



AGENCY COMMENT REQUEST

Date 10/27/25

We request your comments regarding the attached application currently under review.

<u>DISTRIBUTION</u>	
<u>INTERNAL</u>	
<input checked="" type="checkbox"/> Building Inspection	Grading Inspection
Advance Planning	Housing Programs
Trans. Planning	Telecom Planner
ALUC Staff	HCP/NCCP Staff
County Geologist	
<u>HEALTH SERVICES DEPARTMENT</u>	
<input checked="" type="checkbox"/> Environmental Health	Hazardous Materials
<u>PUBLIC WORKS DEPARTMENT</u>	
Engineering Services	Special Districts
Traffic	
Flood Control (Full-size)	
<u>LOCAL</u>	
<input checked="" type="checkbox"/> Fire District _____	
<input checked="" type="checkbox"/> San Ramon Valley – (email) rwendel@srvfire.ca.gov	
Consolidated – (email) fire@cccfdpd.org	
<input checked="" type="checkbox"/> Sanitary District <u>Central San</u>	
<input checked="" type="checkbox"/> Water District <u>EBMUD</u>	
City of _____	
School District(s) _____	
LAFCO	
Reclamation District # _____	
East Bay Regional Park District	
Diablo/Discovery Bay/Crockett CSD	
<input checked="" type="checkbox"/> MAC/TAC <u>Alamo MAC</u>	
<input checked="" type="checkbox"/> Improvement/Community Association	
<input checked="" type="checkbox"/> CC Mosquito & Vector Control Dist (email)	
<u>OTHERS/NON-LOCAL</u>	
CHRIS (email only: nwic@sonoma.edu)	
CA Fish and Wildlife, Region 3 – Bay Delta	
Native American Tribes	
<u>ADDITIONAL RECIPIENTS</u>	
Alamo AIA	

Please submit your comments to:

Project Planner Dulce Reckmeyer-Walton

Phone # 925-655-2854

E-mail dulce.reckmeyer-walton@dcd.cccoun

County File # CDVR25-01054

Prior to Nov. 24, 2025

We have found the following special programs apply to this application:

Landslide Active Fault Zone (A-P)

☒ Liquefaction ☒ Flood Hazard Area

☒ 60-dBA Noise Control

CA EPA Hazardous Waste Site

High or Very High FHSZ

AGENCIES: Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.

Comments: None Below Attached

Print Name _____

Signature _____ DATE _____

Agency phone # _____



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01054

File Date: 10/23/2025

Applicant:

Mason Wodhams MWAC
23 RAILROAD AVE # 352
DANVILLE, CA 94526

mason@mjwarch.com
(805) 234-3812

Property Owner:

ERIC TRE MOCZULSKI
1048 ADRIENNE DR
ALAMO, CA 94507 240

shan353@yahoo.com
(310) 720-4683

Project Description:

The applicant requests approval of a variance to allow a 10-foot side yard setback (where 15'-0" is the minimum required) to rebuild a portion of the existing garage and allow an addition to an existing single-family residence. The project also includes a small lot design review for a roof change, from flat to pitched and an approximately 347-square-foot addition on a substandard lot.

Project Location: (Address: 1048 ADRIENNE DR, ALAMO, CA 94507 240), (APN: 197060017)

General Plan Designation(s): RC:RL

Zoning District(s): R-20

Flood Hazard Areas: A

AP Fault Zone: NO

60-dBA Noise Control: YES

MAC/TAC: Alamo MAC

Sphere of Influence: N/A

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

Housing Inventory Site: NO

Specific Plan: N/A

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3280.00	3280.00

Mason Wodhams Architectural Corp.
23 Railroad Ave. #352
Danville, CA 94526
(805) 234-3812

October 22, 2025

Contra Costa County
Department of Conservation and Development
30 Muir Rd.
Martinez, CA 94553

RE: Variance Findings

To whom it may concern,

Please see the required findings for a variance included herein. Please let us know if you have any questions or need any additional information.

1. The existing structure is already non-conforming with the setbacks, and our project proposes to bring the building setbacks closer to the zoning requirements. The neighborhood consists of several non-conforming lots mainly due to their width and as a result several neighboring properties fail to meet the setbacks prescribed in the zoning code; as such allowing this proposal would not constitute a granting of special privilege.
2. The existing home located on this property is already as close as 4'-6" from the property line at its closest point. We are proposing to remove a portion of the building closest to the property line. We are extending that new line of the building backwards, angling away from said property line. The end result takes the structure from 4'-6" at the closest point, to 10'-0" for the existing structure and the new addition will start at 14'-0" from the property line and angle away until it hits the 15'-0" minimum setback. The homeowners would not be afforded the same development rights as the neighboring properties without allowing us to address and work within these existing circumstances.
3. The intent and purpose of the zoning code is to allow for consistency within the neighborhood. This project would improve an already non-conforming structure to bring it closer to the zoning standards and in line the surrounding neighborhood. As such this project substantially meets the intent and purpose of the zoning code.

Thank you for your time and consideration in this matter. Please let us know if you have any questions or need any additional information.

Sincerely,



Mason Wodhams



General Plan



Map Legend

- Assessment Parcels
- General Plan
 - RL (Residential Low Density) (1-3 du/na)
 - PS (Public and Semi-Public)
 - PR (Park and Recreation)
 - RC (Resource Conservation)
 - Unincorporated
- Board of Supervisors' Districts
- Address Points

Zoning



Map Legend

- Assessment Parcels
- Zoning
 - ZONE_OVER
 - R-20 (Single Family Residential)
 - Unincorporated
 - Board of Supervisors' Districts
 - Address Points

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

Contra Costa County Department of Information Technology, County GIS

Data layers contained within the CCMAP application are provided by various Contra Costa County Departments.

Please direct all data inquiries to the appropriate department.

Spatial Reference
PCS, WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

Orthophotography



Map Legend

- Assessment Parcels
- Unincorporated
- Board of Supervisors' Districts
- Address Points

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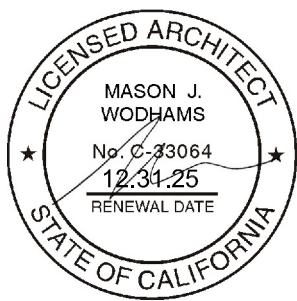
Spatial Reference
PCS: WGS 1984 Web Mercator Auxiliary Sphere
Datum: WGS 1984

MASON
WODHAMS
ARCHITECTURAL
CORP.

23 RAILROAD AVE. #352
DANVILLE, CA 94526
(805) 234-3812

CLIENT
ERIC
MOCZULSKI AND
SHANNON
DAUGHTON

PROJECT
ADRIENNE
RESIDENCE
1048 ADRIENNE DR.
ALAMO, CA 94549
APN: 197-060-017



REVISIONS

PROJECT SUMMARY	
EXISTING LOT SIZE:	22,824 S.F.
EXISTING RESIDENCE:	
MAIN FLOOR LIVING AREA	2,233 S.F.
TOTAL LIVING AREA	2,233 S.F.
ATTACHED 1-CAR GARAGE	380 S.F.
PROPOSED RESIDENCE:	
MAIN FLOOR LIVING AREA	2,580 S.F.
TOTAL LIVING AREA	2,580 S.F.
ATTACHED 1-CAR GARAGE	250 S.F.
IMPERVIOUS CALCULATIONS	
EXISTING COVERAGE:	
BUILDINGS	2,613 S.F.
COVERED PORCHES	84 S.F.
HARDSCAPE	1,450 S.F.
TOTAL PROPOSED COVERAGE	4,652 S.F.
PROPOSED COVERAGE:	
BUILDINGS	2,830 S.F.
COVERED PORCHES	410 S.F.
HARDSCAPE	1,140 S.F.
TOTAL PROPOSED COVERAGE	4,380 S.F.
TOTAL PROPOSED COVERAGE:	4,380 S.F.
LOT SIZE:	22,824 S.F.
% LOT COVERAGE	19.19%
PARKING SUMMARY	
SPACES PROVIDED	
COVERED	1
UNCOVERED	2

DATE
09.30.25

SCALE
1"=10'-0"

PROPOSED
SITE PLAN

SHEET

A1.1



ALL PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS SIGNED AND STAMPED BY THE ENGINEER AND REVIEWING AGENCY.

ADRIENNE DRIVE

ABBREVIATIONS

AC	ASPHALT CONCRETE
TFC	TOP FACE OF CURB
FL	FLOW LINE
LIP	LIP OF GUTTER
CB	CATCH BASIN
DI	DRAIN INLET
FNC	FENCE
INT	INTERSECTION
G	GROUND
GB	GRADE BREAK
T/BNK	TOP BANK
SSMH	SANITARY SEWER MANHOLE
MH	MANHOLE
WM	WATER METER
CONC	CONCRETE
FF	FINISH FLOOR
TW	TOP OF WALL
BW	BOTTOM OF WALL

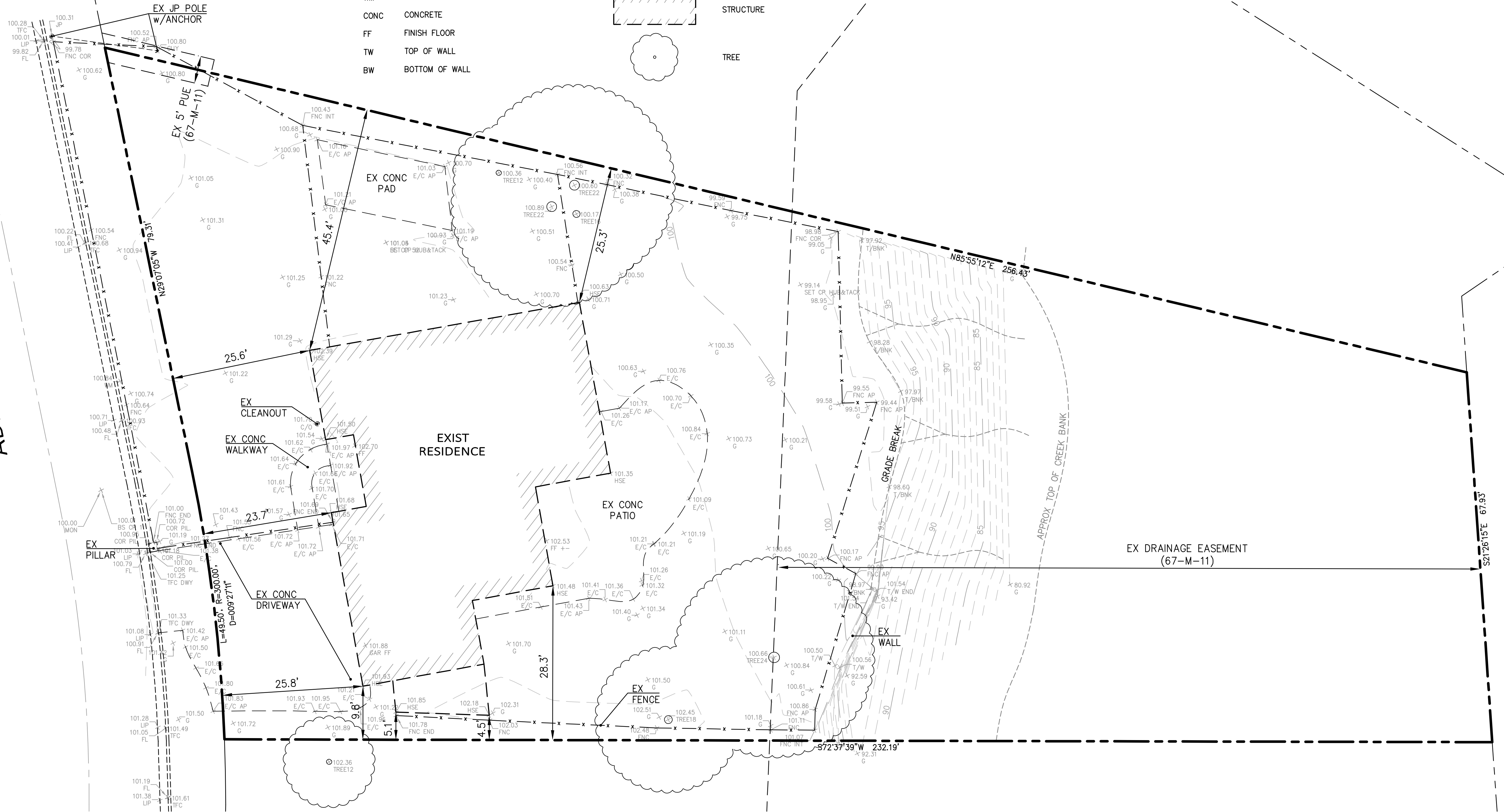
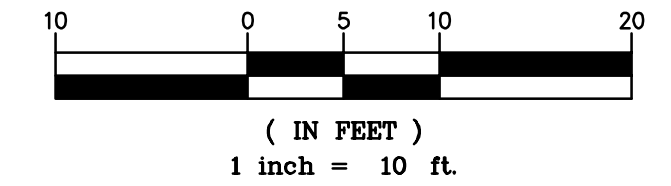
LEGEND

	BOUNDARY LINE
	ADJACENT BOUNDARY
	EASEMENT LINE
	CONCRETE
	CURB
	DECK/PATIO
	FENCE
	GRADE BREAK
	PAVEMENT
	UTILITIES
	WALL
	STRUCTURE
	TREE

NOTE

THIS SURVEY SHOWS ALL EASEMENTS OF RECORD PER THE PRELIMINARY TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 0118030511-DDC, DATED MAY 08, 2020.

GRAPHIC SCALE



PARTIAL TOPOGRAPHIC SURVEY

1048 ADRIENNE DRIVE

ALAMO

CONTRA COSTA COUNTY

CALIFORNIA

EASTON C McALLISTER - PE 61148 / PLS 9563
RENEWAL DATE: 12/31/26 (PE) 03/31/27 (PLS)

#	REVISIONS	DATE

DEBOLT
50+ YEARS
CIVIL ENGINEERING

(925) 837-3780 | OFFICE@DEBOLTCIVIL.COM
480 SAN RAMON VALLEY BLVD UNIT L, DANVILLE, CA 94526

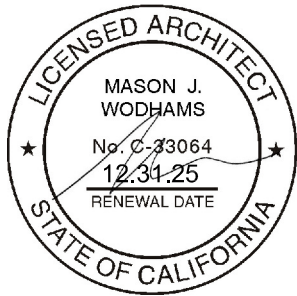
Date:
10/03/2025
Scale:
1" = 10'
By:
EM / kl
Job No.:
25225

MASON
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ARCHITECTURAL
CORP.

23 RAILROAD AVE. #352
DANVILLE, CA 94526
(805) 234-3812

CLIENT
ERIC
MOCZULSKI AND
SHANNON
DAUGHTON

PROJECT
ADRIENNE
RESIDENCE
1048 ADRIENNE DR.
ALAMO, CA 94549
APN: 197-060-017



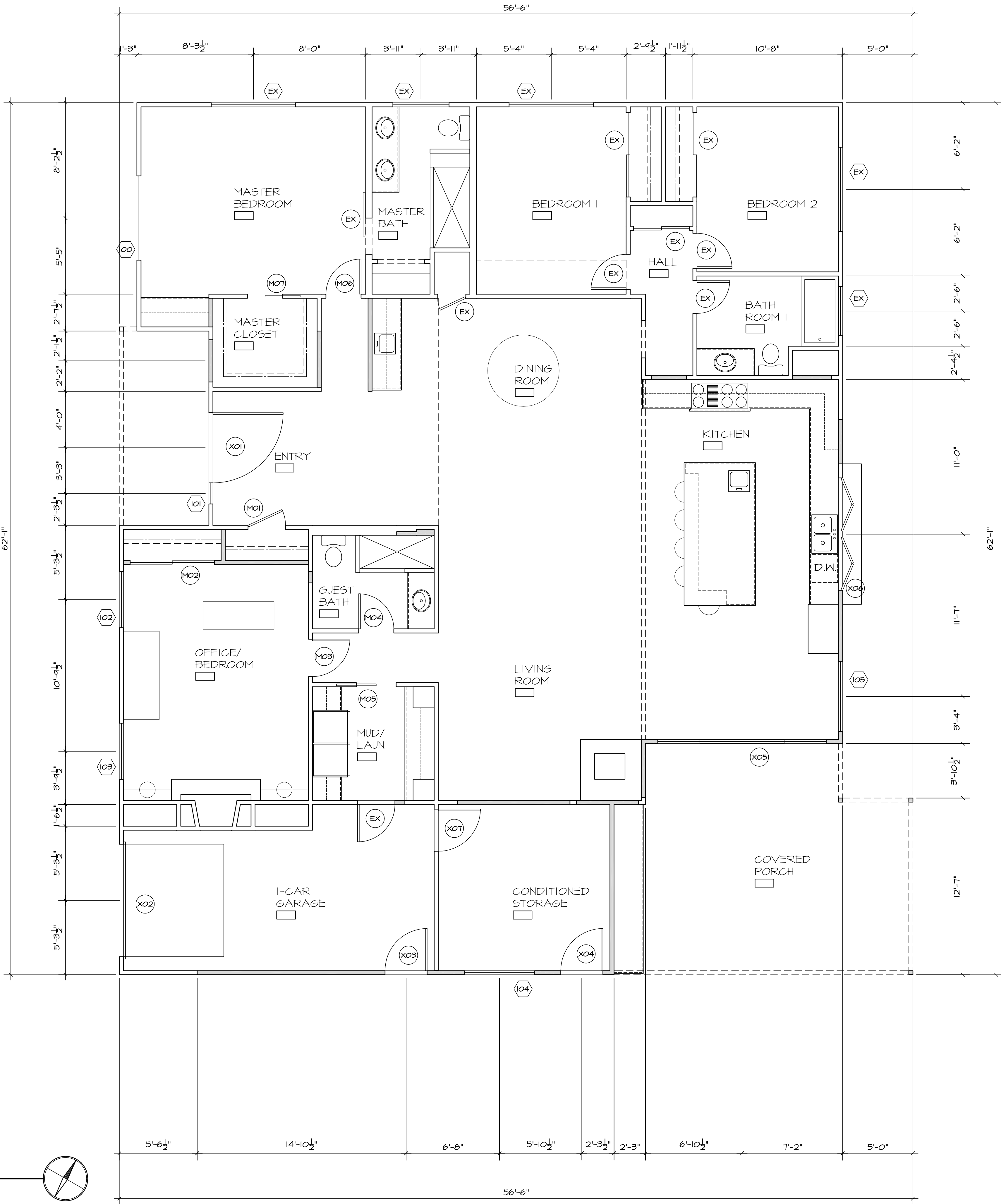
REVISIONS

DATE
09.30.25

SCALE
1/4"=1'-0"

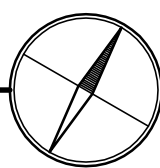
PROPOSED
FLOOR PLAN

SHEET
A2.1



PROPOSED FLOOR PLAN

00 02 04 08 feet



LEGEND	
	EXISTING WALL
	PROPOSED WALL
	EXISTING WALL TO BE REMOVED
	ASSEMBLIES SEE SHEET AO.1

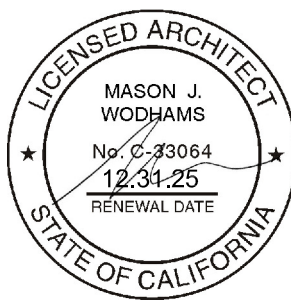
CONTRACTOR SHALL VERIFY ALL
DIMENSIONS IN FIELD

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REVISIONS

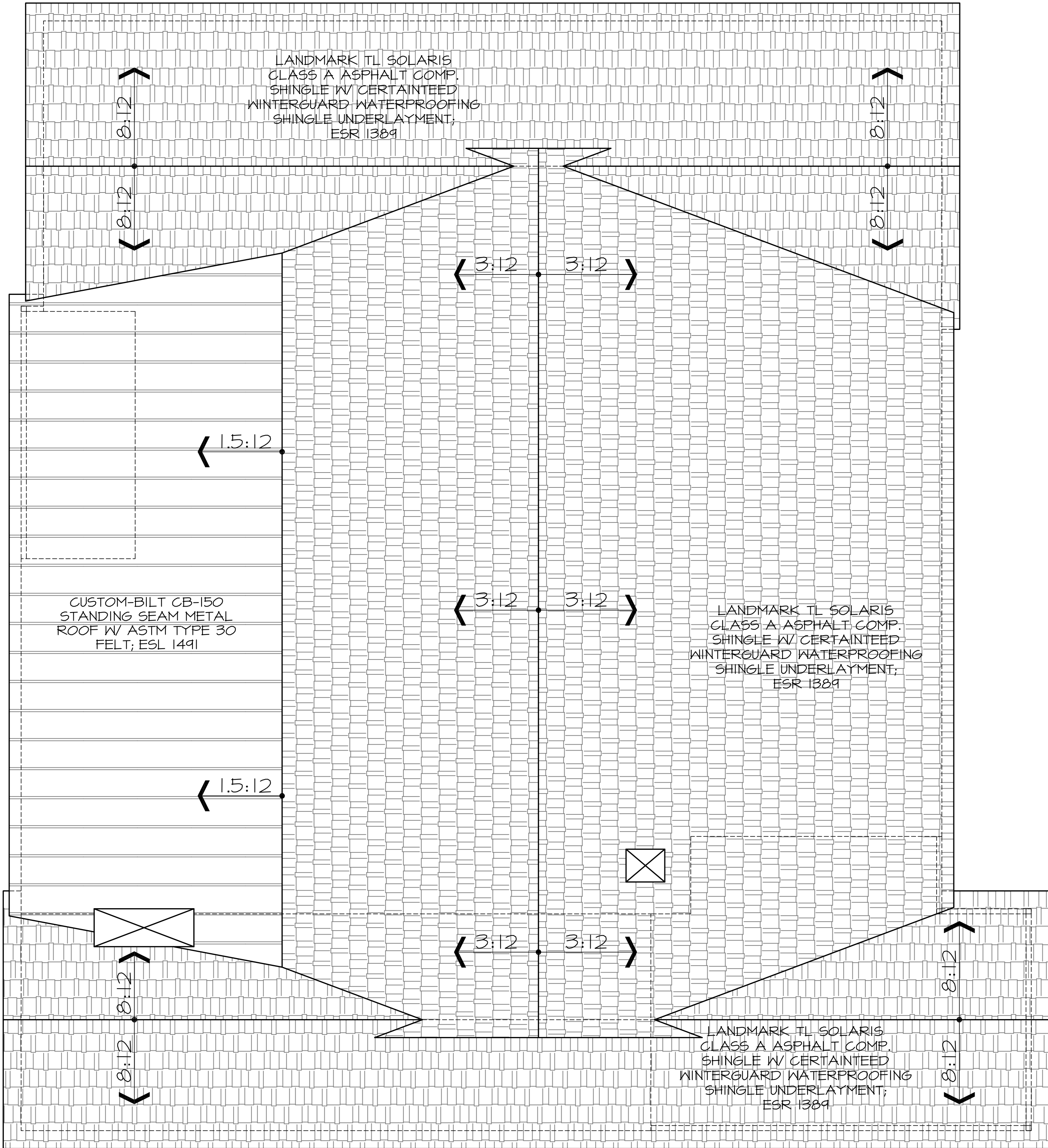
DATE
09.30.25

SCALE
1/4"=1'-0"

PROPOSED
ROOF PLAN

SHEET

A2.2

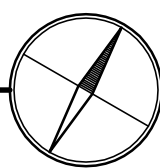


LEGEND	
	EXISTING WALL
	PROPOSED WALL
	EXISTING WALL TO BE REMOVED
	ASSEMBLIES SEE SHEET AO.1

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS IN FIELD

PROPOSED ROOF PLAN

00 02 04 06 feet



DOOR SCHEDULE										
LOCATION	SYM	SIZE			MATERIAL		FINISH		TYPE	COMMENTS
		WIDTH	HEIGHT	HEAD HT.	DOOR	FRAME	DOOR	FRAME		
01 MAIN	(X01)	5'-0"	8'-0"	8'-0"					PIVOT	-
01 MAIN	(X02)	8'-0"	8'-0"	8'-0"					OVERHEAD	-
01 MAIN	(X03)	3'-0"	8'-0"	8'-0"					-	TEMPERED
01 MAIN	(X02)	3'-0"	8'-0"	8'-0"					-	TEMPERED
01 MAIN	(X03)	12'-0"	8'-0"	8'-0"					CENTER SLIDE	TEMPERED
01 MAIN	(X02)	8'-0"	5'-0"	8'-0"					CENTER FOLDING	RECESSED TRACK, TEMPERED
01 MAIN	(X03)	3'-0"	8'-0"	8'-0"					-	-
01 MAIN	(M01)	2'-8"	8'-0"	8'-0"					-	-
01 MAIN	(M02)	6'-0"	8'-0"	8'-0"					-	-
01 MAIN	(M03)	2'-8"	8'-0"	8'-0"					-	-
01 MAIN	(M04)	2'-6"	8'-0"	8'-0"					-	-
01 MAIN	(M05)	2'-10"	8'-0"	8'-0"					POCKET	-
01 MAIN	(M06)	2'-6"	8'-0"	8'-0"					-	-
01 MAIN	(M07)	2'-6"	8'-0"	8'-0"					POCKET	-

WINDOW SCHEDULE										
LOCATION	SYM	SIZE			MATERIAL		FINISH		TYPE	COMMENTS
		WIDTH	HEIGHT	HEAD HT.	WINDOW	FRAME	WINDOW	FRAME		
01 MAIN	(W01)	6'-0"	5'-0"	8'-0"					CASEMENT	-
01 MAIN	(W02)	1'-6"	8'-0"	8'-0"					CASEMENT	TEMPERED
01 MAIN	(W02)	4'-0"	5'-0"	8'-0"					CASEMENT	-
01 MAIN	(W03)	4'-0"	5'-0"	8'-0"					CASEMENT	-
01 MAIN	(W04)	5'-0"	5'-0"	8'-0"					CASEMENT	-
01 MAIN	(W05)	5'-0"	7'-0"	8'-0"					CASEMENT	TEMPERED

NOTES:

1. ALL DOOR TYPES, STYLES, FUNCTIONS, DETAILS, MATERIALS, HARDWARE, ETC SHALL BE SPECIFIED BY THE INTERIOR DESIGNER IN CONJUNCTION WITH THE OWNERS APPROVAL. DOOR REPRESENTATIVE SHALL PROVIDE THE INTERIOR DESIGNER A COMPLETE DOOR SCHEDULE FOR THEIR REVIEW AND APPROVAL. ALL FRAMING ROUGH OPENINGS SHALL BE VERIFIED BY THE DOOR REPRESENTATIVE PRIOR TO ORDERING ANY DOORS.
2. ALL WINDOW TYPES, STYLES, FUNCTIONS, DETAILS, MATERIALS, HARDWARE, ETC SHALL BE SPECIFIED BY THE INTERIOR DESIGNER IN CONJUNCTION WITH THE OWNERS APPROVAL. WINDOW REPRESENTATIVE SHALL PROVIDE THE INTERIOR DESIGNER A COMPLETE WINDOW SCHEDULE FOR THEIR REVIEW AND APPROVAL. ALL FRAMING ROUGH OPENINGS SHALL BE VERIFIED BY THE WINDOW REPRESENTATIVE PRIOR TO ORDERING ANY WINDOWS.
3. AN EXTERIOR EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT THAT IS READILY-OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
4. CONTRACTOR TO CONFIRM WINDOW SIZES TO PROVIDE ADEQUATE EGRESS.
5. AT LEAST ONE WINDOW IN BEDROOM, HABITABLE ATTIC AREA, OR BASEMENT SHALL PROVIDE THE MINIMUM REQUIRED MEANS OF EMERGENCY ESCAPE.
6. NET CLEAR OPENING OF 5.7 S.F., A MINIMUM NET CLEAR OPENING HEIGHT OF 24", A MINIMUM NET CLEAR OPENING WIDTH OF 20" REQUIRED FOR EGRESS.
7. SILL HEIGHT NO MORE THAN 44" ABOVE THE FINISH FLOOR REQUIRED FOR EGRESS.
8. OPERATION SHALL BE FROM INSIDE THE ROOM WITHOUT THE USE OF SPECIAL KEYS, TOOLS OR KNOWLEDGE REQUIRED FOR EGRESS.

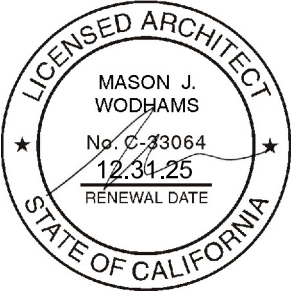
MASON
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CORP.

23 RAILROAD AVE. #352
DANVILLE, CA 94526
(805) 234-3812

CLIENT
ERIC
MOCZULSKI AND
SHANNON
DAUGHTON

PROJECT
ADRIENNE
RESIDENCE
1048 ADRIENNE DR.
ALAMO, CA 94549

APN: 197-060-017



REVISIONS

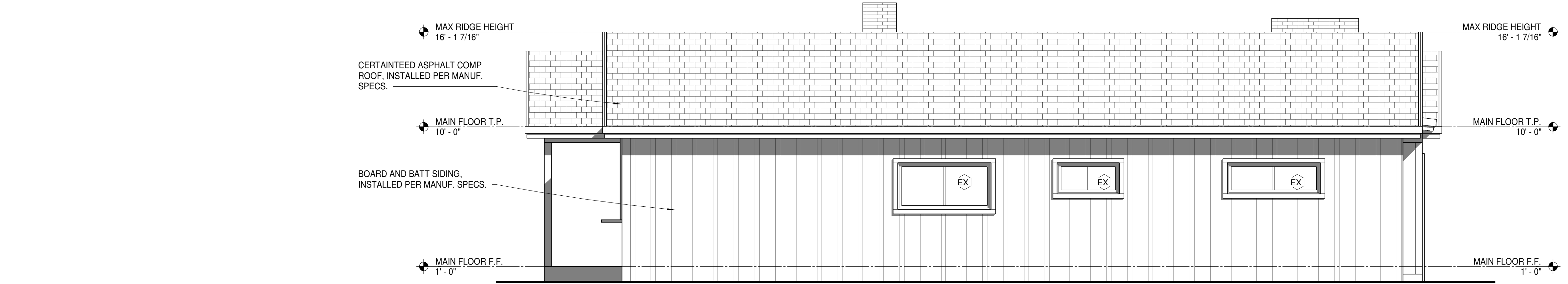
DATE
09.30.25

SCALE
1/4"=1'-0"

PROPOSED
WINDOW AND
DOOR SCHEDULES

SHEET

A2.3



PROPOSED NORTH ELEVATION

00 02 04 08 FEET



PROPOSED EAST ELEVATION

00 02 04 08 FEET



PROPOSED SOUTH ELEVATION

00 02 04 08 FEET



PROPOSED WEST ELEVATION

00 02 04 08 FEET

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CORPORATION

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CLIENT:

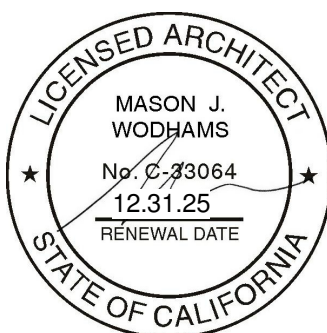
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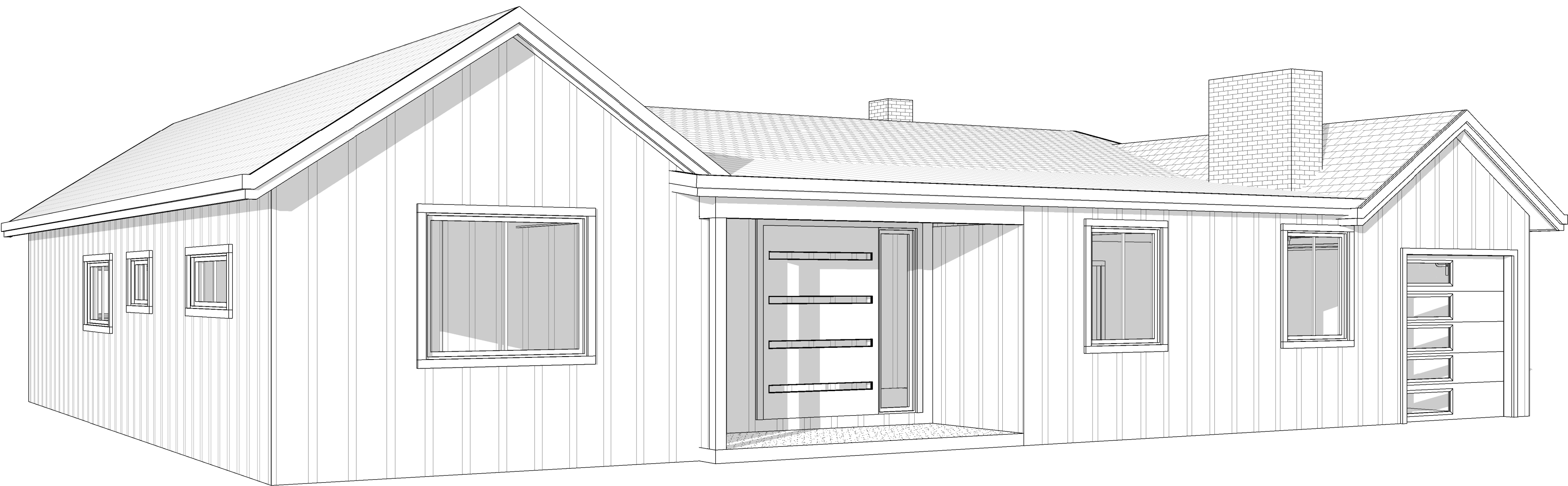
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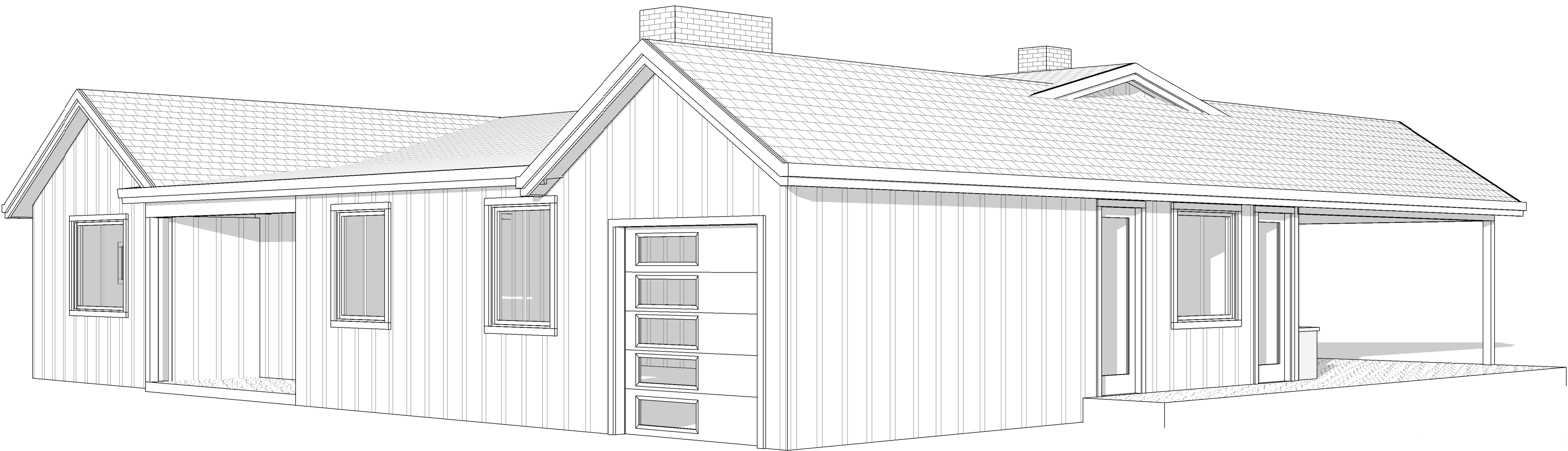
PROPOSED
ELEVATIONS

SHEET:

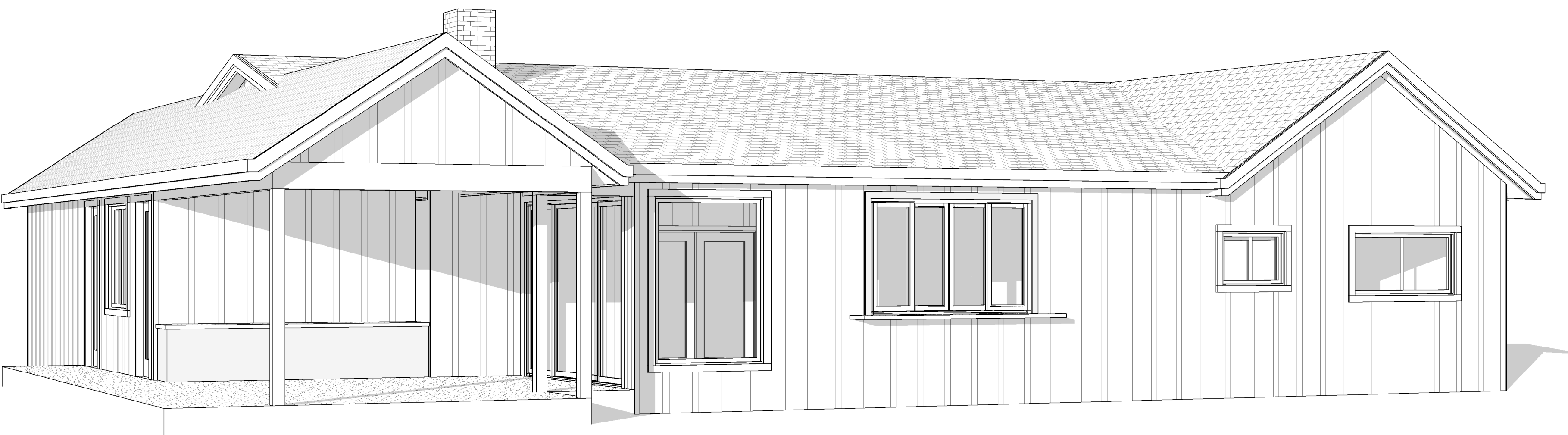
A3.1



① FRONT LEFT PERSPECTIVE



② FRONT RIGHT PERSPECTIVE



③ REAR PERSPECTIVE

MASON WODHAMS
ARCHITECTURAL
CORPORATION
23 RAILROAD AVE. #352
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CLIENT:
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DAUGHTON

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1048 ADRIENNE DR.
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APN: 197-060-017



REVISIONS:

DATE:
09/30/2025

SCALE:

TITLE:
PROPOSED
PERSPECTIVES

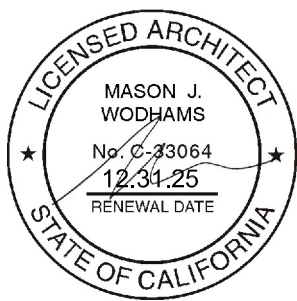
SHEET:
A3.2

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REVISIONS

DATE
09.30.25

SCALE
1/4"=1'-0"

EXISTING
FLOOR PLAN

SHEET

E2.1

LEGEND

EXISTING WALL

PROPOSED WALL

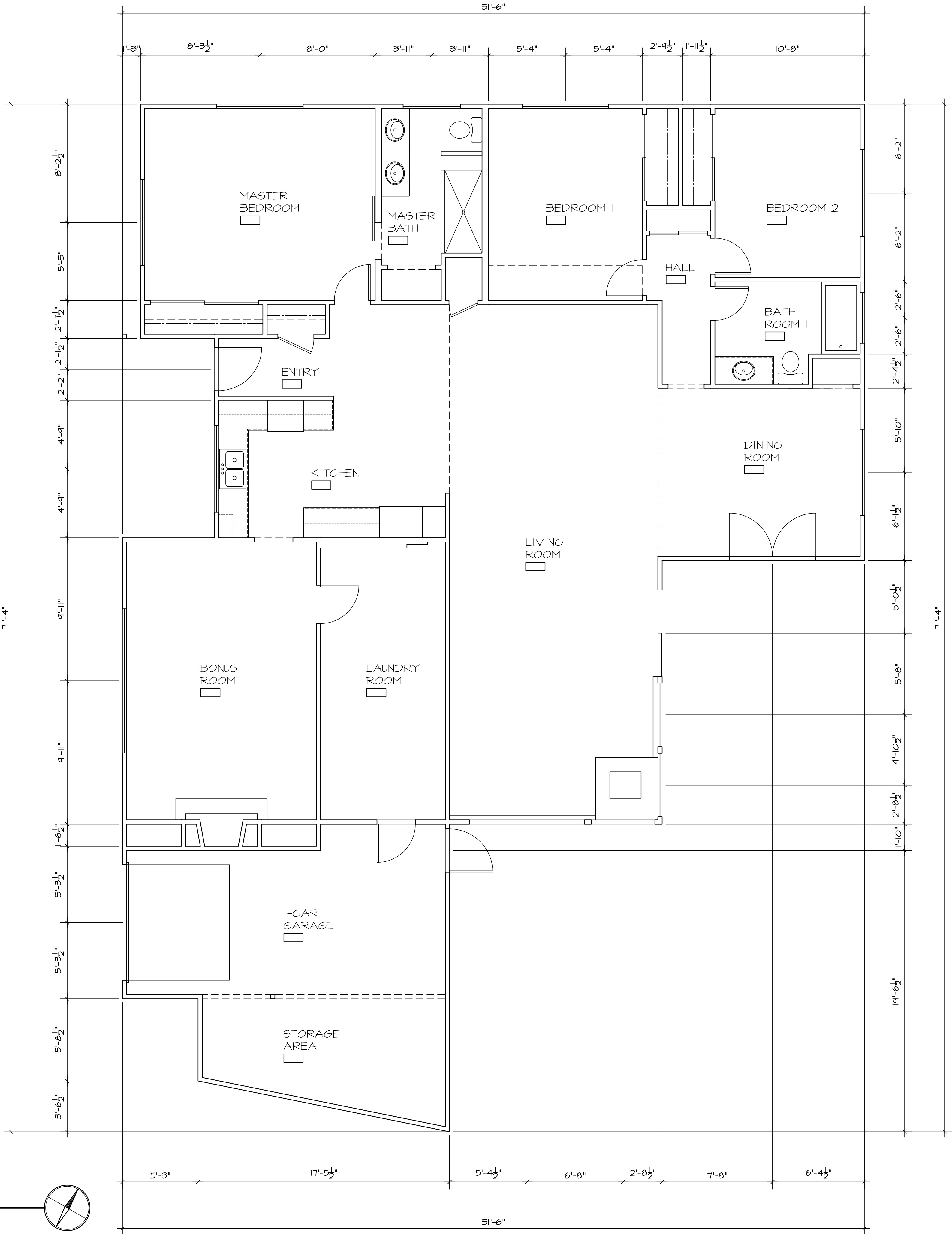
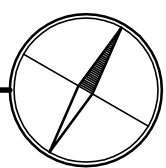
EXISTING WALL
TO BE REMOVED

ASSEMBLIES
SEE SHEET AO.1

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS IN FIELD

EXISTING FLOOR PLAN

00 02 04 08 feet

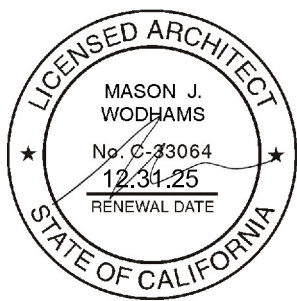


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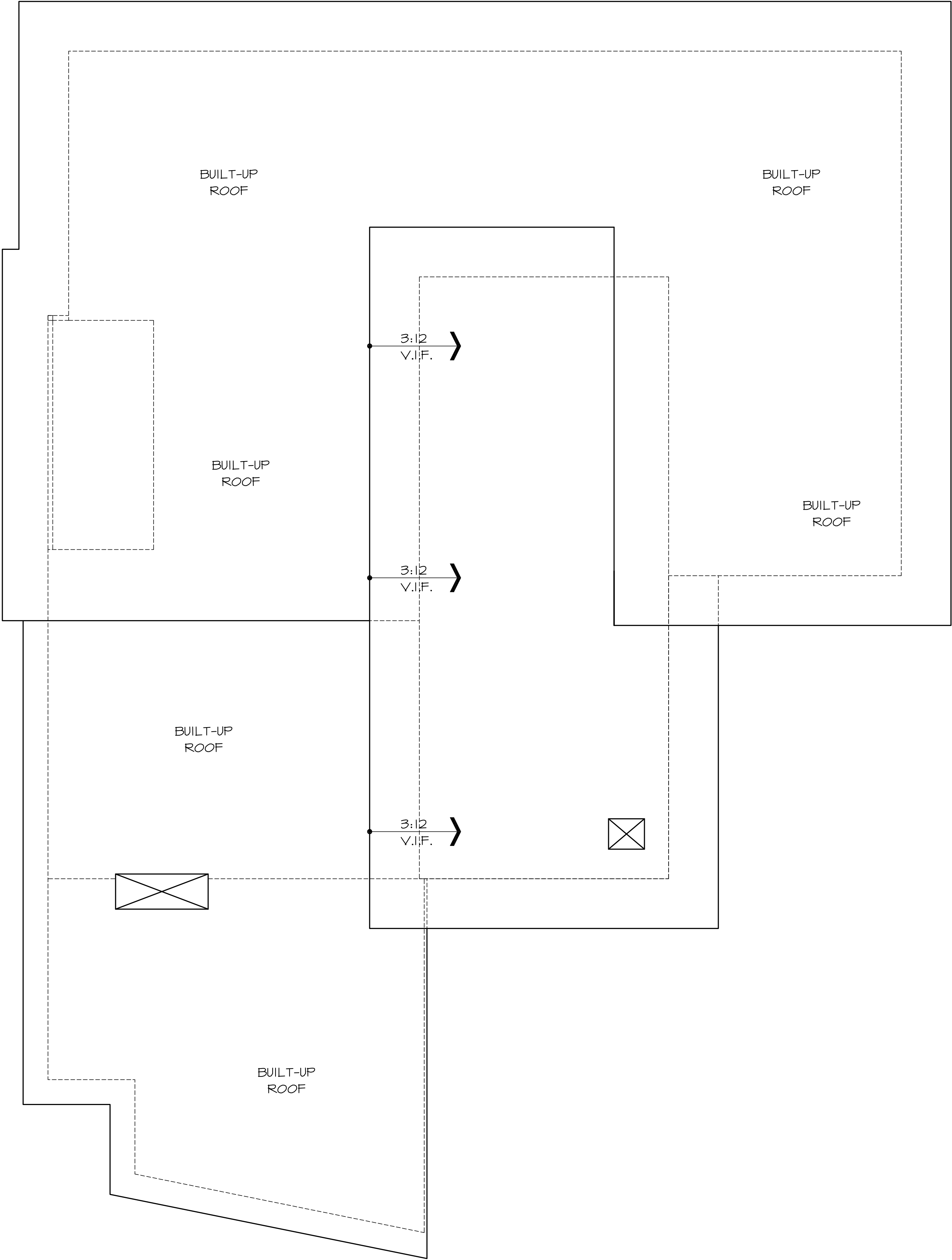
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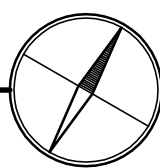
EXISTING
ROOF PLAN

SHEET
E2.2



EXISTING ROOF PLAN

00 02 04 08 feet

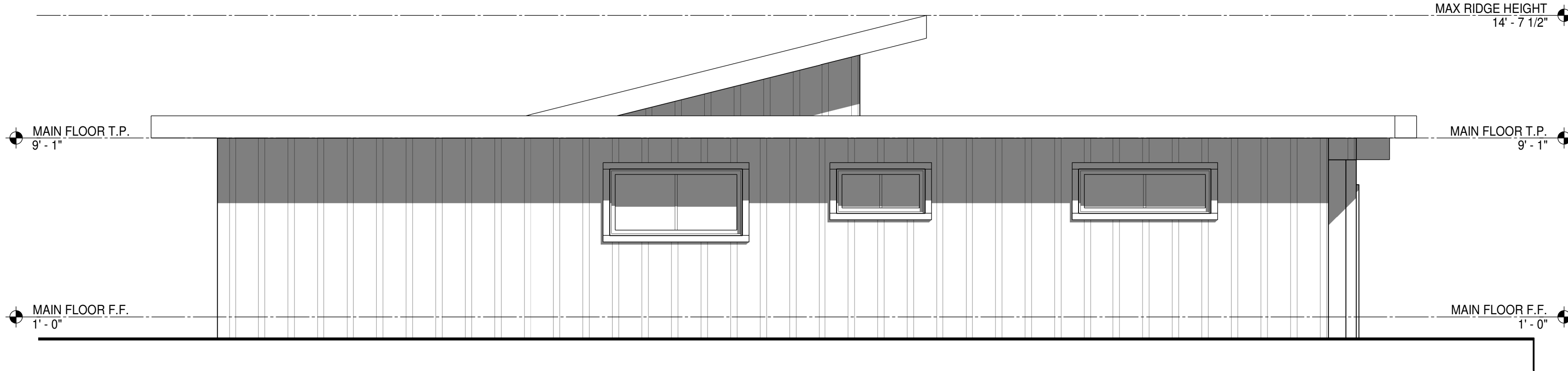


LEGEND	
	EXISTING WALL
	PROPOSED WALL
	EXISTING WALL TO BE REMOVED
	ASSEMBLIES SEE SHEET AO.1

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS IN FIELD

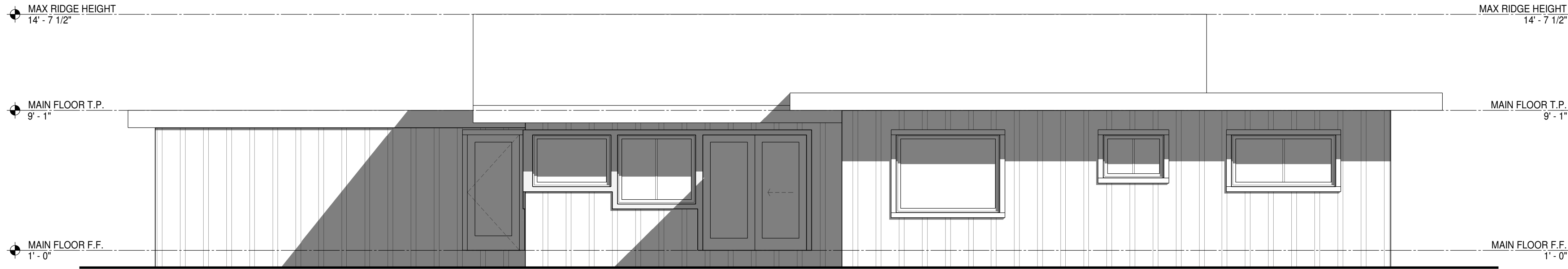
EXISTING NORTH ELEVATION

00 02 04 08 FEET



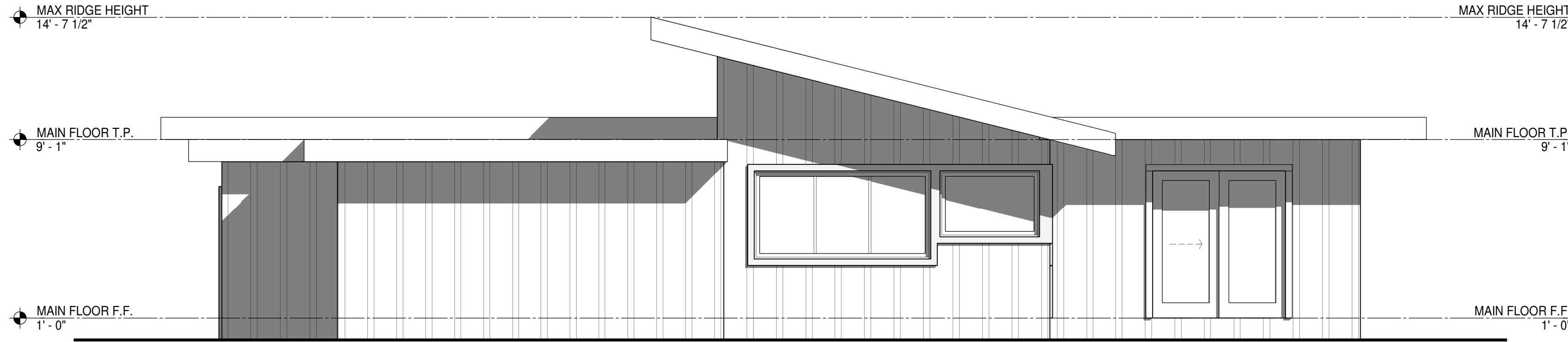
EXISTING EAST ELEVATION

00 02 04 08 FEET



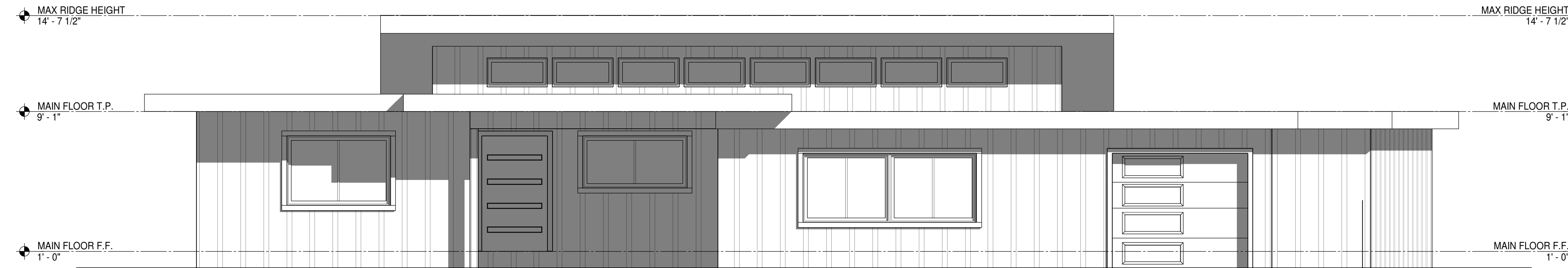
EXISTING SOUTH ELEVATION

00 02 04 08 FEET



EXISTING WEST ELEVATION

00 02 04 08 FEET



MASON WODHAMS
ARCHITECTURAL
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CLIENT:

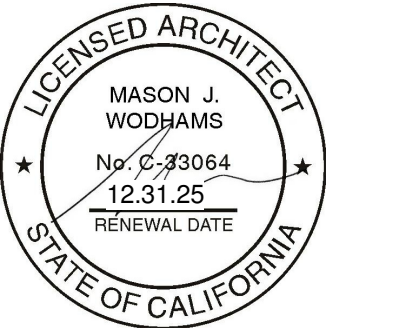
ERIC MOCZULSKI
AND SHANNON
DAUGHTON

PROJECT:

ADRIENNE
RESIDENCE

1048 ADRIENNE DR.
ALAMO, CA 94507

APN: 197-060-017



REVISIONS:

DATE:

09/30/2025

SCALE:

1/4" = 1'-0"

TITLE:

EXISTING
ELEVATIONS

SHEET:

E3.1