



AGENCY COMMENT REQUEST

Date June 29, 2026

We request your comments regarding the attached application currently under review.

DISTRIBUTION

INTERNAL

Building Inspection	Grading Inspection
Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
APC PW Staff	County Geologist

HEALTH SERVICES DEPARTMENT

Environmental Health Hazardous Materials

PUBLIC WORKS DEPARTMENT

Engineering Services (1 Full-size + 3 email Contacts)

Traffic

Flood Control (Full-size) Special Districts

LOCAL

Fire District _____

San Ramon Valley – (email) rwendel@srvfire.ca.gov

Consolidated – (email) fire@cccfd.org

East CCC – (email) brodriguez@cccfd.org

Sanitary District _____

Water District _____

City of _____

School District(s) _____

LAFCO

Reclamation District # _____

East Bay Regional Park District

Diablo/Discovery Bay/Crockett CSD

☒ **MAC/TAC** Kensington MAC

Improvement/Community Association

CC Mosquito & Vector Control Dist (email)

OTHERS/NON-LOCAL

CHRIS (email only: nwic@sonoma.edu)

CA Fish and Wildlife, Region 3 – Bay Delta

Native American Tribes

ADDITIONAL RECIPIENTS

District 1, Attn: Joanna Steen

Please submit your comments to:

Project Planner Grant Farrington

Phone # 925-655-2868

E-mail Grant.Farrington@dcd.cccounty.us

County File # CDDP24-03006

Prior to August 1, 2026

We have found the following special programs apply to this application:

☒ Active Fault Zone (Alquist-Priolo)

Flood Hazard Area, Panel # _____

60-dBA Noise Control

CA EPA Hazardous Waste Site

High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below ____ Attached

Print Name _____

Signature _____

DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Project Summary

County File Number: CDDP24-03006

Submitted Date: 2/14/2024

Applicant: wenbai duan

Property Owner: MINGE TRE LI

Project Description:

The applicant requests approval of a Kensington Design Review Development Plan application for the construction of an approximately 610 sq. ft. addition to an existing single-family residence that was previously damaged by fire with a variance for a 2' 3.75" front yard (where 20 feet is required) for a 42" glass railing on top of an existing detached garage. The project includes an approximately 37 sq. ft. lower level addition and an approximately 574 sq. ft. addition at the rear of the upper level for a total gross floor area of 2,487 square feet. The project also includes conversion of the existing pitched roof to a flat roof which will raise the total height of the residence by 0.27 inches, new window and door locations and a new stucco exterior facade.

Project Location: (Address: 215 YALE AVE, KENSINGTON, CA 947081013), (APN: 570041004)

Additional APNs:

General Plan Designation(s): SH

Flood Hazard Areas: X

60-dBA Noise Control:

Sphere of Influence: El Cerrito

Sanitary District: STEGE SANITARY

Specific Plan:

Zoning District(s): "R-6, -TOV -K"

AP Fault Zone:

MAC/TAC:

Fire District: KENSINGTON FIRE

Housing Inventory Site: NO

POR. BLOCKS F & G, BERKELEY HIGHLANDS
STANFORD

MB 6-150

AVE.

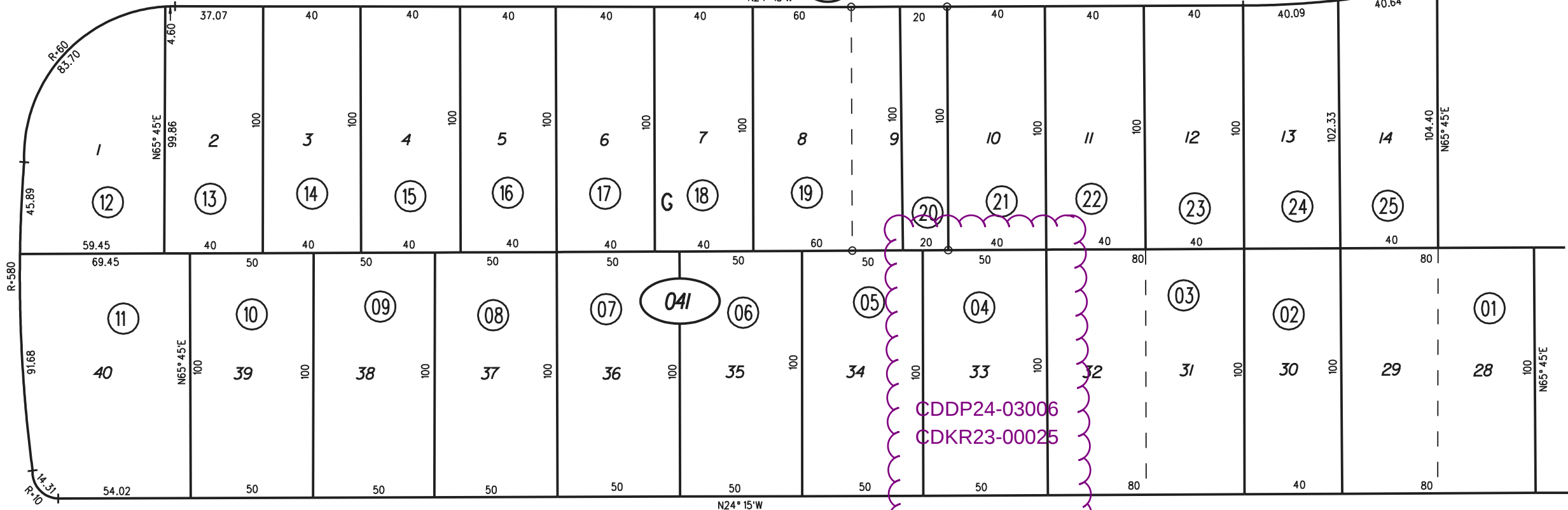
40

03

N24° 15' W

R-345

AVE.

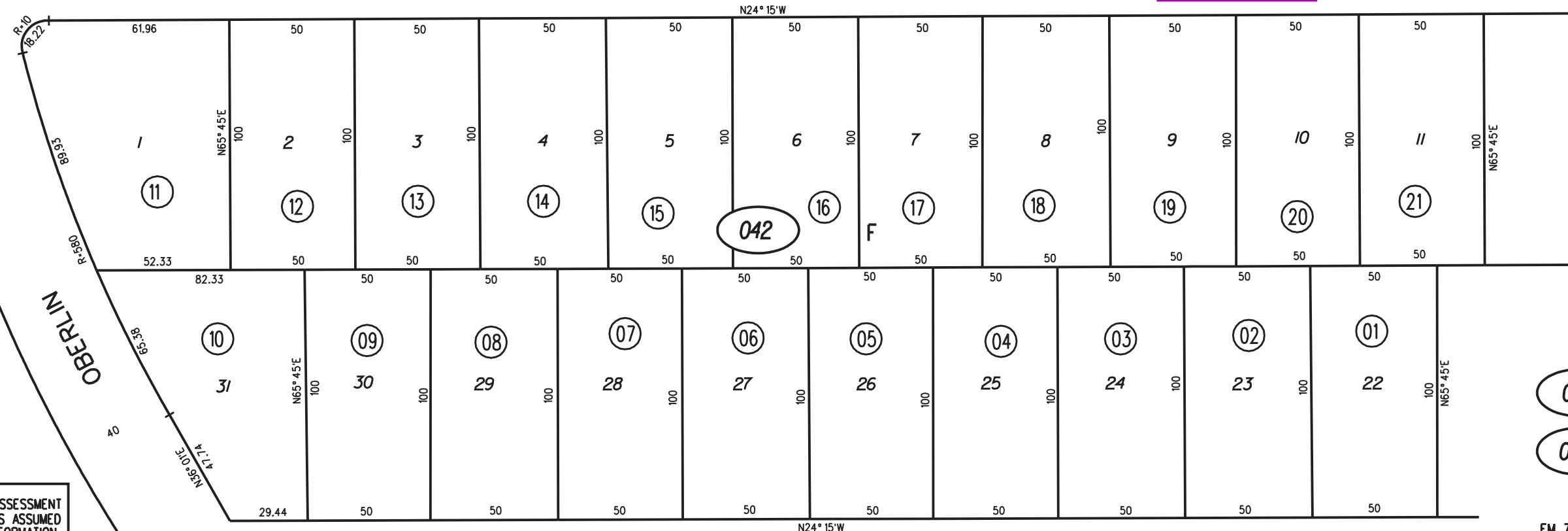


YALE

AVE.

PROJECT SITE

N24° 15' W



AMHERST

AVE.

40

05

N24° 15' W

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

FM. 72/6 3-30-61 G.C.C.
ASSESSOR'S MAP

BOOK 570 PAGE 4

CONTRA COSTA COUNTY, CALIF.

Sanborn Date : 01/05/1999

08

07

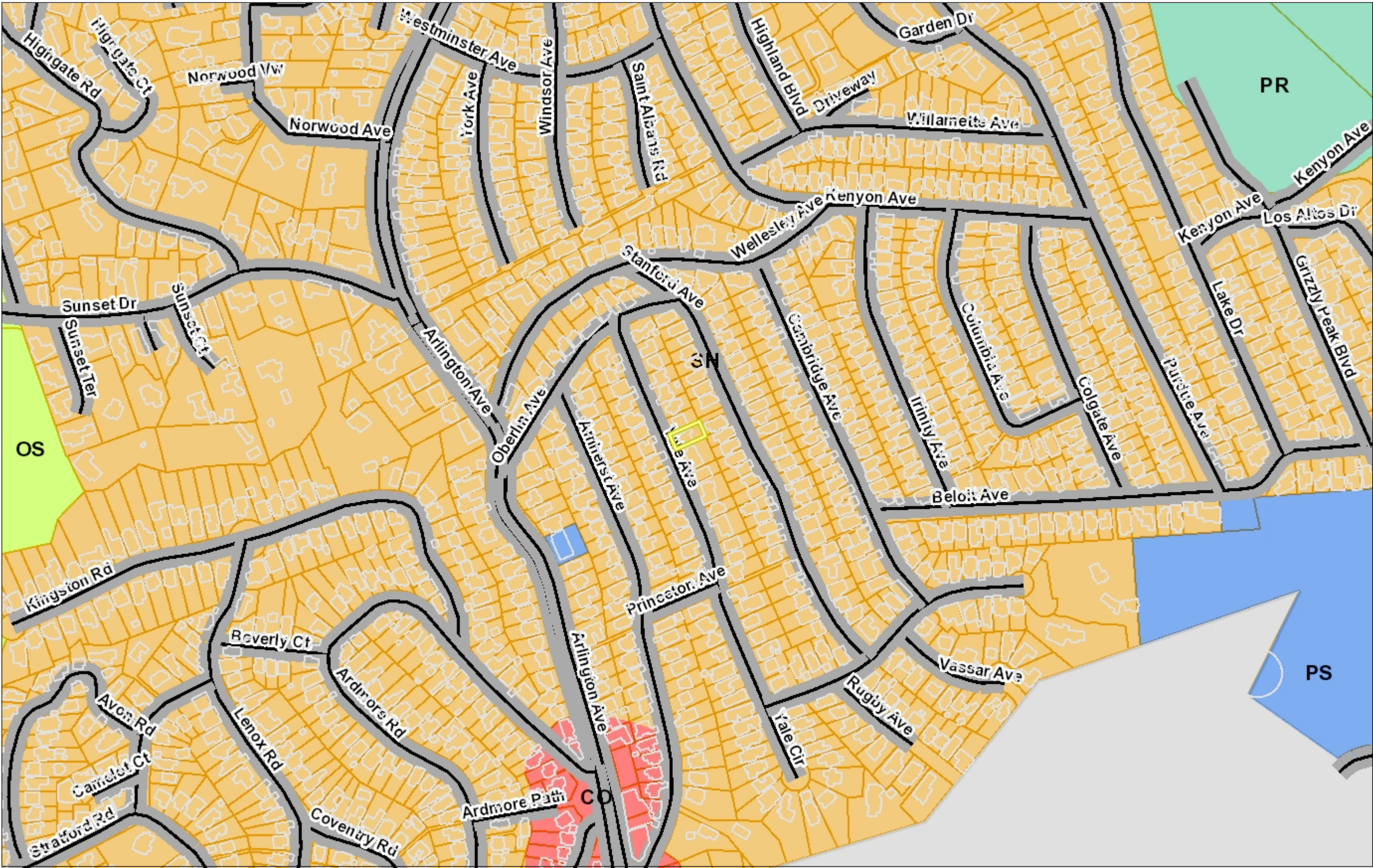
04I

042

3/2/06

1"=50'

General Plan: Single-Family Residential-High Density (SH)



Legend

- Building Outlines
- City Limits
- Highways
- Highways Bay Area
- Streets
- General Plan
 - SV (Single Family Residential - Ver
 - SL (Single Family Residential - Low
 - SM (Single Family Residential - Me
 - SH (Single Family Residential - Hig
 - ML (Multiple Family Residential - Lc
 - MM (Multiple Family Residential - M
 - MH (Multiple Family Residential - H
 - MV (Multiple Family Residential - V
 - MS (Multiple Family Residential - V
 - CC (Congregate Care/Senior Housi
 - MO (Mobile Home)
 - M-1 (Parker Avenue Mixed Use)
 - M-2 (Downtown/Waterfront Rodeo I
 - M-3 (Pleasant Hill BART Mixed Use
 - M-4 (Willow Pass Road Mixed Use)
 - M-5 (Willow Pass Road Commercia
 - M-6 (Bay Point Residential Mixed U
 - M-7 (Pittsburg/Bay Point BART Stai
 - M-8 (Dougherty Valley Village Cent
 - M-9 (Montalvin Manor Mixed Use)
 - M-10 (Willow Pass Business Park M
 - M-11 (Appian Way Mixed Use)
 - M-12 (Triangle Area Mixed Use)
 - M-13 (San Pablo Dam Road Mixed
 - M-14 (Heritage Mixed Use)
 - CO (Commercial)
 - OF (Office)
 - BP (Business Park)
 - LI (Light Industry)
 - HI (Heavy Industry)
 - AL, OIBA (Agricultural Lands & Off
 - CR (Commercial Recreation)
 - ACO (Airport Commercial)

1:4,514



Notes

CDDP24-03006

0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Zoning: R-6 Single-Family Residential District, -TOV Tree Obstruction of Views Combining District -K Kensington Combining District



Legend

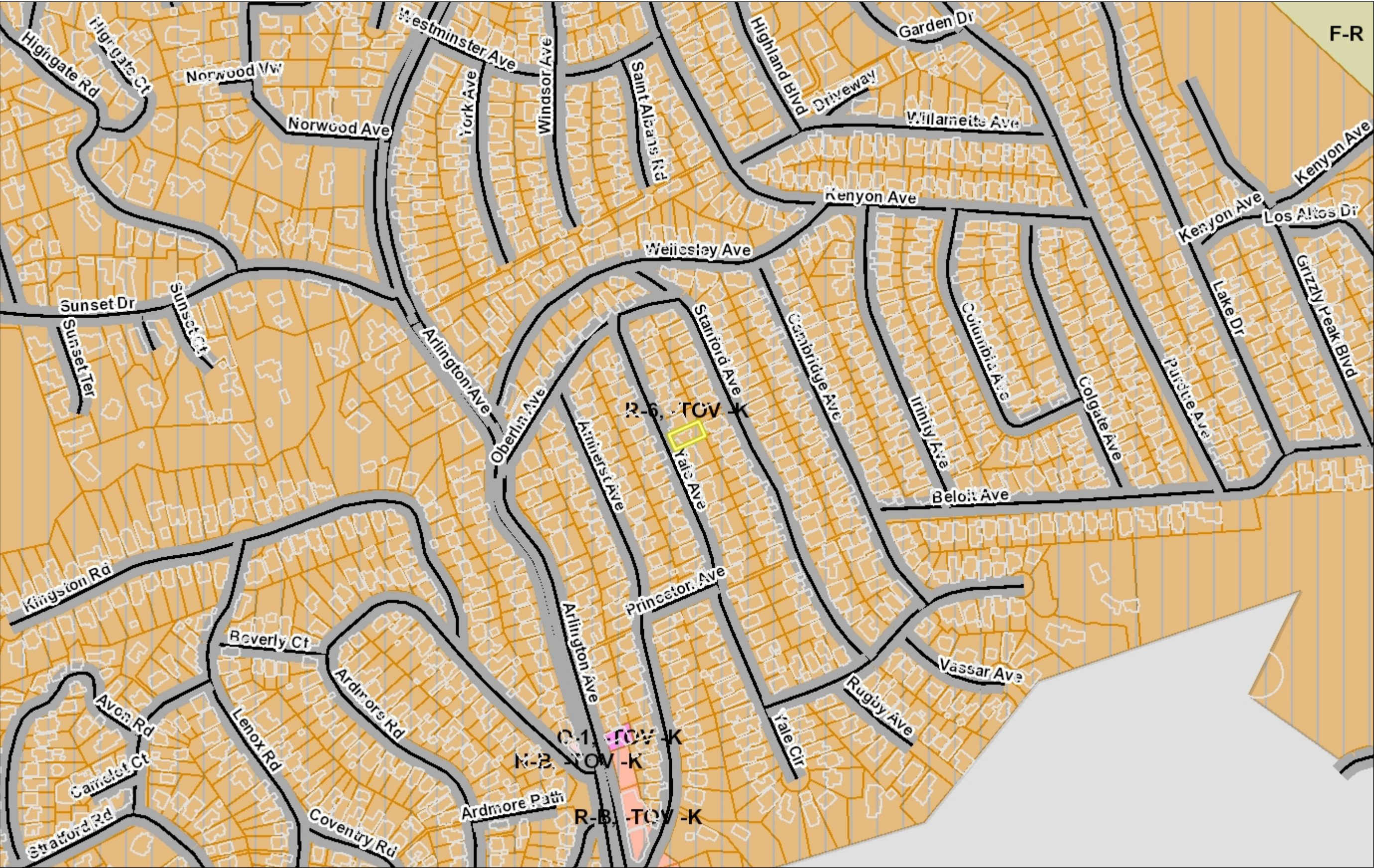
- Building Outlines
- City Limits
- Highways
- Highways Bay Area
- Streets
- Zoning
 - R-6 (Single Family Residential)
 - R-6, -FH -UE (Flood Hazard and A
 - R-6 -SD-1 (Slope Density Hillside I
 - R-6 -TOV -K (Tree Obstruction and
 - R-6, -UE (Urban Farm Animal Excl
 - R-6 -X (Railroad Corridor Combinir
 - R-7 (Single Family Residential)
 - R-7 -X (Railroad Corridor Combinin
 - R-10 (Single Family Residential)
 - R-10, -UE (Urban Farm Animal Exc
 - R-12 (Single Family Residential)
 - R-15 (Single Family Residential)
 - R-20 (Single Family Residential)
 - R-20, -UE (Urban Farm Animal Exc
 - R-40 (Single Family Residential)
 - R-40, -FH -UE (Flood Hazard and A
 - R-40, -UE (Urban Farm Animal Exc
 - R-65 (Single Family Residential)
 - R-100 (Single Family Residential)
 - D-1 (Two Family Residential)
 - D-1 -T (Transitional Combining Dist
 - D-1, -UE (Urban Farm Animal Excl
 - M-12 (Multiple Family Residential)
 - M-12 -FH (Flood Hazard Combining
 - M-17 (Multiple Family Residential)
 - M-29 (Multiple Family Residential)
 - F-R (Forestry Recreational)
 - F-R -FH (Flood Hazard Combining I
 - F-1 (Water Recreational)
 - F-1 -FH (Flood Hazard Combining I
 - A-2 (General Agriculture)
 - A-2, -BS (Boat Storage Combining I
 - A-2, -BS -SG (Boat Storage and So

1:4,514



Notes

CDDP24-03006



0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

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- Legend
- Building Outlines
 - City Limits
 - Highways
 - Highways Bay Area
 - Streets
 - Water Bodies
 - County Boundary
 - Bay Area Counties
 - Assessment Parcels
 - World Imagery
 - Low Resolution 15m Imagery
 - High Resolution 60cm Imagery
 - High Resolution 30cm Imagery
 - Citations



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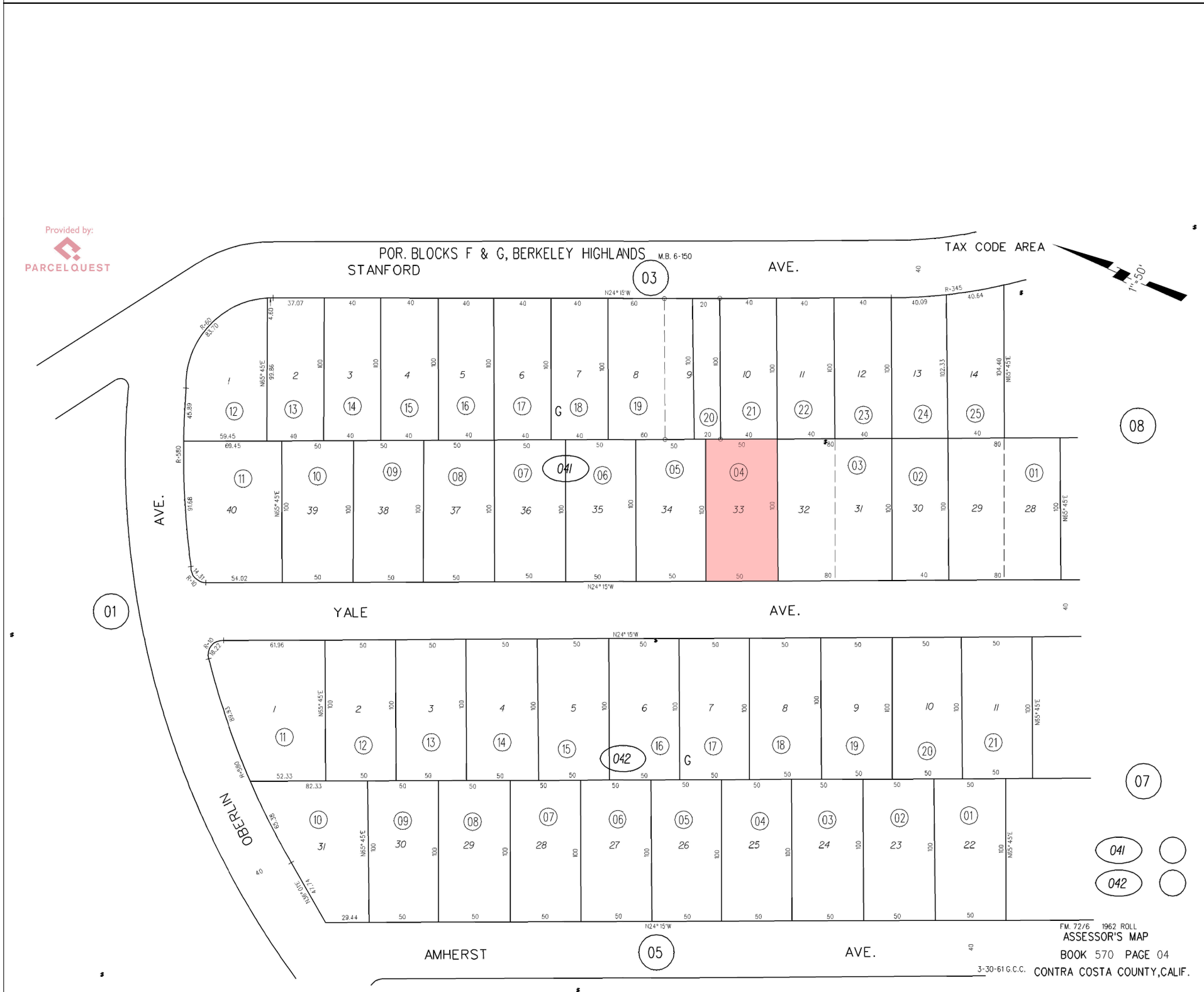
1: 282



Notes
CDDP24-03006

TWO-STORY SINGLE FAMILY ADDITION & INTERIOR REMODEL

215 Yale Ave, Kensington, CA 94708



PROJECT CONTACTS

OWNER
Minge Li
215 Yale Ave, Kensington, CA 94708
(510) 931-8818
Jaxsonia3101@gmail.com

DESIGNER
Erik & Britna Design, LLC
Erik Zang
(628) 999-3498
szang0531@gmail.com

STRUCTURAL ENGINEER
-
-
-

LAND SURVEYOR
Zhen's Land Survey Corp.
Zhen Wang
(415) 802-9945
zhen.wang@zhenslandsurveying.com

SHEET INDEX

A-0.1	COVER SHEET
C-1	TOPOGRAPHIC & BOUNDARY SURVEY
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A-1.2	PROPOSED SITE PLAN
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A-2.2	EXISTING/DEMO FLOOR PLAN
A-3.1	PROPOSED GARAGE LEVEL FLOOR PLAN
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A-3.3	PROPOSED UPPER LEVEL FLOOR PLAN
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A-6.5	SECTIONS
A-6.6	SECTIONS



215 Yale Ave,
Kensington, CA 94708

AP NUMBER 570041004

DATE 04/05/2026

PLAN CHECK

BID DATE

FINAL PERMIT

REVISIONS

PLAN PREPARED BY

Erik Zang

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SHEET TITLE:

COVER SHEET

SHEET NUMBER:

A-0.1

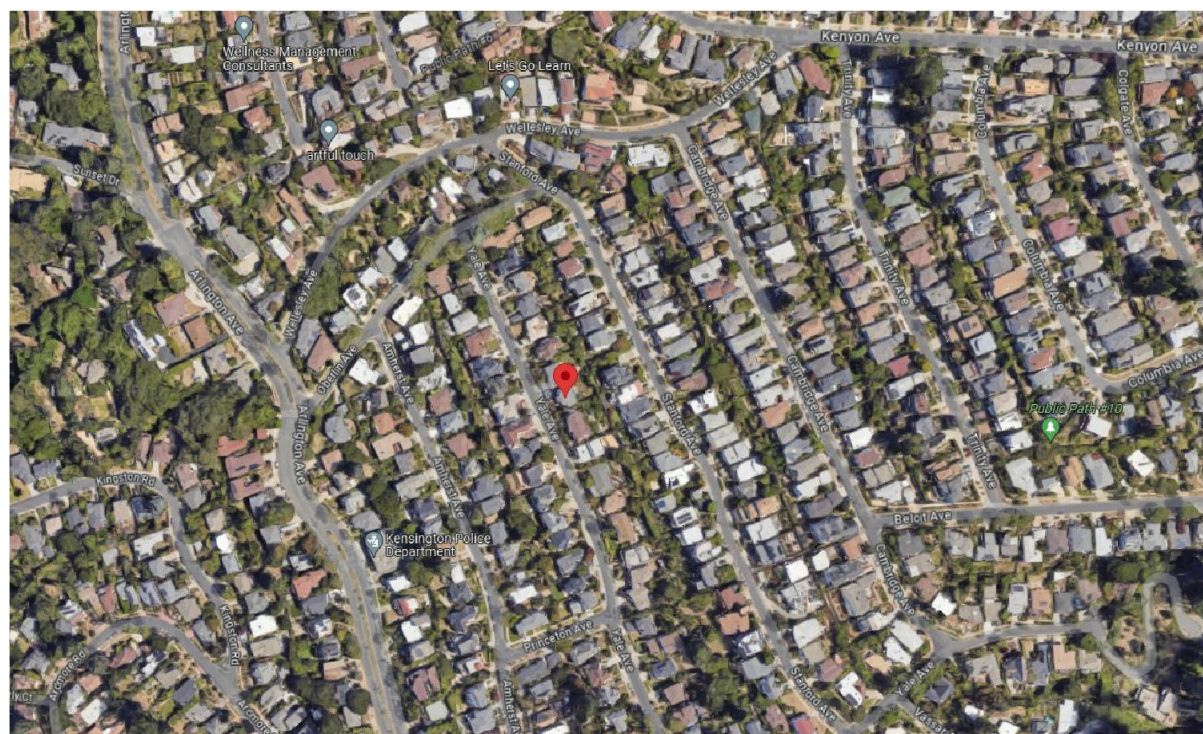
GENERAL NOTES

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- PROJECT TO BE CONSTRUCTED BY A LICENSED GENERAL CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DIMENSIONS OFF DRAWINGS. FOLLOWING WRITTEN DIMENSIONS ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE AND GRADE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY OF ANY DISCREPANCY ON THESE PLANS AND SPECIFICATIONS.
- SHOULD AN ERROR APPEAR IN THE DRAWINGS OR SPECIFICATIONS, OR IN WORK DONE BY OTHERS AFFECTING THIS WORK, NOTIFY THE DESIGN PROFESSIONAL AT ONCE. IF THE CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE DESIGN PROFESSIONAL, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
- THE GENERAL CONTRACTOR, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, SHALL ASSUME RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER. OPERATIONS SHALL BE CONFINED TO THE SITE AREAS PERMITTED BY PERMIT & LAW.
- NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION (PER REQUEST OF THE OWNER OR DESIGN PROFESSIONAL) MAY BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND APPROVED. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS & SAMPLES.

APPLICABLE CODES

2025 California Building Code Volumes 1 & 2
2025 California Mechanical Code
2025 California Plumbing Code
2025 California Electrical Code
2025 California Existing Buildings Code
2025 California Fire Code
2025 California Energy Code
2025 California Residential Building Code
2025 California Green Building Standards Code
2025 California Historical Building Code
All other state and local laws, ordinances and regulations

VICINITY MAP

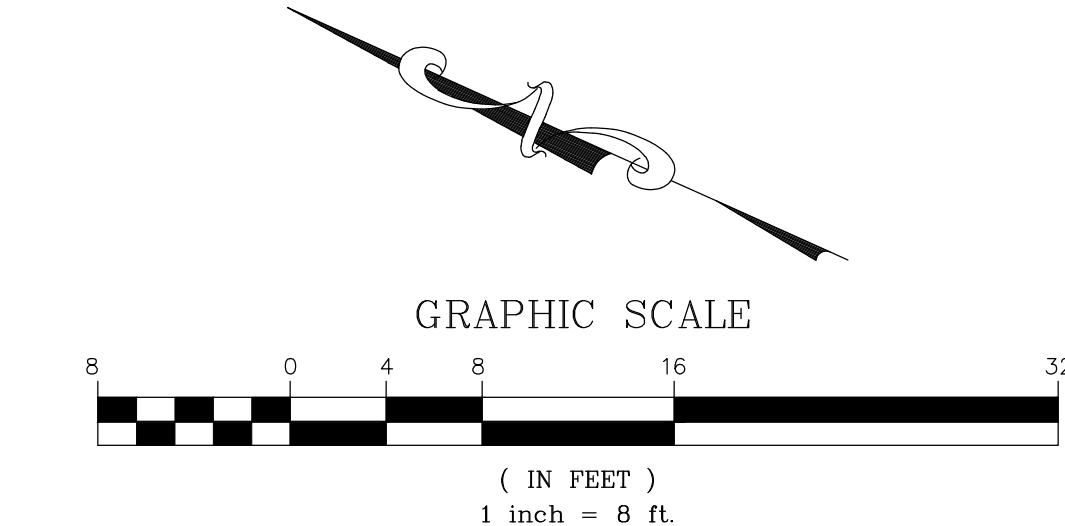
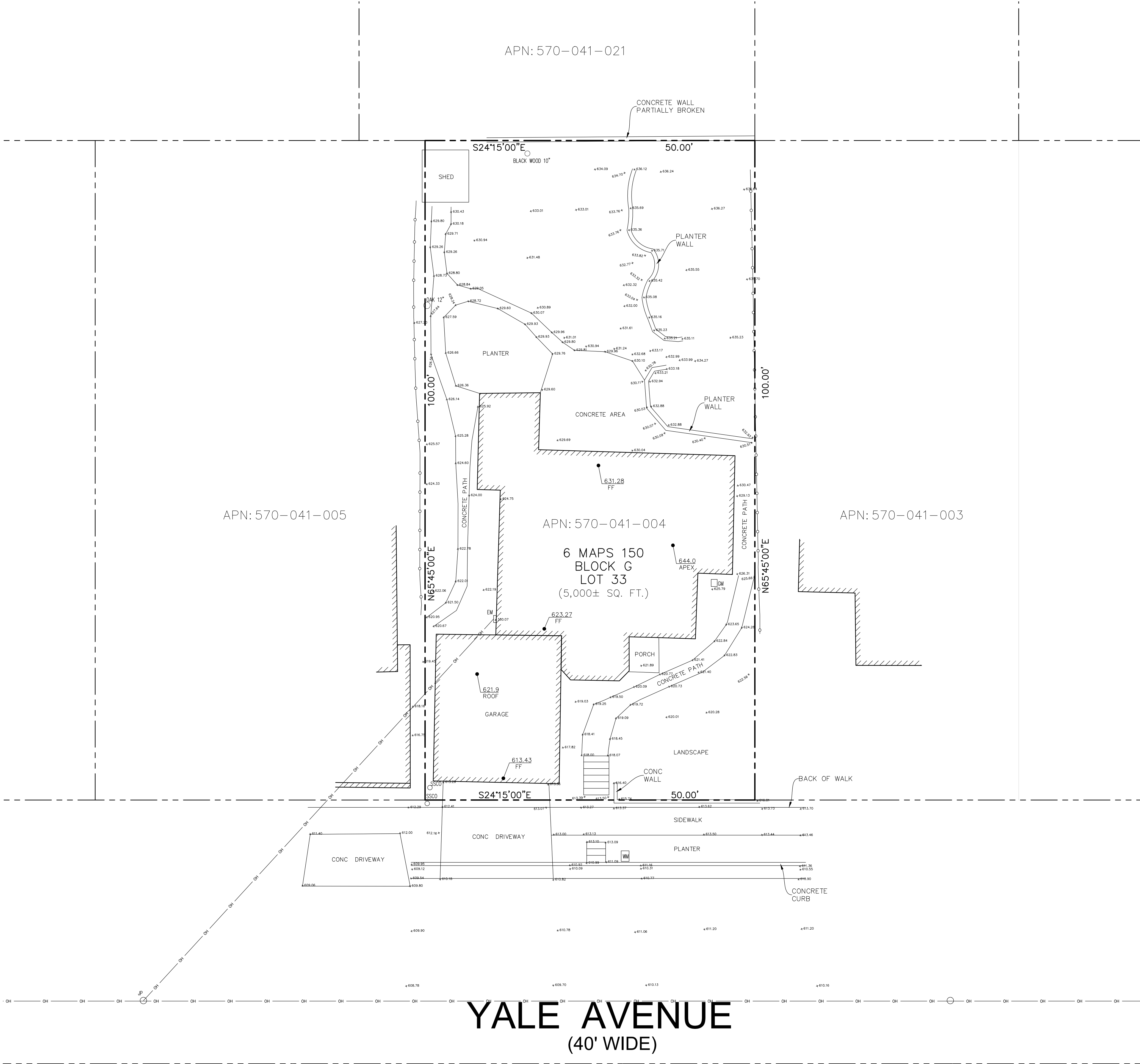


PROJECT DESCRIPTION

- UPPER LEVEL REAR & FRONT ADDITION.
- DEMO EXISTING ROOF. RAISE UP THE TOP PLANT AND BUILD NEW ROOF.
- RAISE UP THE LOWER LEVEL CEILING HEIGHT TO 10FT.
- RAISE UP THE UPPER LEVEL CEILING HEIGHT TO 10FT.
- KITCHEN REMODEL. 172.55 SQ.FT.
- BATH-2 REMODEL. 42.34 SQ.FT.
- UPGRADE THE ELECTRICAL PANEL TO 200A.
- INSTALL NEW HVAC SYSTEM. (N) CENTRAL HEATING & COOLING.
- INSTALL NEW WHITE STUCCO.

PROJECT INFORMATION

APN	570041004
OCCUPANCY	R-3(U)(GARAGE)
CONSTRUCTION TYPE	V-B
ZONE	R-6
STORIES	TWO
FIRE SPRINKLER	NO
LOT AREA	5,000.00 SQ.FT.
(E)LOWER LEVEL AREA	494.12 SQ.FT.
(E)UPPER LEVEL AREA	1036.49 SQ.FT.
(E)TOTAL RESIDENCE AREA	1,530.61 SQ.FT.
(E)GARAGE AREA	437.14 SQ.FT.
(E)FRONT PORCH	22.50 SQ.FT.
(N)UPPER LEVEL DEMO AREA	91.32 SQ.FT.
(N)UPPER LEVEL ADDITION AREA	573.74 SQ.FT.
(N)UPPER LEVEL AREA	1,518.93 SQ.FT.
(N)LOWER LEVEL ADDITION AREA	36.95 SQ.FT.
(N)LOWER LEVEL AREA	531.07 SQ.FT.
(N)TOTAL RESIDENCE AREA	2,050.00 SQ.FT.
(N)UNCOVERED FRONT PORCH	50.00 SQ.FT.
FAR	49.74%
LOT COVERAGE	40.46%
FRONT SETBACK	REQUIRED 20' EXISTING 2'-3 3/4"
LEFT SETBACK	REQUIRED 5' EXISTING 1'-0 1/4"
RIGHT SETBACK	REQUIRED 5' PROPOSED 7'-3 1/2"
REAR SETBACK	REQUIRED 15' PROPOSED 27'-5 1/4"
(E)BEDROOM	2
(N)BEDROOM	5
(E)BATHROOM	2
(N)BATHROOM	15



ABBREVIATIONS AND LEGEND		
BSBL	BUILDING SETBACK LINE	
CB	CATCH BASIN	
CONC	CONCRETE	
EM	ELECTRIC METER	
EP	EDGE OF PAVEMENT	
FT	FRUIT TREE	
GM	GAS METER	
GND	GROUND	
HCR	HANDICAP RAMP	
JP	JOINT POLE	
PUE	PUBLIC UTILITY EASEMENT	
SP	SIGN POLE	
SSCO	SANITARY SEWER CLEAN OUT	
SFNF	SEARCH FOR NOT FOUND	
TC	TOP OF CURB	
TEL	TELEPHONE	
UNK T	UNKNOWN TREE	
WM	WATER METER	
	BOUNDARY LINE	
	EXISTING FENCE LINE	
	EXISTING BUILDING OUTLINE	
	FOUND STANDARD CITY MONUMENT	
	INDICATES REFERENCE MAP NUMBER	
	SANITARY SEWER MANHOLE	
	STORM DRAIN MANHOLE	
	FIRE HYDRANT	
	SANITARY SEWER LINE	
	WATER LINE	
	OVERHEAD ELECTRICAL LINE	
	GAS LINE	
	STORM DRAIN LINE	

REFERENCE INFORMATION
(1) 6 MAPS 150, CONTRA COSTA COUNTY RECORDS

- NOTE:
- (1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
 - (2) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
 - (3) ELEVATION DATUM: NAVD 88. ELEVATIONS WERE ESTABLISHED WITH GNSS OBSERVATIONS.
 - (4) A PRELIMINARY REPORT WAS NOT PROVIDED FOR CHECKING EASEMENT OF RECORDS. OTHER EASEMENT MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

UTILITY NOTE

1. THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

TOPOGRAPHIC SURVEY

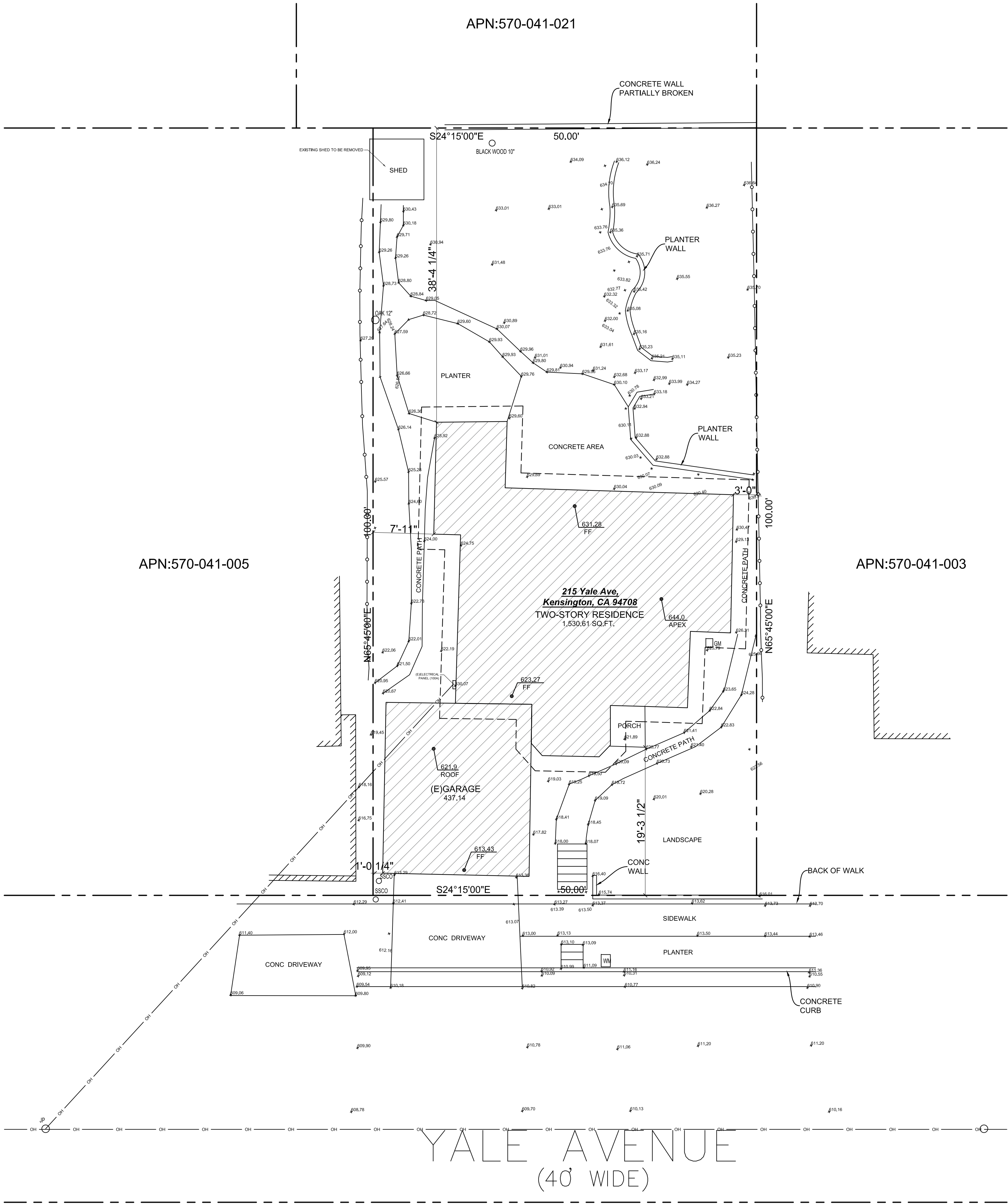
LOT 33, IN BLOCK G, AS SHOWN ON "BERKELEY HIGHLANDS", BOOK 6 OF MAPS, AT PAGE 150, CONTRA COSTA COUNTY RECORDS.
APN 331-11-052
(215 YALE AVENUE)

CITY OF KENSINGTON CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1"=8' MAY, 2023

Zhen Wang
ZHEN WANG

05/23/2023
DATE

ZHEN'S LAND SURVEYING CORP.
1121 S GRANT ST., SAN MATEO, CA 94402
TEL: (415)802-9945

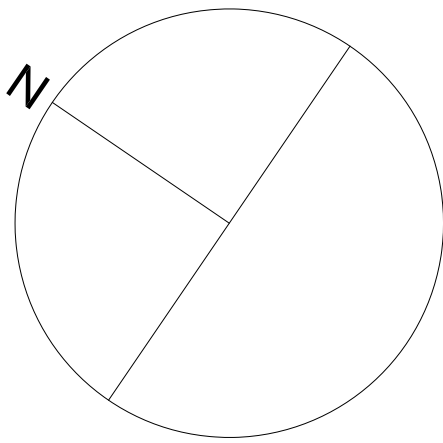


CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
----	EAVE LINE
—OH—	POWER LINE OVER HEAD
—SS—	SEWER LINE
—W—	WATER LINE
—○—○—	FENCE
(E)	EXISTING
(R)	REPLACE
(N)	NEW
EMP	ELECTRICAL MAIN PANEL
ESP	ELECTRICAL SUB PANEL
WM	WATER METER
GM	GAS METER
←	SPLASH BLOCK(TYP)
↗	DIRECTION OF DRAINAGE
⊗	EXISTING TREE TO REMOVE



215 Yale Ave,
Kensington, CA 94708



AP NUMBER 570041004

DATE 03/01/2026

PLAN CHECK

BID DATE

FINAL PERMIT

REVISIONS

PLAN PREPARED BY

Erik Zang

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SHEET TITLE:

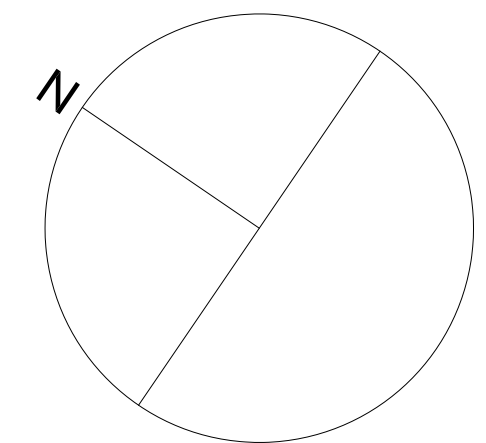
EXISTING
SITE PLAN

SHEET NUMBER:

A-1.1

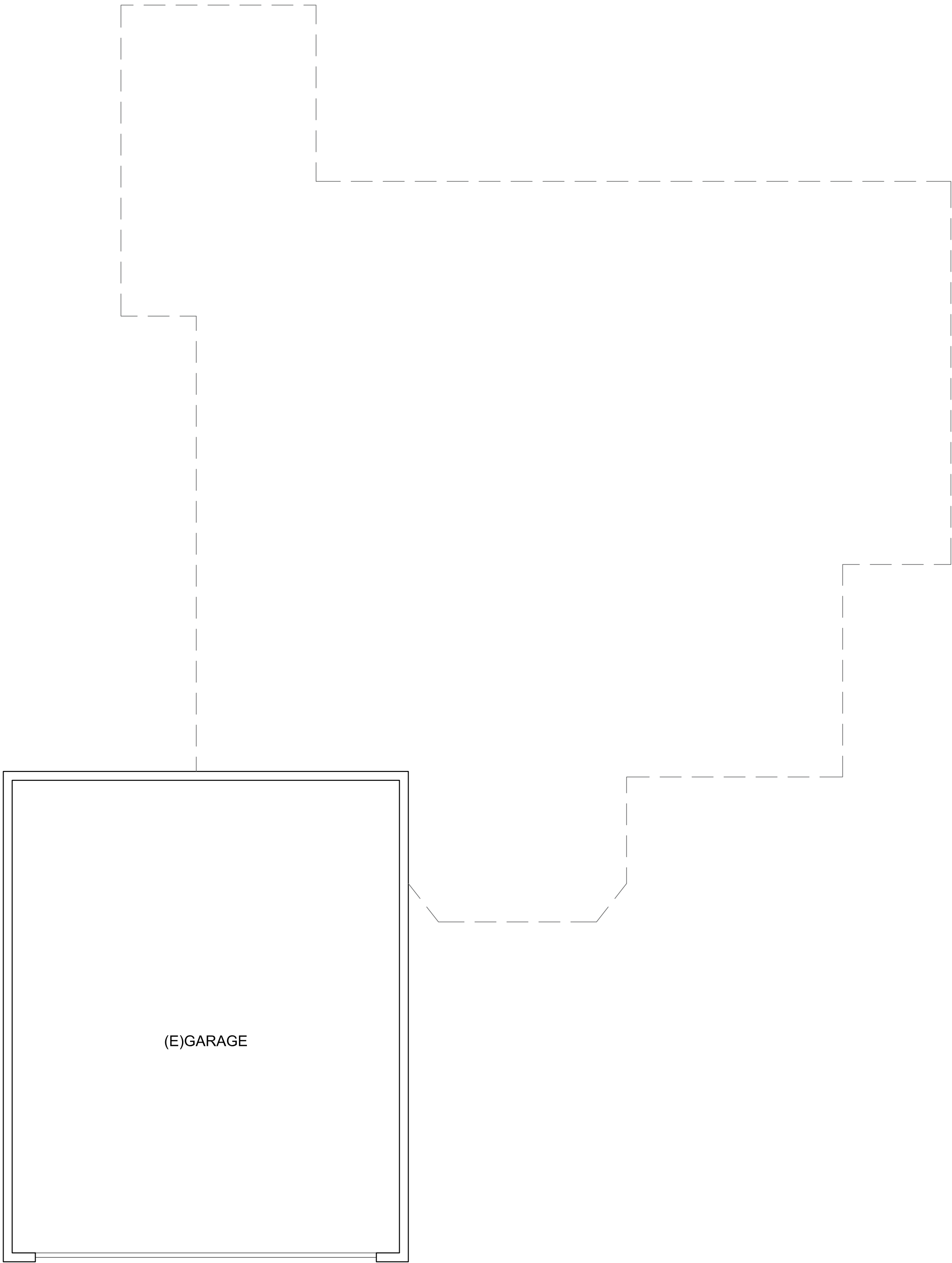
EXISTING SITE PLAN
SCALE 1/8" = 1'-0"

1



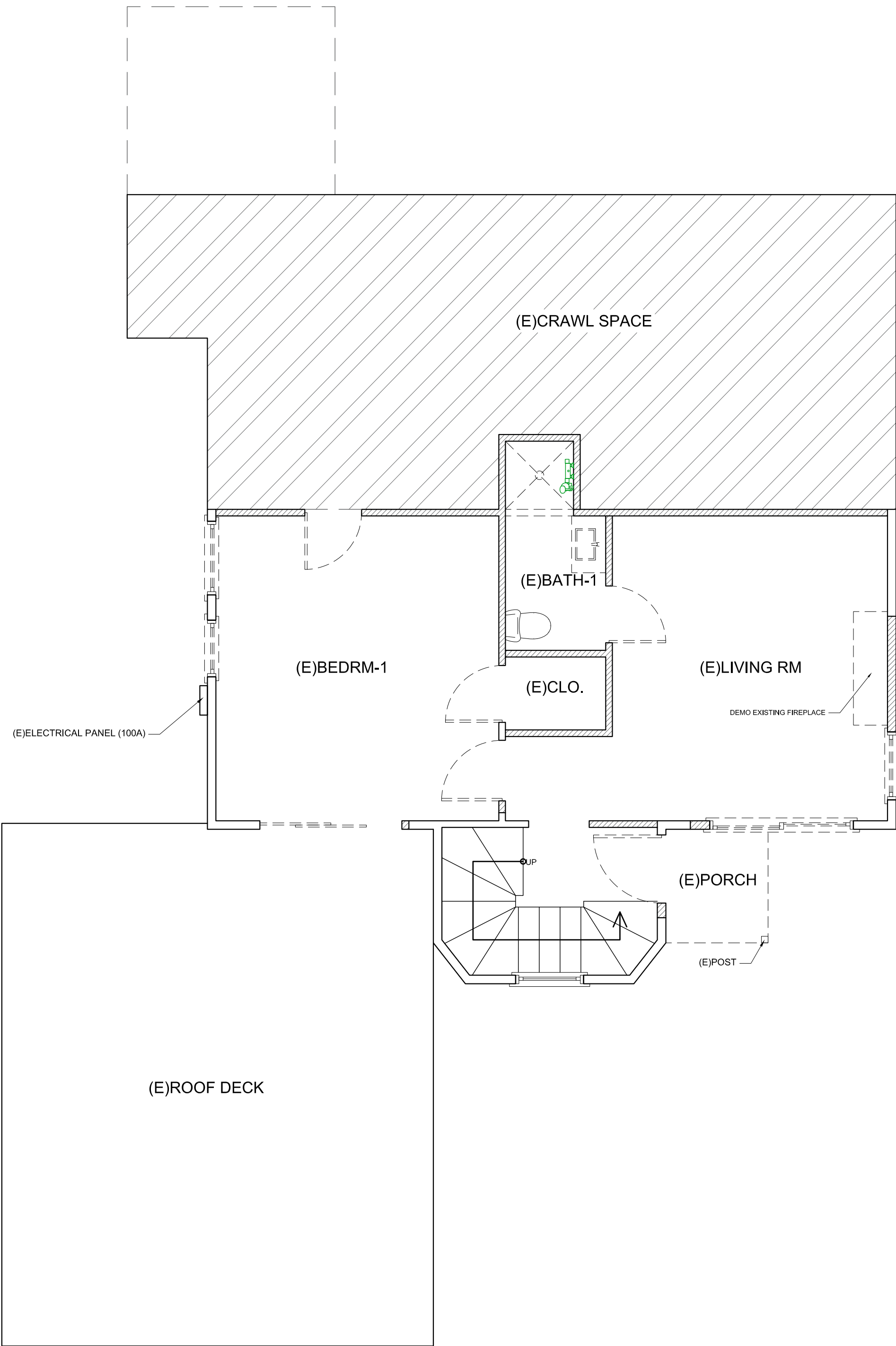
SHEET NUMBER:

A-1.2



EXISTING GARAGE LEVEL PLAN
SCALE 1/4" = 1'-0"

1



EXISTING LOWER LEVEL PLAN
SCALE 1/4" = 1'-0"

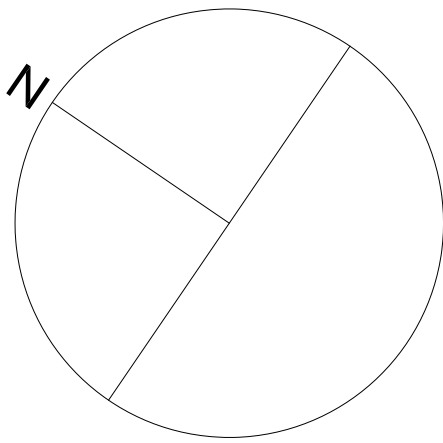
2

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
[Solid Line]	EXISTING WALL
[Hatched]	WALL TO BE DEMOLISHED
[Thick Solid Line]	NEW 2X4 WALL
[Cross-hatched]	1HR FIRE RATED 2X4 WALL
[Dashed Line]	WINDOW/DOOR TO BE DEMOLISHED
(E)	EXISTING
(R)	REPLACE
(N)	NEW
CH	CEILING HEIGHT
EMP	ELECTRICAL MAIN PANEL
ESP	ELECTRICAL SUB PANEL
WM	WATER METER
GM	GAS METER



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Kensington, CA 94708



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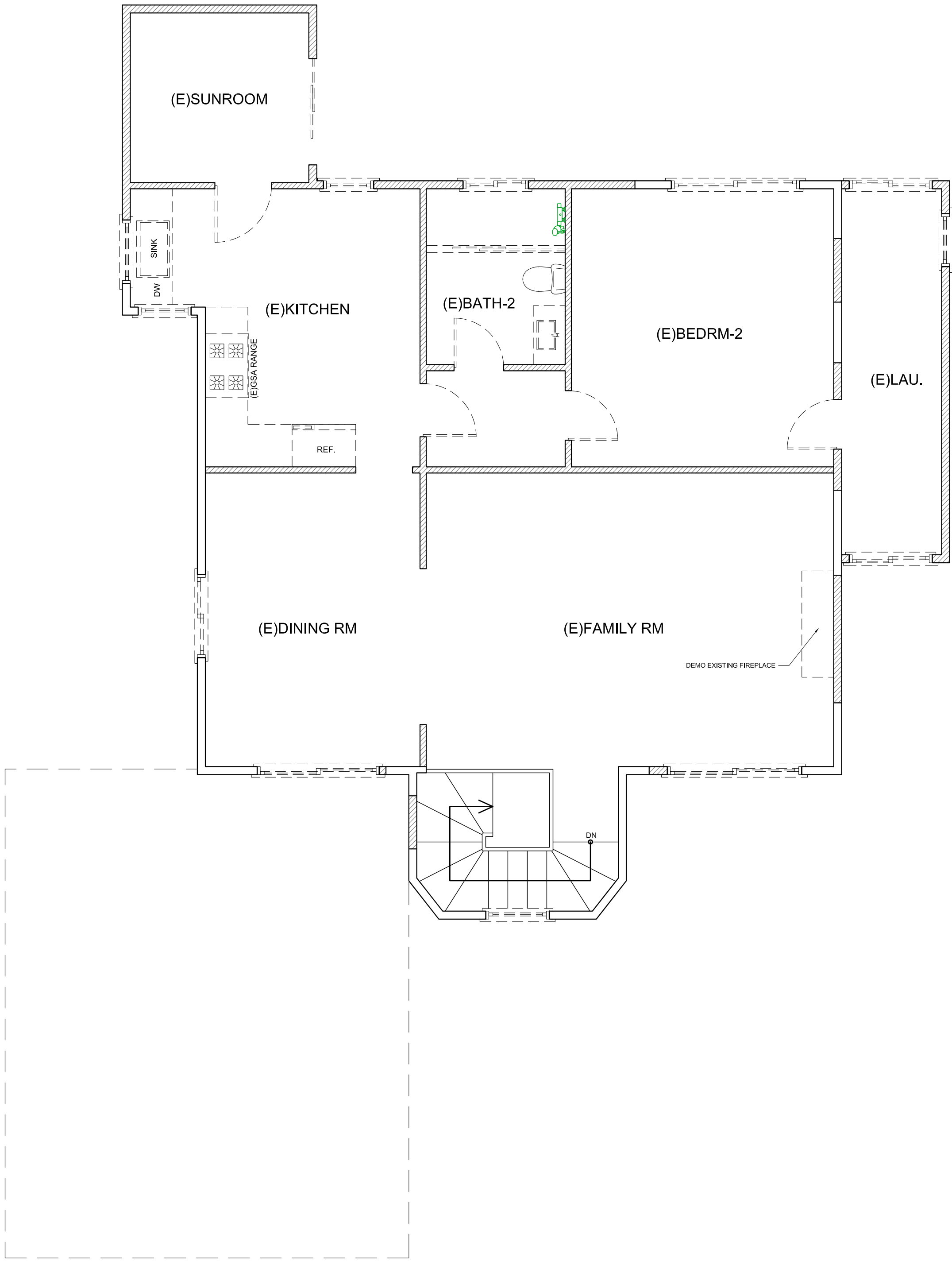
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SHEET TITLE:
EXISTING/DEMO
FLOOR PLAN

SHEET NUMBER:

A-2.1



EXISTING UPPER LEVEL PLAN

SCALE 1/4" = 1'-0"

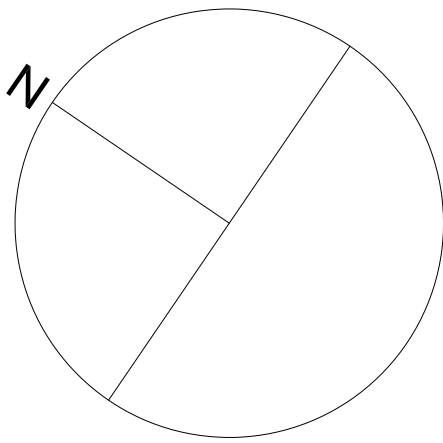
1

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW 2X4 WALL
	1HR FIRE RATED 2X4 WALL
	WINDOW/DOOR TO BE DEMOLISHED
(E)	EXISTING
(R)	REPLACE
(N)	NEW
CH	CEILING HEIGHT
EMP	ELECTRICAL MAIN PANEL
ESP	ELECTRICAL SUB PANEL
WM	WATER METER
GM	GAS METER



215 Yale Ave,
Kensington, CA 94708



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PLAN PREPARED BY

Erik Zang

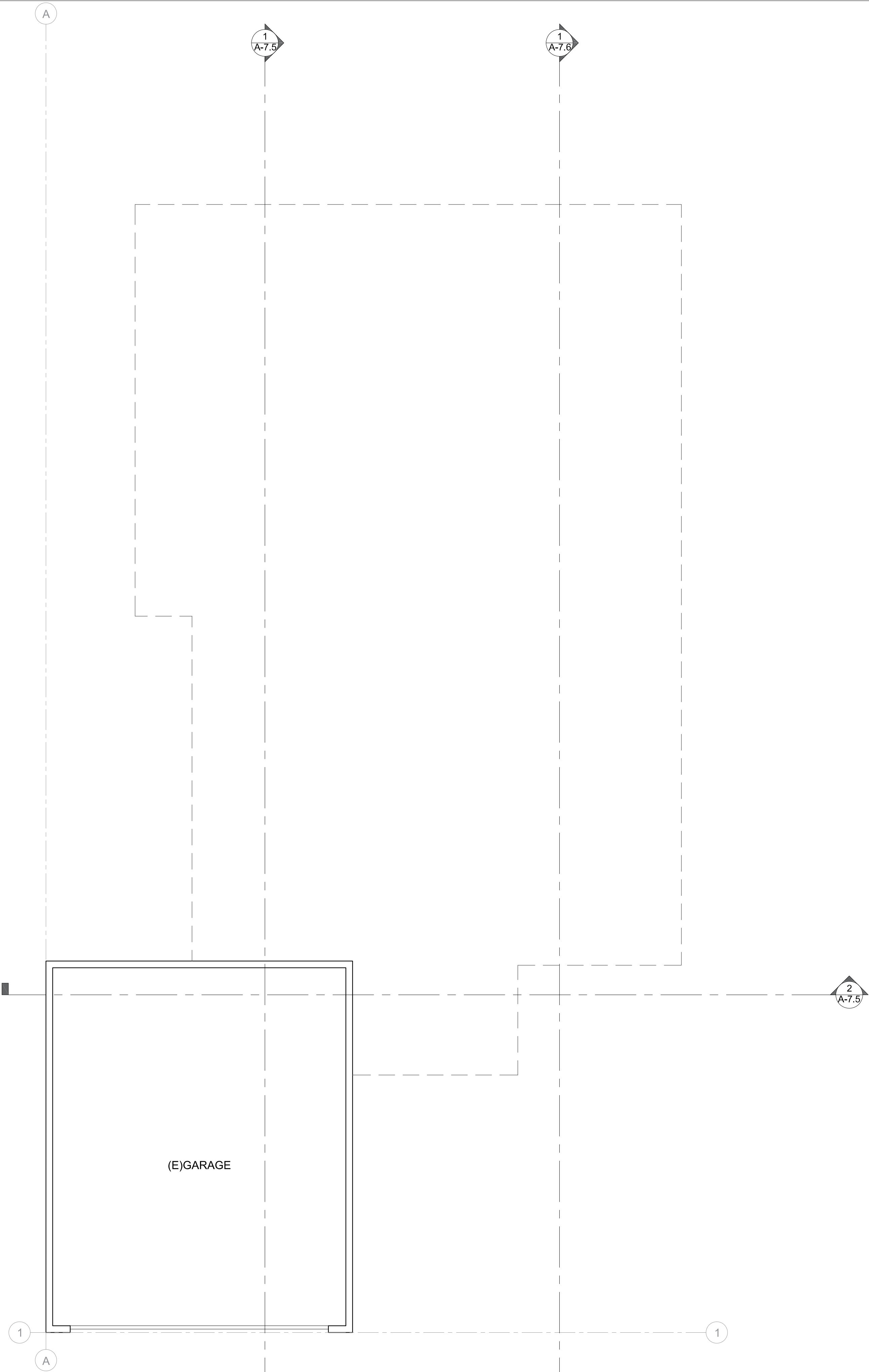
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SHEET TITLE:
EXISTING/DEMO
FLOOR PLAN

SHEET NUMBER:

A-2.2



PROPOSED GARAGE LEVEL PLAN
SCALE 1/4" = 1'-0"

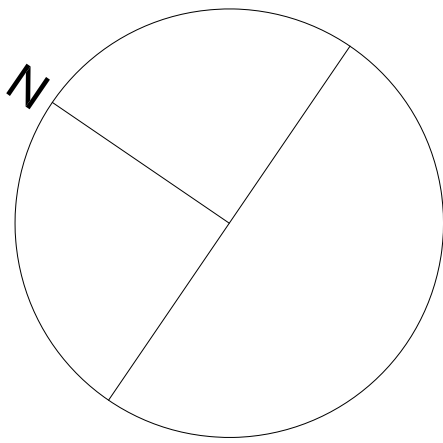
CONSTRUCTION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW 2X4 WALL
	1HR FIRE RATED 2X4 WALL
	WINDOW/DOOR TO BE DEMOLISHED
(E)	EXISTING
(R)	REPLACE
(N)	NEW
CH	CEILING HEIGHT
EMP	ELECTRICAL MAIN PANEL
ESP	ELECTRICAL SUB PANEL
WM	WATER METER
GM	GAS METER

KEY NOTES:

- DRYER.
(1)PROVIDE 4" DIA. SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE W/ BACK DRAFT DAMPER (36"MIN. AWAY FROM OPENING)
(2)MAX. VENT DUCT LENGTH OF 14'.
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215 Yale Ave,
Kensington, CA 94708



AP NUMBER 570041004

DATE 03/01/2026

PLAN CHECK

BID DATE

FINAL PERMIT

REVISIONS

PLAN PREPARED BY

Erik Zamy

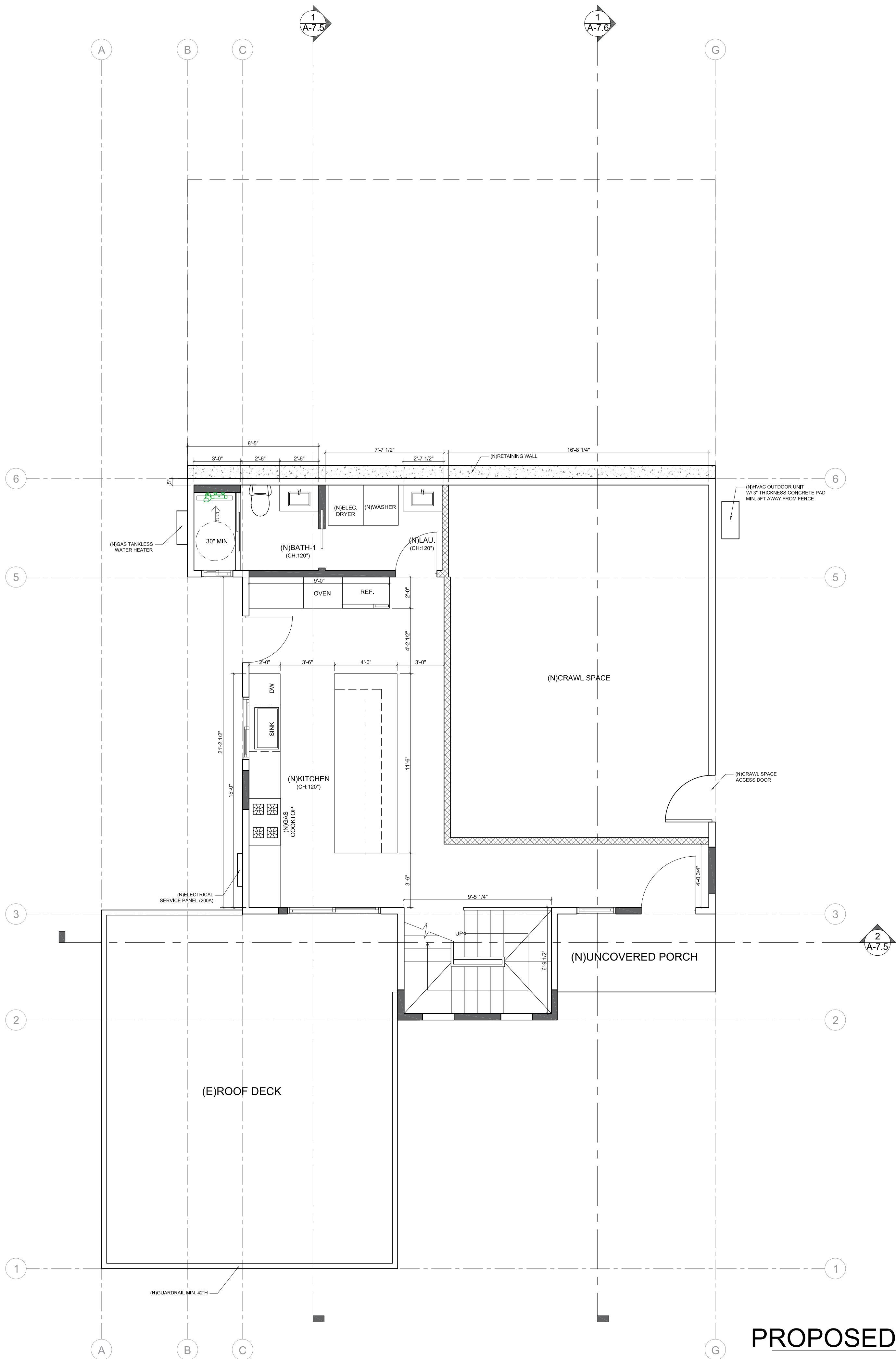
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SHEET TITLE:
PROPOSED
GARAGE LEVEL
FLOOR PLAN

SHEET NUMBER:

A-3.1



PROPOSED LOWER LEVEL PLAN
SCALE 1/4" = 1'-0" 2

CONSTRUCTION LEGEND

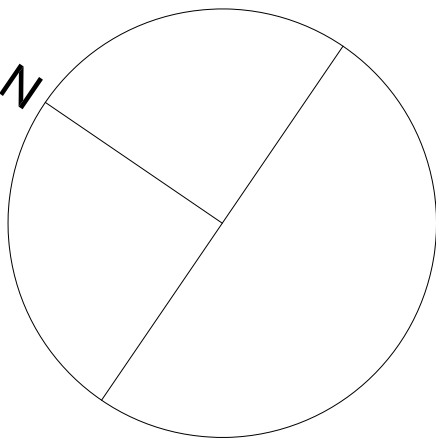
SYMBOL	DESCRIPTION
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW 2X4 WALL
	1HR FIRE RATED 2X4 WALL
	WINDOW/DOOR TO BE DEMOLISHED
(E)	EXISTING
(R)	REPLACE
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WM	WATER METER
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SHEET TITLE:

PROPOSED
LOWER LEVEL
FLOOR PLAN

SHEET NUMBER:

A-3.2



PROPOSED UPPER LEVEL PLAN
SCALE 1/4" = 1'-0"

CONSTRUCTION LEGEND

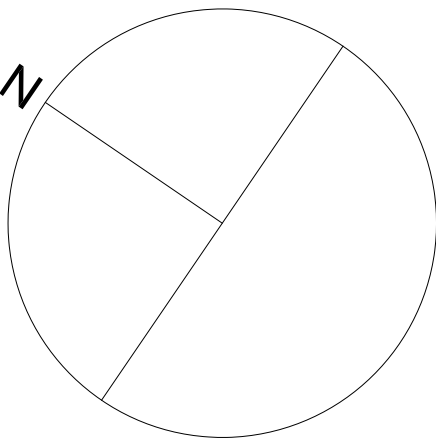
SYMBOL	DESCRIPTION
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	NEW 2X4 WALL
	1HR FIRE RATED 2X4 WALL
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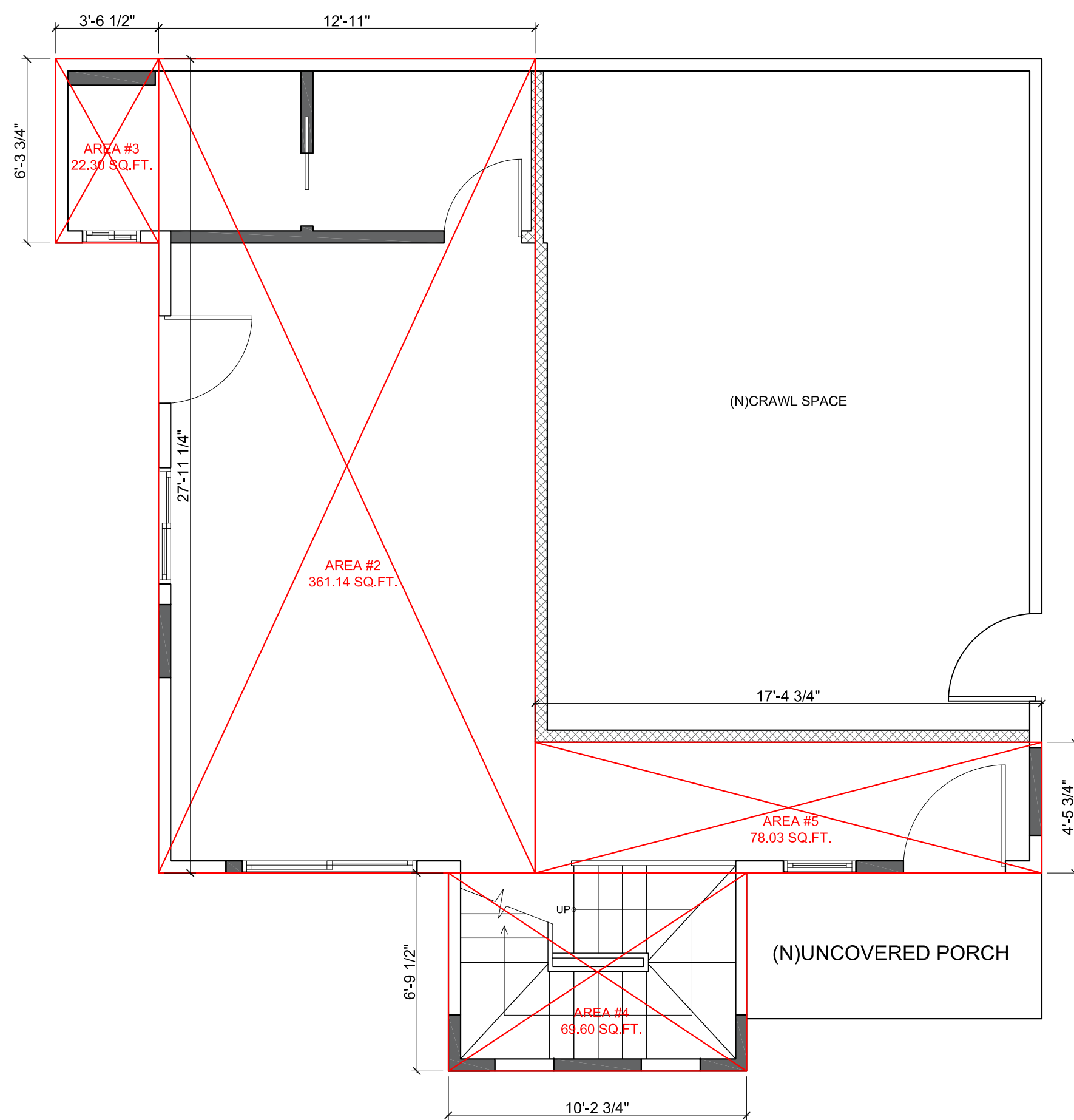
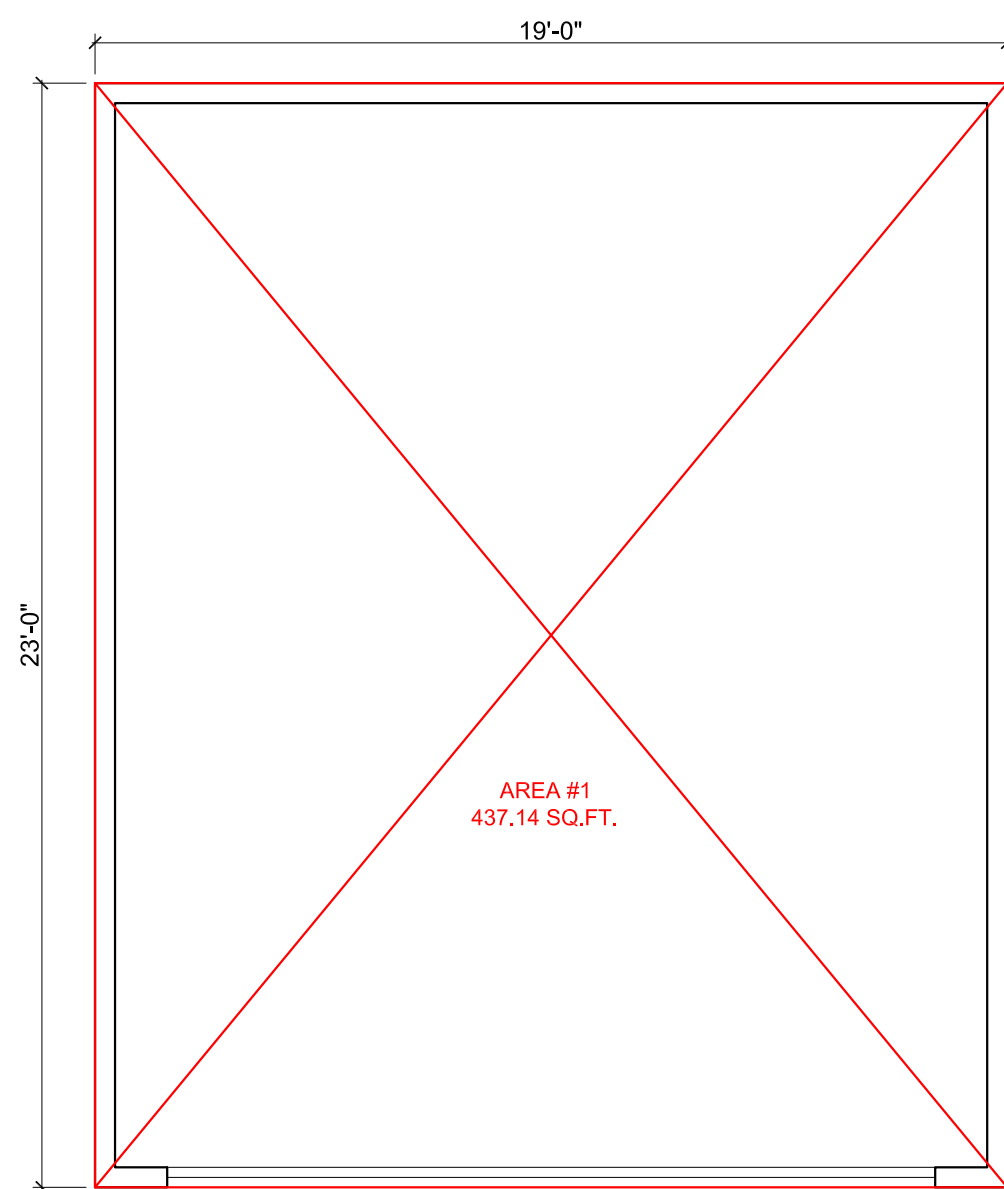
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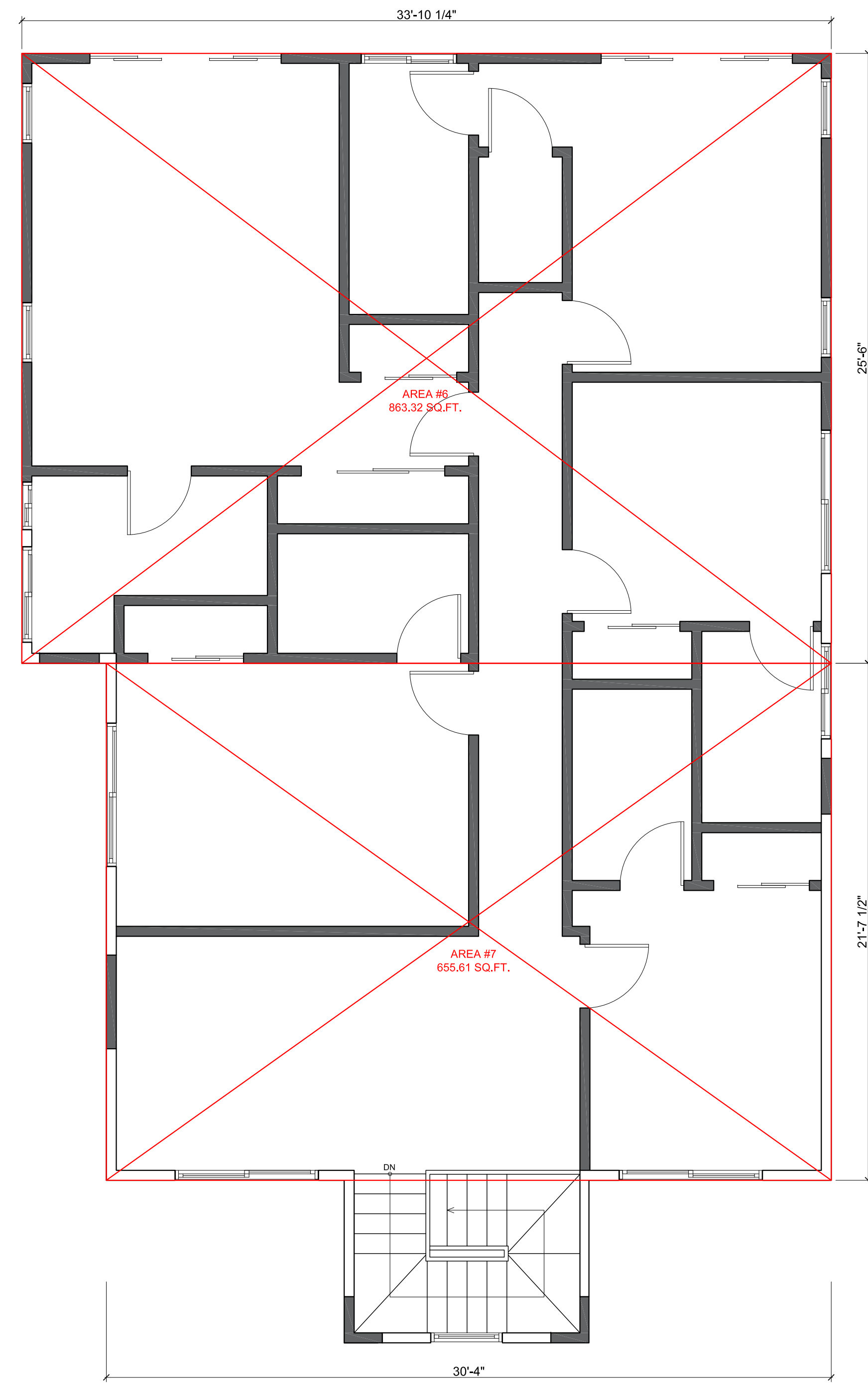
PROPOSED
UPPER LEVEL
FLOOR PLAN

SHEET NUMBER:

A-3.3



PROPOSED	
AREA	SQ.FT.
LOT	5,000.00
GARAGE	
AREA #1	437.14
LIVING SPACE	
AREA #2	361.14
AREA #3	22.30
AREA #4	69.60
AREA #5	78.03
AREA #6	863.32
AREA #7	655.61
TOTAL LIVING SPACE	2,050.00
TOTAL	2,487.14
FAR	49.74%
LOT COVERAGE	40.46%

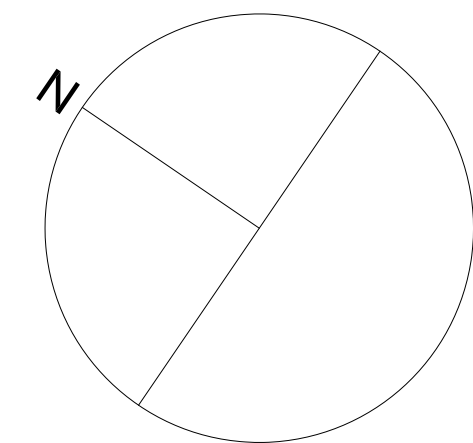


PROPOSED FLOOR AREA DIAGRAM
SCALE 1/4" = 1'-0"

1



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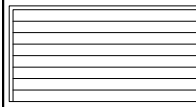
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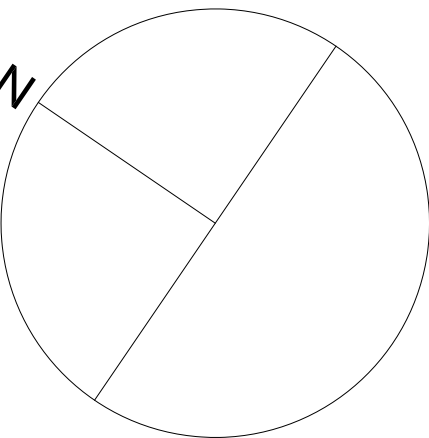
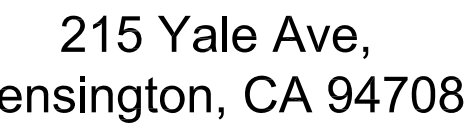
SHEET TITLE:
FLOOR AREA
DIAGRAM

SHEET NUMBER:

A-3.4



WINDOW/DOOR SCHEDULE							
#	FRONT VIEW	WIDTH x HEIGHT (ROUGH OPENING)	Ht A.F.F. (HEADER HEIGHT)	QTY	REMARKS	TEMPERED	NOTES
101		192" x 84"	84"	1	EXT. GARAGE DOOR		PROVIDE GARAGE DOOR MOTOR W/ BATTERY BACK-UP



AP NUMBER	570041004
DATE	03/01/2026
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BID DATE	
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PLAN PREPARED BY	

Erik Zany

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TO FIELD CONDITIONS.

SHEET TITLE:
WINDOW &
DOOR
SCHEDULE

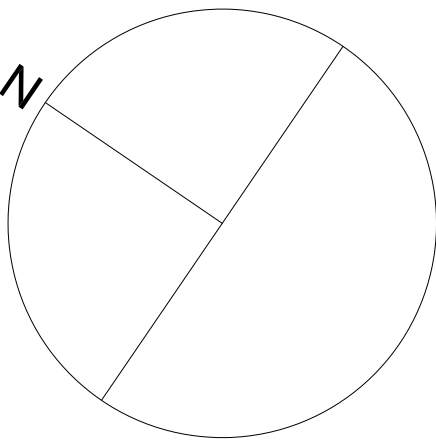
SHEET NUMBER:

A-4.1



ERIK BETINA
DESIGN

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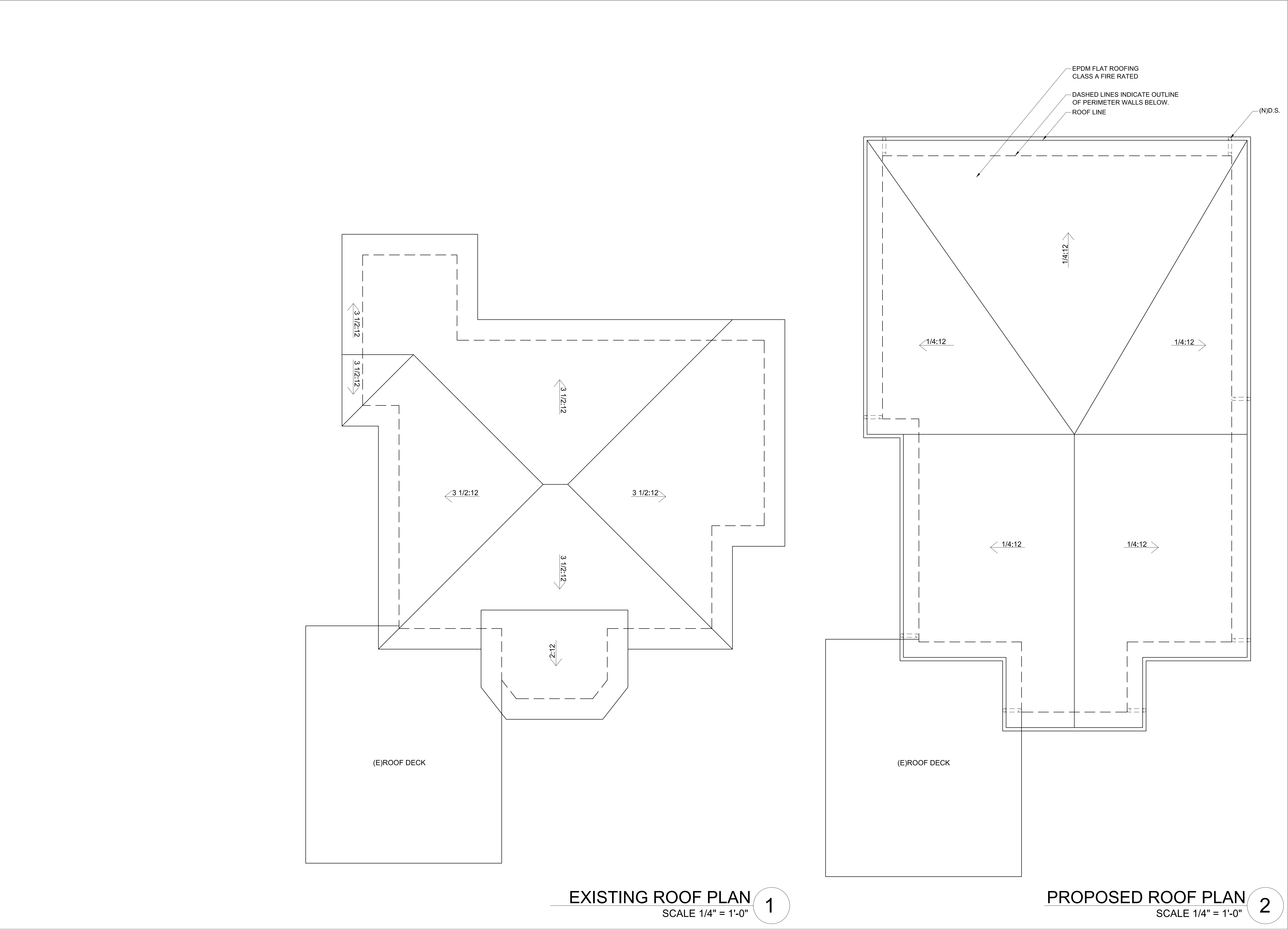
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SHEET TITLE:

WINDOW & DOOR SCHEDULE

SHEET NUMBER:

A-4.3



215 Yale Ave,
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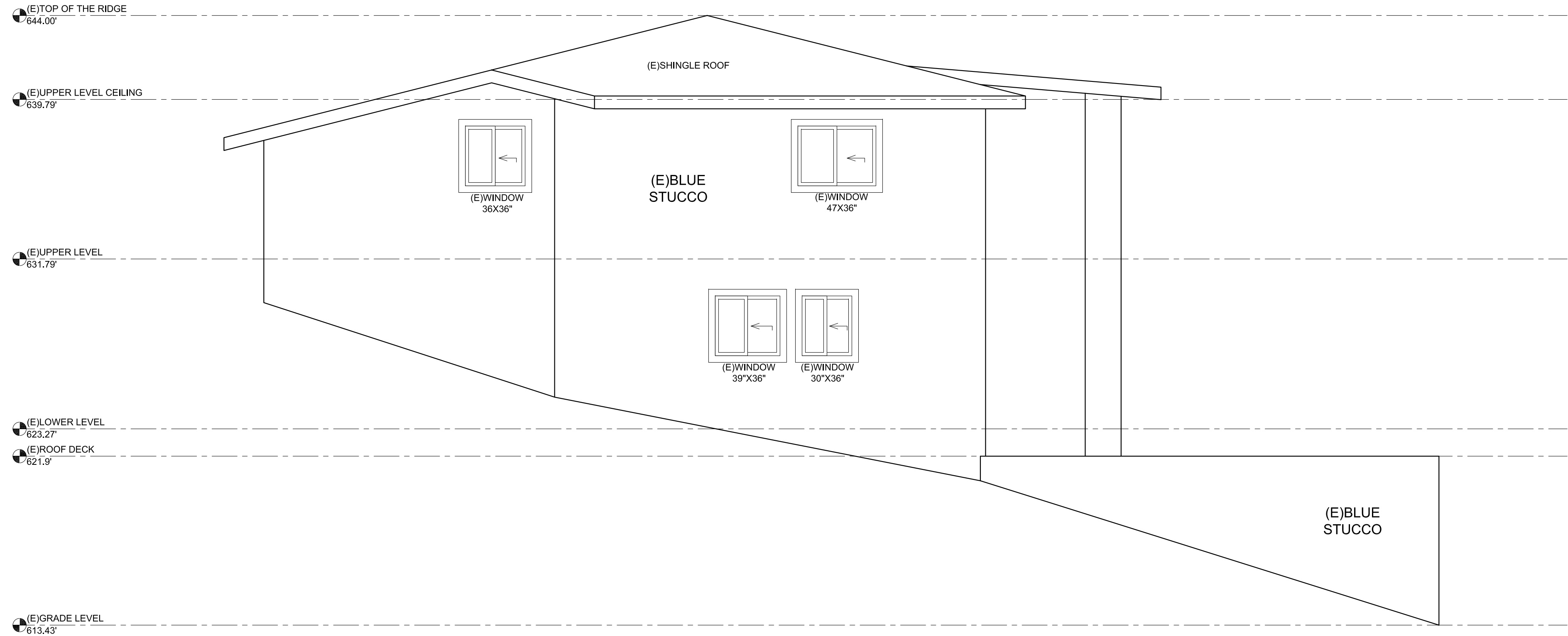
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SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

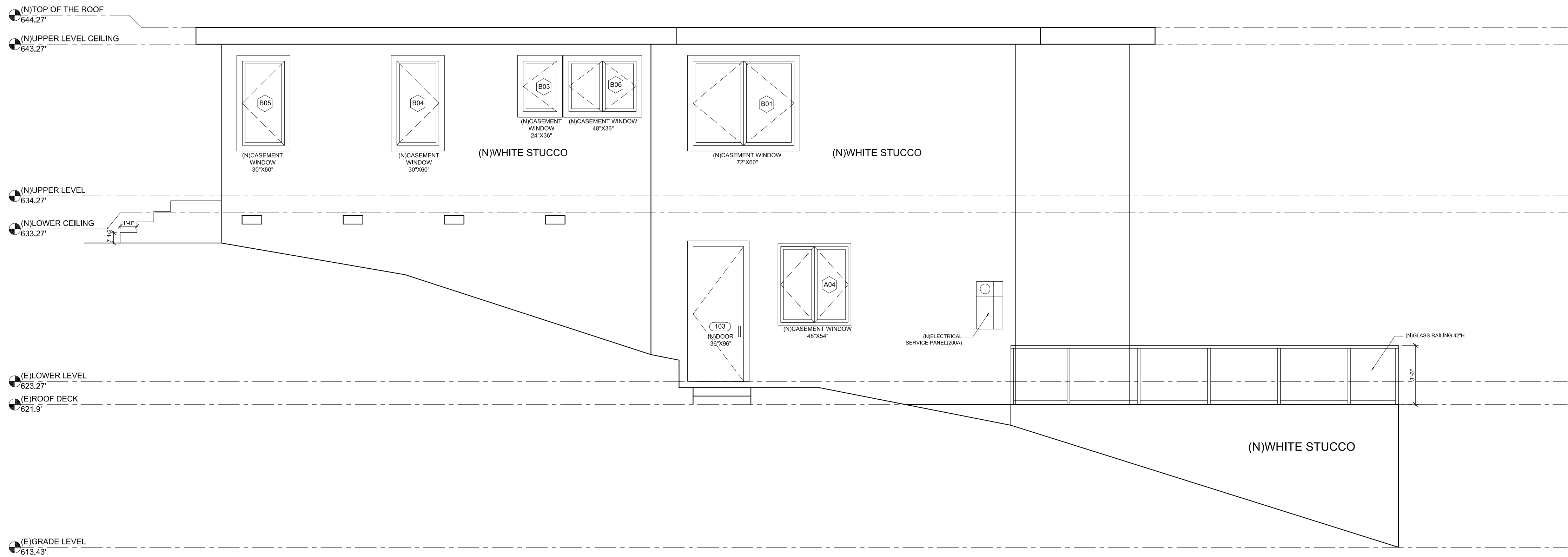
A-5.1



EXISTING LEFT ELEVATION

SCALE 1/4" = 1'-0"

1



PROPOSED LEFT ELEVATION

SCALE 1/4" = 1'-0"

2



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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-6.2



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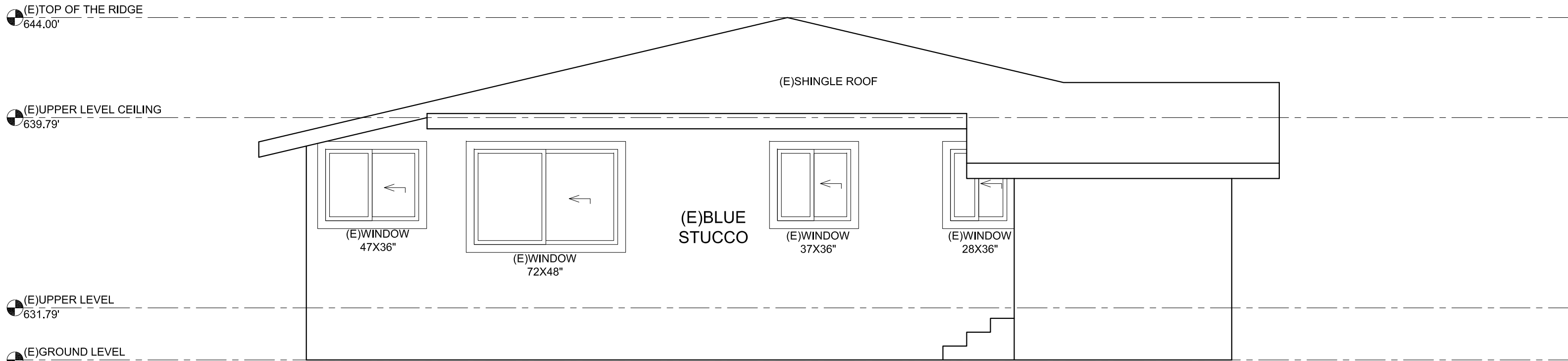
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SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

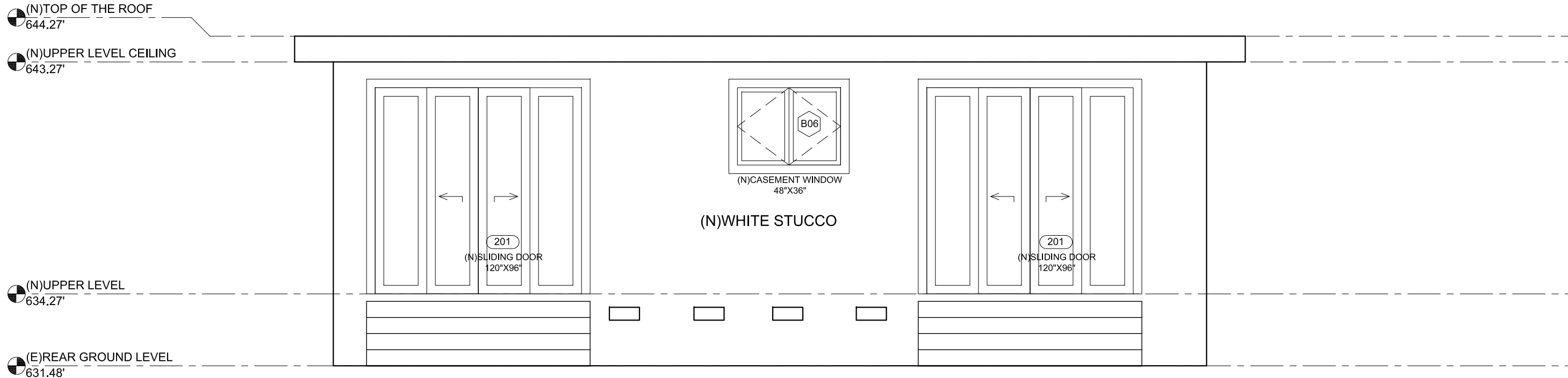
A-6.3



EXISTING REAR ELEVATION

SCALE 1/4" = 1'-0"

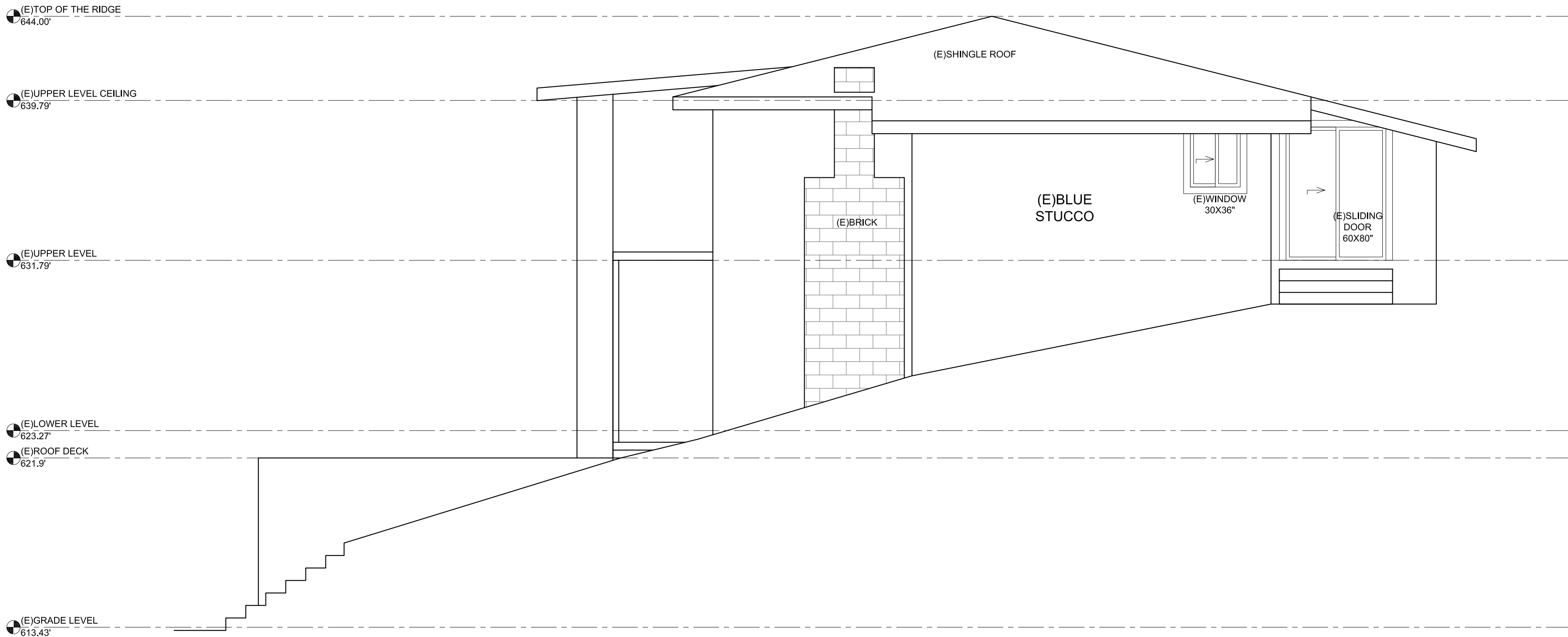
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PROPOSED REAR ELEVATION

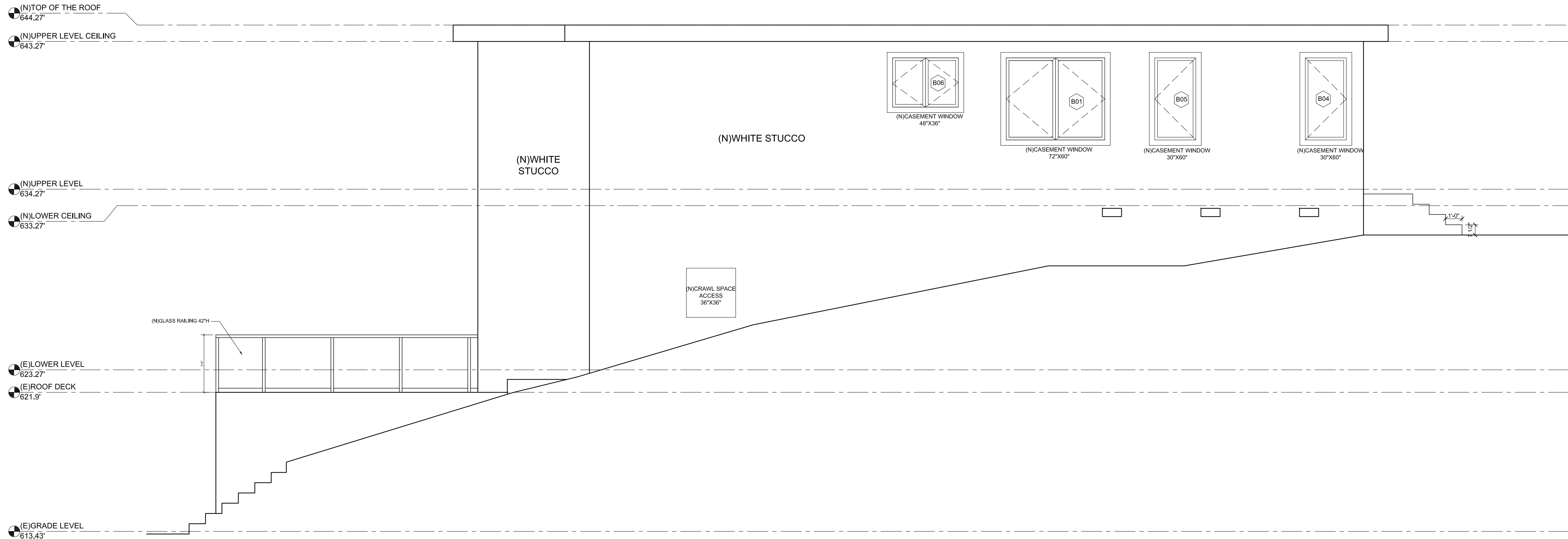
SCALE 1/4" = 1'-0"

2



EXISTING RIGHT ELEVATION
SCALE 1/4" = 1'-0"

1



PROPOSED RIGHT ELEVATION
SCALE 1/4" = 1'-0"

2



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SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

A-6.4



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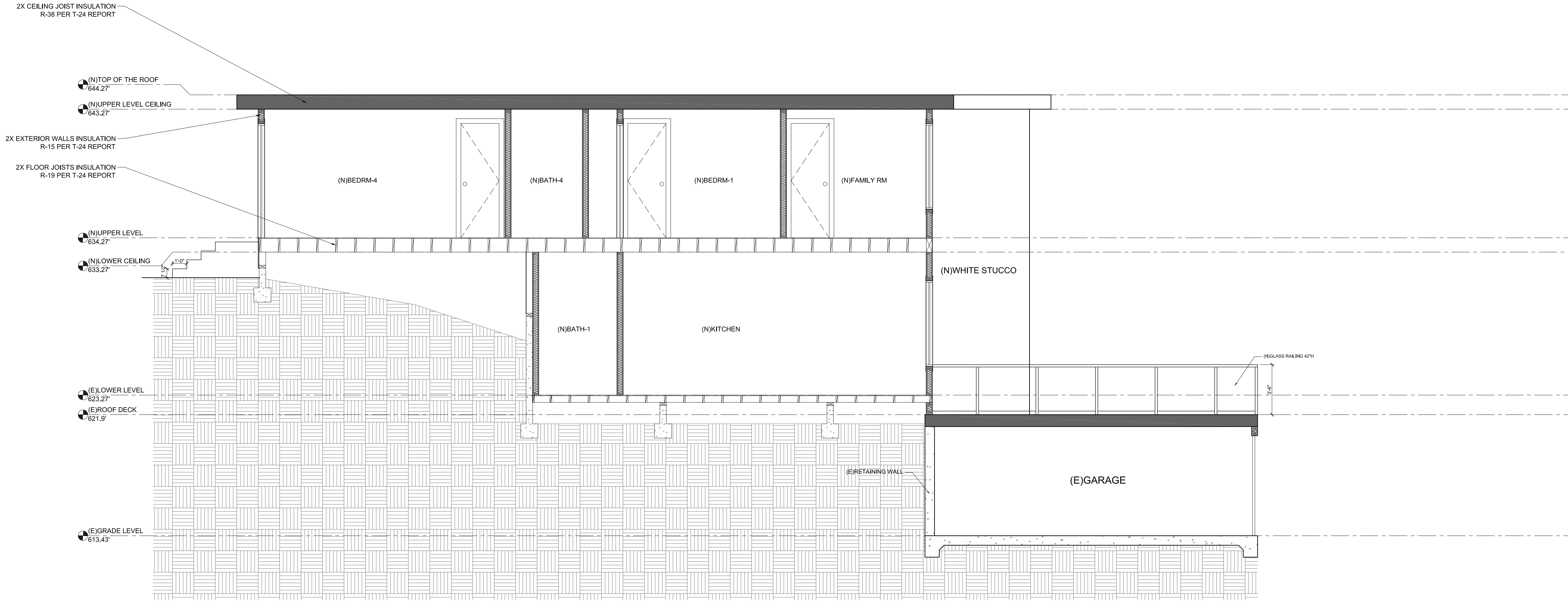
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SHEET TITLE:
SECTIONS

SHEET NUMBER:

A-6.5



PROPOSED SECTION-1
SCALE 1/4" = 1'-0" 1



PROPOSED SECTION-2
SCALE 1/4" = 1'-0" 2



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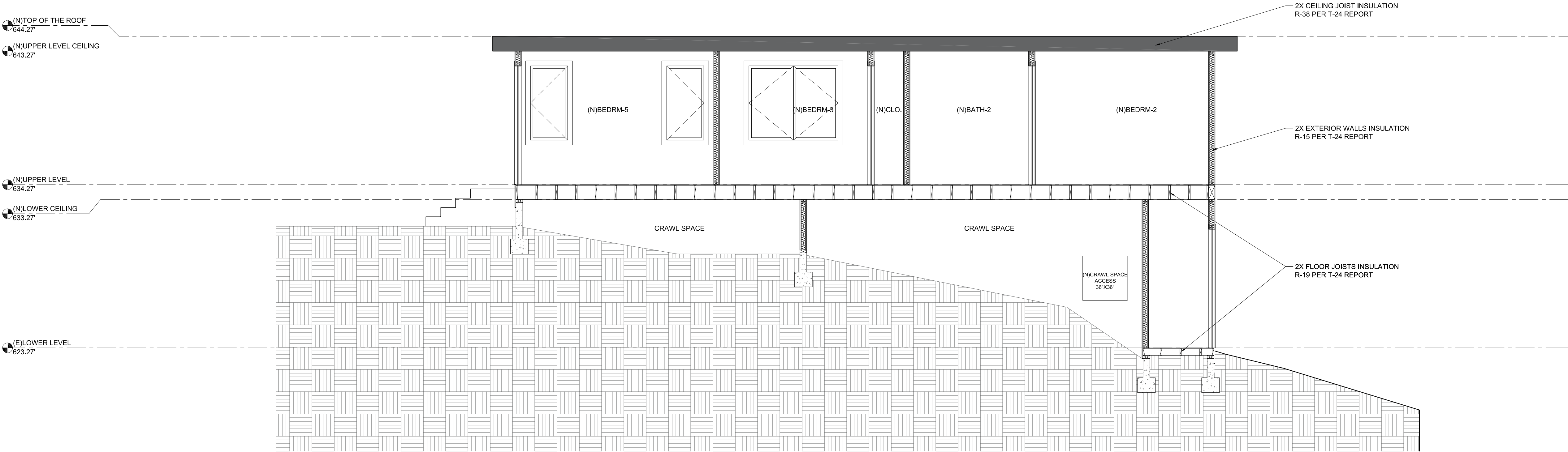
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SHEET TITLE:
SECTIONS

SHEET NUMBER:

A-6.6



PROPOSED SECTION-3
SCALE 1/4" = 1'-0"