

Contra Costa County  
Department of Conservation and Development  
30 Muir Road  
Martinez, California 94553

August 17, 2024

**Attention:** Jennifer Cruz, *Principal Planner*

Transmitted via: Email

**Re: 0 Bethel Island Road, Oakley Subdivision and Development Plan Application**

APN 032-112-007

County File No. CDS23-09669 and CDDP23-03040

Dear Jennifer:

On April 15, 2024, we submitted a formal planning application to the Contra Costa County Department of Conservation and Development for the proposed development on the referenced property that was consistent with the previous County accepted Preliminary Application under the SB330 regulations. As part of the formal planning submittal we included the standard Contra Costa County Application Submittal Checklist which identifies the County's application requirements for development projects. With respect to the requirements of the Checklist, our initial submittal was complete.

Even beyond application completeness, we understand that a development process of such kind must undergo significant review by various agencies and include subsequent collaborative design iterations with various professional consultants to reach final design and construction permits. This process expands into development designs, studies, and solutions that are well beyond what is actually identified on the County Checklist to deem a submittal complete. As stated, the initial planning submittal was complete based on the actual requirements on the County Checklist, however, this does not circumvent our commitment to address the relevant revisions, additions, and overall comments from the various County departments and agencies through the normal back and forth review process.

On May 17, 2024, we received a partial response from you and various other county departments with an additional final comment, from the said formal planning application, that was received on August 9<sup>th</sup> 2024, relating to the requirement for an additional transportation study. All the comments received are respectfully categorized as part of the aforementioned back and forth process of addressing revisions to, or additional items from, those items that are specifically identified on the County Planning Checklist.

We are very pleased to include here additional materials that address the comments identified by you on the May 17<sup>th</sup>, 2024, response. We look forward to working with you and the various departments in a concerted effort to move this project towards design and construction permits.

Best Regards,

A handwritten signature in blue ink that reads "Kevin Weiss". The signature is fluid and cursive, with the first name "Kevin" and last name "Weiss" clearly legible.

Kevin Weiss, P.E., P.L.S.  
CEO  
JMH Weiss Inc.

Encl.            Exhibit A Comment Response list  
                    Exhibit B Transportation Comment Matrix

Attachments: Development Plan Set  
                    Hydrology Report  
                    Traffic Report  
                    Arborist Report  
                    Diablo Water Will-Serve Notice

## **EXHIBIT A COMMENT RESPONSE**

Below are our responses to the comments received from you on May 17, 2024, with the development plans and additional studies attached.

### **Comments From Jennifer Cruz – DCD Planning**

1. See letter from Bryan Wenter (MSR)
2. Will-Serve Letter from Diablo Water is attached
3. As shown on the initial submittal these trees are affected by the improvements of Sandmound Blvd. The plans and Arborist Report are matching the respective tree numbers and location
4. The Area of the Parcel has been clarified. The Assessor's Parcel Map reflects an area of 77.41 Acres. This is the correct area of the property.
5. The setback information on the coversheet has been clarified
6. The public park has been eliminated and now identified as passive open space. No parking will be required.
7. The dimensions have been clarified on Sheet C3.4
8. Confirmed that the dashed lines are a common utility easement
9. The Elevation C has a steeper roof pitch than the others to add variety to the community
10. The monument sign locations have been clarified. See sheets L2.0, L2.2, L2.3. There are two monuments' signs each at the entries at Sandmound Blvd, one monument sign at the Duplex area, and one monument sign at the northwesterly single-family detached homes area.
11. The Public Park Area has been revised to a Private Open Space Area. The perimeter trail will be owned and maintained by the community HOA that will be established during the construction drawing phase.
12. See below for the responses to the additional agency comments. Noted that this was not a complete set of comments.

### **Comments From Gabriel Lemus/Susan Johnson/Melanie Erickson – DCD Planning**

General Response: The State regulates the qualifications for SB330 and the specific affordable housing criteria. The Project is providing an overall 23 % affordable units being the 62 duplexes. All the units will be at the "lower-income" household AMI as defined under the SB330 Builders Remedy criteria.

See response by Bryan Wenter of MSR

### **Comments From Robert Sarmiento – Transportation Planning Section**

General Response: See separate report from TJKM Transportation Consultants to address comments as well as the attached Exhibit B Transportation Matrix.

### **Comments From Mike Avina – Delta Protection Commission**

General Response: The property is not viable farming land due to its size and disconnection from an integrated adjacent farming activity. The entire region is being developed for residential purposes.

**Comments From Darwin Myers Association – Peer Review Geotechnical**

DMA has accepted the Geotechnical Report provided by ENGEO

**Comments From Bryan Much – CA Historical Resources Information System**

The project Archaeologist team will address the recommendations going forward.

**Comments From Larry Gossett – Public Works**

1. The queuing statements have been clarified in the report
2. N/A
3. Confirmed
4. The Public Parking Area has been removed. The area has been re-designated as Private Open Space

**Stormwater Management and Discharge Control:** The Stormwater clarification report has been included in this submittal

**Floodplain Management:** The estimate of cut/fill is shown on sheet C4.0

**Comments From Mike Alvarez – Reclamation District 799**

General Comment: See Hydrological Report by Balance Hydrologics to address Reclamation District comments.

**EXHIBIT B  
TRAFFIC RESPONSES**

**Bethel Estuary Estates (DP23-03040) Traffic Impact Study (TIS)**

#	Comments	Responses
1	The TIS should include a discussion of the 2017 East County Action Plan <sup>1</sup> , including Routes of Regional Significance, Multimodal Transportation Service Objectives (MTSOs), and goals, policies, and actions for East Contra Costa County that may impact the project. The TIS should demonstrate in more detail how the project is consistent with the aforementioned components of the East County Action Plan.	
2	Additional Tri Delta Transit routes run between the Oakley Park-and-Ride and the Antioch BART Station. <sup>2</sup> Section 3.4 – Existing Transit Facilities, including Table 3, should be updated to include these additional Tri Delta Transit routes.	Revised TIS report edited to reflect comments 1-4
3	Section 3.4 – Existing Transit Facilities should include a discussion on existing BART service, including the closest station to the project, the BART line(s) that serve the station and its origin/destination, the hours of operation, and the BART line(s) headways throughout the day.	
4	Please have TJKM staff fix/revise the following language at the end of the first paragraph in Section 3.4– “BART/Pittsburg/Antioch/Oakley/Brentwood” –as the language is unclear.	
5	Due to the type, location, and characteristics of the project, the VMT mitigations proposed on page 30 of the TIS will have limited effectiveness on reducing the project’s VMT impact and are insufficient. <sup>3</sup> CEQA compels the consideration of all feasible mitigation measures, TPS staff advises that the applicant fund a study (to be overseen by Tri Delta Transit and other stakeholders) to analyze transit, microtransit, and any other mobility options to serve the development <sup>4</sup> . In the event the study results in a recommendation with VMT mitigation potential, the applicant will establish an ongoing funding mechanism to support the service.	
6	In Section 4.1 – Vehicle Miles Traveled, please have the transportation consultant move up Table 8 to incorporate it into the discussion on the Base Year VMT and Base Year Plus Project VMT and as a complement to Table 6. It’s currently out of place at the end of the section.	Revised TIS report edited to reflect comment 6
7	The trip generation figures identified for the project use a mix of the “average rate” and “fitted curve” for the land use types, based on the ITE Trip Generation Manual, 11th Edition. For consistency, please have the transportation consultant revise the TIS to use only the average rate provided in the Trip Generation Manual when identifying the project’s trip generation.	TJKM had a discussion with County Engineer and agreed to use the fitted curve equation with an explanation in TIS document
8	For Figure 6, please have the transportation consultant confirm if no project traffic will turn from westbound E. Cypress Road to southbound Sellers Avenue (Intersection 4).	We don't currently have any traffic making this turn.
9	For Figures 6 and 7, please have the transportation consultant provide clarification on the Uturn turning movement shown in both Intersections 7 and 9.	These U-turn movements are typos. Revised.
10	The transportation consultant should fix the narrative at the end of Section 4.5 – Intersection Queuing Analysis. It currently states twice: “Error! Reference source not found.”	Should reference the appendix. Revised.
11	Please have the transportation consultant confirm if Background/Background with Project Conditions considers future development and transportation projects in Unincorporated County and the City of Brentwood.	Yes, considers all identified Brentwood, unincorporated, and Oakley projects in the area
12	The TIS mentions both Laurel Road and Laurel Avenue. Please have the transportation consultant confirm the correct name of the roadway and revise the roadway name in the TIS as appropriate.	Edited in the document
13	To accurately identify and evaluate the traffic operational impacts from the project, the Cumulative/Cumulative Plus Project Conditions must account for the land uses identified in the East Cypress Corridor Specific Plan. Please have the transportation consultant work with Contra Costa Transportation Authority (CCTA) staff to ensure that the East Cypress Corridor Specific Plan is incorporated into the CCTA Travel Demand Model.	TJKM did coded the East Cypress Corridor Specific Plan in CCTA Travel Demand Model. We have revised the Cumulative Conditions scenario.
14	The project’s proposed bike parking should include secure bike parking facilities. The project should also include supportive bike amenities, for example, a bike repair station and a water fountain.	Comment realted to Applicant
15	The guest parking lot and public parking lot should include electric vehicle (EV) charging spaces.	Comment realted to planner
16	The future intersection of “Street C” (as indicated in Figure 14) and the future road extension should include traffic calming measures. Staff suggests that the proposed high-visibility crosswalk in the middle of the Street C segment be moved west to serve the future intersection and provide a more direct connection with the proposed path that will run from the public parking lot.	Revised the figure
17	TPS staff appreciates the inclusion of a preliminary TDM program (Section 9.3) in the TIS. TPS staff will continue to work with the applicant and TJKM staff to develop a TDM program that is consistent with the County’s TDM ordinance.	Okay
18	TPS advises that a transportation consultant be retained to provide a peer review of the applicant’s March 14, 2024 Bethel Estuary Estates Traffic Impact Study, produced by TJKM.	City responsibility
19	TPS staff recommends that the applicant include the segment of Wells Road north of the 90-degree bend to the property line when installing a sidewalk along the frontage of Wells Road.	Comment realted to Applicant



*Sent Via Email*

August 20, 2024

**BOARD OF DIRECTORS:**  
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Ms. Jennifer Cruz, Principal Planner  
Contra Costa County  
Department of Conservation and Development  
30 Muir Road  
Martinez, CA 94553

**Subject:** Bethel Estuary Estates, Oakley – APN 032-112-007  
Potable Water Availability

Dear Ms. Cruz,

The subject parcel is within Diablo Water District's Sphere of Influence but is currently not part of our service area or Contra Costa Water District's. We are working with the owner of the parcel to start the annexation/inclusion process with LAFCo (Local Agency Formation Commission) and USBR (United States Bureau of Reclamation).

Once the annexation/inclusion process has been completed, we will be able to prepare a will serve letter for this project.

If you have any questions, please feel free to contact me at 925-848-1224 or [cbelleci@diablowater.org](mailto:cbelleci@diablowater.org).

Sincerely,

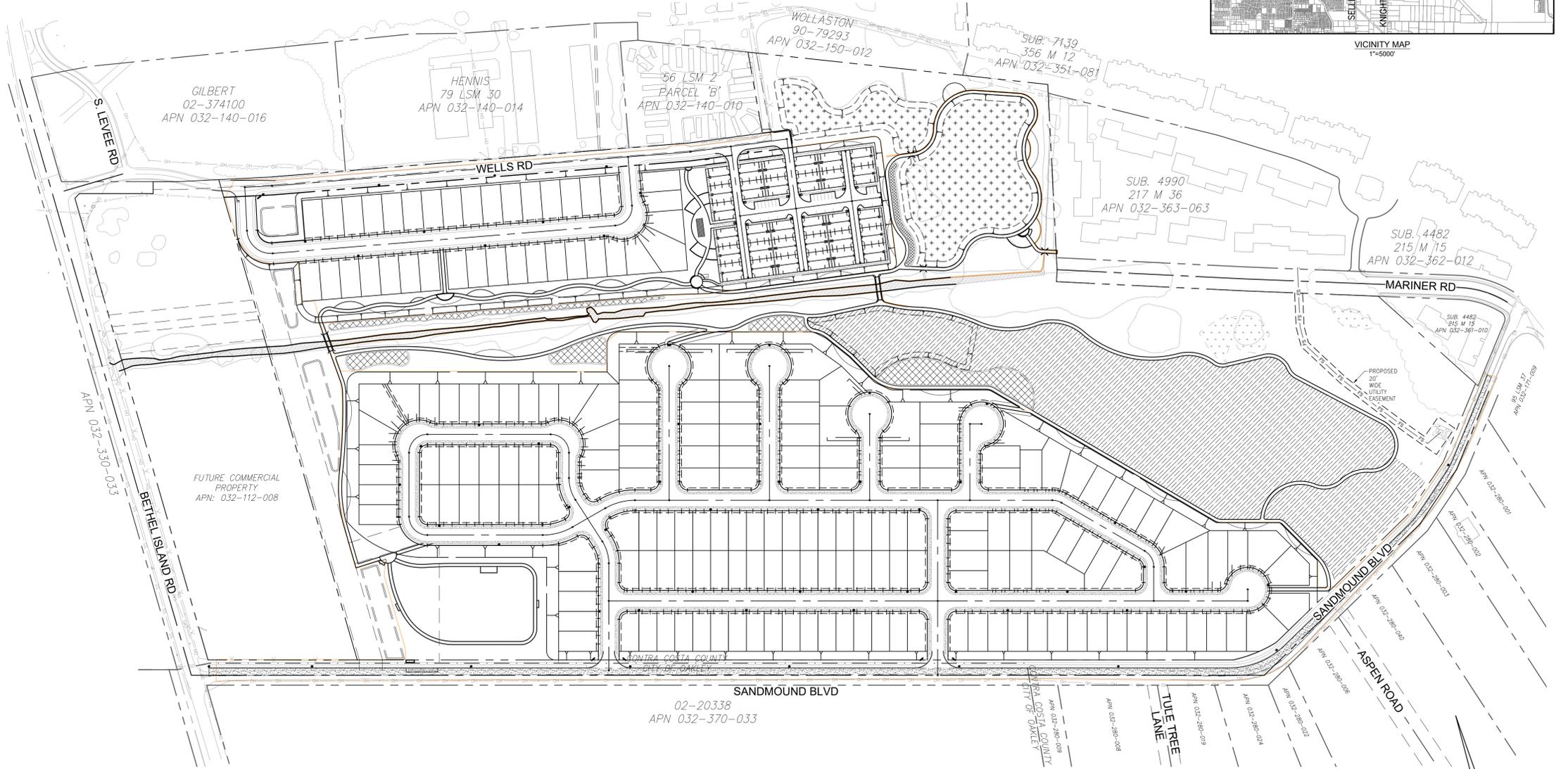
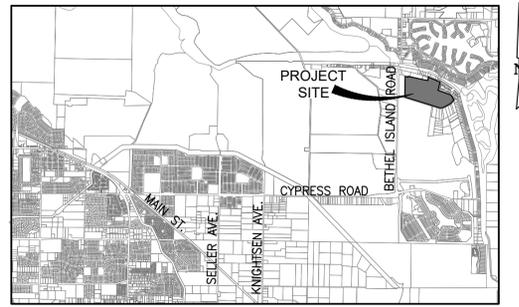
Christine Belleci  
Forward Planning Manager

PAGE	SHEET	DESCRIPTION
1	C1.0	COVER
2	C1.1	NOTES
3	C2.0	EXISTING CONDITIONS
4	C3.0	OVERALL HORIZONTAL CONTROL PLAN
5	C3.1	SOUTHWEST DETACHED HORIZONTAL CONTROL PLAN
6	C3.2	SOUTHEAST DETACHED HORIZONTAL CONTROL PLAN
7	C3.3	NORTHWEST DETACHED HORIZONTAL CONTROL PLAN
8	C3.4	DUPLEX HORIZONTAL CONTROL PLAN
9	C4.0	OVERALL GRADING PLAN
10	C4.1	SOUTHWEST DETACHED GRADING PLAN
11	C4.2	SOUTHEAST DETACHED GRADING PLAN
12	C4.3	NORTHWEST DETACHED GRADING PLAN
13	C4.4	DUPLEX GRADING PLAN
14	C5.0	OVERALL UTILITY PLAN
15	C5.1	SOUTHWEST DETACHED UTILITY PLAN
16	C5.2	SOUTHEAST DETACHED UTILITY PLAN
17	C5.3	NORTHWEST DETACHED UTILITY PLAN
18	C5.4	DUPLEX UTILITY PLAN
19	C6.0	CROSS SECTIONS
20	C7.0	OVERALL STORM WATER CONTROL PLAN
21	C8.0	TRAFFIC CIRCULATION PLAN
22	A01	PLAN 1 FLOOR PLAN
23	A02	PLAN 1 FRONT ELEVATIONS
24	A03	PLAN 1 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS
25	A04	PLAN 1 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS
26	A05	PLAN 1 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS
27	A06	PLAN 1 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS
28	A07	PLAN 1 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS
29	A08	PLAN 1 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS
30	A09	PLAN 1 ROOF PLANS
31	A10	PLAN 2 FLOOR PLANS
32	A11	PLAN 2 FRONT ELEVATIONS
33	A12	PLAN 2 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS
34	A13	PLAN 2 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS
35	A14	PLAN 2 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS
36	A15	PLAN 2 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS
37	A16	PLAN 2 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS
38	A17	PLAN 2 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS
39	A18	PLAN 2 ROOF PLANS
40	A19	PLAN 3 FLOOR PLANS
41	A20	PLAN 3 FRONT ELEVATIONS
42	A21	PLAN 3 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS
43	A22	PLAN 3 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS
44	A23	PLAN 3 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS
45	A24	PLAN 3 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS
46	A25	PLAN 3 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS
47	A26	PLAN 3 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS
48	A27	PLAN 3 ROOF PLANS
49	A28	PLAN 4 FLOOR PLANS
50	A29	PLAN 4 FRONT ELEVATIONS
51	A30	PLAN 4 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS
52	A31	PLAN 4 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS
53	A32	PLAN 4 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS
54	A33	PLAN 4 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS
55	A34	PLAN 4 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS
56	A35	PLAN 4 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS
57	A36	PLAN 4 ROOF PLANS
58	A37	UNIT FLOOR PLANS
59	A38	DUET FLOOR PLANS
60	A39	DUET FRONT ELEVATIONS
61	A40	DUET ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS
62	A41	DUET ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS
63	A42	DUET ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS
64	A43	DUET ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS
65	A44	DUET ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS
66	A45	DUET ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS
67	A46	DUET ROOF PLANS
68	A47	PLANS 1, 2, & 3 SECTIONS
69	A48	PLAN 4 & DUET SECTIONS
70	A49	COLOR SCHEMES
71	L1.0	TREE DISPOSITION PLAN
72	L1.1	TREE DISPOSITION PLAN
73	L1.2	TREE DISPOSITION PLAN
74	L1.3	TREE DISPOSITION PLAN
75	L2.0	OVERALL LANDSCAPE PLAN
76	L2.1	LANDSCAPE PLAN ENLARGEMENTS

77	L2.2	LANDSCAPE PLAN ENLARGEMENTS
78	L2.3	LANDSCAPE ELEVATIONS
79	L2.4	LANDSCAPE ELEVATIONS
80	L2.5	LANDSCAPE PLANTING LIST
81	L3.0	SCHEMATIC IRRIGATION PLAN
82	L3.1	SCHEMATIC IRRIGATION PLAN
83	L3.2	SCHEMATIC IRRIGATION PLAN
84	L3.3	SCHEMATIC IRRIGATION PLAN
85	L3.4	SCHEMATIC IRRIGATION PLAN
86	L4.0	LANDSCAPE MATERIALS
87	L5.0	PLANT IMAGERY
88	L5.1	PLANT IMAGERY

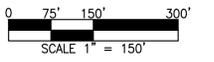
PRELIMINARY PLANS  
FOR  
**BETHEL ESTUARY ESTATES** REVISED PLANS  
CONTRA COSTA COUNTY, CALIFORNIA  
APN: 032-112-007

RECEIVED on 08/22/2024 CDS24-0969  
By Contra Costa County  
Department of Conservation and Development



**GENERAL NOTES:**

<b>OWNER:</b>	DUONG ESTUARY COVE, LLC 1211 EMBARCADERO #300 OAKLAND, CALIFORNIA 94606	<b>PROPOSED USE:</b>	RESIDENTIAL & OPEN SPACE RECREATIONAL	<b>BASIS OF BEARING:</b>	CALIFORNIA COORDINATE SYSTEM ZONE III (NAD 83)
<b>DEVELOPER:</b>	SANDMOUND HOLDINGS, LLC 9201 MADRONE RANCH TRAIL AUSTIN, TEXAS 78738	<b>NUMBER OF RESIDENTIAL LOTS:</b>	271 SINGLE FAMILY DETACHED: 209 LOTS, (1-209) SINGLE FAMILY DUPLEX: 62 LOTS, (210-271) BELOW MARKET RATE RATIO: 22%	<b>SETBACKS:</b>	SINGLE FAMILY DETACHED FRONT: 20FT SIDE: 5FT REAR: 10FT SINGLE FAMILY DUPLEX (SEE SHEET 2)
<b>CIVIL ENGINEER:</b>	JMH WEISS, INC. 1731 TECHNOLOGY DRIVE, SUITE 880 SAN JOSE, CA 95110	<b>SERVICES:</b>	DIABLO WATER DISTRICT IRONHORSE SANITARY DISTRICT CITY OF OAKLEY PACIFIC GAS & ELECTRIC EAST CONTRA COSTA FIRE PROTECTION DISTRICT	<b>ROUGH EARTHWORK*:</b>	SEASONAL WETLAND CREATION: 40,000 CY FILL PARKS AND DEVELOPMENT AREA: 300,000 CY FILL * EARTHWORK QUANTITIES SHOW ARE APPROXIMATE IN PLACE CUBIC YARDS AND DOES NOT ACCOUNT FOR SHRINK OR SWELL OF SOILS.
<b>A.P.N.:</b>	032-112-007	<b>FIRE:</b>	AT&T COMCAST	<b>PUBLIC AMENITY</b>	PUBLIC PARKS AND CONNECTED LINEAR WETLAND TRAIL SYSTEM
<b>SITE AREA:</b>	77.41 ACRES	<b>TELEPHONE:</b>		<b>PRIVATE OPEN SPACE/RECREATIONAL FIELDS</b>	2.77 ACRES
<b>DEDICATIONS &amp; EASEMENTS:</b>	2.97 ACRES	<b>CABLE TV:</b>		<b>NEIGHBORHOOD PARKS</b>	1.64 ACRES
<b>DEVELOPMENT AREA:</b>	38.20 ACRES	<b>FLOODING:</b>	ENTIRE SITE IS WITHIN: FIRM PANEL 06013C0170G DATED 3/21/2017 ZONE AE (EL 9 FEET NAVD 88)	<b>PRIVATE TRAIL SYSTEM</b>	2.10 MILES
<b>OPEN SPACE:</b>	36.24 ACRES	<b>TOPOGRAPHY:</b>	AERIAL TOPOGRAPHY PROVIDED BY NEXUS 3D CONSULTING DATED JULY 27, 2023	<b>PARKING</b>	SINGLE FAMILY DUPLEX - AFFORDABLE HOUSING NEIGHBORHOOD OFF-STREET SPACES: 124 (2 SPACES IN GARAGE PER HOUSE) ON-STREET SPACES: 27 (VARIOUS LOCATIONS OFF DRIVE AISLE) SINGLE FAMILY DETACHED OFF-STREET RESIDENT SPACES: 418 (2 SPACES IN GARAGE PER HOUSE) OFF-STREET GUEST SPACES: 418 (2 SPACES ON DRIVEWAY PER HOUSE)
<b>EXISTING ZONING:</b>	P-1, PLANNED DISTRICT - RESIDENTIAL & OPEN SPACE	<b>PROPOSED ZONING:</b>	P-1, PLANNED DISTRICT - RESIDENTIAL & OPEN SPACE	<b>BASIS OF ELEVATION:</b>	ELEVATIONS ARE SHOWN IN NAVD 88
<b>EXISTING GENERAL PLAN:</b>	AL, OIBA, AGRICULTURAL LANDS & OFF ISLAND BONUS AREA	<b>EXISTING USE:</b>	OPEN SPACE		



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
BETHEL ESTUARY ESTATES  
COVER

CONTRA COSTA COUNTY CALIFORNIA

**JMH Weiss**  
Real Estate Development Consultants  
Planning and Engineering  
1731 Technology Drive, Suite 880 (408) 286-4555  
San Jose, CA 95110 JMHWeiss.com

DATE: AUGUST 2024  
SCALE: 1" = 150'  
JOB: 5298  
SHEET NO: C1.0

## LEGEND

EXISTING	(SYMBOL SIZE MAY VARY)	PROPOSED
	PROPERTY BOUNDARY	
	PROPERTY LINE - ADJACENT PARCEL	
	LOT LINE	
	GRADING LIMIT OF WORK	
	CURB & GUTTER	
	STORM DRAIN	
	SANITARY SEWER	
	CITY STANDARD CURB INLET	
	STORM DRAIN INLET/FLAT GRATE INLET	
	AREA DRAIN	
	STORM MANHOLE	
	SANITARY MANHOLE	
	DIRECTION OF SURFACE DRAINAGE	
	OVERLAND RELEASE	
	CONTOUR	
	GRADE BREAK	
	FENCELINE	
	CURB OPENING	
	GAS LINE	
	ROOF DRAIN DOWNSPOUT	
	SITE LIGHTING (SEE ARCH PLANS)	
	TREES (SEE LANDSCAPE PLANS)	
	LANDSCAPE (SEE LANDSCAPE PLANS)	
	CONCRETE (SEE GEOTECHNICAL REPORT FOR SECTIONS)	

## FIRE NOTES

- DURING CONSTRUCTION, THE APPLICANT SHALL PROVIDE A 20 FOOT WIDE ALL WEATHER PAVING SURFACE (PAVING) FOR EMERGENCY VEHICLE ACCESS WITHIN 150 FEET OF ALL CONSTRUCTION OR COMBUSTIBLE STORAGE. THIS ACCESS AND THE INSTALLATION OF THE HYDRANTS SHALL BE PROVIDED BEFORE ANY CONSTRUCTION OR COMBUSTIBLE STORAGE WILL BE ALLOWED.
  - A TEMPORARY AGGREGATE BASE OR ASPHALT GRINDINGS ROADWAY IS NOT CONSIDERED AN ALL-WEATHER SURFACE FOR EMERGENCY APPARATUS ACCESS. THE FIRST LIFT OF ASPHALT CONCRETE PAVING SHALL BE INSTALLED AS THE MINIMUM ROADWAY MATERIAL AND MUST BE ENGINEERED TO SUPPORT THE DESIGNATED GROSS VEHICLE WEIGHT OF 22/37 TONS.
- DURING CONSTRUCTION, PERSONNEL OPERATING AT THE CONSTRUCTION SITE SHALL HAVE A MEANS OF COMMUNICATING AND REPORTING A FIRE OR MEDICAL EMERGENCY. THIS REQUIREMENT MAY BE MET BY USE OF A CELLULAR TELEPHONE AND DIALING 911.
- FLAMMABLE OR COMBUSTIBLE LIQUID STORAGE TANKS SHALL NOT BE LOCATED ON THE SITE WITH OUT OBTAINING APPROVAL AND NECESSARY PERMITS FROM THE FIRE DISTRICT.
- THE APPLICANT MUST IMMEDIATELY NOTIFY THE FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT (510-494-4282) OF ANY UNDERGROUND PIPES, TANKS, OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.
- A SEPARATE PERMIT IS REQUIRED FOR THE UNDERGROUND FIRE SERVICE.
- FIRE ALARM/ECS WILL BE ISSUED UNDER A SEPARATE PERMIT
- FIRE DEPARTMENT CONNECTIONS (FDC) FOR ALL SPRINKLER SYSTEMS MUST BE LOCATED NOT MORE THAN 100 FEET AWAY FROM A FIRE HYDRANT PER N.F.D.A 13.
- THE APPLICANT SHALL INSTALL N.F.P.A 13 FIRE SPRINKLERS COMPLYING WITH LOCAL AMENDMENTS. FIRE SPRINKLER DENSITIES ARE REQUIRED AS FOLLOWS.
  - ROOF HEIGHTS 20 FEET OR LESS PROVIDE A .33GPM/3,000 SQUARE FOOT
  - ROOF HEIGHTS OVER 20 FEET AND UP TO 30 FEET PROVIDE A .495GPM/3,000 SQUARE FOOT
  - ROOF HEIGHTS OVER 30 FEET PROVIDE A .6GPM/3,000 SQUARE FOOT
- THE PROJECT WILL REQUIRE A DIGITAL PLAN SUBMISSION TO THE GIS DEPARTMENT. THE DIGITAL PLAN SUBMISSION WILL BE USED BY THE FIRE DEPARTMENT TO AID IN EMERGENCY RESPONSE.

## ABBREVIATIONS

DATA	(D)	LANDSCAPE EASEMENT	LSE
MEASURED DATA	(M)	LINEAR FEET	LF
OVERHEAD ELECTRICAL	(OH)E	LANDSCAPE	LS
AGGREGATE BASE	AB	LEFT	LT
ASPHALT CONCRETE	AC	MAINTENANCE HOLE	MH
AREA DRAIN	AD	MONUMENT TO MONUMENT	M-M
APPROXIMATE	APPROX	MONUMENT	MON
ARCHITECTURE	ARCH	MONITORING MANHOLE	MON-MH
AIR RELEASE VALVE	ARV	ON CURB	O.C.
AGGREGATE SUB-BASE	ASB	PUBLIC ACCESS EASEMENT	PAE
BEGINNING OF CURVE	BC	PRESSURE BLOW-OFF VALVE	PBO
BACKFLOW PREVENTER	BFP	PORTLAND CEMENT CONCRETE	PCC
BLOW-OFF	BO	PACIFIC GAS & ELECTRIC	PG&E
BEST MANAGEMENT PRACTICES	BMP	POST INDICATOR VALVE	PIV
BUTTERFLY VALVE	BV	PROPERTY LINE	PL
BACK OF WALK	BW	PRIVATE LANDSCAPE EASEMENT	PLSE
BARB WIRE FENCE	BWF	PLANTER	PLTR
CURB & GUTTER	C&G	PARCEL MAP	PM
CATCH BASIN	CB	POINT OF BEGINNING	POB
CENTERLINE	CL	PRIVATE STREET	PS
CHAIN LINK FENCE	CLF	PRIVATE STORM DRAIN EASEMENT	PSDE
CLASS	CLS	PRIVATE SANITARY SEWER EASEMENT	PSSE
CONCRETE	CONC	PUBLIC UTILITY EASEMENT	PUE
COUNTER CLOCKWISE	COW	POLYVINYL CHLORIDE PIPE	PVC
CLEANOUT TO GRADE	COTG	POINT OF VERTICAL INTERSECTION	PVI
CURB RETURN	CR	QUICK LIME TREATED	QLT
CLOCKWISE	CW	REINFORCED CONCRETE BOX	RCB
DEMOLITION	DEMO	REINFORCED CONCRETE PIPE	RCP
DRAINAGE INLET	DI	REVISION	REV
DUCTILE IRON PIPE	DIP	RIGHT-OF-WAY	ROW, R/W
DOMESTIC	DOM	RIGHT	RT
DRAWING	DWG	RAIN WATER LEADER	RWL
DRIVEWAY	DWY	STORM DRAIN	SD
END OF CURVE	EC	SIDEWALK	SW, SWLK
EXISTING GRADE	EG	STORM DRAINAGE CLEANOUT	SDCO
ELBOW	ELB	SERVICE	SERV
ELEVATION	EL, ELEV	SANITARY SEWER	SS
ELECTRICAL/ELECTRIC	ELEC	SANITARY SEWER CLEANOUT	SSCO
EDGE OF PAVEMENT	EP	STATION	STA
END OF RADIUS	ER	TOP OF CURB	TC
EASEMENT	ESMT	TRANSFORMER	TFMR
ELECTROLYSIS TESTING STATION	ETS	TOP OF GRATE	TG
EMERGENCY VEHICLE	EVAE	TYPICAL	TYP
ACCESS EASEMENT	EX, EXIST	UNDERGROUND	UG
EXISTING	EX, EXIST	VERTICAL CURVE	VC
FACE OF CURB	FC	VITRIFIED CLAY PIPE	VCP
FINISH GRADE	FG	WATER	W
FIRE HYDRANT	FH	WITH	W/
FLOW LINE	FL	WATER LINE EASEMENT	WLE
FINISHED PAVEMENT	FP	WATER METER	WM
GAS	G	WELDED STEEL PIPE	WSP
GRIND & OVERLAY	G&O	WATER VALVE	WV
GRADE BREAK	GB		
HIGH POINT	HP		
HVAC UNIT	HV		
INVERT	INV		
IRON PIPE	IP		
IRRIGATION	IRR		
JOINT ACCESS EASEMENT	JAE		
JOINT POLE	JP		
JOINT TRENCH	JT		
LATERAL	LAT		

## SUBDIVISION TRACT 9669 VESTING TENTATIVE MAP BETHEL ESTUARY ESTATES NOTES

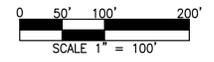
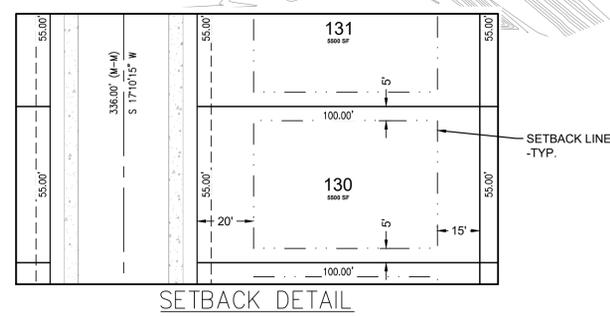
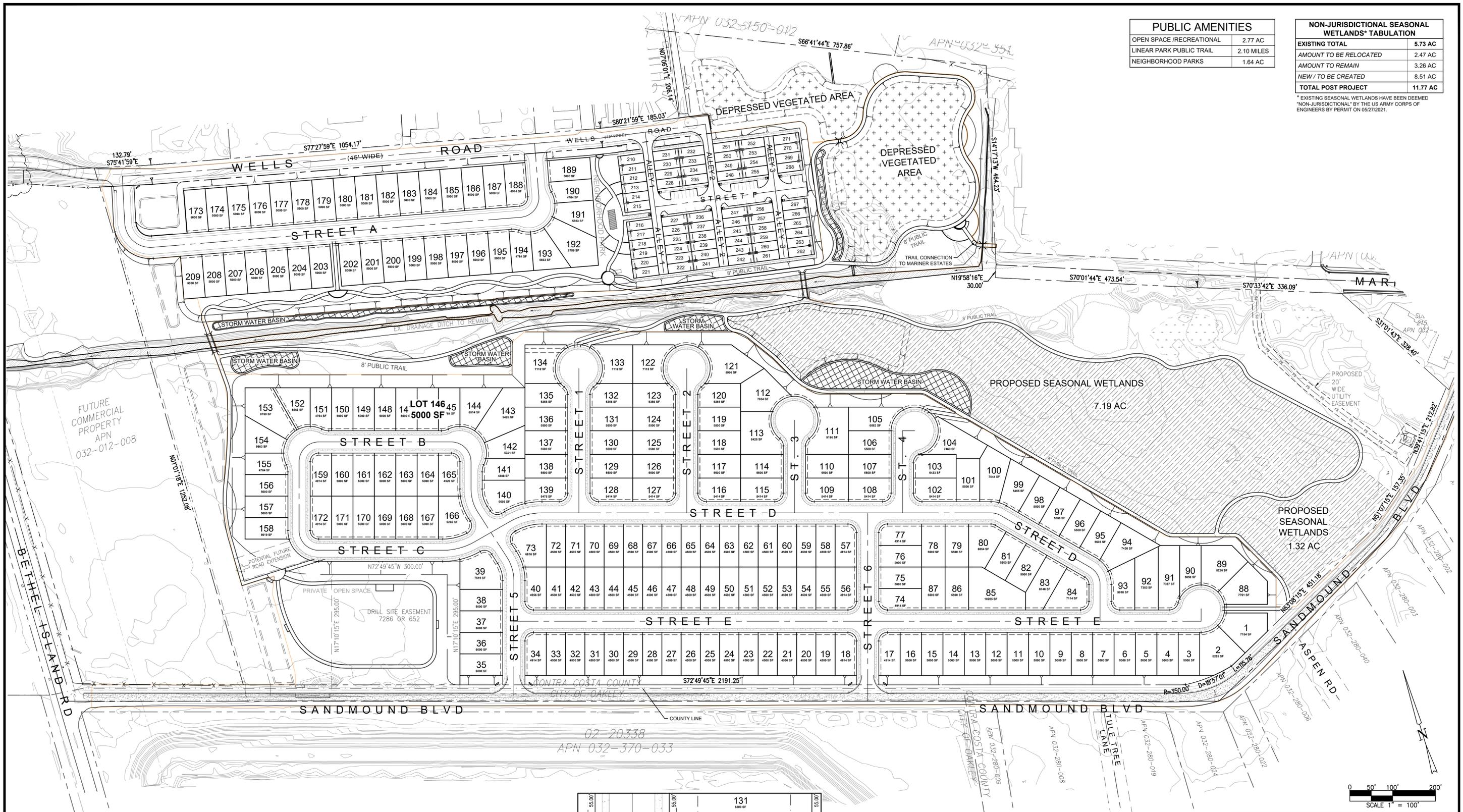
CONTRA COSTA COUNTY	CALIFORNIA
<b>J M H</b> <b>weiss</b> Real Estate Development Consultants Planning and Engineering 1731 Technology Drive, Suite 880 San Jose, CA 95110	DATE: AUGUST 2024 SCALE: JOB: 5298 SHEET NO: <b>C1.1</b>



PUBLIC AMENITIES	
OPEN SPACE / RECREATIONAL	2.77 AC
LINEAR PARK PUBLIC TRAIL	2.10 MILES
NEIGHBORHOOD PARKS	1.64 AC

NON-JURISDICTIONAL SEASONAL WETLANDS* TABULATION	
EXISTING TOTAL	5.73 AC
AMOUNT TO BE RELOCATED	2.47 AC
AMOUNT TO REMAIN	3.26 AC
NEW / TO BE CREATED	8.51 AC
<b>TOTAL POST PROJECT</b>	<b>11.77 AC</b>

\* EXISTING SEASONAL WETLANDS HAVE BEEN DEEMED  
 \*NON-JURISDICTIONAL\* BY THE US ARMY CORPS OF ENGINEERS BY PERMIT ON 05/27/2021.



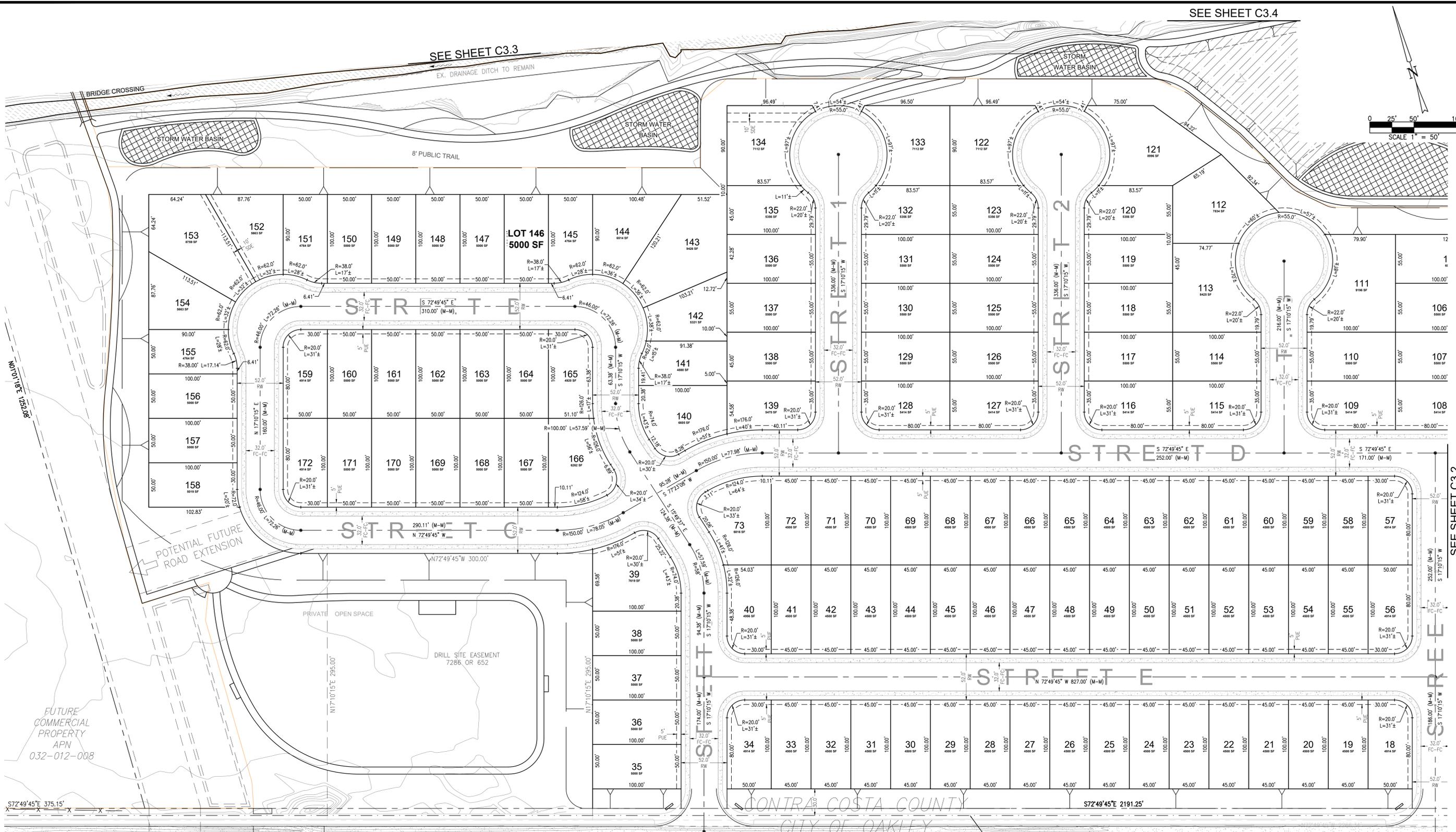
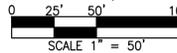
**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
**BETHEL ESTUARY ESTATES**  
**OVERALL HORIZONTAL**  
 CONTRA COSTA COUNTY CONTROL PLAN CALIFORNIA

**J M H Weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95130 / JMW/Weiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 100'  
 JOB: 5298  
 SHEET NO: **C3.0**

SEE SHEET C3.4

SEE SHEET C3.3



FUTURE COMMERCIAL PROPERTY APN 032-012-008

PRIVATE OPEN SPACE  
DRILL SITE EASEMENT  
7286 OR 652

CONTRA COSTA COUNTY  
CITY OF OAKLEY

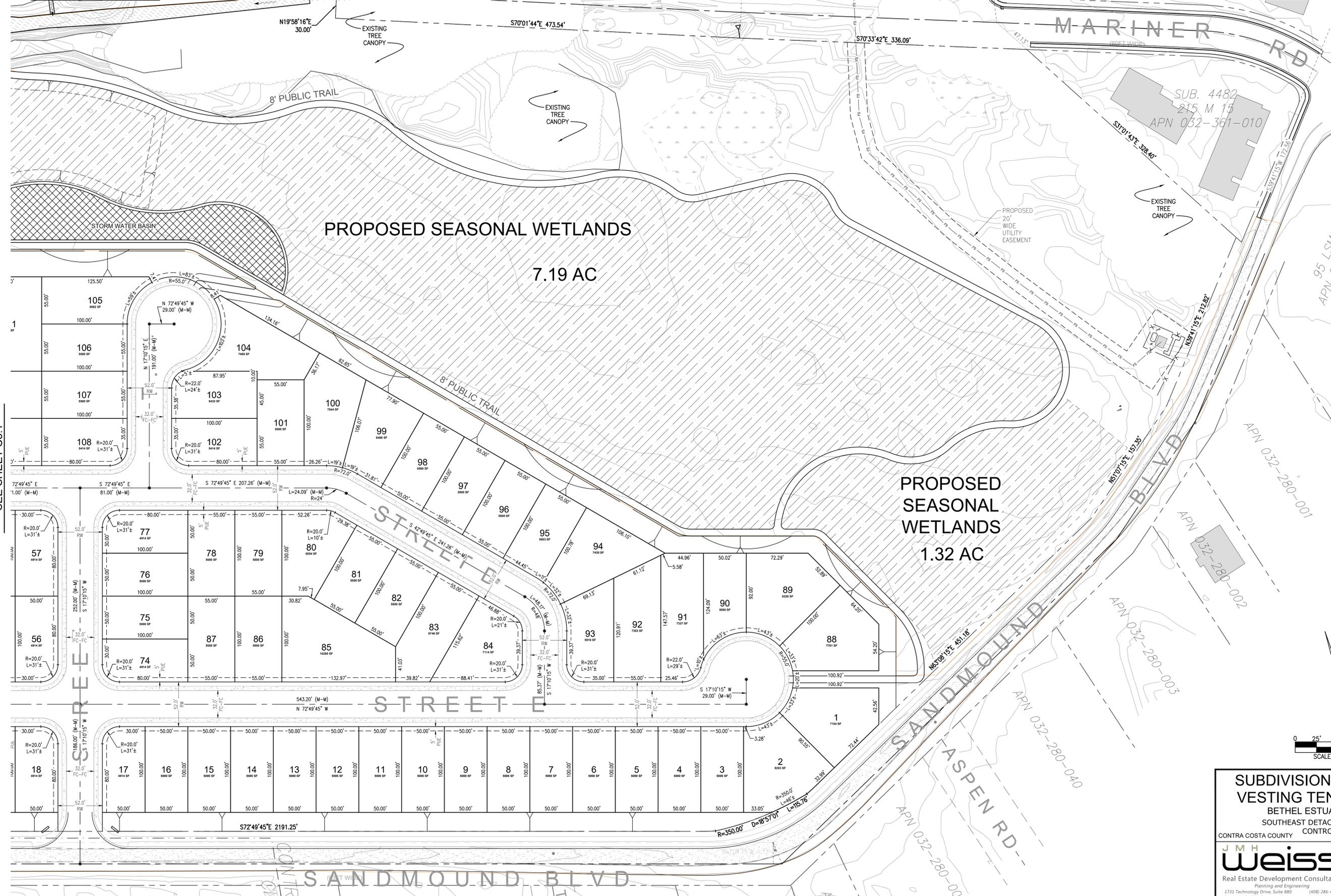
SANDMOUND BLVD

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
**BETHEL ESTUARY ESTATES**  
 SOUTHWEST DETACHED HORIZONTAL CONTROL PLAN CALIFORNIA

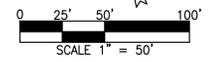
**J M H Weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMW/Weiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 50'  
 JOB: 5298  
 SHEET NO: C3.1

SEE SHEET C3.4



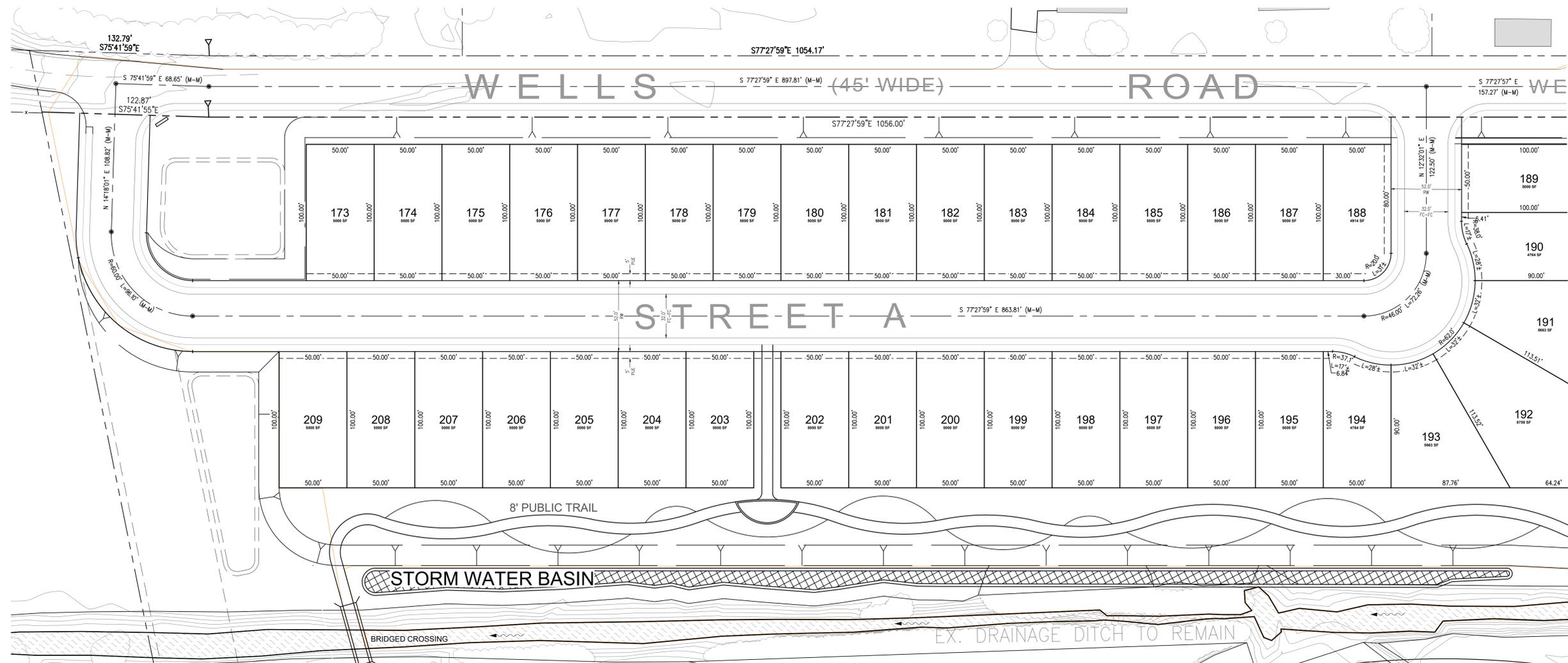
SEE SHEET C3.1



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SOUTHEAST DETACHED HORIZONTAL  
 CONTROL PLAN  
 CONTRA COSTA COUNTY CALIFORNIA

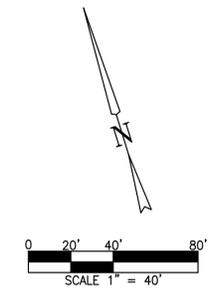
**JMH Weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 San Jose, CA 95110 (408) 286-4555 /JMHWeiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 50'  
 JOB: 5298  
 SHEET NO: **C3.2**



SEE SHEET C3.4

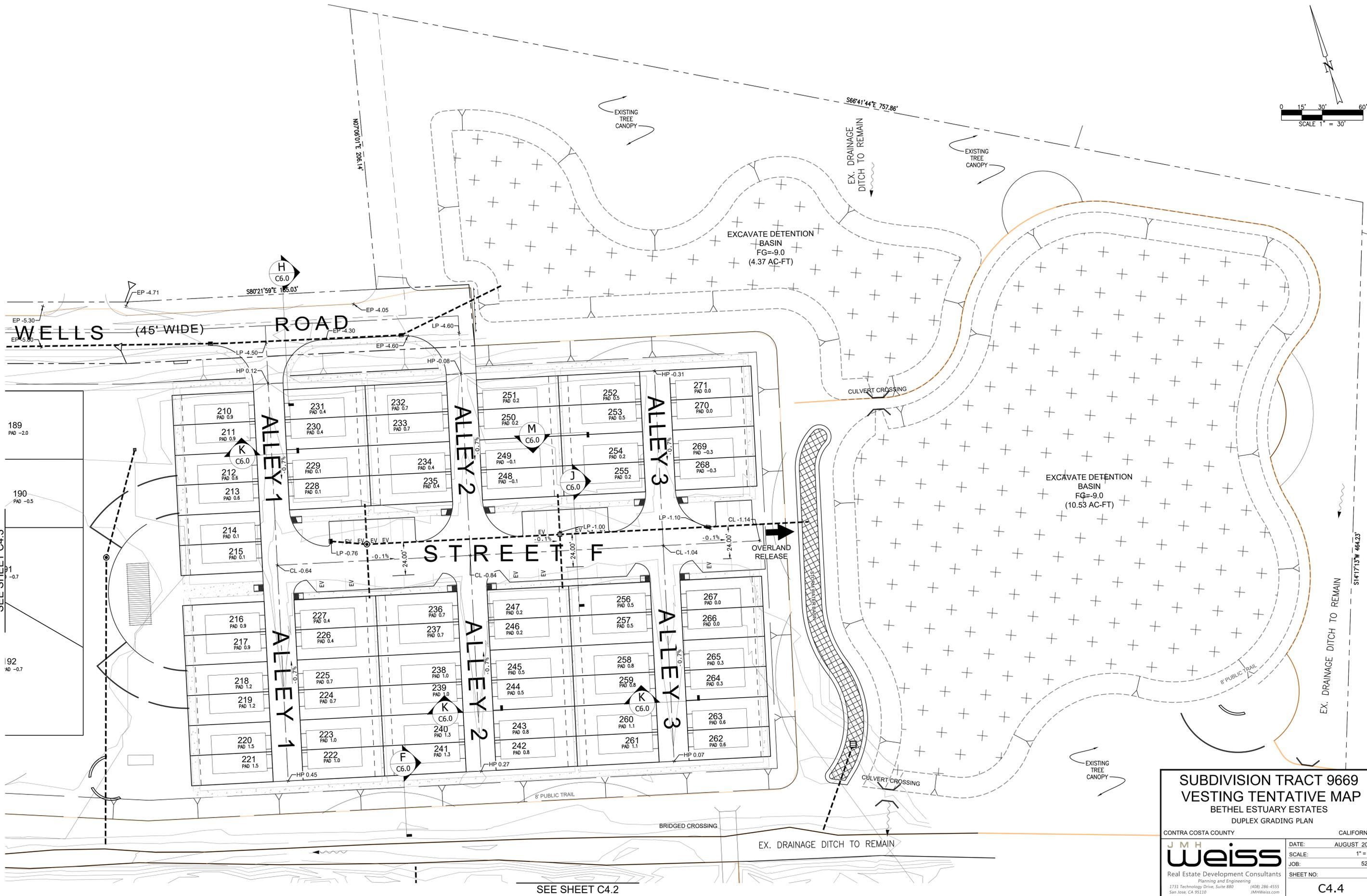
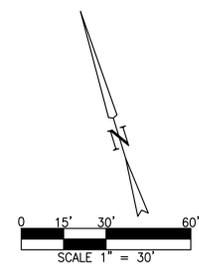
SEE SHEET C3.1



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 NORTHWEST DETACHED HORIZONTAL CONTROL PLAN  
 CONTRA COSTA COUNTY CALIFORNIA

**J M H Weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMHWeiss.com

DATE:	AUGUST 2024
SCALE:	1" = 30'
JOB:	5298
SHEET NO.:	C3.3



SEE SHEET C4.3

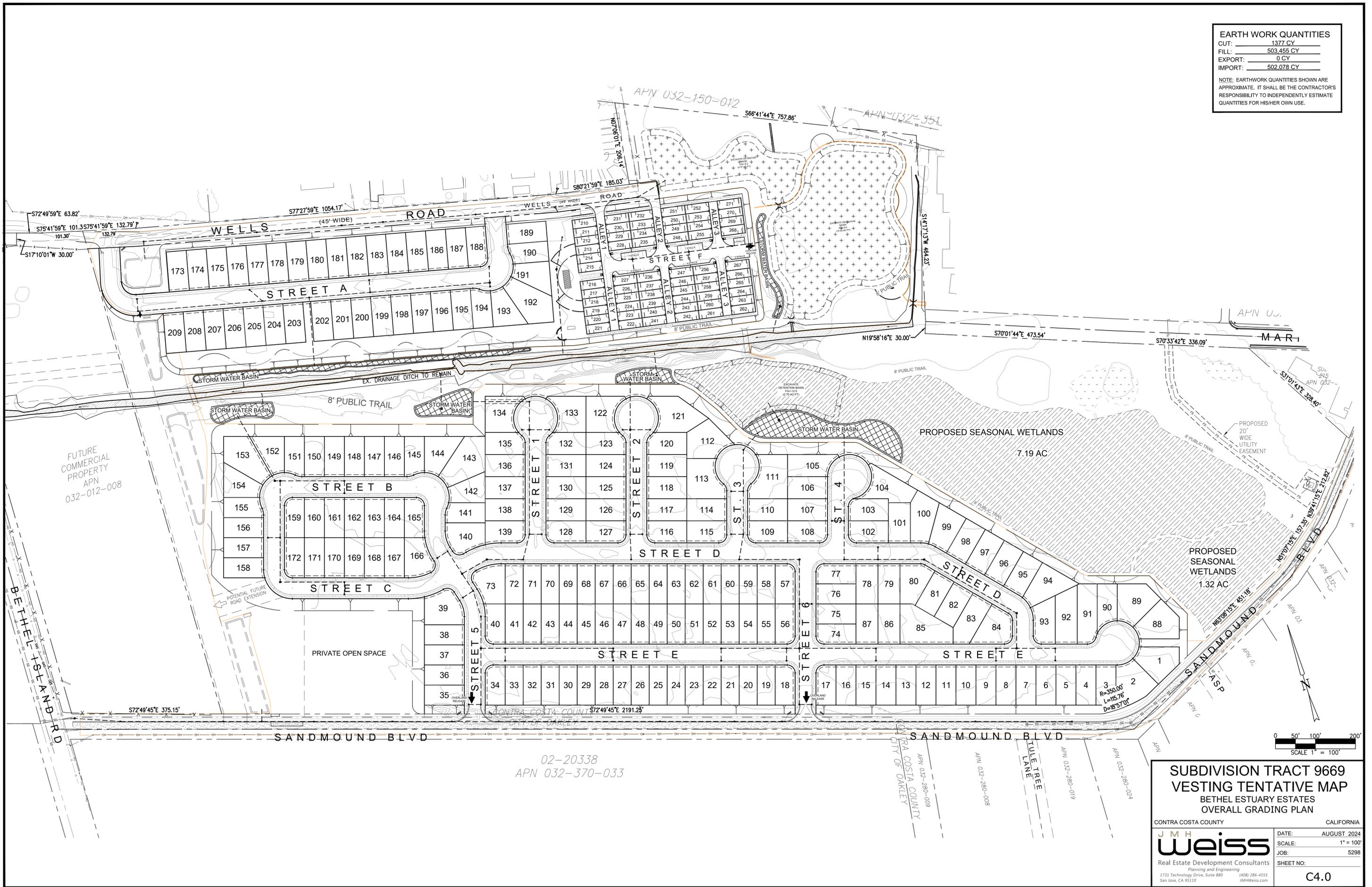
SEE SHEET C4.2

**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
DUPLIX GRADING PLAN**

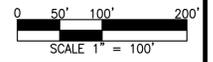
CONTRA COSTA COUNTY	CALIFORNIA
<b>J M H</b> <b>weiss</b>	Real Estate Development Consultants Planning and Engineering 1731 Technology Drive, Suite 880 San Jose, CA 95110
DATE: AUGUST 2024	SCALE: 1" = 30'
JOB: 5298	SHEET NO: C4.4

EARTH WORK QUANTITIES	
CUT:	1377 CY
FILL:	503,455 CY
EXPORT:	0 CY
IMPORT:	502,078 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



02-20338  
APN 032-370-033

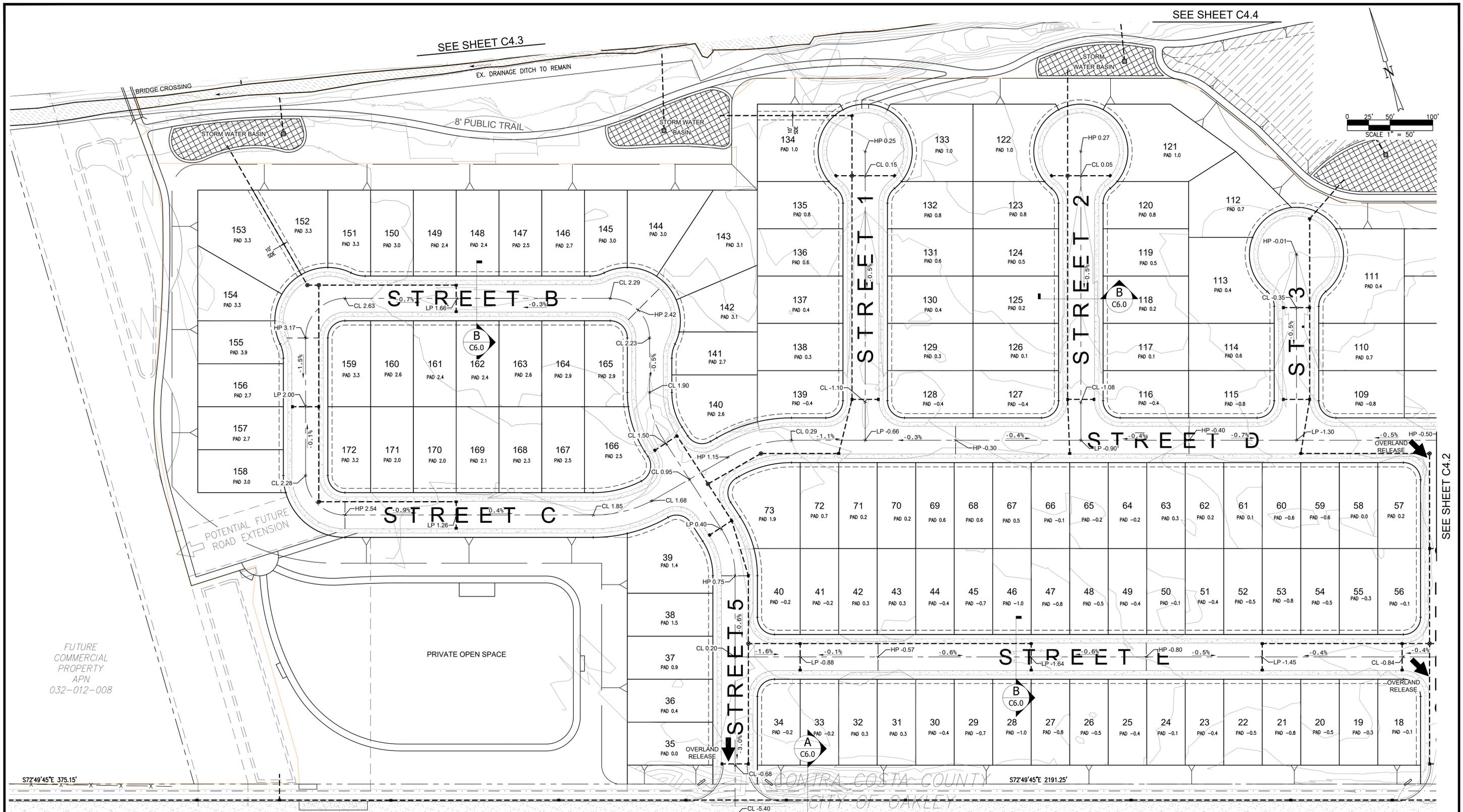


**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 OVERALL GRADING PLAN

CONTRA COSTA COUNTY CALIFORNIA

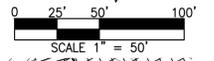
**JMH**  
**weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMHweiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 100'  
 JOB: 5298  
 SHEET NO: C4.0



SEE SHEET C4.3

SEE SHEET C4.4



FUTURE  
COMMERCIAL  
PROPERTY  
APN  
032-012-008

PRIVATE OPEN SPACE

S72°49'45"E 375.15'

S72°49'45"E 2191.25'

SANDMOUND BLVD

CONTRA COSTA COUNTY  
CITY OF OAKLEY

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SOUTHWEST DETACHED  
 GRADING PLAN

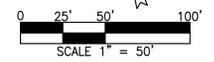
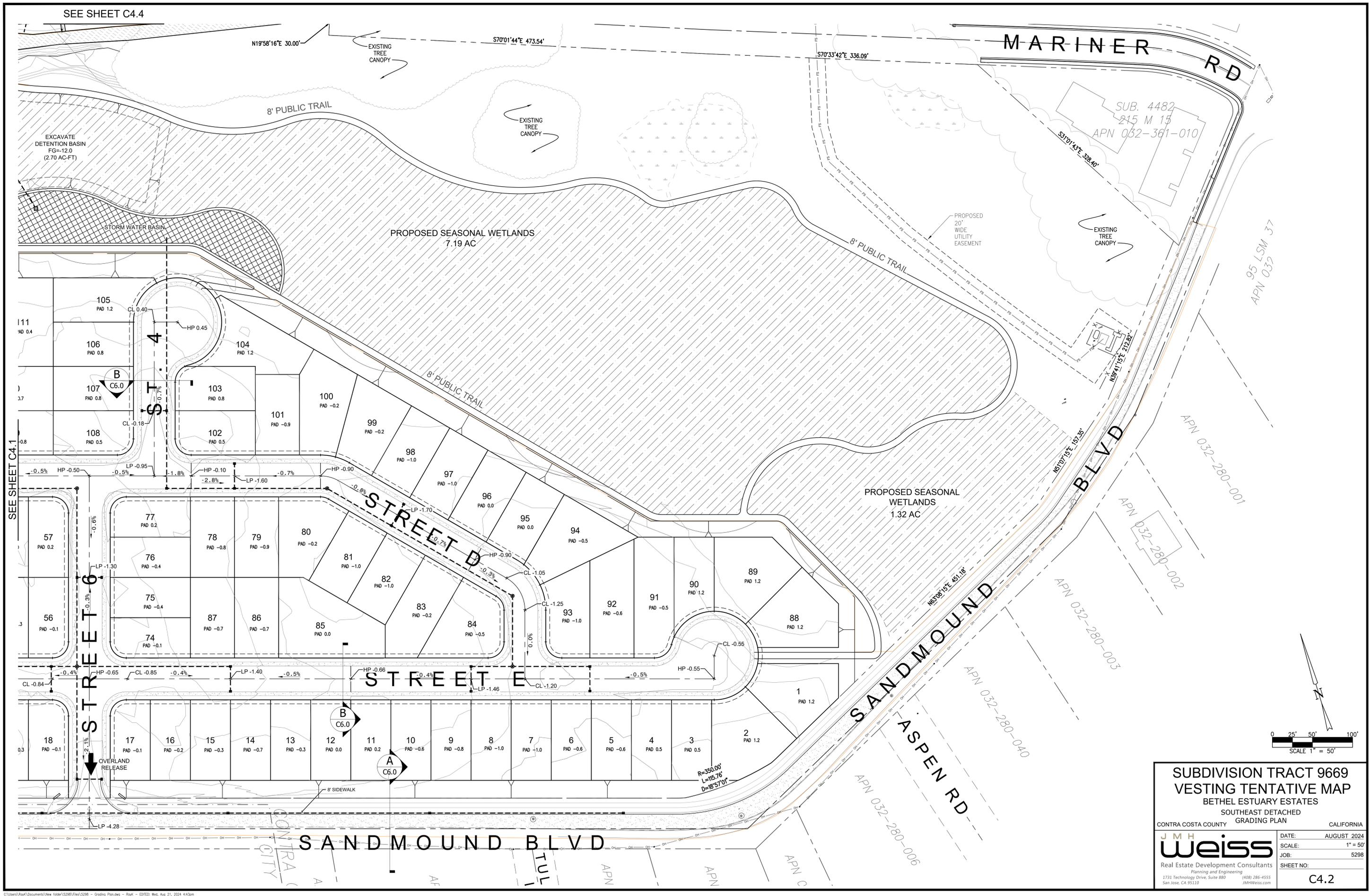
CONTRA COSTA COUNTY CALIFORNIA

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**weiss**  
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 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMHweiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 50'  
 JOB: 5298  
 SHEET NO: C4.1

02-20338

SEE SHEET C4.4

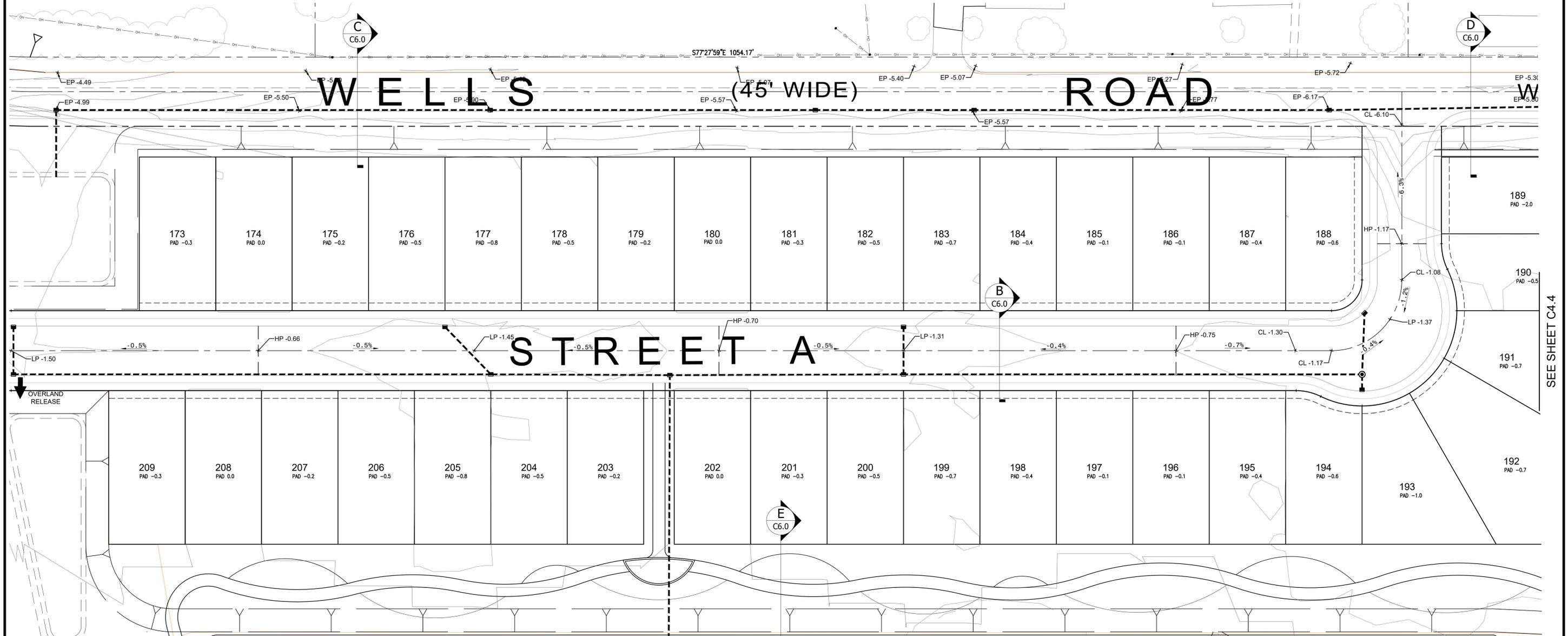
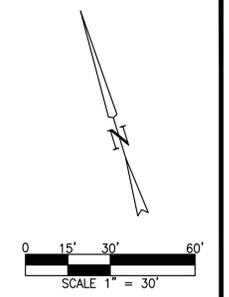


**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SOUTHEAST DETACHED  
 GRADING PLAN

CONTRA COSTA COUNTY CALIFORNIA

**JMH Weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 San Jose, CA 95110 (408) 286-4555 JMHWeiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 50'  
 JOB: 5298  
 SHEET NO: C4.2



SEE SHEET C4.4

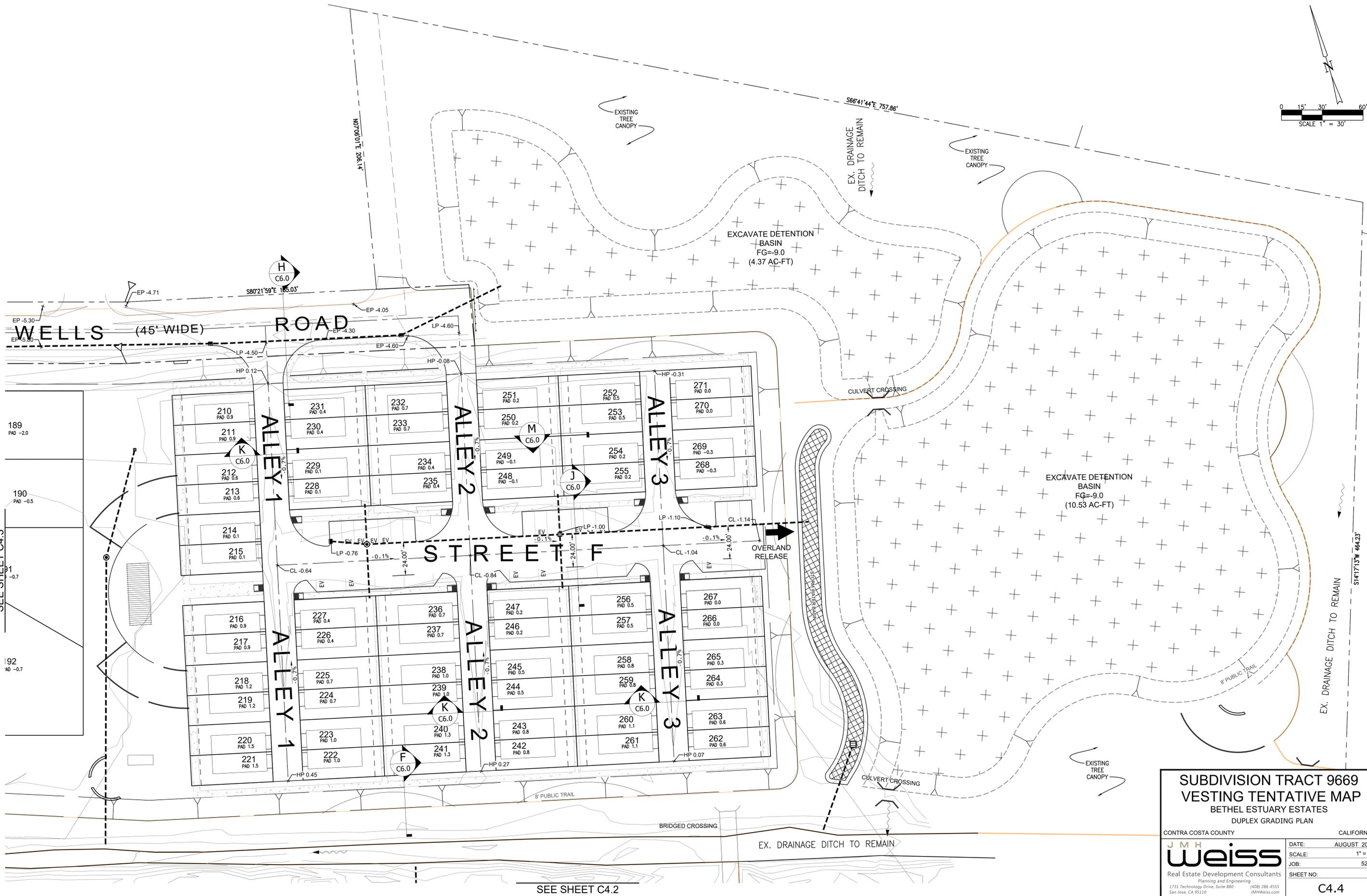
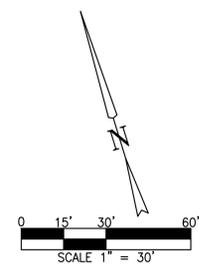
SEE SHEET C4.1

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
BETHEL ESTUARY ESTATES  
NORTHWEST DETACHED  
GRADING PLAN

CONTRA COSTA COUNTY CALIFORNIA

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San Jose, CA 95110 JMHWeiss.com

DATE: AUGUST 2024  
SCALE: 1" = 30'  
JOB: 5298  
SHEET NO:  
**C4.3**

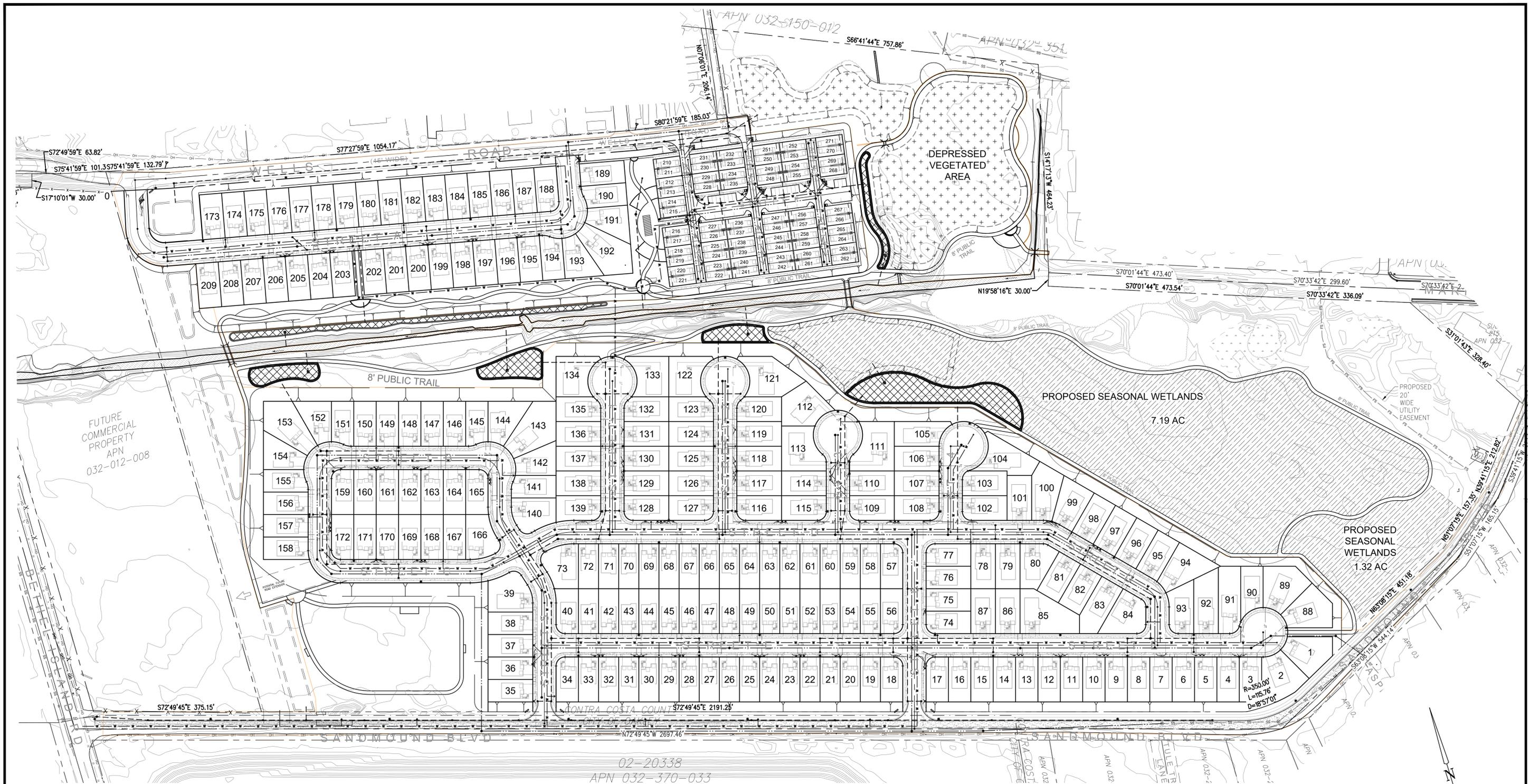


**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
BETHEL ESTUARY ESTATES  
DUPLIX GRADING PLAN

CONTRA COSTA COUNTY CALIFORNIA

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San Jose, CA 95110 JMHWeiss.com

DATE: AUGUST 2024  
SCALE: 1" = 30'  
JOB: 5298  
SHEET NO: C4.4



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
**BETHEL ESTUARY ESTATES**  
**OVERALL UTILITY PLAN**

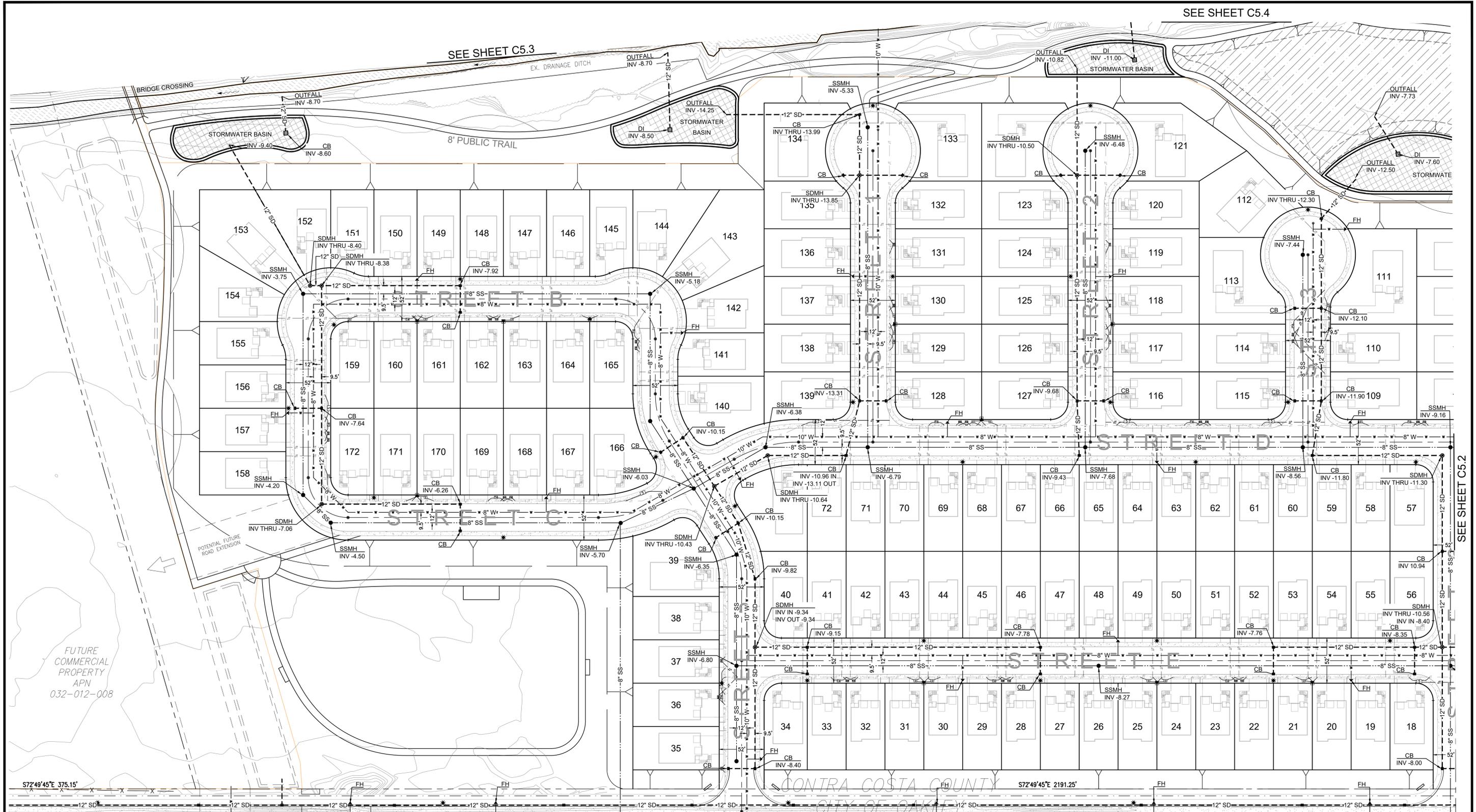
CONTRA COSTA COUNTY CALIFORNIA

**JMH**  
**weiss**  
 Real Estate Development Consultants  
 Planning and Engineering  
 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMHWeiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 100'  
 JOB: 5298  
 SHEET NO: C5.0

SEE SHEET C5.4

SEE SHEET C5.3



SEE SHEET C5.2

FUTURE COMMERCIAL PROPERTY APN 032-012-008

S72°49'45"E 375.15'

S72°49'45"E 2191.25'

N72°49'45"W 2697.46'

SANDMOUND BLVD

CONTRA COSTA COUNTY

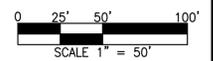
CITY OF OAKLAND

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
**BETHEL ESTUARY ESTATES**  
 SOUTHWEST DETACHED UTILITY PLAN

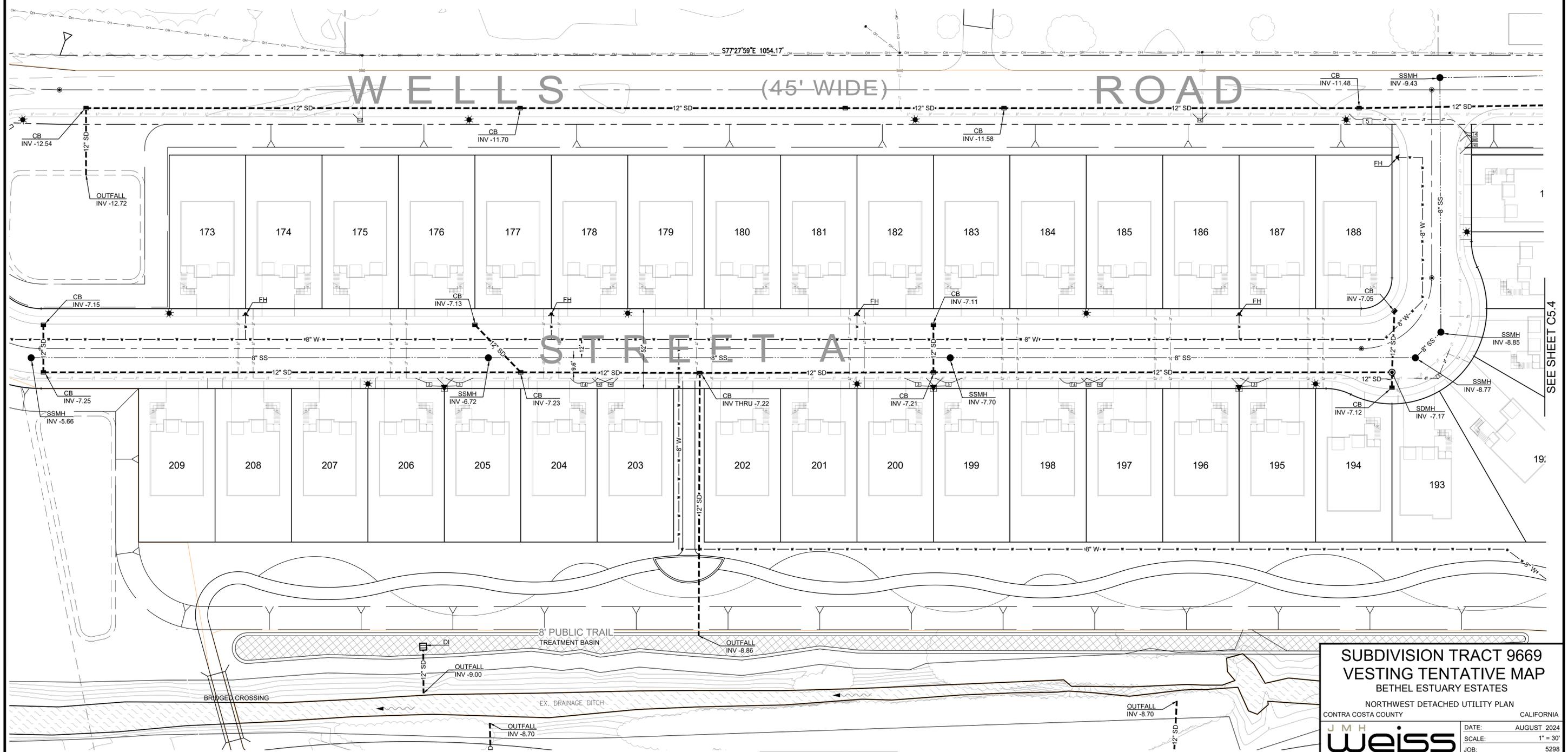
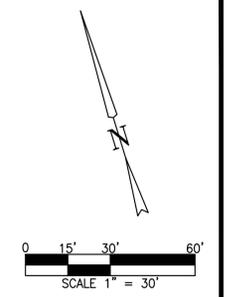
CONTRA COSTA COUNTY CALIFORNIA

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 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95130 JMHweiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 50'  
 JOB: 5298  
 SHEET NO: C5.1







**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES

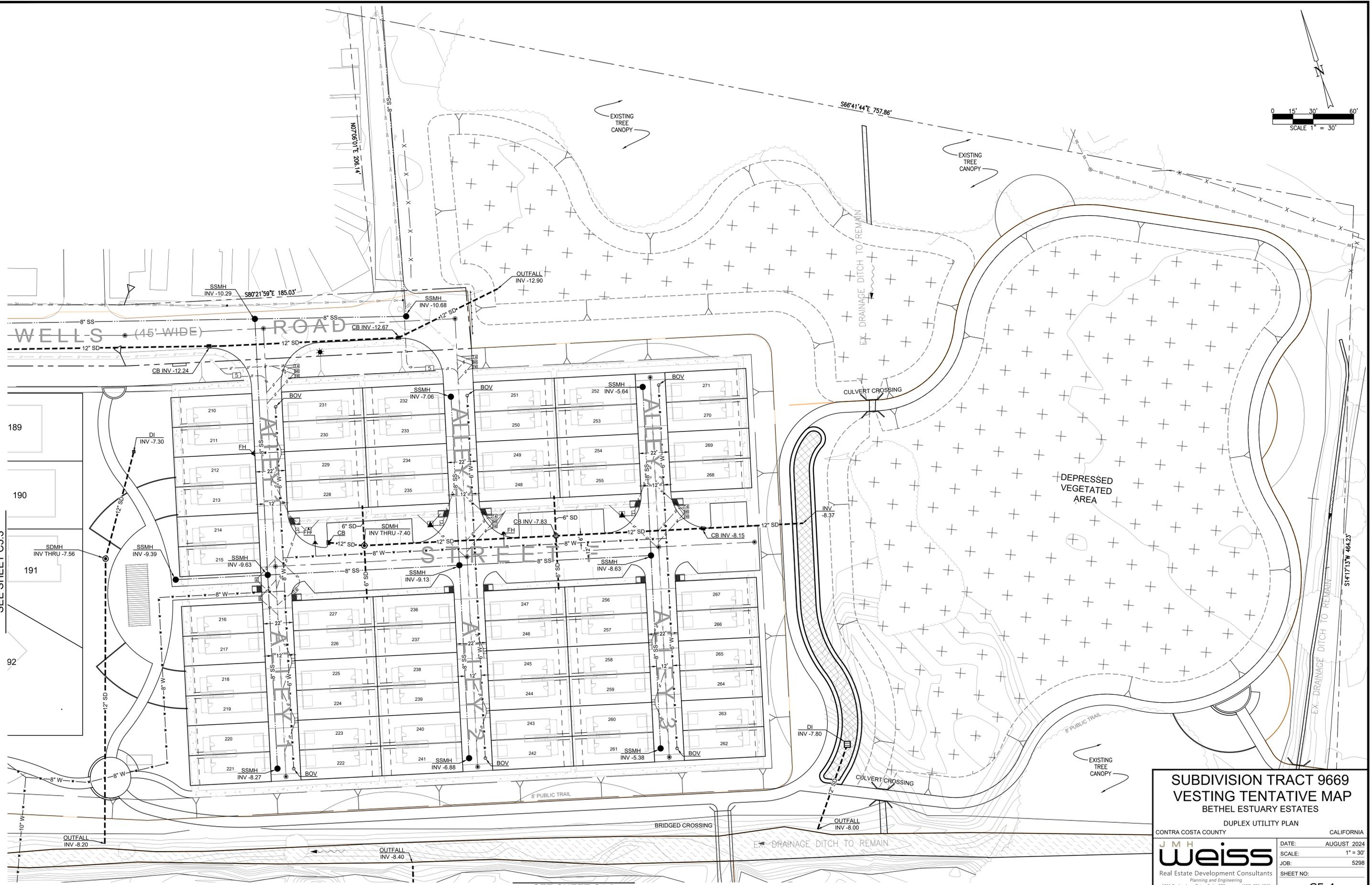
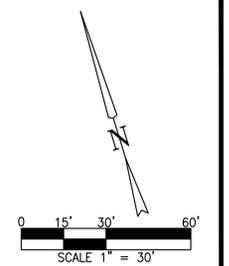
NORTHWEST DETACHED UTILITY PLAN  
 CONTRA COSTA COUNTY CALIFORNIA

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**weiss**  
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 1731 Technology Drive, Suite 880 (408) 286-4555  
 San Jose, CA 95110 JMHweiss.com

DATE: AUGUST 2024  
 SCALE: 1" = 30'  
 JOB: 5298  
 SHEET NO: C5.3

SEE SHEET C5.1

SEE SHEET C5.4



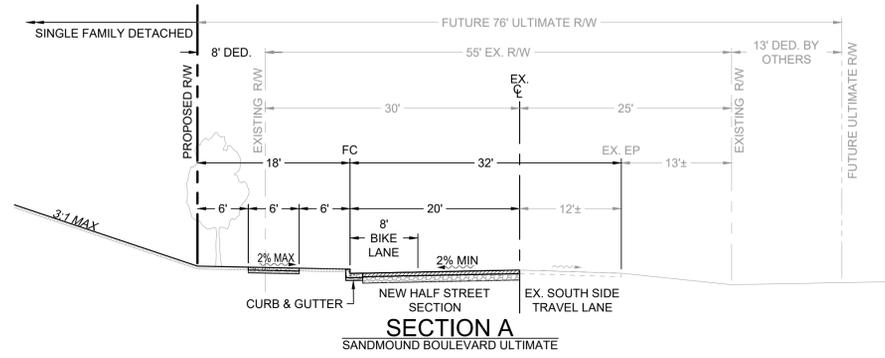
SEE SHEET C5.3

SEE SHEET C5.2

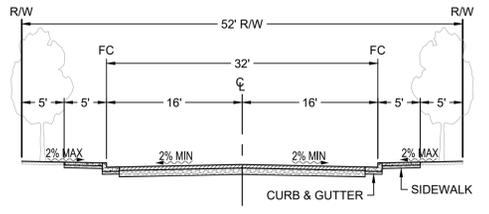
**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 DUPLEX UTILITY PLAN  
 CONTRA COSTA COUNTY CALIFORNIA

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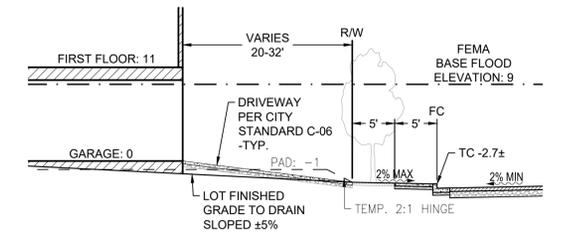
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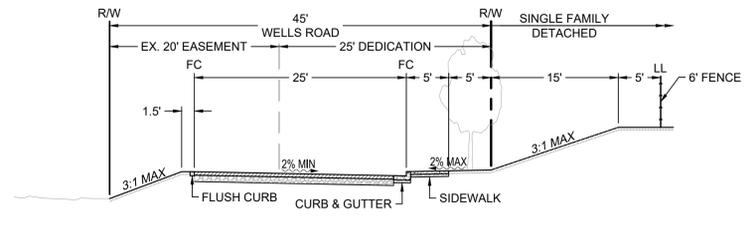
**SECTION A**  
SANDMOUND BOULEVARD ULTIMATE



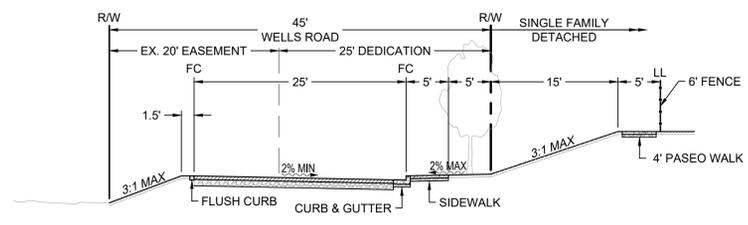
**SECTION B**  
TYPICAL SINGLE FAMILY DETACHED RESIDENTIAL STREET



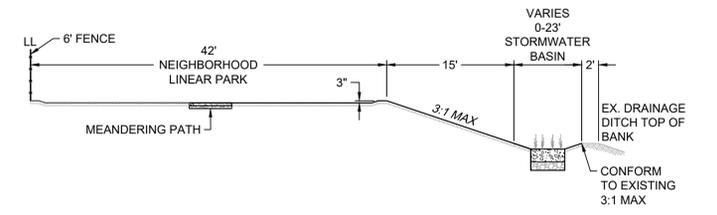
**TYPICAL SINGLE FAMILY DETACHED LOT GRADING**



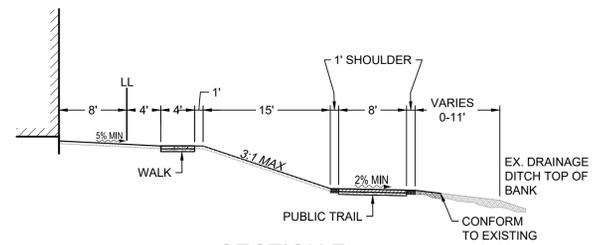
**SECTION C**  
WELLS ROAD ADJACENT BACK OF LOTS - SINGLE FAMILY DETACHED



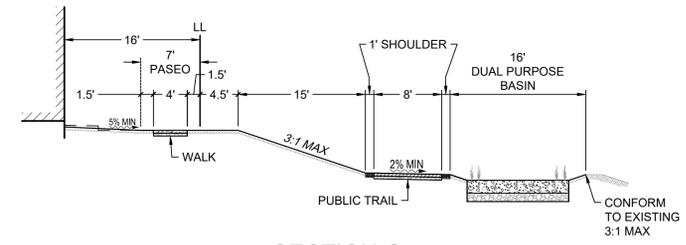
**SECTION D**  
WELLS ROAD ADJACENT TO SIDE OF LOT - SINGLE FAMILY DETACHED



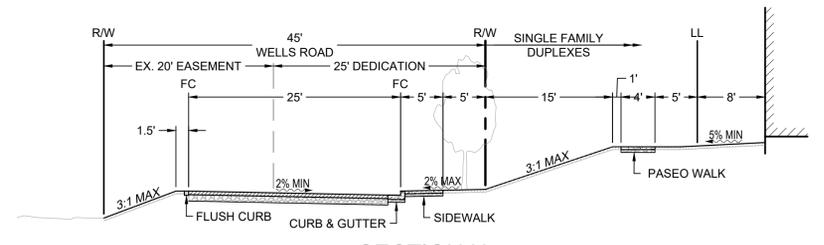
**SECTION E**  
PUBLIC TRAIL - SINGLE FAMILY DETACHED



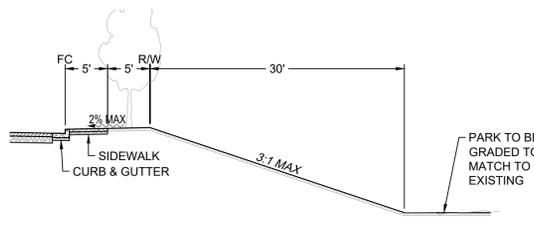
**SECTION F**  
PUBLIC TRAIL - SINGLE FAMILY DUPLEXES



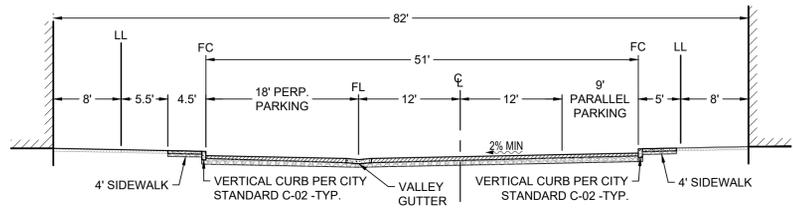
**SECTION G**  
LOT FRONTING THE PUBLIC TRAIL - SINGLE FAMILY DUPLEX



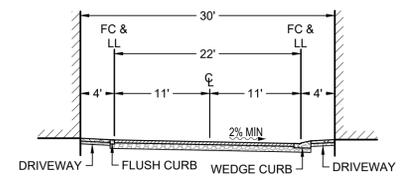
**SECTION H**  
WELLS ROAD ADJACENT TO LOTS - SINGLE FAMILY DUPLEX



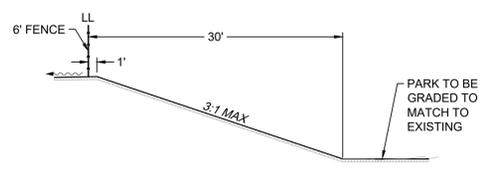
**SECTION I**  
PUBLIC PARK SLOPE ADJACENT TO STREET



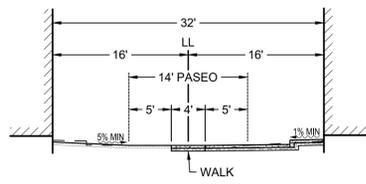
**SECTION J**  
MAIN DRIVE - SINGLE FAMILY DUPLEXES



**SECTION K**  
TYPICAL ALLEY



**SECTION L**  
PUBLIC PARK SLOPE ADJACENT TO LOTS



**SECTION M**  
14FT PASEO - SINGLE FAMILY DUPLEX

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
BETHEL ESTUARY ESTATES  
CROSS SECTIONS

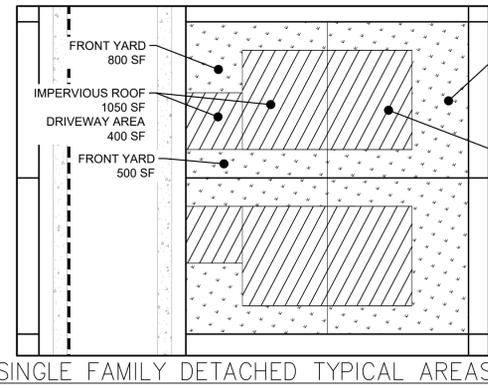
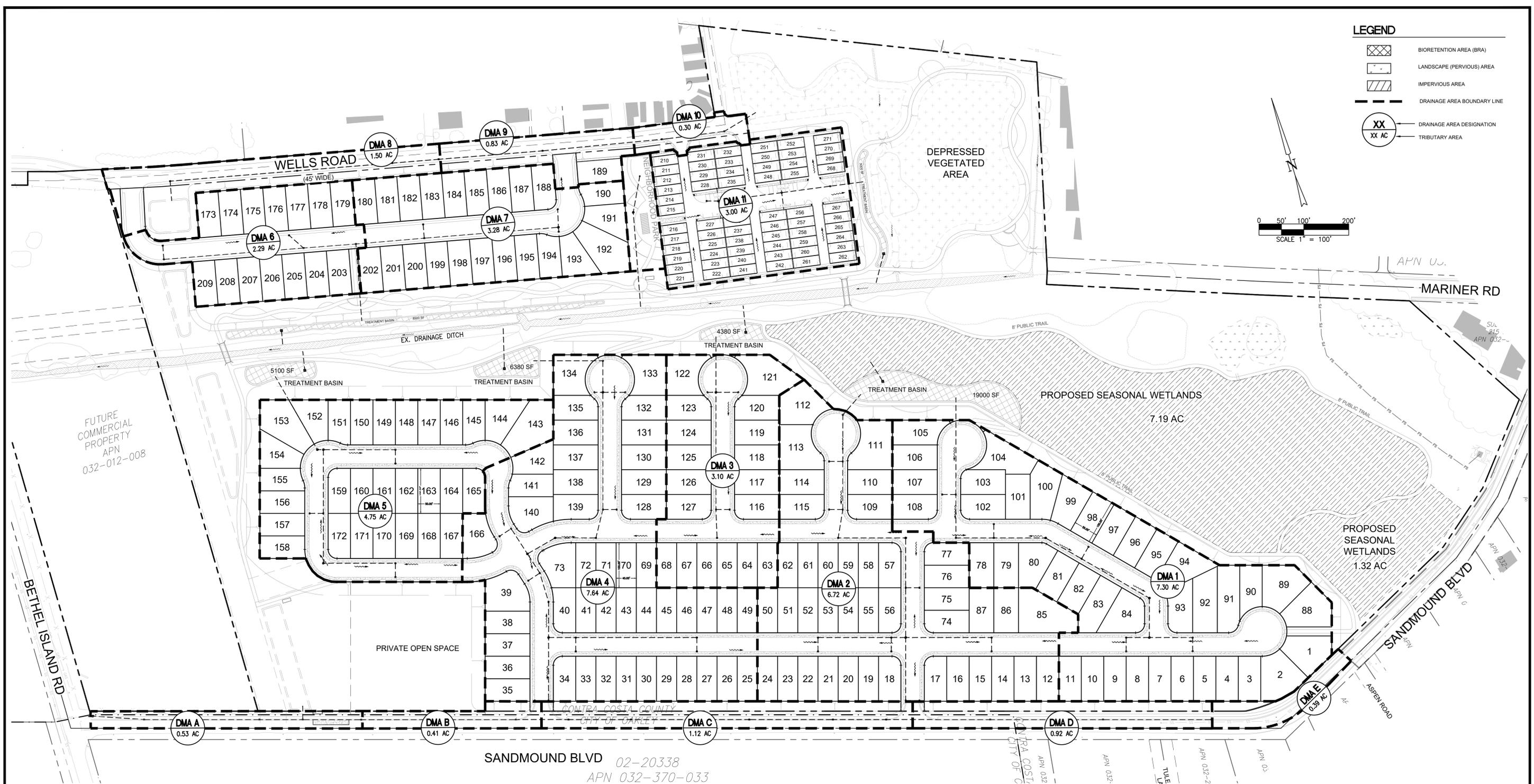
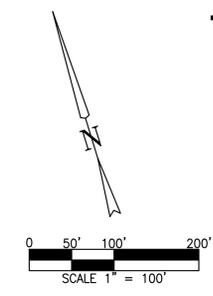
CONTRA COSTA COUNTY CALIFORNIA

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**weiss**  
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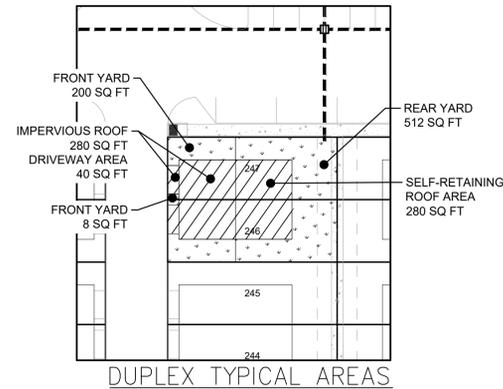
DATE: AUGUST 2024  
SCALE: 1" = 10'  
JOB: 5298  
SHEET NO: **C6.0**

**LEGEND**

-  BIORETENTION AREA (BRA)
-  LANDSCAPE (PERVIOUS) AREA
-  IMPERVIOUS AREA
-  DRAINAGE AREA BOUNDARY LINE
-  DRAINAGE AREA DESIGNATION
-  TRIBUTARY AREA



SINGLE FAMILY DETACHED TYPICAL AREAS



DUPLEX TYPICAL AREAS

IMPERVIOUS AREA (I.A.)				
	COUNT (EA)	I.A. PER LOT (SF)	TOTAL (SF)	TOTAL (AC)
STREETS	ALL	-	526,185	12.08
SINGLE FAMILY DETACHED LOTS	209	1,450	321,860	7.39
DUPLEX LOTS	62	320	19,840	0.46
<b>GRAND TOTAL</b>			<b>867,885</b>	<b>19.92</b>

**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 OVERALL STORM WATER CONTROL

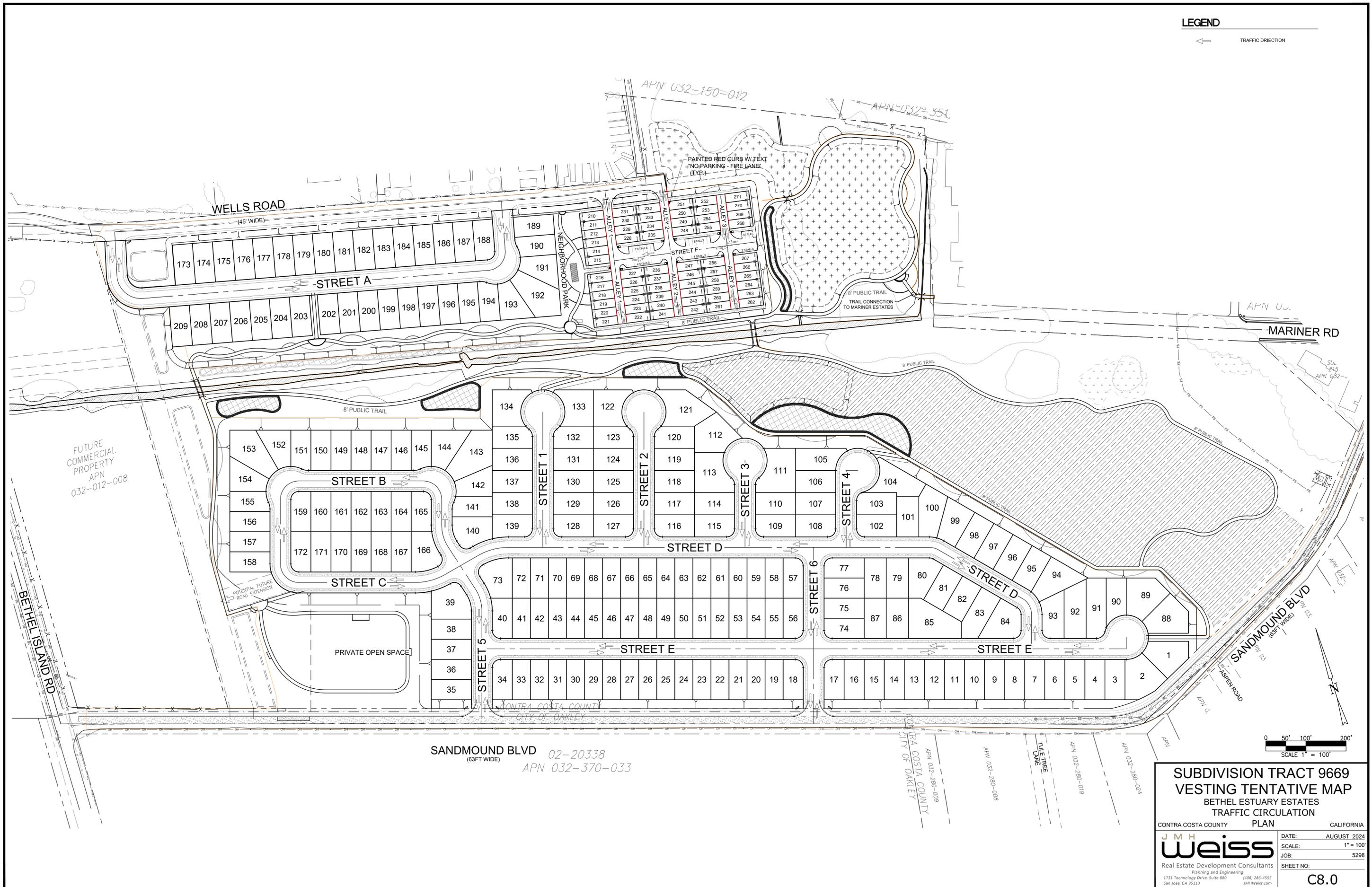
CONTRA COSTA COUNTY      PLAN      CALIFORNIA

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DATE: AUGUST 2024  
 SCALE: 1" = 100'  
 JOB: 5298  
 SHEET NO: **C7.0**

LEGEND

← TRAFFIC DIRECTION

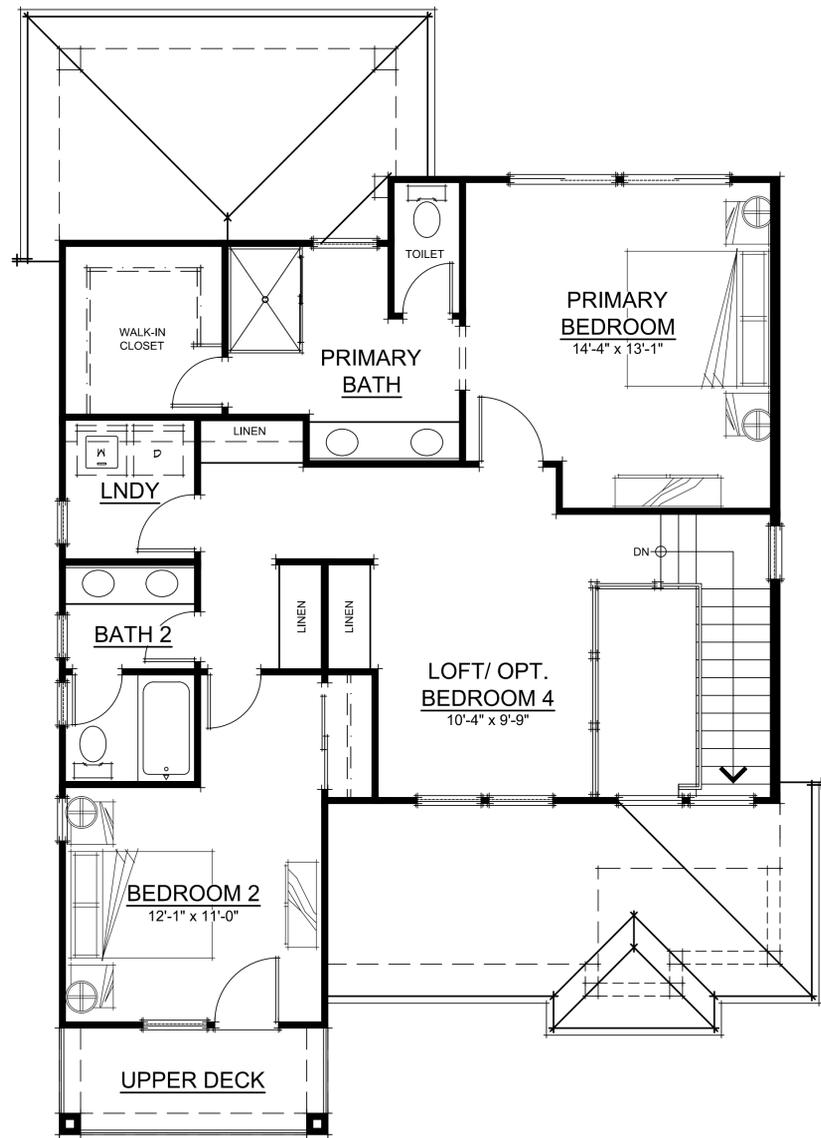


**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
**BETHEL ESTUARY ESTATES**  
**TRAFFIC CIRCULATION**

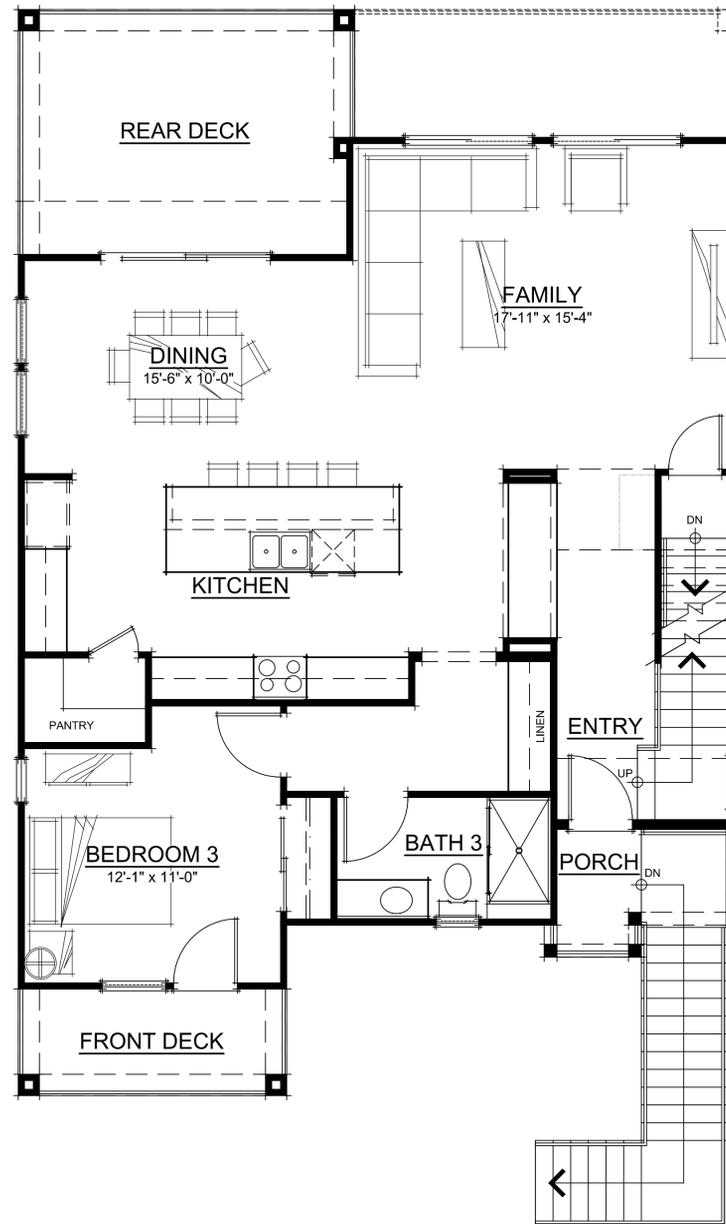
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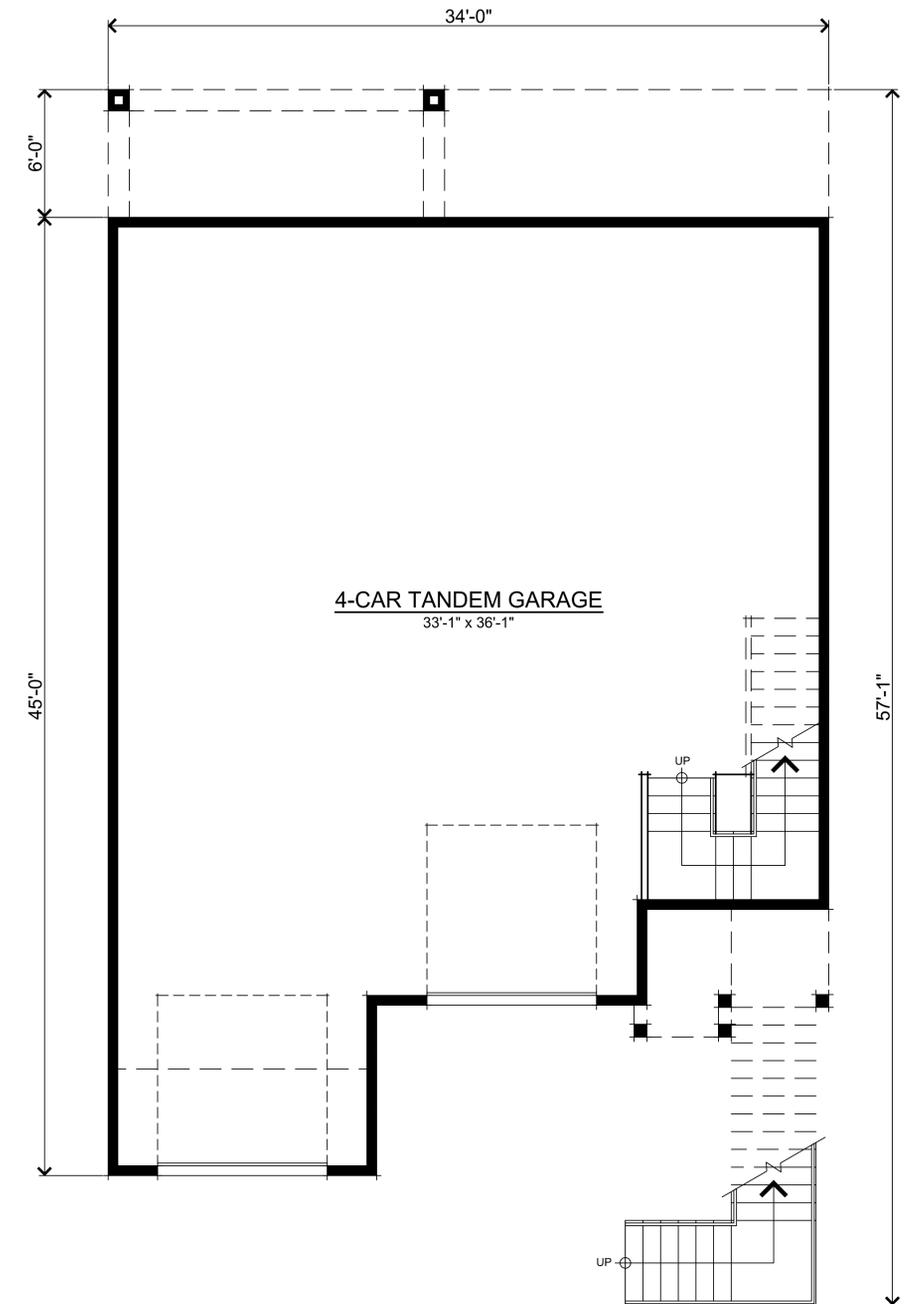
DATE: AUGUST 2024  
 SCALE: 1" = 100'  
 JOB: 5298  
 SHEET NO: **C8.0**



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 1 SQUARE FOOTAGES	
SECOND FLOOR	1172 SQ. FT.
THIRD FLOOR	1089 SQ. FT.
TOTAL LIVING	2261 SQ. FT.
4-CAR TANDEM GARAGE	1321 SQ. FT.
PORCH	46 SQ. FT.
FRONT DECK	63 SQ. FT.
REAR DECK	180 SQ. FT.
UPPER DECK	63 SQ. FT.
TYPE V-B CONSTRUCTION	



PLAN 1 FLOOR PLANS  
A01

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ELEVATION 'C'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH

ELEVATION 'B'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- BOARD & BATT SIDING
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAILING

ELEVATION 'A'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH



ELEVATION 'C'

ELEVATION 'B'

ELEVATION 'A'



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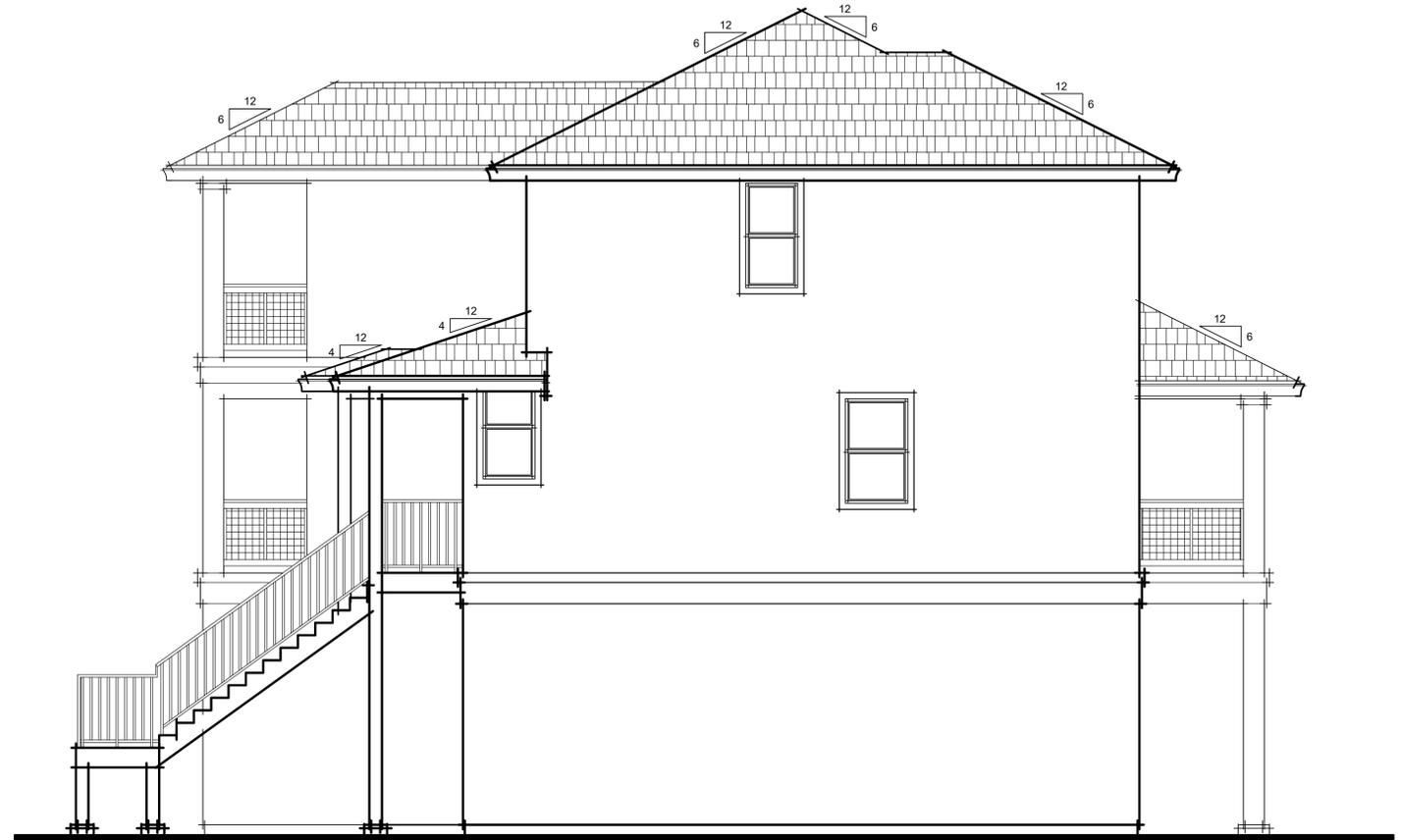
PLAN 1 FRONT ELEVATIONS  
A02

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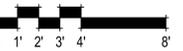




FRONT ELEVATION



RIGHT ELEVATION



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PLAN 1 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A03

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LEFT ELEVATION



REAR ELEVATION



PLAN 1 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS

A04

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FRONT ELEVATION



RIGHT ELEVATION



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PLAN 1 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A05

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LEFT ELEVATION



REAR ELEVATION



PLAN 1 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS

A06

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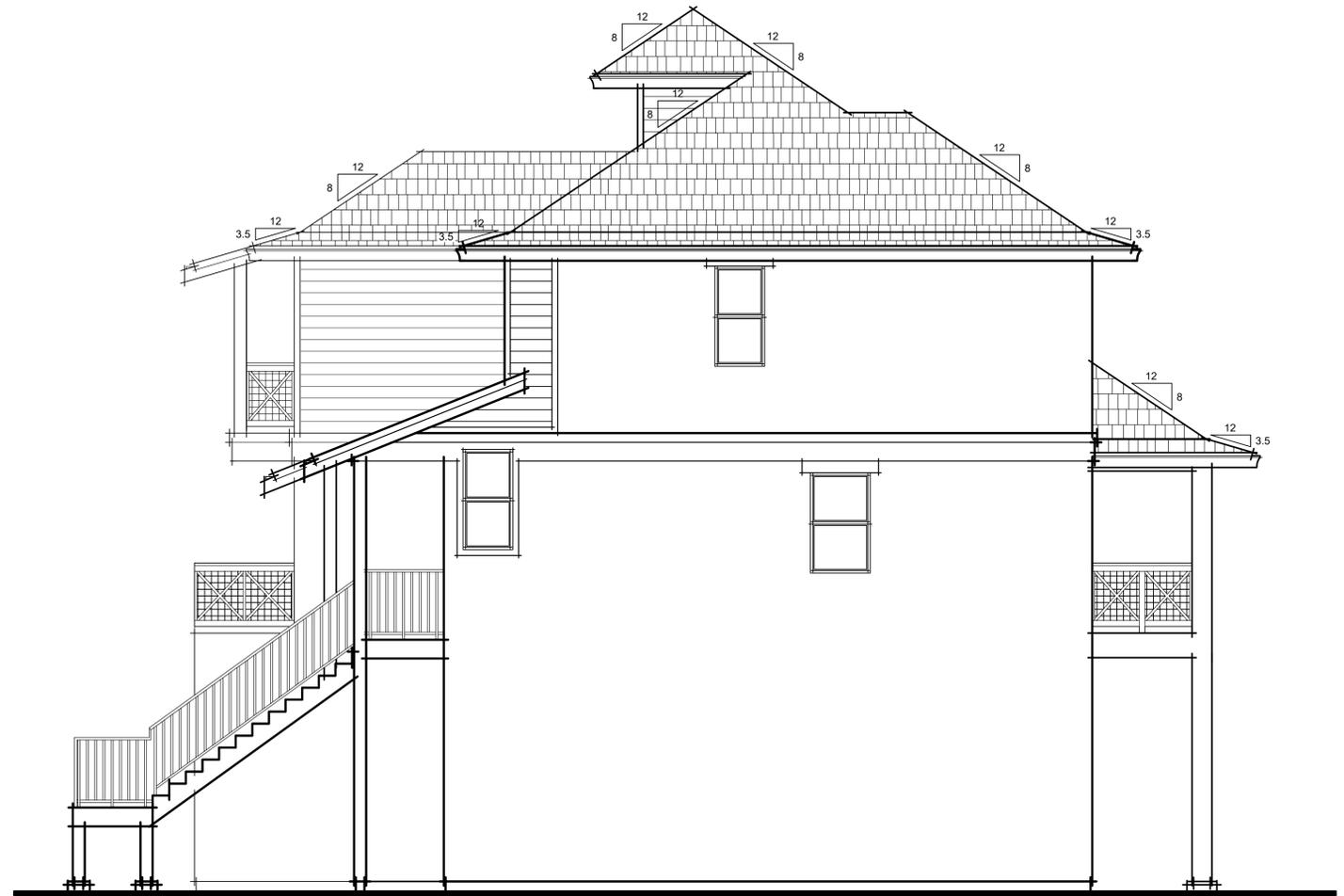
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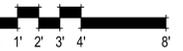




FRONT ELEVATION



RIGHT ELEVATION



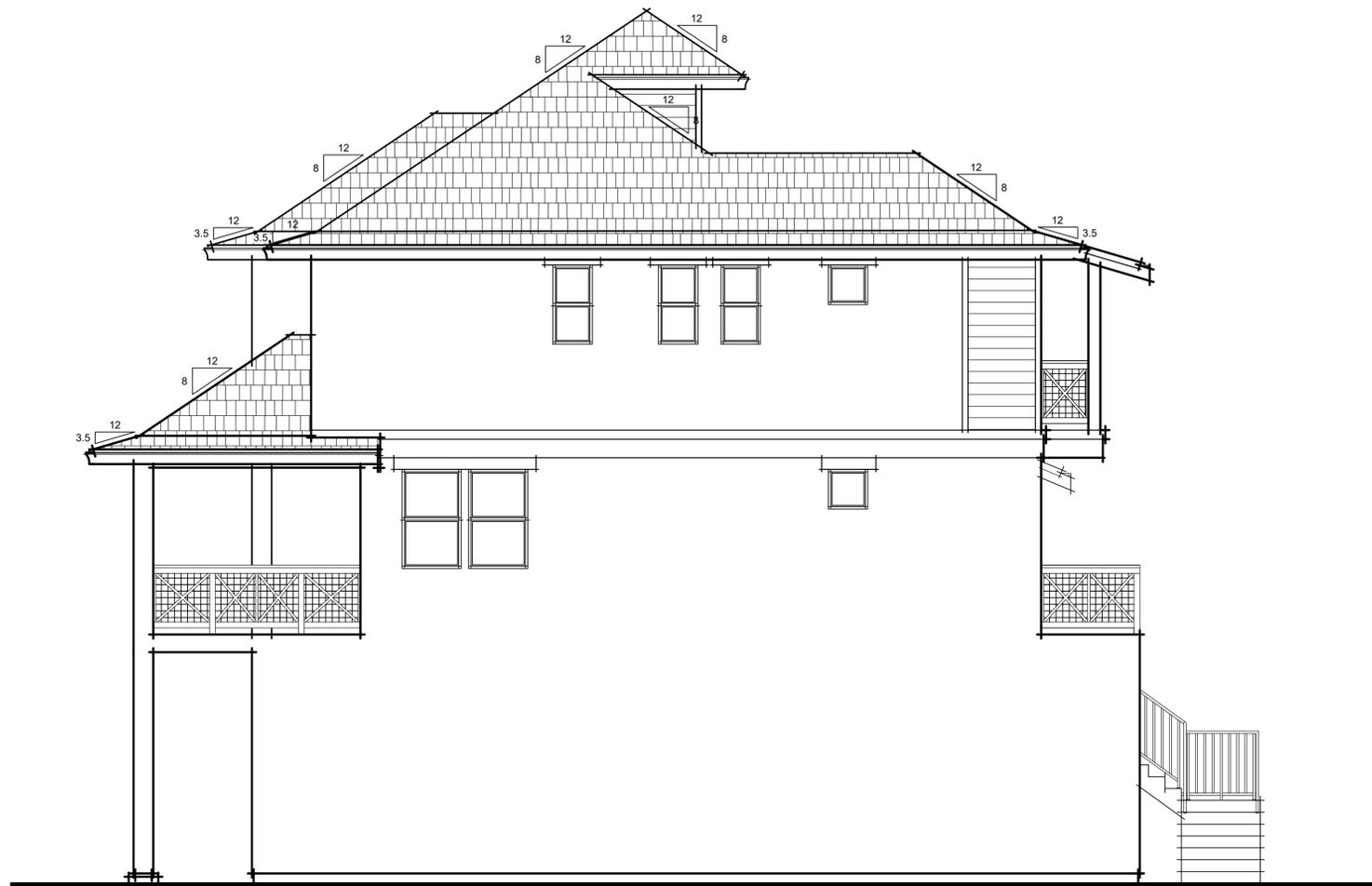
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PLAN 1 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A07

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LEFT ELEVATION



REAR ELEVATION



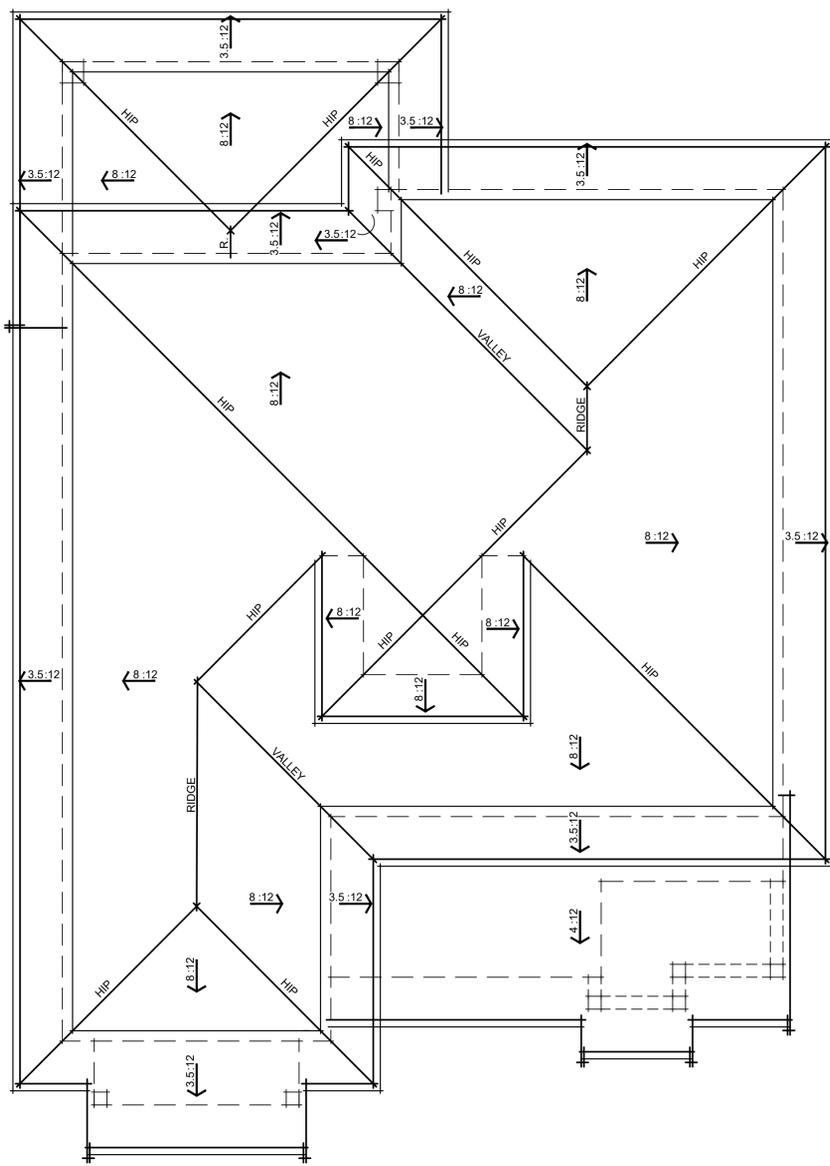
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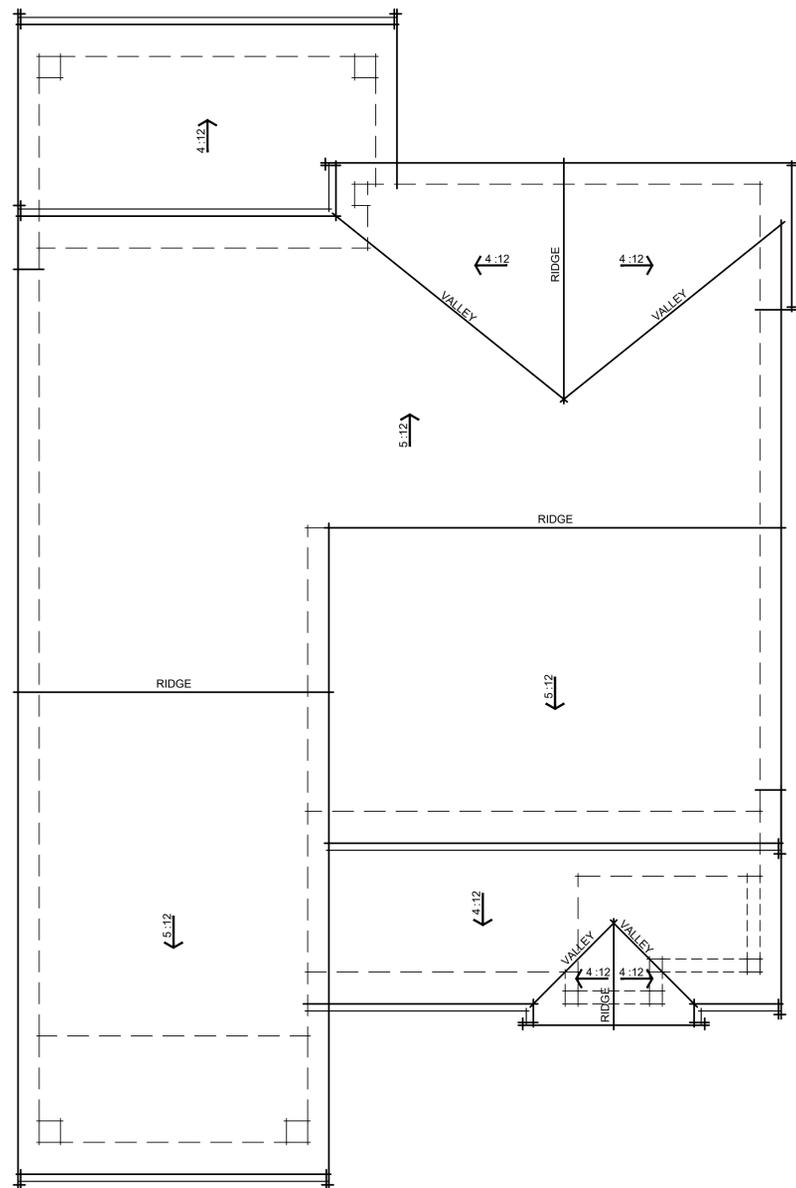
PLAN 1 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS  
 A08

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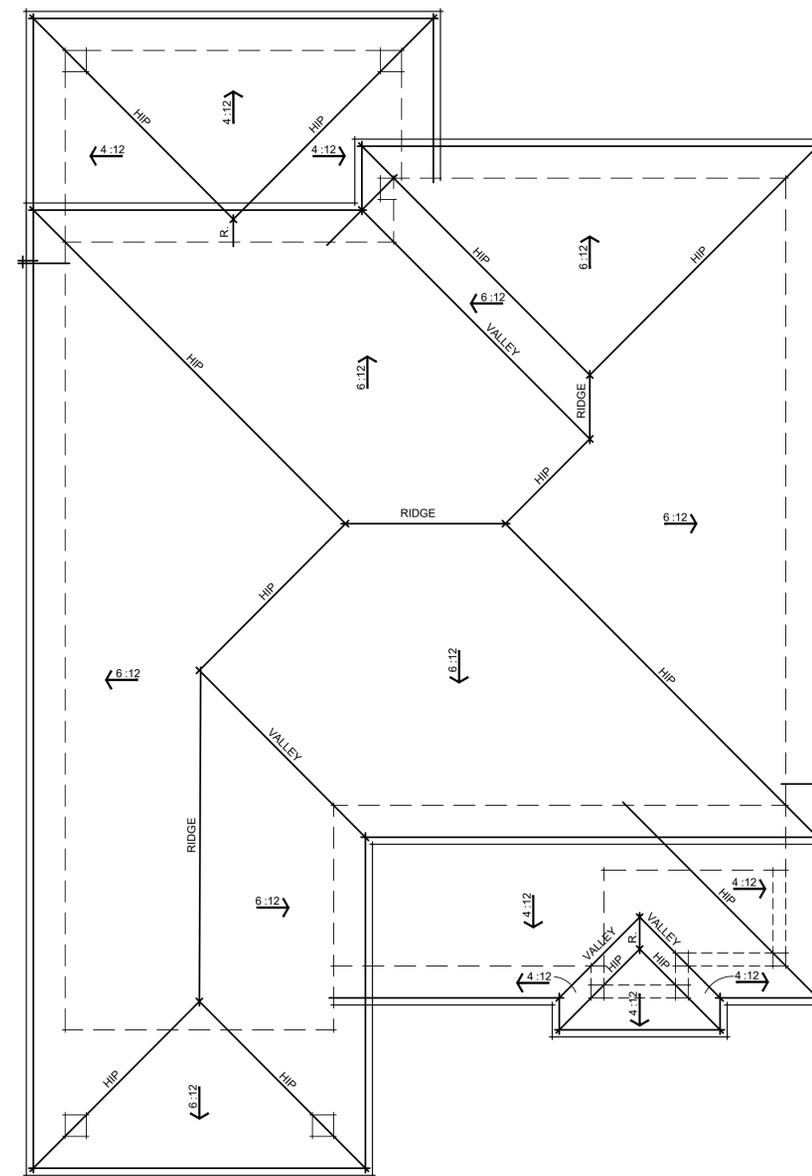




ELEVATION 'C' ROOF PLAN



ELEVATION 'B' ROOF PLAN



ELEVATION 'A' ROOF PLAN



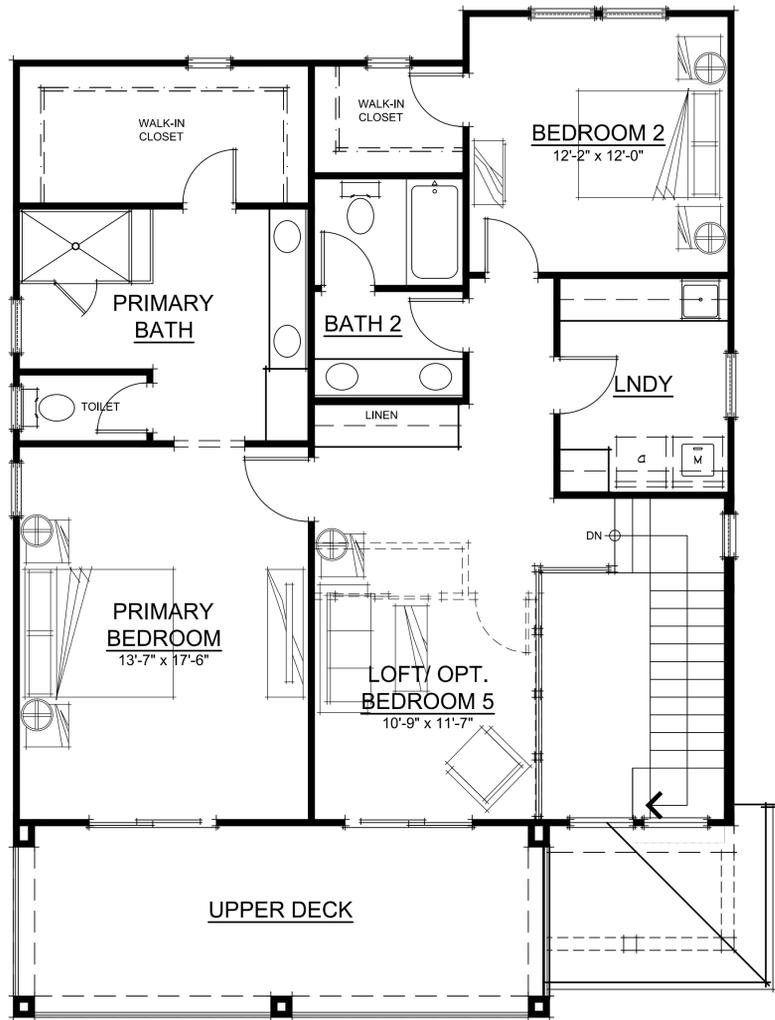
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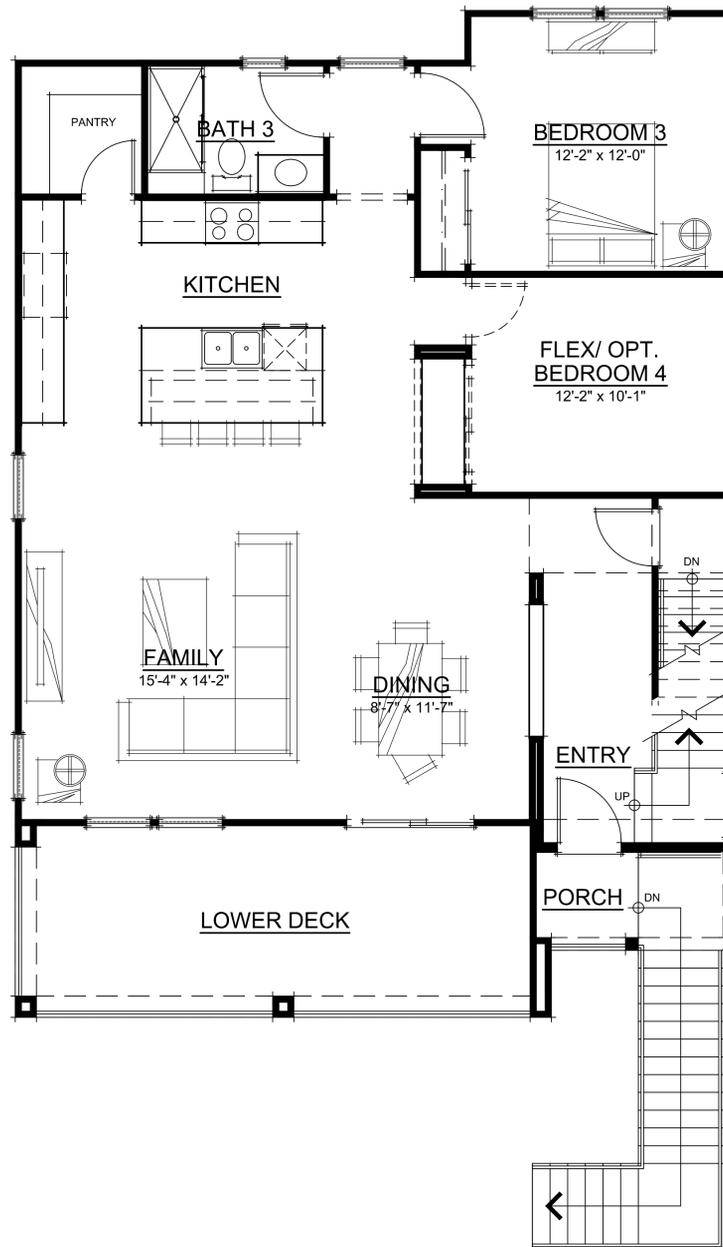
PLAN 1 ROOF PLANS  
 A09

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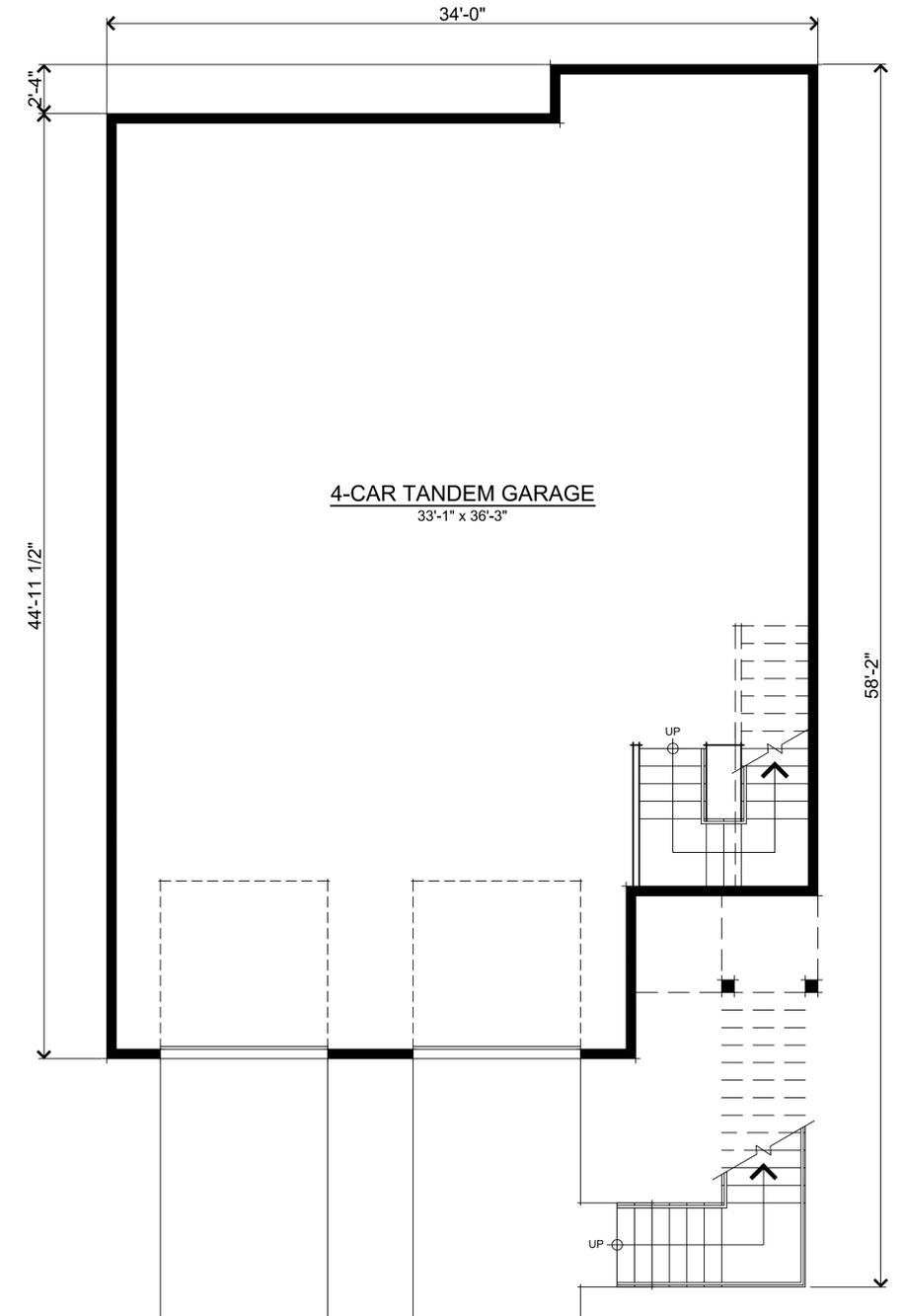




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 2 SQUARE FOOTAGES

SECOND FLOOR	1259 SQ. FT.
THIRD FLOOR	1248 SQ. FT.
TOTAL LIVING	2507 SQ. FT.
4-CAR TANDEM GARAGE	1475 SQ. FT.
PORCH	55 SQ. FT.
LOWER DECK	221 SQ. FT.
UPPER DECK	228 SQ. FT.

TYPE V-B CONSTRUCTION



PLAN 2 FLOOR PLANS  
A10

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ELEVATION 'C'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH

ELEVATION 'B'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- BOARD & BATT SIDING
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAILING

ELEVATION 'A'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH



ELEVATION 'C'

ELEVATION 'B'

ELEVATION 'A'



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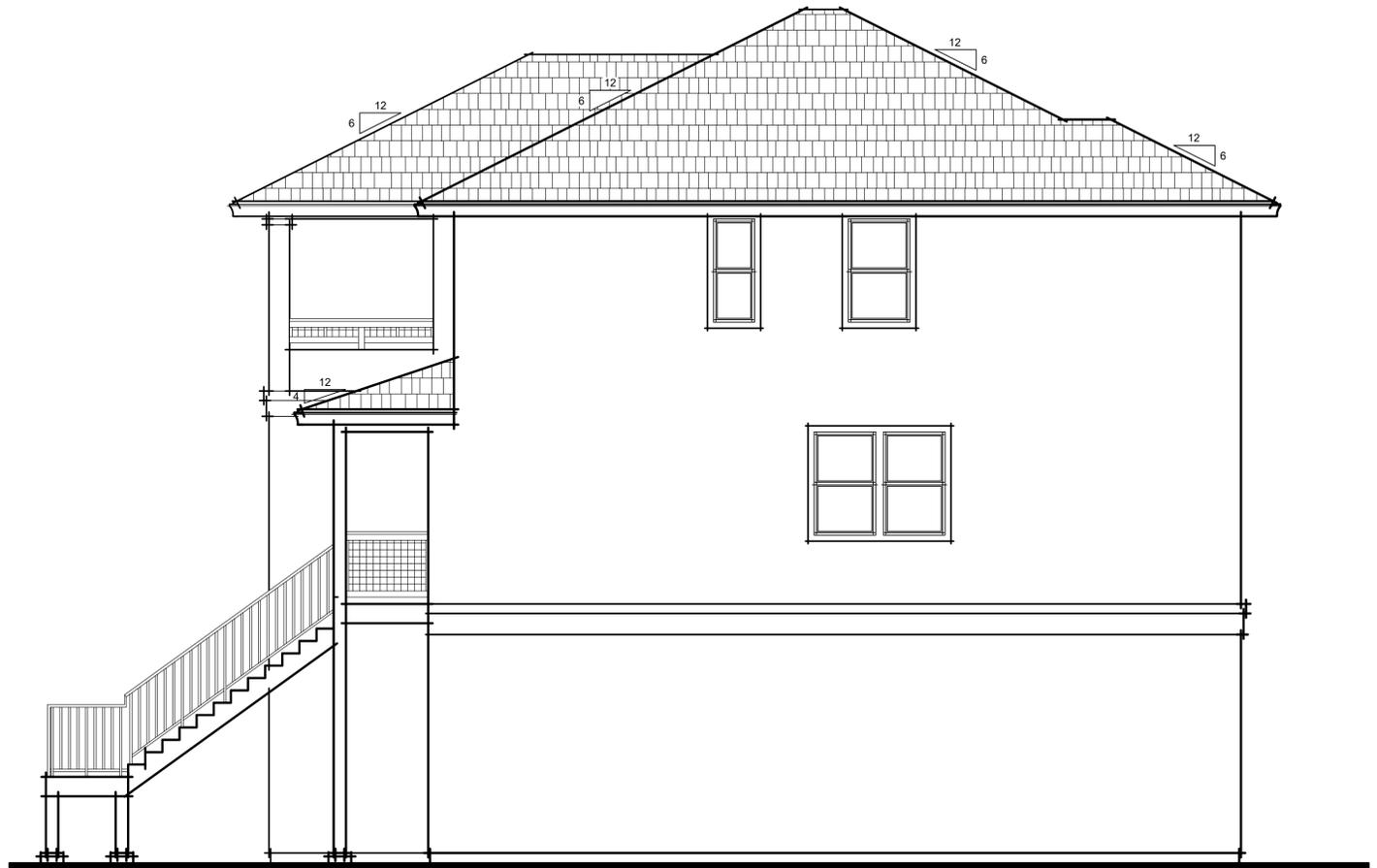
PLAN 2 FRONT ELEVATIONS  
A11

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FRONT ELEVATION



RIGHT ELEVATION



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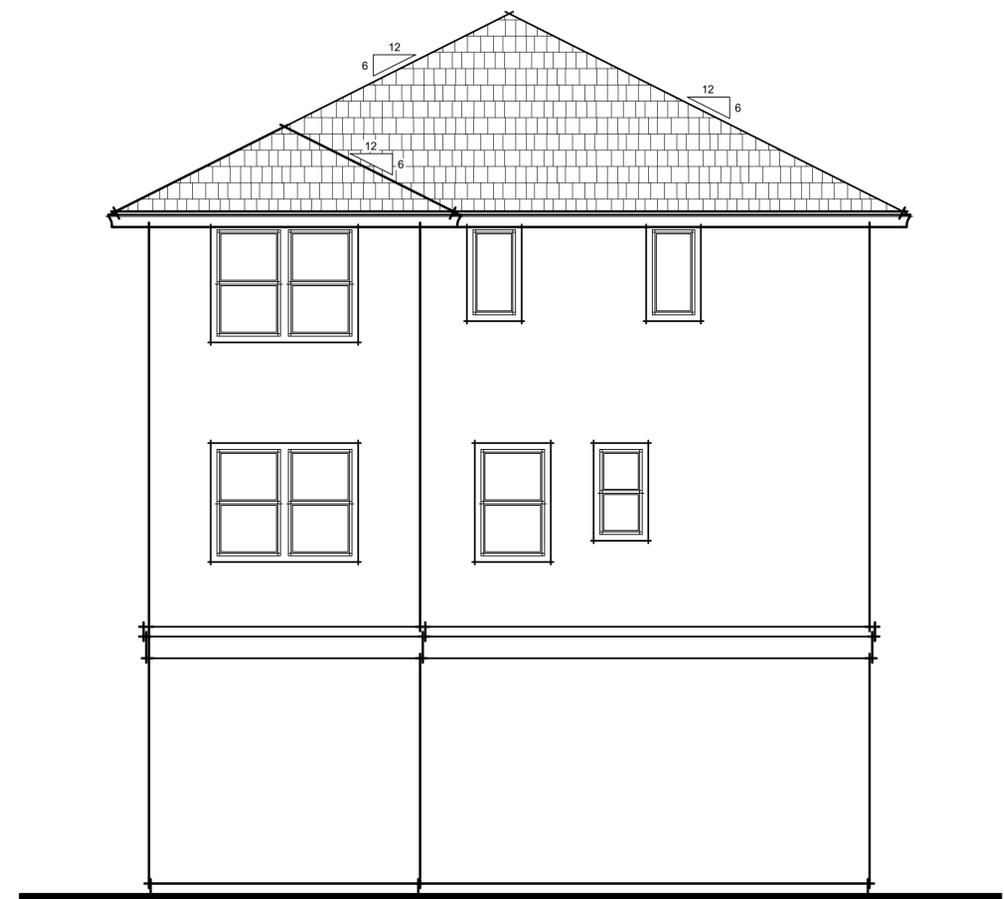
PLAN 2 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A12

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LEFT ELEVATION



REAR ELEVATION



PLAN 2 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS  
A13

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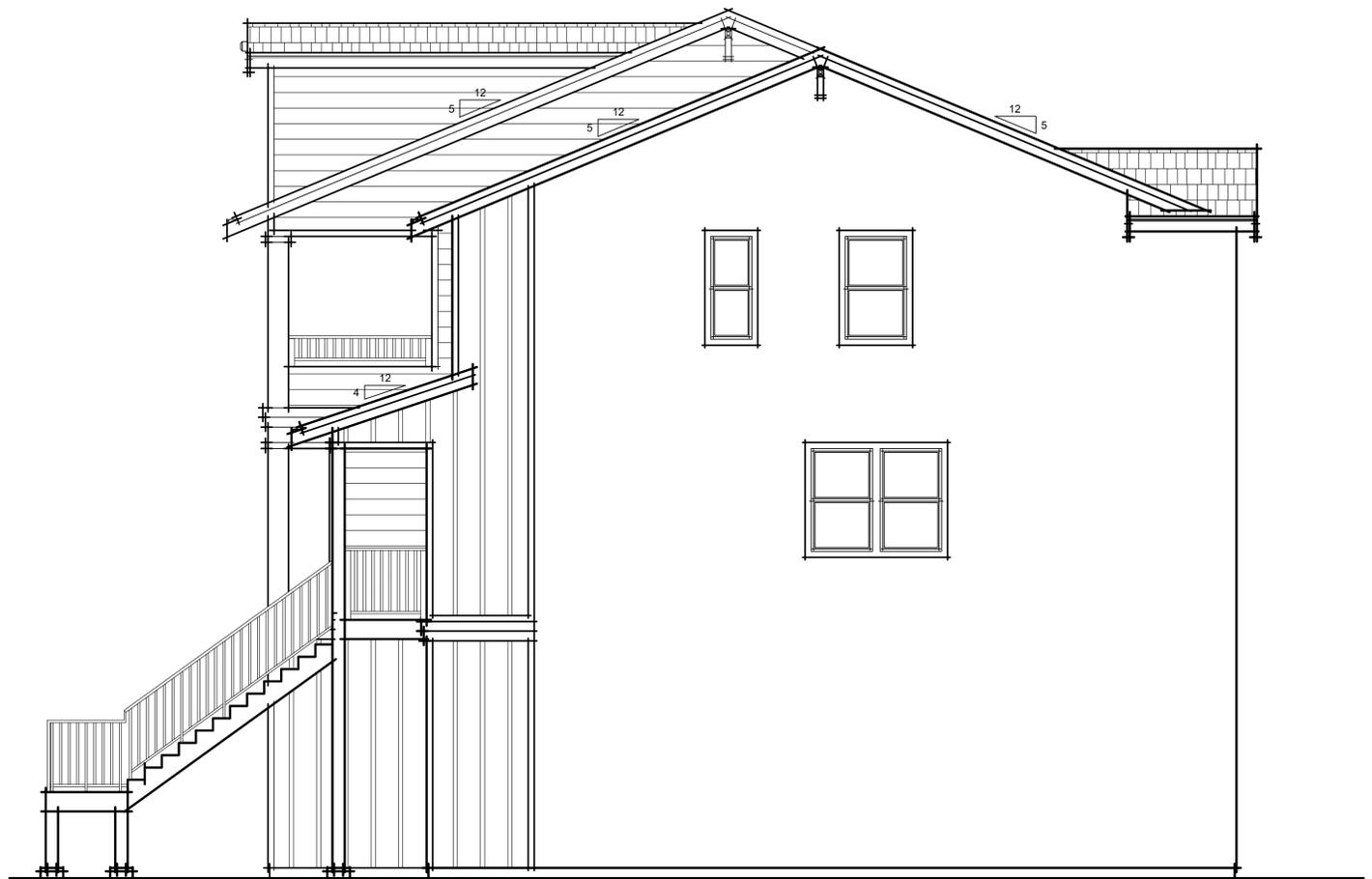
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FRONT ELEVATION



RIGHT ELEVATION



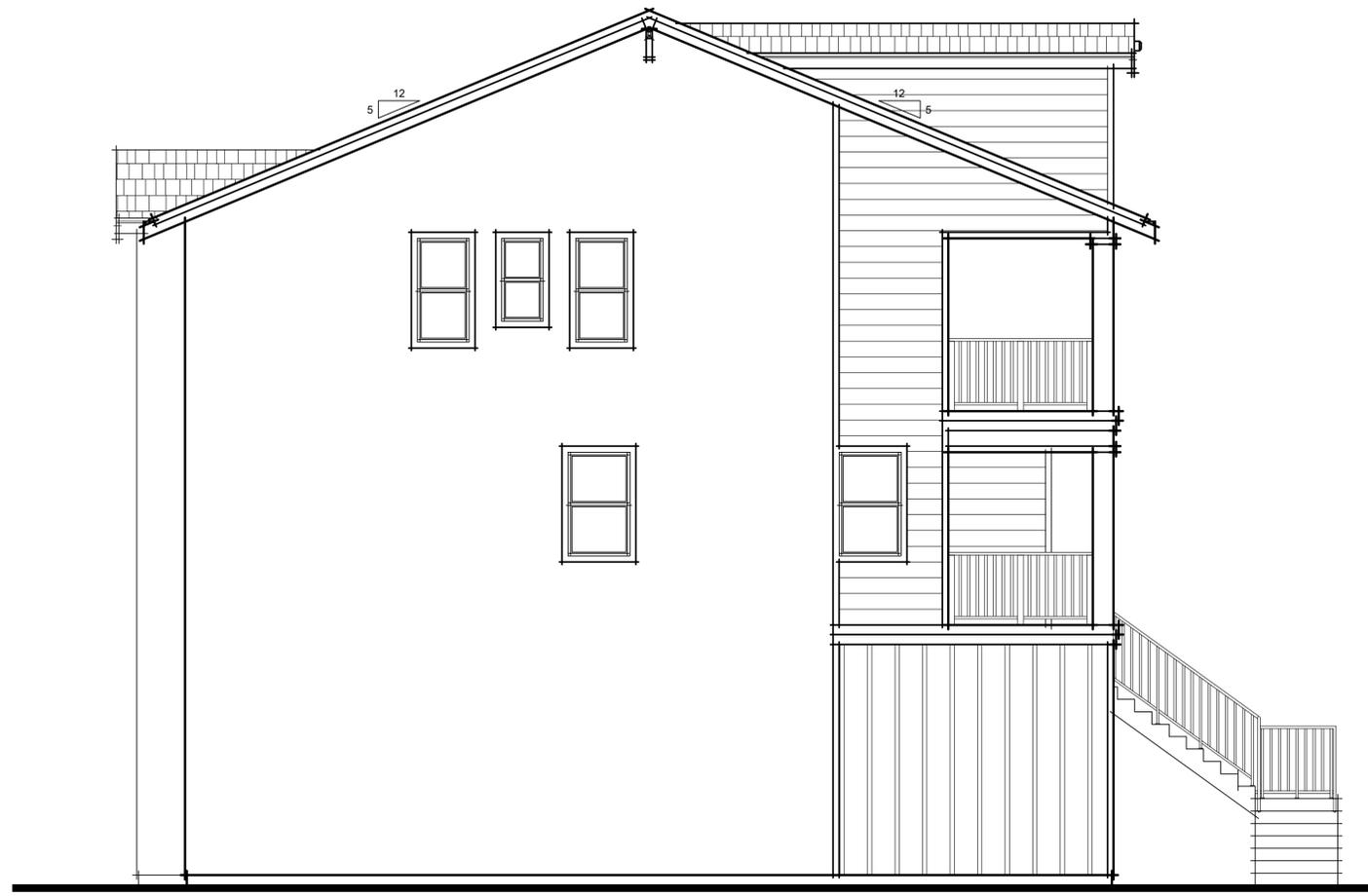
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PLAN 2 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A14

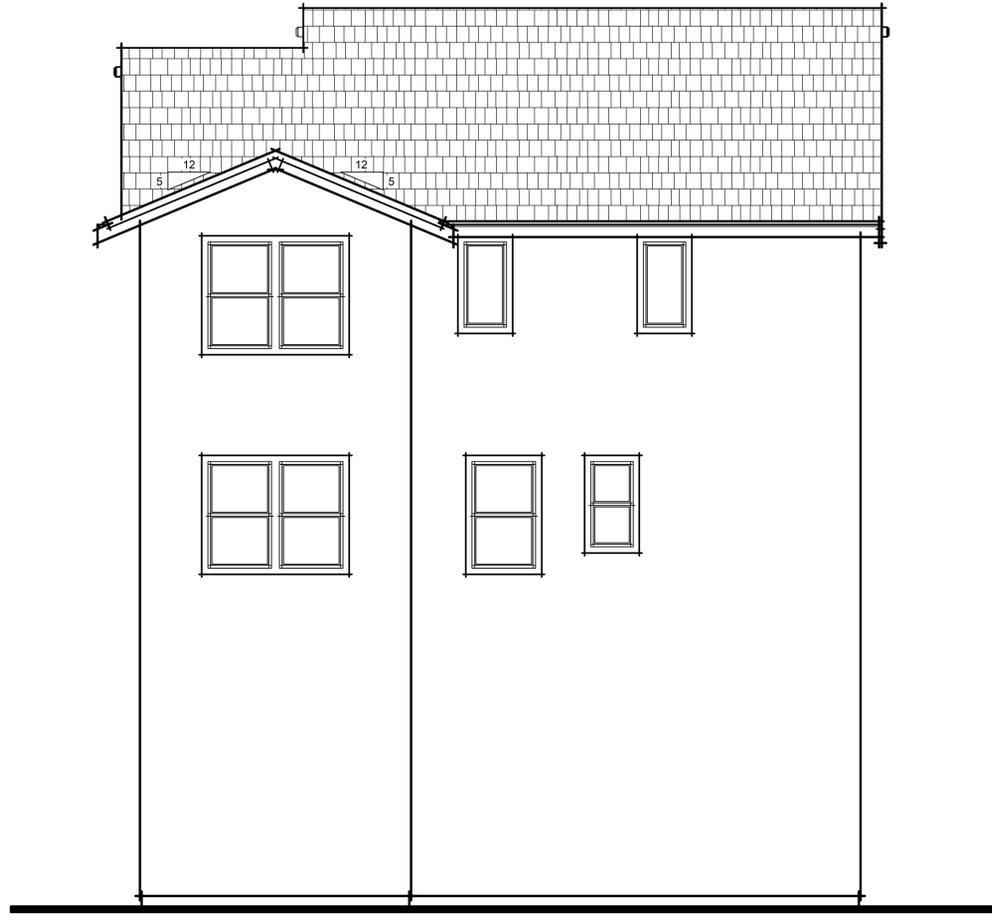
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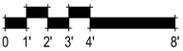




LEFT ELEVATION



REAR ELEVATION



PLAN 2 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS  
A15

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FRONT ELEVATION



RIGHT ELEVATION



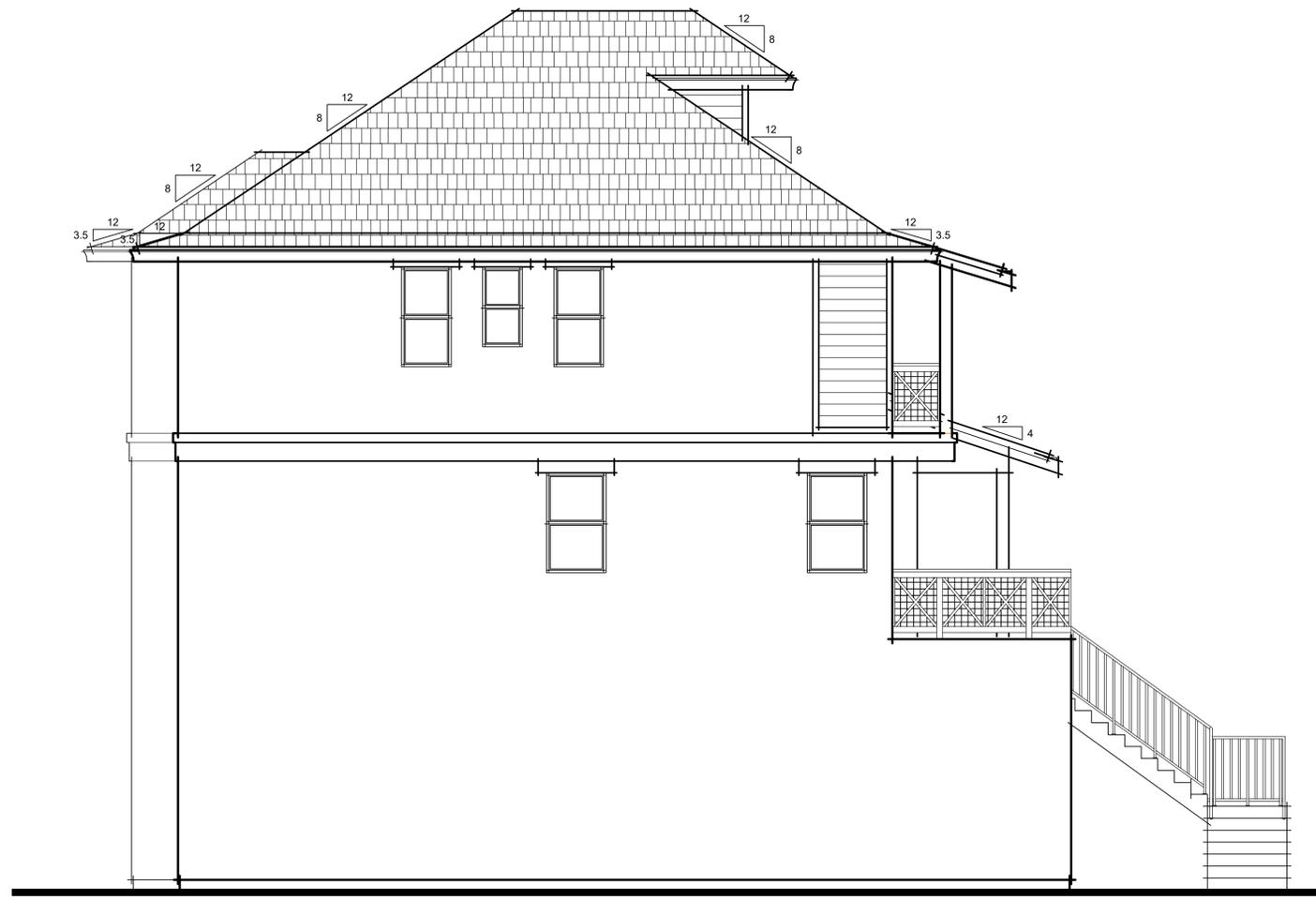
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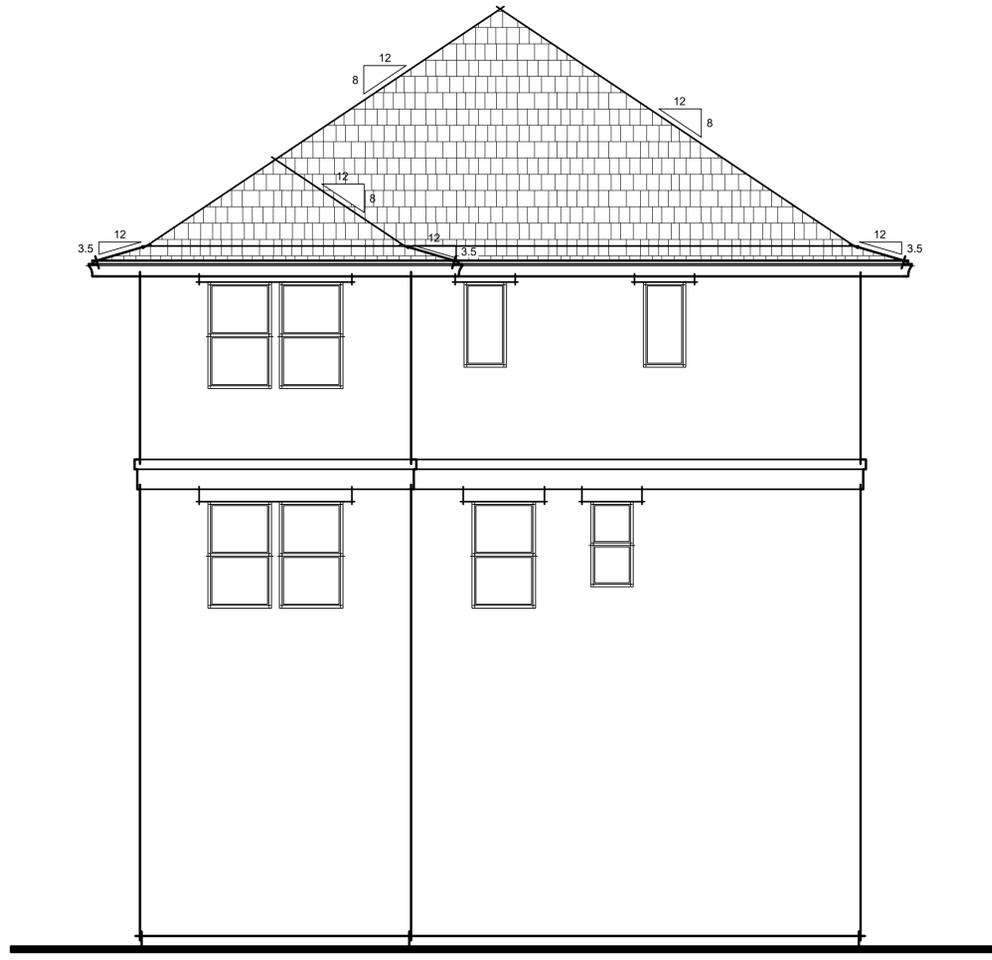
PLAN 2 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A16

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LEFT ELEVATION



REAR ELEVATION



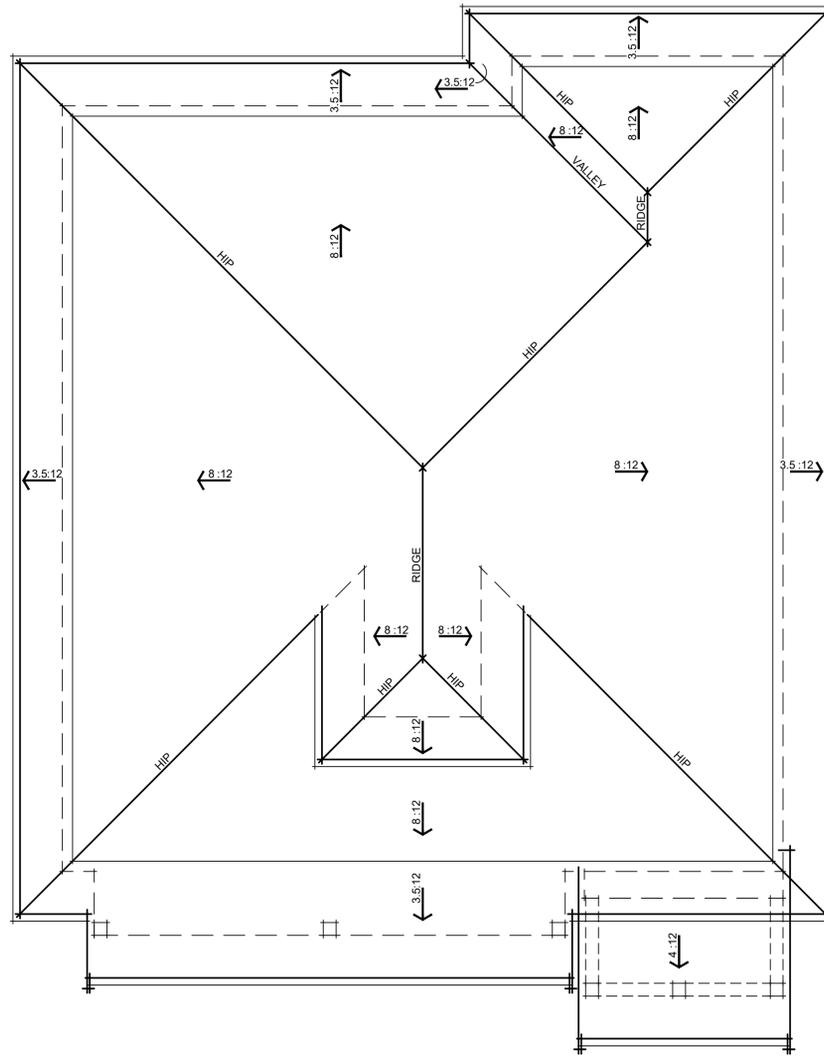
PLAN 2 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS  
A17

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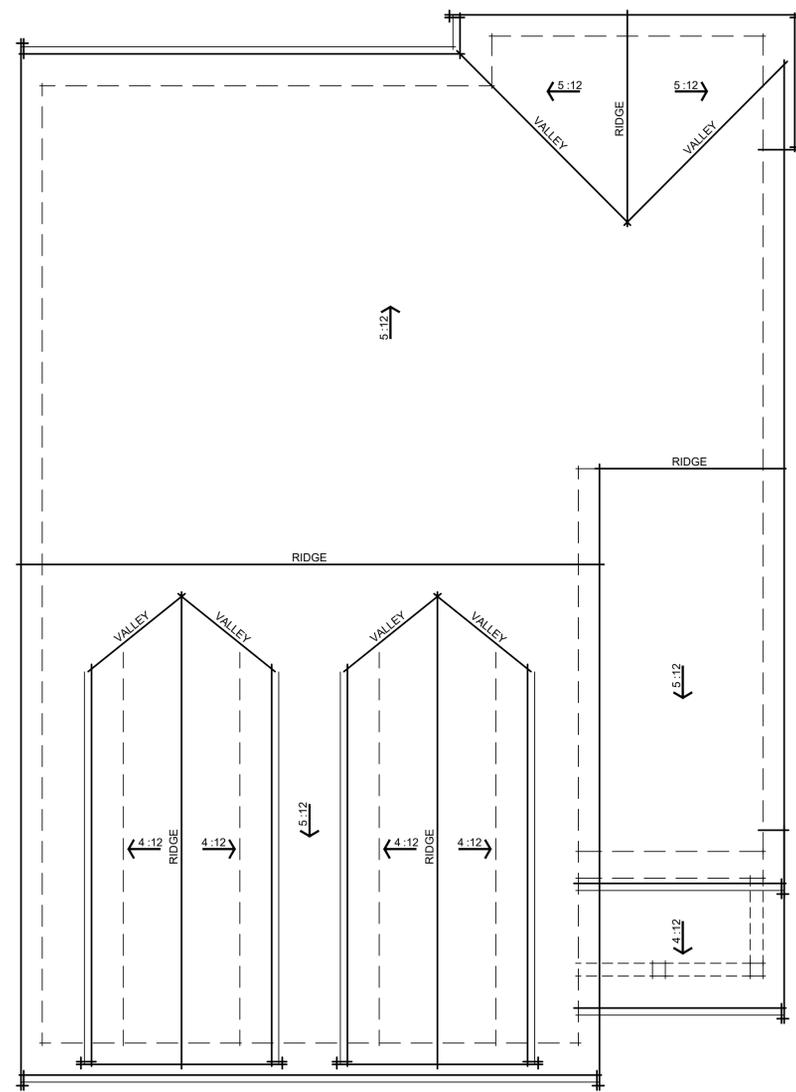
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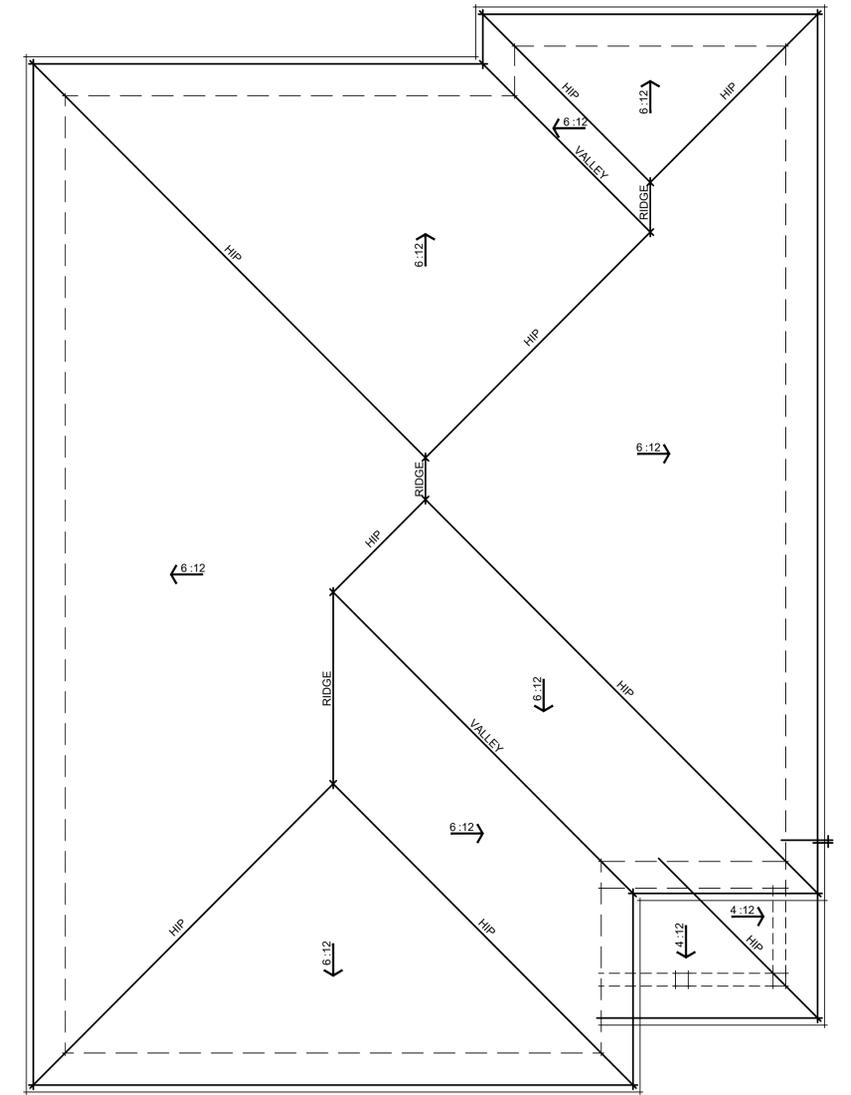




ELEVATION 'C' ROOF PLAN



ELEVATION 'B' ROOF PLAN



ELEVATION 'A' ROOF PLAN



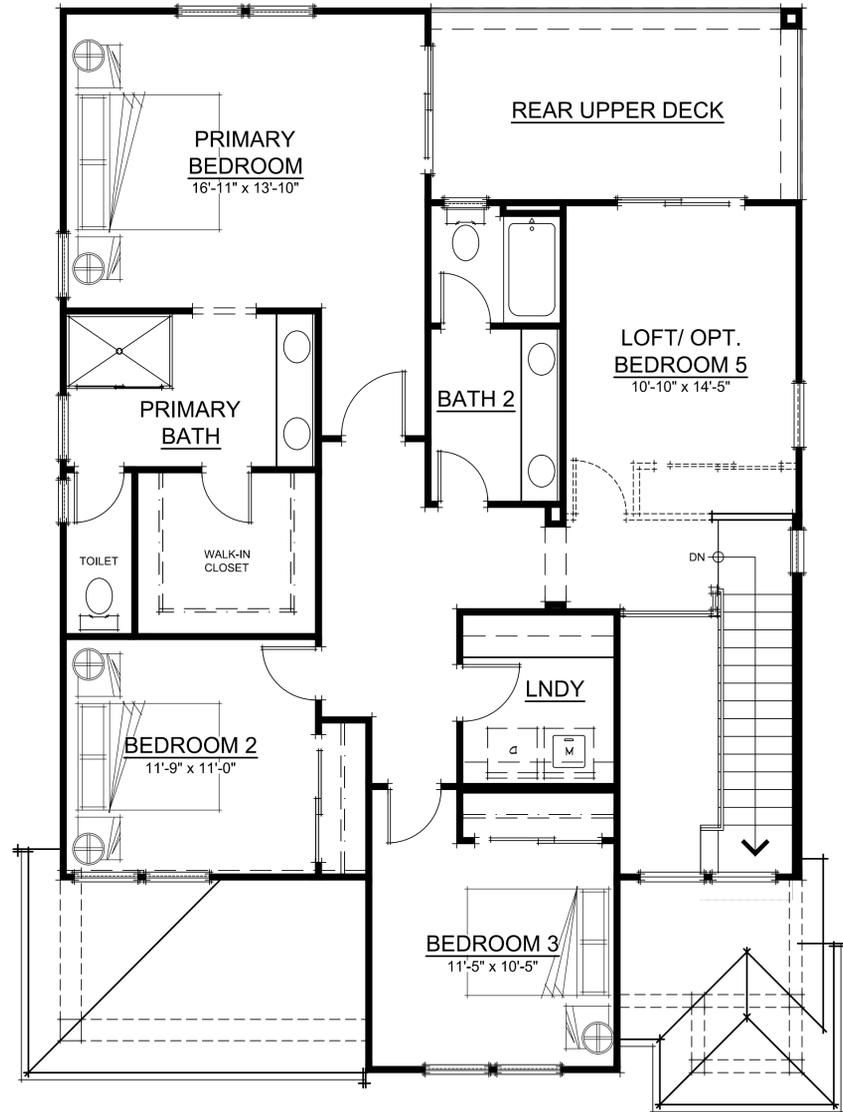
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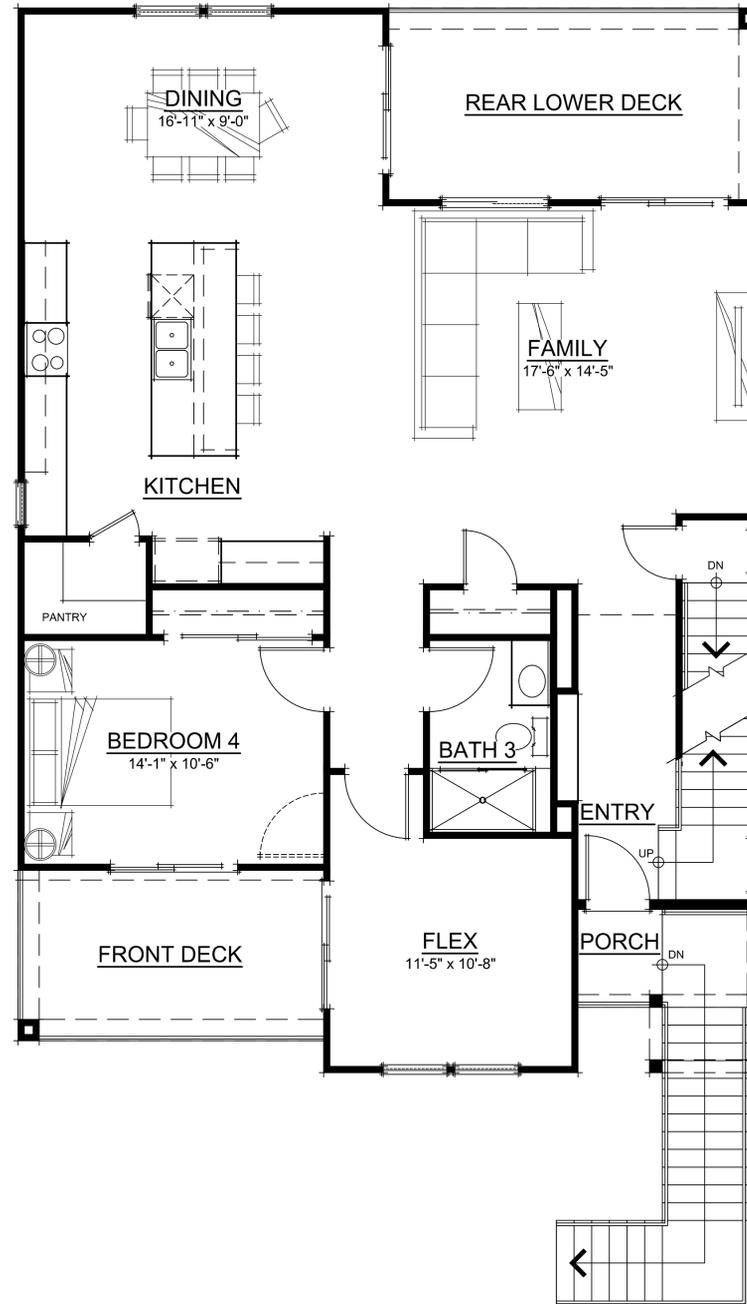
PLAN 2 ROOF PLANS  
 A18

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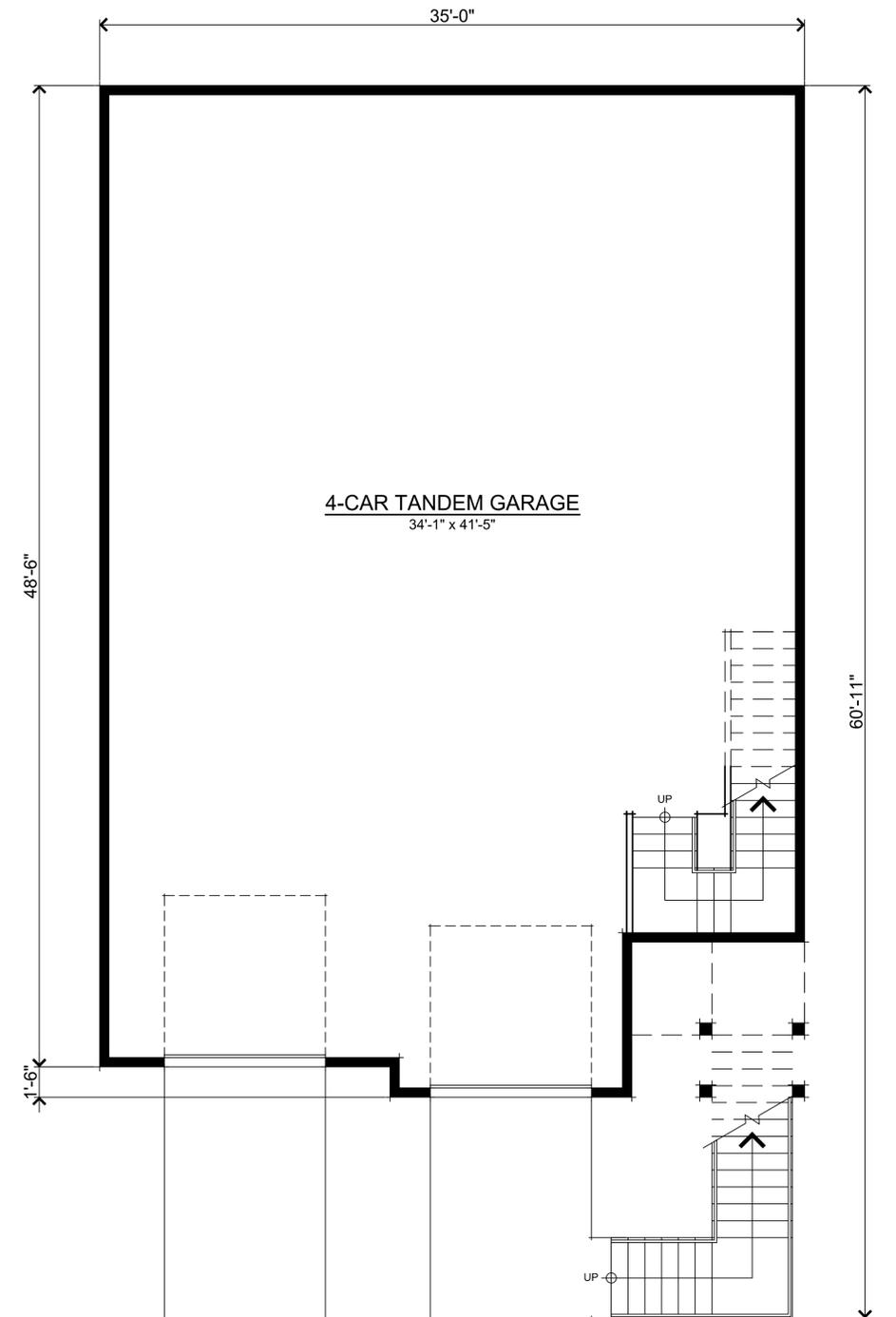




THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 3 SQUARE FOOTAGES	
SECOND FLOOR	1390 SQ. FT.
THIRD FLOOR	1298 SQ. FT.
TOTAL LIVING	2688 SQ. FT.
4 - CAR TANDEM GARAGE	1664 SQ. FT.
PORCH	40 SQ. FT.
FRONT DECK	115 SQ. FT.
REAR LOWER DECK	158 SQ. FT.
REAR UPPER DECK	158 SQ. FT.
TYPE V-B CONSTRUCTION	



ELEVATION 'C'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH

ELEVATION 'B'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- BOARD & BATT SIDING
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAILING

ELEVATION 'A'

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH



ELEVATION 'C'

ELEVATION 'B'

ELEVATION 'A'



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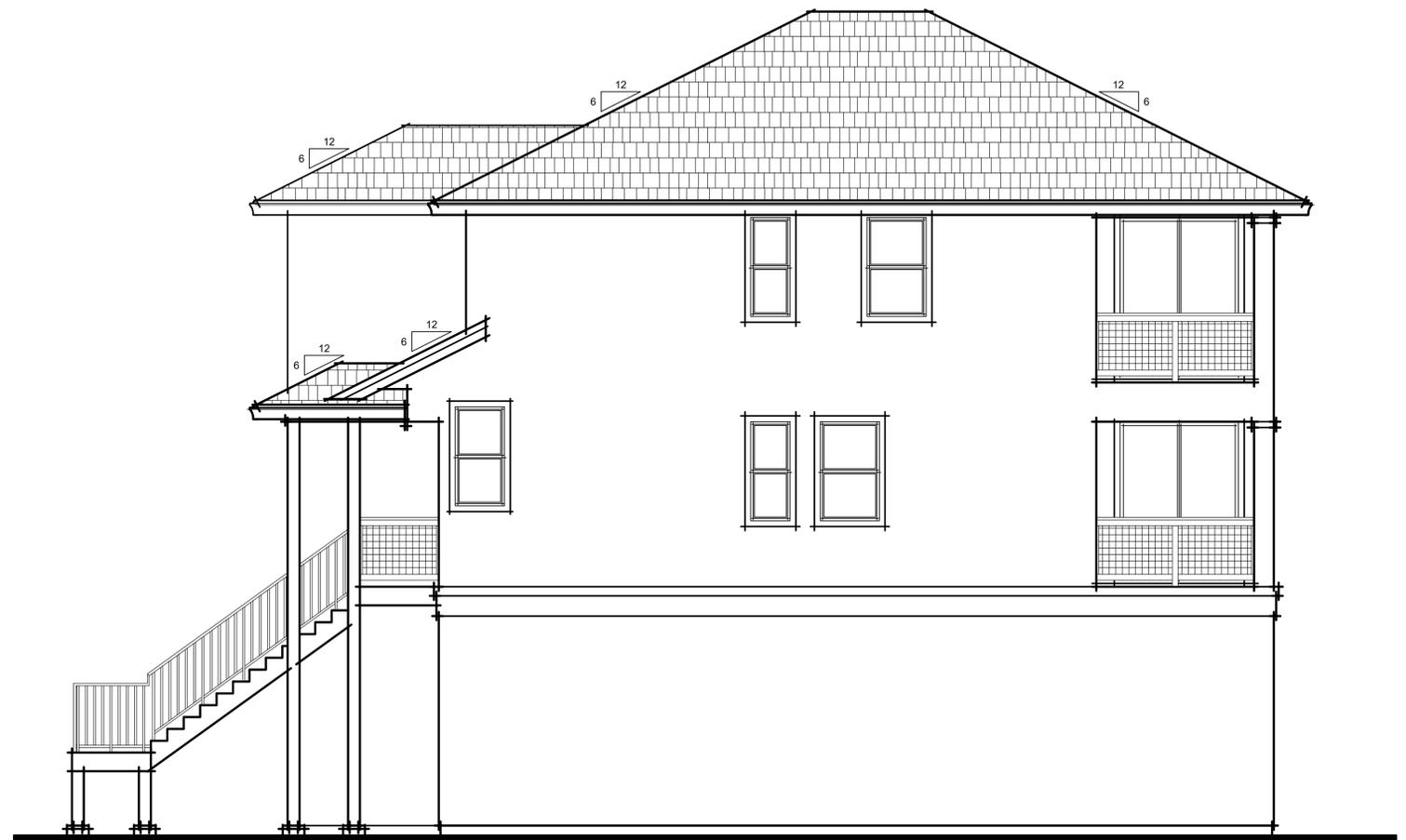
PLAN 3 FRONT ELEVATIONS  
A20

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FRONT ELEVATION



RIGHT ELEVATION



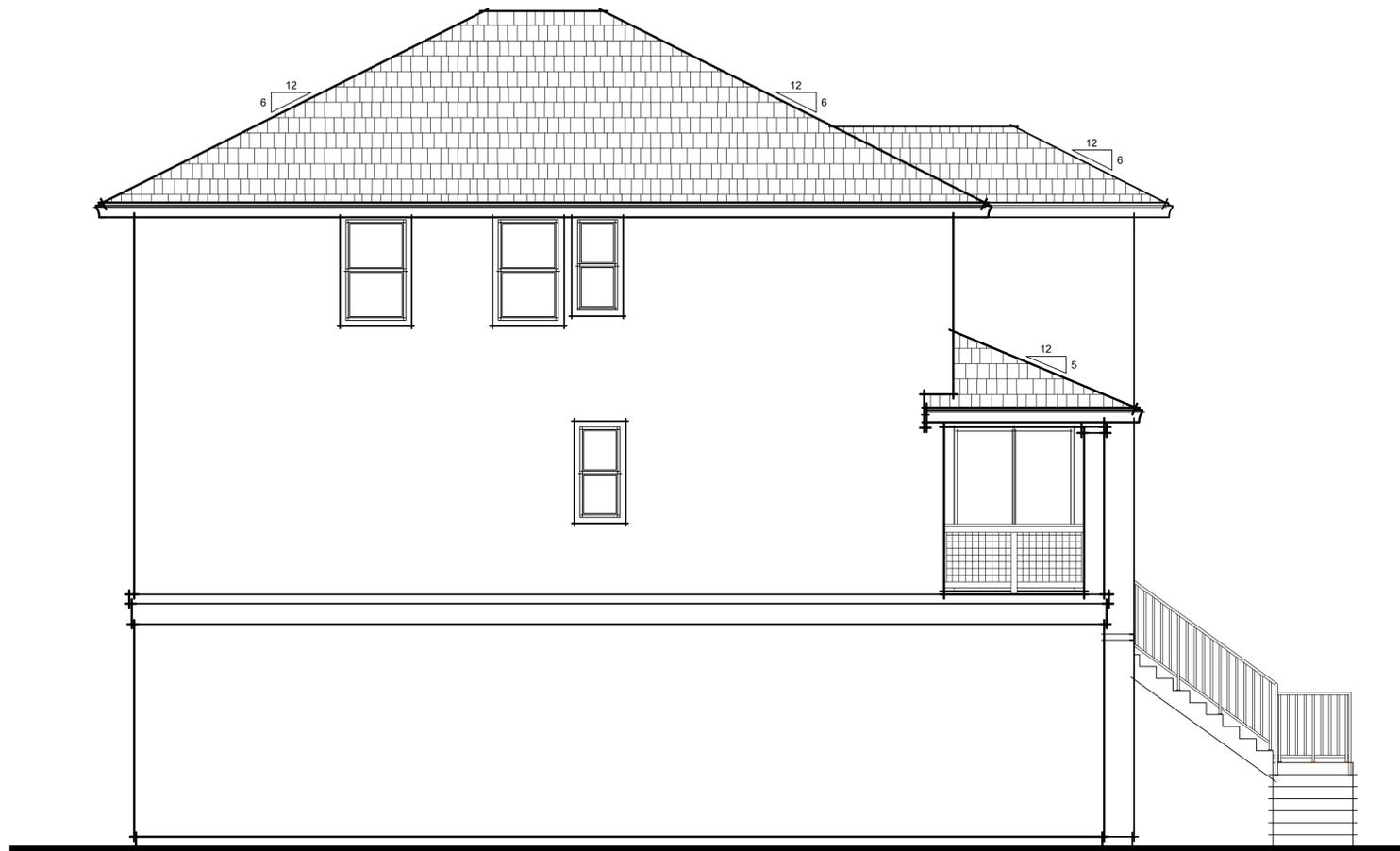
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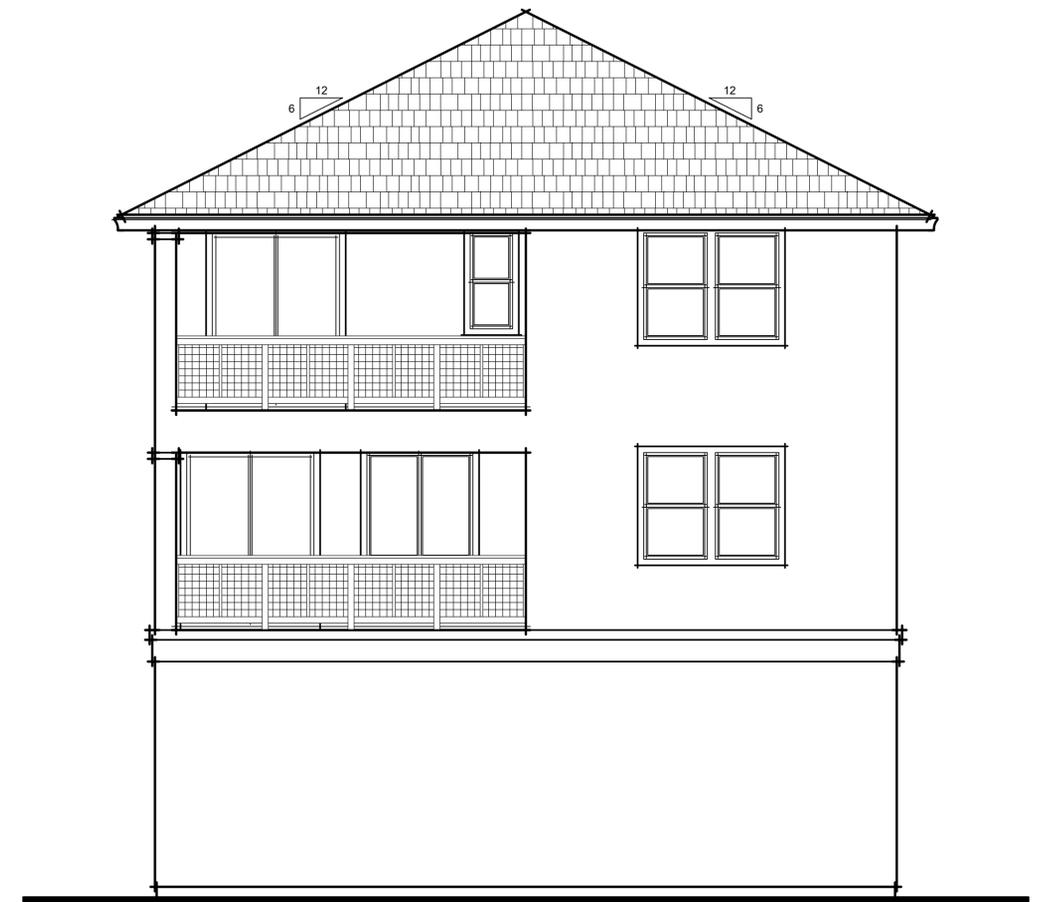
PLAN 3 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A21

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LEFT ELEVATION



REAR ELEVATION



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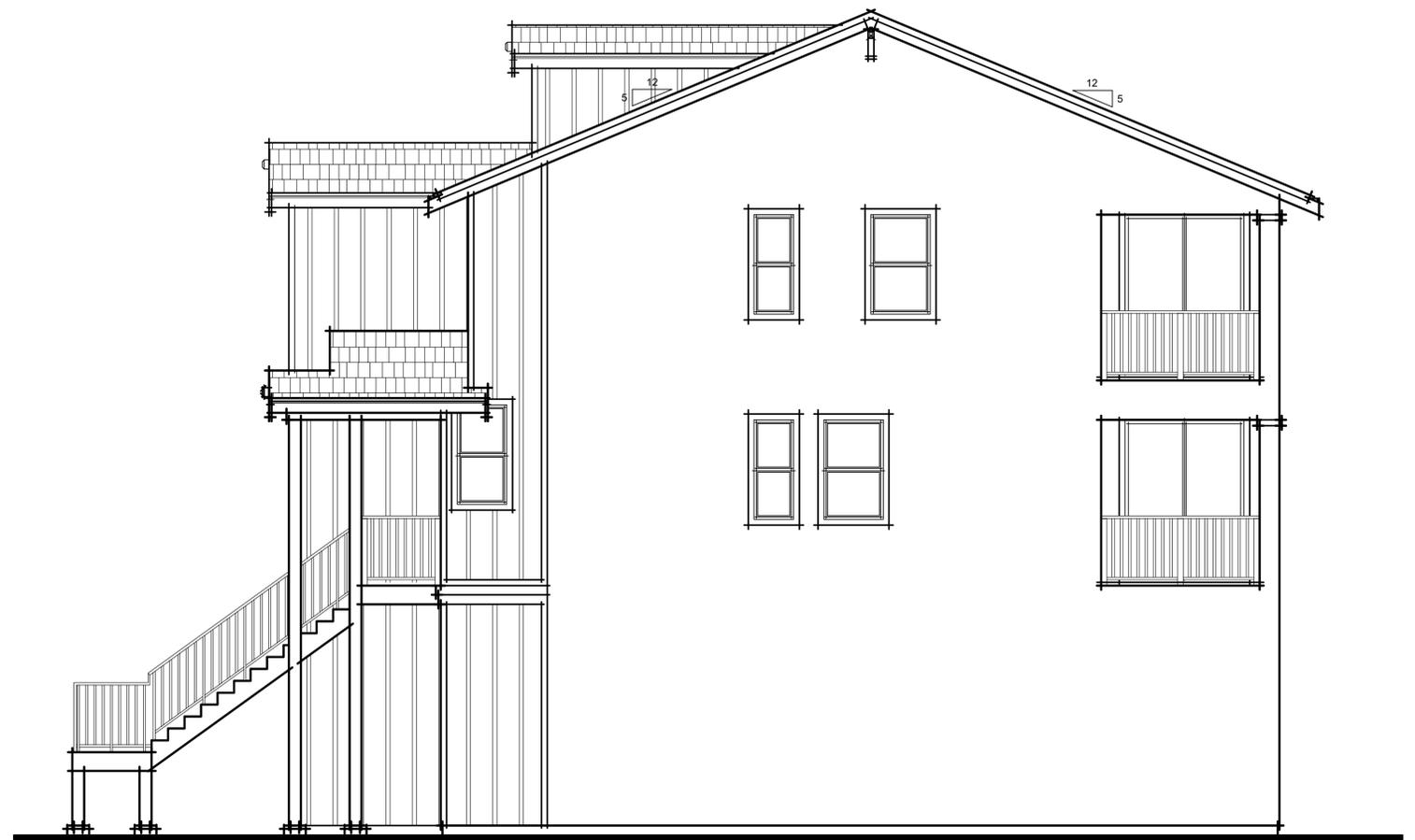
PLAN 3 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS  
 A22

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FRONT ELEVATION



RIGHT ELEVATION



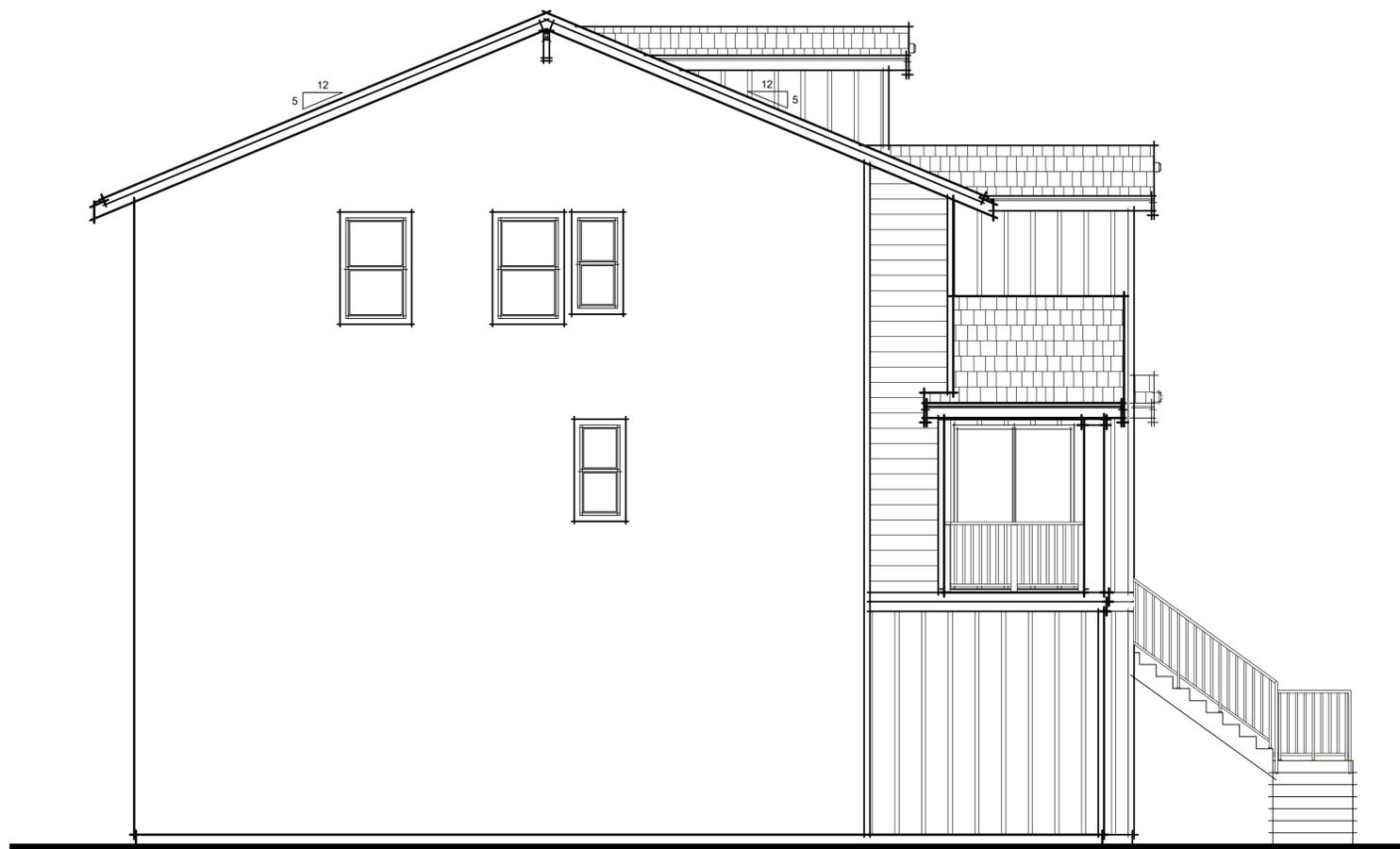
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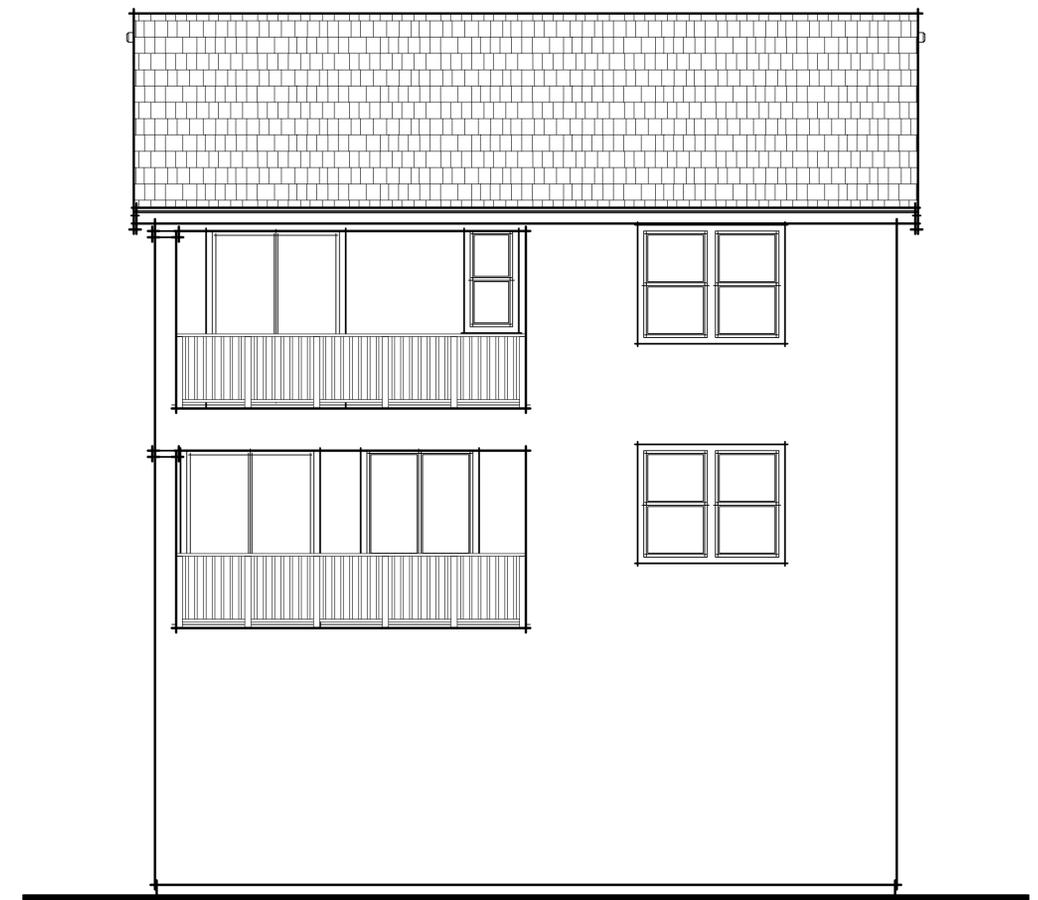
PLAN 3 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A23

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LEFT ELEVATION



REAR ELEVATION



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PLAN 3 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS  
 A24

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FRONT ELEVATION



RIGHT ELEVATION



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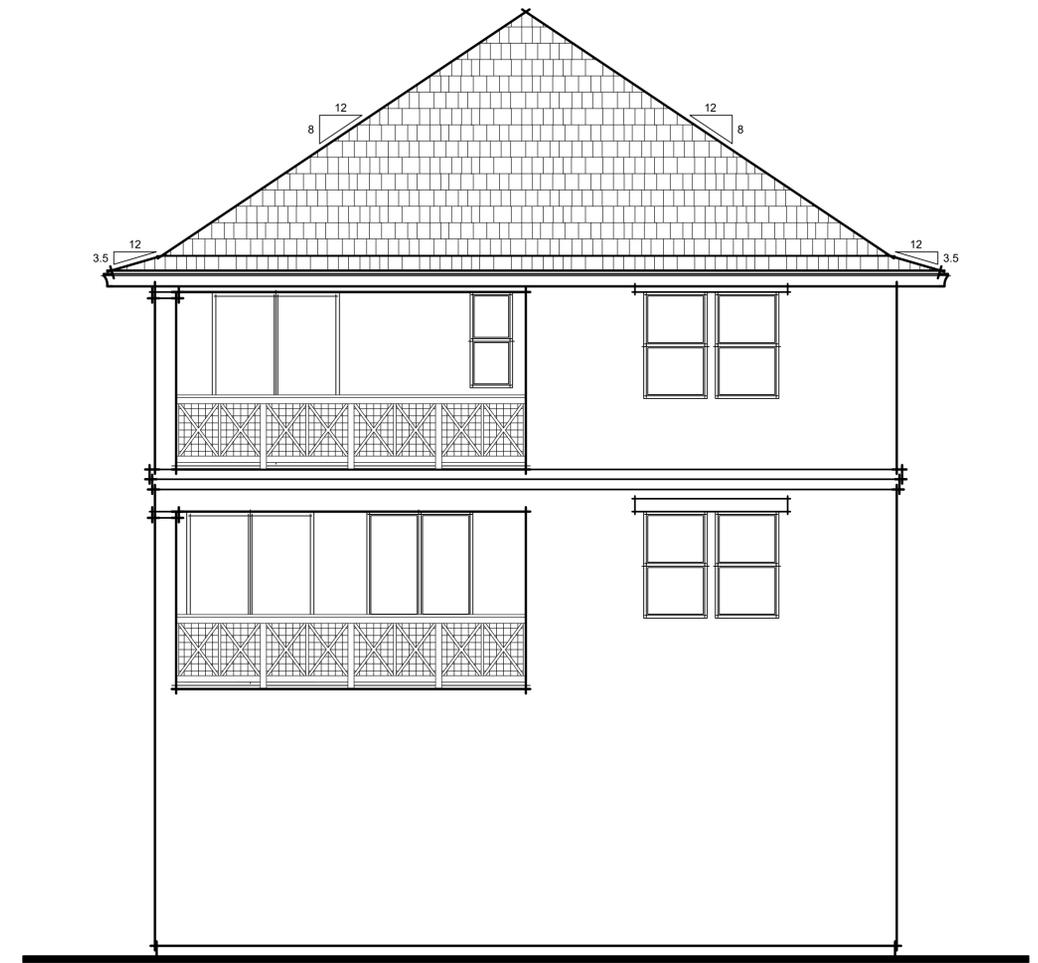
PLAN 3 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A25

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LEFT ELEVATION



REAR ELEVATION



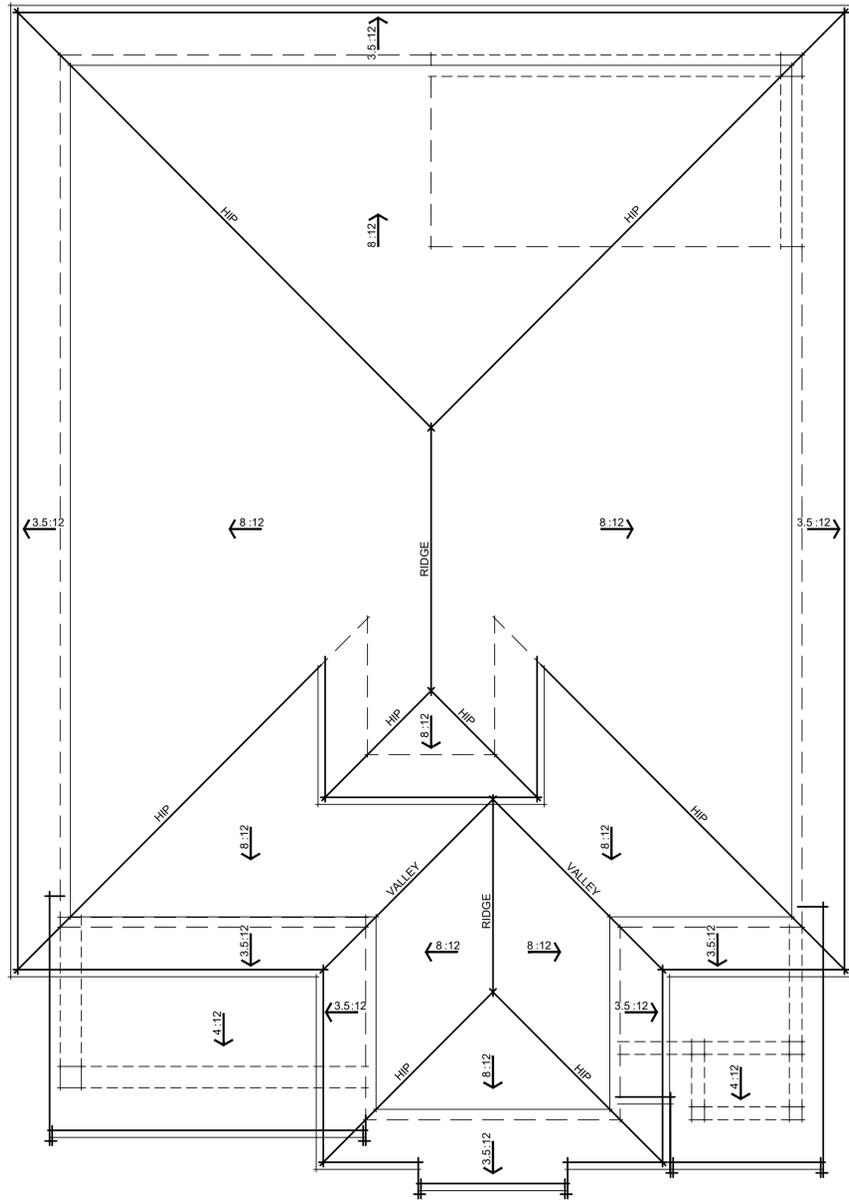
PLAN 3 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS  
A26

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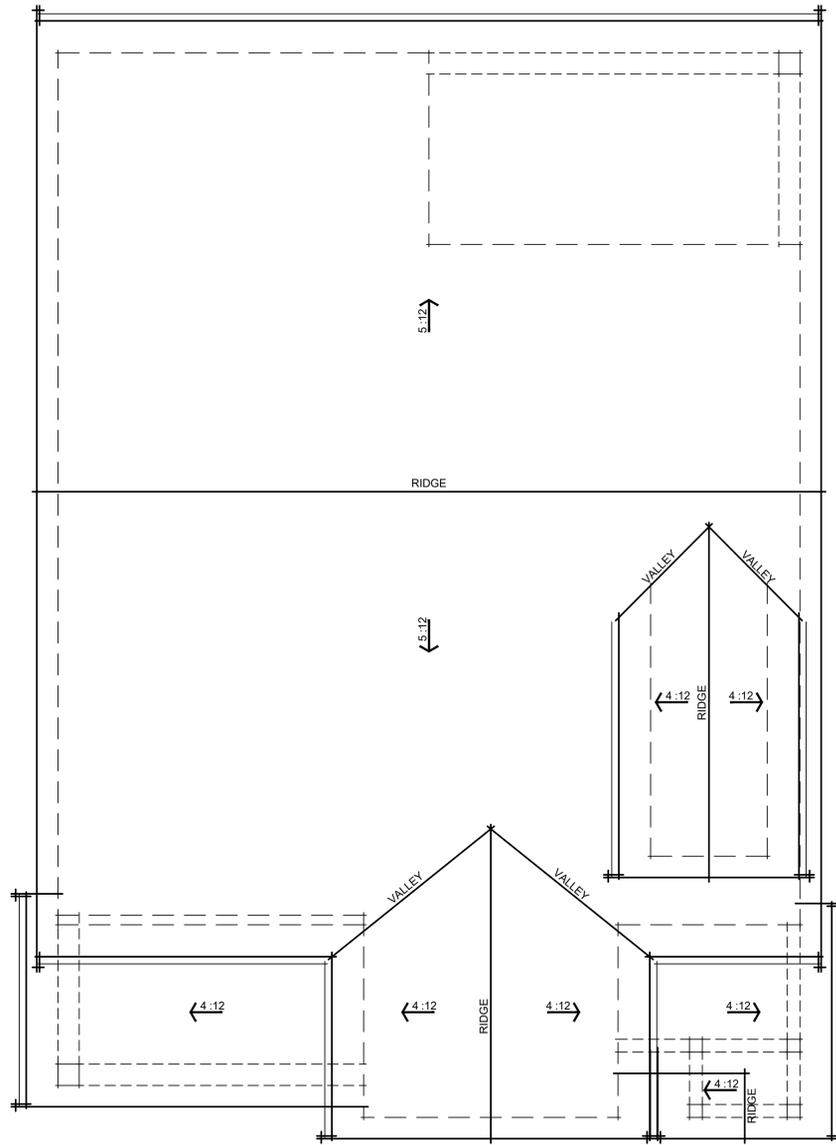
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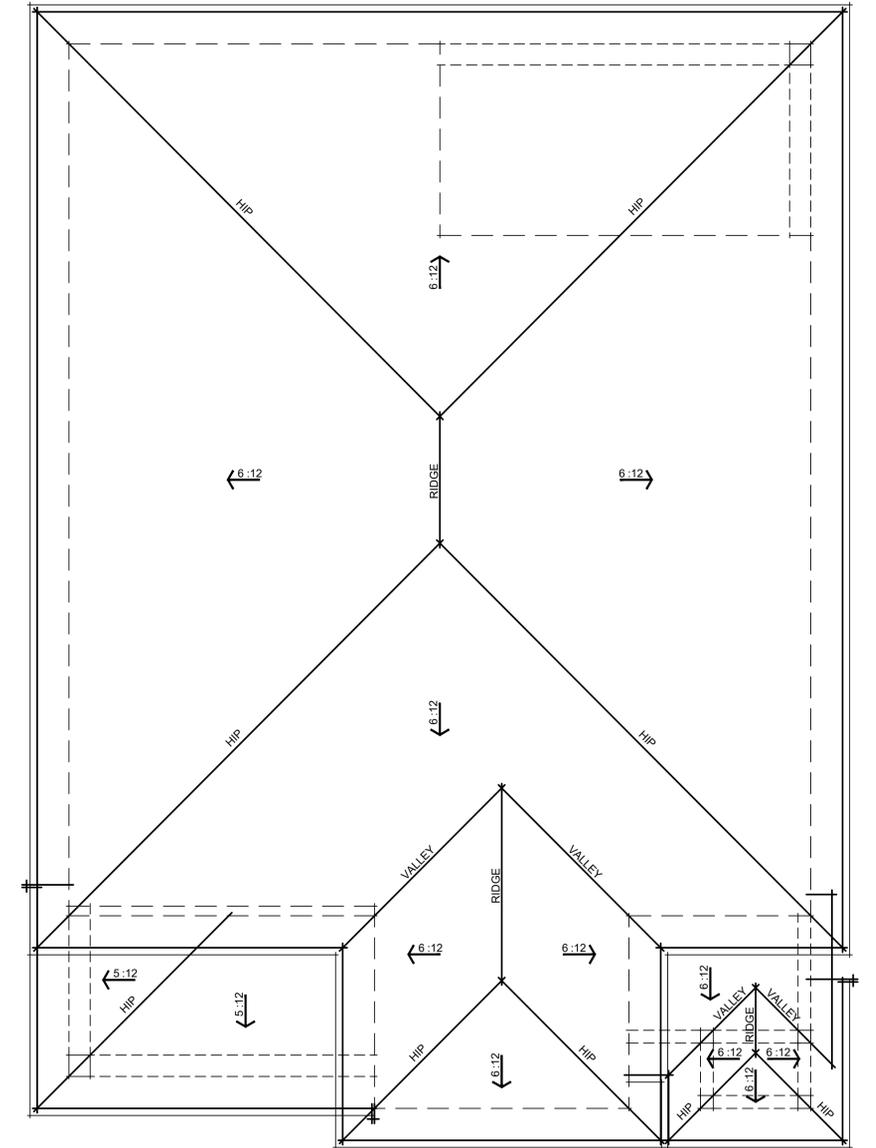




ELEVATION 'C' ROOF PLAN



ELEVATION 'B' ROOF PLAN



ELEVATION 'A' ROOF PLAN



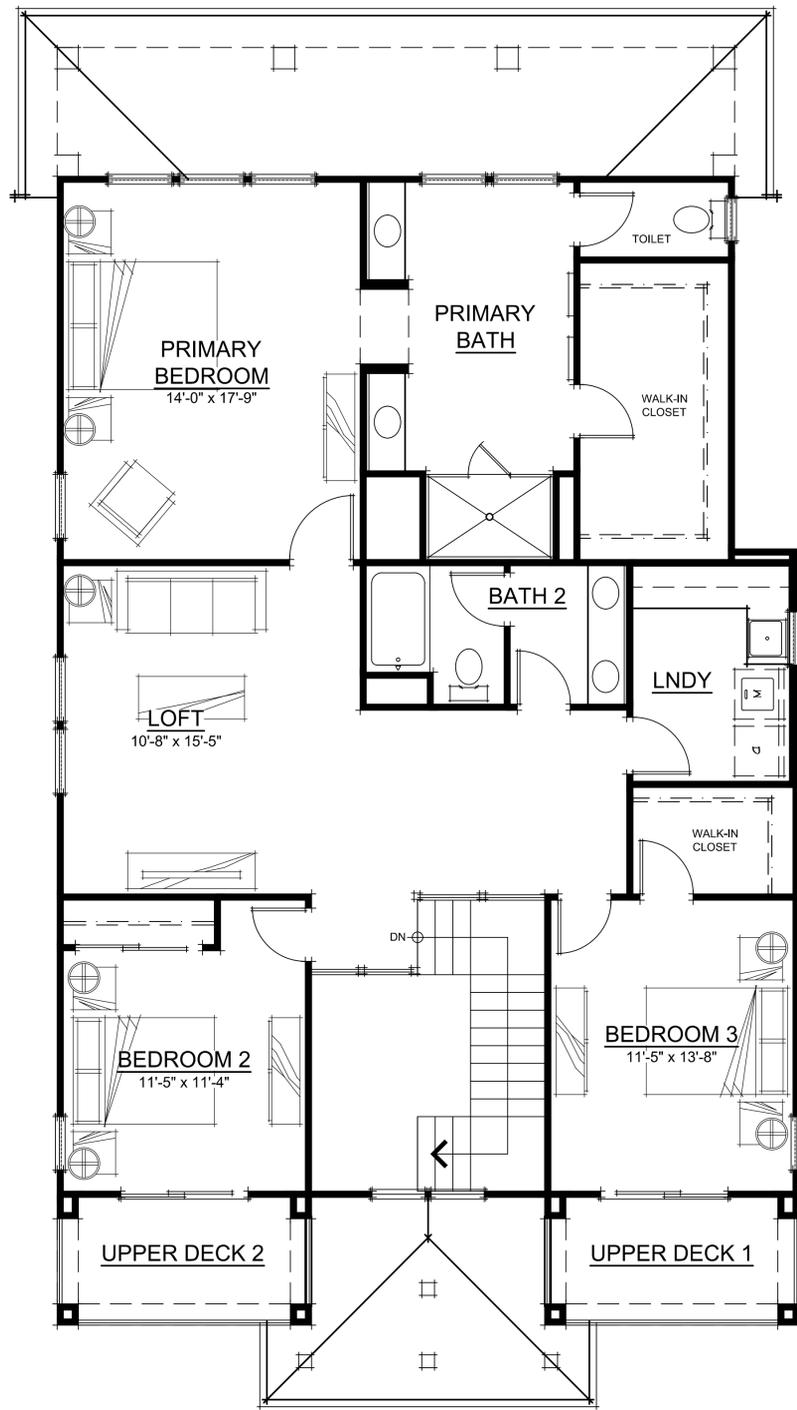
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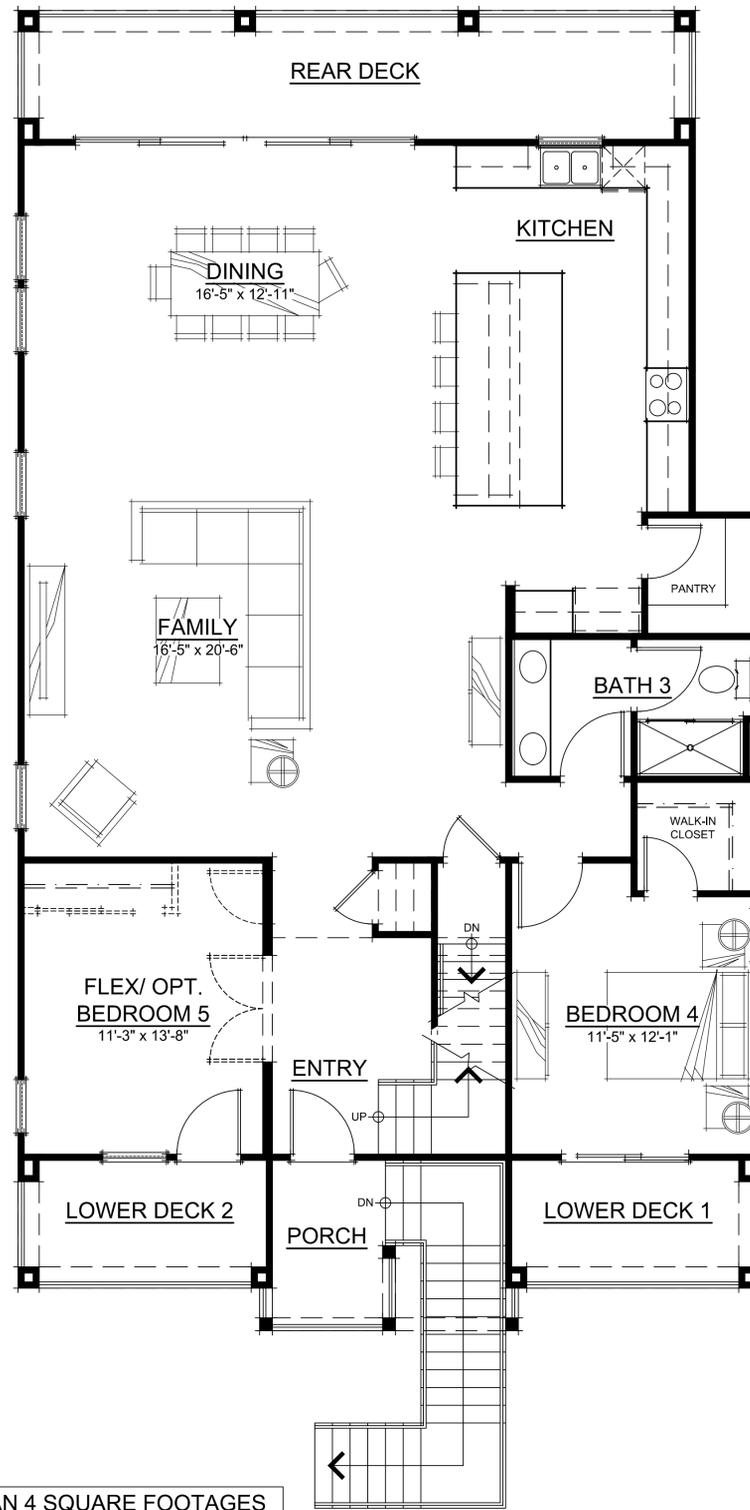
PLAN 3 ROOF PLANS  
 A27

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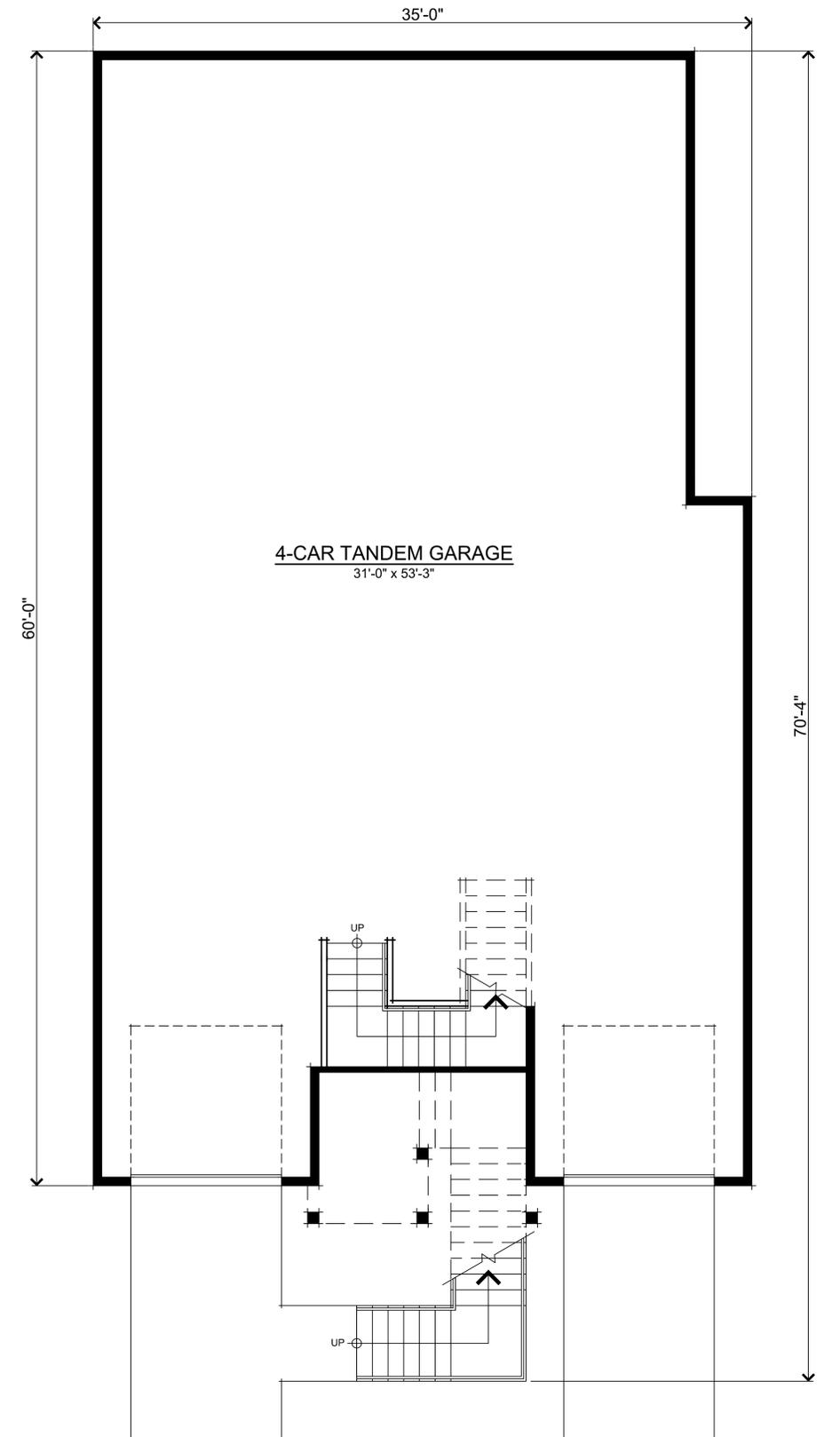




THIRD FLOOR PLAN

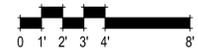


SECOND FLOOR PLAN



FIRST FLOOR PLAN

PLAN 4 SQUARE FOOTAGES	
SECOND FLOOR	1625 SQ. FT.
THIRD FLOOR	1625 SQ. FT.
TOTAL LIVING	3250 SQ. FT.
4-CAR TANDEM GARAGE	1962 SQ. FT.
LOWER DECK 1	72 SQ. FT.
LOWER DECK 2	72 SQ. FT.
REAR DECK	193 SQ. FT.
UPPER DECK 1	72 SQ. FT.
UPPER DECK 2	72 SQ. FT.
TYPE V-B CONSTRUCTION	



ELEVATION 'C'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH

ELEVATION 'B'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- BOARD & BATT SIDING
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAILING

ELEVATION 'A'

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH



ELEVATION 'C'

ELEVATION 'B'

ELEVATION 'A'



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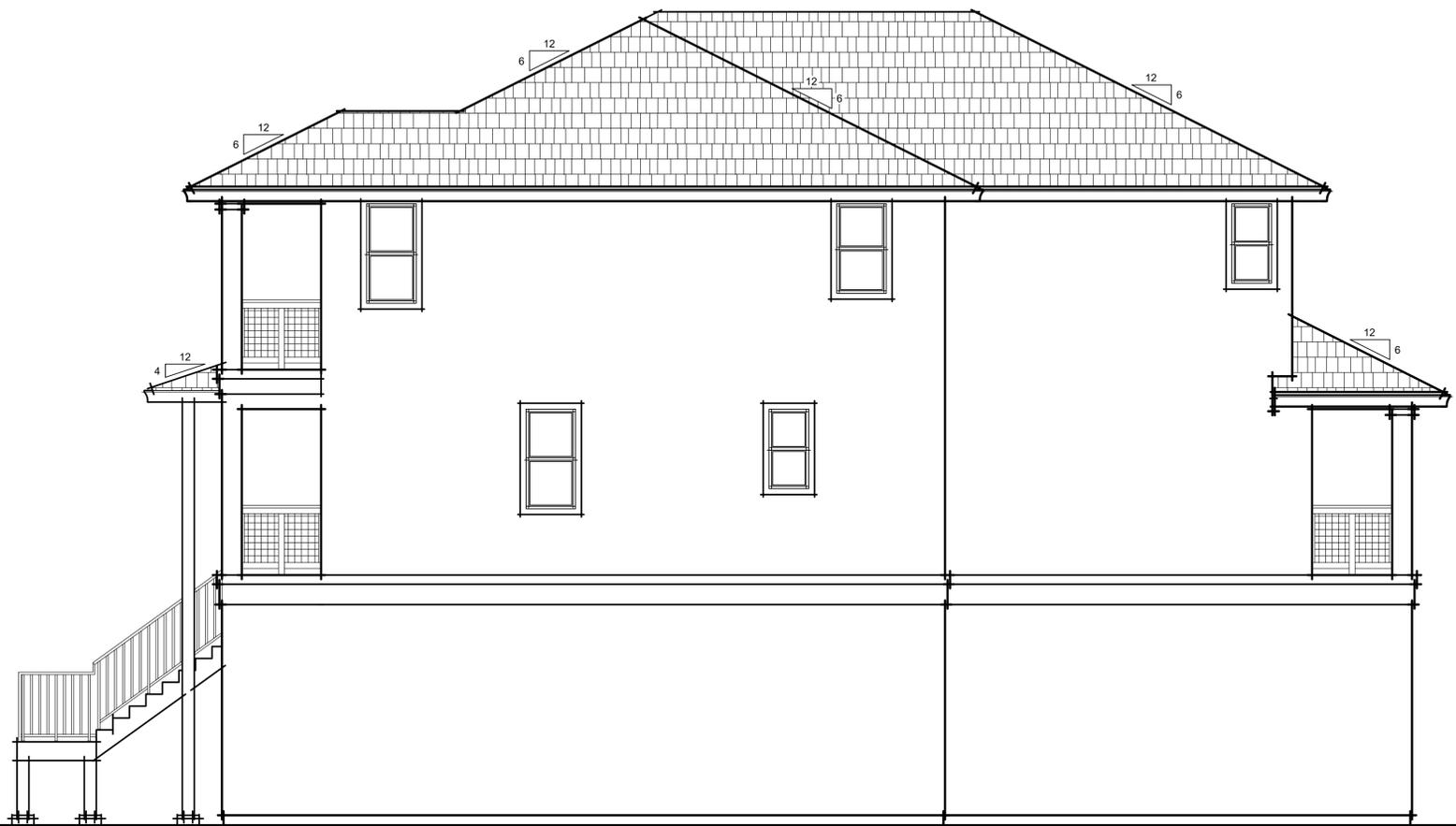
PLAN 4 FRONT ELEVATIONS  
A29

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FRONT ELEVATION



RIGHT ELEVATION



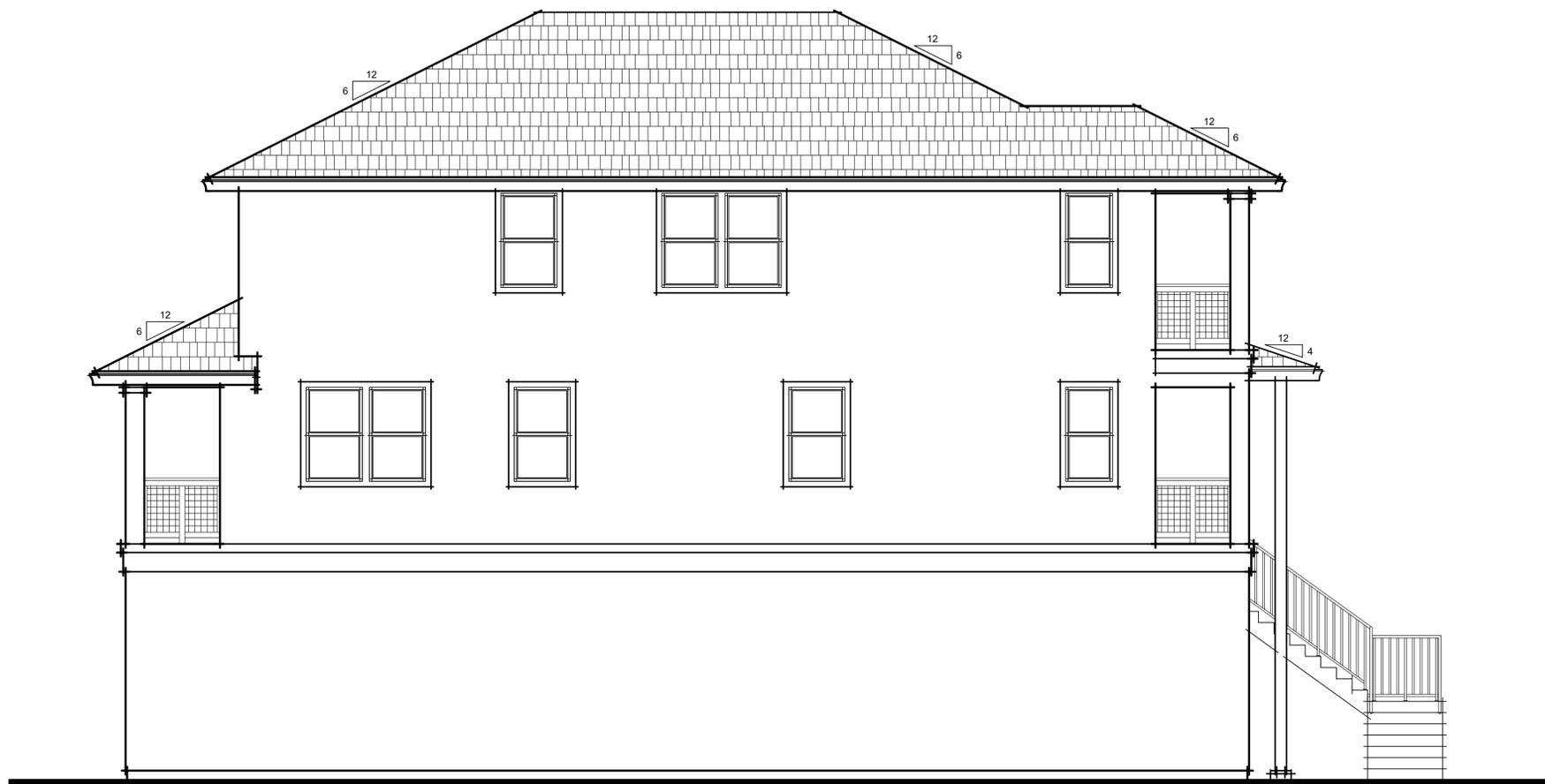
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PLAN 4 ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A30

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LEFT ELEVATION



REAR ELEVATION



PLAN 4 ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS

A31

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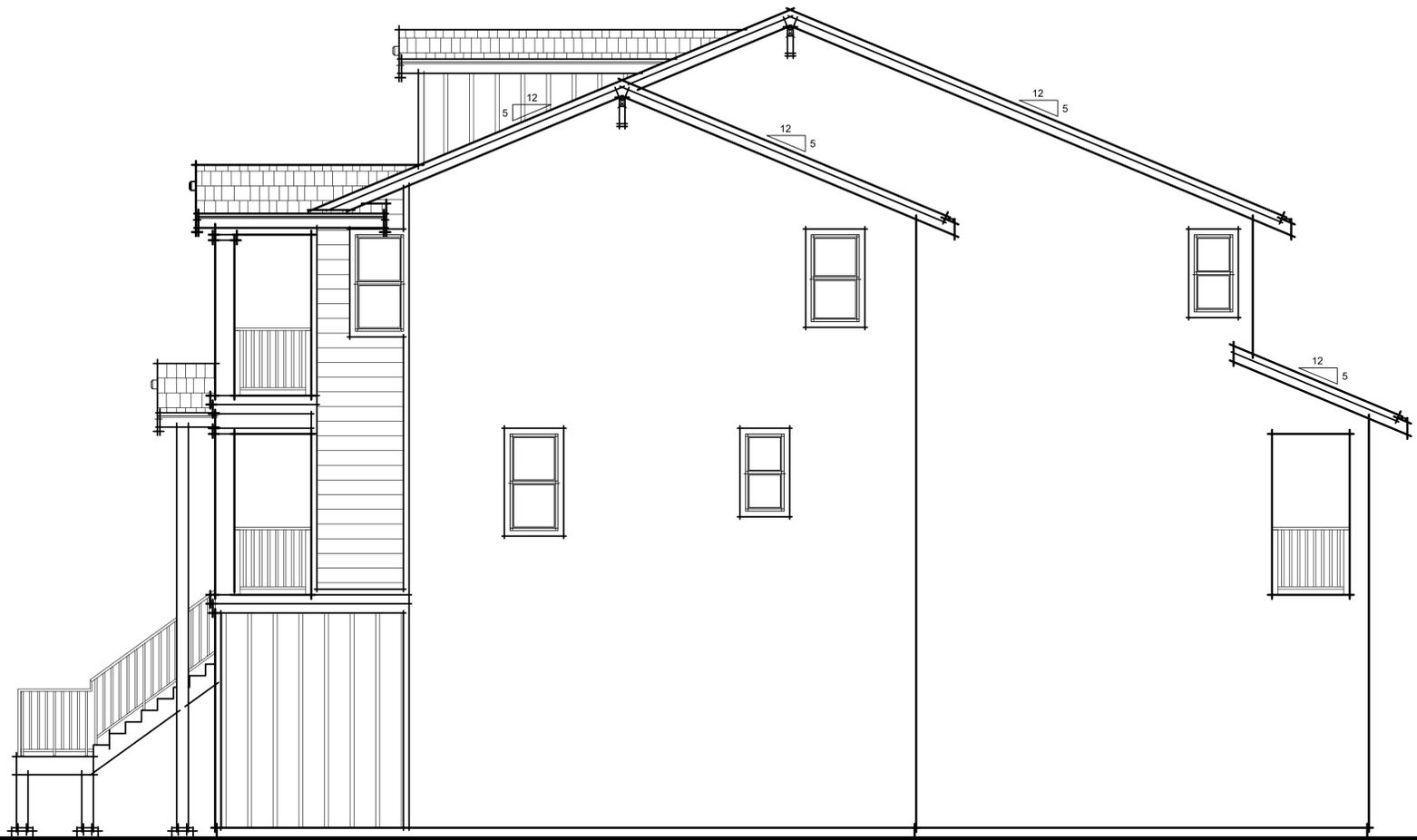
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FRONT ELEVATION



RIGHT ELEVATION



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PLAN 4 ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A32

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LEFT ELEVATION



REAR ELEVATION



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PLAN 4 ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS  
 A33

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FRONT ELEVATION



RIGHT ELEVATION



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PLAN 4 ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A34

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LEFT ELEVATION



REAR ELEVATION



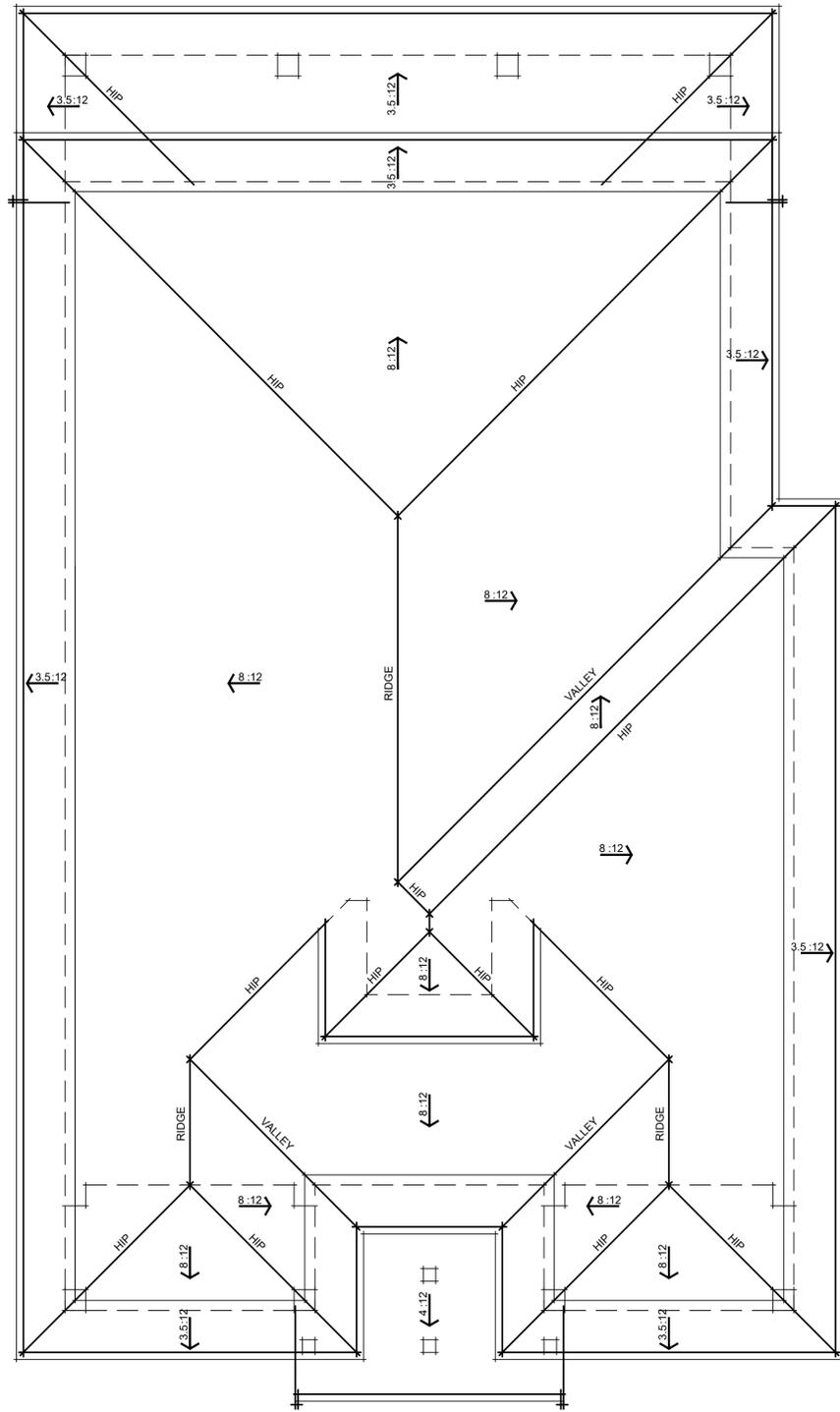
PLAN 4 ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS  
A35

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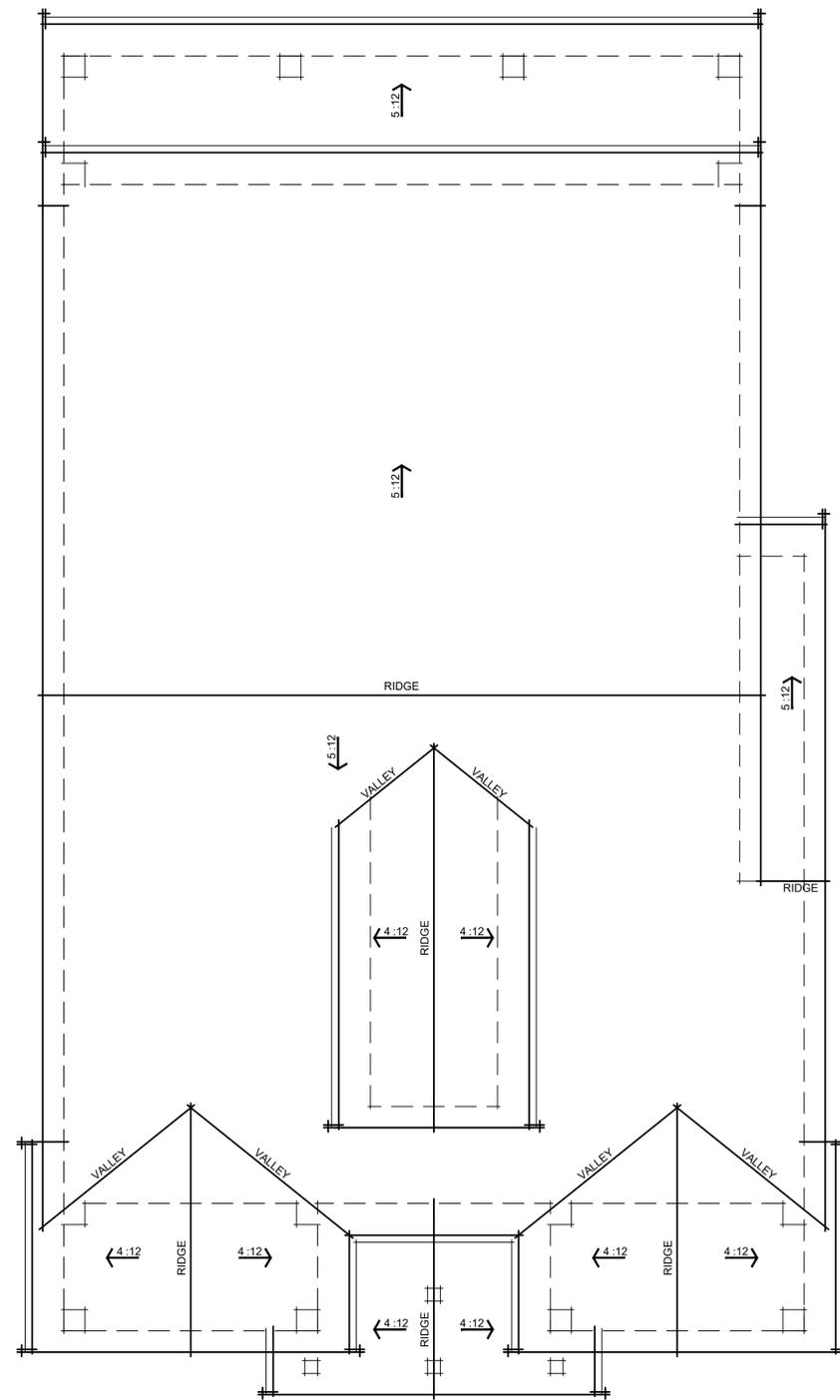
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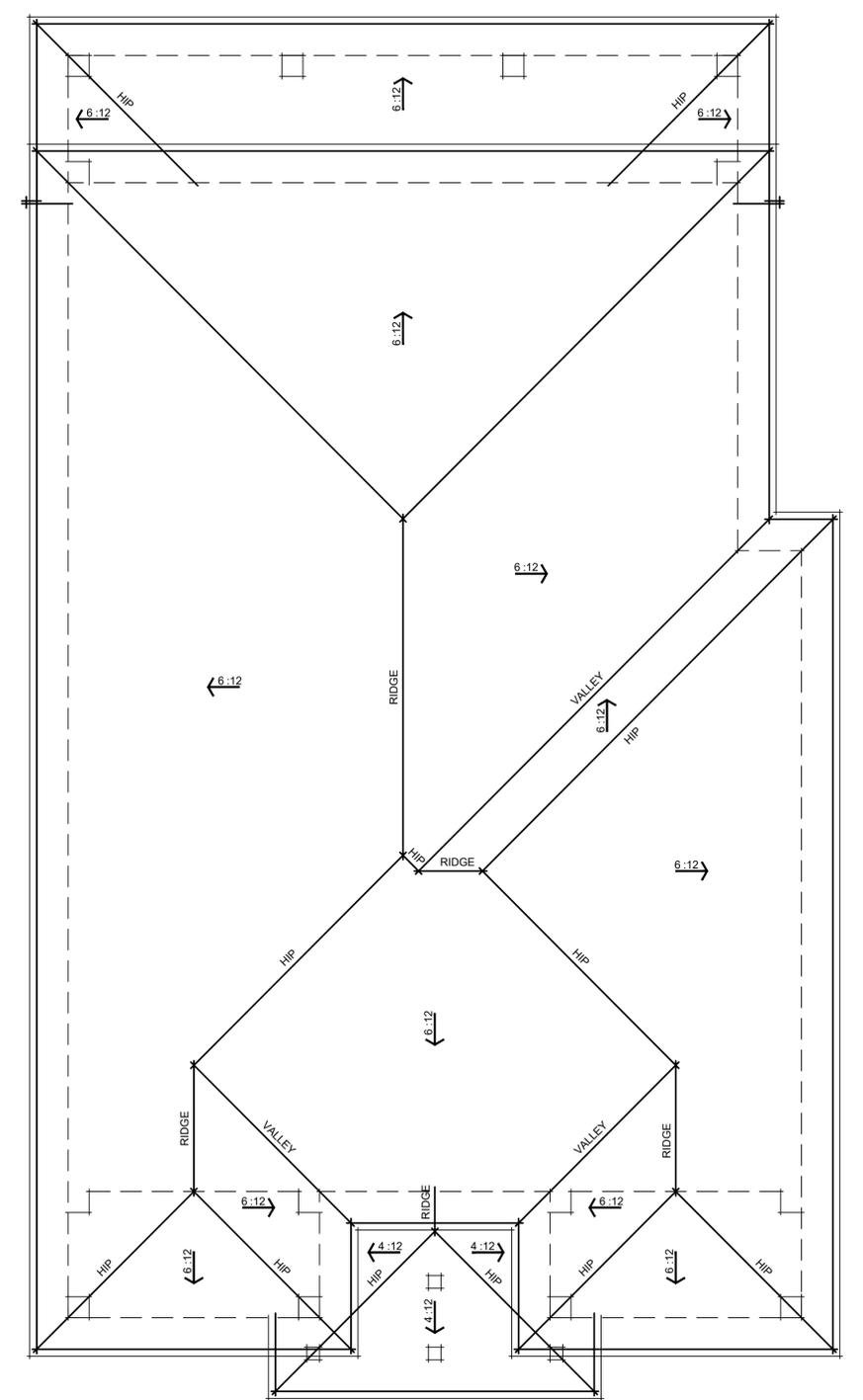




ELEVATION 'C' ROOF PLAN



ELEVATION 'B' ROOF PLAN



ELEVATION 'A' ROOF PLAN



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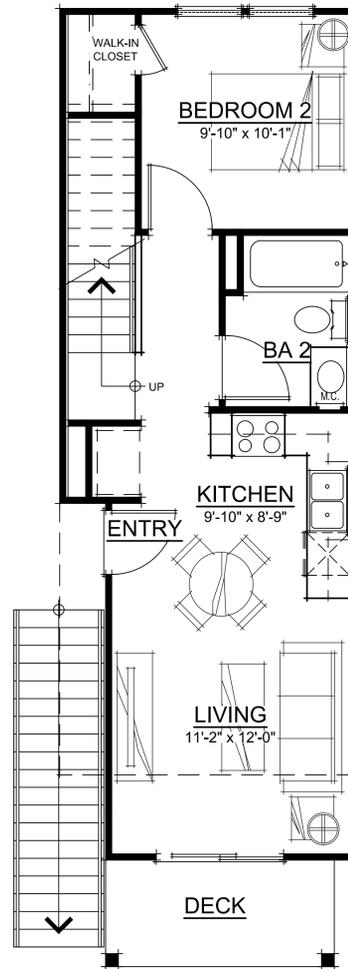
PLAN 4 ROOF PLANS  
 A36

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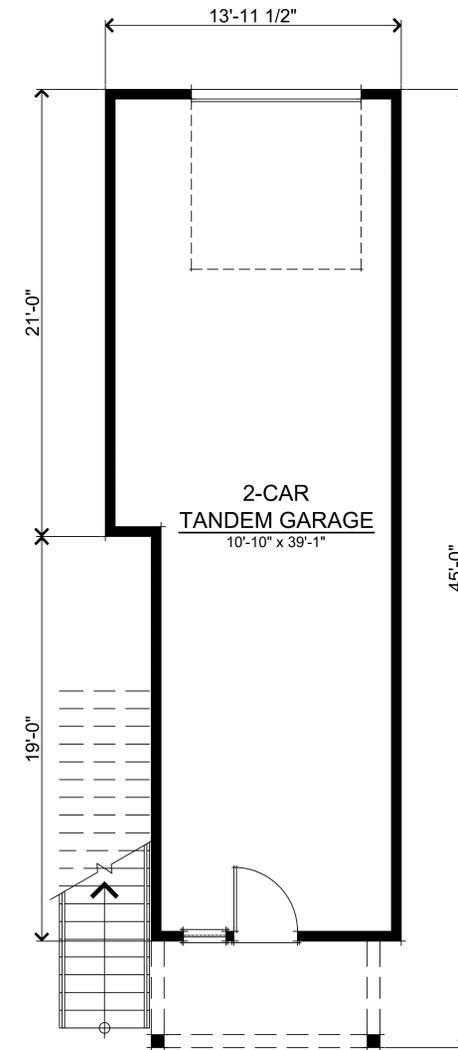




THIRD FLOOR PLAN



SECOND FLOOR PLAN



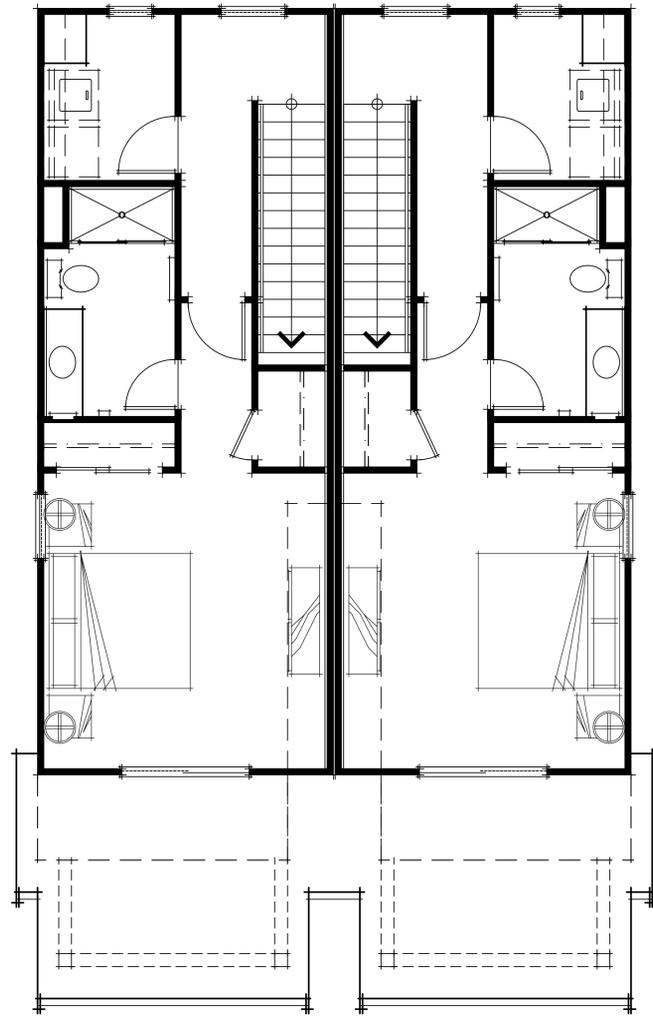
FIRST FLOOR PLAN

UNIT SQUARE FOOTAGES	
SECOND FLOOR	523 SQ. FT.
THIRD FLOOR	462 SQ. FT.
TOTAL LIVING	985 SQ. FT.
2-CAR TANDEM GARAGE	518 SQ. FT.
PORCH	54 SQ. FT.
DECK	54 SQ. FT.
TYPE V-B CONSTRUCTION	



UNIT  
(REVERSE)

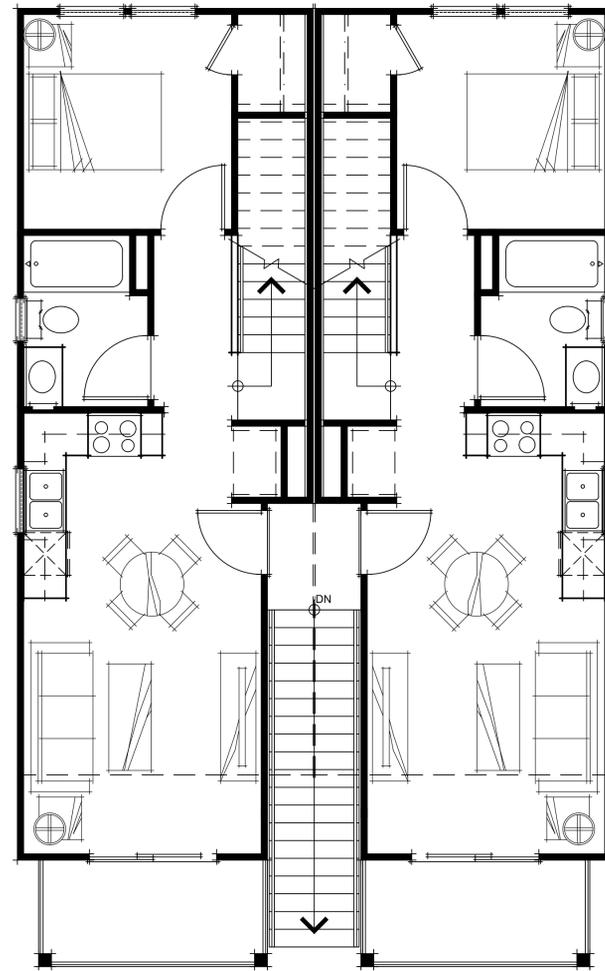
UNIT  
(STANDARD)



THIRD FLOOR PLAN

UNIT  
(REVERSE)

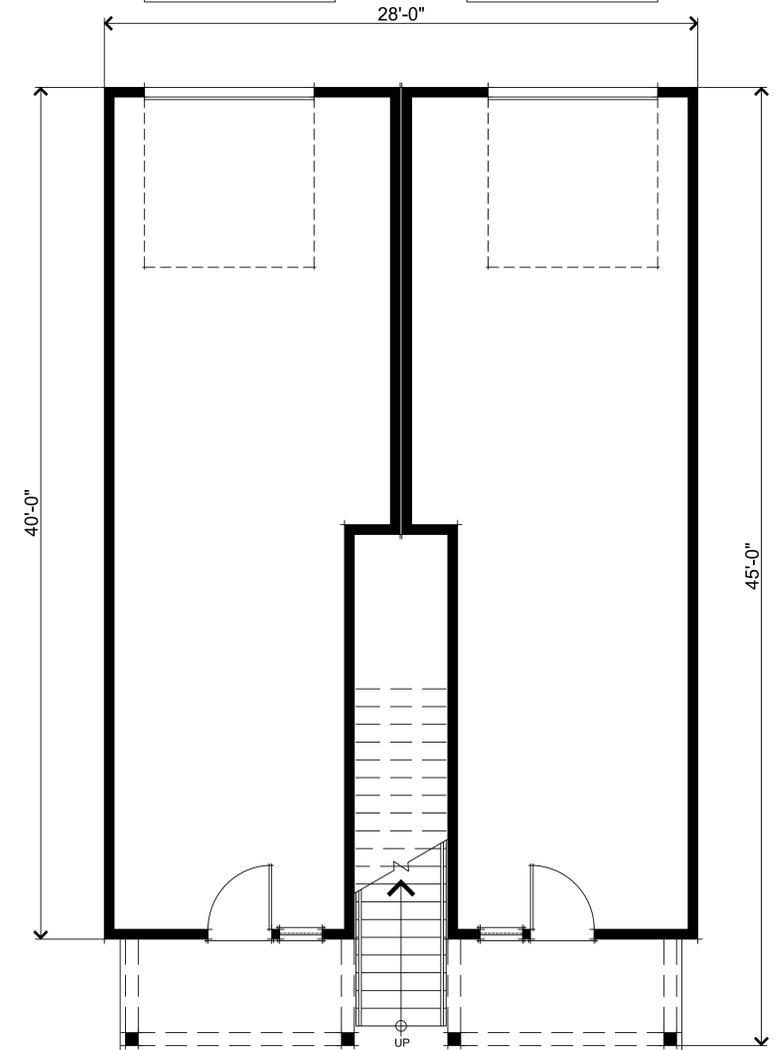
UNIT  
(STANDARD)



SECOND FLOOR PLAN

UNIT  
(REVERSE)

UNIT  
(STANDARD)



FIRST FLOOR PLAN

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DUET FLOOR PLANS  
A38

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**ELEVATION 'C'**

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH

**ELEVATION 'B'**

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- BOARD & BATT SIDING
- HORIZONTAL SIDING
- WOOD WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAILING

**ELEVATION 'A'**

- STUCCO WALL FINISH
- STUCCO o/ FOAM WINDOW TRIM
- COMPOSITION SHINGLE ROOFING
- WOOD RAIL w/ WIRE MESH



ELEVATION 'C'

ELEVATION 'B'

ELEVATION 'A'



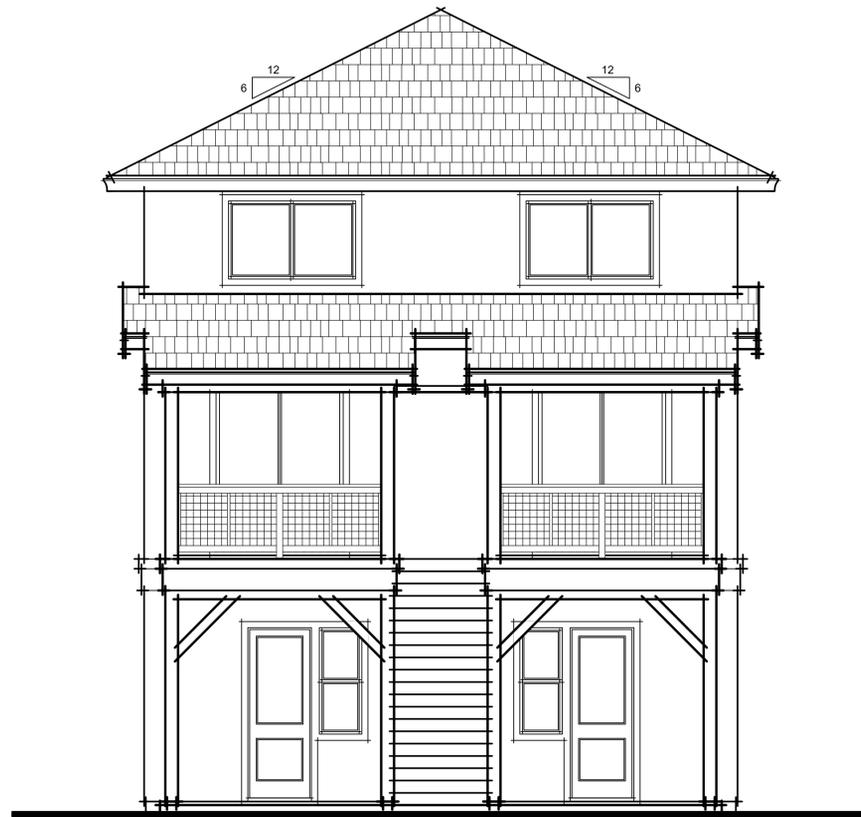
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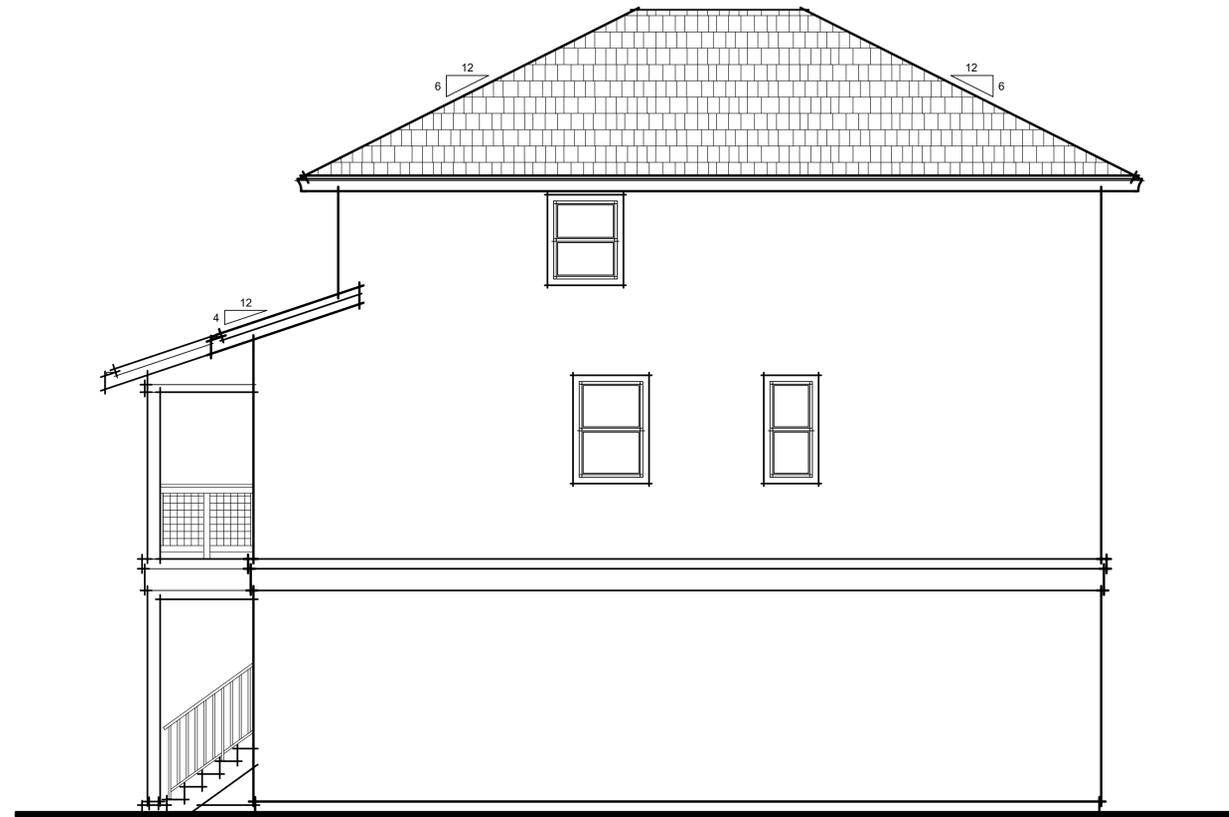
**DUET FRONT ELEVATIONS**  
**A39**

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FRONT ELEVATION



RIGHT ELEVATION



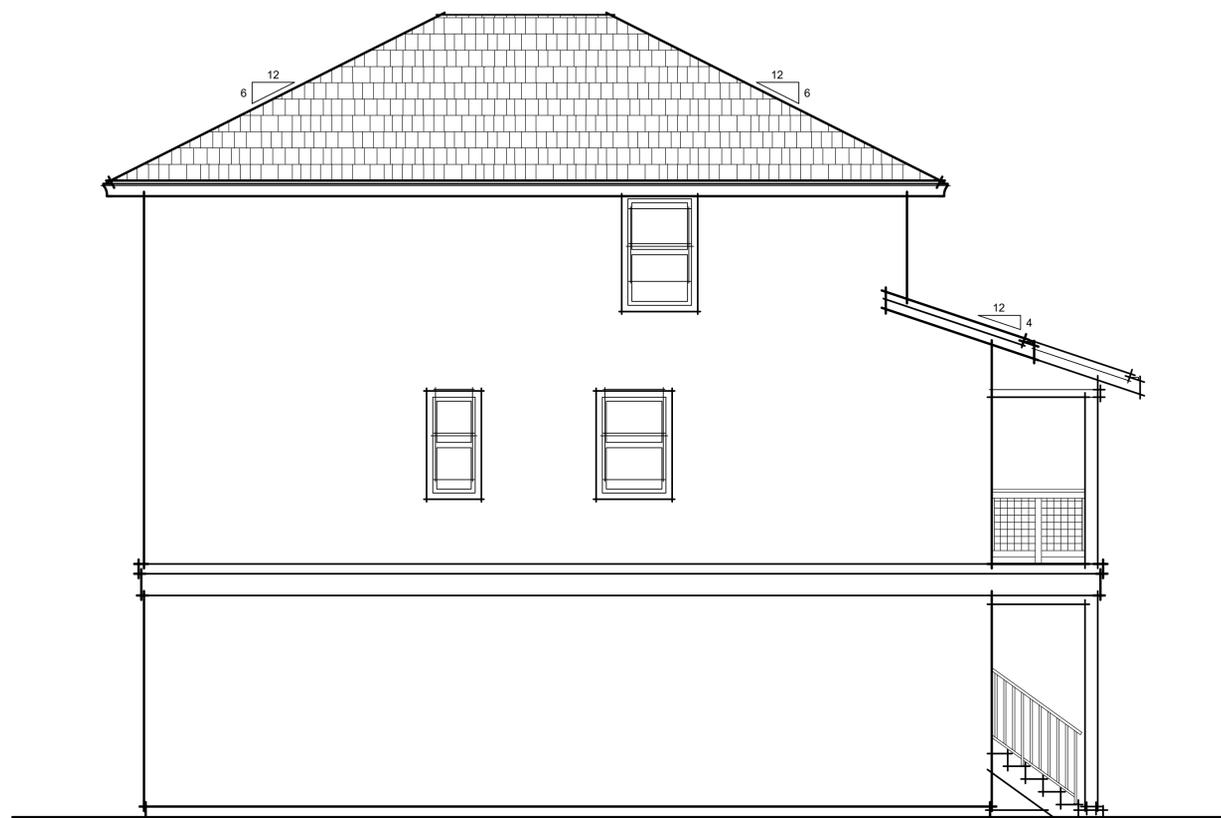
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DUET ELEVATION 'A' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A40

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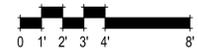




LEFT ELEVATION



REAR ELEVATION



DUET ELEVATION 'A' LEFT & REAR EXTERIOR ELEVATIONS  
A41

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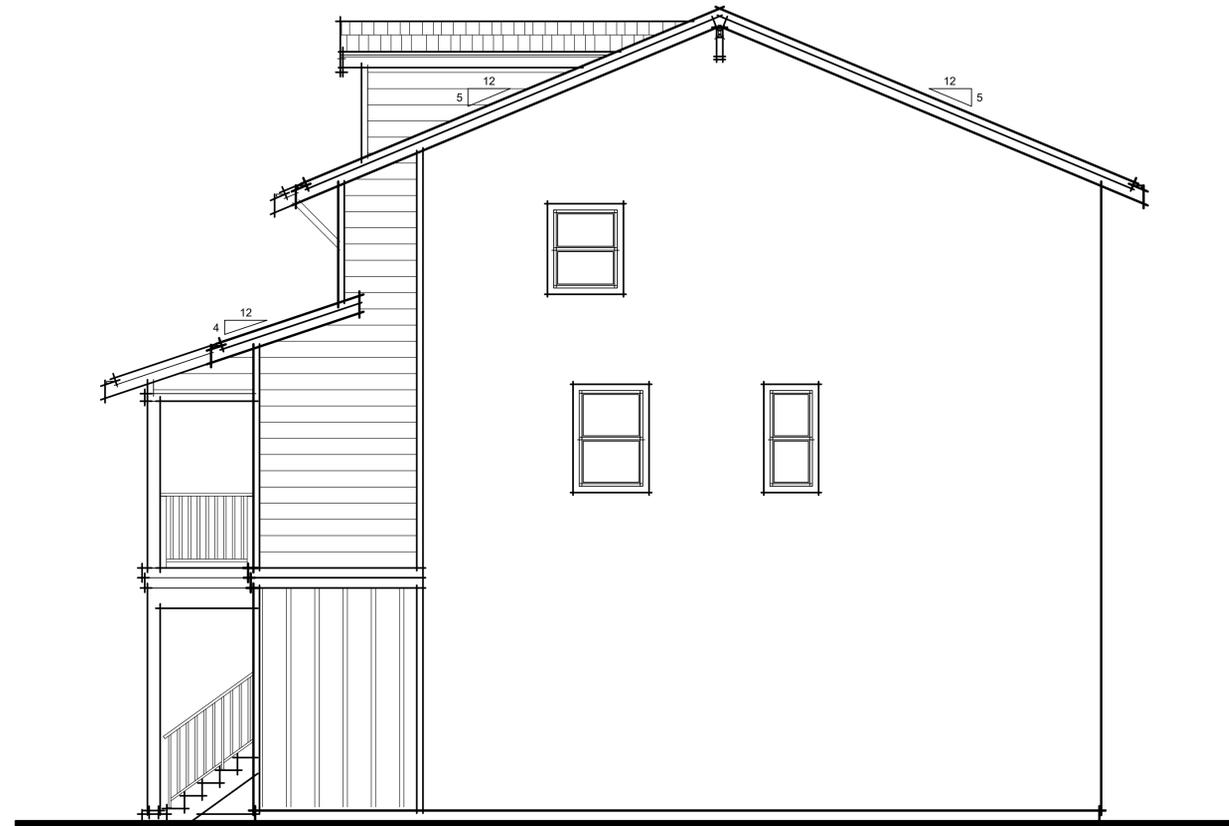
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FRONT ELEVATION



RIGHT ELEVATION



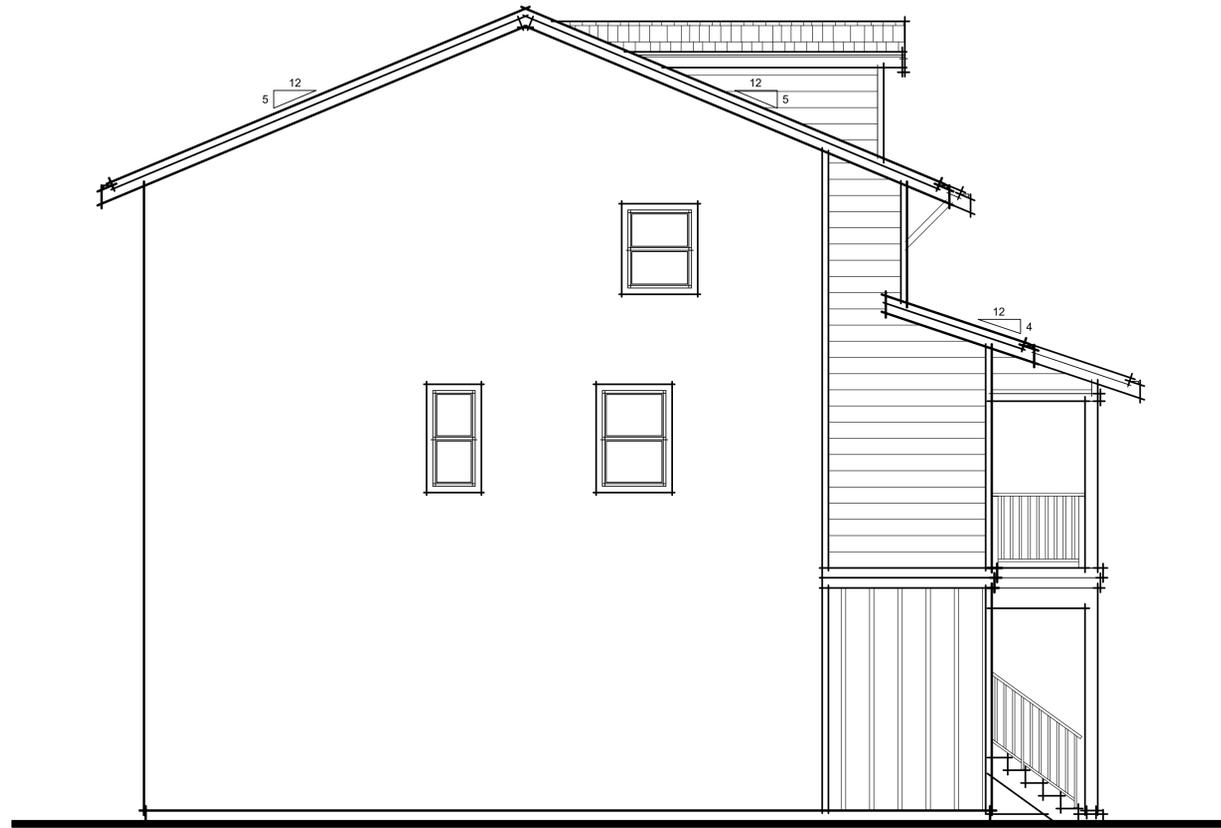
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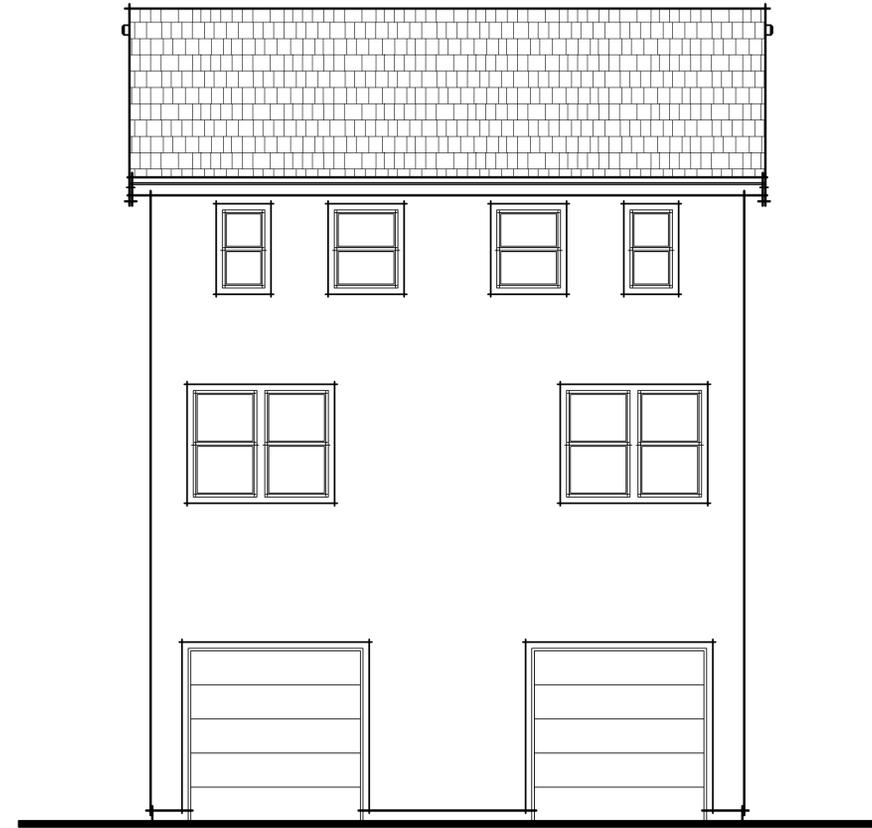
DUET ELEVATION 'B' FRONT & RIGHT EXTERIOR ELEVATIONS  
 A42

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LEFT ELEVATION



REAR ELEVATION



DUET ELEVATION 'B' LEFT & REAR EXTERIOR ELEVATIONS

A43

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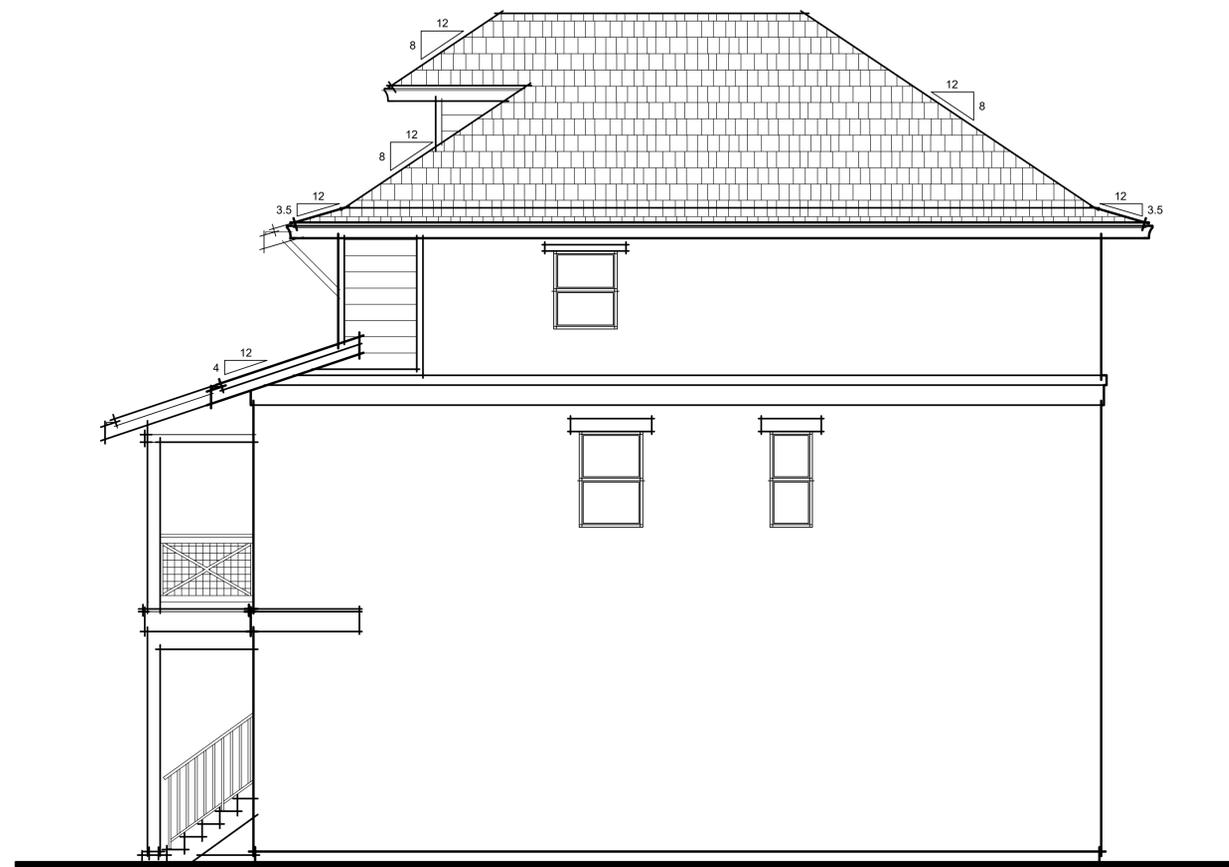
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FRONT ELEVATION



RIGHT ELEVATION



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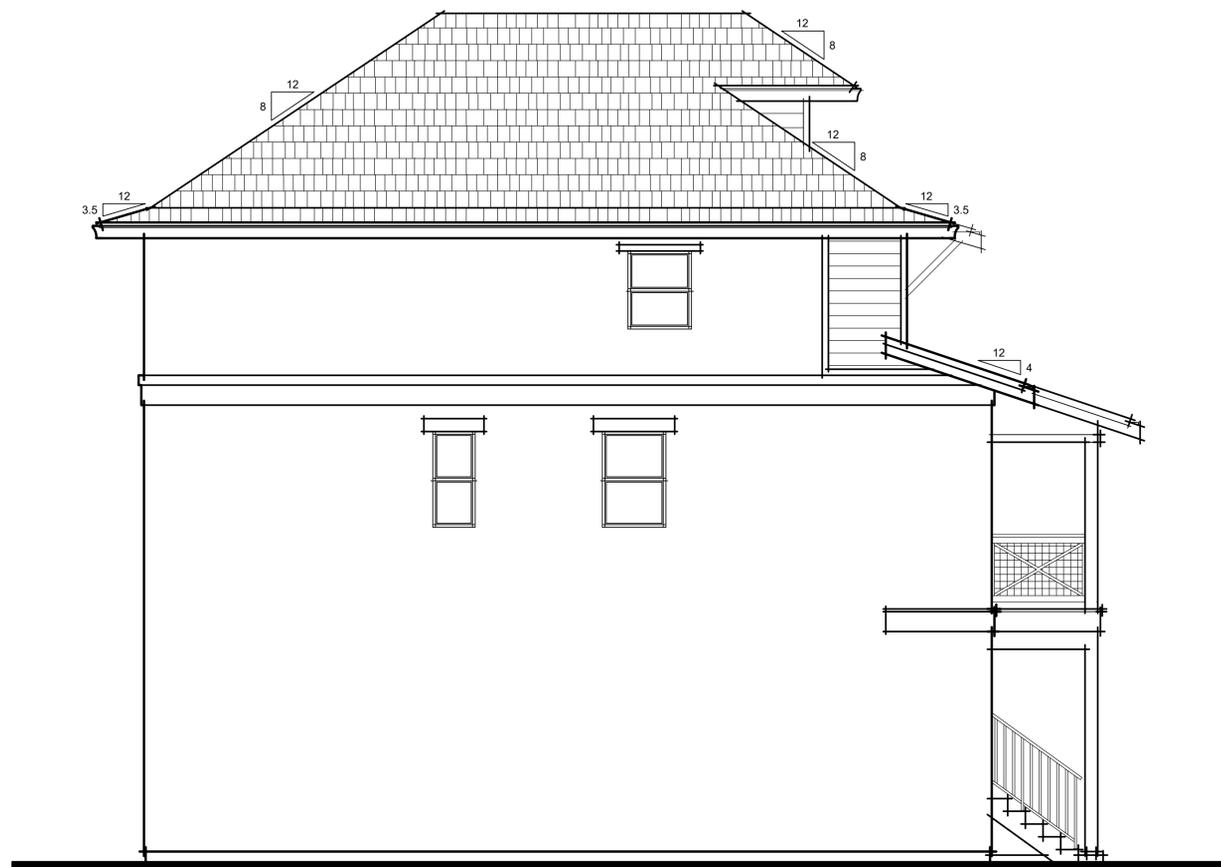
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DUET ELEVATION 'C' FRONT & RIGHT EXTERIOR ELEVATIONS

A44

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LEFT ELEVATION



REAR ELEVATION



DUET ELEVATION 'C' LEFT & REAR EXTERIOR ELEVATIONS

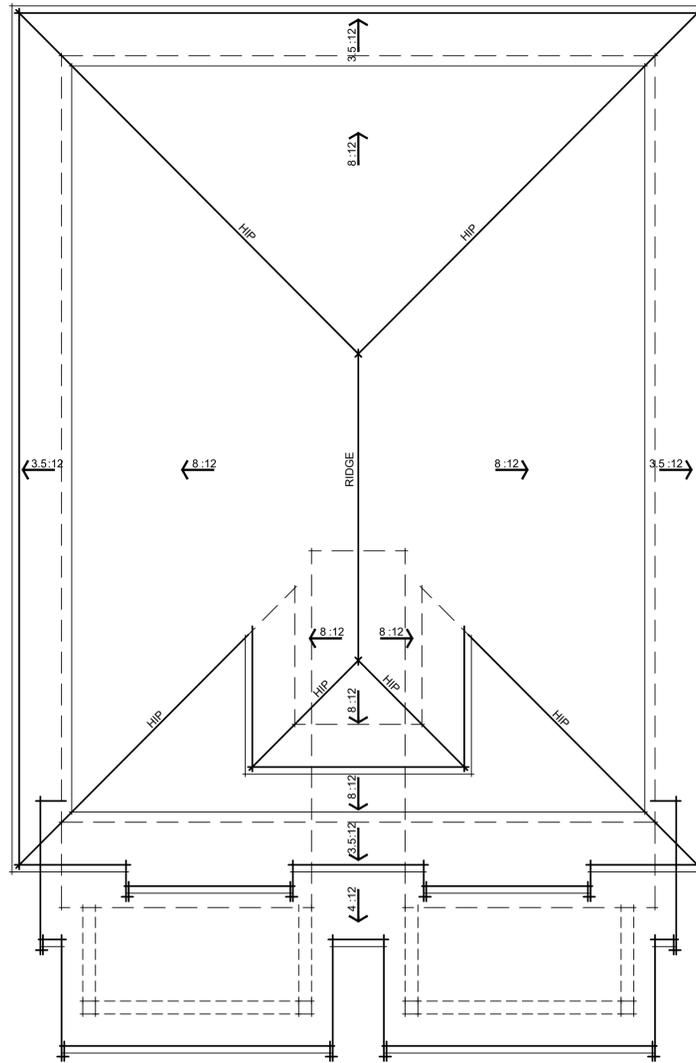
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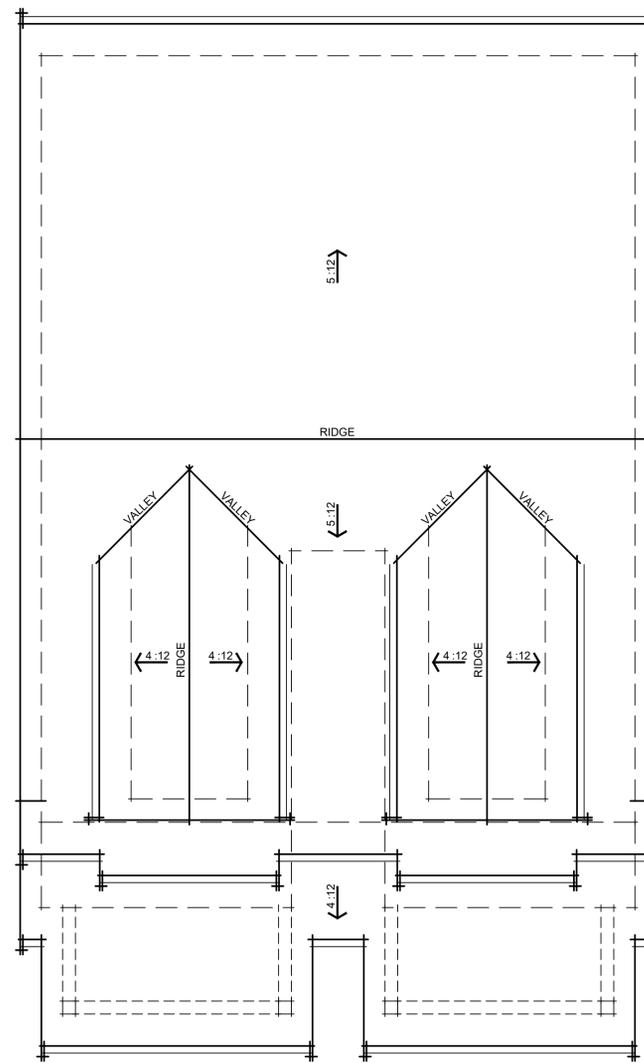
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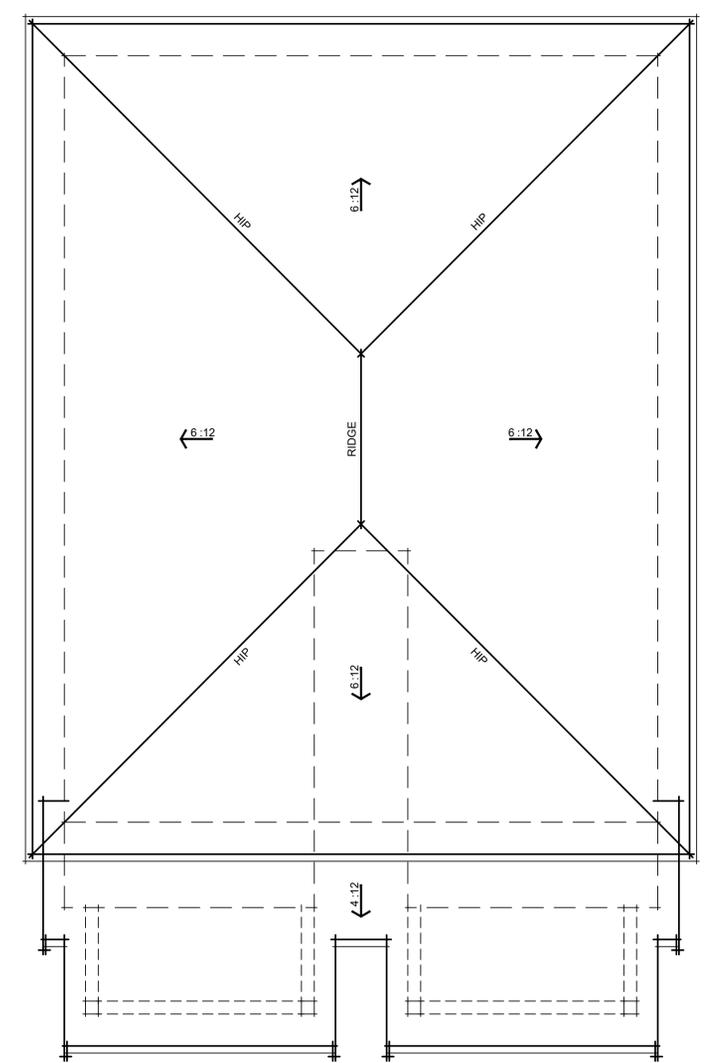




ELEVATION 'C' ROOF PLAN



ELEVATION 'B' ROOF PLAN



ELEVATION 'A' ROOF PLAN



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 1731 Technology Drive, Suite 880 San Jose, CA 95110 (408) 285-4555 JMHWeiss.com

DUET ROOF PLANS  
 A46

SDG Architects, Inc.  
 3361 Walnut Blvd, Suite 120  
 Brentwood, CA 94513  
 925.634.7000 | sdgarchitectsinc.com



FLOOD-PROOFING OF STRUCTURES SHALL BE REQUIRED IN ANY AREA SUBJECT TO FLOODING

FLOOD-PROOFING INCLUDES, BUT IS NOT NECESSARILY LIMITED TO:

- ANCHORING TO PREVENT FLOTATION, COLLAPSE, OR LATERAL MOVEMENT
- USING FLOOD- RESISTANT CONSTRUCTION MATERIALS
- EMPLOYING CONSTRUCTION METHODS AND PRACTICES THAT MINIMIZE FLOOD DAMAGE
- ELEVATING BUILDING PADS ABOVE THE BASE FLOOD ELEVATION PLUS REQUIRED FREEBOARD
- ELEVATING HABITABLE BUILDING FLOORS ABOVE THE BASE FLOOD ELEVATION PLUS REQUIRED FREEBOARD
- PROVIDING ADEQUATE VENTING TO ALLOW FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES

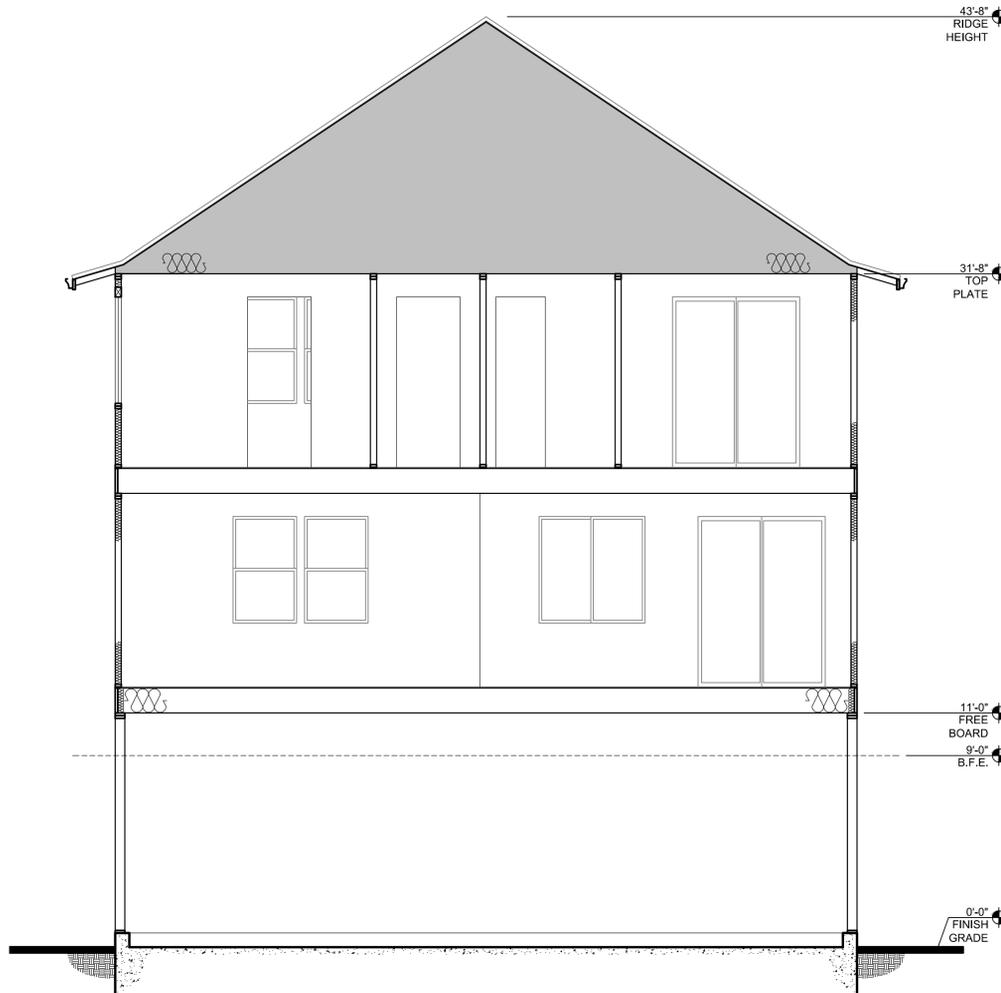
APPROPRIATE FLOOD-PROOFING METHODS SHALL BE DETERMINED BY THE FLOODPLAIN ADMINISTRATOR ON A PROJECT-BY-PROJECT BASIS.

NEW DEVELOPMENT AND SUBSTANTIAL IMPROVEMENTS OR UPGRADES IN THE 100- AND 500-YEAR FLOOD HAZARD ZONES SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE COUNTY, STATE, AND FEDERAL REGULATIONS INCLUDING COMPLIANCE WITH THE MINIMUM STANDARDS OF FEMA'S NATIONAL FLOOD INSURANCE PROGRAM (NFIP) TO AVOID OR MINIMIZE THE RISK OF FLOOD DAMAGE.

THE PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA (100-YEAR FLOOD BOUNDARY) ZONE AE AS DESIGNATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP. TO MEET FEMA AND COUNTY FLOODPLAIN ORDINANCE REQUIREMENTS, THE LOWEST HABITABLE SPACE AND ALL EQUIPMENT SERVICING IT MUST BE ELEVATED AT LEAST 2 FEET ABOVE THE 9.0-FOOT BASE FLOOD ELEVATION.

ALL HABITABLE SPACES ARE ABOVE THE GARAGE AREA, WHICH IS ALLOWED. HOWEVER, THESE SPACES STILL REQUIRE ADEQUATE FLOOD VENTING TO MINIMIZE HYDROSTATIC PRESSURE FROM COLLAPSING STRUCTURES.

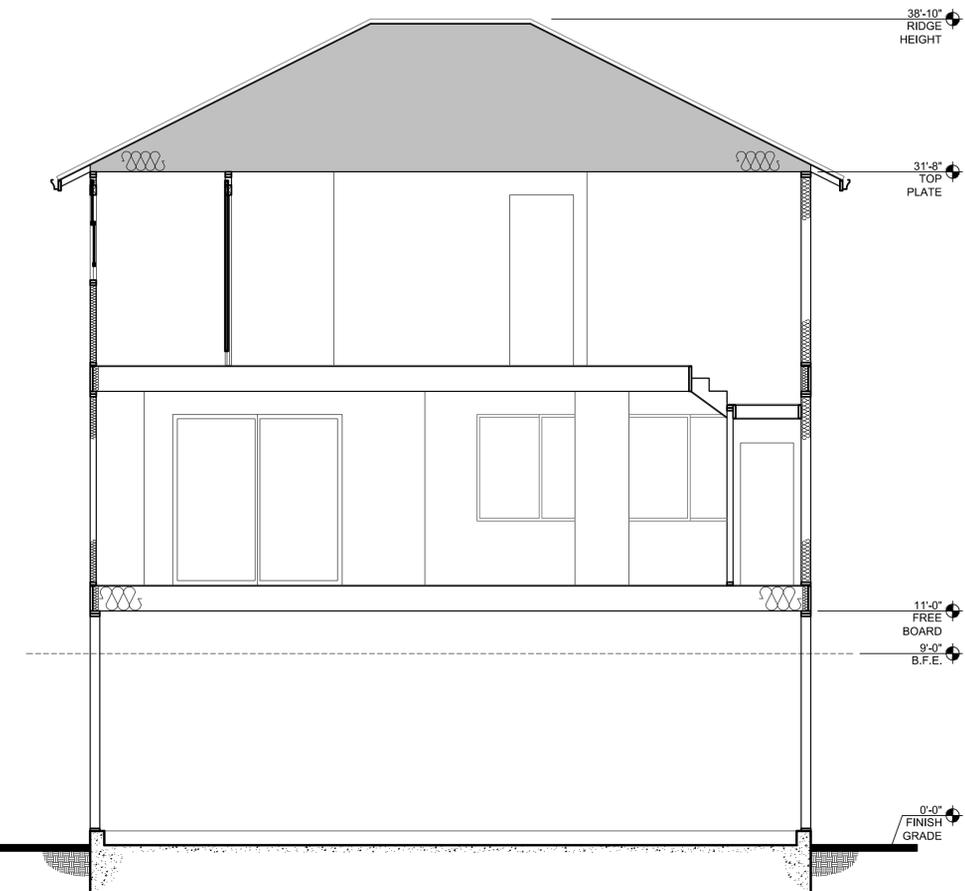
- IT WOULD ALSO PRECLUDE EMERGENCY ACCESS FOR THE RESIDENTS AND REQUIRE THEM TO SHELTER IN PLACE DURING A FLOOD EVENT.
- DEED RESTRICTIONS AGAINST CONVERTING THESE LOWER GARAGE/STORAGE AREAS INTO HABITABLE RESTRICTIONS WILL ALSO BE REQUIRED.



PLAN 3 ELEVATION 'C' SECTION



PLAN 2 ELEVATION 'B' SECTION



PLAN1 ELEVATION 'A' SECTION



399.249 Bethel Estuary Estates  
Oakley, CA  
March 15, 2024

FLOOD-PROOFING OF STRUCTURES SHALL BE REQUIRED IN ANY AREA SUBJECT TO FLOODING

FLOOD-PROOFING INCLUDES, BUT IS NOT NECESSARILY LIMITED TO:

- ANCHORING TO PREVENT FLOTATION, COLLAPSE, OR LATERAL MOVEMENT
- USING FLOOD- RESISTANT CONSTRUCTION MATERIALS
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- ELEVATING BUILDING PADS ABOVE THE BASE FLOOD ELEVATION PLUS REQUIRED FREEBOARD
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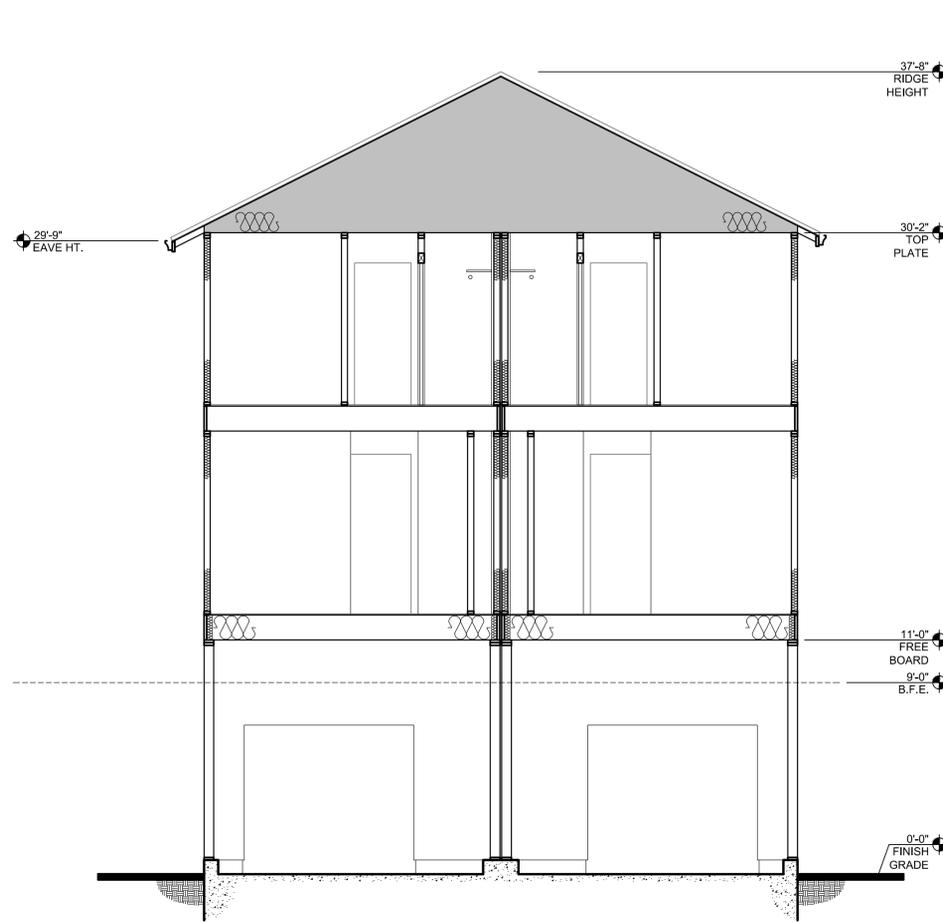
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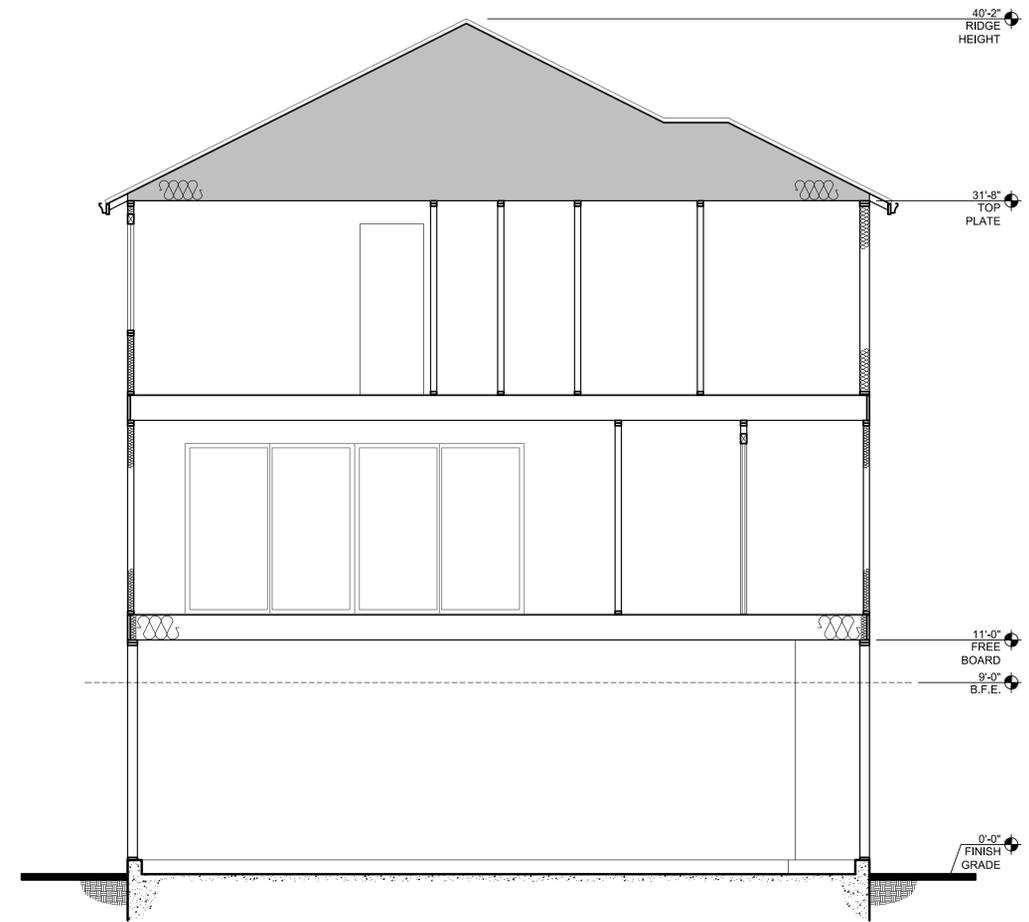
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- DEED RESTRICTIONS AGAINST CONVERTING THESE LOWER GARAGE/STORAGE AREAS INTO HABITABLE RESTRICTIONS WILL ALSO BE REQUIRED.



DUETT ELEVATION 'A' SECTION



PLAN 4 ELEVATION 'A' SECTION



399.249 Bethel Estuary Estates  
Oakley, CA  
March 15, 2024

ELEVATION A - SCHEME 1

**GAF Roofing**  
Pewter Gray

**Stucco**  
SW 7632 Modern Gray (283-C1)

**Trim & Fascia**  
SW 7009 Pearly White (254-C2)

**Garage Door**  
SW 7009 Pearly White (254-C2)

**Entry Door**  
SW 7048 Urbane Bronze (245-C7)

ELEVATION A - SCHEME 2

**GAF Roofing**  
Weathered Wood

**Stucco**  
SW 7671 On The Rocks (255-C7)

**Trim & Fascia**  
SW 7757 High Reflective White (256-C1)

**Garage Door**  
SW 7757 High Reflective White (256-C1)

**Entry Door**  
SW 6251 Outerspace (225-C7)

ELEVATION A - SCHEME 3

**GAF Roofing**  
Barkwood

**Stucco**  
SW 7035 Aesthetic White (259-C4)

**Trim & Fascia**  
SW 7641 Colonade Grade (283-C2)

**Garage Door**  
SW 7641 Colonade Grade (283-C2)

**Entry Door**  
SW 2846 Roycroft Bronze Green (314)

ELEVATION B - SCHEME 4

**GAF Roofing**  
Pewter Gray

**Stucco & Board & Batten**  
SW 7757 High Reflective White (256-C1)

**Horizontal Siding**  
SW 6184 Austere Gray (215-C2)

**Trim & Fascia**  
SW 7757 High Reflective White (256-C1)

**Garage Door**  
SW 7757 High Reflective White (256-C1)

**Entry Door**  
SW 7645 Thunder Gray (278-C1)

ELEVATION B - SCHEME 5

**GAF Roofing**  
Pewter Gray

**Stucco & Board & Batten**  
SW 7005 Pure White (255-C1)

**Horizontal Siding**  
SW 7005 Pure White (255-C1)

**Trim & Fascia**  
SW 0023 Pewter Tankard (301)

**Garage Door**  
SW 0023 Pewter Tankard (301)

**Entry Door**  
SW 2851 Sage Green Light (315)

ELEVATION B - SCHEME 6

**GAF Roofing**  
Slate

**Stucco & Board & Batten**  
SW 6247 Krypton (225-C2)

**Horizontal Siding**  
SW 7667 Zircon (282-C1)

**Trim & Fascia**  
SW 7005 Pure White (255-C1)

**Garage Door**  
SW 7005 Pure White (255-C1)

**Entry Door**  
SW 6993 Black of Night (251-C5)

ELEVATION C - SCHEME 7

**GAF Roofing**  
Weathered Wood

**Stucco**  
SW 7008 Alabaster (255-C2)

**Horizontal Siding**  
SW 2844 Roycroft Mist Gray (314)

**Trim & Fascia**  
SW 7008 Alabaster (255-C2)

**Garage Door**  
SW 7008 Alabaster (255-C2)

**Entry Door**  
SW 2819 Downing Slate (311)

ELEVATION C - SCHEME 8

**GAF Roofing**  
Charcoal

**Stucco**  
SW 1015 Skyline Steel (283-C3)

**Horizontal Siding**  
SW 7551 Greek Villa (254-C1)

**Trim & Fascia**  
SW 7551 Greek Villa (254-C1)

**Garage Door**  
SW 7551 Greek Villa (254-C1)

**Entry Door**  
SW 0077 Classic French Gray (308)

ELEVATION C - SCHEME 9

**GAF Roofing**  
Boral 1132 Charcoal Brown

**Stucco**  
SW 7647 Crushed Ice (255-C6)

**Horizontal Siding**  
SW 7065 Argos (236-C2)

**Trim & Fascia**  
SW 7566 Westhighland White (255-C3)

**Garage Door**  
SW 7566 Westhighland White (255-C3)

**Entry Door**  
SW 7069 Iron Ore (251-C7)

399.249 Bethel Estuary Estates  
Oakley, CA  
March 15, 2024



**TREE DISPOSITION LEGEND**

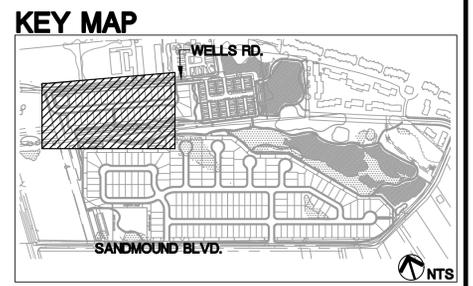
- EXISTING TREE TO BE REMOVED
- TREE NUMBER, SEE TREE DISPOSITION SUMMARY
- EXISTING CANOPY/ TREE MASS
- TREE PROTECTION BUFFER ZONE. NO IMPROVEMENTS 50' FROM TRUNK. FOR MORE INFORMATION, REFER TO ARBORIST REPORT.

MATCHLINE SEE SHEET L11

MATCHLINE SEE SHEET L13

**TREE DISPOSITION SUMMARY**

NUMBER	BOTANICAL NAME	COMMON NAME	SIZE DBH (DIAMETER AT BREAST HEIGHT)	CONDITION	COMMENTS	PROTECTED TREE	REMOVE
1	SALIX LAEVIGATA	RED WILLOW	42"	FAIR	BROKEN BRANCHES/IN DRAINAGE CHANNEL	YES	YES
2	SALIX LAEVIGATA	RED WILLOW	42"	FAIR	BROKEN BRANCHES/IN DRAINAGE CHANNEL	YES	YES
3	SALIX LAEVIGATA	RED WILLOW	42"	FAIR	BROKEN BRANCHES/IN DRAINAGE CHANNEL	YES	YES
4	SALIX LAEVIGATA	RED WILLOW	6", 6"	GOOD	IN DRAINAGE CHANNEL	YES	YES
5	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	12"	GOOD	IN DRAINAGE CHANNEL	NO	YES
6	SALIX LAEVIGATA	RED WILLOW	6", 6", 6"	FAIR	IN DRAINAGE CHANNEL	YES	YES
7	SALIX LAEVIGATA	RED WILLOW	36"	FAIR	IN DRAINAGE CHANNEL	YES	YES
8	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	12"	GOOD	ON FENCE LINE	NO	YES



**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
TREE DISPOSITION PLAN**

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
SCALE: AS SHOWN  
JOB: 5298  
SHEET NO: L1.0

1633 Bayshore Highway, Suite 133  
Burlingame, CA 94010  
T: 650.375.1313  
www.calandrassoc.com

DRAWN BY: DC  
CHECKED BY: BF  
#24004

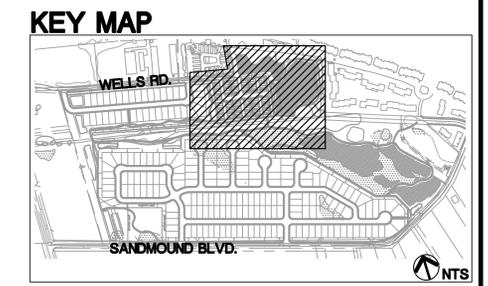




MATCHLINE SEE SHEET L10

MATCHLINE SEE SHEET L12

FOR TREE DISPOSITION LEGEND  
AND SUMMARY, SEE SHEET L1.0

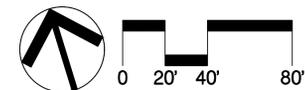
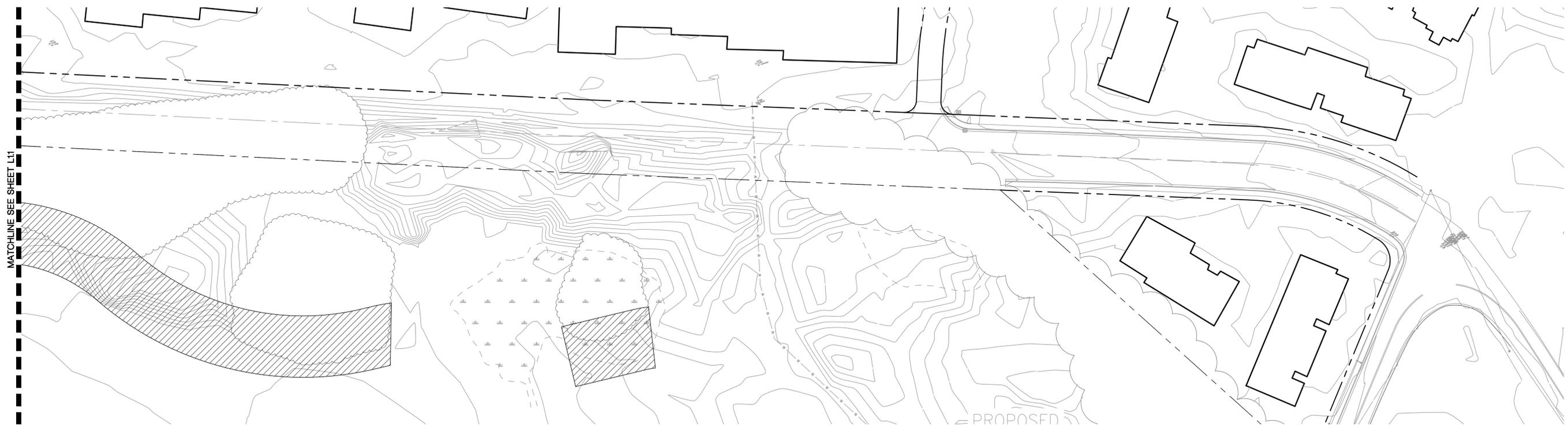


**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 TREE DISPOSITION PLAN

CONTRA COSTA COUNTY CALIFORNIA

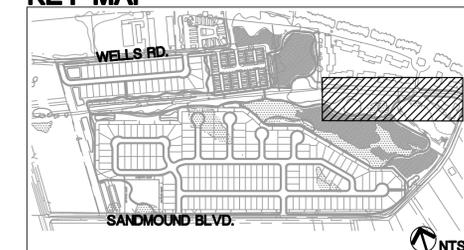
DATE:	AUGUST 14, 2024
SCALE:	AS SHOWN
JOB:	5298
SHEET NO.:	L1.1


 1633 Bayshore Highway, Suite 133  
 Burlingame, CA 94010  
 T: 415.375.1313  
 www.calanderasociates.com  
 DRAWN BY: DC  
 CHECKED BY: BF  
 #24004



FOR TREE DISPOSITION LEGEND  
AND SUMMARY, SEE SHEET L1.0

**KEY MAP**

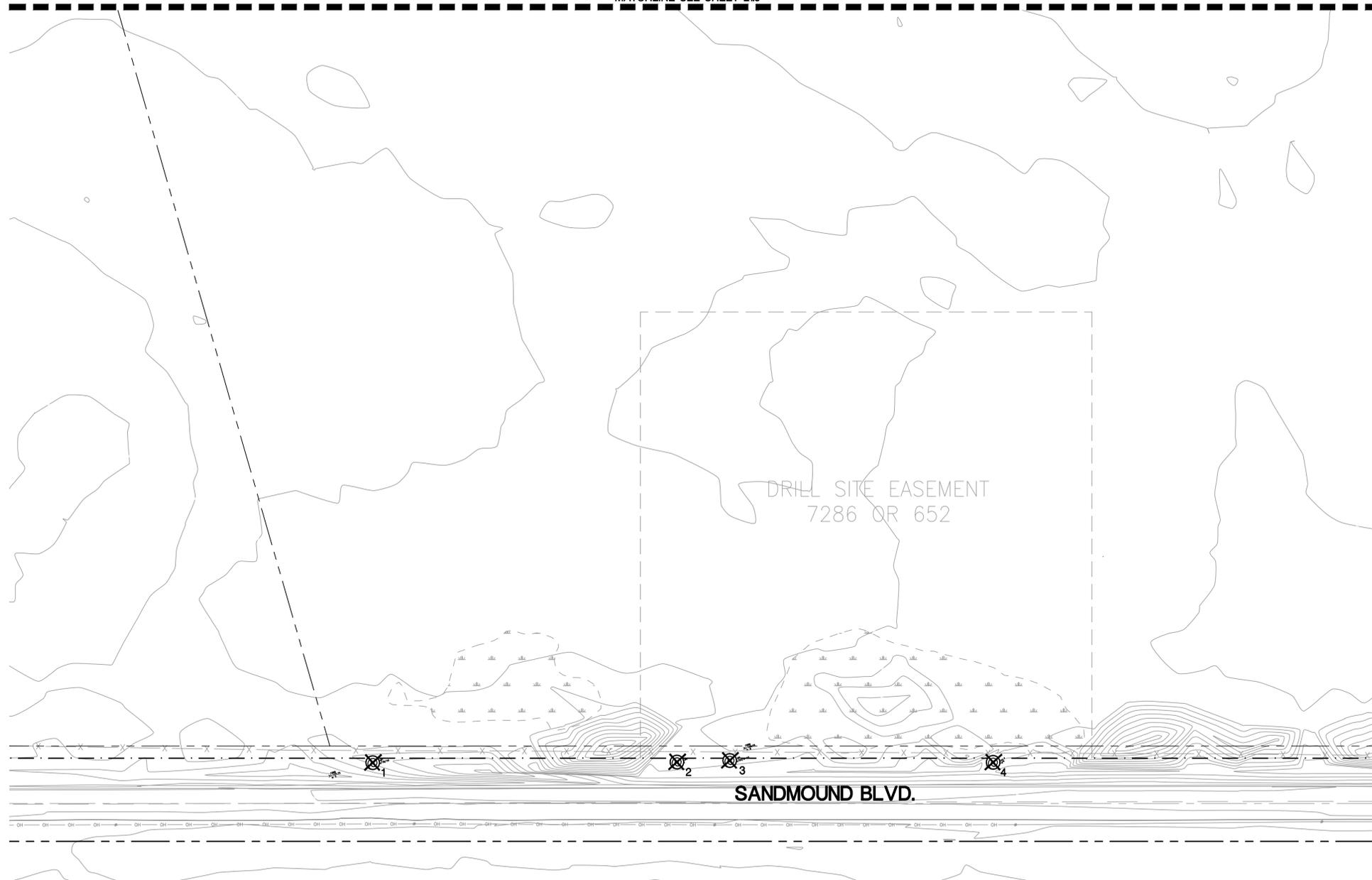


**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
TREE DISPOSITION PLAN**

CONTRA COSTA COUNTY	CALIFORNIA
DATE: AUGUST 14, 2024	SCALE: AS SHOWN
JOB: 5298	SHEET NO: L1.2
1633 Bayshore Highway, Suite 133 Burlingame, CA 94010 T: 415.375.1313 www.callanderassociates.com DRAWN BY: DC CHECKED BY: BF #24004	

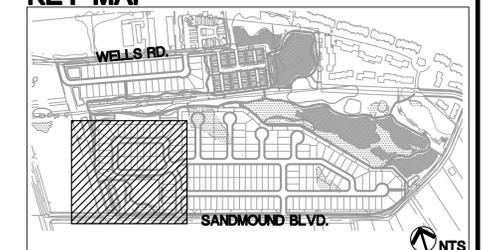


MATCHLINE SEE SHEET L10



FOR TREE DISPOSITION LEGEND  
AND SUMMARY, SEE SHEET L1.0

**KEY MAP**



**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
TREE DISPOSITION PLAN**

CONTRA COSTA COUNTY	CALIFORNIA
DATE: AUGUST 14, 2024	SCALE: AS SHOWN
JOB: 5298	SHEET NO: L1.3
 1633 Bayshore Highway, Suite 133 Burlingame, CA 94010 T: 415.375.1313 www.callanderassociates.com DRAWN BY: DC CHECKED BY: BF #24004	

**LEGEND**

-  STREET FRONTAGE TREES
-  PARKS/ OPEN SPACE TREES
-  SINGLE FAMILY RESIDENTIAL FRONTAGE/ DUPLEX TREES
-  EXISTING TREES
-  MONUMENT SIGN 2  
L2.4
-  STREET FRONTAGE LANDSCAPE
-  PARKS/ OPEN SPACE LANDSCAPE
-  SINGLE FAMILY RESIDENTIAL FRONTAGE/ DUPLEX LANDSCAPE
-  BIORETENTION LANDSCAPE
-  DRAINAGE CHANNEL LANDSCAPE
-  HYDROSEED
-  PROPOSED 'WETLANDS'
-  EXISTING 'WETLANDS'

**PROPOSED LANDSCAPE AREA**

STREET FRONTAGE LANDSCAPE: 88,795 SF  
 PARK/ OPEN SPACE LANDSCAPE: 130,765 SF  
 DUPLEX LANDSCAPE: 30,030 SF  
 SINGLE FAMILY RESIDENTIAL LANDSCAPE: 48,365 SF  
 BIORETENTION LANDSCAPE: 57,865 SF  
 DRAINAGE CHANNEL LANDSCAPE: 168,465 SF



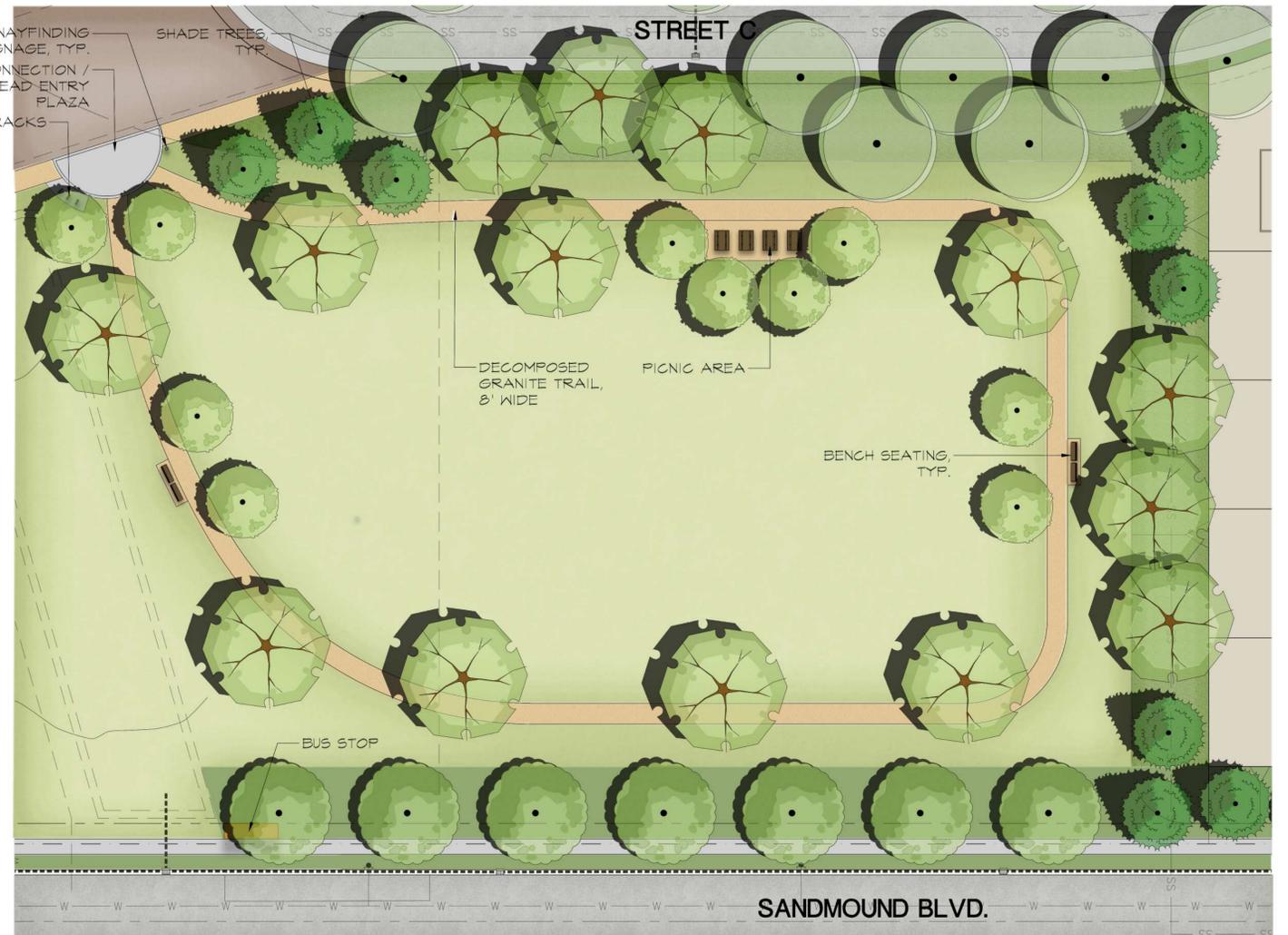
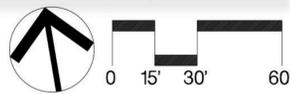
**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
**OVERALL LANDSCAPE PLAN**

CONTRA COSTA COUNTY CALIFORNIA

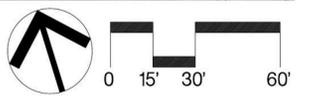
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1633 Bayshore Highway, Suite 133 Burlingame, CA 94010 T 650.375.1313 www.callanderassociates.com DRAWN BY: DC CHECKED BY: BF #24004	



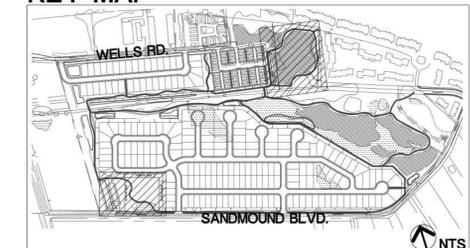
**1**  
**L2.1** OPEN SPACE #1  
ENLARGEMENT PLAN



**2**  
**L2.1** OPEN SPACE #2  
ENLARGEMENT PLAN



**KEY MAP**



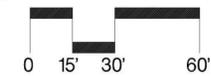
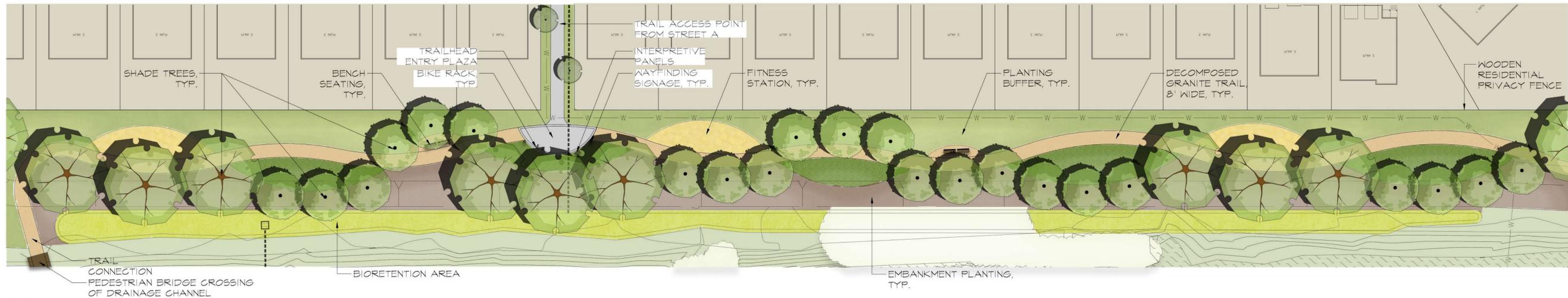
**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
LANDSCAPE PLAN ENLARGEMENTS**

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
SCALE: AS SHOWN  
JOB: 5298  
SHEET NO: **L2.1**

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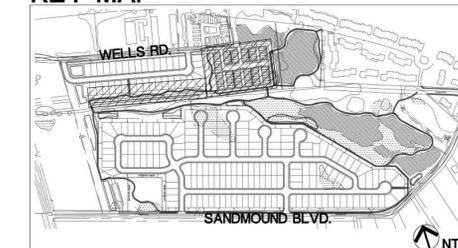


**1** LINEAR PARK  
L2.2 ENLARGEMENT PLAN



**2** DUPLEX PARK & DUPLEX COMMUNITY  
L2.2 ENLARGEMENT PLAN

**KEY MAP**



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
BETHEL ESTUARY ESTATES  
LANDSCAPE PLAN ENLARGEMENTS

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024

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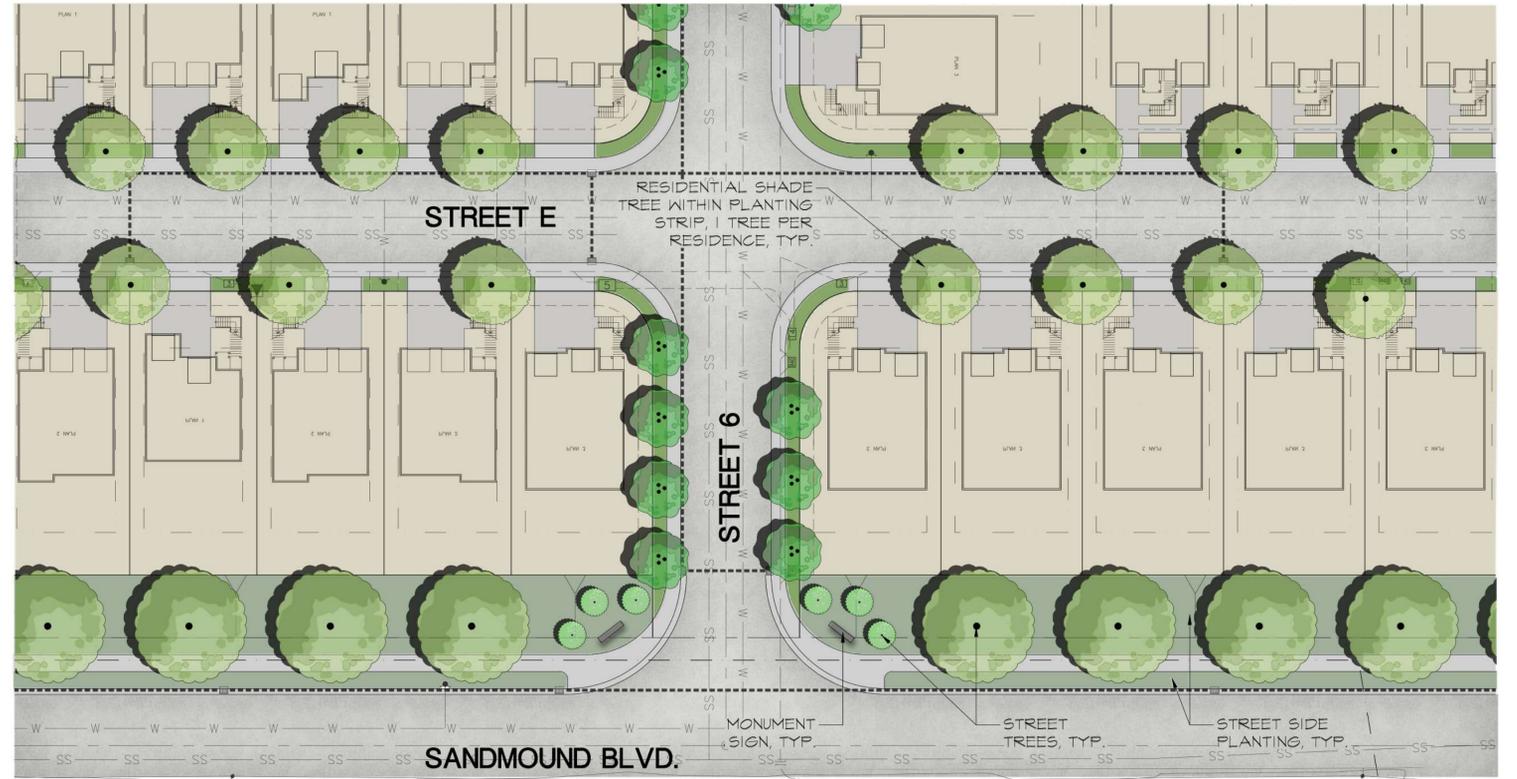
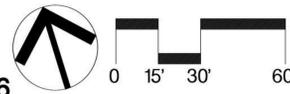
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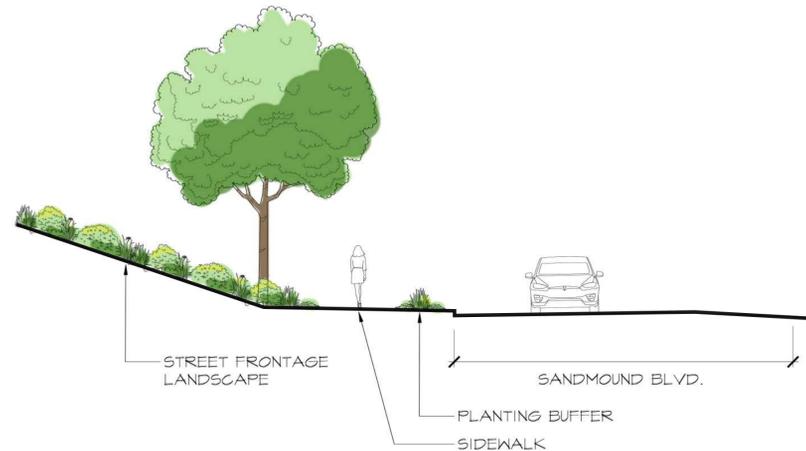




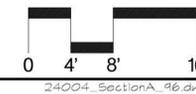
**1**  
**L2.3** SINGLE FAMILY RESIDENTIAL FRONTAGE - STREET D, 3, 4 & 6  
ENLARGEMENT PLAN



**2**  
**L2.3** SINGLE FAMILY RESIDENTIAL FRONTAGE - STREET E  
ENLARGEMENT PLAN



**3**  
**L2.3** SECTION A  
ELEVATION



**KEY MAP**

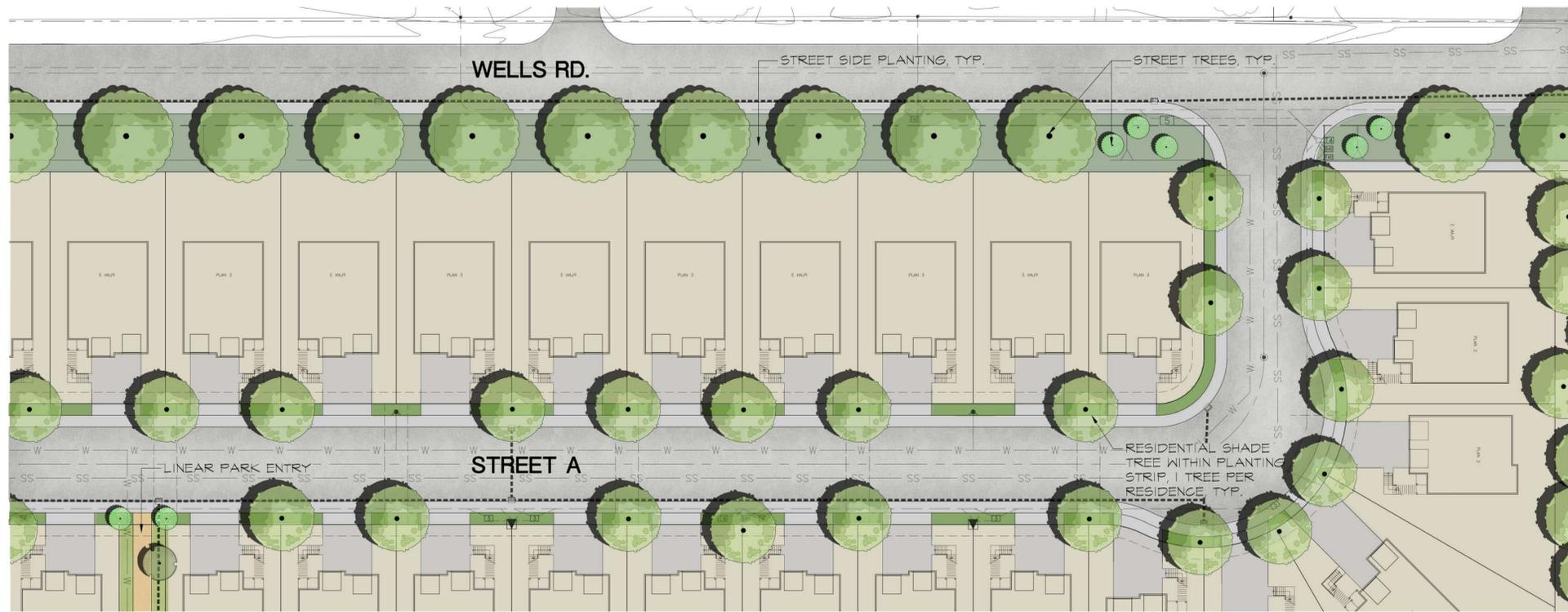


**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES**

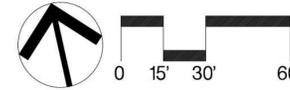
LANDSCAPE PLAN ENLARGEMENTS & ELEVATION  
CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
SCALE: AS SHOWN  
JOB: 5298  
SHEET NO:  
**L2.3**

**CALA**  
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#24004



**1** SINGLE FAMILY RESIDENTIAL FRONTAGE - STREET A  
**L2.4** ENLARGEMENT PLAN



SIGNAGE TABLE			
TYPE	QUANTITY (EA)	AREA (SF)	TOTAL (SF)
MONUMENT/ENTRY	6	32	192

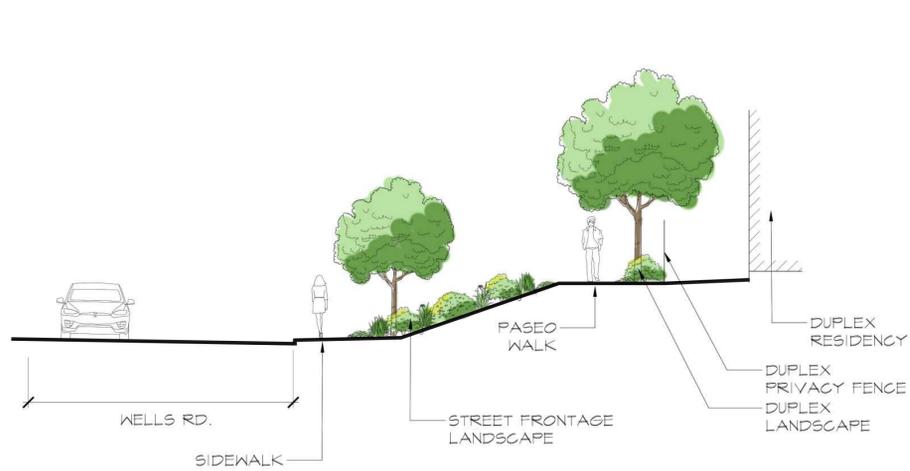
PRELIMINARY MONUMENT SIGN:  
 MATERIAL: CORTEN STEEL PANEL WITH CONCRETE BACKING  
 ILLUMINATION: BACK LIT CORTEN STEEL PANEL



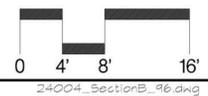
**2** MONUMENT SIGN  
**L2.4** ELEVATION

N.T.S.

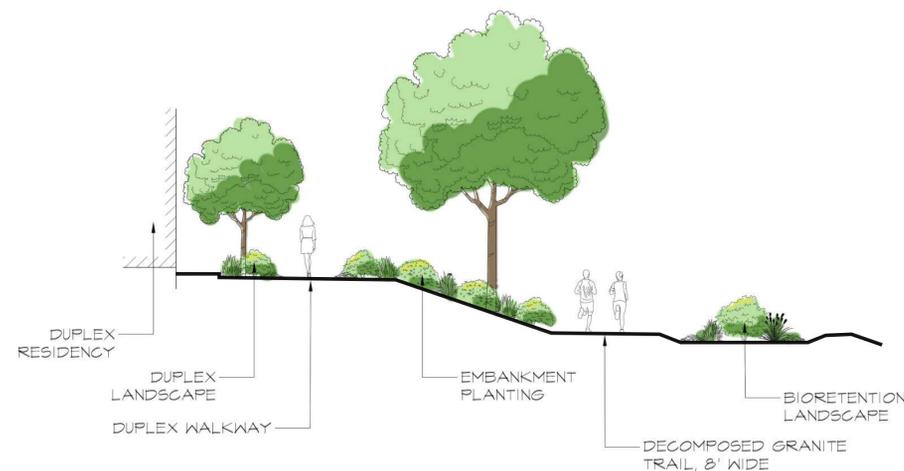
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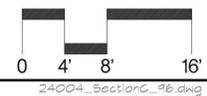
**3** SECTION B  
**L2.4** ELEVATION



24004\_SectionB\_96.dwg



**4** SECTION C  
**L2.4** ELEVATION



24004\_SectionC\_96.dwg

**KEY MAP**



**SUBDIVISION TRACT 9669  
 VESTING TENTATIVE MAP  
 BETHEL ESTUARY ESTATES**

LANDSCAPE PLAN ENLARGEMENTS & ELEVATIONS  
 CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
 SCALE: AS SHOWN  
 JOB: 5298  
 SHEET NO:  
**L2.4**

1633 Bayshore Highway, Suite 133  
 Burlingame, CA 94010  
 1.650.375.1313  
 www.callanderassociates.com  
 DRAWN BY: DC  
 CHECKED BY: BF  
 #24004



**PLANT LIST**

STREET FRONTAGE					BIORETENTION						
BOTANICAL NAME	COMMON NAME	SIZE	SPACING	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREES</b>					<b>SHRUBS</b>						
ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	MED	AS SHOWN	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BRUSH	LOW	72" O.C.				
CEDRUS ATLANTICA 'GLAUCA'	ATLAS CEDAR	MED	AS SHOWN	CHONDROPETALUM TECTORUM	CAPE REED	LOW	36" O.C.				
LAGERSTROEMIA 'ARAPAH0'	GRAPE MYRTLE	LOW	AS SHOWN	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	LOW	24" O.C.				
<b>SHRUBS</b>					<b>DRAINAGE CHANNEL</b>						
AGAVE AMERICANA 'ALBA'	AGAVEVERY	LOW	60" O.C.								
ANIGOZANTHOS 'BUSH RANGER'DWARF	RED KANGAROO PAM	LOW	24" O.C.								
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	LOW	60" O.C.								
CISTUS SALVIFOLIUS 'PROSTRATUS'	ROCKROSE	LOW	60" O.C.								
COLEONEMA PULCHELLUM 'SUNSET GOLD'	BREATH OF HEAVEN	MED	60" O.C.								
DIETES GRANDIFLORA	FORTNIGHT LILY	LOW	36" O.C.								
FESTUCA MAIREI	MAIRE'S FESCUE	LOW	36" O.C.								
LIMONIUM PEREZII	STATICE	MED	36" O.C.								
SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	LOW	48" O.C.								
<b>TREES</b>					<b>TREES</b>						
ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	MED	AS SHOWN	CERCIS OCCIDENTALIS	WESTERN REDBUD	LOW	AS SHOWN				
CEDRUS ATLANTICA 'GLAUCA'	ATLAS CEDAR	MED	AS SHOWN	PLATANUS RACEMOSA	WESTERN SYCAMORE	MED/HIGH	AS SHOWN				
LAGERSTROEMIA 'ARAPAH0'	GRAPE MYRTLE	LOW	AS SHOWN	SALIX LASIOLEPIS	ARROYO WILLOW	HIGH	AS SHOWN				
PRUNUS CERASIFERA	PURPLE LEAF PLUM	MED	AS SHOWN								
QUERCUS AGRIFOLIA	COAST LIVE OAK	V. LOW	AS SHOWN								
<b>SHRUBS</b>					<b>SHRUBS</b>						
ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW	LOW	24" O.C.	ARTEMISIA DOUGLASIANA	CALIFORNIA MUGWORT	LOW	48" O.C.				
ANIGOZANTHOS 'BUSH RANGER'	DWARF RED KANGAROO PAM	LOW	24" O.C.	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BRUSH	LOW	72" O.C.				
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	LOW	48" O.C.	CAREX DIVULSA (CAREX TUMULICOLA)	EUROPEAN GRAY SEDGE	LOW	24" O.C.				
ARMERIA MARITIMA	SEA PINK	MED	24" O.C.	DIPTEROSTEMON CAPITATUS	WILD HYACINTHS	LOW	24" O.C.				
BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLUE GRAMA	LOW	24" O.C.	JUNCUS EFFUSUS	SOFT RUSH	MED	36" O.C.				
CAREX DIVULSA (CAREX TUMULICOLA)	EUROPEAN GRAY SEDGE	LOW	24" O.C.	JUNCUS PATENS C	ALIFORNIA GRAY RUSH	MED	24" O.C.				
CEANOTHUS THYRSIFLORUS VAR. GRISEUS	YANKEE POINT CEANOTHUS	LOW	96" O.C.	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	LOW	72" O.C.				
'YANKEE POINT'											
CISTUS PURPUREUS	ORCHID ROCKROSE	LOW	60" O.C.								
COLEONEMA PULCHELLUM 'SUNSET GOLD'	BREATH OF HEAVEN	MED	60" O.C.								
COTINUS COGGYGRIA 'ROYAL PURPLE'	PURPLE SMOKE TREE	LOW	120" O.C.								
COTONEASTER DAMMERI 'LOWFAST'	BEARBERRY COTONEASTER	LOW	96" O.C.								
DIETES GRANDIFLORA	FORTNIGHT LILY	LOW	36" O.C.								
DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	LOW	120" O.C.								
GREWIA OCCIDENTALIS	LAVENDER STAR FLOWER	MED	96" O.C.								
LAVATERA MARITIMA	BUSH MALLOW	LOW	120" O.C.								
LIMONIUM PEREZII	STATICE	MED	36" O.C.								
PHORMIUM 'PLATTS BLACK'	NEW ZEALAND FLAX	MED	36" O.C.								
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	MED	36" O.C.								
ROSMARINUS OFFICINALIS	DWARF ROSEMARY	LOW	72" O.C.								
'HUNTINGTON CARPET'											
<b>TREES</b>					<b>TREES</b>						
ARBUTUS 'MARINA'	MARINA ARBUTUS	LOW	AS SHOWN								
CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	MED	AS SHOWN								
KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	MED	AS SHOWN								
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	SOUTHERN MAGNOLIA	MED	AS SHOWN								
PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	LOW	AS SHOWN								
ZELKOVA SERRATA 'VILLAGE GREEN'	SAW LEAF ZELKOVA	MED	AS SHOWN								
<b>SHRUBS</b>					<b>SHRUBS</b>						
ACHILLEA MILLEFOLIUM 'MOONSHINE'	YARROW	LOW	24" O.C.								
ANIGOZANTHOS 'BUSH RANGER'	DWARF RED KANGAROO PAM	LOW	24" O.C.								
ARMERIA MARITIMA	SEA PINK	MED	24" O.C.								
BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLUE GRAMA	LOW	24" O.C.								
CAREX DIVULSA (CAREX TUMULICOLA)	EUROPEAN GRAY SEDGE	LOW	24" O.C.								
CEANOTHUS THYRSIFLORUS VAR. GRISEUS	YANKEE POINT CEANOTHUS	LOW	96" O.C.								
'YANKEE POINT'											
CISTUS PURPUREUS	ORCHID ROCKROSE	LOW	60" O.C.								
COLEONEMA PULCHELLUM 'SUNSET GOLD'	BREATH OF HEAVEN	MED	60" O.C.								
COTINUS COGGYGRIA 'ROYAL PURPLE'	PURPLE SMOKE TREE	LOW	120" O.C.								
COTONEASTER DAMMERI 'LOWFAST'	BEARBERRY COTONEASTER	LOW	96" O.C.								
DIETES GRANDIFLORA	FORTNIGHT LILY	LOW	36" O.C.								
LAVATERA MARITIMA	BUSH MALLOW	LOW	120" O.C.								
LIMONIUM PEREZII	STATICE	MED	36" O.C.								
PHORMIUM 'PLATTS BLACK'	NEW ZEALAND FLAX	MED	36" O.C.								
PHORMIUM 'YELLOW WAVE'	NEW ZEALAND FLAX	MED	36" O.C.								
ROSMARINUS OFFICINALIS	DWARF ROSEMARY	LOW	72" O.C.								
'HUNTINGTON CARPET'											
TEUCRIUM FRUTICANS 'AZUREUM'	BUSH GERMANDER	LOW	60" O.C.								
STACHYS BYZANTINA	LAMB'S EARS	LOW	48" O.C.								
WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	LOW	48" O.C.								

**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
LANDSCAPE PLANT LIST**

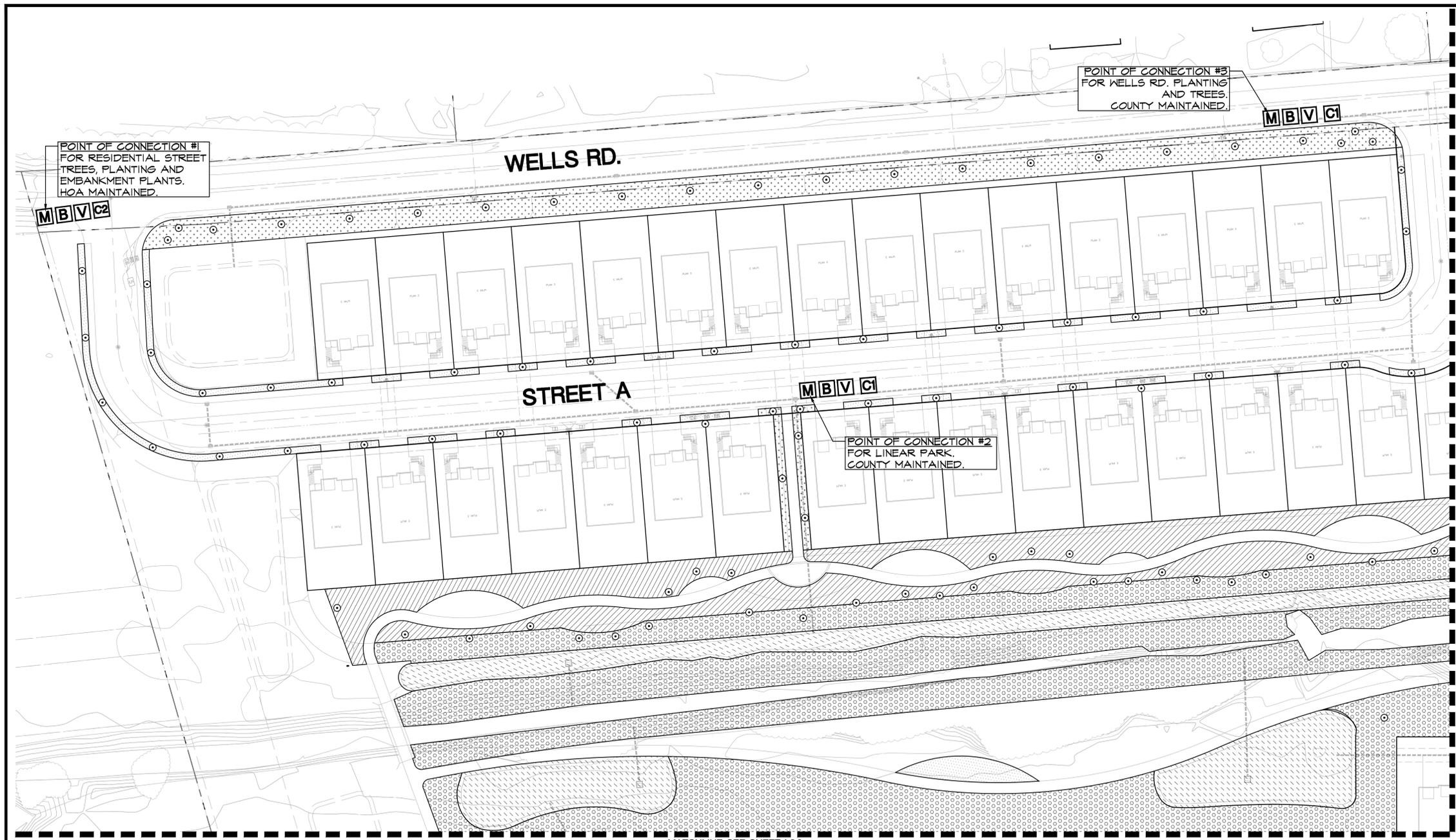
CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
SCALE: AS SHOWN  
JOB: 5298  
SHEET NO: L2.5

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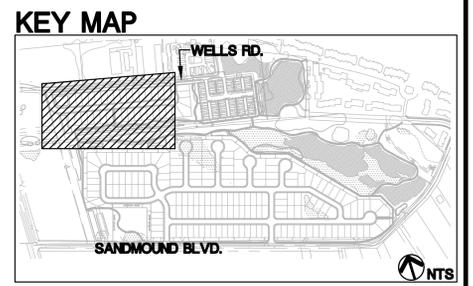
DRAWN BY: DC  
CHECKED BY: BF  
#24004





**SCHEMATIC IRRIGATION LEGEND**

-  BIORETENTION SPRAY HEADS, SHALL BE TORO 570ZPRX SERIES OR APPROVED EQUAL WITH PLASTIC PRECISION SERIES ROTATING AND/OR SPRAY NOZZLES. A TORO CHECK-OMATIC VALVE AND PRESSURE COMPENSATION DEVICE IS REQUIRED IN ALL HEADS PER C.C.S. ALL HEADS SHALL RISE OR POP-UP A MINIMUM OF 12 INCHES IN GROUND COVER AREAS. SHALL NOT BE USED IN AREAS LESS THAN 8 FEET WIDE. SPRAY HEADS TO HAVE MATCHED PRECIP RATES WITHIN EACH VALVE.
-  SHRUB SPRAY HEADS, SHALL BE TORO 570ZPRX SERIES OR APPROVED EQUAL WITH PLASTIC PRECISION SERIES ROTATING AND/OR SPRAY NOZZLES. A TORO CHECK-OMATIC VALVE AND PRESSURE COMPENSATION DEVICE IS REQUIRED IN ALL HEADS PER C.C.S. ALL HEADS SHALL RISE OR POP-UP A MINIMUM OF 12 INCHES IN GROUND COVER AREAS. SHALL NOT BE USED IN AREAS LESS THAN 8 FEET WIDE. SPRAY HEADS TO HAVE MATCHED PRECIP RATES WITHIN EACH VALVE.
-  TURF ROTORS, SHALL BE GEAR-DRIVEN AND POP-UP TYPE WITH INTEGRAL CHECK VALVE. SPRINKER HEAD SHALL HAVE POSITIVE SPRING RETRACTION AND RISE OR POP UP A MINIMUM OF 4 INCHES IN TURF PER C.C.S. ACCEPTABLE MANUFACTURERS ARE TORO, HUNTER, RAINBIRD OR AN APPROVED EQUAL.
-  DRIP BUBBLERS, SHALL BE JAIN OCTA-BUBBLER OR APPROVED EQUAL PER C.C.S.
-  SUB-SURFACE DRIP IRRIGATION, SHALL BE HUNTER PLD-ESD OR APPROVED EQUAL. 0.6 GPH EMITTER FLOW AND 14-INCH EMITTER SPACING. SPACE EMITTER LINE ROWS AT 14-INCHES ON CENTER. PRESSURE COMPENSATING WITH CHECK VALVE.
-  50% SUB-SURFACE DRIP IRRIGATION, 50% NON-IRRIGATED AREA. REFER TO SUB-SURFACE DRIP IRRIGATION FOR MATERIAL TYPE.
-  TREE BUBBLER, SHALL BE HUNTER RZWS-18-CV, 18" LONG RZWS WITH INSTALLED 0.25 GPM, PER C.C.L.S. EACH SYMBOL REPRESENTS (2) BUBBLERS.
-  C1 CONTROLLER, TYPE 1, COUNTY MAINTAINED IRRIGATION SHALL BE WEATHERTRAK ET PRO 3
-  C2 CONTROLLER, TYPE 2, NON-COUNTY MAINTAINED IRRIGATION SHALL BE PER C.C.S. OR APPROVED EQUAL
-  B BACKFLOW PREVENTER, SHALL BE ZURN WILKINS, CLA-VAL, FEBCO OR APPROVED EQUAL. ALL UNITS SHALL BE EQUIPPED WITH BALL VALVES AND CONTAINED WITHIN A VANDAL-RESISTANT ENCLOSURE PER C.C.S.
-  V MASTER VALVE AND FLOW SENSOR, SHALL BE PER C.C.S. OR APPROVED EQUAL
-  M WATER METER, SHALL BE PER C.C.S. OR APPROVED EQUAL
- C.C.S. CONTRA COSTA COUNTY LANDSCAPE STANDARDS

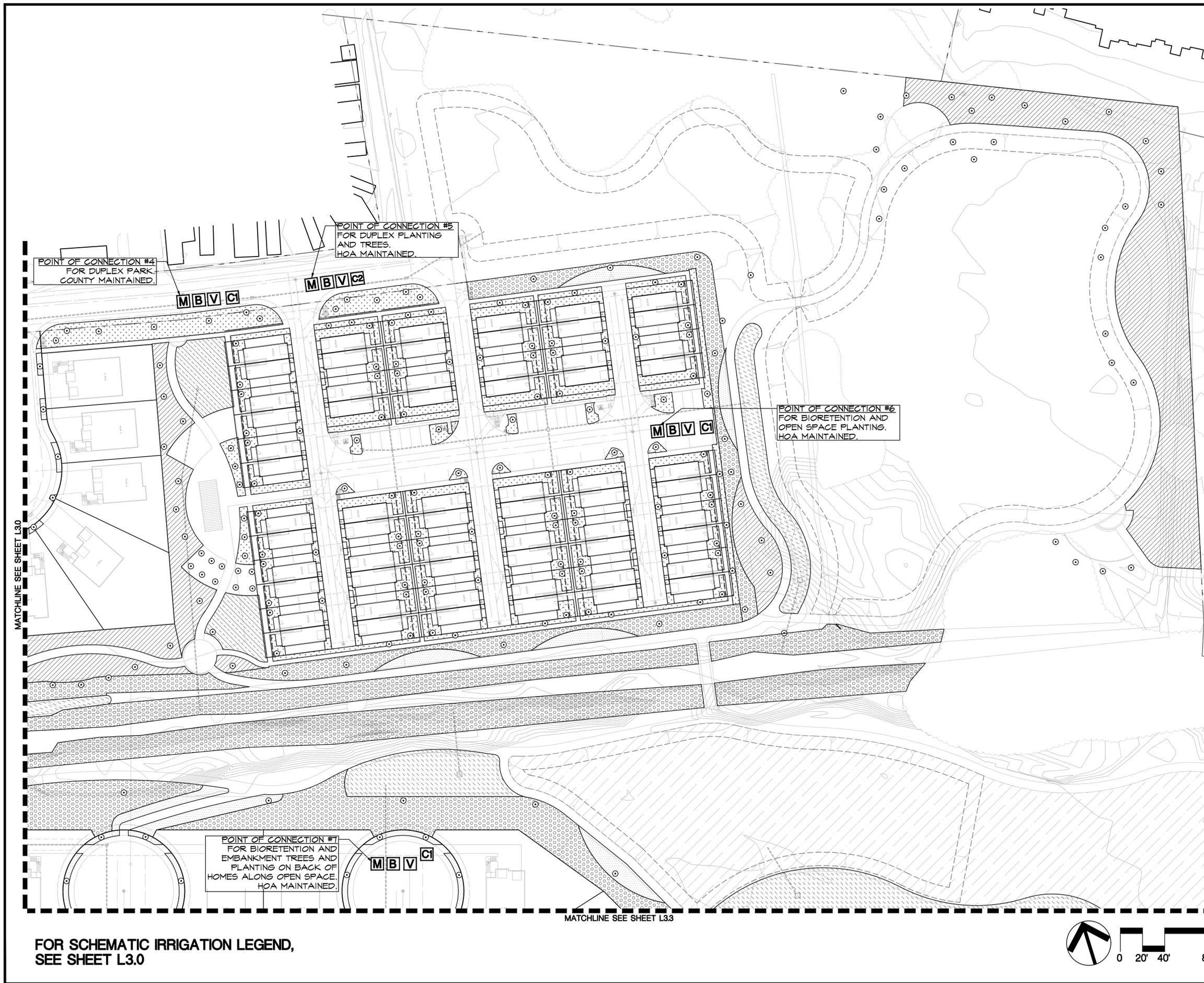


**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
SCHEMATIC IRRIGATION PLAN**

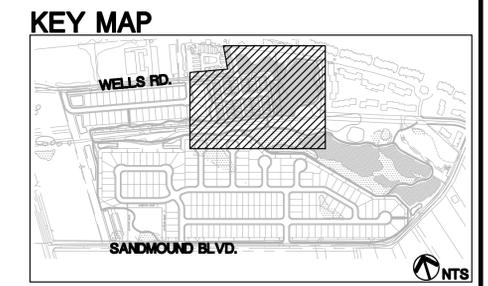
CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024	SHEET NO: 5298
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<b>L3.0</b>	





FOR SCHEMATIC IRRIGATION LEGEND,  
SEE SHEET L3.0



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SCHEMATIC IRRIGATION PLAN

CONTRA COSTA COUNTY CALIFORNIA

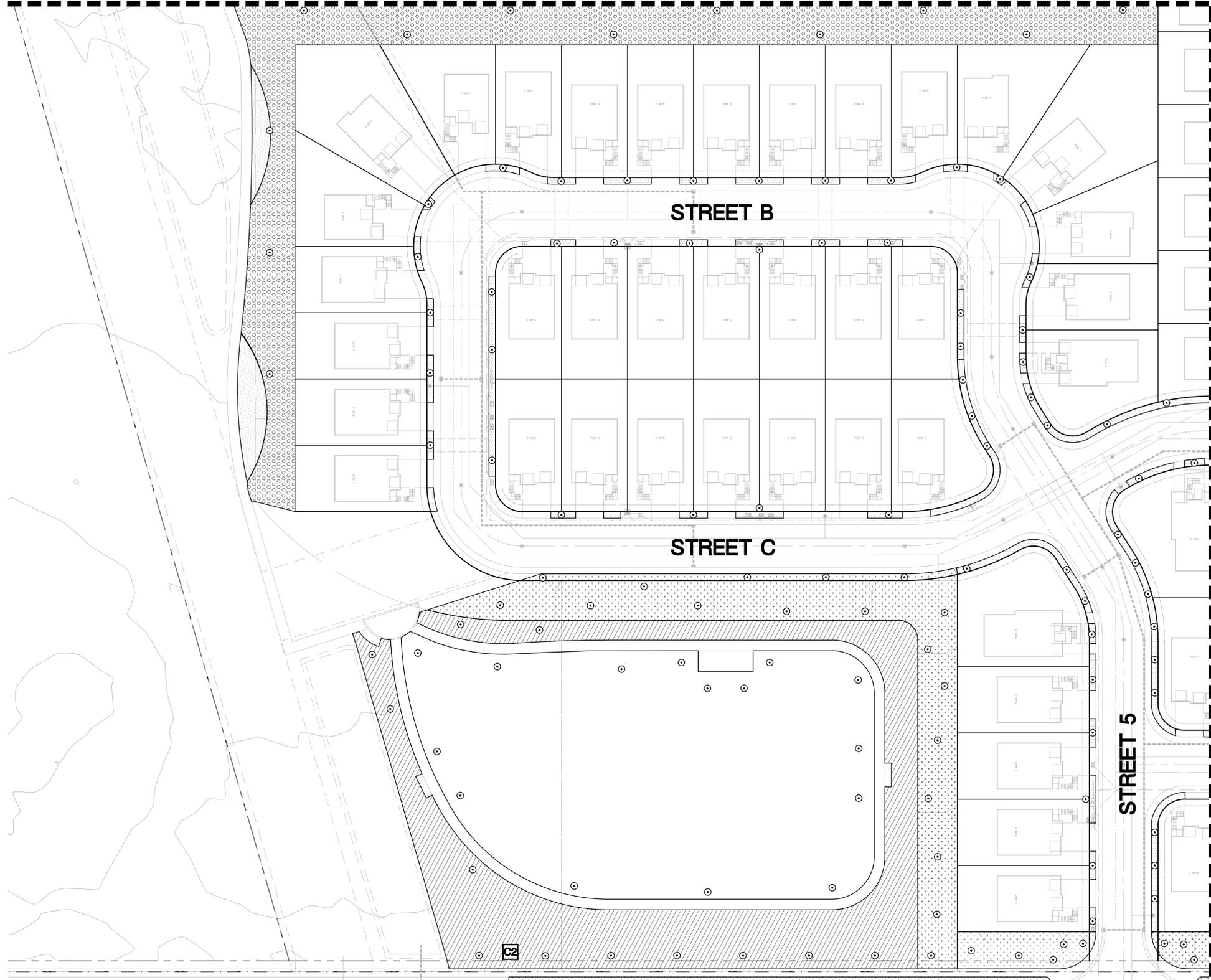
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 SCALE: AS SHOWN  
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 SHEET NO: L3.1

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MATCHLINE SEE SHEET L3.0



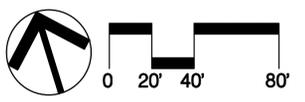
MATCHLINE SEE SHEET L3.3

POINT OF CONNECTION #2  
FOR OPEN SPACE PLANTING.  
HOA MAINTAINED.

M B V

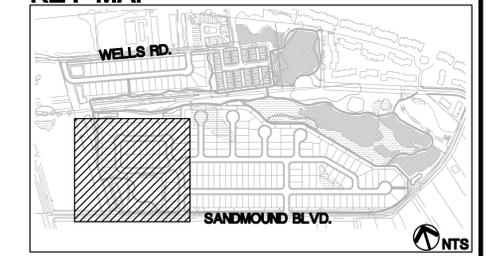
POINT OF CONNECTION #1  
FOR RESIDENTIAL STREET  
TREE PLANTING AND  
EMBANKMENT PLANTING  
ALONG SANDMOUND BLVD.  
HOA MAINTAINED.

M B V



FOR SCHEMATIC IRRIGATION LEGEND,  
SEE SHEET L3.0

KEY MAP



**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SCHEMATIC IRRIGATION PLAN

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
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 SHEET NO: L3.2

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**CALA**

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MATCHLINE SEE SHEET L3.1

MATCHLINE SEE SHEET L3.2

MATCHLINE SEE SHEET L3.4

STREET 1

STREET 2

STREET 3

STREET 4

STREET D

STREET 6

STREET E

SANDMOUND BLVD.

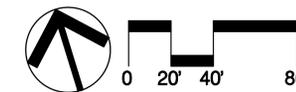
POINT OF CONNECTION #10  
FOR RESIDENTIAL STREET  
TREES AND PLANTING.  
HOA MAINTAINED.

POINT OF CONNECTION #11  
FOR SANDMOUND BLVD.  
TREES AND PLANTING ON  
CITY SIDE OF ROW.  
CITY MAINTAINED.

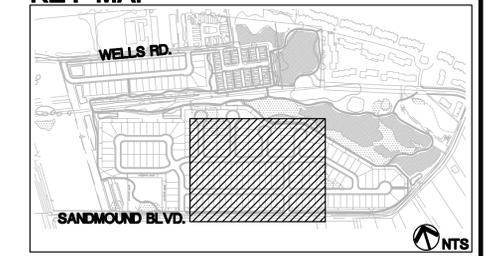
MBV 2

MBV 3

FOR SCHEMATIC IRRIGATION LEGEND,  
SEE SHEET L3.0



KEY MAP



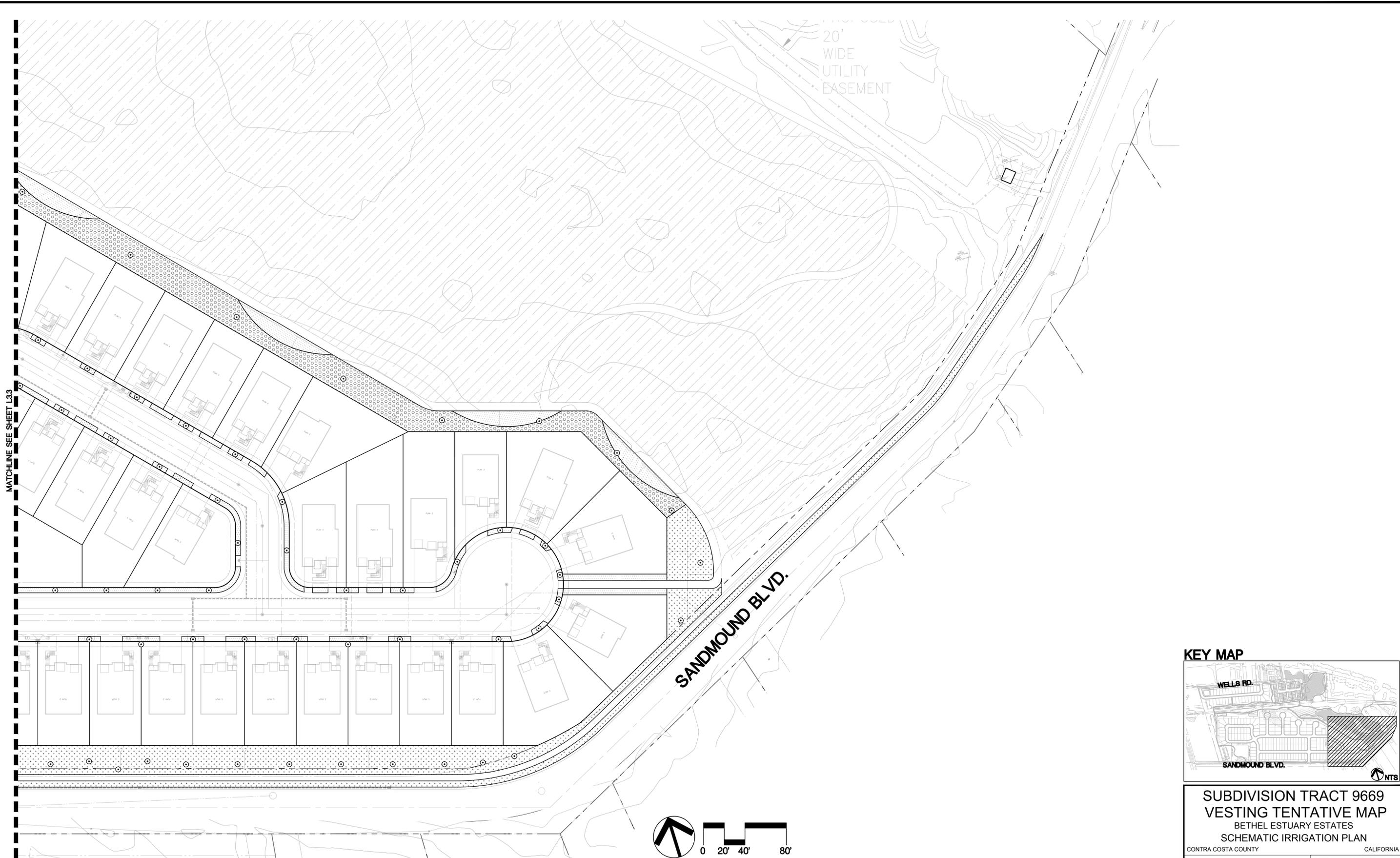
SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
SCHEMATIC IRRIGATION PLAN

CONTRA COSTA COUNTY CALIFORNIA

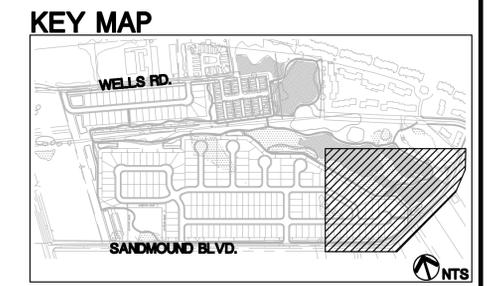
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L3.3

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FOR SCHEMATIC IRRIGATION LEGEND,  
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**SUBDIVISION TRACT 9669**  
**VESTING TENTATIVE MAP**  
 BETHEL ESTUARY ESTATES  
 SCHEMATIC IRRIGATION PLAN

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024  
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DUPLEX PARK



tot play structure



tot swings



picnic area w/ cafe style tables & chairs



bbq island



trellis style shaded picnic area

LINEAR PARK & TRAIL



bench seating



fitness station



bike rack



decomposed granite trail



trail-head plaza

OPEN SPACE PARK



nature play area



adirondack group seating



bench seating



pedestrian bridge crossover/ culvert

TRAIL SIGNAGE



wayfinding sign



interpretive panels



trail mileage sign

SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
MATERIALS

CONTRA COSTA COUNTY	CALIFORNIA
DATE: AUGUST 14, 2024	SCALE: AS SHOWN
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TREES



Acer rubrum 'October Glory'



Koelreuteria bipinnata



Prunus cerasifera



Arbutus 'Marina'



Lagerstroemia 'Arapaho'



Quercus agrifolia



Cedrus atlantica 'Glauca'



Magnolia grandiflora 'Little Gem'



Salix lasiolepis



Cercis occidentalis



Pistacia chinensis



Zelkova serrata 'Village Green'



Crataegus phaenopyrum



Platanus racemosa

SHRUBS/  
GROUND COVER



Achillea millefolium



Artemisia douglasiana



Ceanothus thyrseiflorus var.



Agave americana 'Alba'



Baccharis pilularis



Chondropetalum tectorum



Anigozanthos 'Bush Ranger'



Bouteloua gracilis 'Blonde Ambition'



Cistus purpureus



Armeria maritima



Callistemon 'Little John'



Cistus salviifolius 'Prostratus'



Artemisia californica



Carex divulsa

SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
PLANT IMAGERY

CONTRA COSTA COUNTY CALIFORNIA

DATE: AUGUST 14, 2024

SCALE: AS SHOWN

JOB: 5298

SHEET NO:

L5.0



**SHRUBS/  
GROUNDCOVER**



*Coleonema pulchellum*



*Dipterostemon capitatus*



*Juncus effusus*



*Phormium 'Platts Black'*



*Stachys byzantina*



*Cotinus coggygria*



*Dodonaea viscosa*



*Juncus patens*



*Phormium 'Yellow Wave'*



*Teucrium fruticans 'Azureum'*



*Cotoneaster dammeri*



*Festuca californica*



*Lavatera maritima*



*Rosa californica*



*Westringia fruticosa 'Morning Light'*



*Deschampsia cespitosa*



*Festuca mairei*



*Limonium perezii*



*Rosmarinus officinalis 'Huntington Carpet'*



*Dietes grandiflora*



*Grewia occidentalis*



*Muhlenbergia rigens*



*Salvia leucantha 'Santa Barbara'*

**SUBDIVISION TRACT 9669  
VESTING TENTATIVE MAP  
BETHEL ESTUARY ESTATES  
PLANT IMAGERY**

CONTRA COSTA COUNTY CALIFORNIA  
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