



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR24-01032

File Date: 10/29/2024

Applicant:

rene cardona construction
140 spinaker way
pittsburg, CA 94565

rene@cardonaconstruction.com
(925) 642-6349

Property Owner:

PRABUDHYA BHATTACHARYYA
6319 HIGHLAND AVE
RICHMOND, CA 948051637

prabudhya@gmail.com
(607) 793-8924

Project Description:

The applicant requests approval of a variance to allow an as-built 3rd story (where 2.5 stores is the max) for the construction of a concrete slab in an unconditioned basement space.

Project Location: (Address: 6319 HIGHLAND AVE, RICHMOND, CA 948051637), (APN: 521051007)

Additional APNs:

General Plan Designation(s): SH

Zoning District(s): R-6

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC: East Richmond Heights MAC

Sphere of Influence: Richmond

Fire District: CONSOLIDATED FIRE

Sanitary District: WEST CO WASTEWATER

Housing Inventory Site:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

Codes

2022 California Building Code

Property Information

All existing and proposed
Occupancy: R3
Type V-B
Single Family Residence
No vertical or horizontal expansion

Scope of Work

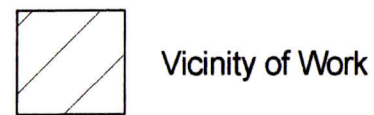
1. Voluntary seismic upgrade
2. Garage/basement retaining walls
3. Add necessary smoke and Carbon Monoxide alarms

Drawing Index

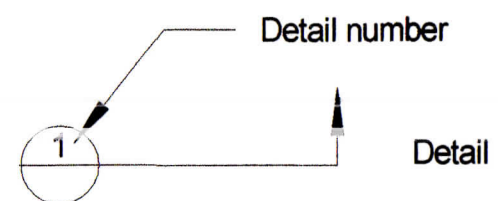
- Sheet 1 - General information and plot plan
- Sheet 2 - Foundation and framing plan
- Sheet 3 - Structural details
- Sheet 4 - Structural details

Legend

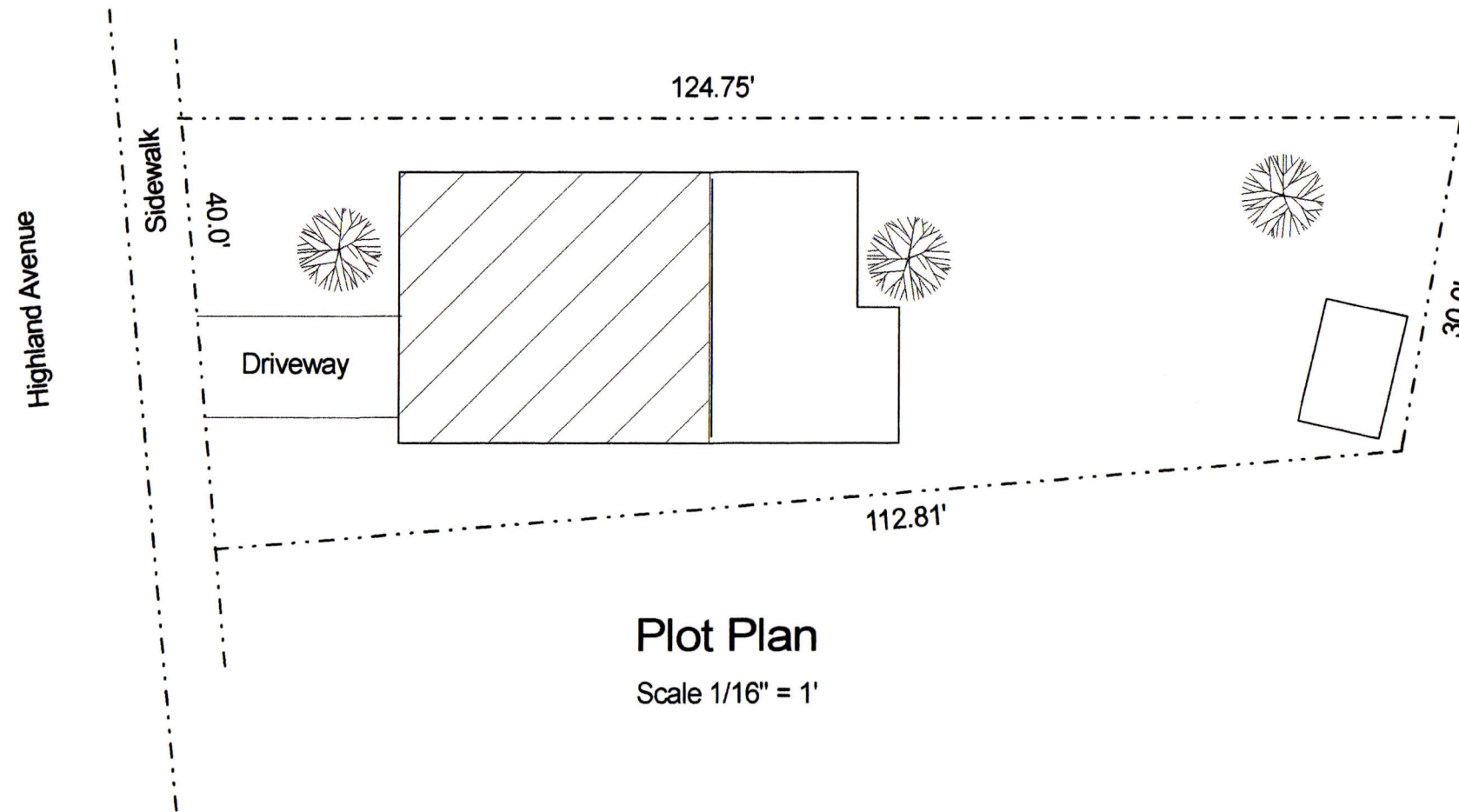
- (E) structural members
- (N) structural members
- Property line
- Demo'd structural members



Abbreviations and symbols



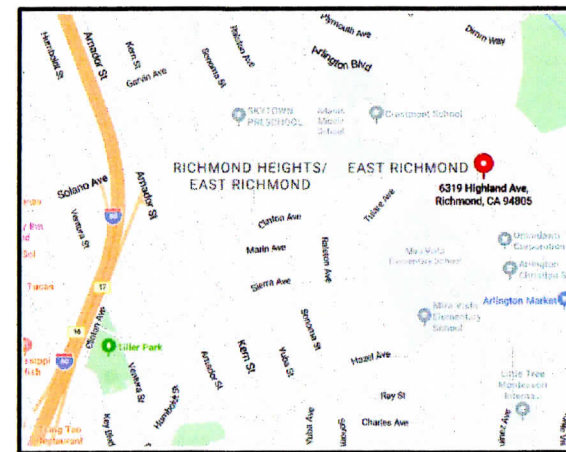
- (N) New (E) Existing FJ floor joist
- PTDF Pressure treated Douglas Fir
- OCE On center edge OCF On center field



Plot Plan

Scale 1/16" = 1'

RECEIVED on 10/29/2024 CDVR24-01032
By Contra Costa County
Department of Conservation and Development

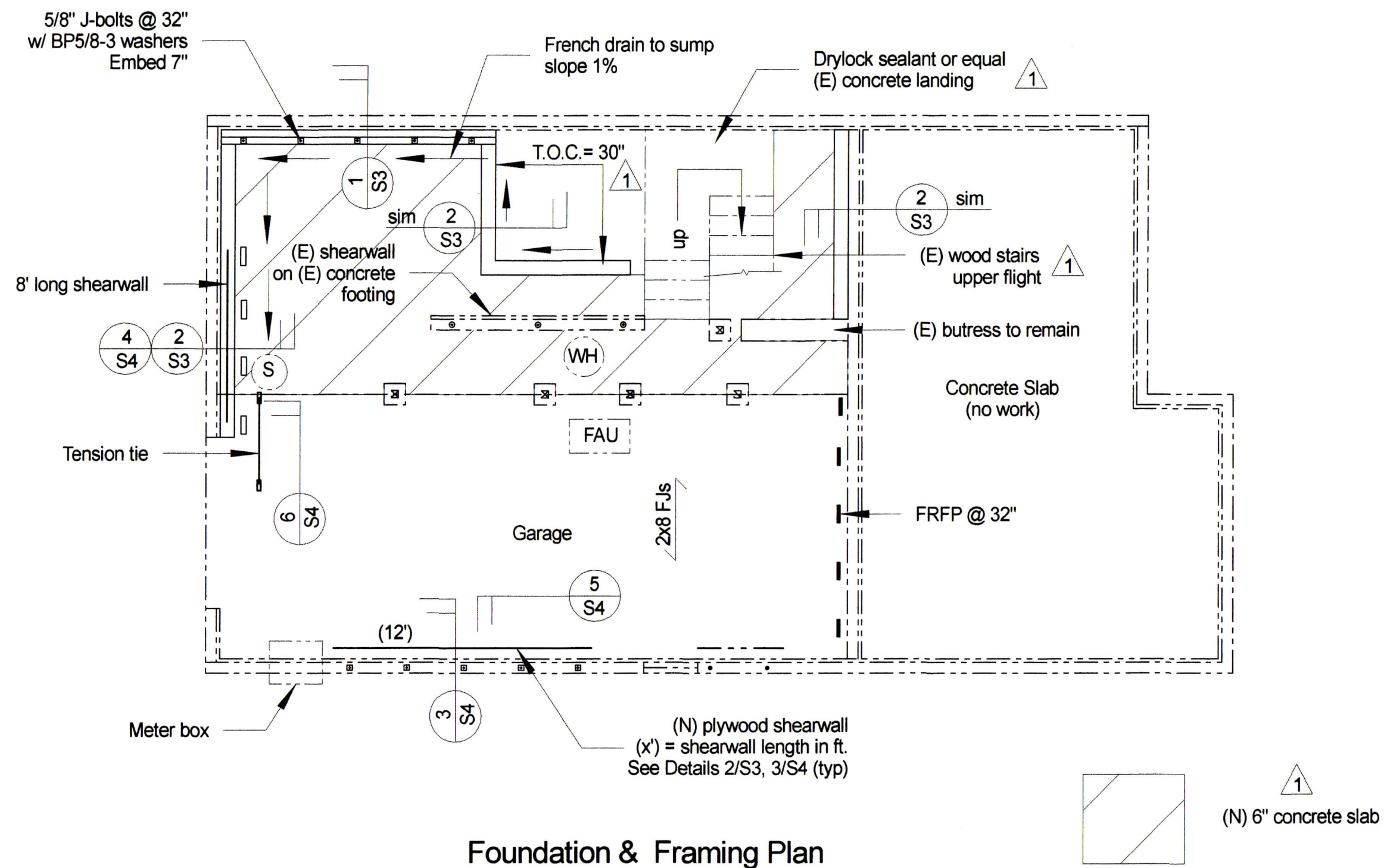


Vicinity Map

Project North

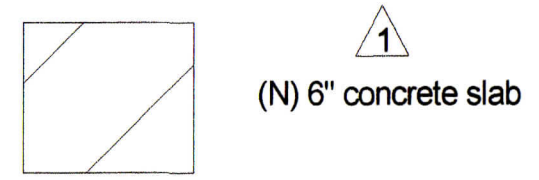
REV	DATE
1	7/27/2023
<p>BENT RETAINING WALL & SEISMIC UPGRADE 6319 HIGHLAND AVE., RICHMOND, CA 94805</p> <p>KSF STRUCTURAL 1805 LEIMERT BLVD OAKLAND, CA 94602 (510) 531-4177</p>	
BY:	KSF
DATE:	2/11/2024
SHEET:	S1

REV	DATE
1	4/1/2024



Foundation & Framing Plan

Scale: 3/16" = 1'



- Engineer shall be notified of any discrepancies between the drawings and field conditions prior to construction
- Work shall be performed in accordance with the 2022 California Building Code.
- Plywood shall be APA rated, 5-Ply, 15/32", Struct 1 grade Nails shall be 10d common.
- Fasteners in contact with pressure treated shall be galvanized per ASTM A653 or A153.
- Do not overdrive, countersink, or otherwise damage outer ply.
- Concrete shall have 28-day compressive strength = 2500 psi Reinforcing steel shall conform to ASTM A 615, Gr. 60
- Wood shall be Douglas Fir Larch. All wood members shall be #1 and better. Outdoor exposure shall be pressure treated.
- Metal connectors shall be Simpson or equal. Epoxy shall be Simpson SET- XP or equal Use SET-3G for holdowns..
- Shearwalls may be moved along length to avoid interferences. Provide openings in shearwalls around existing vents & openings.
- Special inspections shall be conducted for epoxy bolts, and shearwall nails with spacing 4" or less. Inspections shall be performed by the engineer-of-record or a City approved lab.

BY: KSF
DATE: 2/11/2024
SHEET: S2



BENT RETAINING WALL & SEISMIC UPGRADE
6319 HIGHLAND AVE., RICHMOND, CA 94805
KSF STRUCTURAL 1805 LEIMERT BLVD OAKLAND, CA 94602 (510) 531-4177

REV	DATE:
1	4/1/2024

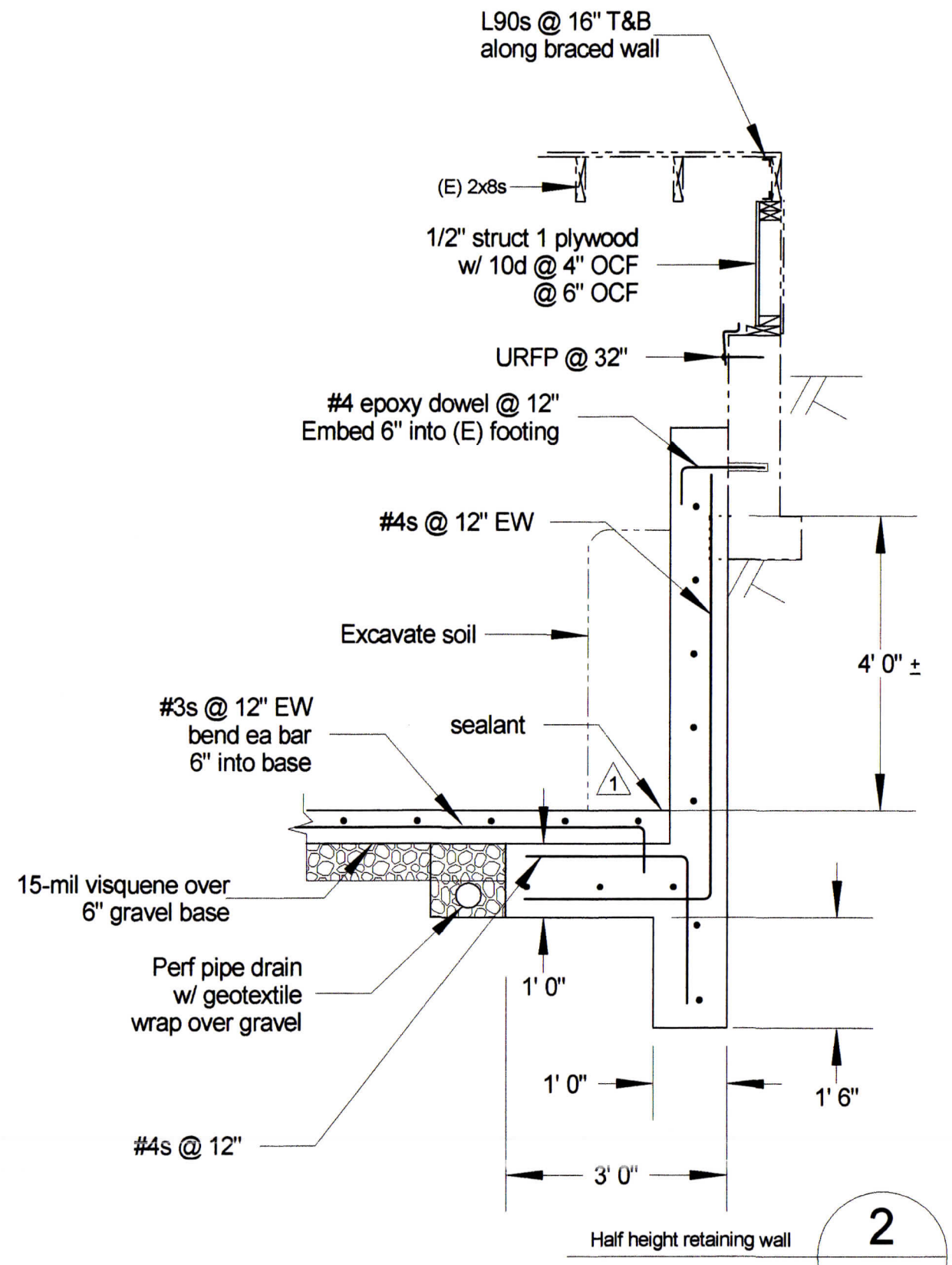
**BENT RETAINING WALL & SEISMIC UPGRADE
6319 HIGHLAND AVE., RICHMOND, CA 94805**

KSF STRUCTURAL 1805 LEIMERT BLVD. OAKLAND, CA 94602 (510) 531-5120

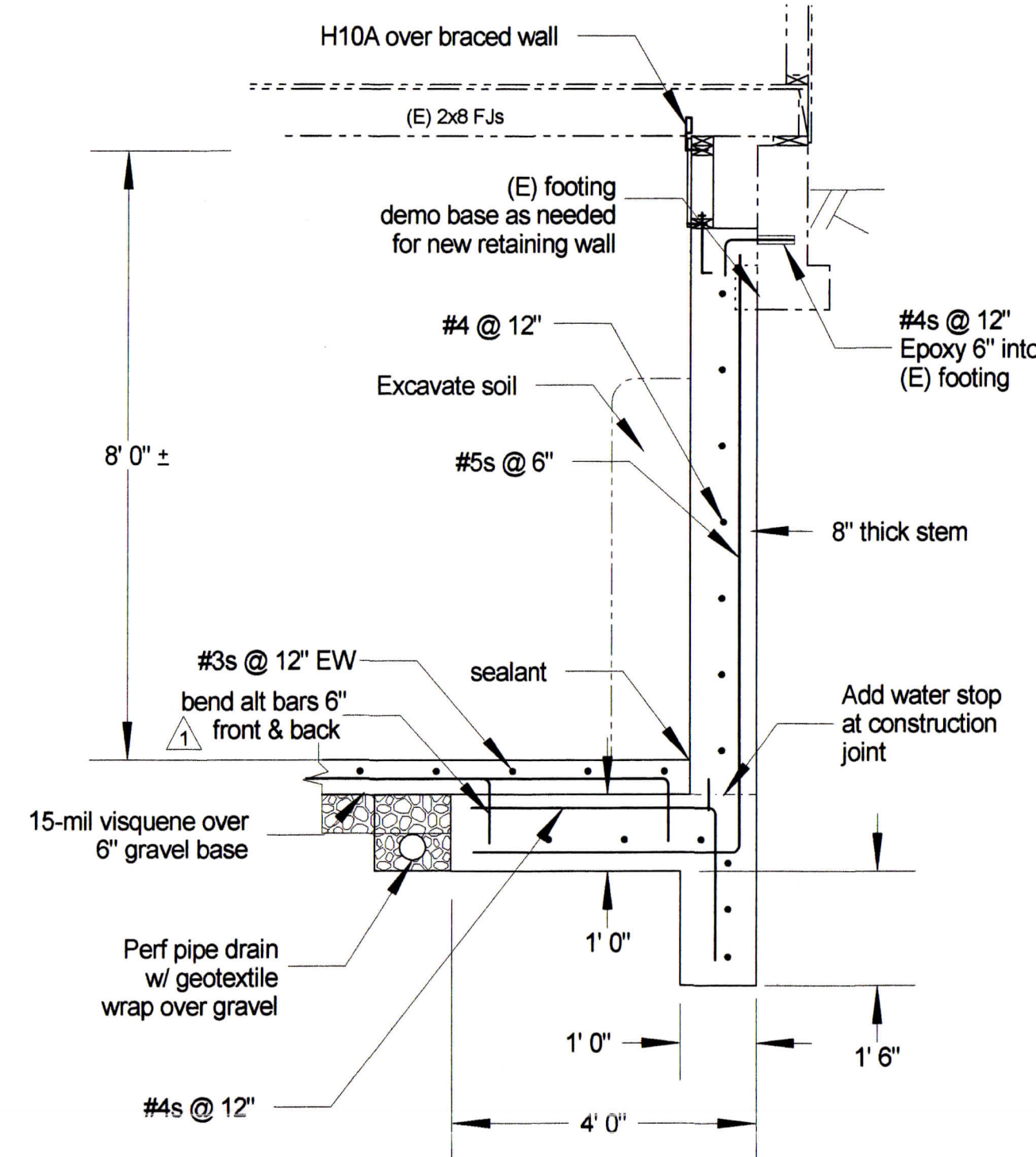
BY: KSF

DATE: 2/11/2024

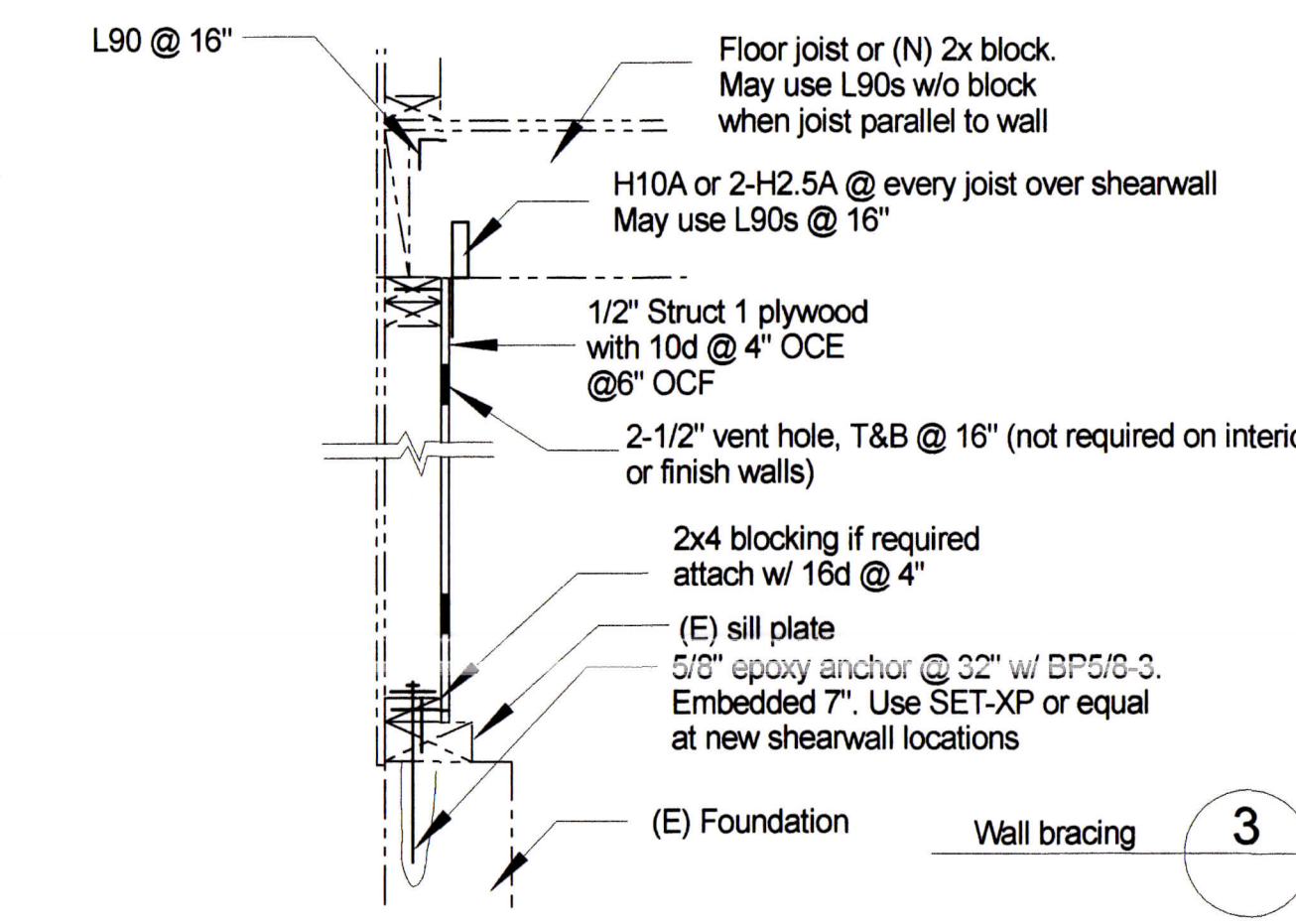
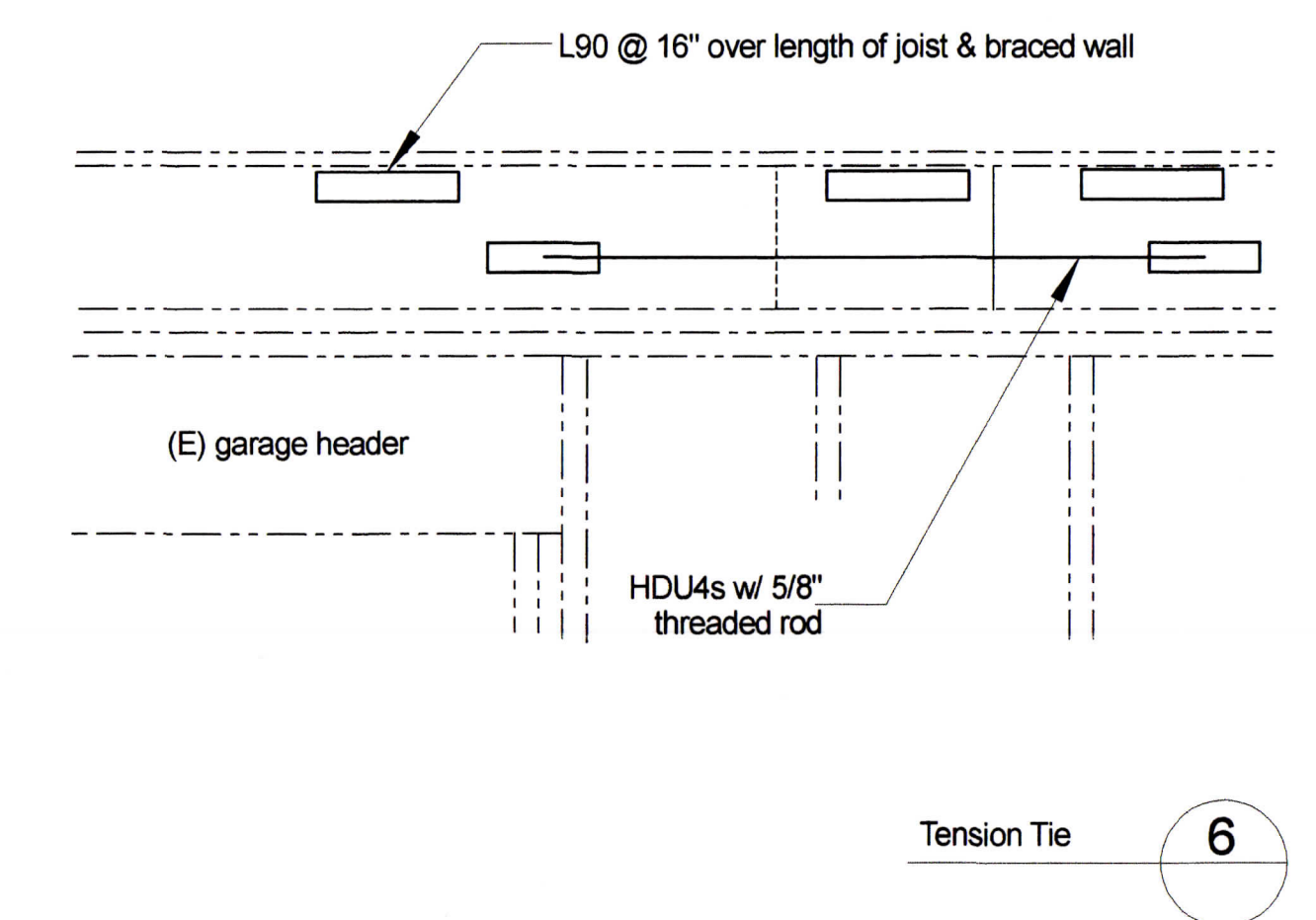
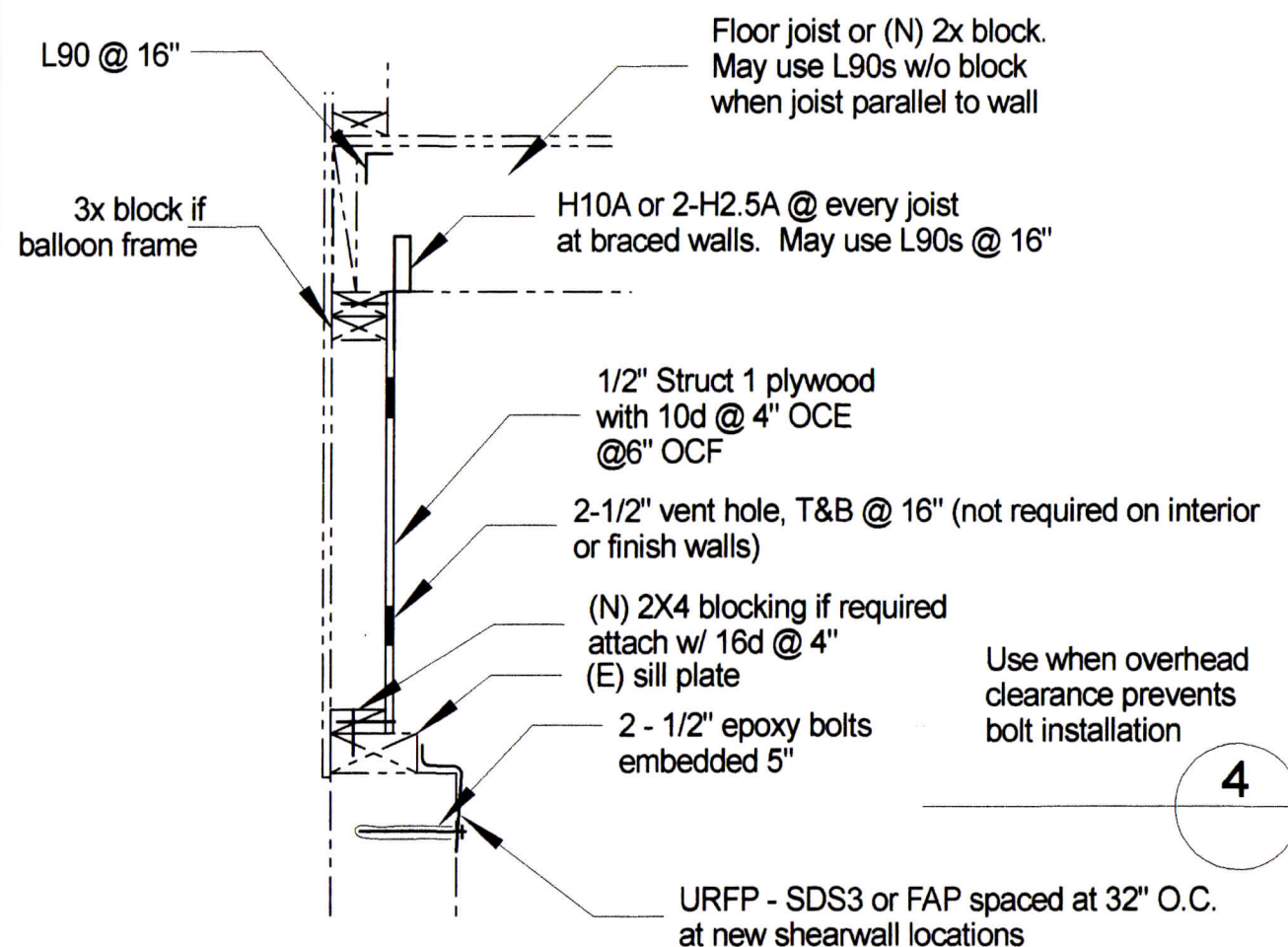
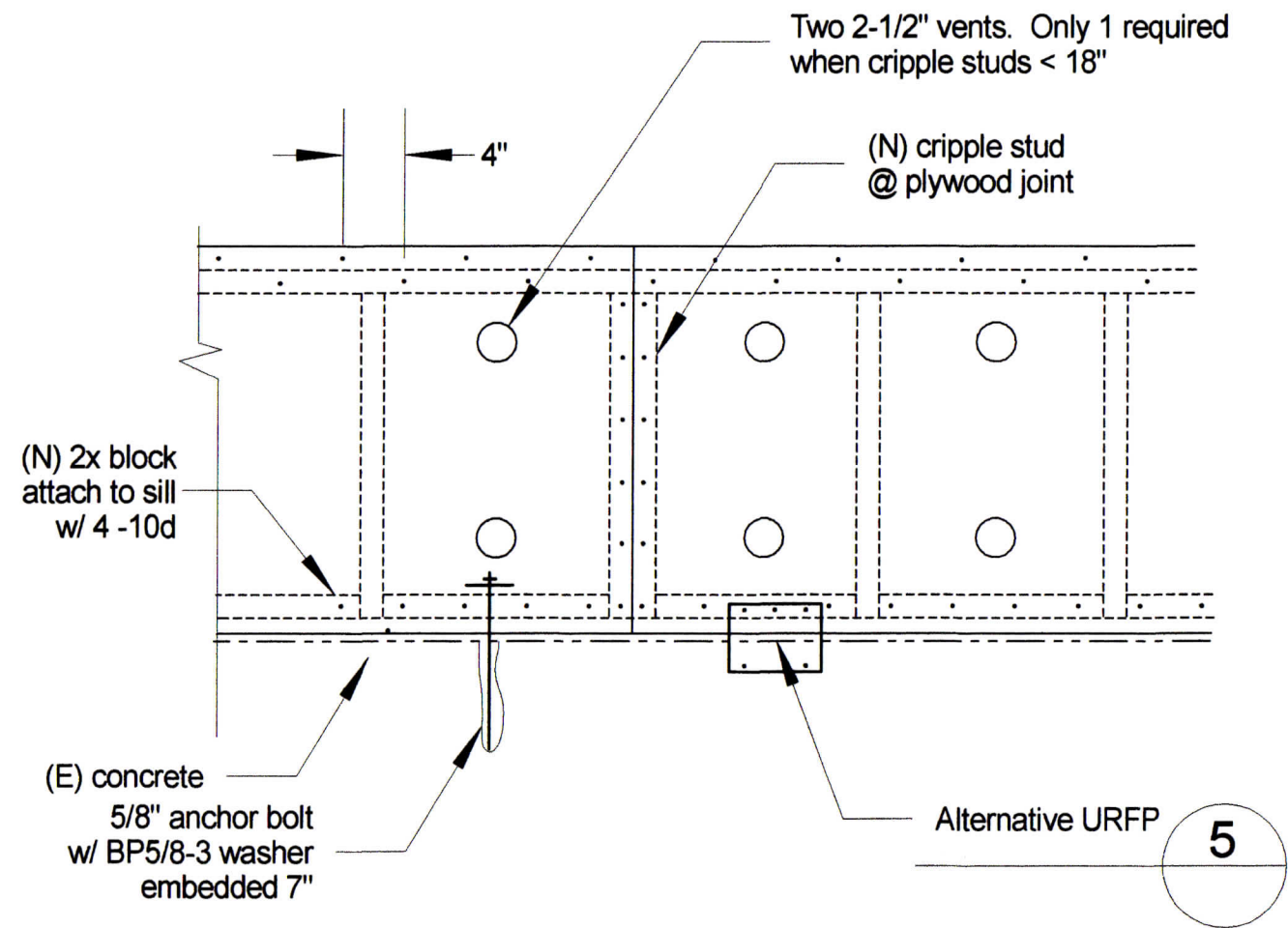
SHEET: 3 of 4



Half height retaining wall **2**



Full height retaining wall **1**



REV.	DATE

BENT SEISMIC UPGRADE DETAILS
6319 HIGHLAND AVE., RICHMOND, CA 94805
 KSF STRUCTURAL 1805 LEIMERT BLVD., OAKLAND, CA (510) 531-4177

BY: KSF
 DATE: 2/11/2024
 SHEET: S4





Highland Ave



Map Legend

Assessment
Parcels

Planning Layers (DCD)

Unincorporated
 Board of
Supervisors'
Districts

Base Data

Address Points








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Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

0 0 0 0.01 mi



Map Legend

-  Assessment Parcels
- Planning Layers (DCD)**
- General Plan**
-  SH (Single Family Residential - High) 5.0 - 7.2 Units per Net Acre
-  Unincorporated
- Board of Supervisors' Districts**
-  Districts
- Base Data**
-  Address Points

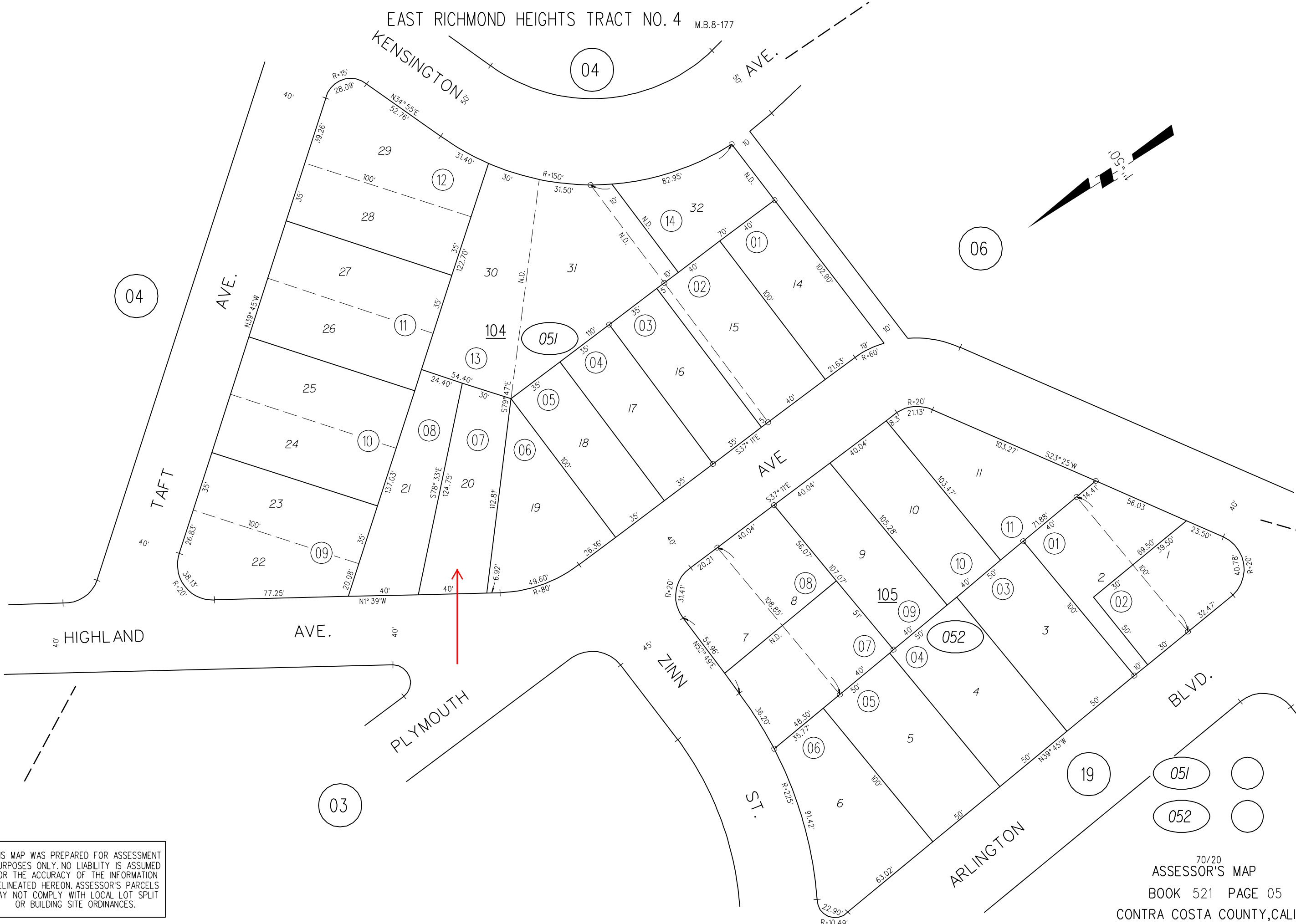


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Map Legend

-  Assessment Parcels
- Planning Layers (DCD)
- Zoning
- ZONE_OVER
 -  R-6 (Single Family Residential)
 -  Unincorporated
 -  Board of Supervisors' Districts
- Base Data
 -  Address Points



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