

ADAM'S FAMILY RESIDENCE

2754 Limerick Road , San Pablo, Ca 94806

APN: 403-152-020

RECEIVED on 04/24/2024 CDVR23-01026
By Contra Costa County
Department of Conservation and Development

PROJECT DATA:

22,108 LOT SIZE
UPPER FLOOR AREA:
LIVING SPACE: 1,650 Sq Ft
UNCONDITIONAL SPACE:
BALCONY / DECK : 170 Sq Ft
ENTRY DECK : 116 Sq Ft
PARKING / CARPOT: 814 Sq Ft
TOTAL
(UPPER FLOOR) : 2,750 SQ FT

LOWER FLOOR AREA:

1- MAIN HOUSE LOWER FLOOR
LIVING SPACE: 1,230 Sq Ft
2- ADU
Unconditional space:
UTILITY / STORAGES : 64 Sq Ft
TOTAL
(LOWER FLOOR) : 1,794 SQ FT

RESUME :

1 - MAIN HOUSE
UPPER FLOOR LIVING : 1,650 Sq Ft
LOWER FLOOR LIVING: 1,230 Sq Ft
TOTAL LIVING: 2,880 Sq Ft

ADU's LEVEL
-LOWER FLOOR: 500 Sq Ft

2- UNCONDITIONAL SPACE:
BALCONY / DECK : 170 Sq Ft
ENTRY DECK : 116 Sq Ft
PARKING / CARPOT: 814 Sq Ft
UTILITY / STORAGES: 64 Sq Ft
TOTAL UNCONDITIONAL SPACE: 1,164 Sq Ft

TOTAL BLDG AREAS:
5,104 SQ FT.

OWNER & SITE INFORMATION:

OWNER: Carls Adams
ADDRESS: 6333 Jerilynn Avenue, Richmond, Ca 94806
PHONE: (510) 302-7567
E-mail: cdadams1946@comcast.com
DESIGN & PLANNING: ROBERTO PENA-Ranpel Designs
2679 Kelley Avenue, San Pablo, Ca 94806
Phone: (707) 384-3638 -ranpeldesigns@gmail.com

PARCEL: 403-152-020
LOT SIZE: 22,108 SQ.FT.
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
ZONING: R0
LAND USE: Single Family Residential
NUMBER OF STORIES: THREE
FLOOD HAZARD ZONE: NO
PROVIDE A NFPA 13D FIRE SPRINKLER SYSTEM

SCOPE WORK:

1-NEW TWO LEVELS HOUSE:
UPPER FLOOR -CARPOT 4 VEHICLES-LIVING, FAMILY, DINING RM & KITCHEN-TWO BALCONIES/DECK & BARBECUE AREA
LOWER LEVEL: THREE BEDROOMS-ONE HOME OFFICE -TWO BATH & TWO STORAGE ROOMS
500 SQ ADU AND LOWER LEVEL
NEW ROOF OPEN DECK

FIRE SPRINKLER PLANS DEFERRAL SUBMITTAL ENCROACHMENT PERMIT DEFERRAL SUBMITTAL

GENERAL NOTES

- ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM CALIFORNIA RESIDENTIAL CODE 2019 EDITION ALONG WITH ANY OTHER APPLICABLE LOCAL ESTATE LAWS AND REGULATIONS.
- ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELD'S APPLICABLE CODES AND STANDARDS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITION BEFORE STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE CBC 2019 EDITION AND ALL APPLICABLE LOCAL AND STATE CODES ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH IT IS THE RESPONSIBILITY OF ANY ONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS.
- CONCRETE SLAB OR CRAWL SPACE ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT THE DESIGNER WHOSE SIGNATURE APPEARS HEREON.
- ALL OF A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.
- CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES AND PLUMBING RUNS WITH ELECTRICAL AND PLUMBING CONTRACTORS BEFORE THE BEGINNING OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE EXISTING BUILDING AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS IT MAY AFFECT WORK.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR BY PROJECT CITY INSPECTOR.
- THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESS THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING & ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE THEOREM BUILDERS PLANS IN RECOGNITION OF THE CONTRACTORS SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE BUILDERS PLANS TO THE FIELD CONDITIONS ENCOUNTERED, MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE BUILDERS PLANS. IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.

APPLICABLE CODES:

PLANS CONFORM CALIFORNIA BUILDING CODE (CBC) 2019 EDITION.
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRIC CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA GREEN BLDG. STANDARDS CODE (CGBCS)
2019 CALIFORNIA ENERGY CODE (2008 CALIFORNIA ENERGY STANDARDS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION)
& ALL APPLICABLE MUNICIPAL LOCAL & STATE CODES.

INDEX:

ARCHITECTURAL:
A1.0- TITLE BLOCK & SITE PLAN
A2.0- UPPER FLOOR PLAN
A3.0- LOWER FLOOR PLAN
A4.0- ROOF DECK PLAN
A5.0-(N) ELEVATIONS
A6.0-(N) ELEVATIONS
1/2-COLOR SAMPLE BOARD
1/2-MATERIAL SAMPLE BOARD



Ranpel Designs

Roberto Pena
DESIGN & PLANNING
Phone: (707) 384-3638
ranpeldesigns@gmail.com

PLANS BY :

Roberto Pena
ROBERTO PENA

OWNER :

Carls Adams

April 2024
San Pablo, California

PROJECT NAME : ADAM'S FAMILY RESIDENCE

PROJECT LOCATION: 2754 Limerick road, San Pablo , Ca. 94806
APN: 403-152-020

CONTENTS :

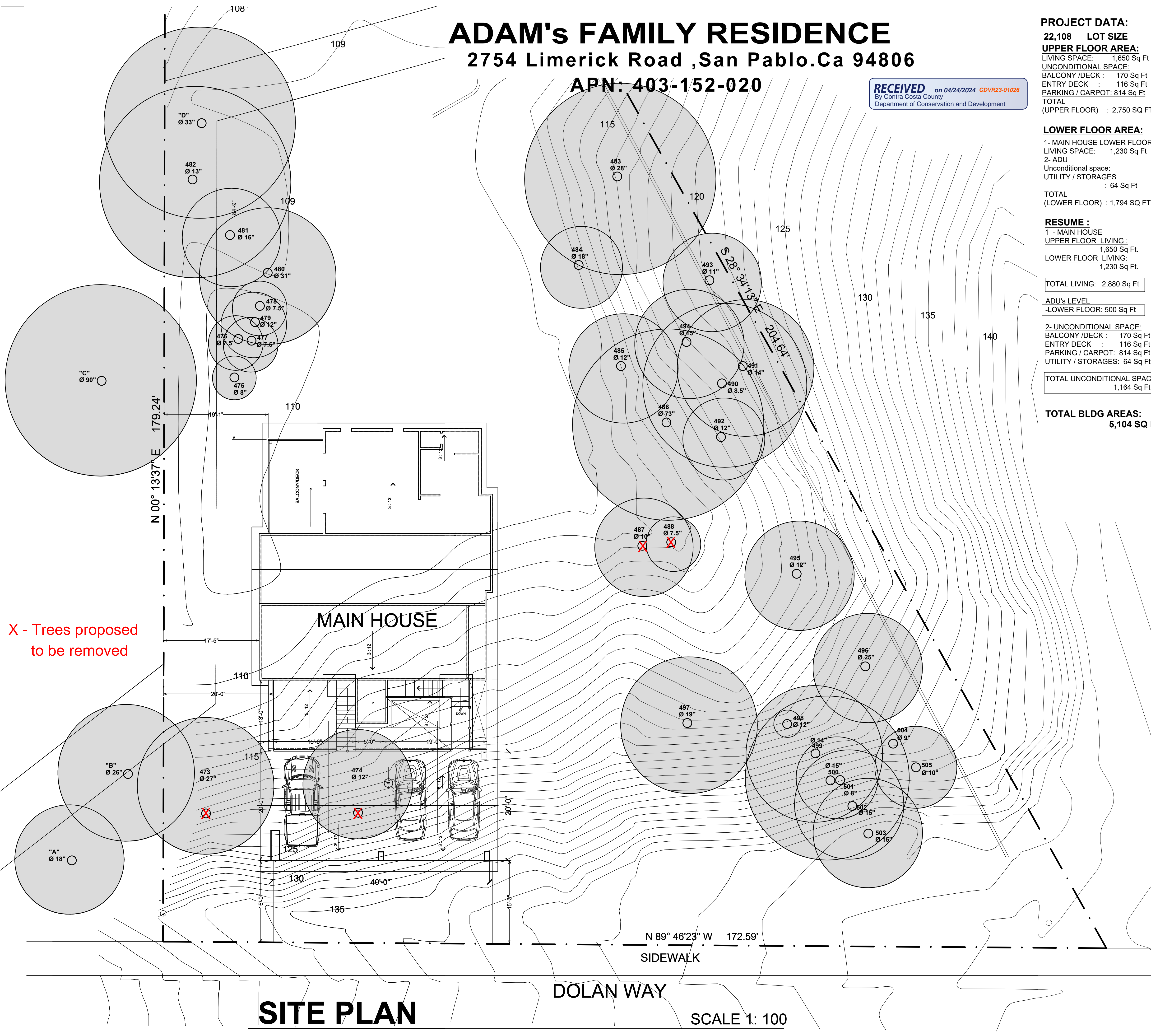
- Site Plan
- Bldg. Areas Diagram


11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set

DRAW: R-P	SHEET:
SCALE: AS SHOWN	A1.0
Project # 20210927	

SITE PLAN

SCALE 1: 100



PLANS BY:

 ROBERTO PENA

OWNER:
 Carls Adams

April 2024
 San Pablo, California

PROJECT NAME: **ADAM'S FAMILY RESIDENCE**

PROJECT LOCATION: **APN: 403-152-00- San Pablo, Contra Costa County, Ca.**

CONTENTS:

- Upper/Main Floor Plan

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set

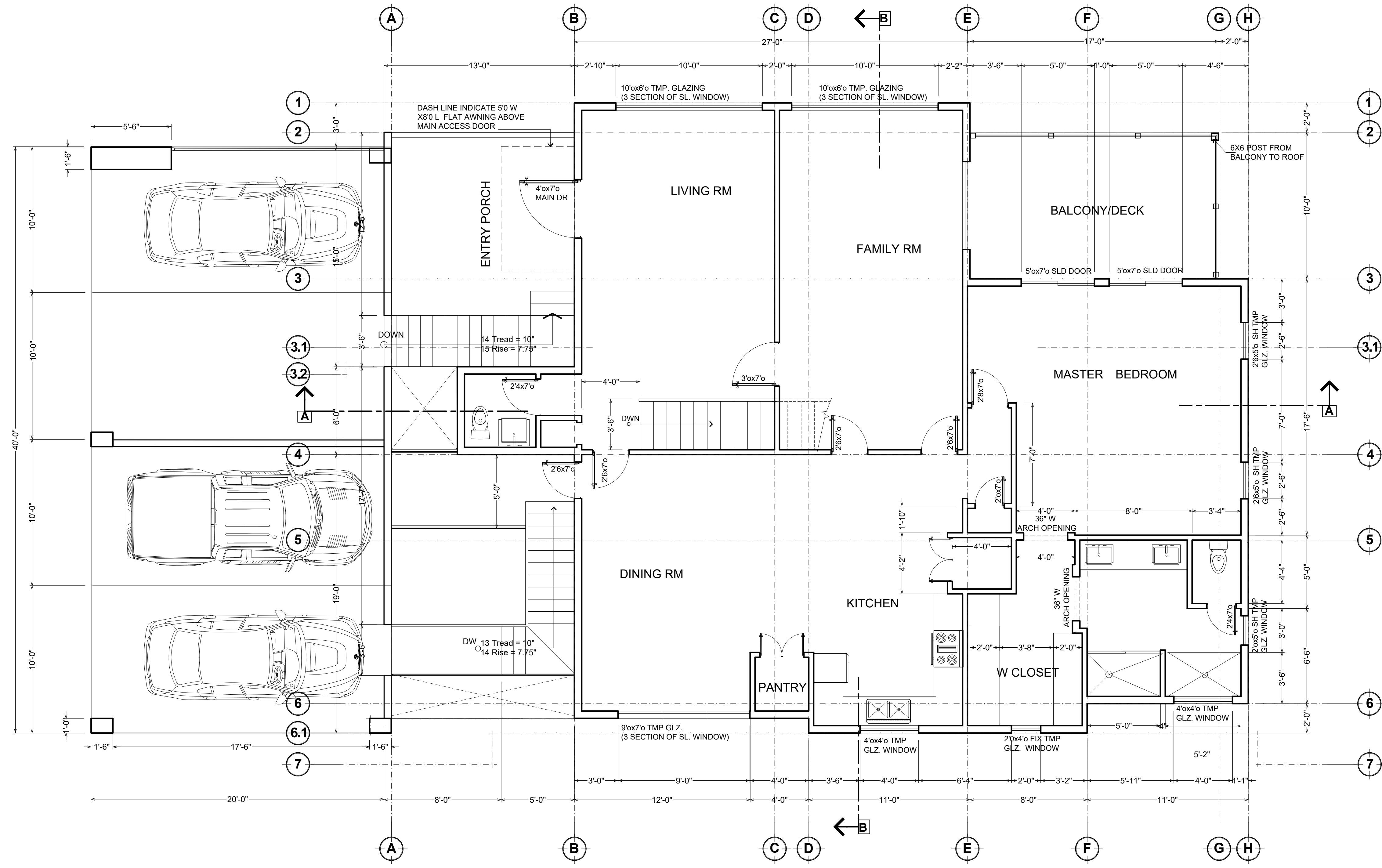
DRAW: R-P SHEET: **A2.0**

SCALE: AS SHOWN

Project # 20210927

FLOOR PLAN KEY NOTES:

- ALL WINDOWS TO BE DUAL GLAZED, PROVIDE SCREENS ON OPERABLE WINDOWS. VERIFY ALL WINDOW ROUGH OPENINGS WITH WINDOW MANUFACTURER.
- PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A WALKING SURFACE & EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR FOR WINDOWS AND DOOR (PROVIDE TEMPERATE GLAZING)
- PROVIDE EMERGENCY EGRESS & RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24 INCH. CBC-Section 1026.2 - PROVIDE AS MEANS OF ESCAPE OR RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR IN THE BEDROOM AS REQ'D. (CRC-R 310.1)
- ALL EXTERIOR DOOR IS TO BE SOLID CORE 1 3/4" DOORS AND OF THE TYPE AND DESIGN SHOWN ON THE ELEVATIONS AND FLOORS PLANS WITH WEATHERPROOF TIGHT FIT.
- ALL STRUCTURAL ELEMENTS SUPPORTING THE FLOOR / CEILING ASSEMBLIES USED AS A FIRE RATED SEPARATION SHALL HAVE 5/8" GYPSUM BOARD PROTECTION. (CRC Table R302.6)
- EXTERIOR DOORS ONTO PORCHES SHALL BE PROVIDE 36" OUTSIDE LANDING. THE WIDTH OF THE LANDING SHALL BE NOT LESS THAN THE DOOR WIDTH AND 36" MINIMUM DEPTH. LANDING AT REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 - 3/4" LOWER THAN THE TOP OF THRESHOLD. Exception: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING. (CRC R311.3.1 & R311.3.2)
- PROVIDE FIRE-BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENING (VERTICAL AND HORIZONTAL) TO FROM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R302.11)
- PROVIDE BUILDING NUMBERS IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THESE NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH MINIMUM WIDTH OF 0.5 INCHES. CBC Section 501.2.
- DOORS, STAIRWAYS AND LANDINGS (INCLUDING DECKS) REQUIRED EGRESS DOOR SHALL BE SIDE HINGED AND HAVE A MINIMUM NET CLEAR WIDTH OF 32" AND A MINIMUM HEIGHT OF 78". (R311.2) THERE SHALL BE A LANDING AT EACH SIDE OF ALL DOORS NOT MORE THAN 1 1/2" LOWER THAN THE THRESHOLD AT THE REQUIRED EGRESS DOOR, AND NOT MORE THAN 7 3/4" FOR OTHER EXTERIOR DOORS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE DOOR SERVED AND 36" MINIMUM LENGTH MEASURED IN THE DIRECTION OF TRAVEL. A LANDING IS NOT REQUIRED AT DOORS OTHER THAN THE REQUIRED EGRESS DOOR WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR OF THE DOOR.
- STAIRWAY: RISE SHALL BE 4" MIN AND 7.75" MAX. RUN SHALL BE 10" MIN. HEADROOM SHALL BE 80" MINIMUM. WIDTH SHALL BE 36" MINIMUM. HANDRAILS SHALL PROVIDE GRASPABILITY AND BE 34"-38" ABOVE TREAD NOSING WITH OPENINGS LESS THAN 4 3/8" CLEAR, EXCEPT OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL OF THE GUARD MAY BE 8" MAXIMUM DIAMETER. (R 311.7 & R312.3 EX.)
- ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD (R302.7) - FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. (R302.11)
- THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL BE NOT LESS THAN THE WIDTH OF THE STAIRWAY SERVED. A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS. (R311.7.6)
- GUARDS: SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, LANDINGS, AND DECKS, THAT ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE, MEASURED AT ANY POINT WITHIN 30" HORIZONTALLY. REQUIRED GUARDS SHALL BE NOT LESS THAN 42" ABOVE THE ADJACENT WALKING SURFACE. EXCEPT THAT HANDRAILS MAY BE CONSIDERED AS GUARDS AT STAIRWAYS. OPENINGS IN GUARDS SHALL NOT EXCEED 4". (R312)



MAIN FLOOR

SCALE 1/4"=1'0"

PLANS BY :

 ROBERTO PENA

OWNER :
 Carls Adams

April 2024
 San Pablo , California

PROJECT NAME : **ADAM'S FAMILY RESIDENCE**

PROJECT LOCATION : **APN: 403-152-00- San Pablo , Contra Costa County , Ca.**

CONTENTS :

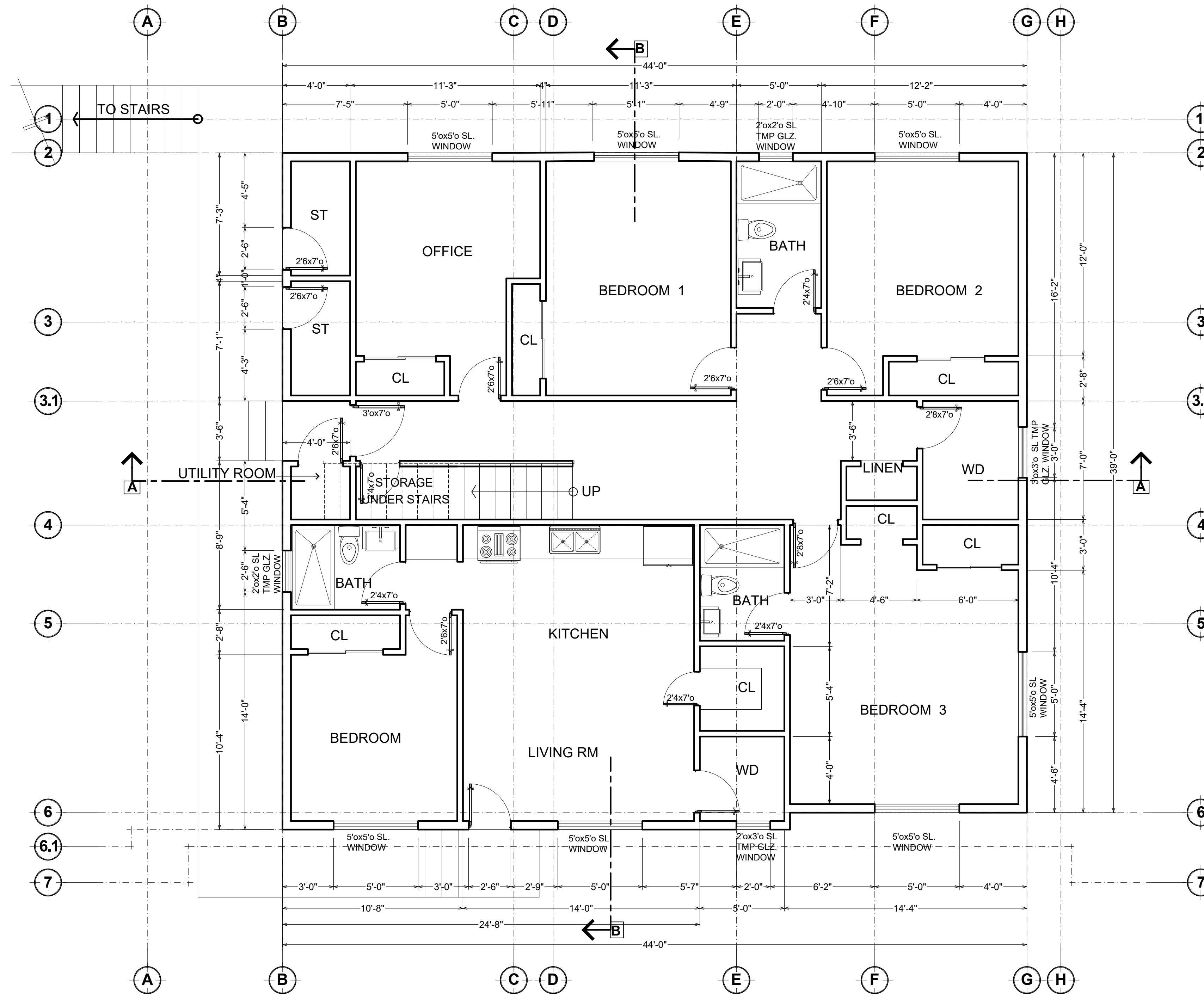
- Lower /JADU Floor Plan

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set

DRAW: R-P	SHEET: A3.0
SCALE: AS SHOWN	
Project # 20210927	

FLOOR PLAN KEY NOTES:

- ALL WINDOWS TO BE DUAL GLAZED .PROVIDE SCREENS ON OPERABLE WINDOWS. VERIFY ALL WINDOW ROUGH OPENINGS WITH WINDOW MANUFACTURED
- PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE DE NEAREST EXPOSED EDGE OF THE GLAZING WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A WALKING SURFACE & EXPOSED BOTTOM EDGE IS LESS THEN 18" ABOVE THE FLOOR FOR WINDOWS AND DOOR (PROVIDE TEMPERATE GLAZING)
- PROVIDE EMERGENCY EGRESS & RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE ARE OF 5.7 SQUARE FEET .THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24 INCH. CBC-Section 1026.2 -PROVIDE AS MEANS OF ESCAPE OR RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR IN THE BEDROOM AS REQ'D. ((CRC-R 310.1)
- ALL EXTERIOR DOOR IS TO BE SOLID CORE 1 3/4" DOORS AND OF THE TYPE AND DESIGN SHOWN ON THE ELEVATIONS AND FLOORS PLANS WITH WEATHERPROOF TIGHT FIT.
- ALL STRUCTURAL ELEMENTS SUPPORTING THE FLOOR / CEILING ASSEMBLIES USED AS A FIRE RATED SEPARATION SHALL HAVE 5/8" GYPSUM BOARD PROTECTION. (CRC Table R302.6).
- EXTERIOR DOORS ONTO PORCHES SHALL BE PROVIDE 36" OUTSIDE LANDING .THE WIDTH OF THE LANDING SHALL BE NOT LESS THAN THE DOOR WIDTH AND 36" MINIMUM DEPTH.LANDING AT REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 - 3/4" LOWER THAN THE TOP OF THRESHOLD. Exception: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING. (CRC R311.3.1 & R311.3.2)
- PROVIDE FIRE-BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENING (VERTICAL AND HORIZONTAL)TO FROM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES,AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R302.11).
- PROVIDE BUILDING NUMBERS IDENTIFICATION PLACED IN A POSITION THAN IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THESE NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH MINIMUM WIDTH OF 0.5 INCHES . CBC Section 501.2.
- DOORS, STAIRWAYS AND LANDINGS (INCLUDING DECKS) REQUIRED EGRESS DOOR SHALL BE SIDE HINGED AND HAVE A MINIMUM NET CLEAR WIDTH OF 32" AND A MINIMUM HEIGHT OF 78". (R311.2)THERE SHALL BE A LANDING AT EACH SIDE OF ALL DOORS NOT MORE THAN 1 1/2" LOWER THAN THE THRESHOLD AT THE REQUIRED EGRESS DOOR. AND NOT MORE THAN 7 3/4" FOR OTHER EXTERIOR DOORS. THE LANDING SHALL BE AT LEAST AS WIDE AS THE DOOR SERVED AND 36" MINIMUM LENGTH MEASURED IN THE DIRECTION OF TRAVEL. A LANDING IS NOT REQUIRED AT DOORS OTHER THAN THE REQUIRED EGRESS DOOR WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR OF THE DOOR.
- STAIRWAY : RISE SHALL BE 4" MIN AND 7.75" MAX. RUN SHALL BE 10" MIN. HEADROOM SHALL BE 80" MINIMUM. WIDTH SHALL BE 36" MINIMUM. HANDRAILS SHALL PROVIDE GRASPABILITY AND BE 34"-38" ABOVE TREAD NOSING WITH OPENINGS LESS THAN 4 3/8" CLEAR. EXCEPT OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL OF THE GUARD MAY BE 6" MAXIMUM DIAMETER. (R 311.7 & R312.3 EX
- ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD (R302.7) - FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. (R302.11)
- THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL BE NOT LESS THAN THE WIDTH OF THE STAIRWAY SERVED. A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.(R311.7.6)
- GUARDS: SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, LANDINGS, AND DECKS,THAT ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE, MEASURED AT ANY POINT WITHIN 36" HORIZONTALLY. REQUIRED GUARDS SHALL BE NOT LESS THAN 42" ABOVE THE ADJACENT WALKING SURFACE. EXCEPT THAT HANDRAILS MAY BE CONSIDERED AS GUARDS AT STAIRWAYS. OPENINGS IN GUARDS SHALL NOT EXCEED 4". (R312)



LOWER FLOOR

SCALE 1/4"=1'0"



Ranpel Designs
 Roberto Pena
 DESIGN & PLANNING
 Phone: (707)384-3638
 ranpeldesigns@gmail.com

PLANS BY :

ROBERTO PENA

OWNER :

Carls Adams

April 2024
 San Pablo , California

PROJECT NAME : **ADAM'S FAMILY RESIDENCE**

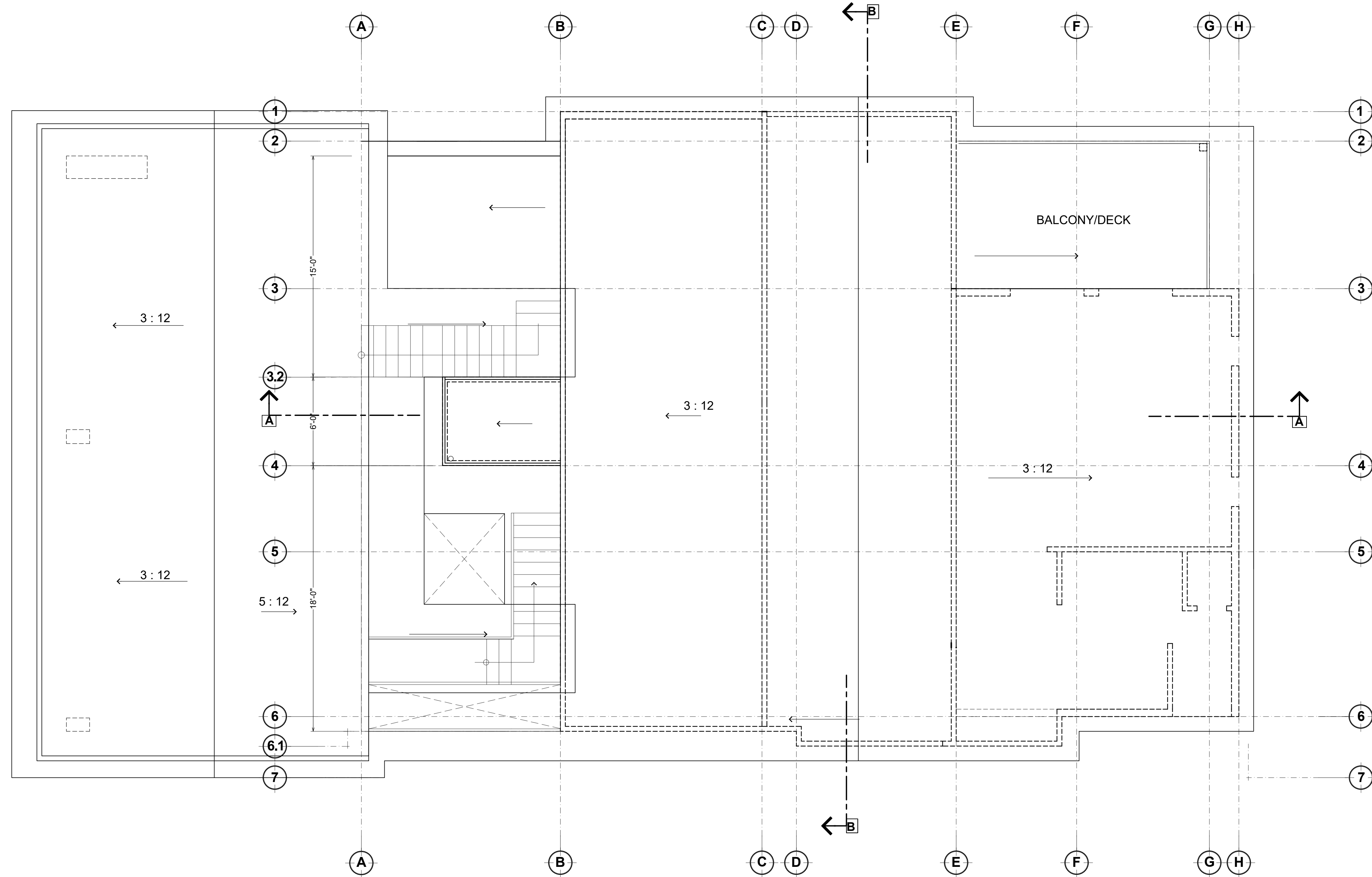
PROJECT LOCATION : APN: 403-152-00- San Pablo , Contra Costa County , Ca.

CONTENTS :

- Roof Deck Plans

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set

DRAW: R-P	SHEET:
SCALE: AS SHOWN	A4.0
Project # 20210927	



PLANS BY :

 ROBERTO PENA

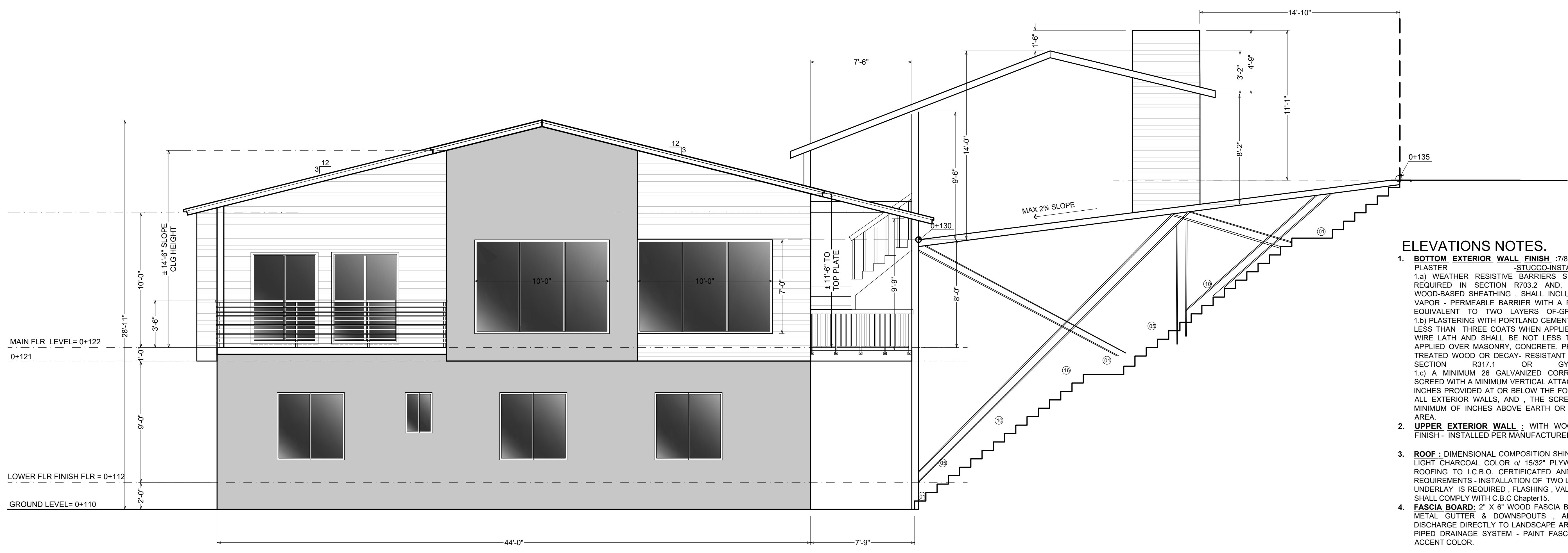
OWNER :
 Carls Adams

April 2024
 San Pablo , California

PROJECT NAME : **ADAM'S FAMILY RESIDENCE**
 PROJECT LOCATION : APN: 403-152-00- San Pablo , Contra Costa County , Ca.

CONTENTS :
 • Elevations

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set



RIGHT ELEVATION

SCALE 1/4"=1'0"

- ELEVATIONS NOTES.**
- BOTTOM EXTERIOR WALL FINISH** : 7/8" THREE COAT STUCCO PLASTER - STUCCO-INSTALLATION-REQUIREMENTS: 1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER- RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF-GRADE-"D"-PAPER-(R703.6.3). 1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE. PRESERVATIVE TREATED WOOD OR DECAY- RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM-BACKING-(R703.6.2). 1.c) A MINIMUM 26 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND , THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
 - UPPER EXTERIOR WALL** : WITH WOOD HORIZONTAL SIDING FINISH - INSTALLED PER MANUFACTURED REQUIREMENTS
 - ROOF** : DIMENSIONAL COMPOSITION SHINGLE 50 YRS. OR BETTER LIGHT CHARCOAL COLOR of 15/32" PLYWOOD OSB OR CDX. - ROOFING TO I.C.B.O. CERTIFICATED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED , FLASHING , VALLEY , ACCESSORIES ETC. SHALL COMPLY WITH I.C.B.C Chapter 15.
 - FASCIA BOARD**: 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL. METAL GUTTER & DOWNSPOUTS . ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
 - ALL WINDOWS & GLASS DOOR**: WINDOWS DOUBLE GLASS PANEL - VINYL & TEMPERATE GLAZING FOR BATHROOM WINDOWS & SLIDING GLASS DOORS - AND WINDOWS LESS TO 18" TO FINISH FLOOR LEVEL AND LESS OF 24" OF ANY CORNER WALL SHALL BE TEMPERATE GLAZING.
 - GSM FLASHING of 2"X6" BARGE RAFTER W/ACCENT COLOR.
 - WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL .

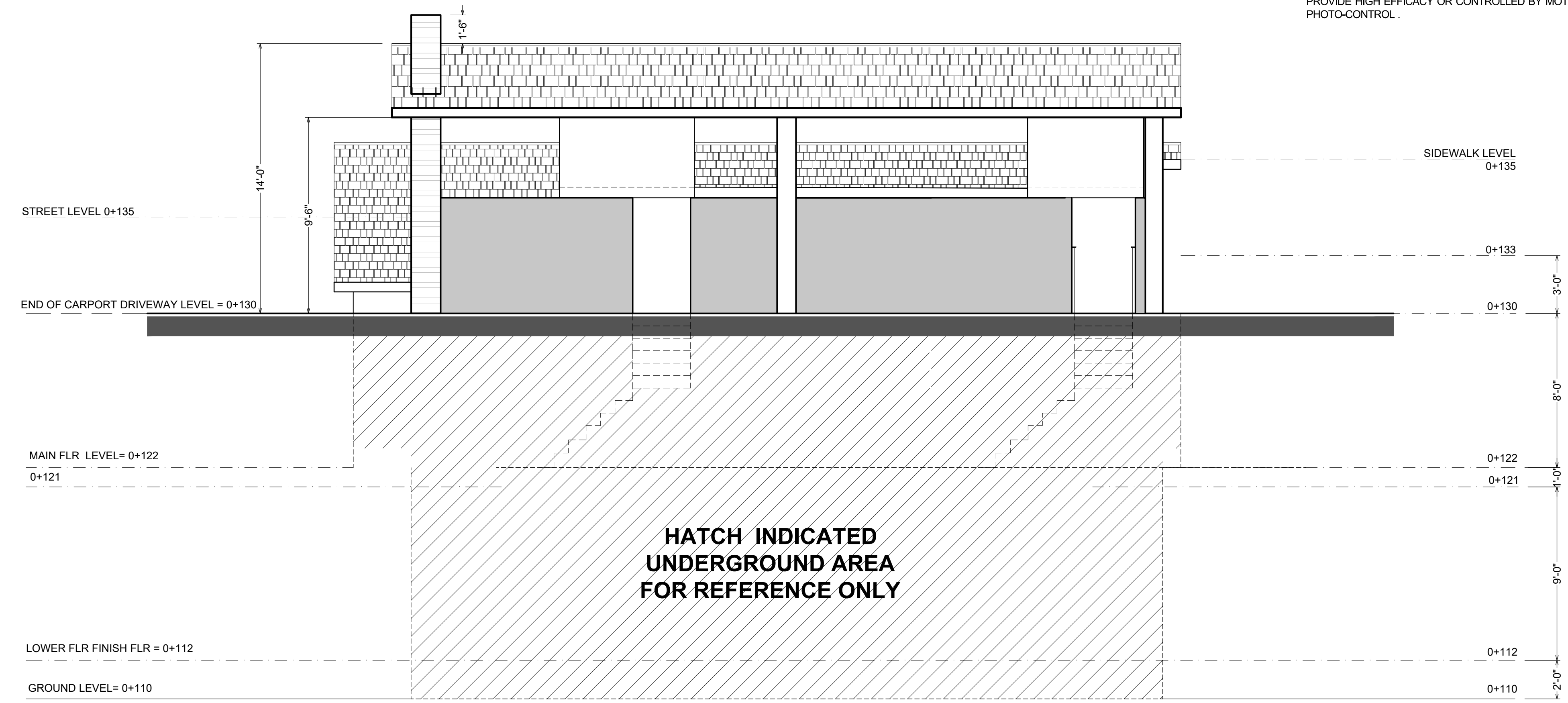
Main Entry Upper Floor Awning

- METAL STRUCTURE SUPPORT W/ STEEL CABLE TO WALL PAINTED WITH ACCENT COLOR MATCH WITH FASCIA BOARD COLOR (REFER TO COLOR EXHIBIT)



Wood Siding Wall

DARK GREY COLOR (LEFT SIDE OF BUILDING) PROVIDE HORIZONTAL WOOD SIDING -PAINT WITH WEATHERPROOF STAIN NATURAL COLOR



FRONT ELEVATION

SCALE 1/4"=1'0"

PLANS BY:

ROBERTO PENA

OWNER:
Carls Adams

April 2024
San Pablo, California

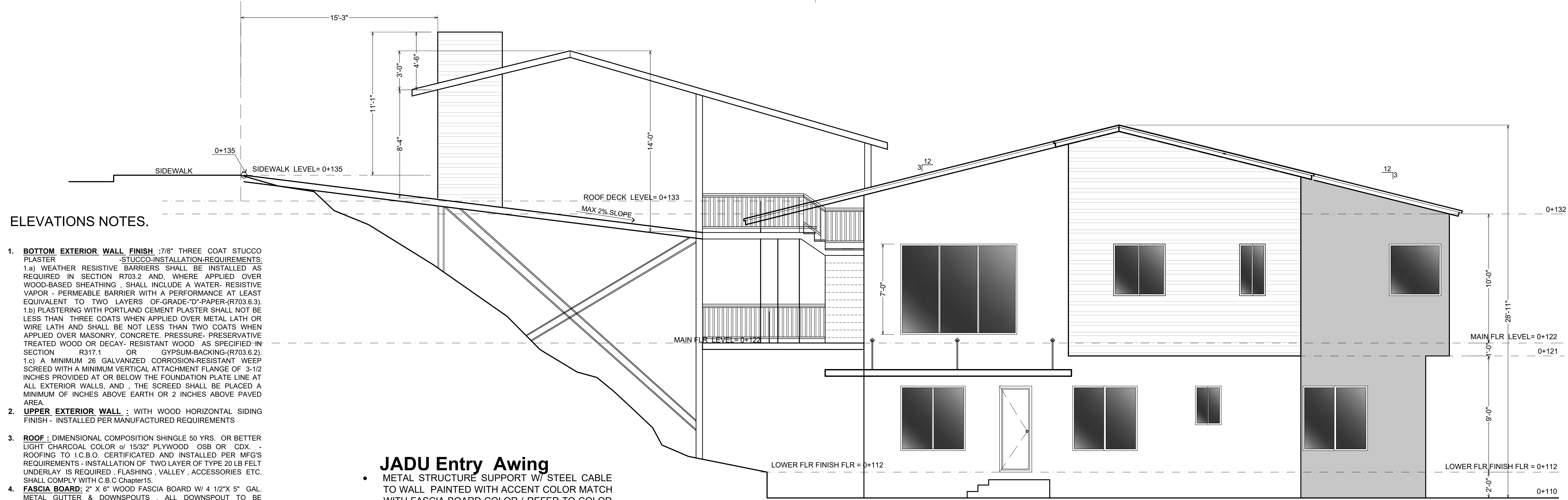
PROJECT NAME: **ADAM'S FAMILY RESIDENCE**

PROJECT LOCATION: **APN: 403-152-00- San Pablo, Contra Costa County, Ca.**

CONTENTS:

- Elevations

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set



ELEVATIONS NOTES.

- BOTTOM EXTERIOR WALL FINISH** :7/8" THREE COAT STUCCO PLASTER -STUCCO-INSTALLATION-REQUIREMENTS: 1.a) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER- RESISTIVE VAPOR - PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF-GRADE-D-PAPER-(R703.6.3). 1.b) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE- PRESERVATIVE TREATED WOOD OR DECAY- RESISTANT WOOD AS SPECIFIED-IN SECTION R317.1 OR GYPSUM-BACKING-(R703.6.2). 1.c) A MINIMUM 26 GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS, AND THE SCREED SHALL BE PLACED A MINIMUM OF INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.
- UPPER EXTERIOR WALL** : WITH WOOD HORIZONTAL SIDING FINISH - INSTALLED PER MANUFACTURED REQUIREMENTS
- ROOF** : DIMENSIONAL COMPOSITION SHINGLE 50 YRS. OR BETTER LIGHT CHARCOAL COLOR o/ 15/32" PLYWOOD OSB OR CDX. - ROOFING TO I.C.B.O. CERTIFICATED AND INSTALLED PER MFG'S REQUIREMENTS - INSTALLATION OF TWO LAYER OF TYPE 20 LB FELT UNDERLAY IS REQUIRED, FLASHING, VALLEY, ACCESSORIES ETC. SHALL COMPLY WITH C.B.C Chapter15.
- FASCIA BOARD**: 2" X 6" WOOD FASCIA BOARD W/ 4 1/2" X 5" GAL. METAL GUTTER & DOWNSPOUTS, ALL DOWNSPOUT TO BE DISCHARGE DIRECTLY TO LANDSCAPE AREAS OR TERMINATING IN PIPED DRAINAGE SYSTEM - PAINT FASCIA & GUTTER TRIM WITH ACCENT COLOR.
- ALL WINDOWS & GLASS DOOR**: WINDOWS DOUBLE GLASS PANEL - VINYL & TEMPERATE GLAZING FOR BATHROOM WINDOWS & SLIDING GLASS DOORS - AND WINDOWS LESS TO 18" TO FINISH FLOOR LEVEL AND LESS OF 24" OF ANY CORNER WALL SHALL BE TEMPERATE GLAZING.
- GSM FLASHING o/2"x6" BARGE RAFTER W/ACCENT COLOR.
- WATERPROOF EXTERIOR DOWN LIGHT / STYLE BY OWNER - PROVIDE HIGH EFFICACY OR CONTROLLED BY MOTION SENSOR PLUS PHOTO-CONTROL.

JADU Entry Awing

- METAL STRUCTURE SUPPORT W/ STEEL CABLE TO WALL PAINTED WITH ACCENT COLOR MATCH WITH FASCIA BOARD COLOR (REFER TO COLOR EXHIBIT)



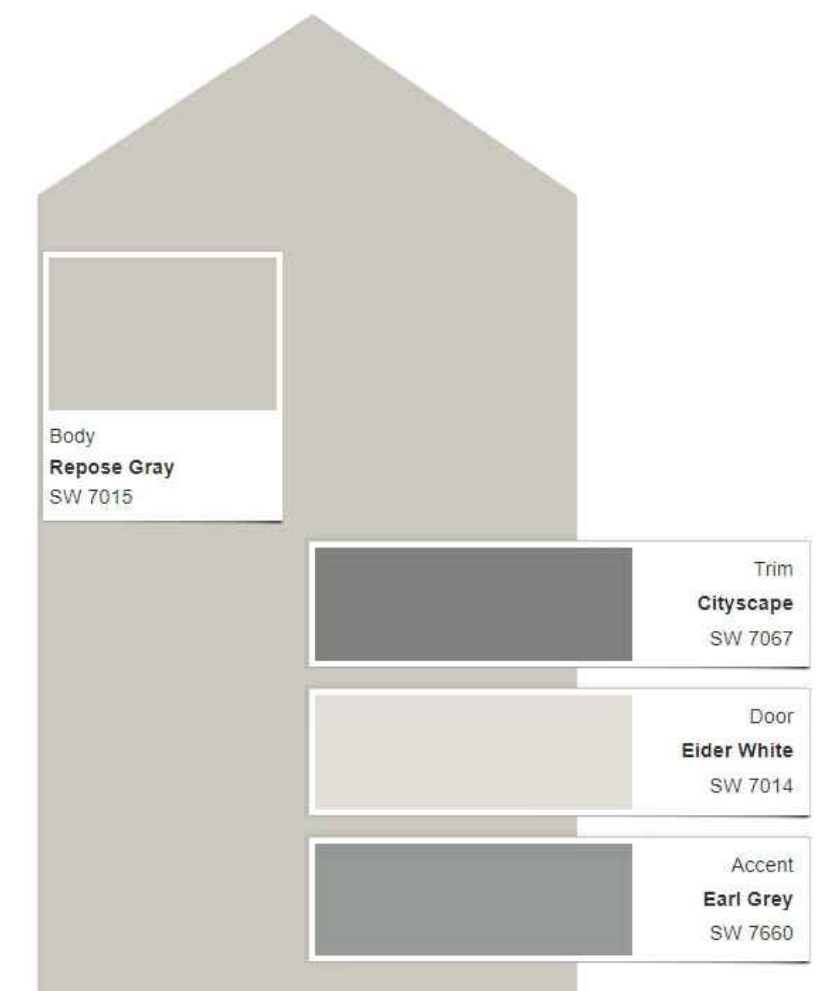
LEFT ELEVATION

SCALE 1/4"=1'0"



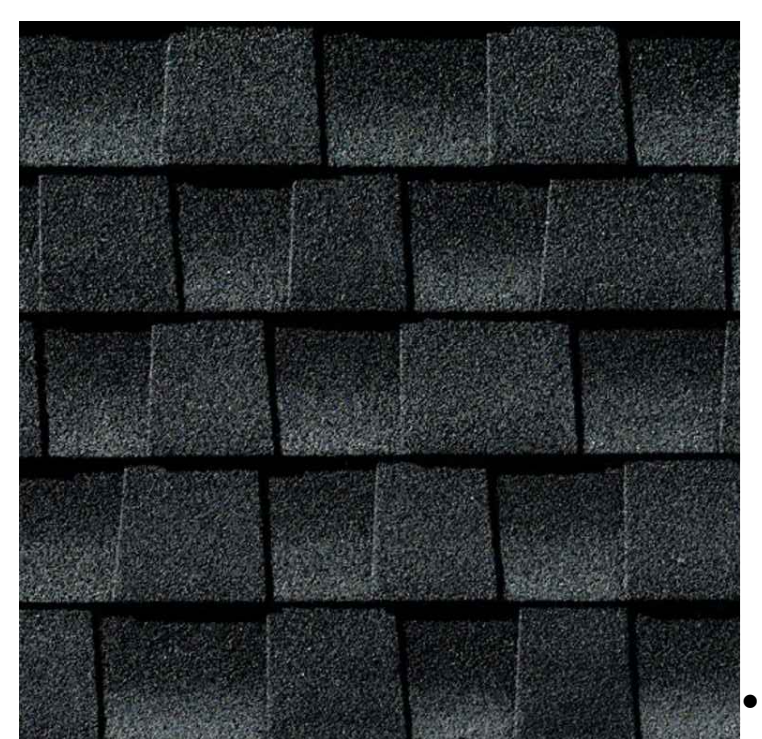
Wood Siding Wall

DARK GREY COLOR (LEFT SIZE OF BUILDING) PROVIDE HORIZONTAL WOOD SIDING -PAINT WITH WEATHERPROOF STAIN NATURAL COLOR



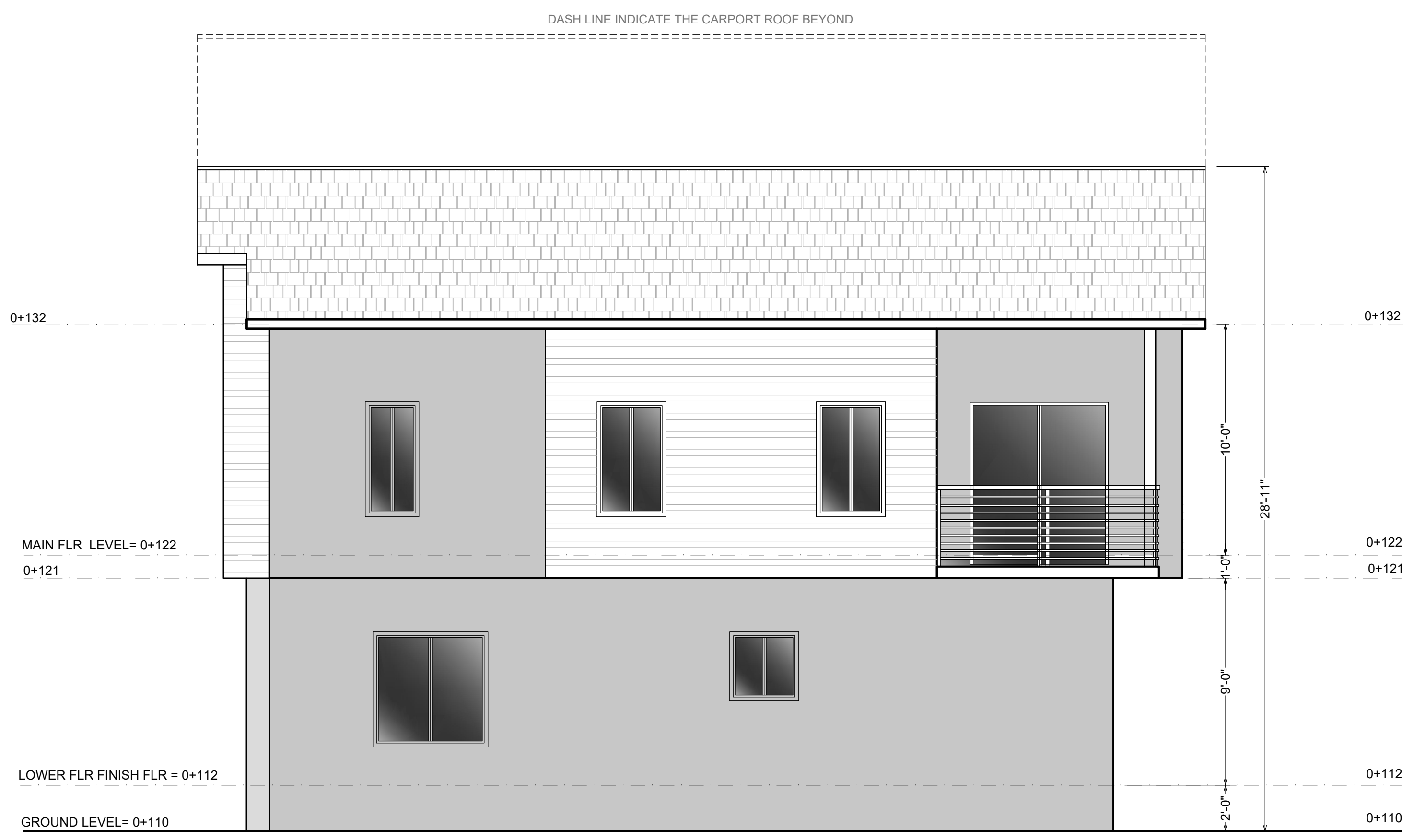
Color Sample

- ALL EXTERIOR WALLS SMOOTH STUCCO FINISHED WITH:
 - BODY OF BUILDING WALLS REPOSE GREY (SW7015) SHERWIN WILLIAMS COLOR).
- ALL WOOD SIDING AND TRIMS WITH CITYSCAPE (SW 7067 -SHERWIN WILLIAMS COLOR).
- FASCIA BOARD, GUTTER & DOWNSPOUT PAINTED CITY SCAPE (SW 7067-SHERWIN WILLIAMS COLOR).
- ALL DOORS DOOR PAINTED W/ EIDER WHITE (SW 7014 -SHERWIN WILLIAMS COLOR).




Roof Material

DARK GREY COLOR COMPOSITION SHINGLE 50 YRS



REAR ELEVATION

SCALE 1/4"=1'0"

PLANS BY:

ROBERTO PENA

OWNER:
 Carls Adams

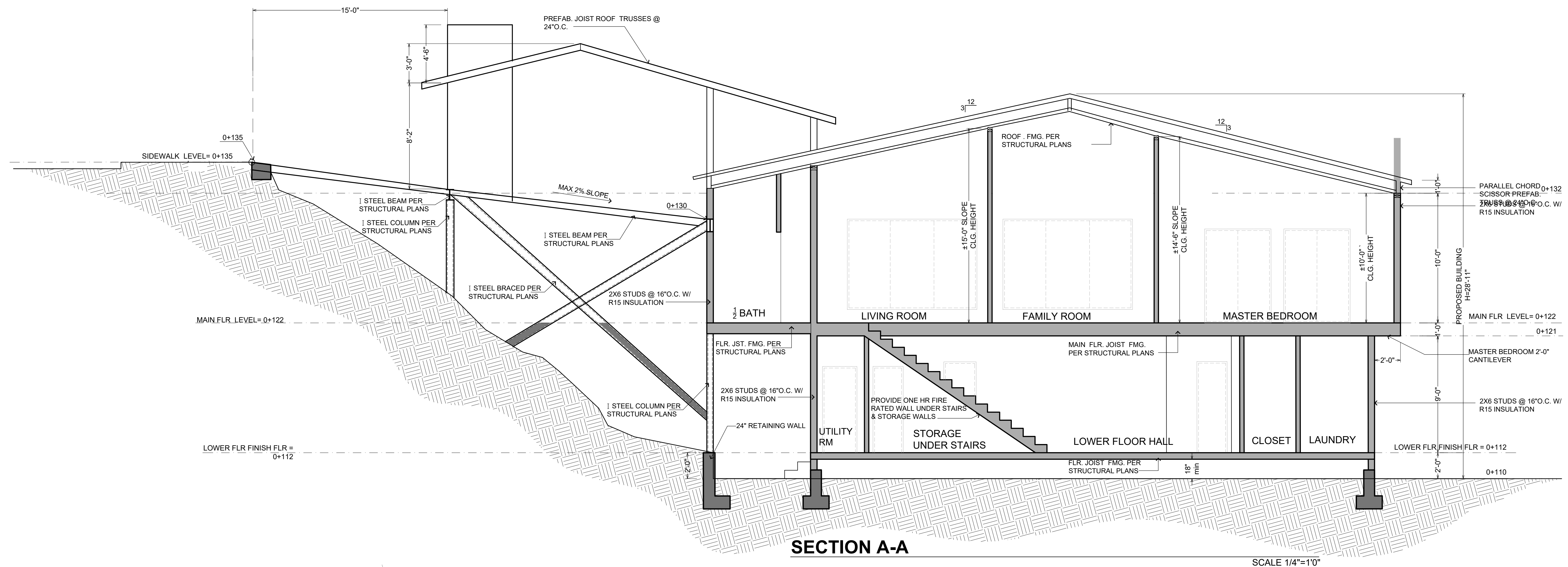
April 2024
 San Pablo, California

PROJECT NAME:
ADAM'S FAMILY RESIDENCE

PROJECT LOCATION:
 APN: 403-152-00- San Pablo, Contra Costa County, Ca.

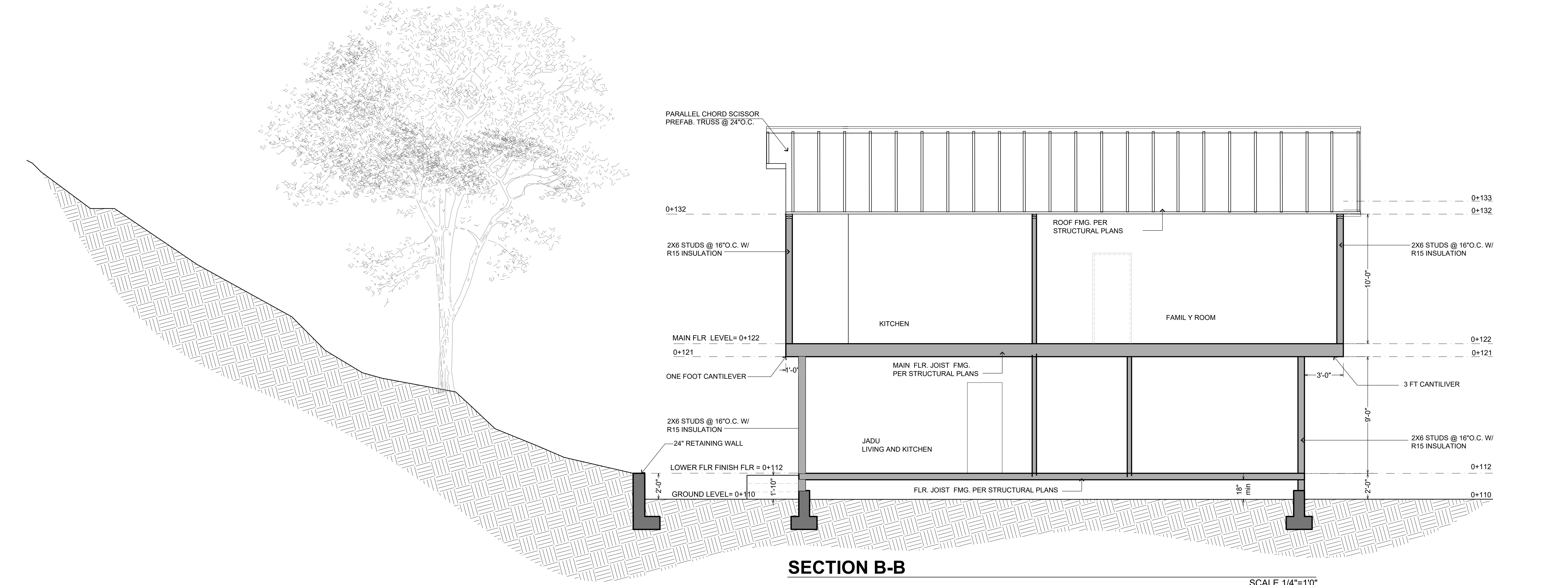
CONTENTS:
 • As Built Plans

11-23-22	Planning Set
01-31-23	Planning Set
04-24-24	Planning Set



SECTION A-A

SCALE 1/4"=1'0"



SECTION B-B

SCALE 1/4"=1'0"

* These drawings designs, presentation, models and other data including other intellectual property therein, are and shall at all times remain the property of ROBERTO PENA, and may not be reproduced, copied, or change any manner or for any purpose except by written permission of ROBERTO PENA. In no event shall the client copy or use any of these plans, drawings, concepts, specifications, designs, models and other data produced than those note above without the prior written consent of ROBERTO PENA. *These drawings can be used only for the address of the project shown on the plans*