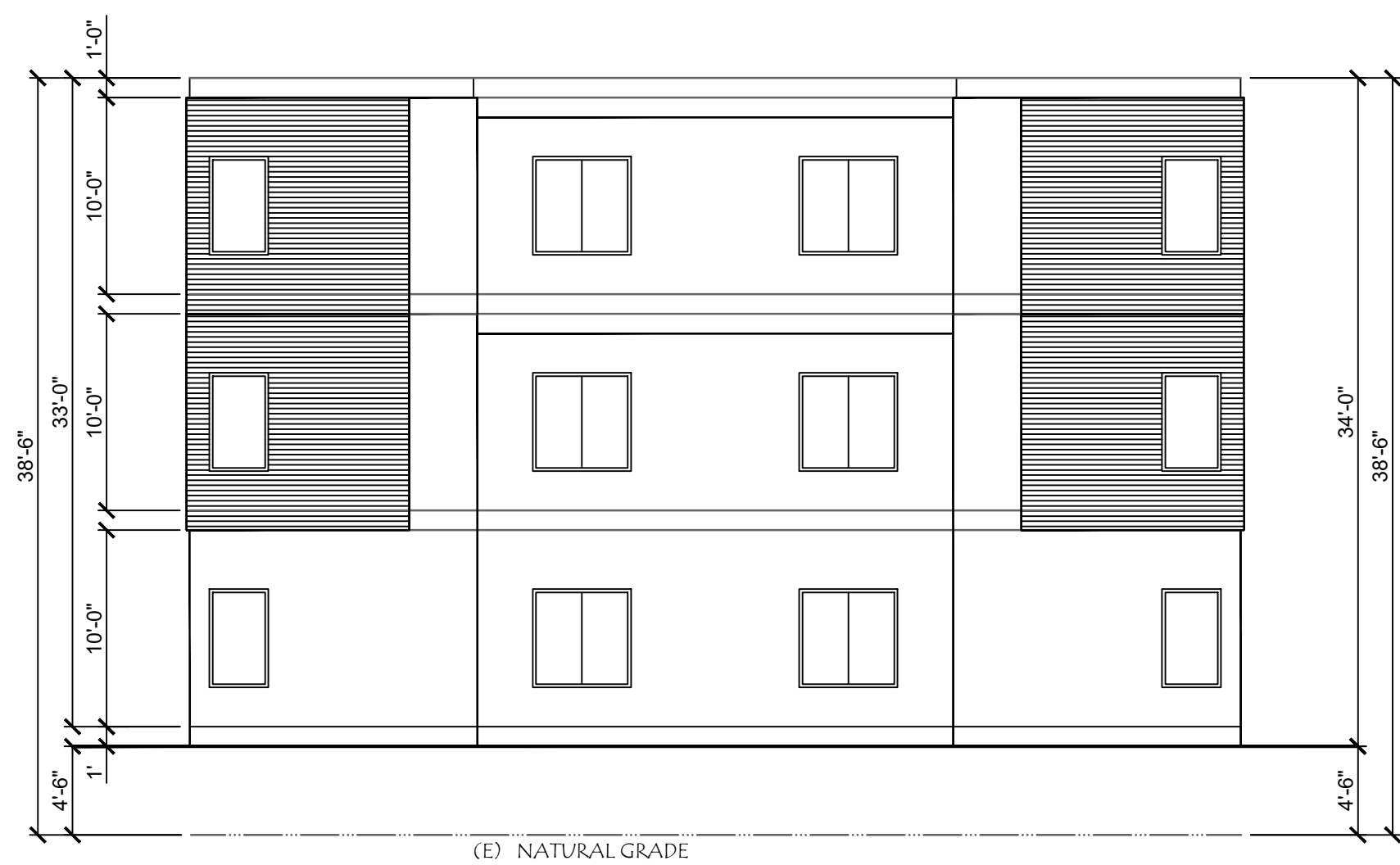




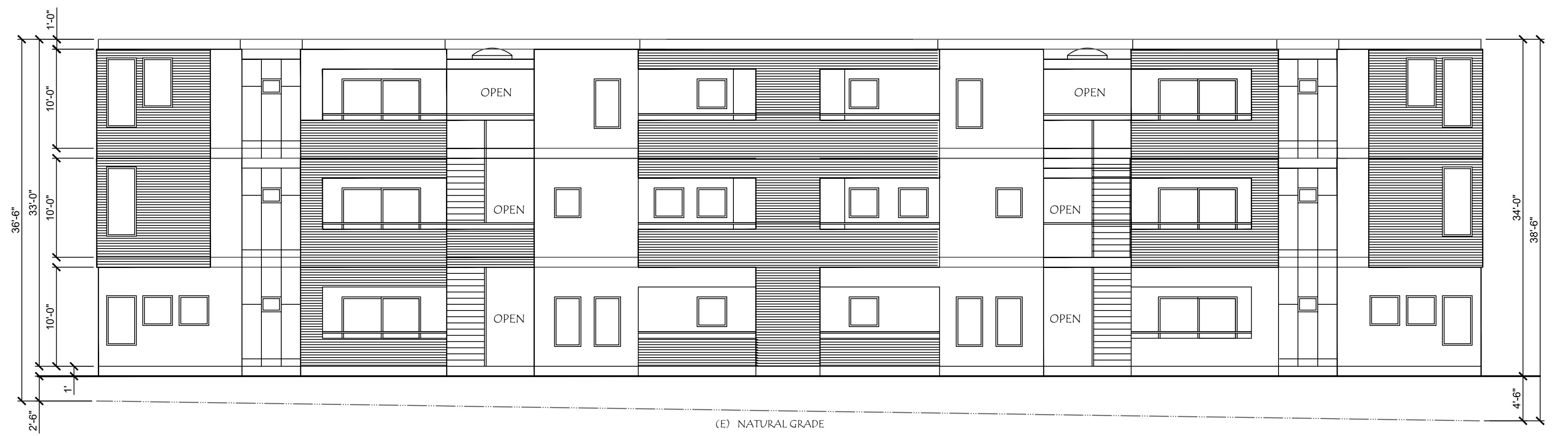
4 LEFT ELEVATION (NORTH) SCALE: 1/8"=1'



2 REAR ELEVATION (EAST) SCALE: 1/8"=1'

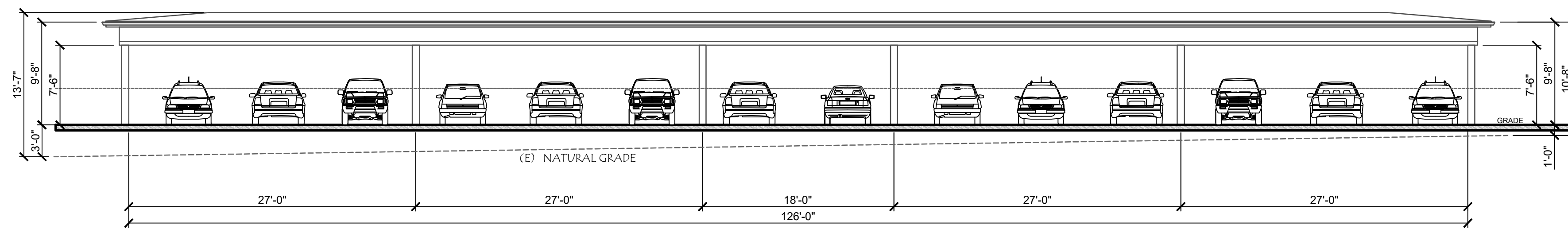


3 RIGHT ELEVATION (SOUTH) SCALE: 1/8"=1'

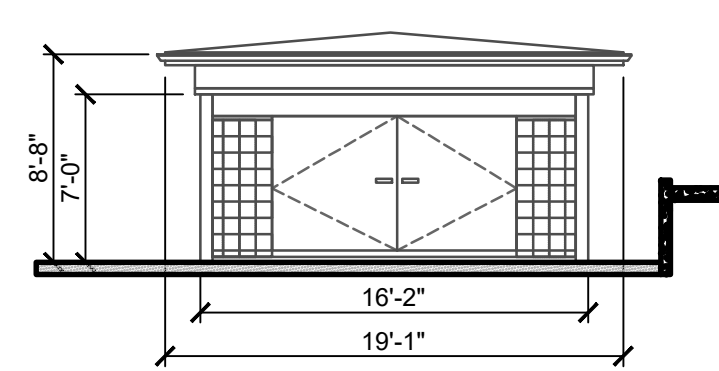


1 FRONT ELEVATION (WEST) SCALE: 1/8"=1'

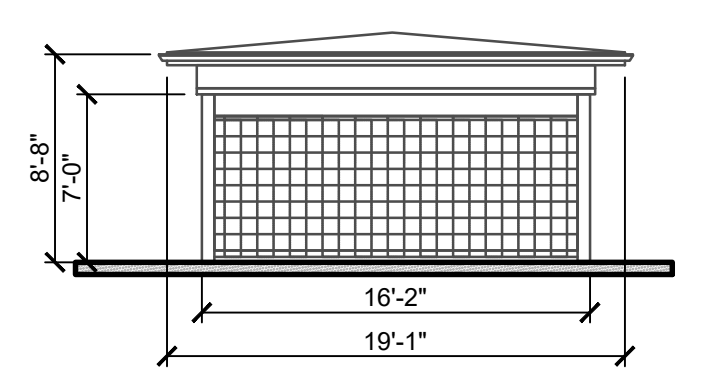
- ◇ 3-COAT STUCCO W. INTEGRAL COLOR O/ TYVEK & BLDG. PAPER O/ 1/2" CDX PLYWOOD
- ◇ 2X4 PAINTED WOOD TRIM
- ◇ 2X10 PAINTED WOOD FASCIA W/ SHEET METAL GUTTER
- ◇ 2X WOOD BRACKETS
- ◇ CLAY TILE CFAPS & PANS O/ 30LB. FELT O/PLYWOOD SUVSTARTE ON FRAMING, SLOPE 6:12-SEE STRUCTURAL.
- ◇ STUCCO WEEP SCREED
- ◇ CONCRETE SLAB ON GRADE (SEE STRUC.)
- ◇ VINYL WINDOWS MFR'S WHITE W/ 1X4 PAINTED WOOD TRIM
- ◇ VENT FLUE 24" ABOVE ANY POINT WITHIN A 10'-0" RADIUS
- ◇ SKYLIGHT ON 4" CURB.
- ◇ STUCCO WRAPPED COLUMN
- ◇ PATIO VINYL DOOR W/ CONCRETE LANDING
- ◇ FINISH GRADE - SEE GRADING PLAN
- ◇ 42" HIGH WROUGHT IRON RAILING WITH CAP



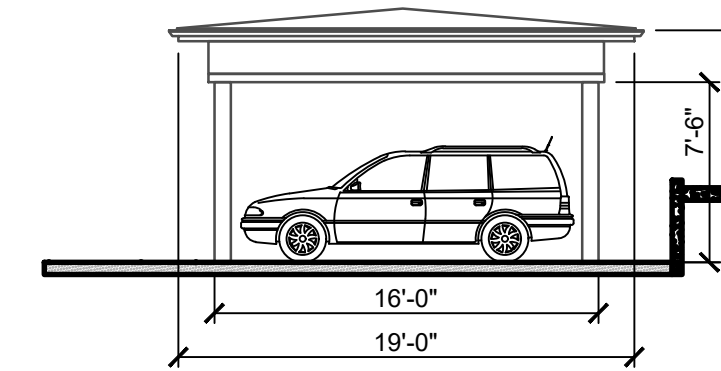
COVERED PARKING FRONT (REAR SIM)



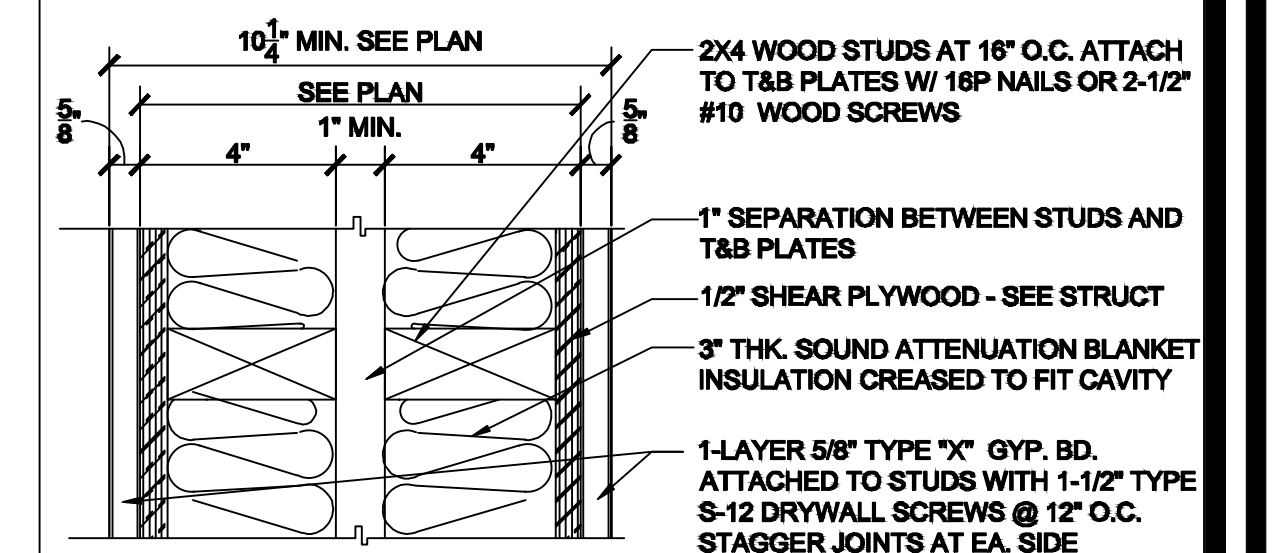
TRASH ENCLOSURE FRONT



TRASH ENCLOSURE REAR (SIDE SIM.)



COVERED PARKING END



PLAN

CDHS 1.2.4.1.5.4	STUD * SIZE	STUD * SPACING	STUD GAUGE	GYP. BD. TYPE	INSUL.
57 STC	2X4 WOOD	16" O.C.	N/A	TYPE 'X'	YES

NOTE: \*STUD WALLS OVER 12 FT. HIGH TO HAVE STUDS SPACED AT 12" MAXIMUM OR STUD SIZE INCREASED TO 2X6. PROVIDE FIRE BLOCKING AT 10'-0" EACH DIRECTION MAXIMUM.

5 PARTY WALL 3'-1'-0"

REVISION	DESCRIPTION	BY	DATE
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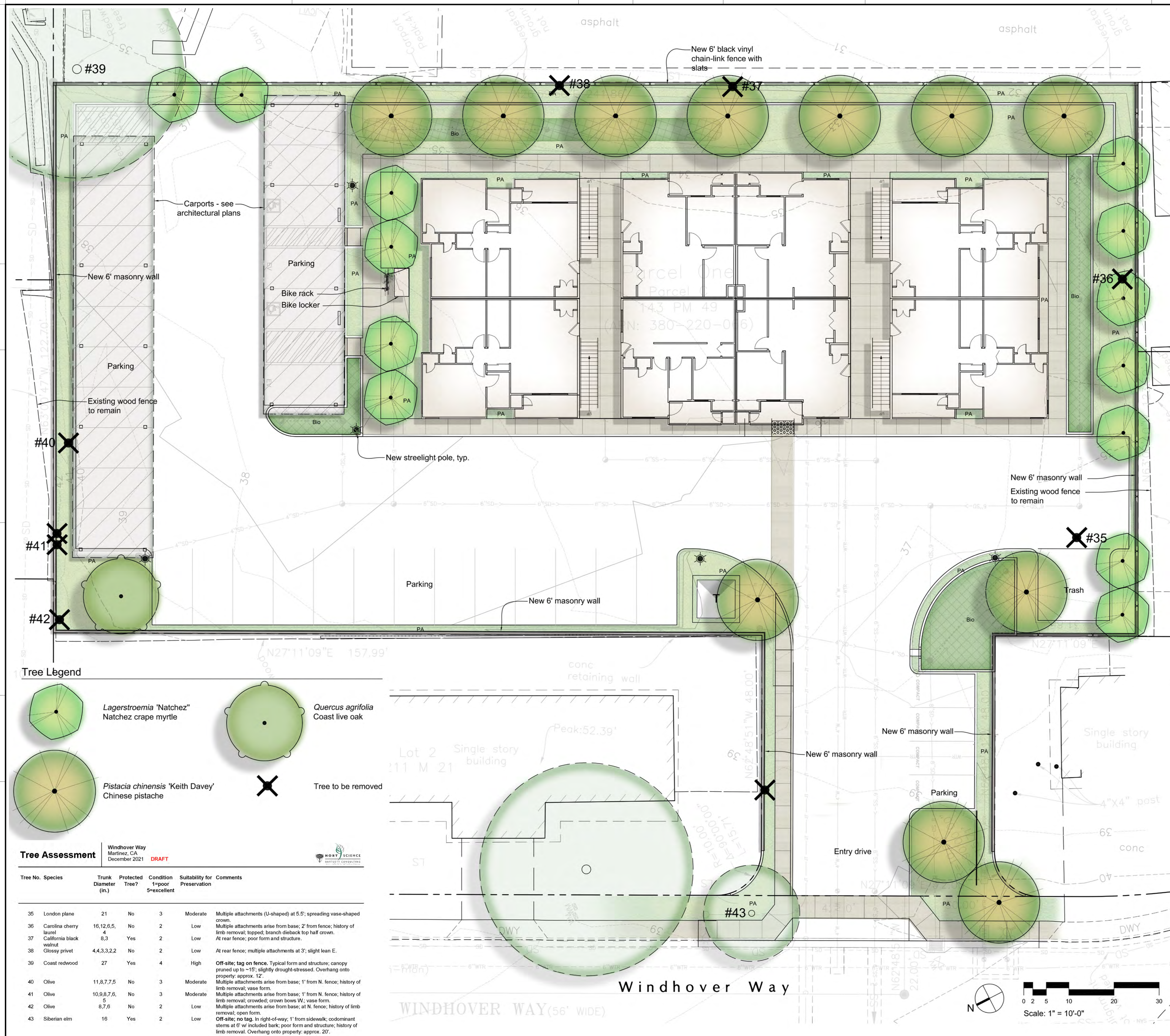
CUSTOM APARTMENTS  
WINDHOVER PROJECT  
MARTINEZ, CA 94553

ELEVATIONS

DATE: 11-16-2021  
SCALE: 1/8"=1'-0"  
DRAWN BY: RWW

JOB:  
Sheet  
A4





- ### Plant List
- |  |  |           |
|--|--|-----------|
| <b>Trees</b>   |  | Water-use |
| <i>Lagerstroemia 'Natchez'</i>                                   |  | Low       |
| Natchez crape myrtle   |  |           |
| <i>Pistacia chinensis</i> 'Keith Davey'                          |  | Low       |
| Chinese pistache   |  |           |
| <i>Quercus agrifolia</i>   |  | Low       |
| Coast live oak   |  |           |
| <b>Shrubs and groundcovers</b>                                   |  |           |
| <i>Arctostaphylos hookeri</i>                                    |  | Low       |
| Hookeri manzanita  |  |           |
| <i>Arctostaphylos uva-ursi</i> *                                 |  | Low       |
| Bearberry  |  |           |
| <i>Callistemon</i> 'Little John'                                 |  | Low       |
| Little John Dwarf Bottlebrush                                    |  |           |
| <i>Ceanothus griseus</i> var. <i>horizontalis</i> 'Yankee Point' |  | Low       |
| Yankee Point California Lilac                                    |  |           |
| <i>Grevillea</i> x 'Noell'                                       |  | Low       |
| Noell Grevillea  |  |           |
| <i>Myrtus communis</i> 'Compacta'                                |  | Low       |
| Dwarf myrtle   |  |           |
| <i>Westringia fruticosa</i> 'Low Horizon'                        |  | Low       |
| Low Horizon Westringia   |  |           |
| <b>Grasses and Perennials</b>                                    |  |           |
| <i>Anigozanthos</i> 'Ramboball'                                  |  | Low       |
| Bush Ballad Kangaroo Paw   |  |           |
| <i>Carex tumulicola</i> *  |  | Low       |
| Berkeley Sedge   |  |           |
| <i>Festuca californica</i> *                                     |  | Low       |
| California Fescue  |  |           |
| <i>Lavandula angustifolia</i> 'Munstead'                         |  | Low       |
| Munstead Lavender  |  |           |
| <i>Pennisetum alopecuroides</i> 'Hamel'                          |  | Low       |
| Dwarf Fountain Grass   |  |           |
| <b>Vines</b>   |  |           |
| <i>Bougainvillea</i> 'Mary Palmer's Enchantment'                 |  | Low       |
| Mary Palmer's Enchantment Bougainvillea                          |  |           |
- \* Denotes species suitable for use in bio-treatment planters

- ### Planting Notes
- Plant materials are low water-use selections.
  - Native topsoil is to be amended to a depth of 6" min. as recommended by laboratory soil testing.
  - Top-dress all newly planted areas except turf with 3" organic mulch.
  - All newly planted areas will be irrigated by an automatic irrigation system in conformance with state and local water-efficient landscape regulations. The irrigation system will use 'smart' weather-based controls and efficient sub-surface drip and/or bubbler application methods. Estimated landscape water use will not exceed maximum applied water allowance.
  - Minimum plant material installations sizes are to be as follows:
    - Trees: 24" box
    - Shrubs, groundcovers: 1-gallon
    - Grasses: 1-gallon
    - Vines: 5-gallon
  - Plants at maturity will not interfere with structures, lighting or security cameras.
  - A majority of materials in the plant materials palette are native and/or drought resistant.
  - Provide tree root barriers at all trees within 5' of paving, curbs and sidewalks.
  - Provide a landscape maintenance period of 90 days after project acceptance.

### Tree Legend

	<i>Lagerstroemia</i> 'Natchez' Natchez crape myrtle		<i>Quercus agrifolia</i> Coast live oak
	<i>Pistacia chinensis</i> 'Keith Davey' Chinese pistache		Tree to be removed

### Tree Assessment

Windhover Way  
Martinez, CA  
December 2021 DRAFT

Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
35	London plane	21	No	3	Moderate	Multiple attachments (U-shaped) at 5.5'; spreading vase-shaped crown.
36	Carolina cherry laurel	16,12,6.5, 4	No	2	Low	Multiple attachments arise from base; 2' from fence; history of limb removal; topped; branch dieback top half crown.
37	California black walnut	8.3	Yes	2	Low	At rear fence; poor form and structure.
38	Glossy privet	4.4,3.3,2.2	No	2	Low	At rear fence; multiple attachments at 3'; slight lean E.
39	Coast redwood	27	Yes	4	High	Off-site; tag on fence. Typical form and structure; canopy pruned up to -15'; slightly drought-stressed. Overhanging onto property; approx. 12'.
40	Olive	11,8,7,5	No	3	Moderate	Multiple attachments arise from base; 1' from N. fence; history of limb removal; vase form.
41	Olive	10,9,8,7,6, 5	No	3	Moderate	Multiple attachments arise from base; 1' from N. fence; history of limb removal; crowded; crown bows W; vase form.
42	Olive	8,7,6	No	2	Low	Multiple attachments arise from base; at N. fence; history of limb removal; open form.
43	Siberian elm	16	Yes	2	Low	Off-site; no tag. In right-of-way, 1' from sidewalk; codominant stems at 5' w/ included bark; poor form and structure; history of limb removal. Overhanging onto property; approx. 20'.



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**GULWAY APARTMENTS  
WINDHOVER WAY**  
APN: 380-220-066  
MARTINEZ, CA

PLANNING SUBMITTAL	2022/03/14
REVISIONS	DATE
JOB:	
DATE:	2022/03/14

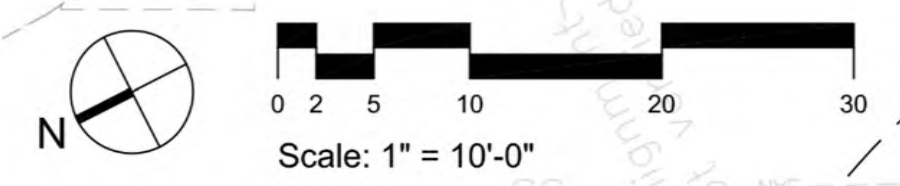
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**Landscape Plan**

SHEET NO.  
**L-1**

REVISION NO. 0

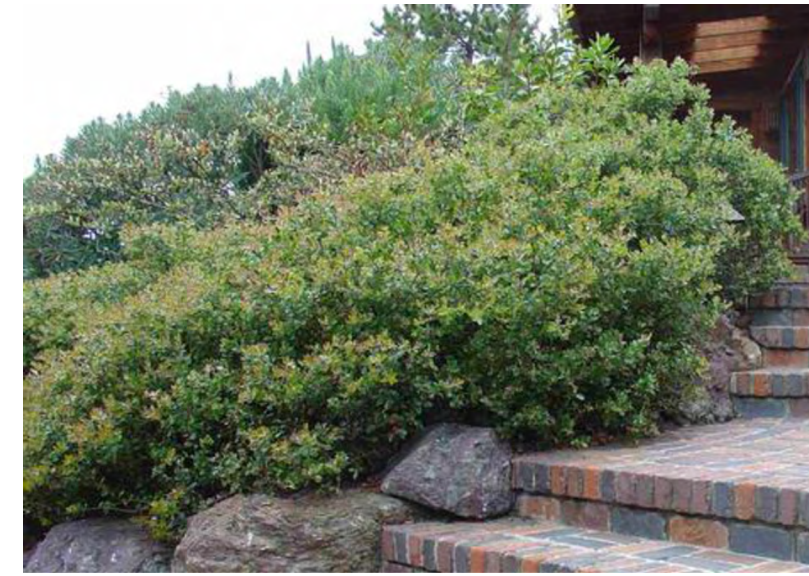
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## Shurbs and Groundcovers



*Arcrostaphylos hookeri*  
Hookeri manzanita



*Arcrostaphylos uva-ursi*  
Bearberry



*Callistemon 'Little John'*  
Little John Dwarf Bottlebrush



*Ceanothus griseus var. horizontalis*  
'Yankee Point'  
Yankee Point California Lilac



*Grevillea x 'Noell'*  
Noell Grevillea



*Myrtus communis 'Compacta'*  
Dwarf myrtle



*Westringia fruticosa 'Low Horizon'*  
Low Horizon Westringia

## Trees



*Quercus agrifolia*  
Coast live oak



*Lagerstroemia 'Natchez'*  
Natchez crape myrtle



*Pistacia chinensis 'Keith Davey'*  
Chinese pistache

## Grasses and Perennials



*Carex tumulicola*  
Berkeley Sedge



*Pennisetum alopecuroides 'Hameln'*  
Dwarf Fountain Grass

## Vines



*Bougainvillea 'Mary Palmer's Enchantment'*  
Mary Palmer's Enchantment Bougainvillea



*Festuca californica*  
California Fescue



*Anigozanthos 'Ramboball'*  
Bush Ballad Kangaroo Paw

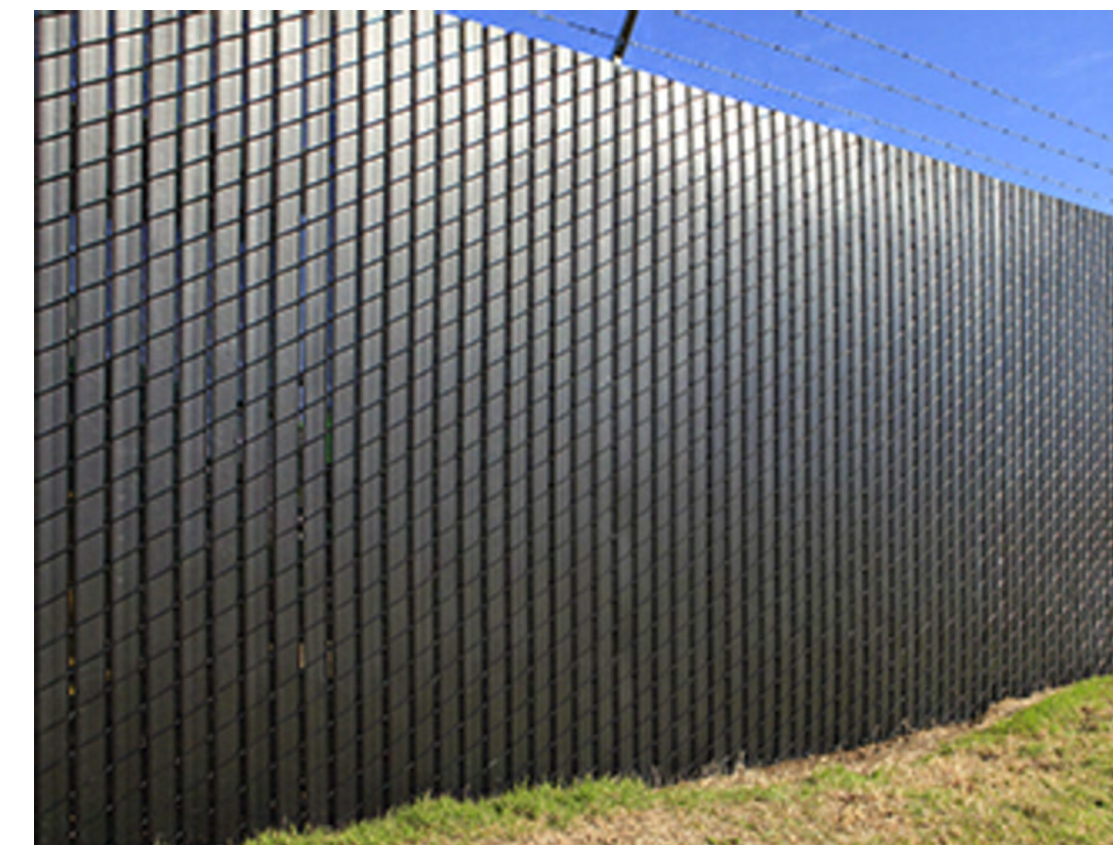


*Lavandula angustifolia 'Munstead'*  
Munstead Lavender



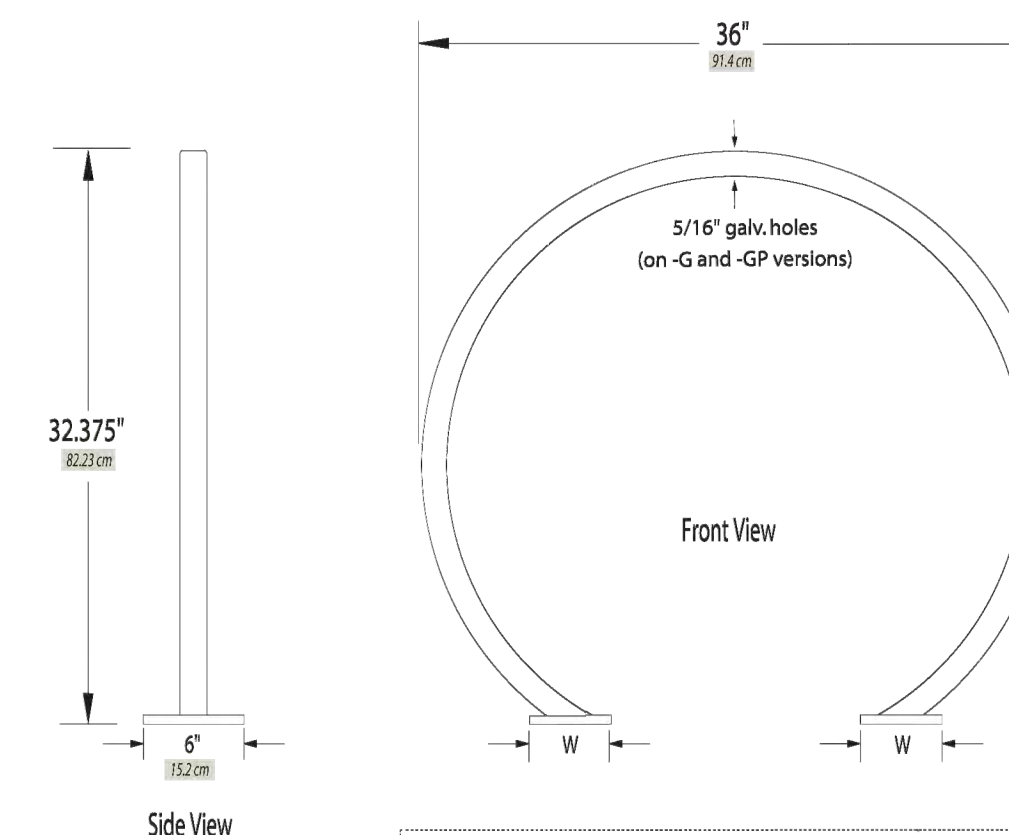
6' ht. masonry wall

### 5 PERIMTER WALL



6' ht. black vinyl fence

### 4 PERIMTER FENCE



Welle® Circular Rack Square Tube Surface Flange						
Tubing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges	Anchors
Square Tube	WCRO2-SQ-SF	38 lbs (17.1kg)	-G Hot Dipped Galvanized	-G, -P, -GP 2" x 2" x 0.188" Square Tube (Regular Steel)	(2) 5" x 6" x 3/8" Plates, Raw Steel	(2) 1/2" x 2.75" (13mm x 70mm) Raw Steel Splice
			-P Powder Coated (color)	-GP Hot Dipped Galvanized with Powder Coat (color)	each with (3) 3/16" Holes	(4) 1/2" x 3.75" (13mm x 95mm) Wedge Anchor Bolt
			-GP Top-Coat	-SS 2" x 2" x 0.188" Square Tube (304 SS Alloy)		
			-SS Stainless #4 Brush Finish			

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2012.04.11

Welle Square Tube Circular Rack

### 3 BIKE RACK



MadRax Narrow Bike Locker

### 2 BIKE LOCKER



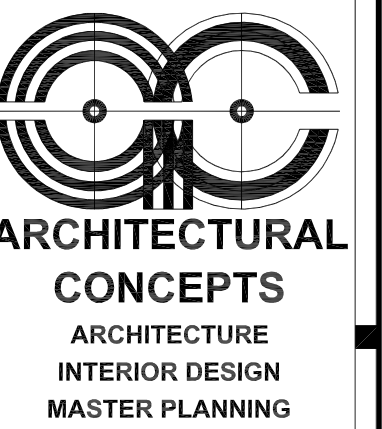
Lumec UrbanScape

### 1 LIGHTPOST

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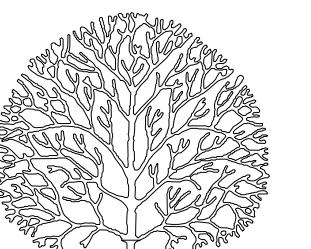


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WINDHOVER WAY  
APN: 380-220-066  
MARTINEZ, CA

PLANNING SUBMITTAL 2022/03/14

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SHEET TITLE:

Landscape Furniture & Planting Images

SHEET NO.

L-2

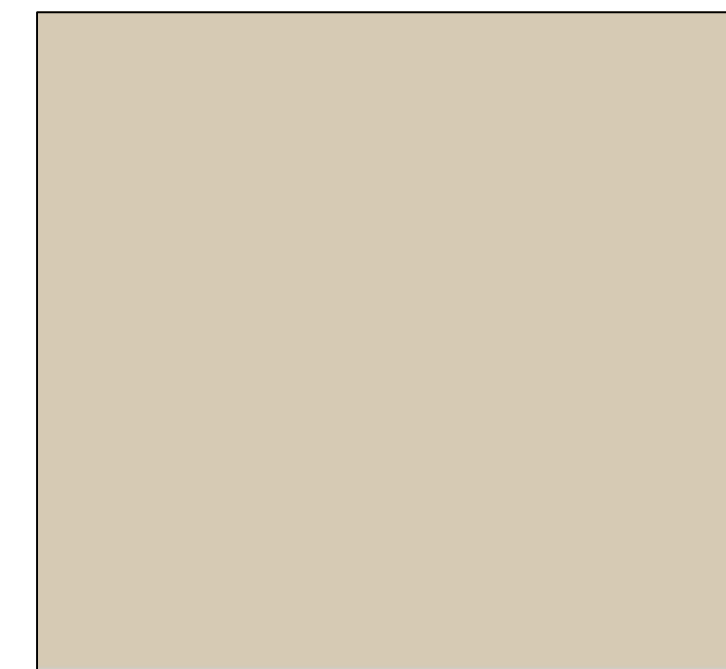
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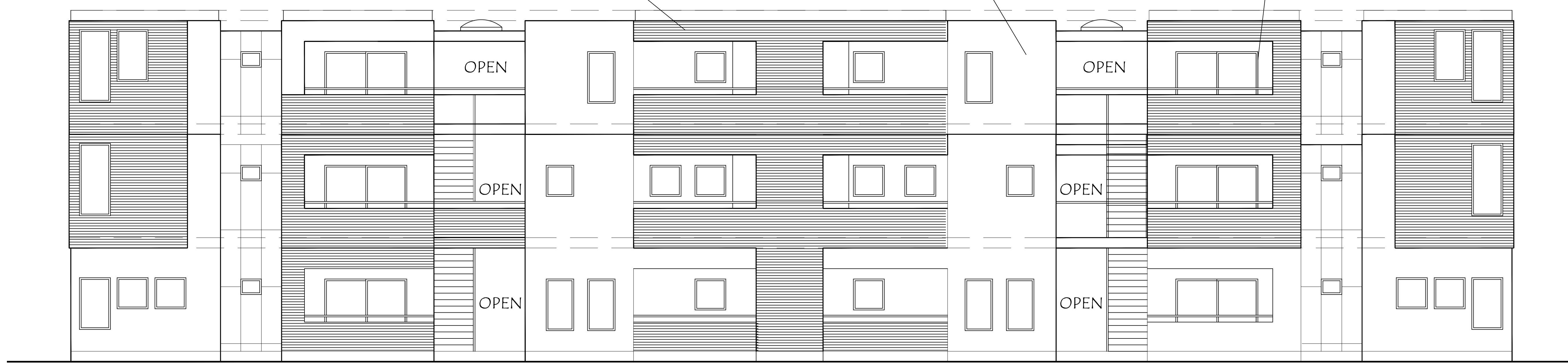
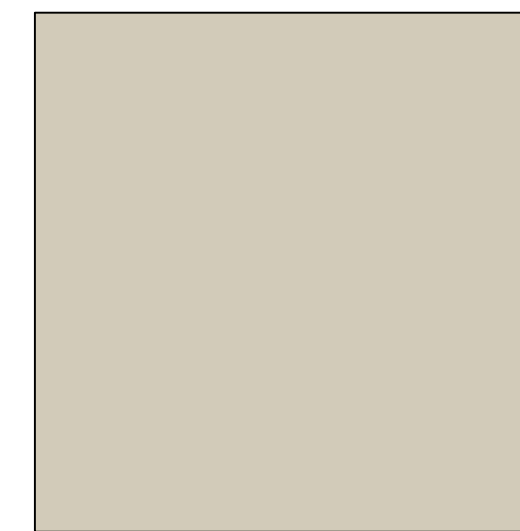
1 HARDIESHINGLE  
"PEARL GRAY"



2 7/8" STUCCO -3 COAT :  
BEHR "SANDSTONE"



3 WINDOWS: VINYL STYLE  
ANDERSEN "SAND"



FRONT ELEVATION (WEST)

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CUSTOM APARTMENTS

WINDHOVER PROJECT  
MARTINEZ, CA 94553

COLOR BOARD

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	Sheet