

CLYDE-MILES CONST - LOT 7

REVISED

RECEIVED on 04/30/2026 CDDP24-03045
By Contra Costa County
Department of Conservation and Development

FIRE FLOW INFORMATION



INSPECTION SUMMARY

TODAY'S DATE: April 24, 2025

ADDRESS OF INTEREST: 430 Legacy Drive, Alamo, CA
SUMMARY TO BE SENT TO: Robert Harris (rharris@thorpedesign.com)
INSPECTION #: 209955
DATE OF INSPECTION: April 24, 2025
INSPECTOR: Distribution Planning Section
REQUEST: Pressure and Flow Data

SUMMARY OF FINDINGS:
Based on a hydraulic analysis of the water distribution system, the available pressure and flow at Tap 528449 is as follows:
Connection point is off the 8-inch main (BSMB01) in RW 4656, on the north side of RW 4656, approximately 1100 feet north of RW 4152-A.

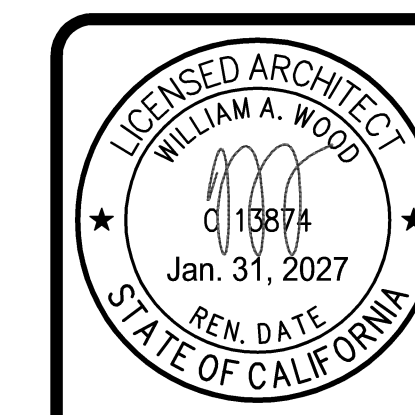
Elevation at Connection Point = 750 feet
Static Pressure = 106 psi
Residual Pressure at 100 gpm = 104 psi

The pressure and flow information stated is available at the street main connection in RW 4656. The pressure exceeds 80 psi, therefore a pressure regulator is required for the subject property.

Note: This information is provided as a courtesy and is modeled based on a specific set of distribution system conditions. These conditions are subject to continuous change and may not be conservative enough for your system design. Please use this information as a guideline of the approximate availability of flow, and make allowance for possible reductions in pressure and flow.

Distribution Planning Section
East Bay Municipal Utility District
1-866-403-2683

REVISIONS	DATE



CLYDE-MILES CONST - LOT 7

430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.

COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	CS1
OF SHEETS	

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA ENERGY CODE
CONTRA COSTA COUNTY MUNICIPAL CODE

SCOPE OF WORK

- NEW 5,624 SQUARE FOOT RESIDENCE WITH AN ATTACHED 891 SQUARE FOOT GARAGE TOTALING 6515 SQUARE FEET.

DEFERRED SUBMITTAL

- FIRE SPRINKLER DRAWINGS/CALCULATIONS SHALL BE SUBMITTED TO SAN RAMON VALLEY FIRE PROTECTION DISTRICT.
- PRE-MANUFACTURED ROOF TRUSSES.

FIRE DEPARTMENT NOTES

1. Fire apparatus access roadways shall be installed and required water supplies shall be in service prior to the delivery of combustible construction items and prior to the commencement of framing. Failure to comply will result in a stop work order on all permits.
2. All fuel modification shall be completed to District standards prior to the delivery of combustible construction materials.
3. All approved plans shall be printed and available on-site for the duration of the project.
4. Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lands and hydrants may result in cancellation or suspension of inspections.
5. Temporary fuel tanks of 60 or more gallons requires a permit from SRVFPD.
6. The project address shall be clearly posted and visible from the public road during construction.

PROJECT DIR.

OWNER
NORTON CORPORATION
1850 MT. DIABLO BLVD. #440
WALNUT CREEK, CA 94565
(925) 932-4655
CONTACT: STEPHANIE SEENO-MILES

ARCHITECT
WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, STE. 203
DANVILLE, CA 94526
(925) 820-8233
CONTACT: BILL WOOD

CIVIL
DK & ASSOCIATES
1932 SAN MIGUEL DRIVE
WALNUT CREEK, CA 94596
(925) 932-6868

STRUCTURAL ENGINEER
ADVANCED ENGINEERING
3381 WALNUT BLVD. SUITE 220
BRENTWOOD, CA. 94513
(925) 516-3502
CONTACT: JUSTEN PEEK

TITLE 24 CALCULATIONS
ADVANCED ENGINEERING
3381 WALNUT BLVD. SUITE 220
BRENTWOOD, CA. 94513
(925) 516-3502
CONTACT: JASON BENNETT

ARBORIST
ATLAS TREE SERVICES, INC.
P.O. BOX 23343
PLEASANT HILL, CA 94523
(925) 687-3631
CONTACT: JARRED JUAREZ

LANDSCAPE ARCHITECT
CAMP AND CAMP AND ASSOCIATES
2520 CAMINO DIABLO,
WALNUT CREEK, CA 94597
(925) 941-6490
CONTACT: TERRY CAMP

BUILDING DATA

LEGAL OWNER:
CLYDE MILES CONSTRUCTION
1110 BURNETT AVE. SUITE C
CONCORD, CA. 94520

FLOOR AREA:
FIRST FLOOR 2,805 S.F.
SECOND FLOOR 2,819 S.F.
TOTAL AREA 5,624 S.F.

PROJECT ADDRESS:
LOT 7
430 LEGACY DR.
ALAMO, CA 94507

3 - CAR GARAGE 891 S.F.

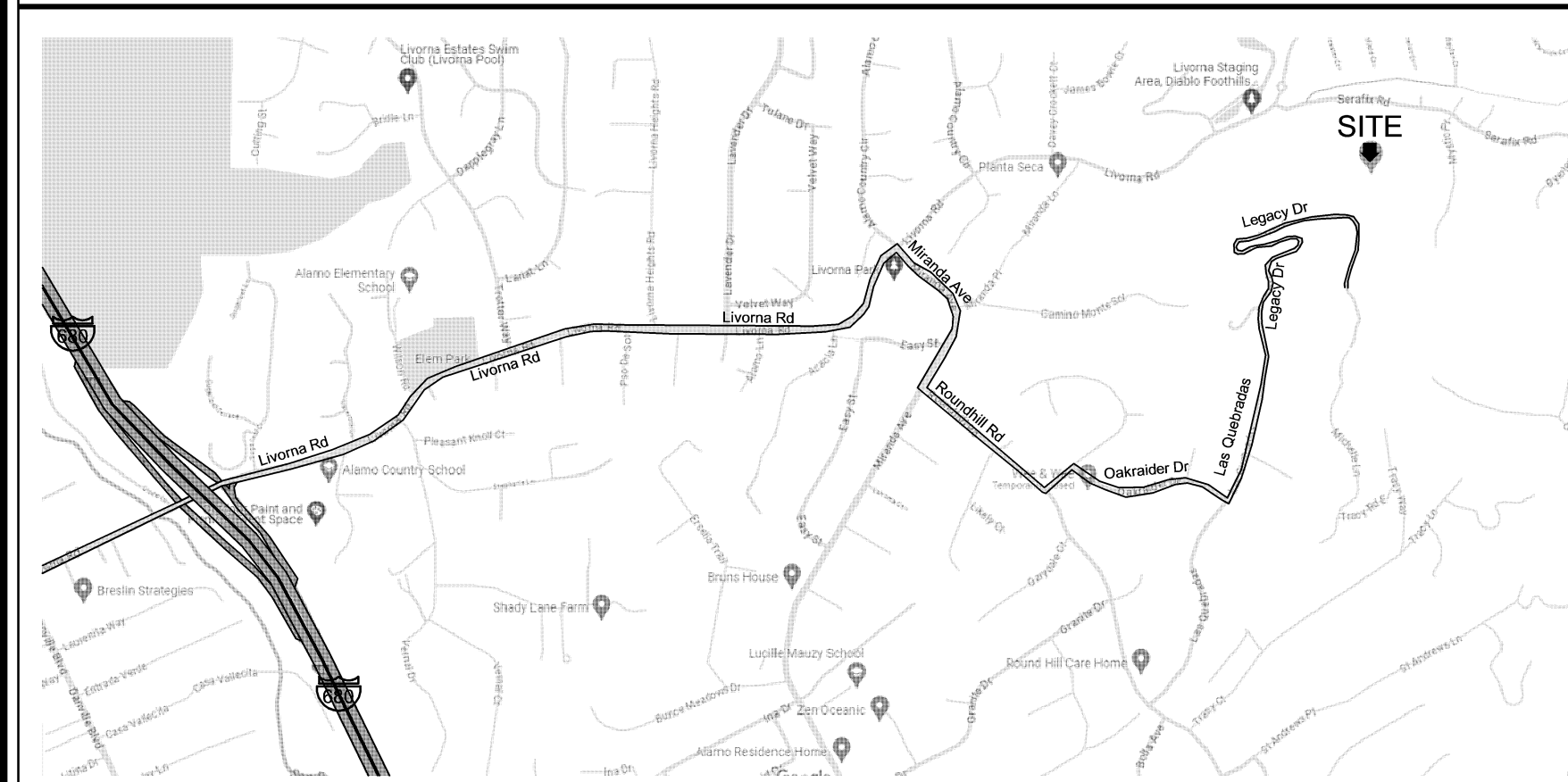
APN:
APN: 193-010-029

FIRE SPRINKLERS:
REQUIRED

OCCUPANCY
R-3 & u

CONSTRUCTION TYPE:
V-B

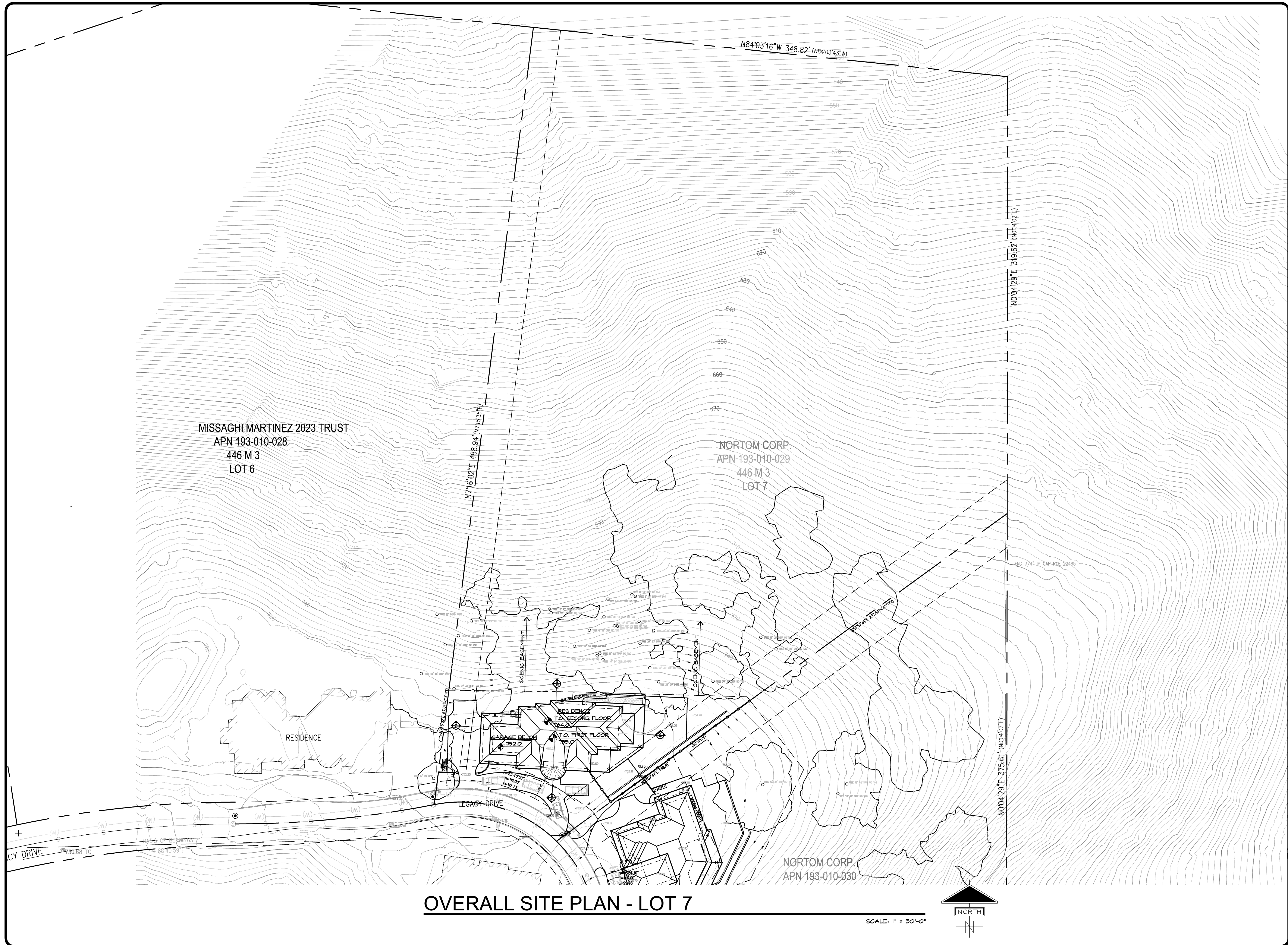
VICINITY MAP



INDEX TO DRAWINGS

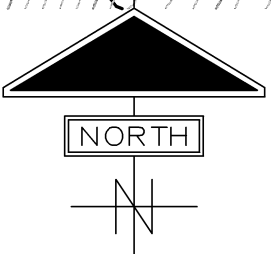
CS1	COVER SHEET		
A1	OVERALL SITE PLAN	SD6	FLOOR FRAMING DETAILS
A1.5	SITE PLAN	SD6.1	FLOOR FRAMING DETAILS
GN1	GENERAL NOTES	SD7	ROOF FRAMING DETAILS
GN2	CAL. GREEN BUILDING CODE RESIDENTIAL NOTES	SD7.1	ROOF FRAMING DETAILS
GN3	CAL. GREEN BUILDING CODE RESIDENTIAL NOTES	SD8	SIMPSON WOOD STRONG WALL DETAILS
EC1	ENERGY CALCULATIONS	A2	FIRST FLOOR PLAN
EC2	ENERGY CALCULATIONS	A3	SECOND FLOOR PLAN
ECM	ENERGY CALCULATIONS	A4	ROOF PLAN
CE-1	CIVIL COVER SHEET	A5	FIRST FLOOR REFLECTED CEILING PLAN
CE-2	GRADING AND DRAINAGE PLAN	A6	SECOND FLOOR REFLECTED CEILING PLAN
CE-3	EROSION CONTROL PLAN	A7	BUILDING SECTIONS
CE-4	STORMWATER CONTROL PLAN	A8	INTERIOR ELEVATIONS
SN1	GENERAL NOTES AND DESIGN CRITERIA	A9	EXTERIOR ELEVATIONS
SN2	GENERAL STRUCTURAL SPECIFICATIONS AND NOTES	A10	EXTERIOR ELEVATIONS
S1	FOUNDATION AND HOLDOWN PLAN	A11	FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN
S2	FLOOR FRAMING AND SHEARWALL PLAN	A12	SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN
S3	ROOF FRAMING AND SHEARWALL PLAN	CE -2	GRADING AND DRAINAGE PLAN
SD1	SHEARWALL SCHEDULE AND TYPICAL DETAILS	L-1.0	PLANTING PLAN
SD2	HOLDOWN SCHEDULE AND TYPICAL DETAILS	L-1.1	PLANT IMAGES
SD3	TYPICAL CONCRETE DETAILS	L-2.0	PRELIMINARY HYDROZONE PLAN
SD4	TYPICAL CARPENTRY DETAILS	L-2.1	LANDSCAPE DOCUMENTATION PACKAGE
SD5	FOUNDATION DETAILS PIER AND GRADE BEAM	L-3.0	PLANTING DETAILS & NOTES
SD5.1	FOUNDATION DETAILS PIER AND GRADE BEAM		

PLOT DATE: May 19, 2026 - 11:40am CSI Cover Sheet dr.dwg

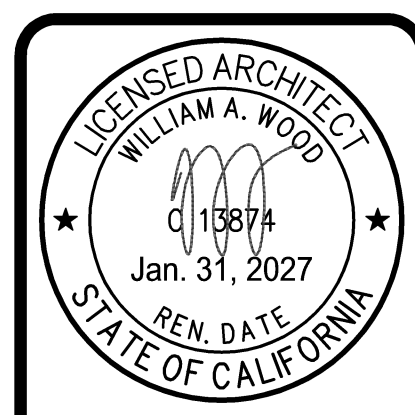


OVERALL SITE PLAN - LOT 7

SCALE: 1" = 30'-0"



REVISIONS	DATE



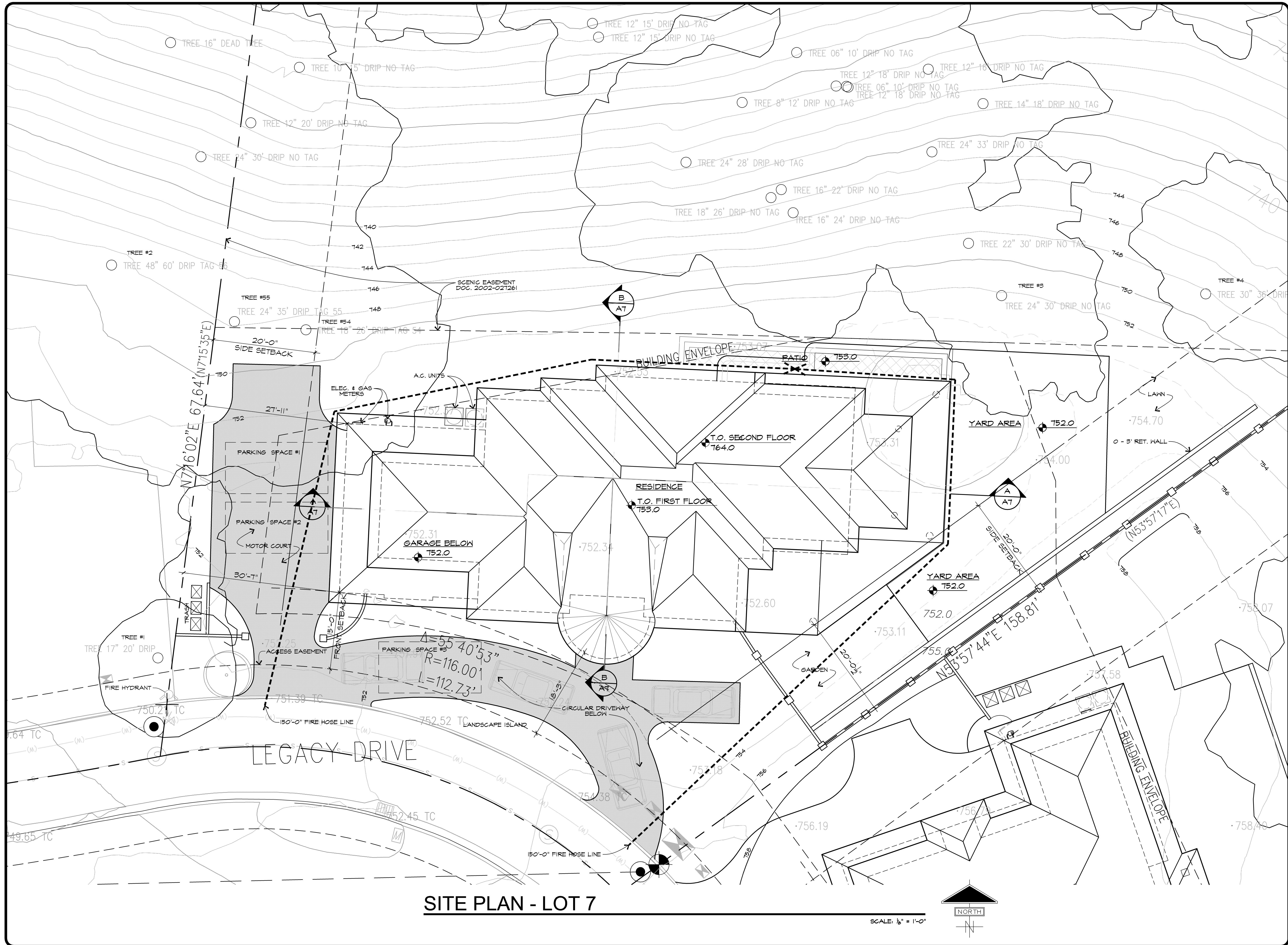
CLYDE-MILES CONST - LOT 7
 430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

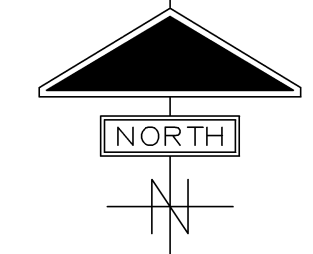
DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	A1
OF	SHEETS

Plot Date: May 15, 2026 - 11:48am A1 Site Plan.dwg

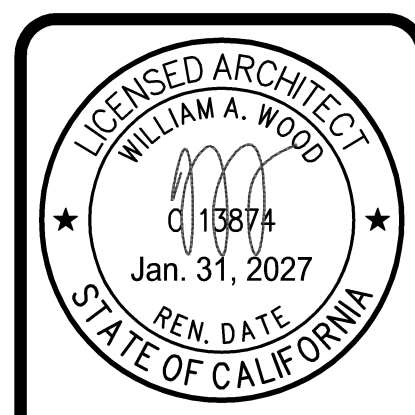


SITE PLAN - LOT 7

SCALE: 1/8" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE REPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A1.5
OF SHEETS

PLOT DATE: May 19, 2026 - 11:47am A1 Site Plan drawing

NOTES:

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA., TYP. U.N.O. V.I.F.
- 2) WINDOWS MARKED W/ (T) SHALL BE TEMPERED SAFETY GLASS
- 3) ALL FIRST FLOOR WINDOW HEAD HTS. SHALL BE 8'-0" TYP.
- 4) ALL SECOND FLOOR WINDOW HEAD HTS. SHALL BE 6'-8" TYP. U.N.O.
- 5) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY EGRESS WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURER.
- 6) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 7) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SHOWER ENCLOSURES.
- 8) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONC. SLAB W/ #10 W/M. ALL NECESSARY PLUMBING & ELECTRICAL.
- 9) ALL GUARDRAILS TO BE +42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 10) HANDRAIL IS REQUIRED PER SECT. 504 WHEN DROP EXCEEDS 30".
- 11) HANDRAIL SHALL BE CAPABLE OF SUPPORTING LATERAL LOAD PER TABLE 16-B, FN #9 (200#L LATERAL LOAD AT THE TOP RAIL) AND FN #9 (25#S/L LATERAL LOAD AT THE INTERMEDIATE PICKETS, AND 200# APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAIL).
- 12) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 13) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 14) SEE ELECTRICAL/MECHANICAL PLAN FOR HOSE BIBB LOCATIONS.
- 15) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 16) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

- 16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILING JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEETROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 1/8" GAGE SHEET METAL THAT IS 1" SHAPED WITH A MINIMUM DIMENSION OF 2.5"X2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEETROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL) SPECIFY 3/8" TYPE "X" GYFBOARD ON CEILINGS AND SUPPORTING MEMBERS (E.G., BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.
- 17) ANY PENETRATION OF THE WALL COMMON TO THE HOUSE & GARAGE SHALL BE MADE WITH MINIMUM 26 GAGE METAL AND INSULATED TO AT LEAST R4.2
- 18) FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES AT BOTH THE TOP AND BOTTOM OF STAIR STRINGERS AND ALONG THE STRINGERS IN BETWEEN THE STUD WITHIN THE WALLS WHETHER FINISHED OR UNFINISHED. THIS FOR BOTH FIRESTOPPING AND THE ATTACHMENT OF THE EDGE NAILING ATTACHMENT FOR THE ONE-HOUR CONSTRUCTION 5/8-INCH TYPE "X" GYFBOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS.

- 19) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA AS WELL AS THE MIXING BOXES, FLENUMSETC., SHALL BE 26 GA. MINIMUM AND INSULATED TO AT LEAST R4.2.
- 20) PROVIDE MINIMUM 26 GA. GALVANIZED KEEL SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).
- 21) GLAZING IN DOORS AND IN TUB SHOWER ENCLOSURES TO BE TEMPERED.
- 22) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

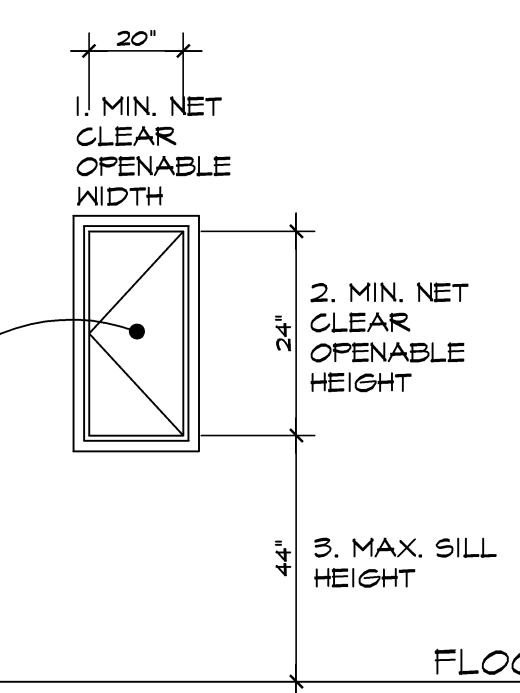
UNDER FLOOR VENTILATION CALCULATIONS

CRAWL SPACE: 2,826 S.F.
 $2,826/150 = 18.84$ S.F. REQUIRED
 USE 14X6 FOUNDATION VENT
 50 SQ. INCHES FREE VENT AREA = 347 S.F.
 $18.84/347 = 54$ VENTS REQUIRED

DUE TO PORCHES, PATIOS AND THE GARAGE NATURAL UNDER FLOOR VENTILATION CANNOT BE ACHIEVED. CONTRACTOR TO PROVIDE A MECHANICAL UNDER FLOOR VENTILATION SYSTEM.

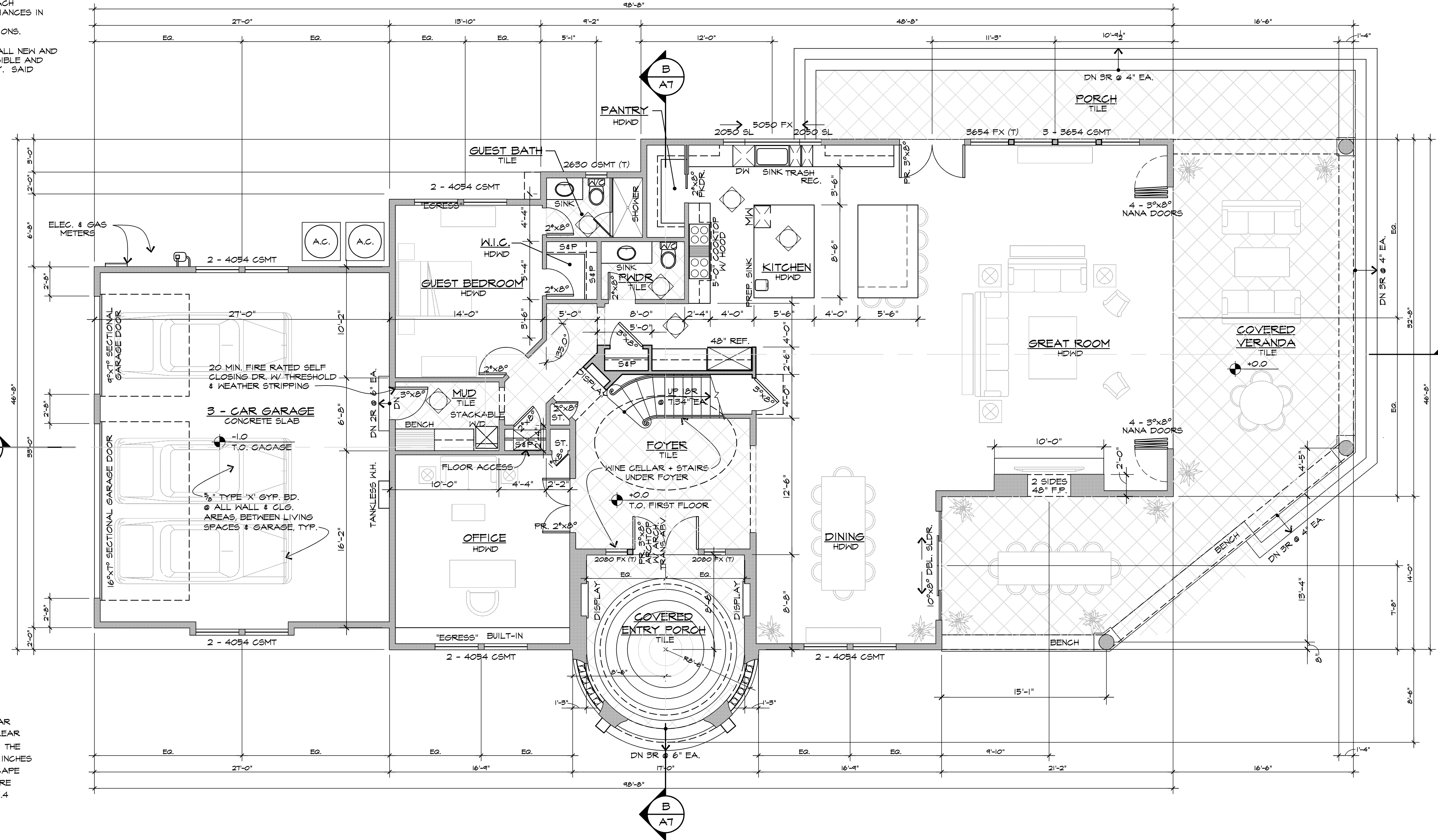
1202.4.3.1 CONTINUOUS MECHANICAL VENTILATION. CONTINUOUSLY OPERATED MECHANICAL VENTILATION SHALL BE PROVIDED AT A RATE OF 1.0 CUBIC FOOT PER MINUTE (CFM) FOR EACH 50 SQUARE FEET (1.02 L/S FOR EACH 10 M²) OF CRAWL SPACE GROUND SURFACE AREA AND THE GROUND SURFACE SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER.

EGRESS WINDOW DETAIL
 EGRESS WINDOWS SHALL COMPLY W/ ALL 4 CONDITIONS ILLUSTRATED BELOW.



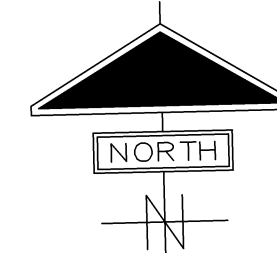
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. (0.53 M²). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (609.6 MM). THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. CBC SECTION 310.4

CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

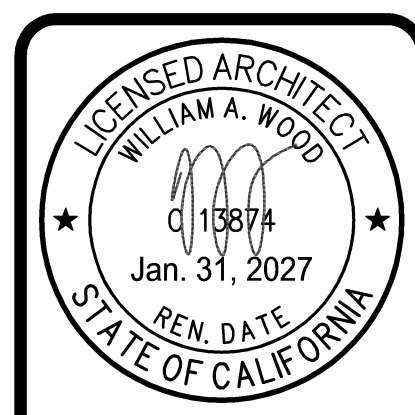


FIRST FLOOR PLAN - LOT 7

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
 430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A2
 OF SHEETS

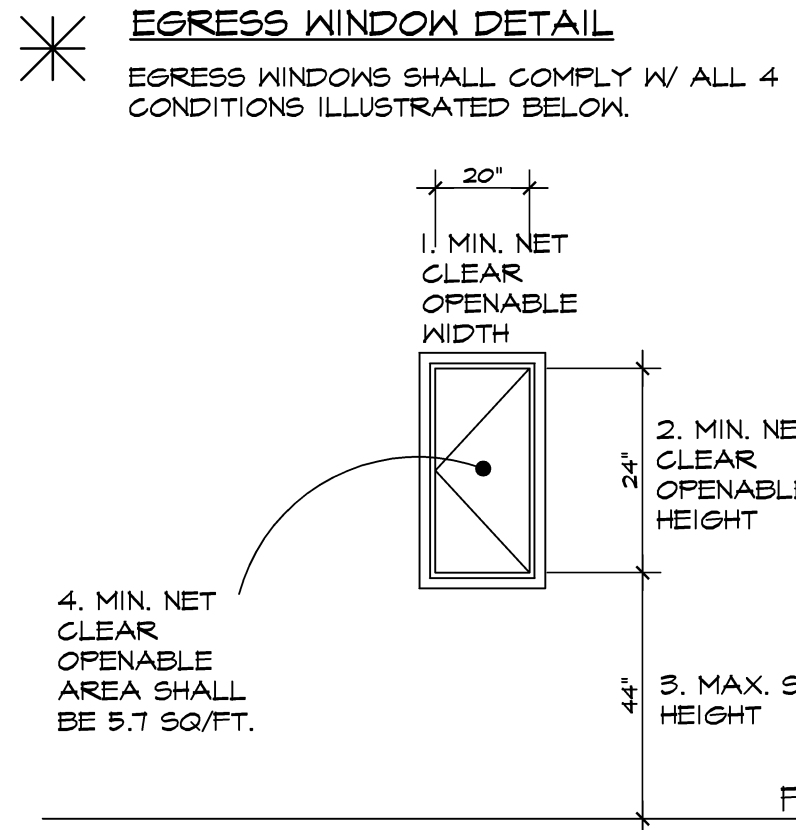
PLOT DATE: May 19, 2026 - 11:53am A2 First Floor Plans - lot 7.dwg

NOTES:

- 1) STAIRS: SEE STAIRS FOR HT., ALL TREAD WIDTHS 10" EA., TYP. U.N.O. V.I.F.
- 2) WINDOWS MARKED W/ (T) SHALL BE TEMPERED SAFETY GLASS
- 3) ALL FIRST FLOOR WINDOW HEAD HTS. SHALL BE 8'-0" TYP., ALL SECOND FLOOR WINDOW HEAD HTS. SHALL BE 6'-8" TYP., U.N.O.
- 4) ALL WINDOWS MARKED "EGRESS" SHALL MEET MIN. EMERGENCY "EGRESS" WINDOW STANDARDS OF MIN. NET CLEAR OPENING OF 5.7 SQ. FT. & MIN. NET CLEAR HEIGHT OF 24" & MIN. NET CLEAR WIDTH OF 20" CONTRACTOR SHALL VERIFY W/ WINDOW MANUFACTURER.
- 5) THERE MUST BE AT LEAST 15" INCHES BETWEEN THE CENTER OF PLUMBING FIXTURES SUCH AS WATER CLOSETS OR SINKS AND THE NEAREST WALL OR OBJECT.
- 6) CONTRACTOR TO PROVIDE THERMOSTATIC MIXING VALVE CONTROLS FOR ALL TUB/SHOWER ENCLOSURES.
- 7) CONTRACTOR SHALL VERIFY LOCATION & NUMBER OF A/C UNITS W/ OWNER PROVIDE 4" CONC. SLAB W/ #10 W.W.M. ALL NECESSARY PLUMBING & ELECTRICAL.
- 8) ALL GUARDRAILS TO BE +42" HIGH, W/ INTERMEDIATE SPACES SUCH THAT A SPHERE 4" IN DIA. CAN NOT PASS THROUGH, TYP.
- 9) HANDRAIL IS REQUIRED PER SECT. 504 WHEN DROP EXCEEDS 30".
- 10) HANDRAIL SHALL BE CAPABLE OF SUPPORTING LATERAL LOAD PER TABLE 16-B, FN #9 (200# LF LATERAL LOAD AT THE TOP RAIL) AND FN #4 (25#/SF LATERAL LOAD AT THE INTERMEDIATE PICKETS, AND 200# APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAIL).
- 11) MINIMUM OF 36-INCH DEEP LANDING IS REQUIRED IN DIRECTION OF TRAVEL. MAXIMUM RISE OF STEP IS 7.75-INCH.
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY/FLUE/VENT USED FOR FIREPLACES AND HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- 13) SEE ELECTRICAL/MECHANICAL PLAN FOR HOSE BIBB LOCATIONS.
- 14) SEE REFLECTED CEILING PLAN FOR CEILING CONDITIONS.
- 15) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

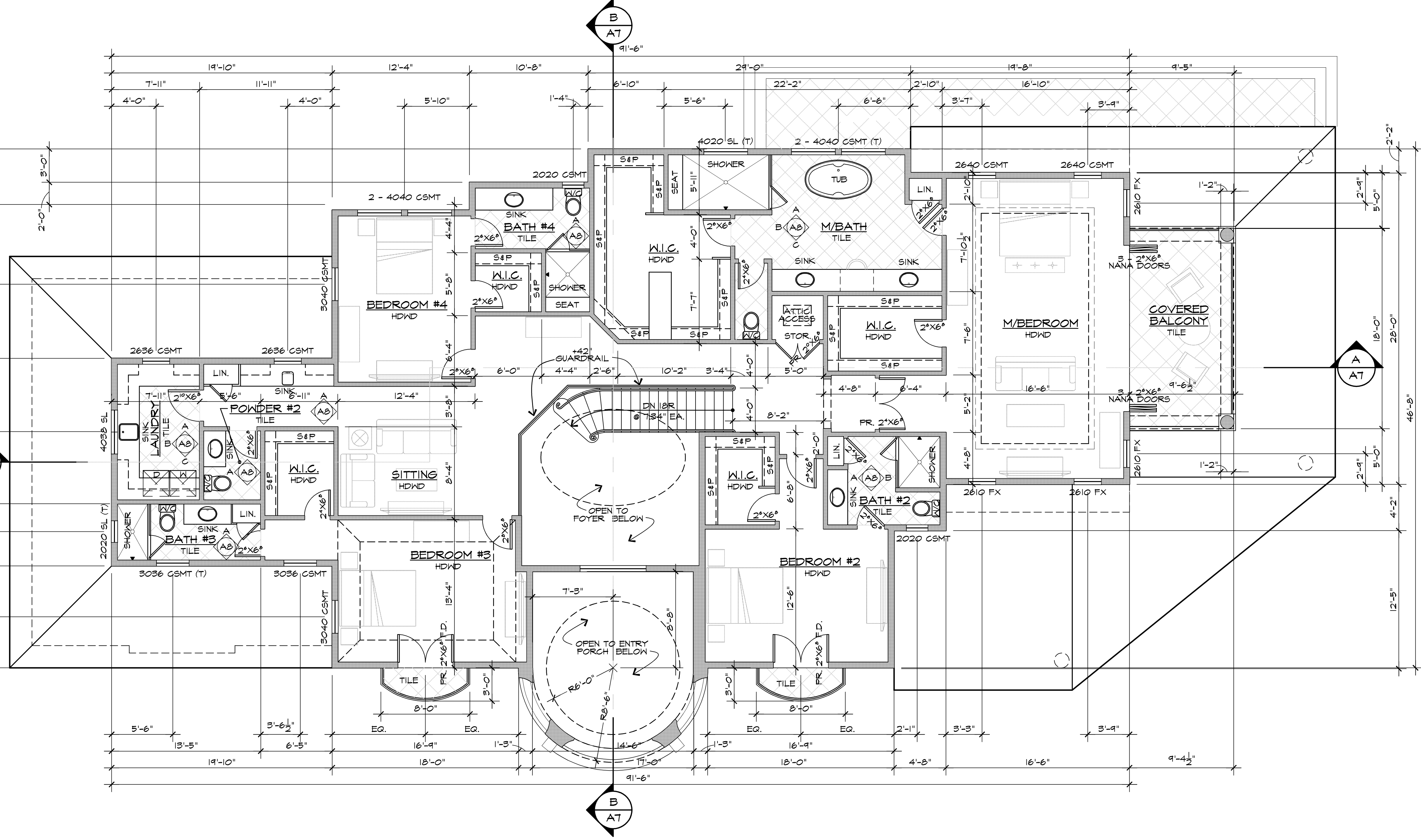
- 16) SPECIFY PERIMETER BLOCKING BETWEEN THE CEILING JOISTS FOR SOLID BACKING FOR THE ATTACHMENT OF THE SHEETROCK TO THE GARAGE CEILING. IN LIEU OF THE BLOCKING, ONE MAY USE A CONTINUOUS STRIP OF 16 GAGE SHEET METAL THAT IS 1" SHARPED WITH A MINIMUM DIMENSION OF 2.5"X2.5", SECURED TO THE CEILING FRAMING WITH 2-8d'S AND ONE 8d TO THE TOP PLATELINE. THIS RUNS PERPENDICULAR TO THE JOIST DIRECTION. THE SHEETROCK IS THEN SCREW ATTACHED AT THE 6" O/C (TO THE METAL) SPECIFY 3/8" TYPE "X" GYFBOARD ON CEILINGS AND SUPPORTING MEMBERS (E.G., BEAMS, COLUMNS AND BEARING WALLS) WHERE LIVING AREAS ARE ABOVE.
- 17) ANY PENETRATION OF THE WALL COMMON TO THE HOUSE & GARAGE SHALL BE MADE WITH MINIMUM 26 GAGE METAL AND INSULATED TO AT LEAST R4.2
- 18) FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES AT BOTH THE TOP AND BOTTOM OF STAIR STRINGERS AND ALONG THE STRINGERS IN BETWEEN THE STUD WITHIN THE WALLS WHETHER FINISHED OR UNFINISHED. THIS FOR BOTH FIRESTOPPING AND THE ATTACHMENT OF THE EDGE NAILING ATTACHMENT FOR THE ONE-HOUR CONSTRUCTION 5/8-INCH TYPE "X" GYFBOARD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS.

- 19) ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA AS WELL AS THE MIXING BOXES, FLENUMSETC., SHALL BE 26 GA. MINIMUM AND INSULATED TO AT LEAST R4.2.
- 20) PROVIDE MINIMUM 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).
- 21) GLAZING IN DOORS AND IN TUB SHOWER ENCLOSURES TO BE TEMPERED.
- 22) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.



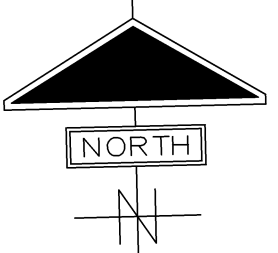
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. (0.53 M²). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES (609.6 MM). THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. CBC SECTION 310.4

CONTRACTOR NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL EGRESS REQUIREMENTS.

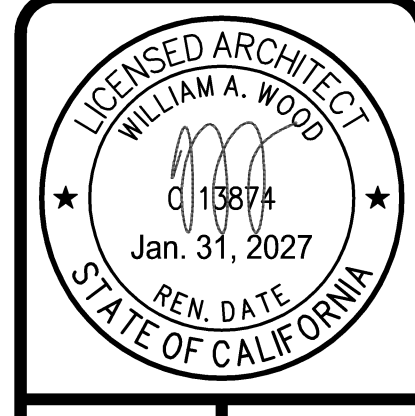


SECOND FLOOR PLAN - LOT 7

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

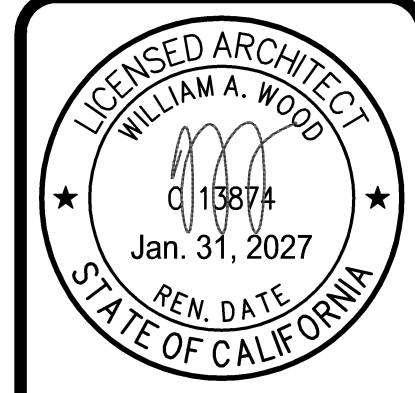
THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A3
OF SHEETS

PLOT DATE: May 19, 2026 - 11:51am A3 Second Floor Plans - lot 7.dwg

REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2025

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

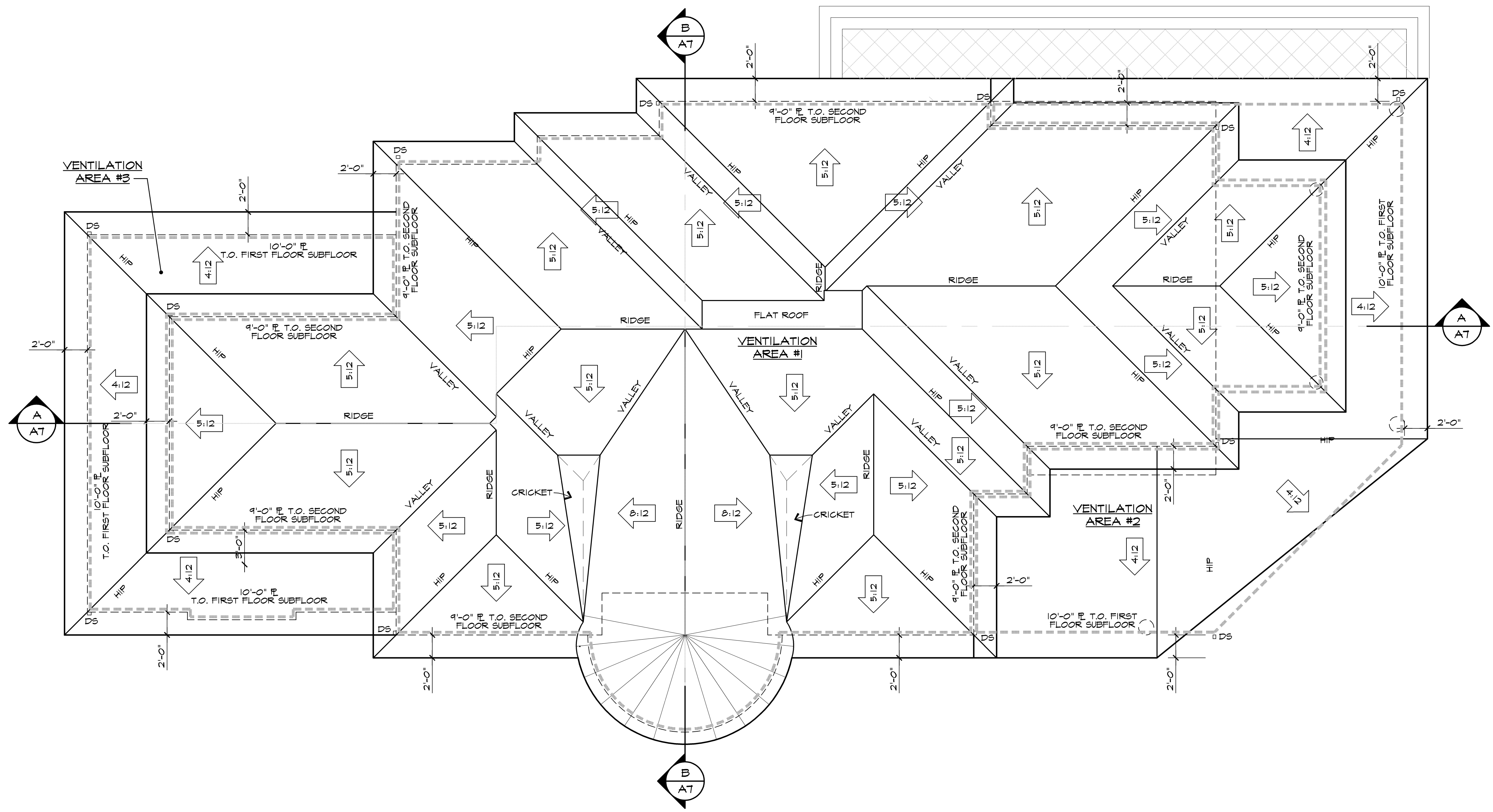
A4
 OF SHEETS

ROOF VENTILATION CALCULATIONS

- AREA 1**
- * ATTIC AREA: 3532 SQ. FT.
 - * REQUIRED AREA: 1645.36 SQ. IN. (CONVERTED TO INCHES @ 1/300)
 - * UPPER AREA: 847.68 SQ. IN. (50% REQUIRED IN UPPER 1/3)
 - * PROVIDE 847.68 SQ. IN. IN UPPER 1/3 OFF ROOF WITH OHAGIN'S "FLAT" VENT (98.75 SQ. IN. FREE AREA) * 2 VENTS REQUIRED
 - * LOWER AREA: 847.68 SQ. IN. (50% REQUIRED IN LOWER 1/3)
 - * TO BE PROVIDED BY 121 VENTED FRIEZE BLOCKS MIN. (7 SQ. IN. FREE VENTING PER BLOCK VIA 3-2" DIA. HOLES)
- AREA 2**
- * ATTIC AREA: 836 SQ. FT.
 - * REQUIRED AREA: 401.28 SQ. IN. (CONVERTED TO INCHES @ 1/300)
 - * UPPER AREA: 200.64 SQ. IN. (50% REQUIRED IN UPPER 1/3)
 - * PROVIDE 200.64 SQ. IN. IN UPPER 1/3 OFF ROOF WITH OHAGIN'S "FLAT" VENT (98.75 SQ. IN. FREE AREA) * 2 VENTS REQUIRED
 - * LOWER AREA: 200.64 SQ. IN. (50% REQUIRED IN LOWER 1/3)
 - * TO BE PROVIDED BY 23 VENTED FRIEZE BLOCKS MIN. (7 SQ. IN. FREE VENTING PER BLOCK VIA 3-2" DIA. HOLES)
- AREA 3**
- * ATTIC AREA: 527 SQ. FT.
 - * REQUIRED AREA: 252.96 SQ. IN. (CONVERTED TO INCHES @ 1/300)
 - * UPPER AREA: 126.48 SQ. IN. (50% REQUIRED IN UPPER 1/3)
 - * PROVIDE 126.48 SQ. IN. IN UPPER 1/3 OFF ROOF WITH OHAGIN'S "FLAT" VENT (98.75 SQ. IN. FREE AREA) * 1 VENTS REQUIRED
 - * LOWER AREA: 126.48 SQ. IN. (50% REQUIRED IN LOWER 1/3)
 - * TO BE PROVIDED BY 18 VENTED FRIEZE BLOCKS MIN. (7 SQ. IN. FREE VENTING PER BLOCK VIA 3-2" DIA. HOLES)

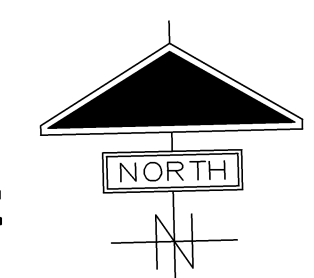
ROOF NOTES:

- 1) ROOF SLOPE = 5:12, U.N.O.
- 2) 2'-0" OVERHANG, TYP. U.N.O.
- 3) FINAL LOCATION OF VENTS BY CONTRACTOR.
- 4) ROOF MATERIAL SEE EXTERIOR ELEVATIONS.
- 5) COLLECT ALL NEW DOWNSPOUTS AND CONNECT TO AN EXISTING APPROVED DRAINAGE SYSTEM.



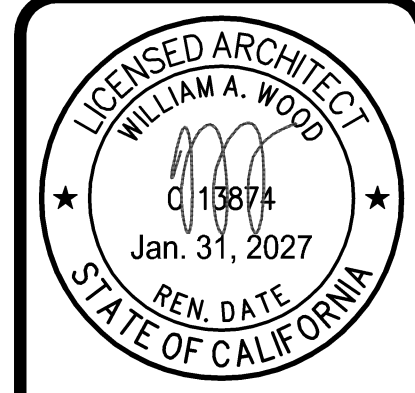
ROOF PLAN - LOT 7

SCALE: 3/16" = 1'-0"



PLOT DATE: May 14, 2026 - 11:53am A4 Roof Plan.dwg

REVISIONS	DATE



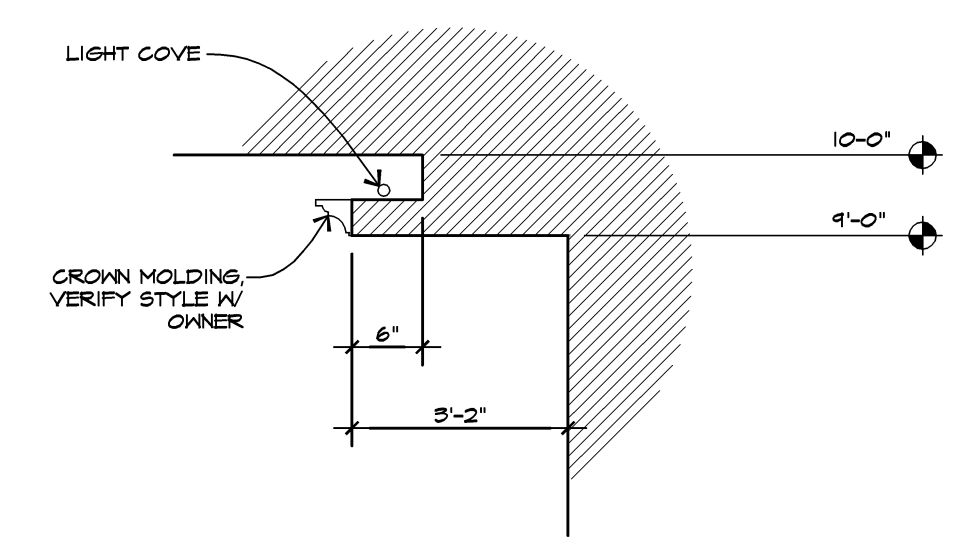
CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

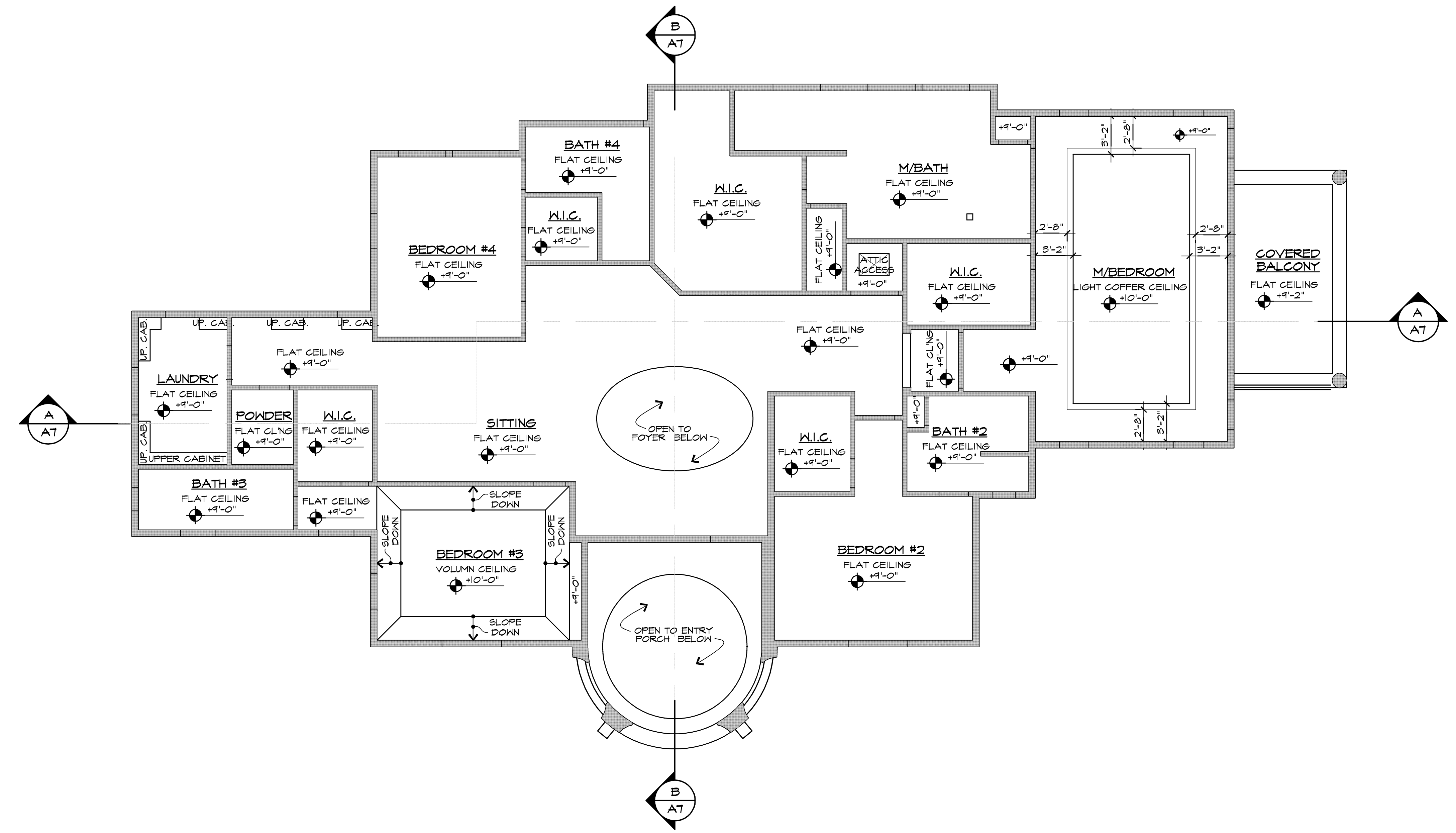
THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2021

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A6
 OF SHEETS

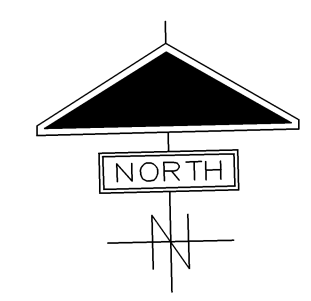


LIGHT COFFER CEILING
 SCALE: N.T.S.



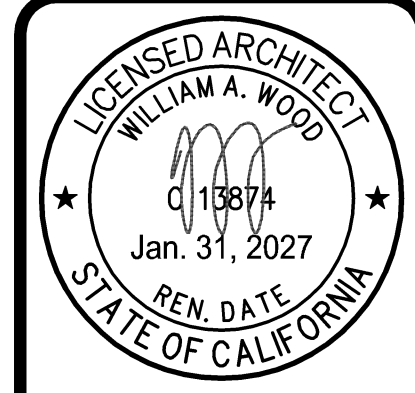
SECOND FLOOR REFLECTED CEILING PLAN - LOT 7

SCALE: 3/8" = 1'-0"



Plot Date: May 19, 2026 - 11:56am AS-A6 Reflected Ceiling Plans -lot 7.dwg

REVISIONS	DATE



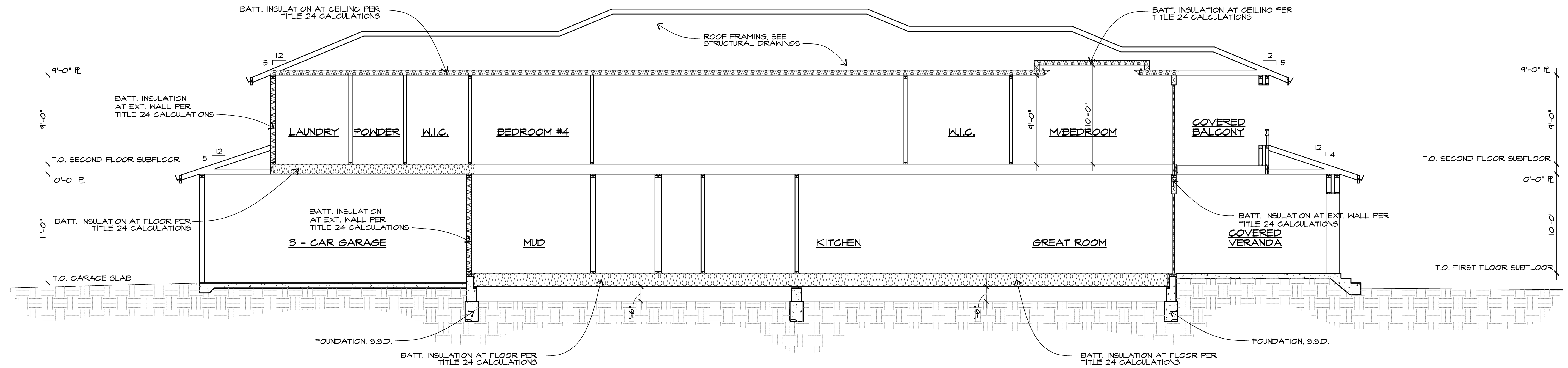
CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2021

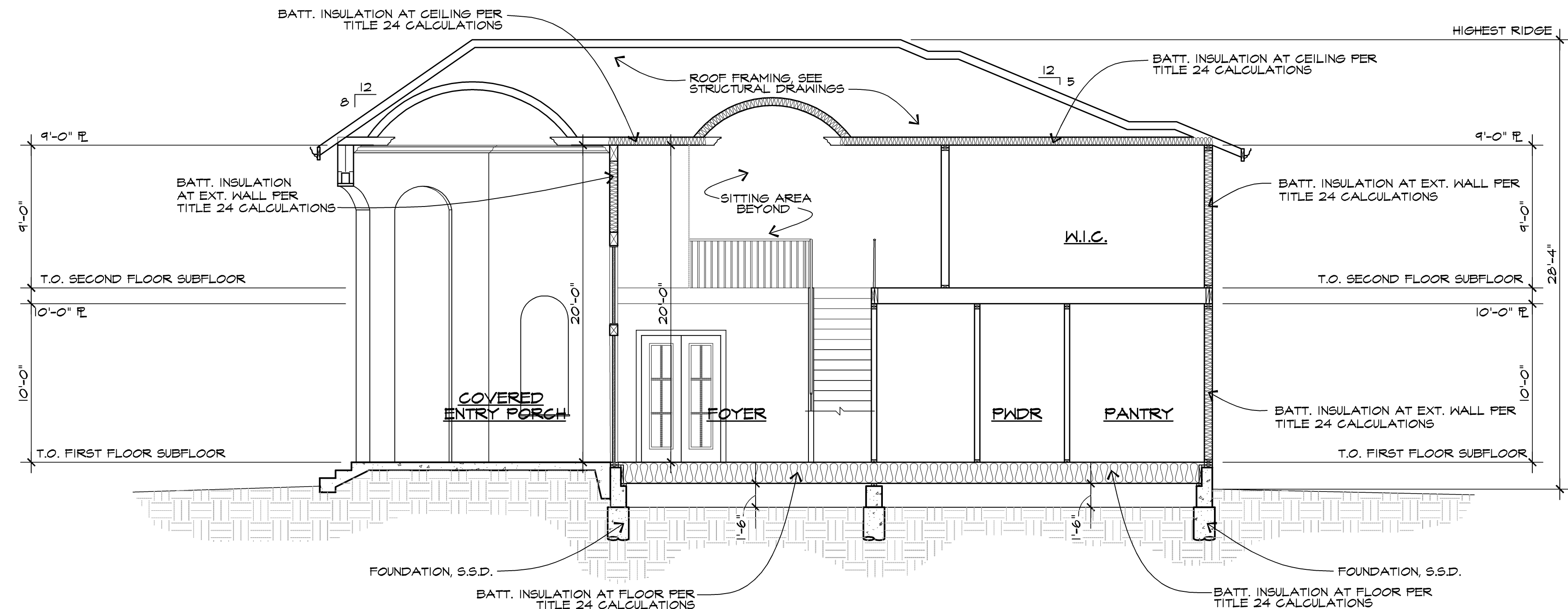
DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	A7
OF	SHEETS

Plot Date: May 15, 2026 - 11:57am AT-AIO Elevations.dwg



BUILDING SECTION - A/A7

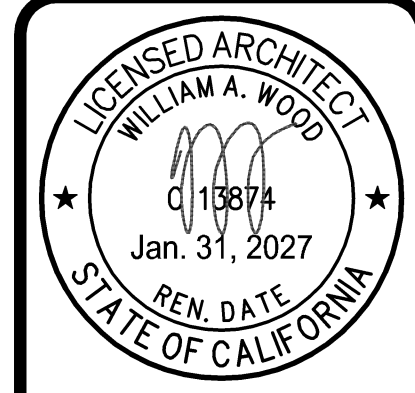
SCALE: 3/8" = 1'-0"



BUILDING SECTION - B/A7

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



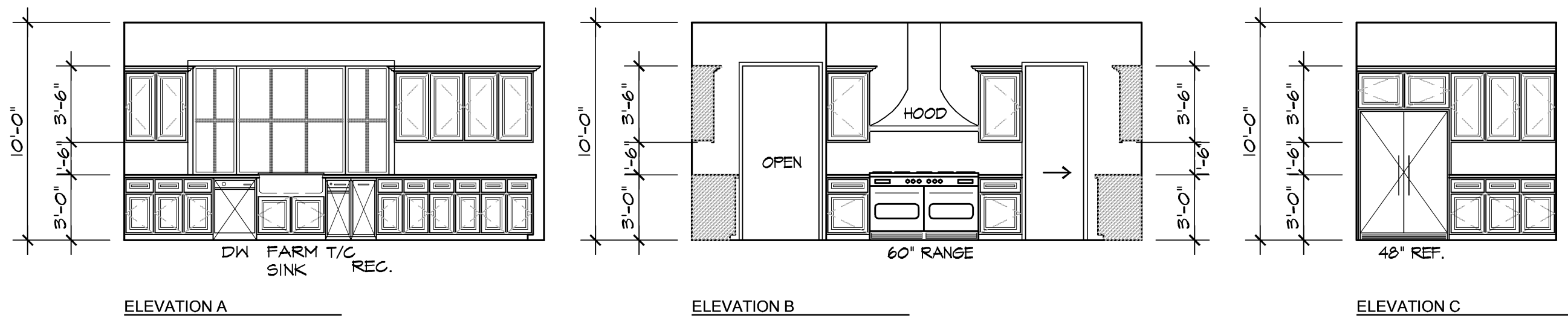
CLYDE-MILES CONST - LOT 7
430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

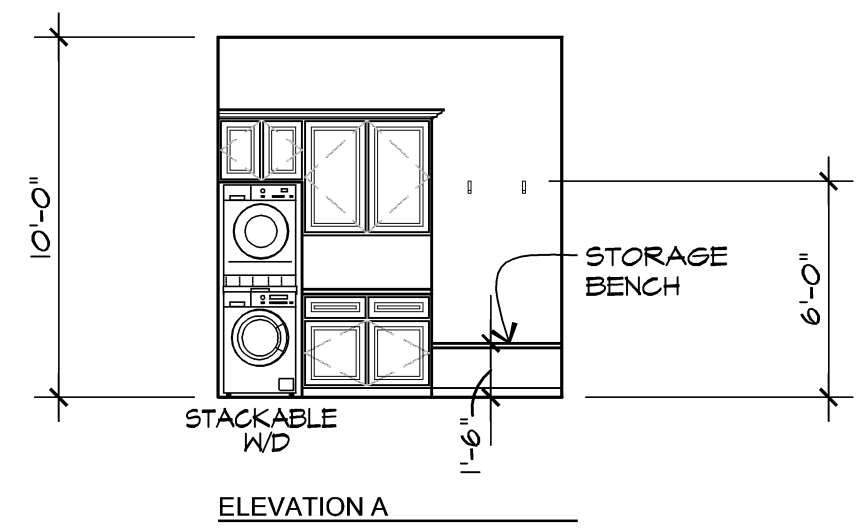
THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2022

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	A8
OF	SHEETS

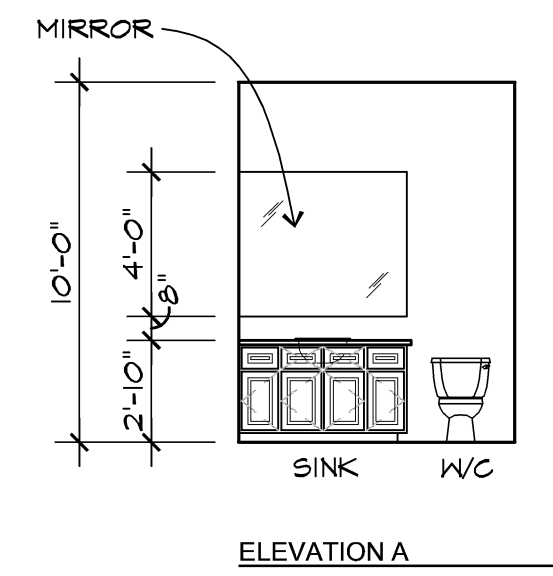
Plot Date: May 15, 2026 - 11:57am AT-AIO Elevations.dwg



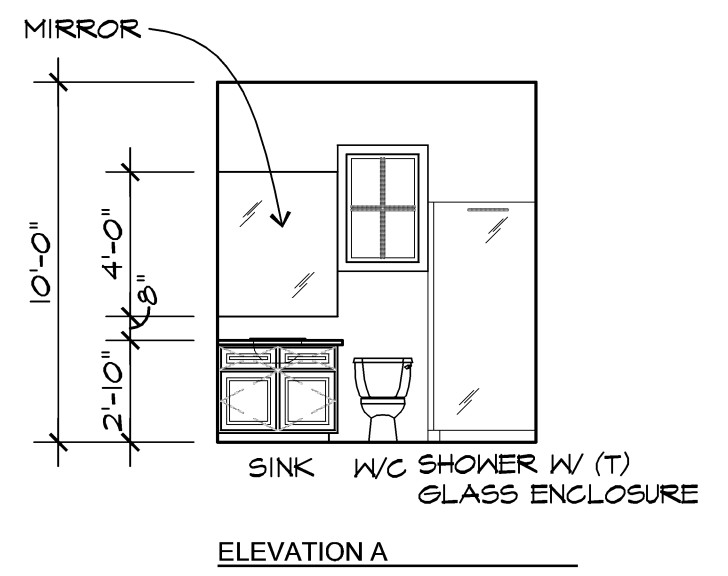
KITCHEN



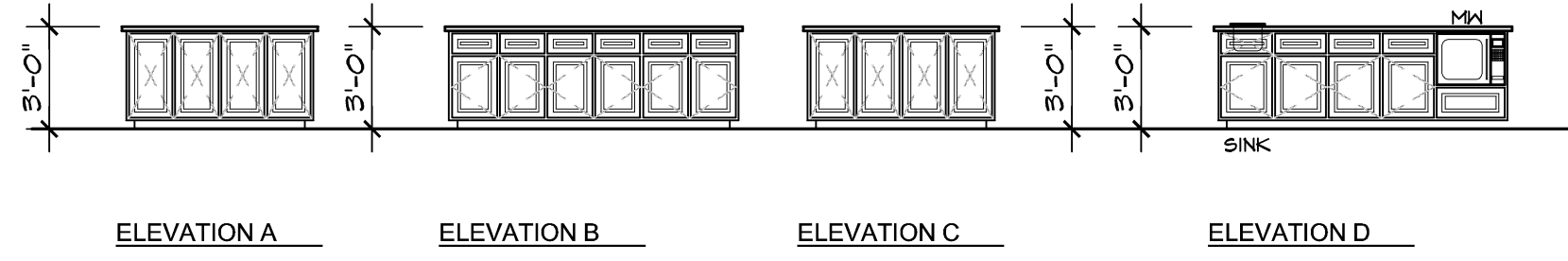
MUD



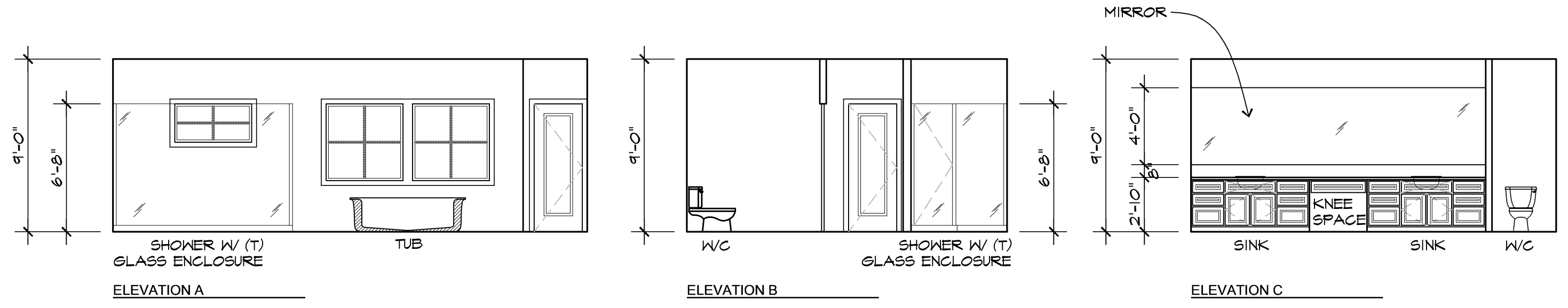
POWDER



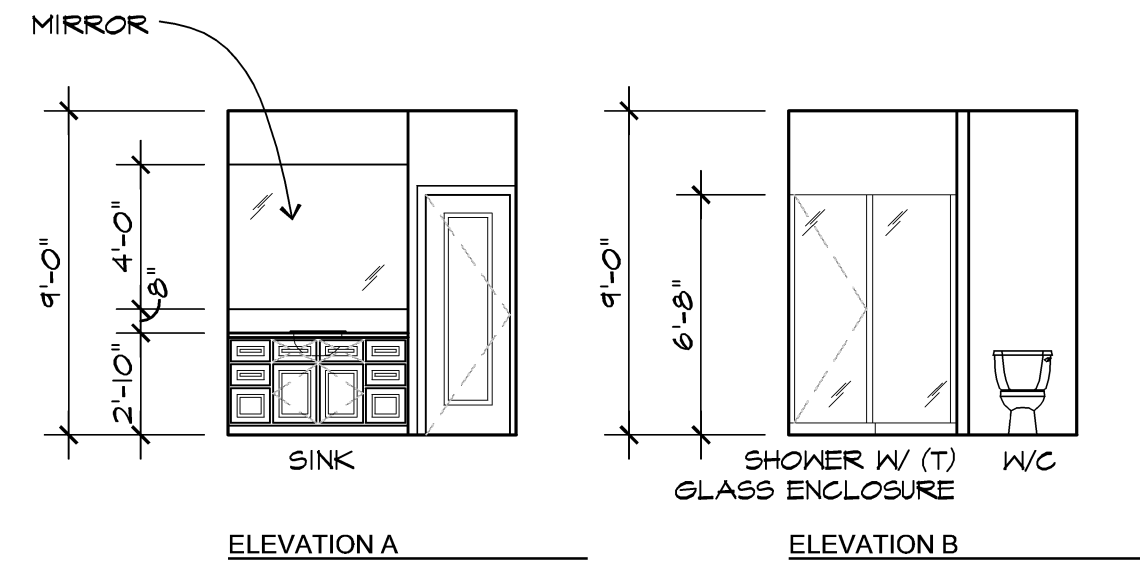
KITCHEN



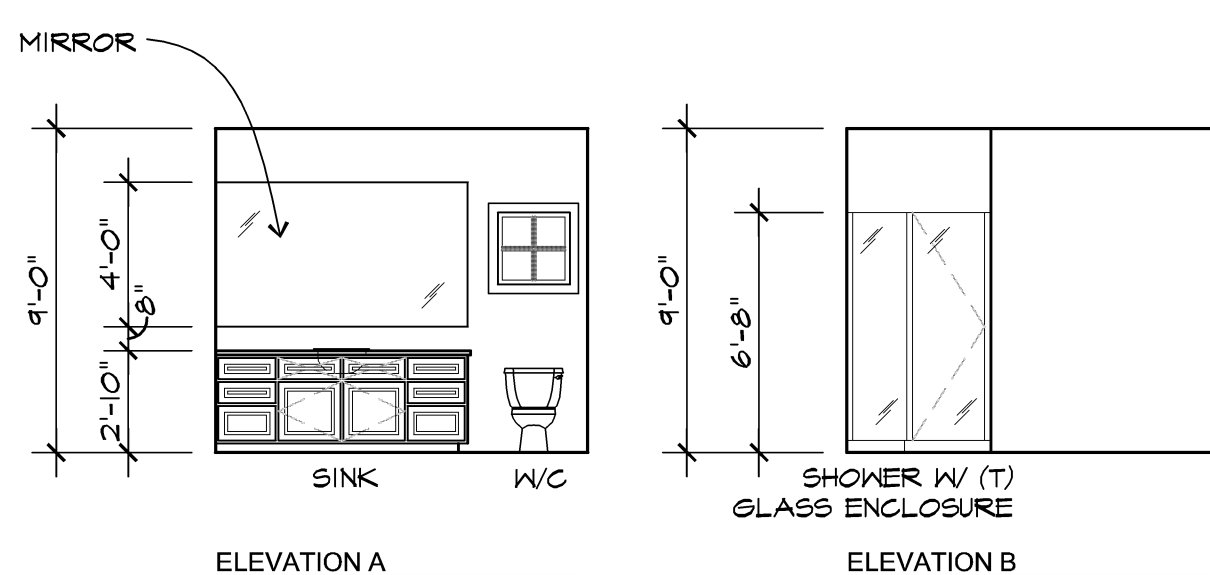
KITCHEN ISLAND



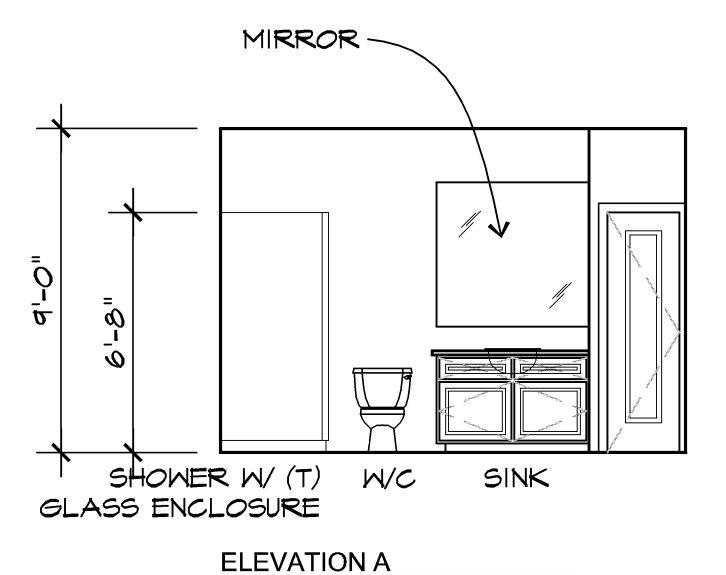
M/BATH



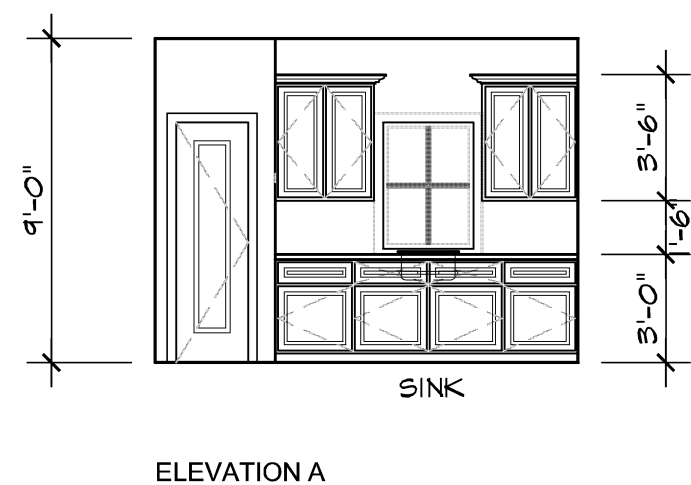
BATH #2



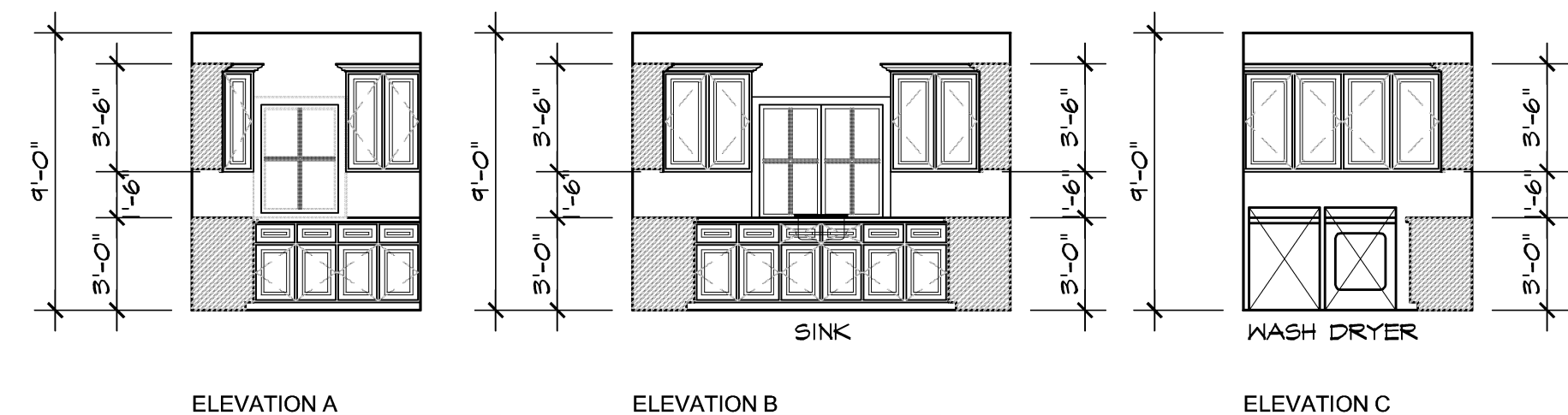
BATH #2



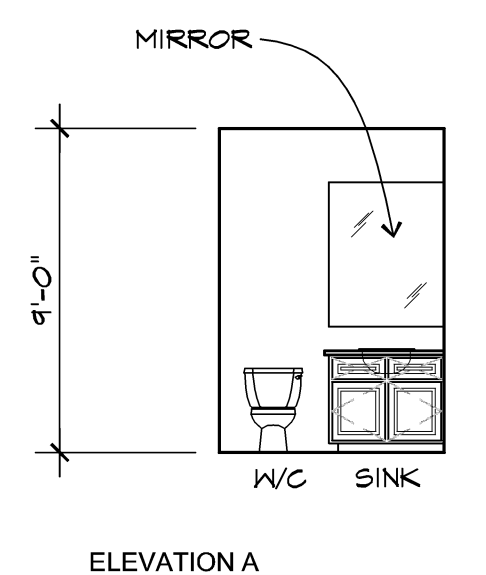
BATH #3



SITTING

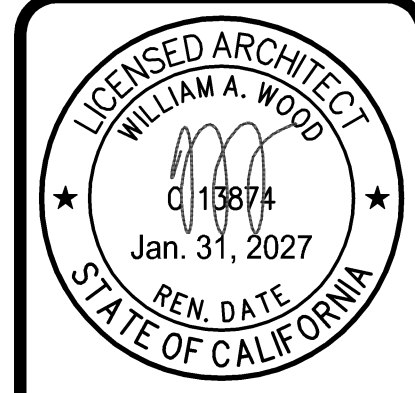


LAUNDRY



POWDER #2

REVISIONS	DATE



CLYDE-MILES CONST - LOT 7

430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.

COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2021

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A9

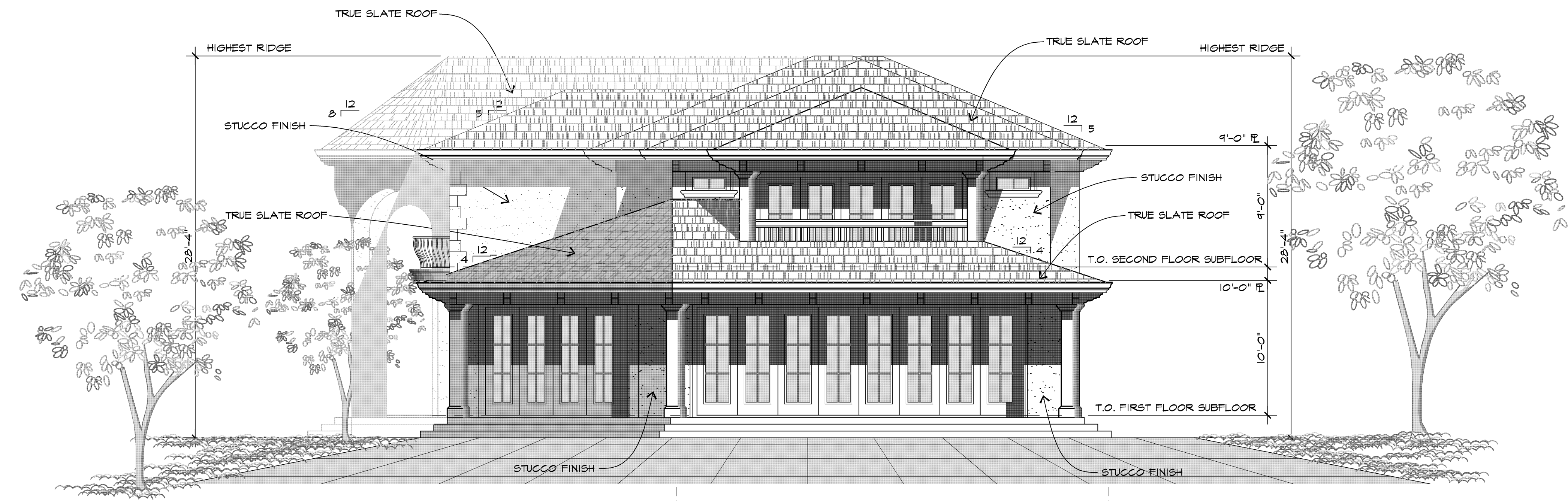
OF SHEETS

Plot Date: May 15, 2026 - 11:57am AT-AIO Elevations.dwg



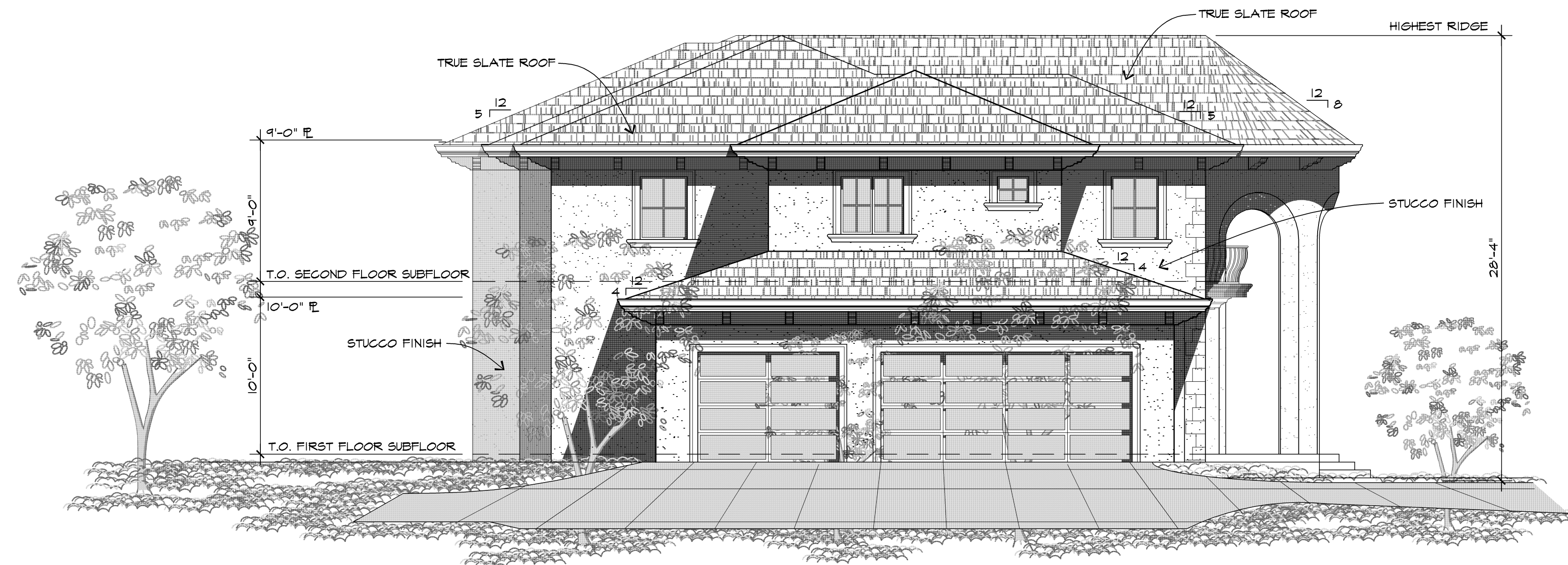
SOUTH ELEVATION (FRONT)

SCALE: 3/8" = 1'-0"



EAST ELEVATION (RIGHT)

SCALE: 3/8" = 1'-0"



WEST ELEVATION (LEFT)

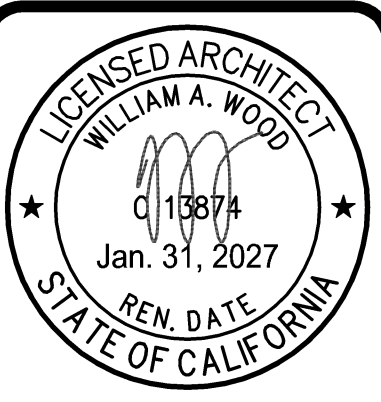
SCALE: 3/8" = 1'-0"



NORTH ELEVATION (REAR)

SCALE: 3/8" = 1'-0"

REVISIONS	DATE



CLYDE-MILES CONST - LOT 7

430 LEGACY DR.
ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA 94526
(925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2021

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

A10
OF SHEETS

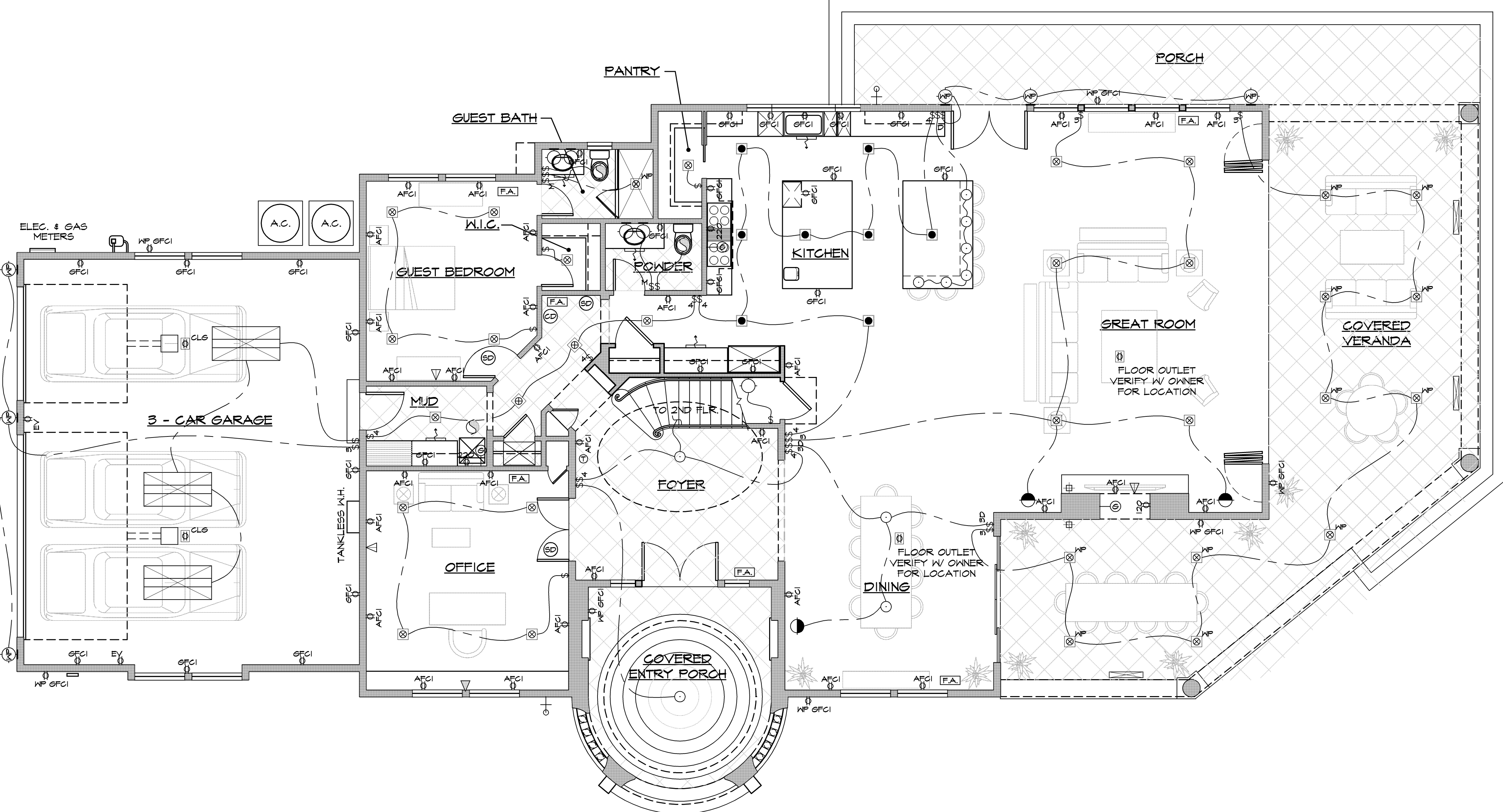
PLF DWG May 14, 2026 - 11:55am AT-A10 Elevations.dwg

ELECTRICAL NOTES

- 1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
- 2) PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET, PER 2022 CEC.
- 3) PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER TO PROTECT ALL RECEPTACLES IN THE BEDROOMS, PER 2010 CEC.
- 4) PROVIDE RECEPTACLE OUTLETS IN FOLLOWING LOCATIONS:
 - A. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" LOCATED SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE.
 - B. AN EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME. THEY MUST BE WITHIN 6 FEET, 6 INCHES OF GRADE AND WATERPROOF.
 - C. ONE RECEPTACLE FOR THE LAUNDRY, (I.E. WASHER), CEC 210-52(F)
 - D. IN ANY HALLWAY 10 FT OR MORE IN LENGTH, CEC 210-52 (H)
- 5) FLOOR OUTLETS MAY BE USED AS REQUIRED WALL OUTLETS WHEN LOCATED WITHIN 18" OF THE WALL IN ACCORDANCE WITH 2022 CEC.
- 6) KITCHEN COUNTERTOP RECEPTACLES SHALL BE LOCATED ABOVE THE COUNTERTOP NOT MORE THAN 18", AND MAY NOT BE INSTALLED FACE-UP IN THE COUNTER.
- 7) CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET IS REQUIRED FOR DRYERS AND COOKING UNITS.
- 8) KITCHEN COUNTER OUTLETS FOR SMALL APPLIANCES ARE REQUIRED TO BE POWERED FROM TWO SEPARATE CIRCUITS.
- 9) ELECTRICAL OUTLETS IN THE BEDROOMS ARE REQUIRED TO HAVE AFCI PROTECTION.
- 10) ELECTRICAL OUTLETS IN BATHROOMS, LAUNDRY ROOMS, GARAGE AND KITCHEN COUNTER AND OUTSIDE ARE REQUIRED TO HAVE GFCI PROTECTION.
- 11) ELECTRICAL OUTLETS OUTSIDE THE BUILDING REQUIRE WEATHER-PROTECTED GFI PER ART. 210-52.
- 12) PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SERVES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED)
- 13) CONTRACTOR TO PROVIDE THE OPTION OF GAS OR 220V @ THE COOK TOP (VERIFY W/ OWNER)
- 14) PROVIDE APPROVED EXCESS GAS SHUT-OFF DEVICES, NON-MOTION SENSITIVE TO BE TRIGGERED WHEN THE GAS FLOW EXCEEDS THE DESIGN FLOW LIMIT. AT EACH CONNECTION OF A GAS APPLIANCE TO A GAS LINE PER C.C.C.O. ORDINANCE 2004-21.
- 15) PRESSURE TEST IS REQUIRED FOR GAS LINES PRIOR TO FINAL (MINIMUM 10 PSI FOR 15 MINUTES.
- 16) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
- 17) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER, TYP.
- 18) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
- 19) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
- 20) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
- 21) SHOWER HEADS AREA ALLOWED MAXIMUM 2.5 GPM FLOW PER.
- 22) KITCHEN FAUCETS MAX. 2.2 GPM
- 23) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT 402.3
- 24) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, CFC 420.0
- 25) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5352(J).
- 26) LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS. THIS GENERAL LIGHTING SHALL BE CONTROLLED BY A SWITCH ON A READILY ACCESSIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. ISO (KI). ROOMS WITH A SHOWER OR BATHTUB MUST HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 150 (K)(2), AND RECESSED CEILING FIXTURES ARE IC (INSULATION COVERED) UNLESS APPROVED, ISO (K) 2
- 27) ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABEL "SUITABLE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS >= 8 FT. BE PROTECTED BY GFCI, CEC 410-4(A)20B
- 28) RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE THE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS I AND 6, OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 14, 2022.
- 29) HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.
- 30) ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE
- 31) PROVIDE AIR TIGHT RECESSED LUMINAIRES
- 32) IC RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.
- 33) THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.
- 34) FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.
- 35) INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO THE FIELD INSPECTOR @ THE TIME OF INSPECTION.
- 36) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. (CFC 2001(SEC 901.4.4)). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.
- 37) ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS OR LOCATED IN BATHROOMS, CEC 240-24(D) AND 240-24 (E)
- 38) CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR PURGED SPACE. THE SECONDARY DRAIN LINE MUST BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED. CMC10.2
- 39) CONTRACTOR TO SPECIFY SEISMIC ANCHORAGE OF THE FURNACE PER MANUFACTURERS LISTING.
- 40) UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE ADMINISTRATIVE AUTHORITY, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN (14) FEET, INCLUDING 2 NINETY DEGREE ELBOWS. TWO (2) FEET SHALL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO. PER 2022 CMC 504.3.2.2.
- 41) GROUND CLEANOUT SHALL BE WATER TIGHT AND GAS-TIGHT (IF IT'S LEAVE INSIDE UNDER THE BUILDING) OTHERWISE EXTEND TO THE EXTERIOR OF THE BUILDING.
- 42) VENTS SHALL TERMINATE AT LEAST 10 FT. HORIZONTALLY FROM AND AT LEAST 3 FT. ABOVE ANY OPENABLE SKYLIT/WINDOW, AIR INTAKE OR PLUMBING VENT SHFT. CFC 906.2
- 43) PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE FOLLOWING ROOMS: BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS. CEC 1203.3

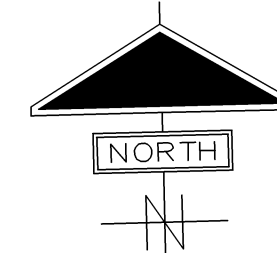
ELECTRICAL/MECHANICAL KEY

- | | | | | | | | | | |
|-------------------|---|---|---|---|--|---|---|---|---------------------------------|
| Ⓛ | DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. | Ⓜ | WALL WASHER | Ⓛ | FLOOD LIGHT | Ⓜ | GAS OUTLET | Ⓛ | AIR SUPPLY LOCATED IN TOE SPACE |
| Ⓛ ^{AFCI} | DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER | Ⓜ | CEILING MOUNTED LIGHT FIXTURE | Ⓛ | FLUORESCENT LIGHT FIXTURE | Ⓜ | GAS KEY | Ⓛ | CEILING SUPPLY AIR REGISTER |
| Ⓛ ^{GFCI} | DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER | Ⓜ | CEILING MOUNTED FLUORESCENT LIGHT FIXTURE | Ⓛ | FLUORESCENT LIGHT FIXTURE (UNDER CABINET) | Ⓜ | THERMOSTAT | Ⓛ | FLOOR AIR SUPPLY REGISTER |
| Ⓛ ^{WP} | WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-8(G)3) | Ⓜ | LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS | Ⓛ | OVERHEAD PATIO HEATER | Ⓜ | LIGHTED WALL MOUNTED ADDRESS (12" HIGH, U.O.N.) | Ⓛ | COLD AIR RETURN @ CEILING |
| Ⓛ ²²⁰ | DUPLEX RECEPTACLE OUTLET - 220 VOLT | Ⓜ | WALL MOUNTED LIGHT FIXTURE | Ⓛ | EXHAUST FAN | Ⓜ | GARAGE DOOR OPENER, W/ PUSH BUTTON OPENER INSIDE OF GARAGE & PROVIDE CEILING OUTLET | | |
| Ⓛ | 4-PLEX RECEPTACLE OUTLET | Ⓜ | WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS | Ⓛ | SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED | Ⓜ | CEILING FAN & LIGHT COMBO | | |
| Ⓛ ^{CLG} | CEILING DUPLEX RECEPTACLE OUTLET | Ⓜ | HANGING LIGHT | Ⓛ | CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED | Ⓜ | CEILING FAN | | |
| Ⓛ | FLOOR DUPLEX RECEPTACLE OUTLET | Ⓜ | CEILING MOUNTED LIGHT/FAN COMBO | Ⓛ | CAT V | Ⓜ | | | |
| Ⓛ | SINGLE POLE SWITCH @ 48" U.N.O. | Ⓜ | RECESSED LOW VOLTAGE CEILING LIGHT | Ⓛ | TELEVISION OUTLET | Ⓜ | | | |
| Ⓛ | THREE-WAY SWITCH | Ⓜ | RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS | Ⓛ | HOSE BIBB W/ VACUUM BREAKER | Ⓜ | | | |
| Ⓛ | FOUR-WAY SWITCH | Ⓜ | RECESSED FLUORESCENT LIGHT FIXTURE | Ⓛ | HOSE BIBB (1/2" CW) W/ NON-REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB) | Ⓜ | | | |
| Ⓛ | SWITCH W/ DIMMER | Ⓜ | RECESSED LIGHT FIXTURE | | | | | | |
| Ⓛ | SWITCH W/ MOTION LIGHT | | | | | | | | |

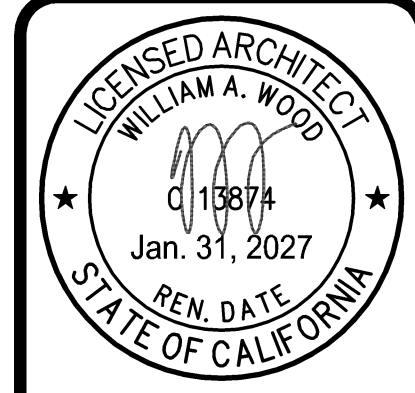


FIRST FLOOR ELECTRICAL/ MECHANICAL PLAN - LOT 7

SCALE: 3/8" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
 430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

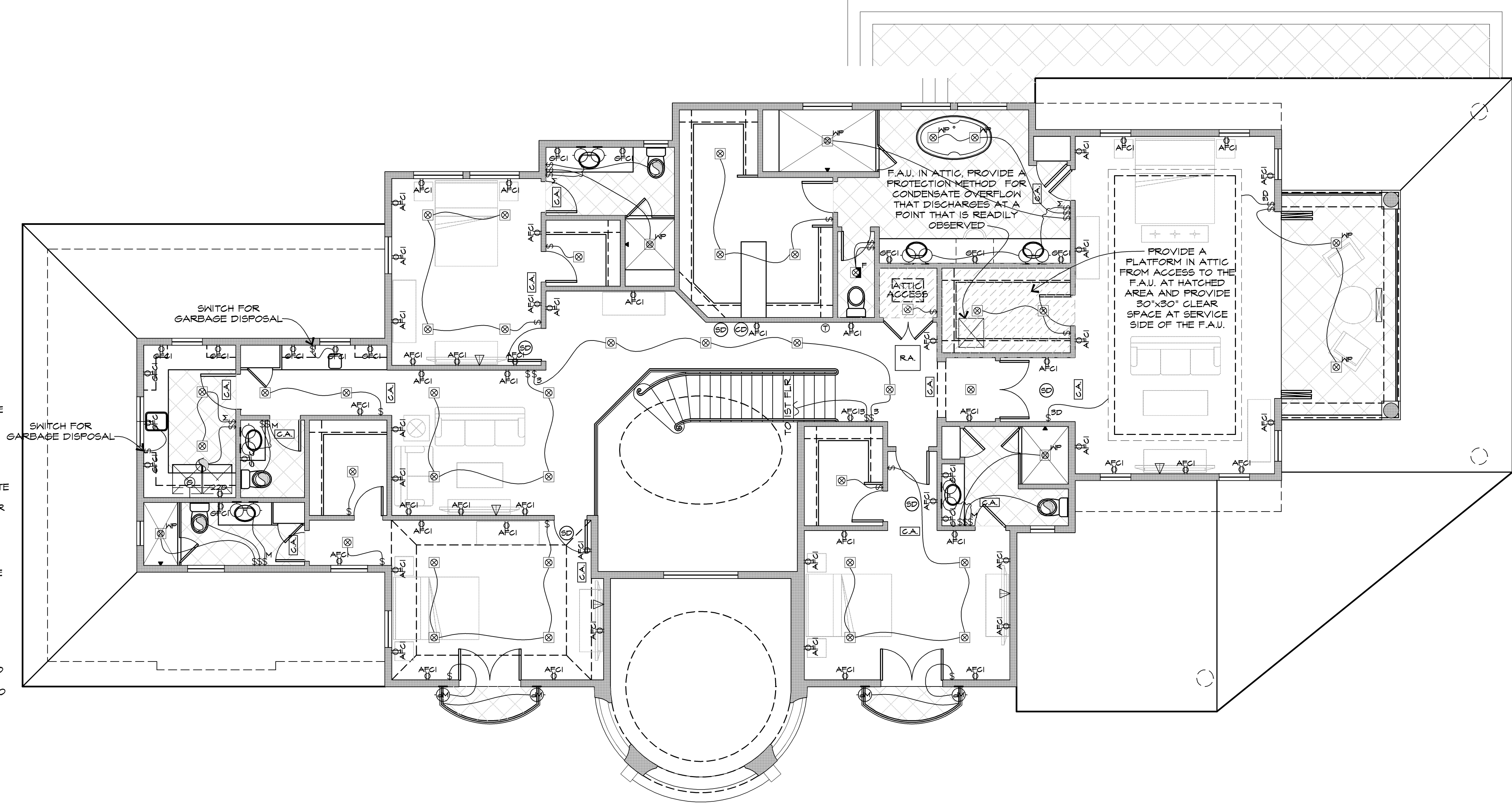
A11
 OF SHEETS

ELECTRICAL NOTES

- 1) VERIFY LOCATION AND NUMBER OF FLOOR OUTLETS W/ OWNER.
- 2) PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET, PER 2022 CEC.
- 3) PROVIDE AN ARC-FAULT CIRCUIT INTERRUPTER TO PROTECT ALL RECEPTACLES IN THE BEDROOMS, PER 2010 CEC.
- 4) PROVIDE RECEPTACLE OUTLETS IN FOLLOWING LOCATIONS:
 A. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" LOCATED SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE.
 B. AN EXTERIOR RECEPTACLES AT THE FRONT AND REAR OF THE HOME. THEY MUST BE WITHIN 6 FEET, 6 INCHES OF GRADE AND WATERPROOF.
 C. ONE RECEPTACLE FOR THE LAUNDRY, (I.E. WASHER), CEC 210-52(F).
 D. IN ANY HALLWAY 10 FT OR MORE IN LENGTH, CEC 210-52 (H).
 5) FLOOR OUTLETS MAY BE USED AS REQUIRED WALL OUTLETS WHEN LOCATED WITHIN 18" OF THE WALL IN ACCORDANCE WITH 2022 CEC.
 6) AS THE DINING ROOM, PARLOR AND FAMILY ROOM.
 7) KITCHEN COUNTERTOP RECEPTACLES SHALL BE LOCATED ABOVE THE COUNTERTOP NOT MORE THAN 18", AND MAY NOT BE INSTALLED FACE-UP IN THE COUNTER.
 8) CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET IS REQUIRED FOR DRYERS AND COOKING UNITS.
 9) KITCHEN COUNTER OUTLETS FOR SMALL APPLIANCES ARE REQUIRED TO BE POWERED FROM TWO SEPARATE CIRCUITS.
 10) ELECTRICAL OUTLETS IN THE BEDROOMS ARE REQUIRED TO HAVE AFCI PROTECTION.
 11) ELECTRICAL OUTLETS IN BATHROOMS, LAUNDRY ROOMS, GARAGE AND KITCHEN COUNTER AND OUTSIDE ARE REQUIRED TO HAVE GFCI PROTECTION.
 12) ELECTRICAL OUTLETS OUTSIDE THE BUILDING REQUIRE WEATHER-PROTECTED GFI PER ART. 210-52.
 13) PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
 14) CONTRACTOR TO PROVIDE THE OPTION OF GAS OR 220V @ THE COOK TOP (VERIFY W/ OWNER).
 15) PROVIDE APPROVED EXCESS GAS SHUT-OFF DEVICES, NON-MOTION SENSITIVE TO BE TRIGGERED WHEN THE GAS FLOW EXCEEDS THE DESIGN FLOW LIMIT, AT EACH CONNECTION OF A GAS APPLIANCE TO A GAS LINE PER C.C.C. ORDINANCE 2004-21.
 16) PRESSURE TEXT IS REQUIRED FOR GAS LINES PRIOR TO FINAL (MINIMUM 10 PSI FOR 15 MINUTES).
 17) CONTRACTOR TO PROVIDE A COLD WATER CONNECTION @ THE REFRIGERATOR.
 18) PROVIDE A PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE @ WATER HEATER, TYP.
 19) MINIMUM CAPACITY OF WATER HEATER EQUIVALENT TO NOT LESS THAN THE FIRST HOUR RATING OF 50 GALLON, OR PER T-24 CALC WHICHEVER IS GREATER.
 20) PROVIDE HOSE BIBB (1/2" CW) WITH A NON-REMOVABLE ANTI-SIPHON DEVICE.
 21) WATER CLOSET MAXIMUM 1.6 GALLONS PER FLUSH.
 22) SHOWER HEADS AREA ALLOWED MAXIMUM 2.5 GPM FLOW PER.
 23) KITCHEN FAUCETS MAX. 2.2 GPM.
 24) BATHROOM FAUCET SHALL NOT CONSUME MORE THAN 2.2 GPM PER SECT 402.3.
 25) SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, CPC 420.0.
 26) KITCHEN & BATHROOM LIGHTING SHALL MEET EFFICIENCY REQUIREMENT TITLE 24-2-5352(J).
 27) LUMINAIRES FOR GENERAL LIGHTING IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS. THIS GENERAL LIGHTING SHALL BE CONTROLLED BY A SWITCH ON A READILY ACCESSIBLE LIGHTING CONTROL PANEL AT AN ENTRANCE TO THE KITCHEN. ISO (K)1. ROOMS WITH A SHOWER OR BATHTUB MUST HAVE EITHER AT LEAST ONE LUMINAIRE WITH LAMPS WITH AN EFFICIENCY OF 40 LUMENS/WATT OR GREATER SWITCHED AT THE ENTRANCE TO THE ROOM OR ONE OF THE ALTERNATIVES TO THIS REQUIREMENT ALLOWED IN SEC 150 (K)2, AND RECESSED CEILING FIXTURES ARE IC (INSULATION COVERED) APPROVED, ISO (K)2.
 28) ALL LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES SHALL BE LABEL "SUITABLE FOR DAMP LOCATIONS" AND IF CEILING HEIGHT IS 8' & FT. BE PROTECTED BY GFCI, CEC 410-4(A)208.
 29) RESIDENTIAL LIGHTING STANDARDS REQUIREMENTS SHALL INCORPORATE THE CALIFORNIA BUILDING EFFICIENCY STANDARDS TITLE 24, PARTS I AND 6, OF THE CALIFORNIA BUILDING CODE OF REGULATIONS VERSION OCTOBER 14, 2022.
 30) HIGH EFFICIENCY LIGHTING IN THE KITCHEN SHALL BE SWITCHED SEPARATELY.
 31) ICC CANS FOR CEILINGS MUST BE APPROVED FOR ZERO CLEARANCE.
 32) PROVIDE AIR TIGHT RECESSED LUMINARIES.
 33) IC RATED CANS (ZERO CLEARANCE RATED TO COMPLY WITH T-24) ARE REQUIRED FOR LIGHT FIXTURES IN THE INSULATED CEILING AREA.
 34) THERMOSTAT LOCATION TO BE DETERMINED BY HVAC DESIGNER.
 35) FLOOR & CEILING AIR REGISTERS TO BE DETERMINED BY HVAC DESIGNER.
 36) INSTALLATION INSTRUCTIONS FOR ALL EQUIP. SHALL BE PROVIDED TO THE FIELD INSPECTOR @ THE TIME OF INSPECTION.
 37) ADDRESS NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
 38) (CFC 2001/SEC 901.4.4). PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE ADDRESS SIGN. DOOR BELL CAN USE THE SAME CIRCUIT.
 39) ELECTRICAL MAIN AND SUB-PANEL(S) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS OR LOCATED IN BATHROOMS, CEC 240-24(D) AND 240-24 (E).
 40) CONTRACTOR TO PROVIDE AND ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC OR FURRED SPACE. THE SECONDARY DRAIN LINE MUST BE SHOWN AT A POINT WHERE IT CAN BE READILY OBSERVED, CMC10.2.
 41) CONTRACTOR TO SPECIFY SEISMIC ANCHORAGE OF THE FURNACE PER MANUFACTURERS LISTING.
 42) UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURERS INSTALLATION INSTRUCTIONS AND APPROVED BY THE ADMINISTRATIVE AUTHORITY, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF FOURTEEN (14) FEET, INCLUDING 2 NINETY DEGREE ELBOWS. TWO (2) FEET SHALL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO, PER 2022 CMC 504.3.2.2.
 43) GROUND CLEANOUT SHALL BE WATER TIGHT AND GAS-TIGHT (IF IT'S LEAVE INSIDE UNDER THE BUILDING) OTHERWISE EXTEND TO THE EXTERIOR OF THE BUILDING.
 44) VENTS SHALL TERMINATE AT LEAST 10 FT. HORIZONTALLY FROM AND AT LEAST 3 FT. ABOVE ANY OPENABLE SKYLIT/WINDOW, AIR INTAKE OR PLUMBING VENT SHFT, CPC 906.2.
 45) PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN THE FOLLOWING ROOMS: BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS, CEC 1203.3.

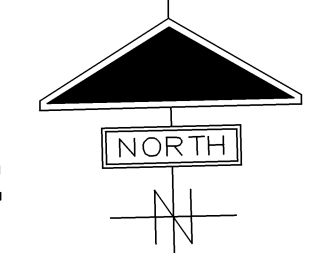
ELECTRICAL/MECHANICAL KEY

- | | | | | | | | | | |
|-------------------|--|---|---|---|--|---|------------|---|---------------------------------|
| Ⓛ | DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. | Ⓛ | WALL WASHER | Ⓛ | FLOOD LIGHT | Ⓛ | GAS OUTLET | Ⓛ | AIR SUPPLY LOCATED IN TOE SPACE |
| Ⓛ ^{AFCI} | DUPLEX RECEPTACLE OUTLET @ 12" U.N.O. W/ ARC-FAULT CIRCUIT INTERRUPTER | Ⓛ | CEILING MOUNTED LIGHT FIXTURE | Ⓛ | FLUORESCENT LIGHT FIXTURE | Ⓛ | GAS KEY | Ⓛ | CEILING SUPPLY AIR REGISTER |
| Ⓛ ^{GFCI} | DUPLEX RECEPTACLE OUTLET W/ GROUND FAULT CIRCUIT INTERRUPTER | Ⓛ | CEILING MOUNTED FLUORESCENT LIGHT FIXTURE | Ⓛ | FLUORESCENT LIGHT FIXTURE (UNDER CABINET) | Ⓛ | THERMOSTAT | Ⓛ | FLOOR AIR SUPPLY REGISTER |
| Ⓛ ^{WP} | WEATHER PROOF DUPLEX RECEPTACLE OUTLET (GFI PROTECTED PER NEC210-52(G)3) | Ⓛ | LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS | Ⓛ | OVERHEAD PATIO HEATER | Ⓛ | Ⓛ | Ⓛ | COLD AIR RETURN @ CEILING |
| Ⓛ ²²⁰ | DUPLEX RECEPTACLE OUTLET - 220 VOLT | Ⓛ | WALL MOUNTED LIGHT FIXTURE | Ⓛ | EXHAUST FAN | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | 4-PLEX RECEPTACLE OUTLET | Ⓛ | WALL MOUNTED LIGHT FIXTURE - SHALL BE SUITABLE FOR DAMP LOCATIONS | Ⓛ | SMOKE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ ^{CL6} | CEILING DUPLEX RECEPTACLE OUTLET | Ⓛ | HANGING LIGHT | Ⓛ | CARBON MONOXIDE DETECTOR - (110V W/ BATTERY BACK-UP) HARD WIRED & INTERCONNECTED | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | FLOOR DUPLEX RECEPTACLE OUTLET | Ⓛ | CEILING MOUNTED LIGHT/FAN COMBO | Ⓛ | CAT V | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | SINGLE POLE SWITCH @ 48" U.N.O. | Ⓛ | RECESSED LOW VOLTAGE CEILING LIGHT | Ⓛ | TELEVISION OUTLET | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | THREE-WAY SWITCH | Ⓛ | RECESSED LIGHT FIXTURE - SHALL BE LABELED SUITABLE FOR DAMP LOCATIONS | Ⓛ | HOSE BIBB W/ VACUUM BREAKER | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | FOUR-WAY SWITCH | Ⓛ | RECESSED FLUORESCENT LIGHT FIXTURE | Ⓛ | HOSE BIBB (1/2" CW) W/ NON-REMOVABLE ANTI-SIPHON DEVICE (FOR OUTSIDE BIBB) | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | SWITCH W/ DIMMER | Ⓛ | RECESSED FLUORESCENT LIGHT/FAN COMBO | Ⓛ | | Ⓛ | Ⓛ | Ⓛ | |
| Ⓛ | SWITCH W/ MOTION LIGHT | Ⓛ | RECESSED LIGHT FIXTURE | Ⓛ | | Ⓛ | Ⓛ | Ⓛ | |

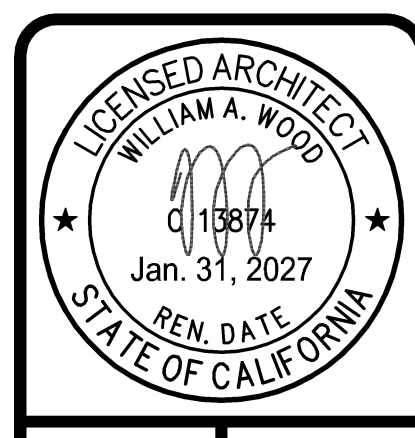


SECOND FLOOR ELECTRICAL/ MECHANICAL PLAN - LOT 7

SCALE: 3/16" = 1'-0"



REVISIONS	DATE



CLYDE-MILES CONST - LOT 7
 430 LEGACY DR.
 ALAMO, CA 94507

WILLIAM WOOD ARCHITECTS
 301 HARTZ AVENUE, SUITE 203
 DANVILLE, CALIFORNIA 94526
 (925) 820-8233

THIS IS AN ORIGINAL, UNPUBLISHED WORK, AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WILLIAM WOOD ARCHITECTS.
 COPYRIGHT © WILLIAM WOOD ARCHITECTS, 2021

DRAWN	KL
CHECKED	WW
DATE	5-09-25
SCALE	AS SHOWN
JOB NO.	24.2046R
SHEET	

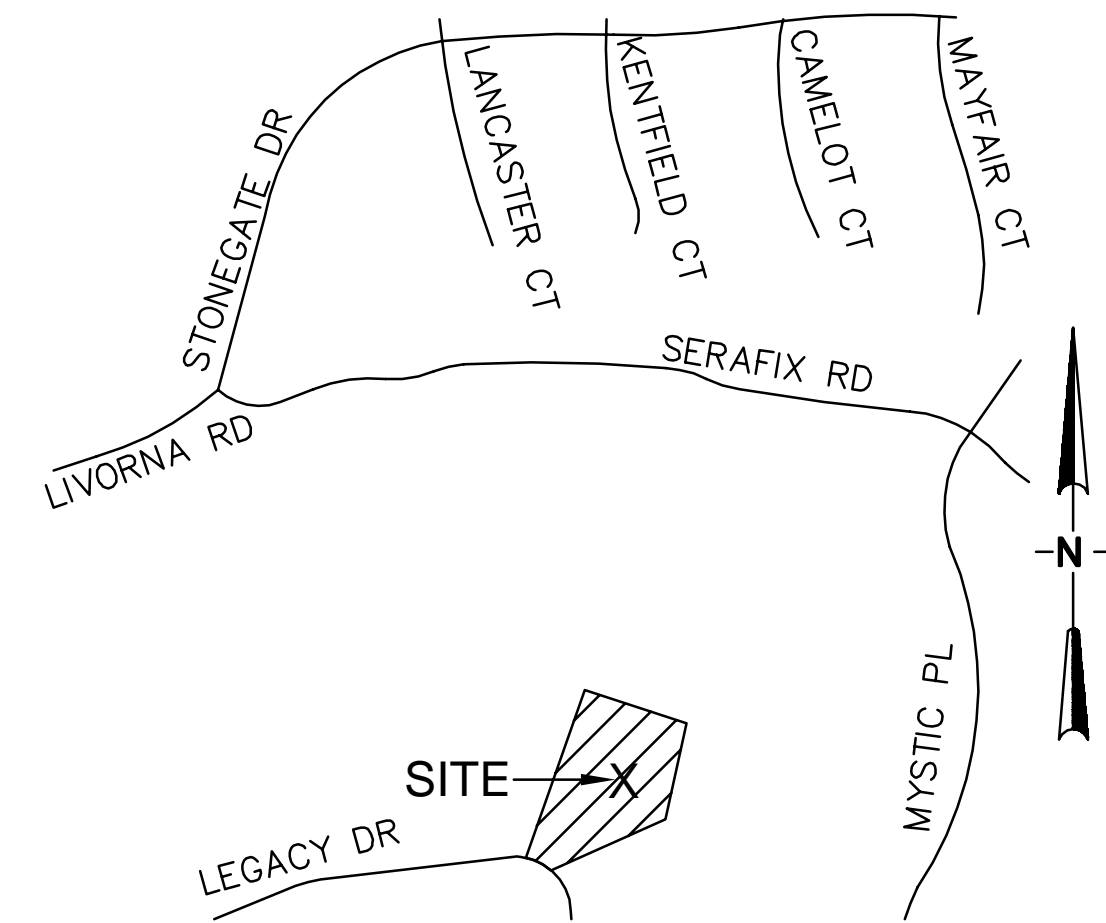
A12
 OF SHEETS

GENERAL NOTES

- TOPOGRAPHIC INFORMATION PROVIDED BY THE OWNER.
- CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS AND SHALL HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY REAL OR ALLEGED LIABILITIES EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- CONTRACTOR SHALL NOTIFY DEBOLT CIVIL ENGINEERING TWO WORKING DAYS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION FOR CONSTRUCTION STAKES.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT DEBOLT CIVIL ENGINEERING AT 925/837-3780 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT 800/227-2600 72 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- ALL REVISIONS TO THIS PLAN MUST BE APPROVED BY THE TOWN OF DANVILLE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FOLLOW RECOMMENDATIONS FROM SOILS REPORT.
- ALL TREES SHALL REMAIN EXCEPT FOR THOSE SHOWN ON THE IMPROVEMENT PLAN TO BE REMOVED. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. AN ARBORIST SHALL BE PRESENT FOR ANY CONSTRUCTION WORK NEAR OR UNDER THE TREES' DRIPLINE. TREE REMOVAL SHALL BE ALLOWED ONLY UPON PRIOR WRITTEN APPROVAL FROM THE PLANNING DIVISION.
- CONTRACTOR TO USE CARE IN THE VICINITY OF EXISTING TREES TO REMAIN. A TEMPORARY FENCE SHOULD BE INSTALLED AROUND TREE FOR PROTECTION. CONTRACTOR TO FOLLOW ARBORIST'S RECOMMENDATION.
- IN THE EVENT THAT SUBSURFACE ARCHAEOLOGICAL REMAINS ARE DISCOVERED DURING ANY CONSTRUCTION OR PRE-CONSTRUCTION ACTIVITIES ON THE SITE, ALL LAND ALTERATION WORK WITHIN 30.5 METERS (100 FEET) OF THE FIND SHALL BE HALTED, THE TOWN PLANNING DIVISION NOTIFIED, AND A PROFESSIONAL ARCHAEOLOGIST, CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY, SHALL BE NOTIFIED. SITE WORK IN THIS AREA SHALL NOT OCCUR UNTIL THE ARCHAEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND OUTLINE APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY. IF PREHISTORIC ARCHAEOLOGICAL DEPOSITS ARE DISCOVERED DURING DEVELOPMENT OF THE SITE, LOCAL NATIVE AMERICAN ORGANIZATIONS SHALL BE CONSULTED AND INVOLVED IN MAKING RESOURCE MANAGEMENT DECISIONS.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE PERIOD BETWEEN THE WEEKDAY HOURS OF 7:30 A.M. TO 5:30 P.M. (MONDAYS THROUGH FRIDAYS), UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER FOR GENERAL CONSTRUCTION ACTIVITY AND THE CHIEF BUILDING OFFICIAL FOR BUILDING CONSTRUCTION ACTIVITY. PRIOR TO ANY CONSTRUCTION WORK ON THE SITE, INCLUDING GRADING, THE CONTRACTOR SHALL INSTALL A MINIMUM 3'X3' SIGN AT THE PROJECT ENTRY WHICH SPECIFIES THE ALLOWABLE CONSTRUCTION WORK DAYS AND HOURS, AND LISTS THE NAME AND CONTACT PERSON FOR THE OVERALL PROJECT MANAGER AND ALL CONTRACTORS AND SUB-CONTRACTORS WORKING ON THE JOB.
- THE CONTRACTOR SHALL PROVIDE SECURITY FENCING, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR THE CHIEF BUILDING OFFICIAL, AROUND THE SITE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR AND SUBCONTRACTORS TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION, AND TO LOCATE STATIONARY NOISE-GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE. WARMING OF CONSTRUCTION EQUIPMENT AND/OR SERVICING SUCH EQUIPMENT SHALL OCCUR ONLY WITHIN THE AUTHORIZED WORK PERIODS.
- A WATERING PROGRAM WHICH INCORPORATES THE USE OF A DUST SUPPRESSANT, AND WHICH COMPLIES WITH REGULATION 2 OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT SHALL BE ESTABLISHED AND IMPLEMENTED FOR ALL ON AND OFF-SITE CONSTRUCTION ACTIVITIES. EQUIPMENT AND HUMAN RESOURCES FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE SUPPLIED ON WEEKENDS AND HOLIDAYS AS WELL AS WORK DAYS. DUST-PRODUCING ACTIVITIES SHALL BE DISCONTINUED DURING HIGH WIND PERIODS.
- ANY GRADING ON ADJACENT PROPERTIES WILL REQUIRE PRIOR WRITTEN APPROVAL OF THOSE PROPERTY OWNERS AFFECTED.
- AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF GRADING, THE CONTRACTOR SHALL POST THE SITE AND MAIL TO THE OWNERS OF THE PROPERTY WITHIN 300 FEET OF THE EXTERIOR BOUNDARY OF THE PROJECT SITE, TO THE HOMEOWNER ASSOCIATIONS OF NEARBY RESIDENTIAL PROJECTS AND TO THE TOWN OF DANVILLE DEVELOPMENT SERVICES DEPARTMENT, A NOTICE THAT CONSTRUCTION WORK WILL COMMENCE. THE NOTICE SHALL INCLUDE A LIST OF CONTRACT PERSONS WITH NAME, TITLE, PHONE NUMBER AND AREA OF RESPONSIBILITY. THE PERSON RESPONSIBLE FOR MAINTAINING THE LIST SHALL BE INCLUDED. THE LIST SHALL BE KEPT CURRENT AT ALL TIMES AND SHALL CONSIST OF PERSONS WITH AUTHORITY TO INITIATE CORRECTIVE ACTION IN THEIR AREA OF RESPONSIBILITY. THE NAMES OF INDIVIDUALS RESPONSIBLE FOR DUST, NOISE AND LITTER CONTROL SHALL BE EXPRESSLY IDENTIFIED IN THE NOTICE.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER 1.5 METERS (FIVE FEET) IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ALL EARTH SWALES SHALL BE 1% MINIMUM SLOPES, AND 4% MAXIMUM SLOPES.
- WHERE SOILS OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THAT ANTICIPATED IN THE SOILS REPORT, A REVISED SOILS REPORT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ENGINEER. IT SHALL BE ACCOMPANIED BY AN ENGINEERING AND GEOLOGICAL OPINION AS TO THE SAFETY OF THE SITE FROM SETTLEMENT AND SEISMIC ACTIVITY.
- ALL DEVELOPMENT SHALL TAKE PLACE IN COMPLIANCE WITH THE TOWN EROSION CONTROL ORDINANCE (ORD. 91-25). RESTRICTIONS INCLUDE LIMITING CONSTRUCTION PRIMARILY TO THE DRY MONTHS OF THE YEAR (MAY THROUGH OCTOBER) AND, IF CONSTRUCTION DOES OCCUR DURING THE RAINY SEASON, THE DEVELOPER SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THIS PLAN SHALL INCORPORATE EROSION CONTROL DEVICES SUCH AS THE USE OF SEDIMENT TRAPS, SILT FENCING, PAD BERMING AND OTHER TECHNIQUES TO MINIMIZE EROSION.

- ALL NEW DEVELOPMENT SHALL BE CONSISTENT WITH MODERN DESIGN FOR RESISTANCE TO SEISMIC FORCES. ALL NEW DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND TOWN OF DANVILLE ORDINANCES.
- ALL CUT AND FILL AREAS SHALL BE APPROPRIATELY DESIGNED TO MINIMIZE THE EFFECTS OF GROUND SHAKING AND SETTLEMENT.
- STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND SHALL BE COVERED.
- IF TOXIC OR CONTAMINATED SOIL IS ENCOUNTERED DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY IN THAT AREA SHALL CEASE UNTIL THE APPROPRIATE ACTION IS DETERMINED AND IMPLEMENTED. THE CONCENTRATIONS, EXTENT OF THE CONTAMINATION AND MITIGATION SHALL BE DETERMINED BY THE CONTRA COSTA COUNTY HEALTH DEPARTMENT. SUITABLE DISPOSAL AND/OR TREATMENT OF ANY CONTAMINATED SOIL SHALL MEET ALL FEDERAL STATE AND LOCAL REGULATIONS. IF DEEMED APPROPRIATE BY THE HEALTH DEPARTMENT, THE APPLICANT SHALL MAKE PROVISIONS FOR IMMEDIATE CONTAINMENT OF THE MATERIALS. RUNOFF FROM ANY CONTAMINATED SOIL SHALL NOT BE ALLOWED TO ENTER ANY DRAINAGE FACILITY, INLET OR CREEK.
- ALL GRADING ACTIVITY SHALL ADDRESS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONCERNS. SPECIFIC MEASURES TO CONTROL SEDIMENT RUNOFF, CONSTRUCTION POLLUTION AND OTHER POTENTIAL CONSTRUCTION CONTAMINATION SHALL BE ADDRESSED THROUGH THE EROSION CONTROL PLAN (ECP) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A NPDES CONSTRUCTION PERMIT MAY BE REQUIRED, AS DETERMINED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN ANY PUBLIC RIGHT-OF-WAY OR EASEMENT.
- ALL MUD OR DIRT CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE SWEEPED EACH DAY. WATER FLUSHING OF SITE DEBRIS OR SEDIMENT OR CONCRETE WASHING IS EXPRESSLY PROHIBITED.
- ANY DAMAGE TO STREET IMPROVEMENTS NOW EXISTING OR DONE DURING CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER, AT FULL EXPENSE TO THE CONTRACTOR. THIS SHALL INCLUDE SLURRY SEAL, OVERLAY OR STREET RECONSTRUCTION IF DEEMED WARRANTED BY THE CITY ENGINEER.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING CURB, GUTTER, SIDEWALKS, DRIVEWAYS, PAVING AND UTILITIES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS AND/OR PLANS AND SHALL COMPLY WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE DEVELOPMENT SERVICES DEPARTMENT AND CHAPTERS XII AND XXXI OF THE TOWN CODE.
- ALL NEW UTILITIES REQUIRED TO SERVE THE DEVELOPMENT SHALL BE INSTALLED UNDERGROUND.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR TO EXPOSE AND VERIFY.
- ANY ON-SITE WELLS SHALL BE RESET TO FINISH GRADE IN ACCORDANCE WITH CONTRA COSTA COUNTY HEALTH SERVICES DEPARTMENT -- ENVIRONMENTAL HEALTH DIVISION REGULATIONS.

RECEIVED on 04/30/2026 CDDP25-03045
By Contra Costa County
Department of Conservation and Development



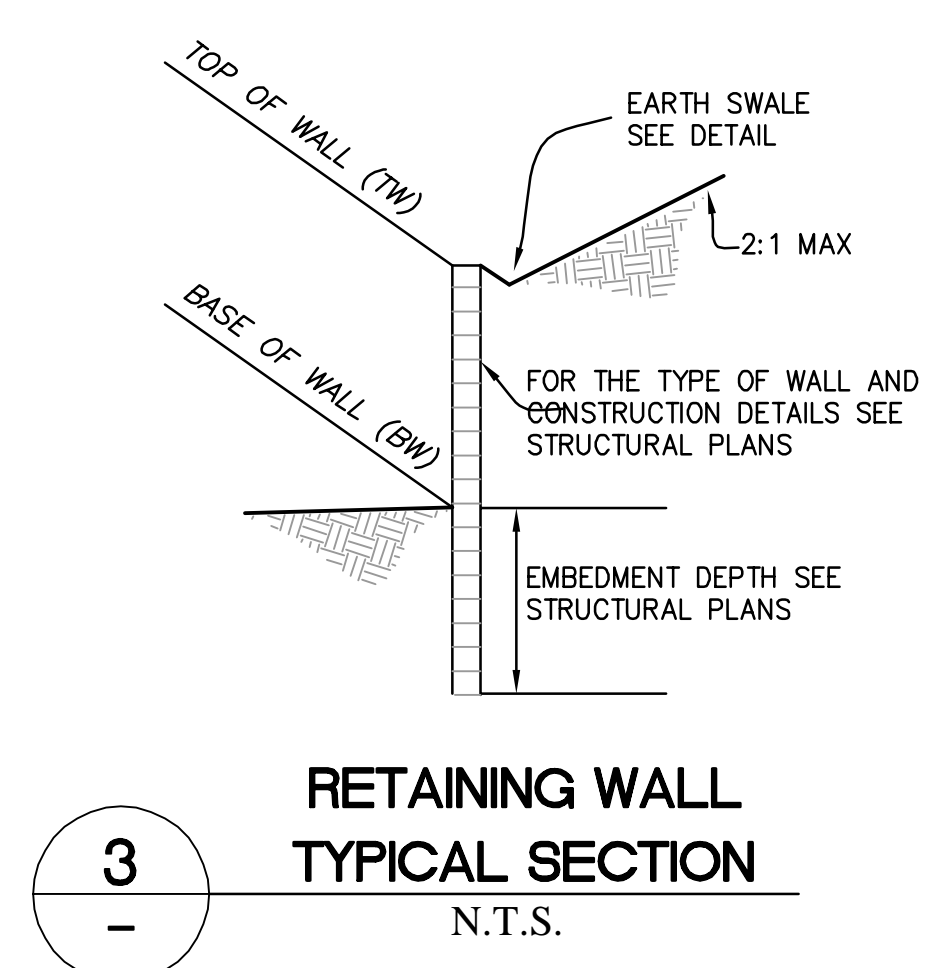
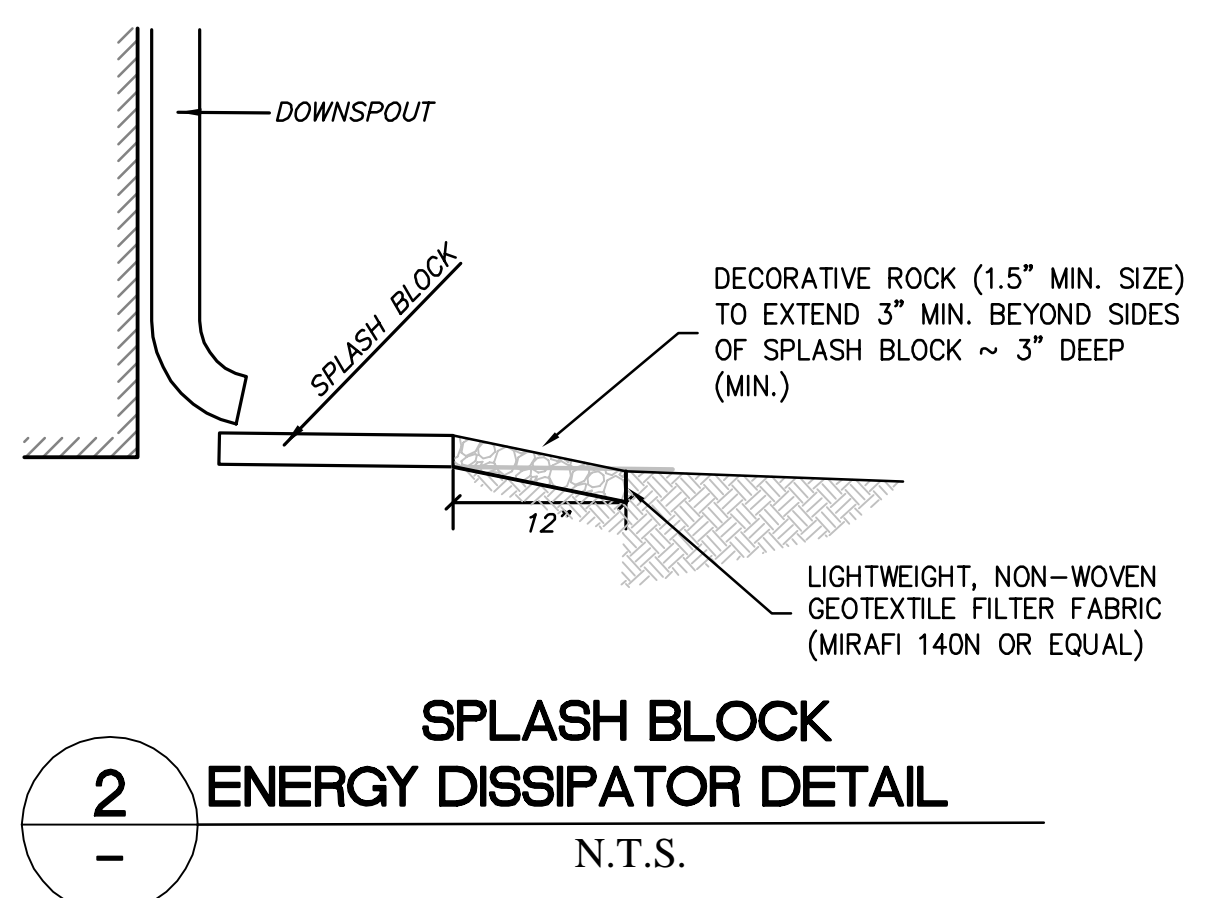
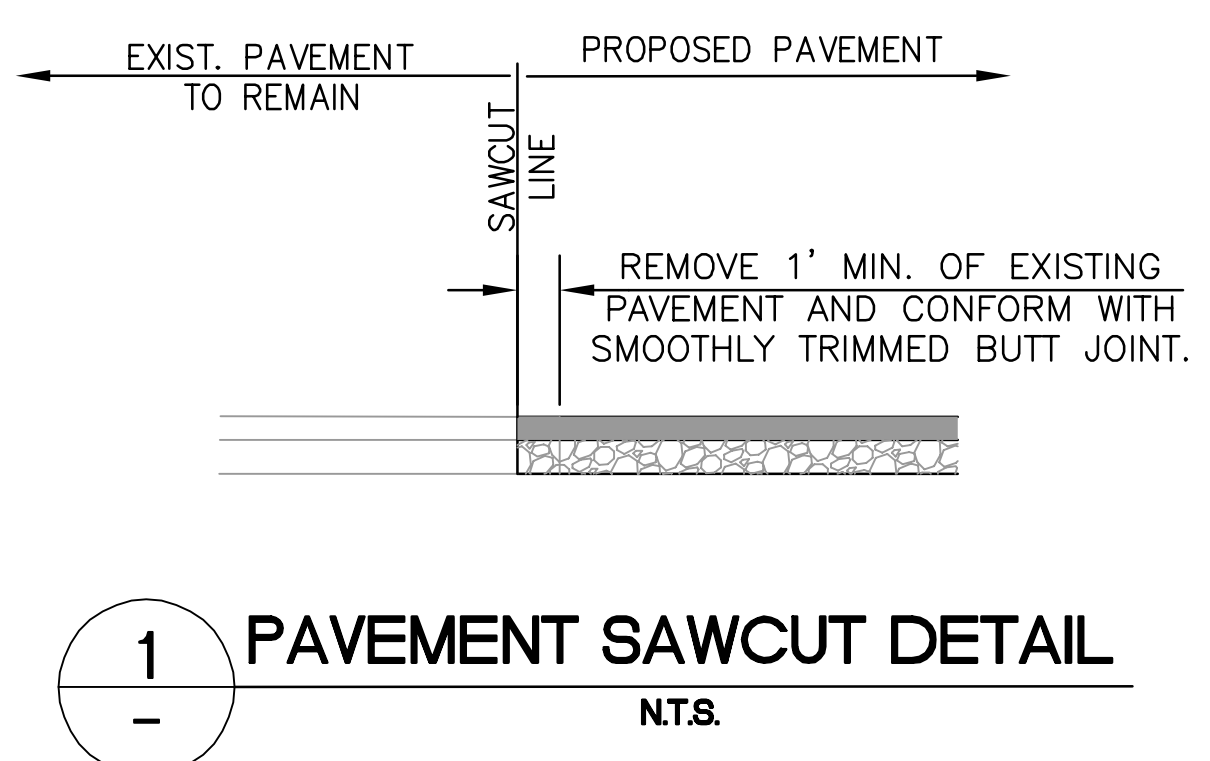
VICINITY MAP
N.T.S.

ABBREVIATIONS:

BLDG	BUILDING
CONC	CONCRETE
(E)EX	EXISTING
ESMT	EASEMENT
FNC	FENCE
INV.	INVERT
P.U.E	PRIVATE UTILITY EASEMENT
REBAR.	REBAR
()	RECORD DATA
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDDI	STORM DRAIN DRAIN INLET
(T)	TOTAL
WM	WATER METER
WV	WATER VALVE

LEGEND:

	SANITARY SEWER MANHOLE
	WATER VALVE
	FOUND MONUMENT AS NOTED
	STANDARD STREET MONUMENT
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	BOUNDARY LINE
	TIE LINE
	CENTERLINE
	EXISTING WATER LINE
	EXISTING STORM DRAIN PIPE
	EXISTING ELECTRIC CABLE
	EXISTING SANITARY SEWER LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING CURB AND GUTTER
	EXISTING TREE



SHEET INDEX

SHEET NO.	DESCRIPTION
CE-1	COVER SHEET
CE-2	GRADING AND DRAINAGE PLAN
CE-3	EROSION CONTROL PLAN
CE-4	STORMWATER CONTROL PLAN

COVER SHEET

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA


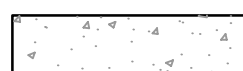
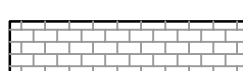
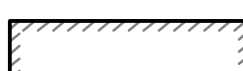

John McAllister
EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

DEBOLT CIVIL ENGINEERING
50+ YEARS
(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: N.T.S.
By: EM
Job No.: 24204

LEGEND

-  IMPERVIOUS ASPHALT PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  IMPERVIOUS CONCRETE PAVEMENT PER GEOTECH RECOMMENDATIONS.
-  PATIO / DECK
-  BUILDING OUTLINE
-  DOWNSPOUT

GRADING NOTES:

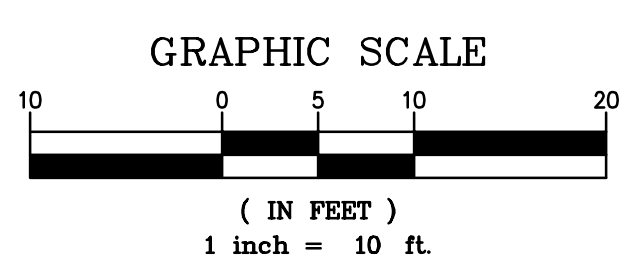
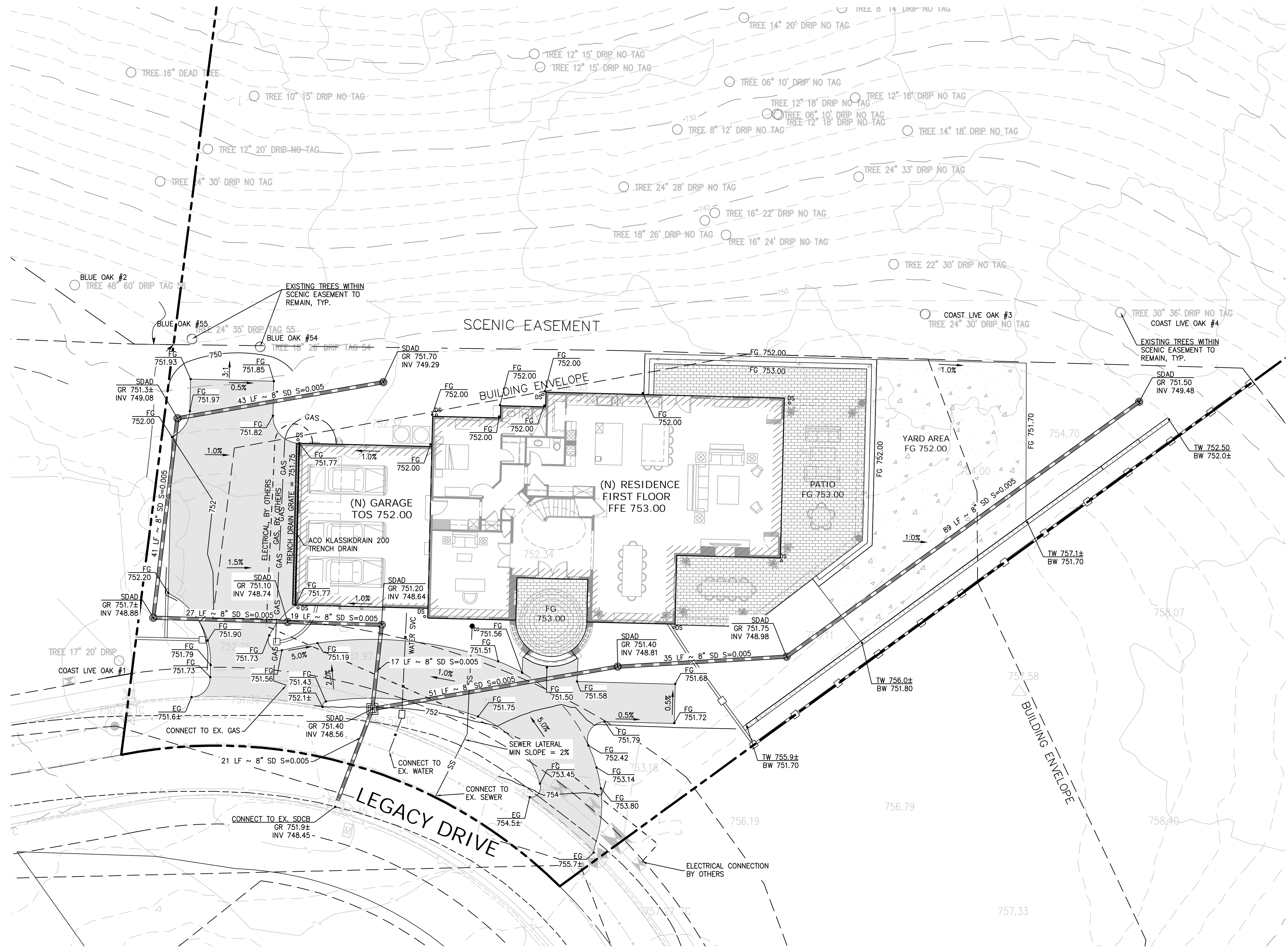
- 1) ALL DRY UTILITIES, WATER AND SEWER SERVICES BY OTHERS.
- 2) ROOF DOWNSPOUTS SHALL BE DIRECTED TO ADJACENT LANDSCAPING WITH SPLASH BLOCK ENERGY DISSIPATORS.
- 3) BUILDING SETBACKS TO BE CONFIRMED BY OTHERS.
- 4) CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 8" BETWEEN LOWEST WOOD STRUCTURAL MEMBER AND THE ADJACENT EXTERIOR FINISHED GRADE.
- 5) PAD GRADES ARE ASSUMED, TO BE CONFIRMED WITH FINAL FOUNDATION DESIGN.
- 6) A REVIEW OF THE BUILDING ENVELOPE CONFIRMS THAT THE PROPOSED RESIDENCE FOOTPRINT IS SITED WITHIN THE PERMITTED BOUNDARIES.

EARTHWORK QUANTITIES		
ITEMS	CUT (CYS.)	FILL (CYS.)
HOUSE PADS	78	23
DRIVEWAY / SIDEWALK	102	6
YARDS & HILLSIDE	325	8
TOTAL	505	37

PROJECT NET BALANCE: EXPORT 468± CY

THESE ARE ESTIMATED VALUES FOR BONDING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN ESTIMATE FOR THE PURPOSE OF CONSTRUCTION QUANTITIES.

AREA OF LAND DISTURBANCE IS 11,870± SF



GRADING AND DRAINAGE PLAN

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

John McAllister
 EASTON C McALLISTER - PE 61148 / PLS 9583
 RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

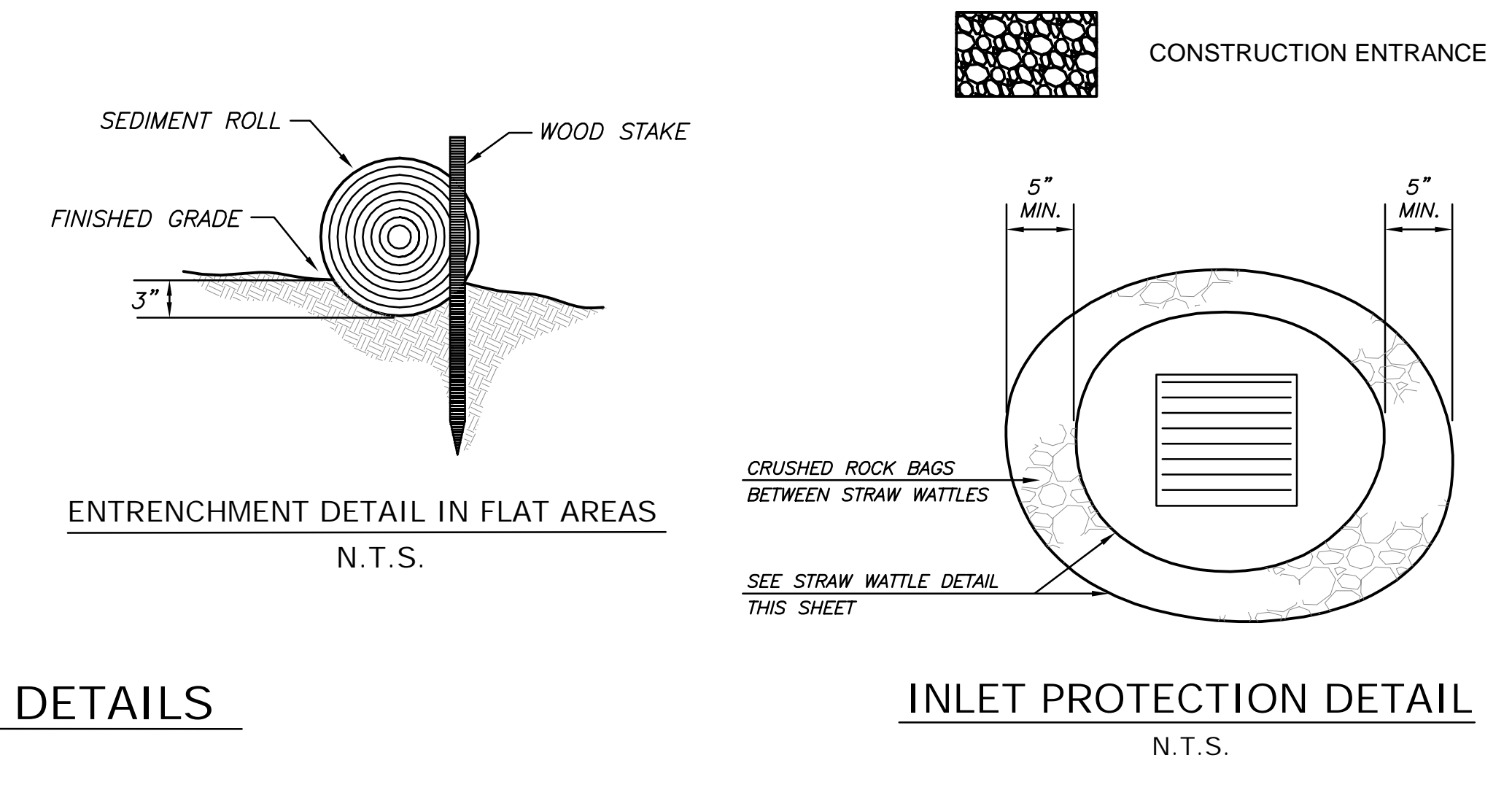
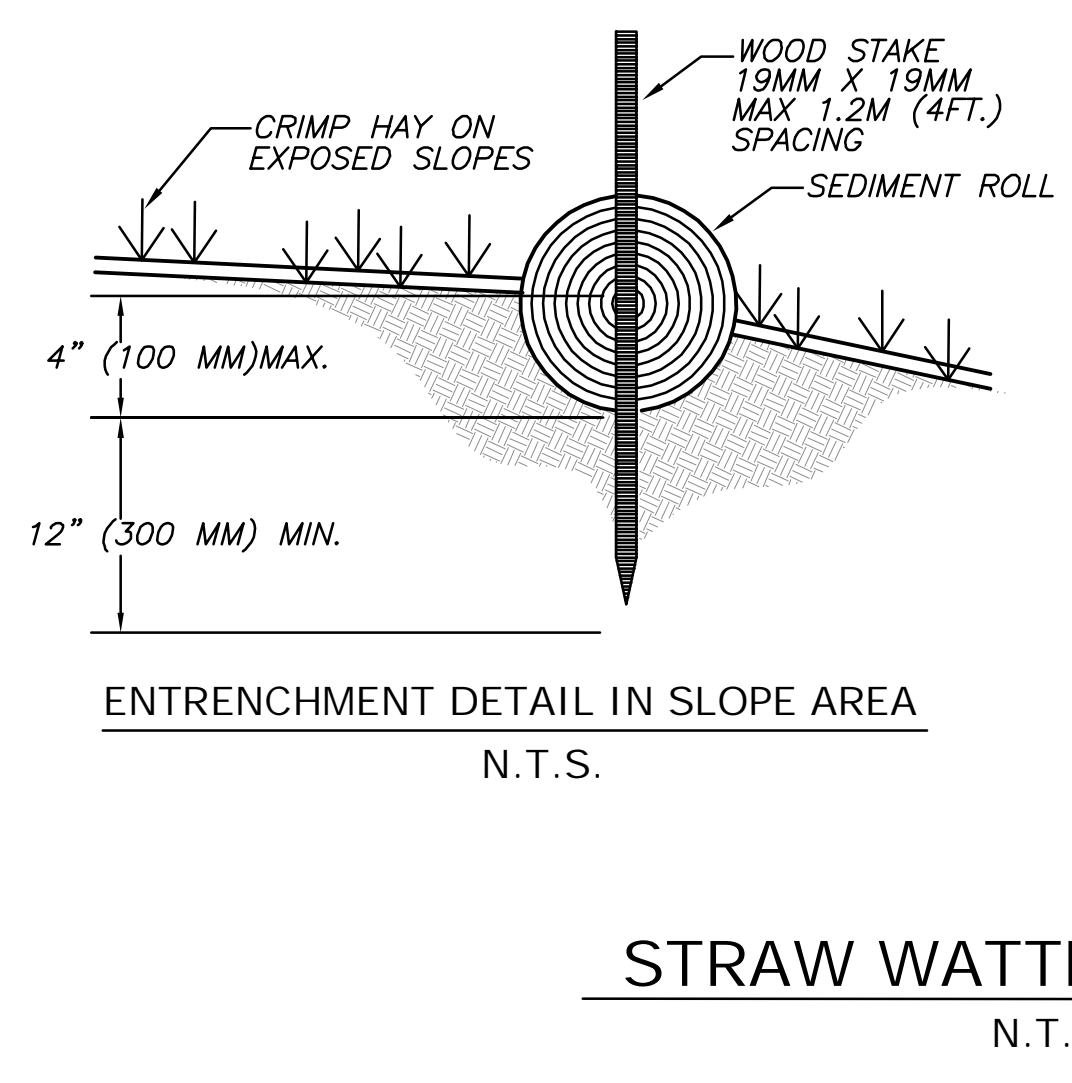
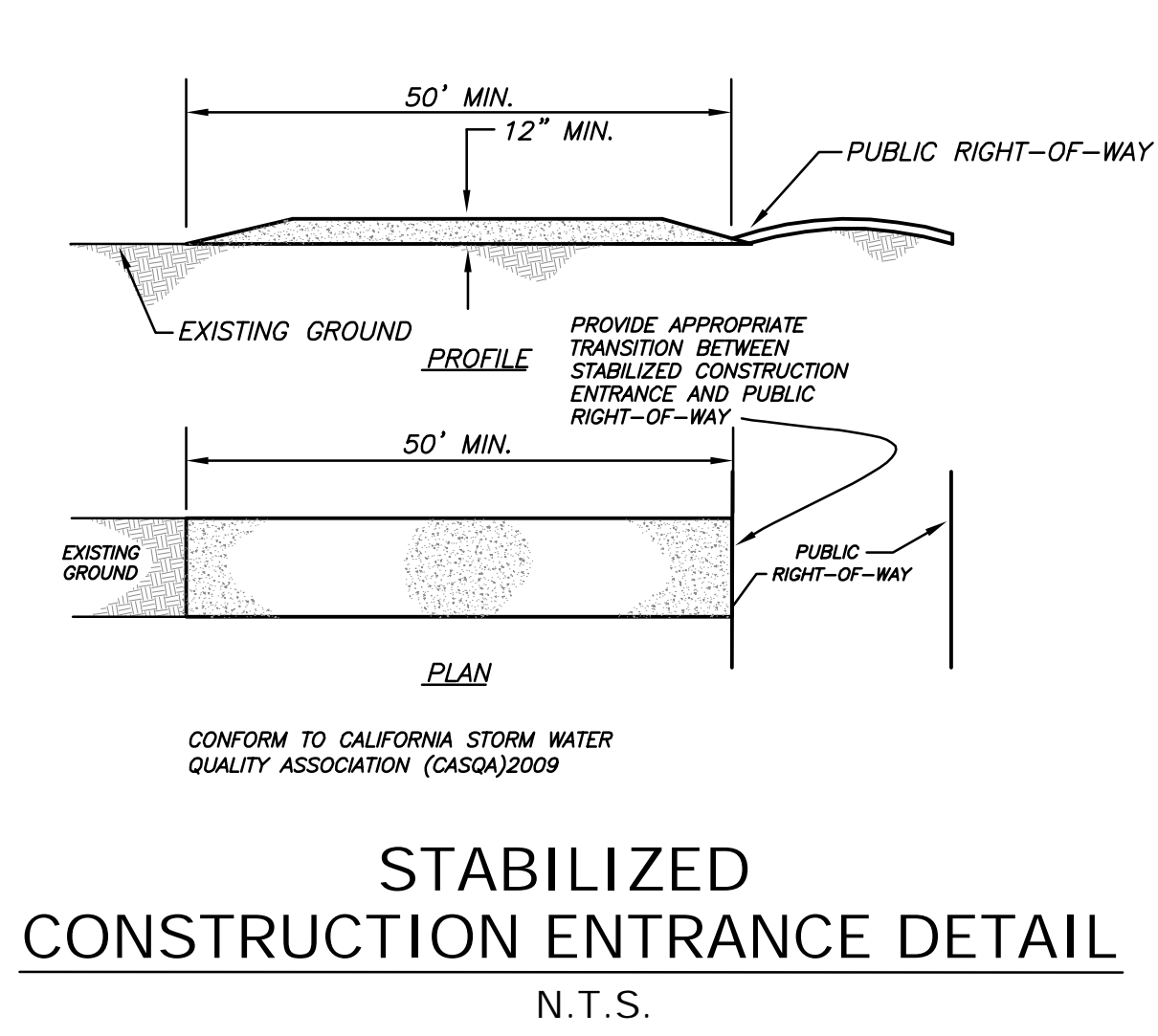
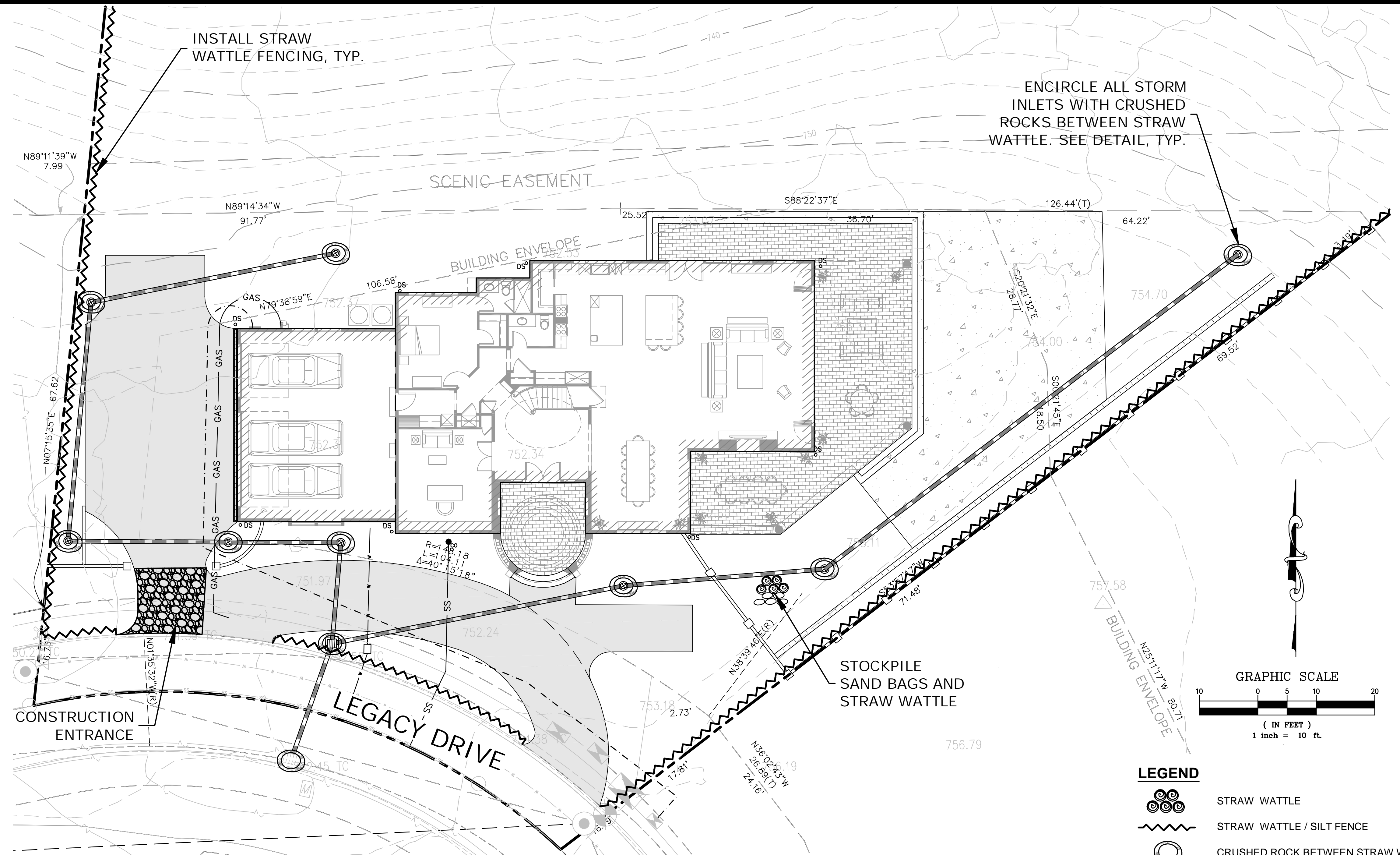
DEBOLT
 50+ YEARS
 CIVIL ENGINEERING

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
 480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
 Scale: 1" = 10'
 By: EM
 Job No.: 24204

EROSION CONTROL NOTES

1. THIS EROSION CONTROL PLAN REPRESENTS THE MINIMUM REQUIRED EFFORT TO PREVENT TRANSPORT OF SEDIMENTATION DURING CONSTRUCTION ACTIVITIES AND DOES NOT REPRESENT A COMPREHENSIVE SOLUTION TO ALL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE PROTECTION TO PREVENT EROSION AND ANY POTENTIAL DAMAGE CAUSED BY EROSION TO THE SITE, NEIGHBORING PROPERTIES OR THE REGIONAL STORM DRAINAGE SYSTEM.
2. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
5. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
6. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG FOR THE FULL WIDTH AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
7. TEMPORARY EROSION CONTROL DEVICES WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED ONLY WHEN THE GRADING INSPECTOR SO DIRECTS.
8. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND REMOVED DAILY AND AS DIRECTED BY THE INSPECTOR.
9. AFTER SEWER LATERAL AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHALL BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
10. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN SHALL ALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FORECAST OF RAIN PROBABILITY EXCEEDS 40 % AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
11. STRAW WATTLES AND SANDBAGS SHALL BE STOCKPILED AS SHOWN ON THE EROSION CONTROL PLAN READY TO BE PLACED IN POSITION WHEN RAIN FORECAST IS 40% OR WHEN DIRECTED BY THE INSPECTOR.
12. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL APPROVED SANDBAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE, AND/OR GRAVEL OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
13. THE DOWNSTREAM STORM SYSTEM SHOULD BE INSPECTED TO VERIFY THAT THE SYSTEM IS CLEAR OF OBSTRUCTIONS AND FUNCTIONING PROPERLY.
14. AS PART OF THE EROSION CONTROL MEASURES, THE UNDERGROUND STORM DRAIN FACILITIES SHOULD BE INSTALLED COMPLETE AS SHOWN ON THESE PLANS.
15. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE CITY ENGINEER.
16. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL." MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY ENGINEER.
17. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (SEEDED) TO THE SATISFACTION OF THE INSPECTOR.



EROSION CONTROL PLAN

430 LEGACY DRIVE

ALAMO CONTRA COSTA COUNTY CALIFORNIA

Elu [Signature]
EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE

DEBOLT
50+ YEARS
CIVIL ENGINEERING

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: 1" = 10'
By: EM
Job No.: 24204

STEP 1: PROJECT DATA FORM AND RUNOFF REDUCTION MEASURE SELECTION

Complete all fields.

Project Name/Number	430 Legacy Drive
Application Submittal Date [to be verified by municipal staff]	12/18/2024
Project Location [Street Address if available, or intersection and/or APN]	430 Legacy Drive
Name of Owner or Developer	Seeno Properties
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	Single Family Residence
Total Project Site Area (acres)	4.16 acres
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces]	9,286 square feet
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces]	0 square feet
Total Pre-Project Impervious Surface Area	0 square feet
Total Post-Project Impervious Surface Area	9,286 square feet
Runoff Reduction Measures Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

STEP 2: DELINEATE IMPERVIOUS AREAS AND LOCATIONS OF RUNOFF REDUCTION MEASURES

Delineate the impervious area. On a site plan or sketch, show the impervious area—for example, a roof, or portion of a roof, or a paved area—that will drain to your runoff reduction measure. Typically these delineations follow roof ridge lines or grade breaks. Alternatively, show the type and extent of pervious paving. An example sketch is attached.

Indicate the location and kind of runoff reduction measure you have selected. At least one option, designed to manage runoff from some amount of impervious area—or to avoid creating runoff—is required.

APPENDIX C 9th Edition — APRIL 12, 2024 C-2

For each option selected, there is a brief checklist to confirm your design and your submittal meet minimum requirements.

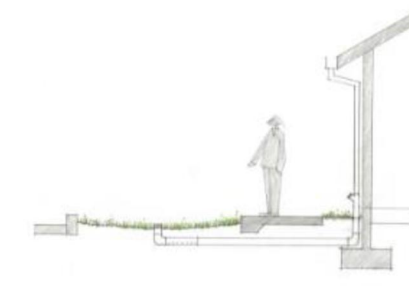
STEP 3: COMPLETE AND SUBMIT YOUR PLAN
Consult with municipal staff about when and how to submit your Stormwater Control Plan for Small Projects.

Option 1: Disperse runoff from roofs or pavement to vegetated areas.

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

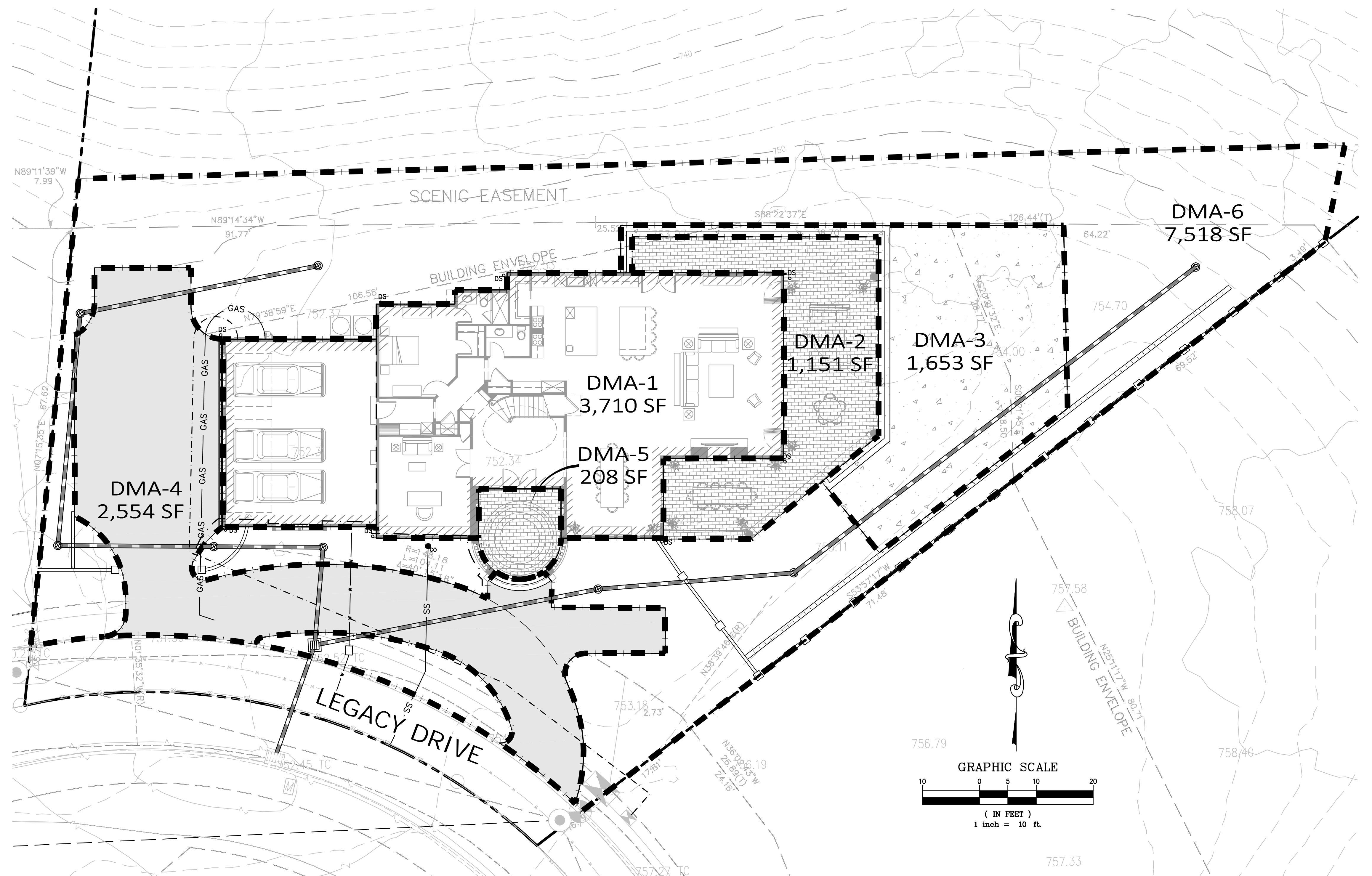
- Each impervious area from which runoff will be directed, and its square footage.
- The vegetated areas that will receive runoff, and the approximate square footage of each.
- If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.



Confirm the following standard specifications are met:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

APPENDIX C 9th Edition — APRIL 12, 2024 C-3



IMPERVIOUS AREA TOTAL: 9,286± SF

LANDSCAPE AREA TOTAL: 7,518± SF

STORMWATER CONTROL PLAN

430 LEGACY DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

John McAllister

EASTON C McALLISTER - PE 61148 / PLS 9583
RENEWAL DATE: 12/31/24 (PE) 03/31/25 (PLS)

#	REVISIONS	DATE



(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

Date: 03/13/26
Scale: 1" = 10'
By: EM
Job No.: 24204



Camp & Camp Associates
 Planning & Landscape Architecture

2520 CAMINO DIABLO
 WALNUT CREEK, CA 94597

P. (925) 941-6490
 EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 7
 430 Legacy Dr
 Alamo, CA 94507
 (APN: 193-010-029)

PLANTING PLAN



REVISIONS:
 • 12.18.2024
 •
 •
 •
 •
 DATE: 09/24/24
 SCALE: 1/8" = 1' - 0"
 JOB: 24-028

SHEET

L-1.0



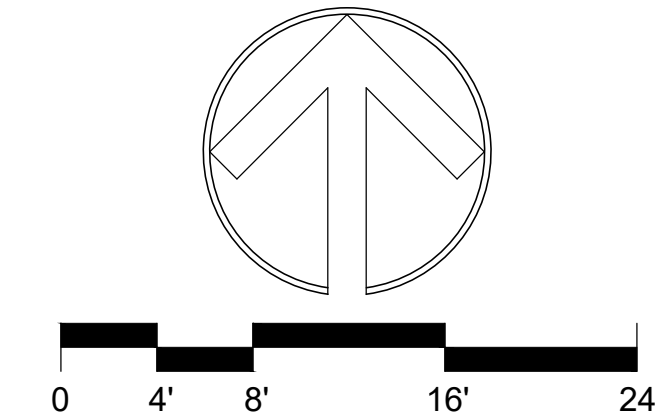
PLANT LIST - LOT 7

NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH
TREES								
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	1	24" Box	L	*	15'-20'	15'-20'
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'
LAG MUS	Lagerstroemia indica x fauriei 'Muskogee'- Multi	Muskogee Crape Myrtle	2	24" Box	L		20'-25'	12'-15'
OLE SWA	Olea europaea 'Swan Hill' - Standard	Swan Hill Olives Tree	2	24" Box	L		20'-30'	20'-30'
POD MAC	Podocarpus macrophyllus 'Maki'- Columnar	Shrubby Yew Pine	2	15 Gal	L		8'-15'	3'-4'
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	3	24" Box	L	*	20'-25'	15'-20'
SHRUBS & PERENNIALS								
LAV INT	Lavandula x intermedia 'Provence'	Provence Lavandin	29	5 Gal	L		1'-2'	2'-3'
OLE EUR	Olea europaea 'Montra'	Little Ollie Dwarf Olive	31	15 Gal	L		4'-6'	4'-6'
PIT TEN	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	5	15 Gal	M		15'-20'	6'-8'
TEC CHA	Teucrium chamaedrys	Wall Germander	56	1 Gal	L		1'-2"	1'-2"
GRASSES								
PEN ORI	Pennisetum orientale 'Karley Rose'	Oriental Fountain Grass	27	1 Gal	L		2'-3'	2'-3'
GROUND COVER								
SAL SON	Salvia sonomensis	Sonoma Sage	10	1 Gal	L	*	1'	3'-6'

DRAWING STATUS

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	



TREES



Acer macrophyllum
Bigleaf Maple



Aesculus californica
California Buckeye



Lagerstroemia indica x 'Muskogee'
Muskogee Crape Myrtle



Olea europaea 'Swan Hill'
Swan Hill Olives Tree



Podocarpus macrophyllus 'Maki'
Shrubby Yew Pine



Quercus agrifolia
Coast Live Oak

SHRUBS



Lavandula x intermedia 'Provence'
Provence Lavandin



Olea europaea 'Montra'
Little Ollie Dwarf Olive



Pittosporum tenuifolium 'Silver Sheen'
Silver Sheen Kohuhu



Teucrium chamaedrys
Wall Germander

GRASS



Pennisetum orientale 'Karley Rose'
Oriental Fountain Grass

GROUND COVER



Salvia sonomensis
Sonoma Sage

PLANT LIST - LOT 7

NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.

CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH	UNDER OAK	UNDER REDWOOD
TREES										
ACE MAC	Acer macrophyllum - Standard	Bigleaf Maple	1	24" Box	L	*	15'-20'	15'-20'		
AES CAL	Aesculus californica - Standard	California Buckeye	2	15 Gal	L	*	15'-30'	15'-30'		
LAG MUS	Lagerstroemia indica x fauriei 'Muskogee' - Multi	Muskogee Crape Myrtle	2	24" Box	L		20'-25'	12'-15'		
OLE SWA	Olea europaea 'Swan Hill' - Standard	Swan Hill Olives Tree	2	24" Box	L		20'-30'	20'-30'		
POD MAC	Podocarpus macrophyllus 'Maki' - Columnar	Shrubby Yew Pine	2	15 Gal	L		8'-15'	3'-4'		
QUE AGR	Quercus agrifolia - Standard	Coast Live Oak	3	24" Box	L	*	20'-25'	15'-20'		
SHRUBS & PERENNIALS										
LAV INT	Lavandula x intermedia 'Provence'	Provence Lavandin	29	5 Gal	L		1'-2'	2'-3'		
OLE EUR	Olea europaea 'Montra'	Little Ollie Dwarf Olive	31	15 Gal	L		4'-6'	4'-6'		
PIT TEN	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	5	15 Gal	M		15'-20'	6'-8'		
TEC CHA	Teucrium chamaedrys	Wall Germander	56	1 Gal	L		1'-2"	1'-2'		
GRASSES										
PEN ORI	Pennisetum orientale 'Karley Rose'	Oriental Fountain Grass	27	1 Gal	L		2'-3'	2'-3'		
GROUND COVER										
SAL SON	Salvia sonomensis	Sonoma Sage	10	1 Gal	L	*	1'	3'-6'	*	

DRAWING STATUS

- INFORMATION DWGS. (NOT FOR CONSTRUCTION)
- SCHEMATIC DWGS. (NOT FOR CONSTRUCTION)
- DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS.
- BID SET DWGS.
- CONSTRUCTION DOCUMENTS
- OTHER



REVISIONS:

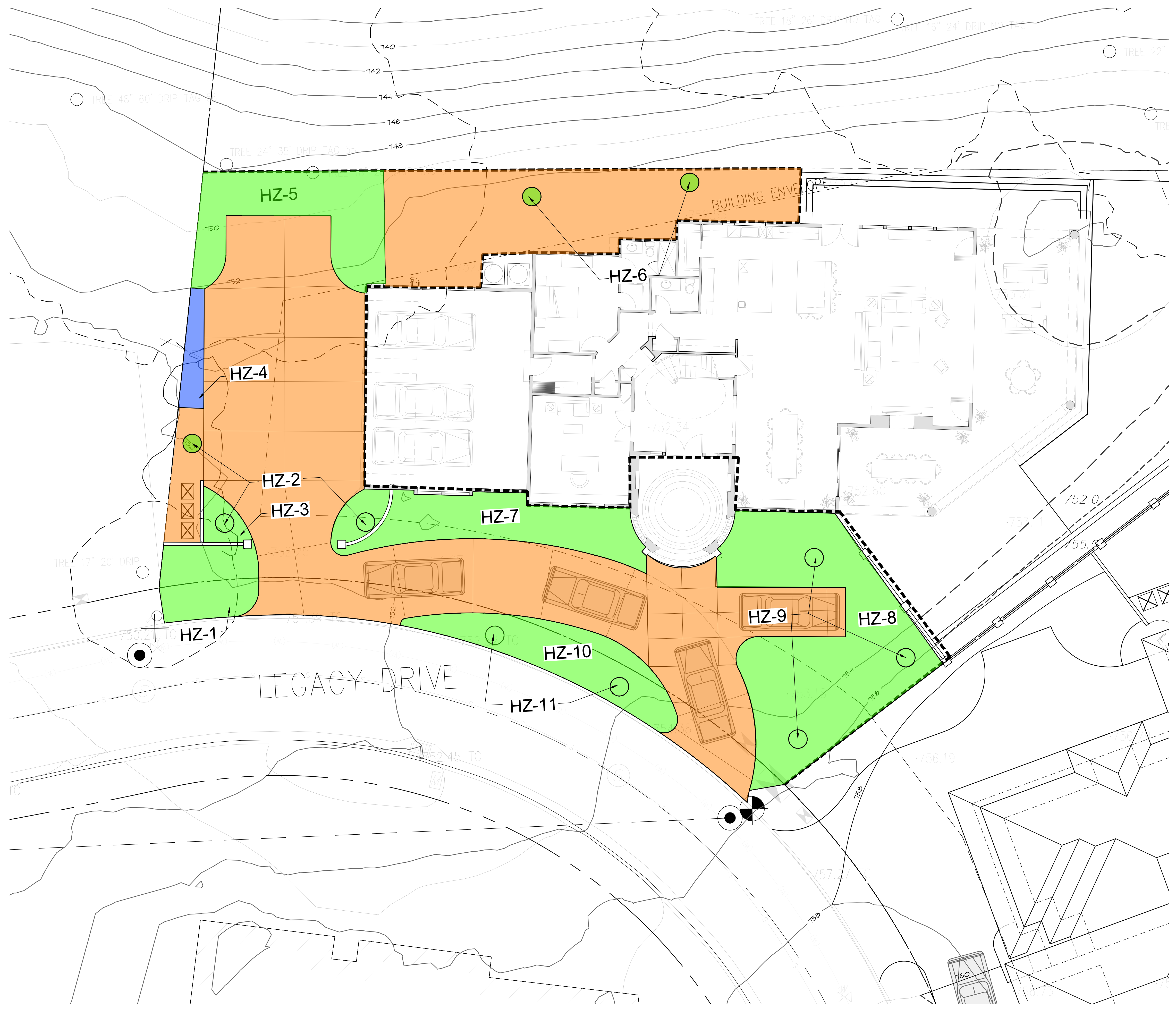
- 12.18.2024
-
-
-
-
-

DATE: 09/24/24

SCALE: NO SCALE

JOB: 24-028

SHEET



HYDROZONE LEGEND

HYDROZONE # Hydrozone Boundary / Callout

LANDSCAPE AREA SUBJECT TO MWEO

- 0 SF SPECIAL LANDSCAPE AREA HYDROZONE (AREA OF THE LANDSCAPE DEDICATED SOLELY TO EDIBLE PLANTS)
- 0 SF VERY LOW HYDROZONE (LOW WATER USE LANDSCAPE)
- 2,141 SF LOW HYDROZONE (LOW WATER USE LANDSCAPE)
- 60 SF MEDIUM HYDROZONE (MEDIUM WATER USE LANDSCAPE)
- 0 SF HIGH HYDROZONE (HIGH WATER USE LANDSCAPE, POOLS, AND FOUNTAINS)

2,201 SF TOTAL LANDSCAPE AREA SUBJECT TO MWEO

LANDSCAPE AREA NOT SUBJECT TO MWEO

- 3,540 SF NON-IRRIGATED LANDSCAPE (DRIVEWAY, DECKS, ARTIFICIAL TURF, GRAVEL, DECOMPOSED GRANITE)

3,540 SF TOTAL NON-IRRIGATED LANDSCAPE AREA

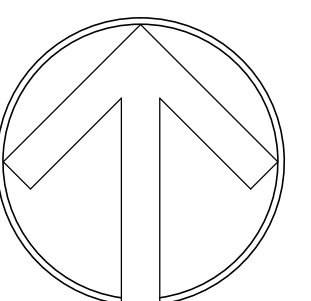
5,741 SF TOTAL LANDSCAPE AREA

MWEO DOCUMENTATION
SEE SHEET L-2.1

IRRIGATION/MWEO NOTE:

THIS IS A PRELIMINARY HYDROZONE PLAN SHOWING WATER USE DISTRIBUTION. A FULLY AUTOMATIC, IRRIGATION SYSTEM DESIGN COMPLIANT WITH CONTRA COSTA COUNTY'S MWEO REQUIREMENTS WILL BE PROVIDED DURING BUILDING PERMIT APPLICATION

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the Irrigation Design Plan."
Signature:
R. Terrence Camp
Landscape Architect No. 4494



DRAWING STATUS

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597
P. (925) 941-6490
EMAIL: tc@campandcamp.com

Clyde-Miles Const - Lot 7
430 Legacy Dr
Alamo, CA 94507
(APN: 193-010-029)

PRELIMINARY HYDROZONE PLAN



REVISIONS:
• 12.18.2024
•
•
•
•
•
DATE: 09/24/24
SCALE: 1" = 10' - 0"
JOB: 24-028

SHEET

L-2.0



IRRIGATION NOTES

- Irrigation equipment may be shown within hardscape for graphic clarity only. Install all irrigation equipment within planted areas. Irrigation pipe and wire crossing beneath hardscape surfaces shall be contained within sleeving or schedule 40 pvc conduit. Sleeving size shall be a minimum of two times the aggregate diameter of all pipes contained within sleeves. Provide vertical sweep for all electrical conduit on each side of hardscape and terminate ends at 12" minimum depth and 12" from hardscape surface.
- Unsize lateral line piping located down stream of 1" piping shall be 1" in size (Typical).
- Planting is not to start until the irrigation system is fully operational and the hydrostatic pressure test, coverage review, and grading review is completed and approved by the City Engineer.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in area dimensions exist that might not have been considered in the engineering. such obstructions or differences shall be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revision necessary.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, etc. he shall coordinate his work with the general contractor and other sub-consultants for the location of pipe sleeves through walls and under roadways, paving, structures, etc.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and/or buildings as much as possible. this shall include selecting the best degree of arc to fit the existing site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure for each system.
- Notify Architect of any aspect of the layout that will provide incomplete or insufficient water coverage of plant material and do not proceed until instructions are obtained.
- Install valve boxes 12' from and perpendicular to walk, curb, lawn, building or landscape feature. at multiple valve groups, each box shall be an equal distance from the walk, curb, lawn, etc. and each box shall be 12' apart. short side of valve box shall be parallel to walk, curb, lawn, etc.
- Provide installation by persons familiar with irrigation work and under the supervision of a qualified supervisor.
- Obtain the permits required and provide labor and materials necessary to fully complete the work in accordance with the drawings and the specifications.
- Locate and protect new and existing utilities prior to excavation.
- Do not damage existing utilities, paving or structures. provide the necessary repairs at no additional cost to the city.
- Remove debris and accumulation of debris as a result of irrigation construction from the site and leave area in a clean condition acceptable to the city engineer.
- Maintain site for calendar days as specified, following acceptance of work by the city and make corrections or repairs to the irrigation as directed by the City Engineer at the completion of the maintenance period.
- The drawings are diagrammatic. equipment shown in paving is for clarity only - install in planting areas where possible. Due to the scale of the drawings, all offsets, fittings, sleeves, etc. which may be required are not indicated. Investigate the structural and finished conditions affecting the contract work including obstructions, grade differences or area differences which may have not been considered in the engineering. Where field changes exist, coordinate the installation work accordingly by notification and approval of the city engineer as per the contract specifications. coordinate irrigation contract work with all applicable contractors for the location and installation of pipe, conduit, or sleeves of pipe, conduit or sleeves through or under walls, roadways, paving, structure, etc. before construction. assume full responsibility for required revisions if these notifications are not performed.
- Plastic valve boxes are to be green in color with bolt down, non-hinged cover marked "Irrigation". box body shall have knock outs. manufacturer: carson or approved equal. Valve numbers are to be branded on valve box lid or each valve shall have a valve tag.
- Flush and adjust sprinkler heads for efficient performance, prevent over spray on the walks, roadways, signs, lights, and/or buildings. select the best degree of arc to fit the existing site conditions and throttle the flow control or pressure regulation device at each valve to obtain the best operating pressure for each system.
- Compost incorporated at a rate of 4 cubic yards per 1000 SF into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped mulch.
- Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- Irrigation system is designed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas.
- A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, the designer of the irrigation plans, or the licensed landscape contractor for the project.
- An irrigation audit report shall be completed at the time of final inspection. A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit.
- A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

DRAWING STATUS	
<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



WATER EFFICIENT LANDSCAPE WORKSHEET								
Project Name: 430 Legacy Dr, Lot 7 - Alamo, CA								
Reference Evapotranspiration (Eto) 49.4								
Hydrozone#	Plant	Irrigation	Irrigation	ETAF	Landscape	ETAF x Area	Estimated	
/Planting	Factor (PF)	Method	Efficiency	(PF/IE)	Area (sf)		Total Water	
Description			(IE)				Use (ETWU)	
Regular Landscape Areas								
#1	0.30	Drip	0.81	0.37	181.00	67.04	2,053.21	
#2	0.30	Bubbler	0.81	0.37	21.00	7.78	238.22	
#3	0.30	Drip	0.81	0.37	40.00	14.81	453.75	
#4	0.50	Drip	0.81	0.62	60.00	37.04	1,134.37	
#5	0.30	Drip	0.81	0.37	363.00	134.44	4,117.76	
#6	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81	
#7	0.30	Drip	0.81	0.37	373.00	138.15	4,231.20	
#8	0.30	Drip	0.81	0.37	824.00	305.19	9,347.21	
#9	0.30	Bubbler	0.81	0.37	21.00	7.78	238.22	
#10	0.30	Drip	0.81	0.37	290.00	107.41	3,289.67	
#11	0.30	Bubbler	0.81	0.37	14.00	5.19	158.81	
					Totals	2,201.00	830.00	25,421.24
Special Landscape Areas								
					Totals	0.00	0.00	0.00
							ETWU TOTAL	25,421.24
							Maximum Allowed Water Allowance (MAWA)	37,076.73
ETAF Calculations								
				MAWA (Annual Gallons Allowed) =				
Regular Landscape Areas				(Eto x 0.62) ((ETAF x LA) + ((1-ETAF) x SLA))				
Total ETAF x Area	830.00			ETAF for residential = 0.55				
Total Area	2,201.00			ETAF for non-residential = 0.45				
Average ETAF	0.38	PASS						
				Average ETAF for Regular Landscape Areas				
All Landscape Areas				must be 0.55 or below for residential areas				
Total ETAF x Area				and 0.45 or below for non-residential areas				
Total Area	2,201.00							
Sitewide ETAF	0.38	PASS						


PROJECT INFORMATION	
DATE:	12.18.2024
PROJECT APPLICANT:	Clyde-Miles Const
PROJECT ADDRESS:	430 Legacy Dr - Lot 7 Alamo, CA
TOTAL LANDSCAPE AREA:	5,741 sf
TOTAL IRRIGATED AREA:	2,201 sf
PROJECT TYPE:	PRIVATE
WATER SUPPLY:	Potable, EBMUD

"A Landscape Irrigation Audit is required. This Audit must be completed by a third party Certified Landscape Irrigation Auditor, not the designer or installer. The Audit must be submitted to the Building Department, with a Certificate of Completion (Appendix C) as required by the Department of Water Resources, prior to scheduling a Final Inspection of the Water Efficient Landscape permit."

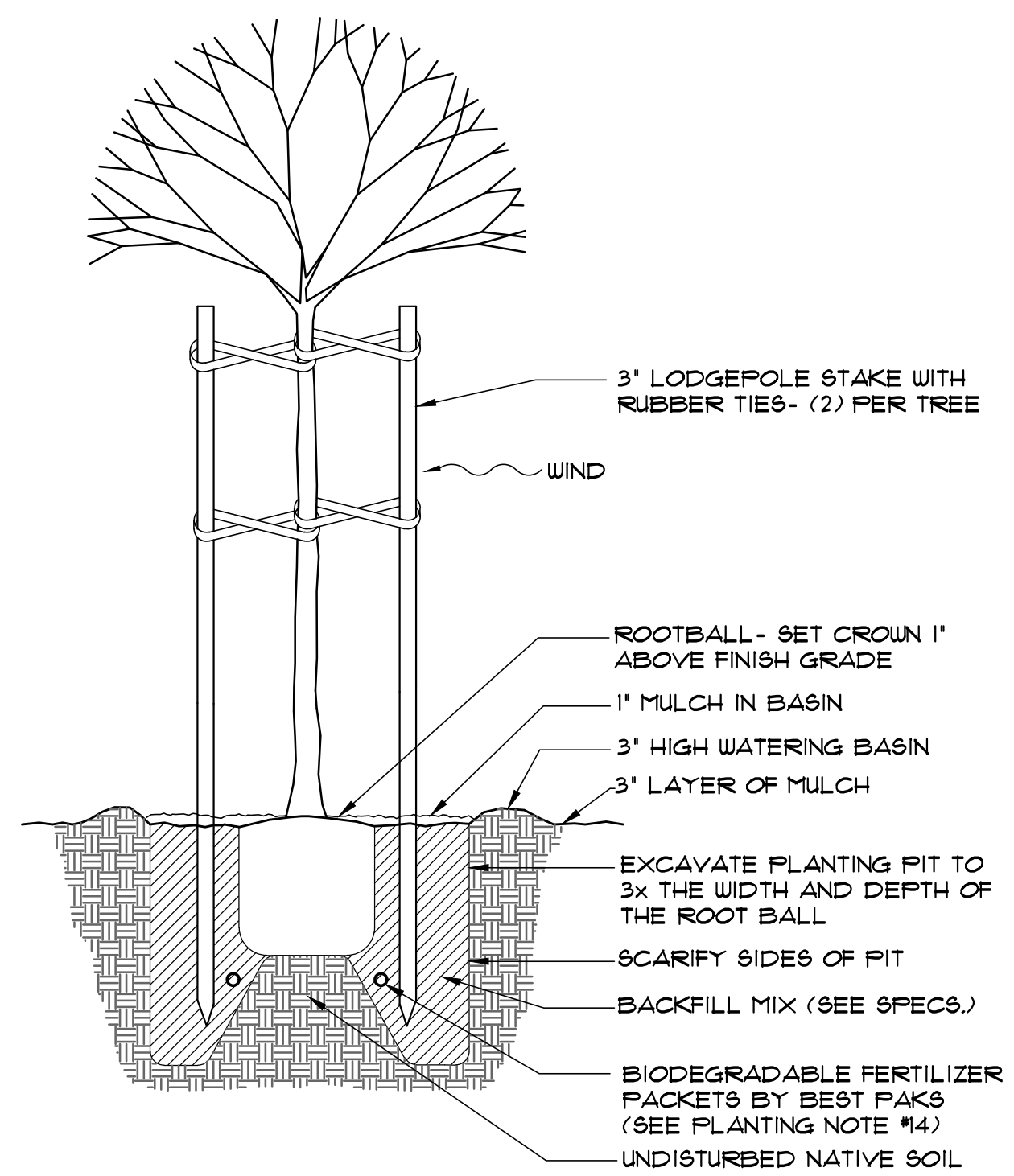
LANDSCAPE DOCUMENTATION PACKAGE CHECK LIST

- 1. Water Efficient Landscape Worksheet
-Hydrozone Information Table
-ETWU & MAWA
- 2. Landscape Design Plan
- 3. Irrigation Design Plan
- 4. Grading Plan- See Civil Plans
- 5. Soil Management Report
- 6. Certificate of Compliance
- ____ 7. Certificate of Completion
(Upon approval of Landscape Documentation Package by the local agency, the project applicant shall:
 (1) Receive a permit or approval of the plan check or design review and record the date of the permit in the Certificate of Completion.
 (2) Submit a copy of the approved Landscape Documentation Package along with the record drawings and any other information to the property owner or his/her designee.
 (3) Submit a copy of the Water Efficient Landscape Worksheet to the local water purveyor.

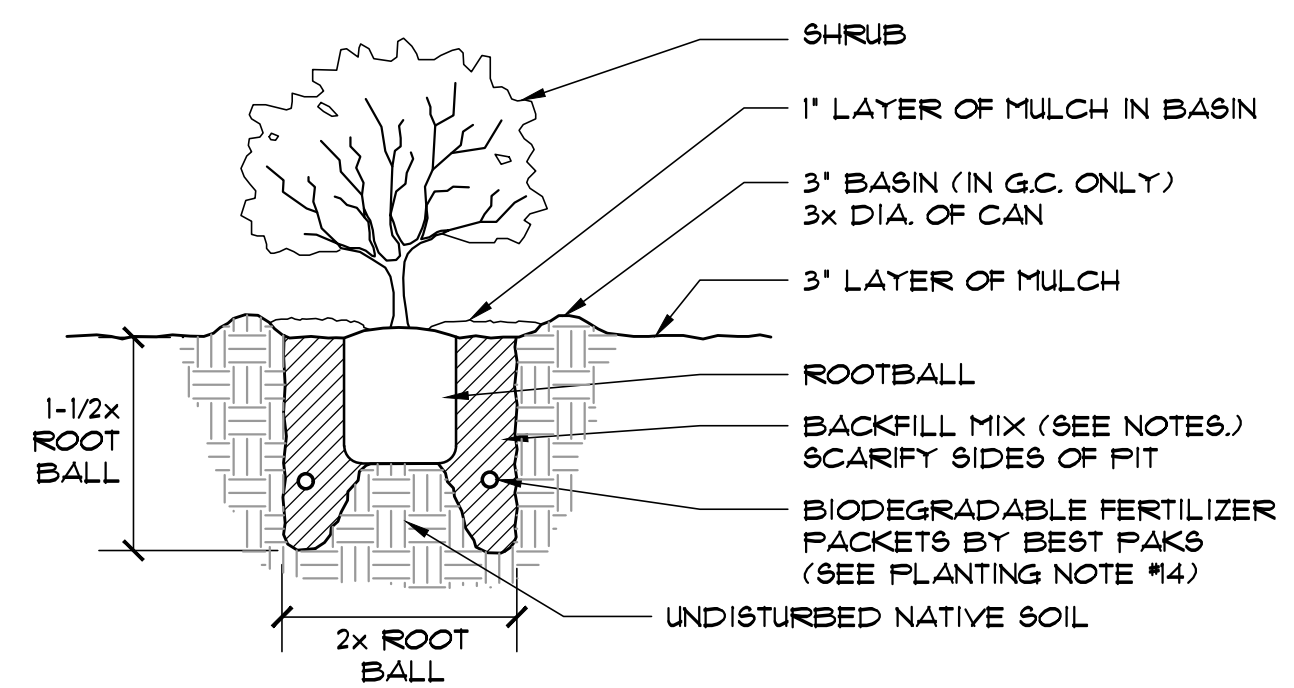
"I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package."

Signature: 

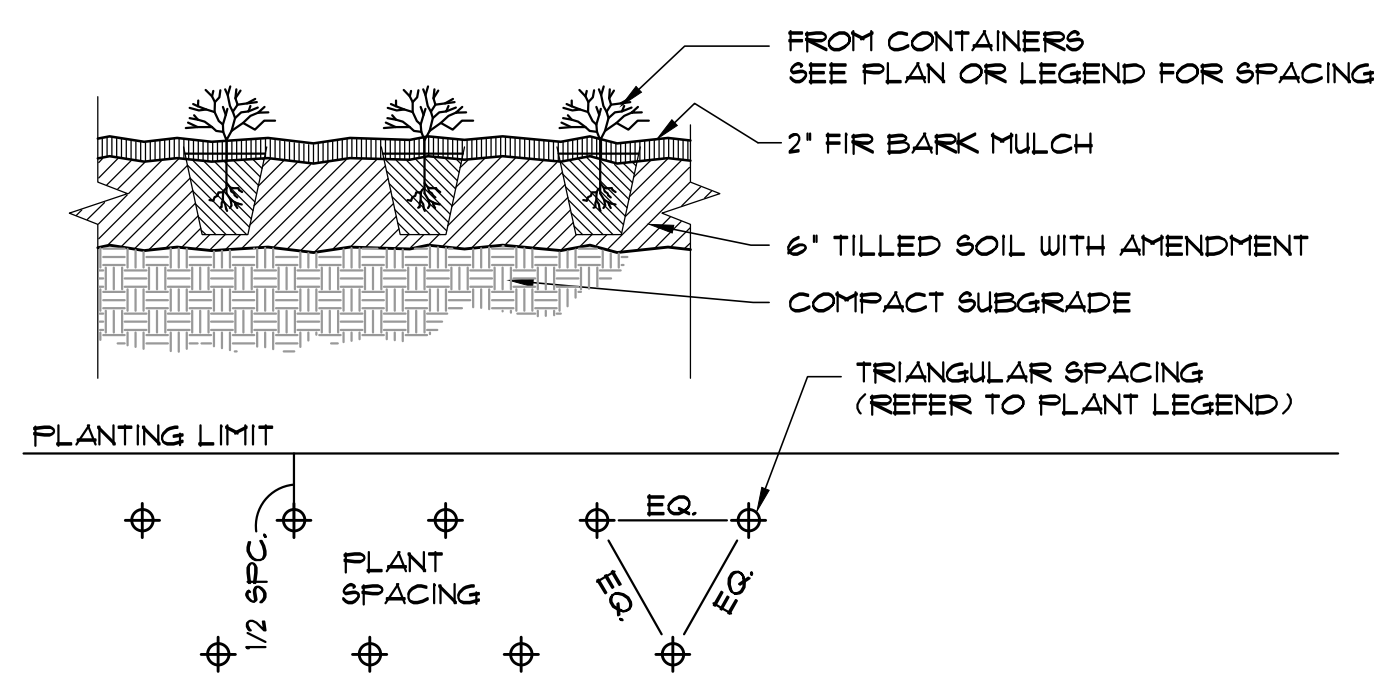
R. Terrence Camp
Landscape Architect No. 4494



1 TREE STAKING
SCALE: 3/4"=1'



2 SHRUB PLANTING
SCALE 3/4"=1'



3 GROUNDCOVER PLANTING
SCALE 3/4"=1'

PLANTING NOTES

- Plant material locations are diagrammatic and may be subject to change by the landscape architect before the maintenance period begins.
- All trees to be staked as shown in the tree planting detail.
- Contractor shall ensure trees do not conflict with existing utilities.
- If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with work.
- All plants will be inspected for acceptable form and condition by Landscape Architect. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.
- All planting work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.
- Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.
- The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.
- Prior to commencement of planting procedures, soil must be inspected for the following:
 - Rough Grading: such that all stones over 1" diameter and pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
 - Amendment: amendments have been incorporated into the soil per the soils test.
 - Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal.
- All asphalt, base course and other debris are to be removed completely below planting areas. Contractor is responsible for supplying top soil as necessary for all planting areas.
- It shall be the Landscape Contractor's responsibility to provide adequate drainage of all plantings, sufficient to insure healthy growth.
- After planting has been approved by Landscape Architect, all plant tags are to be removed.
- Dig planting pits 3 times the width of tree rootball and 2 times the width of shrub root ball. Backfill pits with 10% native on-site soil and 30% nitrized shavings or equivalent.

Backfill:
 10% native soil by volume
 30% nitrized shavings or equivalent
 16 lbs. gro-power plus per cubic yard mix
 other amendments per soil analysis
 grow-power planting tablets
- An automatic irrigation system is to be provided to water all planting areas which shall comply with MWELC. Landscape Contractor is to provide adequate coverage for all indicated planting areas prior to plant installation.
- Compost incorporated at a rate of 4 cubic yards per 1,000 sf into the top 6 inches of soil or compost per horticultural soil report recommendations.
- All planting areas shall be top-dressed with 3" layer of chipped wood mulch.

DRAWING STATUS

<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597

P. (925) 941-6490
EMAIL: tc@campandcamp.com

Clyde-Miles Const -Lot 7
430 Legacy Dr
Alamo, CA 94507
(APN: 193-010-029)

PLANTING DETAILS & NOTES



REVISIONS:
 • 12.18.2024
 •
 •
 •
 •
 DATE: 09/24/24
 SCALE: AS SHOWN
 JOB: 24-028

SHEET

L-3.0

THE RIDGES - LOT 7
430 LEGACY DRIVE
ALAMO, CA 94507

WILLIAM WOOD
ARCHITECTS

301 HARTZ AVENUE, SUITE 203
DANVILLE, CALIFORNIA
(925) 820-8233 FAX (925) 820-8793

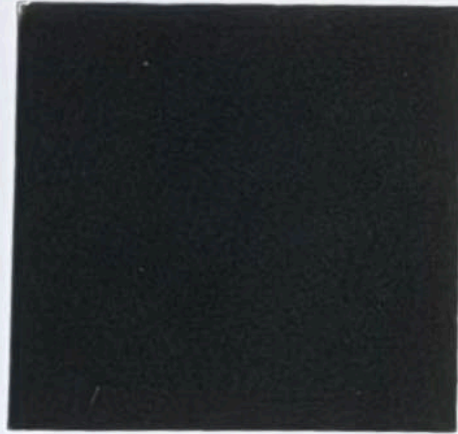
BODY STUCCO
Dunn Edwards
DET620 Barnwood Gray



TRIM
Dunn Edwards
DET625 Reclaimed Wood



WINDOWS
Black



ROOF
Tru Slate
Autumn Dusk

