



APPEAL OF 3455 FREEMAN ROAD – SECOND STORY ADDITION
County File #CDDP23-03020

Contra Costa County Board Of Supervisors

March 26, 2024



Background

- May 31, 2023 – County File #CDSL23-00048 was submitted to the Department of Conservation and Development.
- June 8, 2023 – Notice of opportunity to request a public hearing.
- July 3, 2023 – County File #CDDP23-03020 was submitted to the Department of Conservation and Development.
- October 2, 2023 – Zoning Administrator approved County File #CDDP23-03020.
- January 24, 2024 – Planning Commission approved County File #CDDP23-03020.
- February 5, 2024 – Lindsey and Logan Daniels filed an appeal of the Planning Commission's decision.



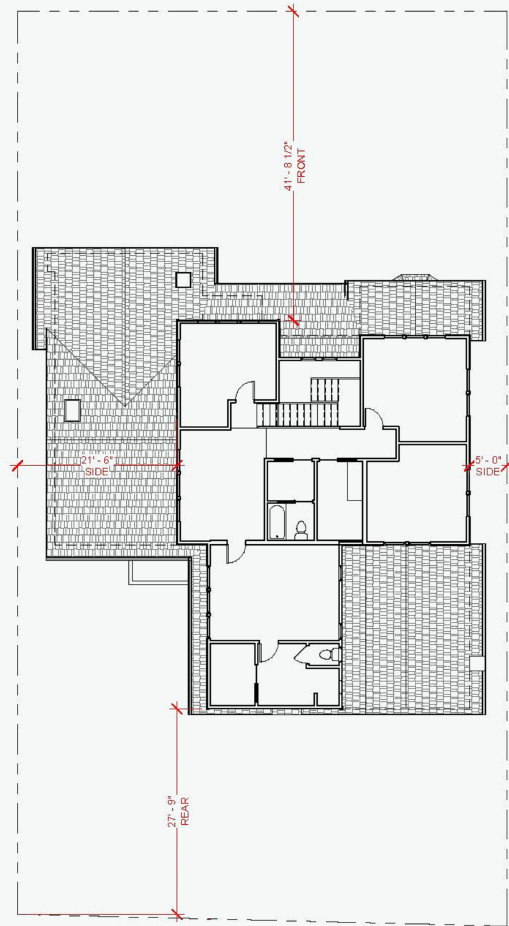
SITE PHOTOS

Project Description

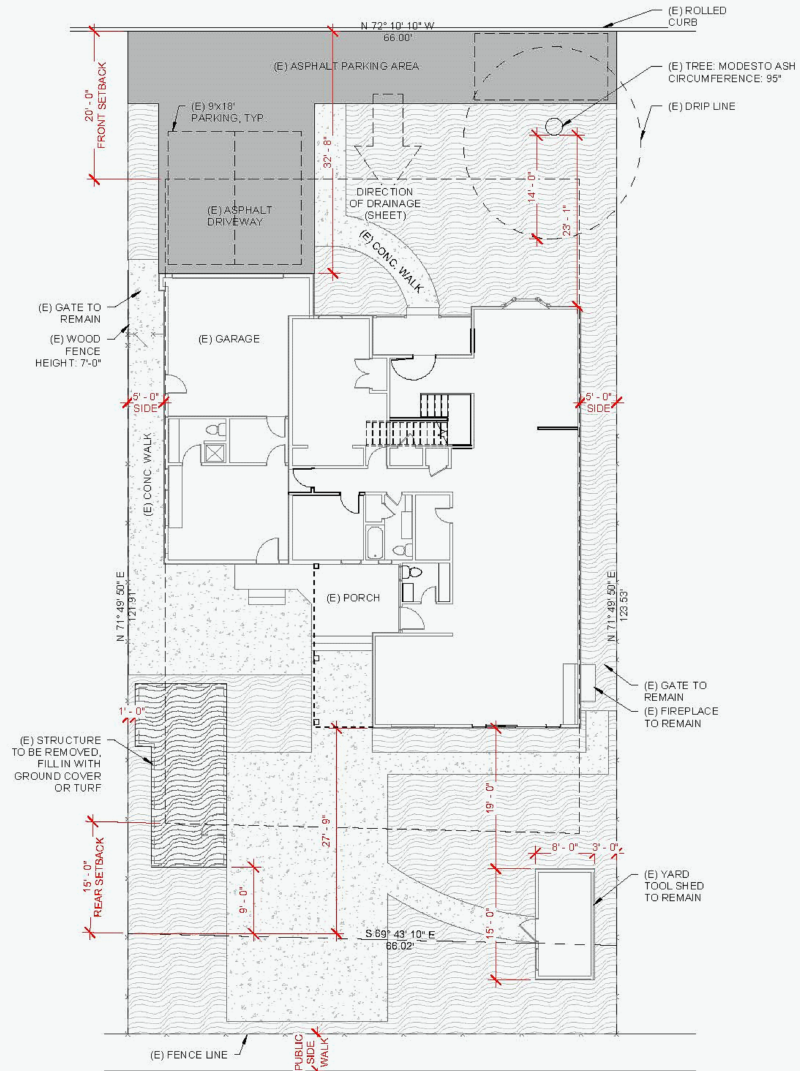
Design Review Development Plan

- Parcel is Substandard
 - *8,118 SF where 10,000 is the minimum*
 - *65.9' width where 80' is the minimum*
- Approximately 1,400-square-foot second story residential addition
 - *Increase SF from 2,200 SF to 3,600 SF.*
- Confirms to R-10 Standards
 - *5' min side and 26'-6" agg where 5' min and 15' agg is required*
 - *41'-8 1/2" front where 20' is required*
 - *27'-9" secondary frontage where 15' is required*
- Maximum height of 23'-8 1/2" feet where 35 feet is the maximum

Site Plan:



② SITE PLAN - SECOND FLOOR
3/32" = 1'-0"



OLYMPIC BLVD

① SITE PLAN
3/32" = 1'-0"



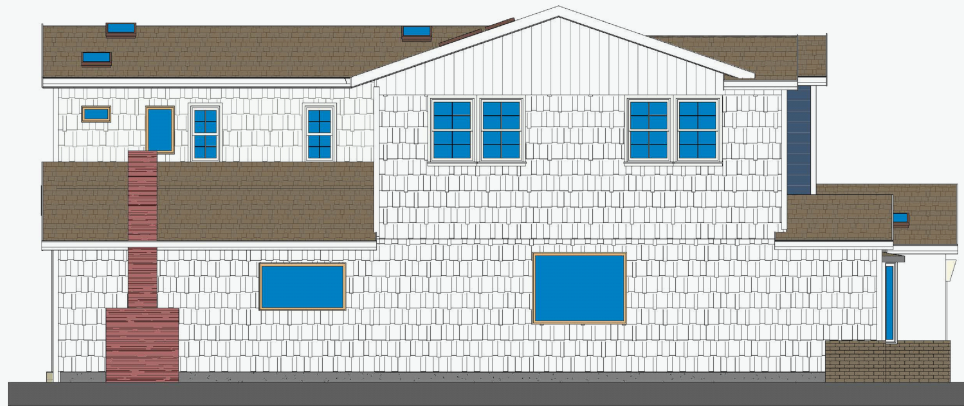
Elevations: Proposed



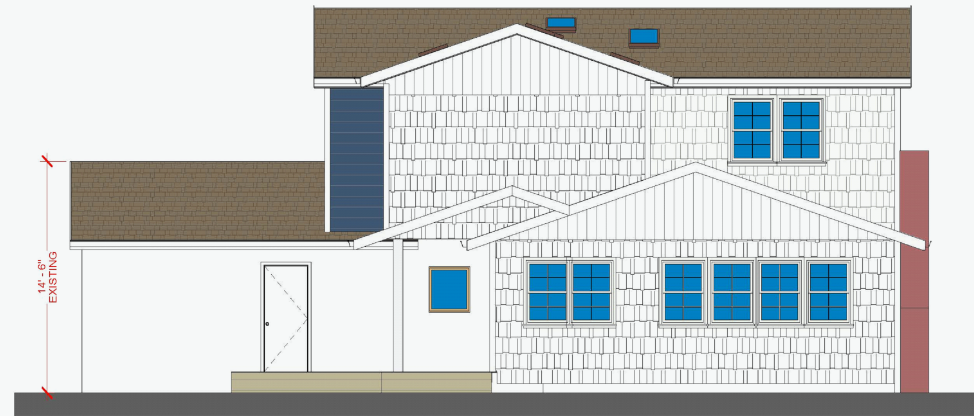
④ WEST ELEVATION
3/16" = 1'-0"



① NORTH ELEVATION
3/16" = 1'-0"



⑤ EAST ELEVATION
3/16" = 1'-0"



② SOUTH ELEVATION
3/16" = 1'-0"

Appeal Points (summary)

Appellant(s), Lindsey and
Logan Daniels – 3434
Freeman Road, Walnut Creek,
CA 94595

As the basis for their appeal, the appellants mentioned various concerns such as:

- *The Small Lot Occupancy analysis was done on dwellings not within the surrounding neighborhood.*
- *The County failed to give proper notices required by Law.*
- *Public Comment Letters submitted on 10/12/2022 and 1/22/22024 which included similar appeal points and stated that the applicant did not engage in dialogue with neighbors and that the County only supports building upward for small lots.*

Staff Responses

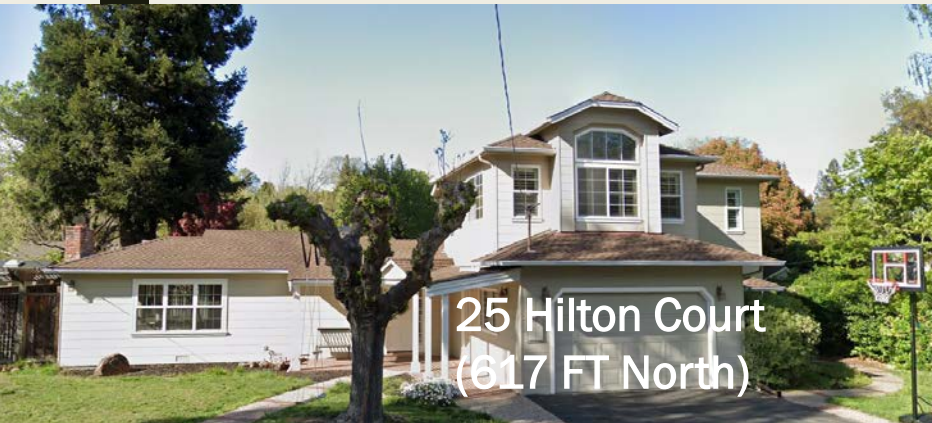
Analysis not done in
"neighborhood"

Failure to provide proper
notice

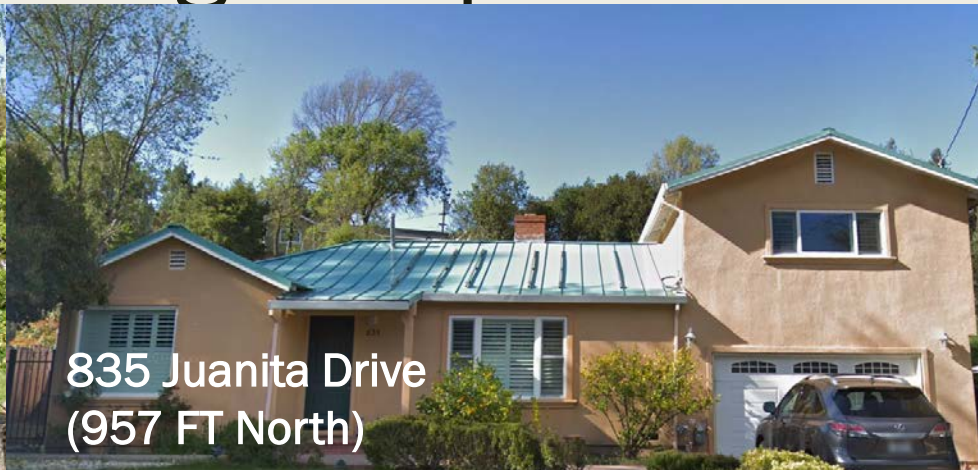
Public Comment Lettes
dated 10/2/2023 and
1/22/2024

- The County surveyed the Saranap neighborhood and identified many houses within 1,000 feet that are two-stories or have two-story elements.
- County Code Section 26-2.2004, requires that a Notice be mailed at least 10 days prior to the hearing. County Staff has a signed affidavit dated September 19, 2023, which declares that the County mailed the notices 12 calendar days before.
- County does not require applicants to engage with neighbors and the County does not require a property owner to build upwards or outwards.

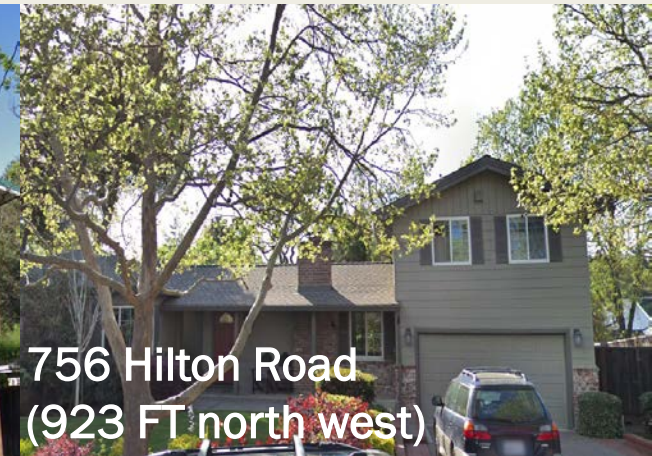
Photos of Surrounding Compatible Homes



25 Hilton Court
(617 FT North)



835 Juanita Drive
(957 FT North)



756 Hilton Road
(923 FT north west)



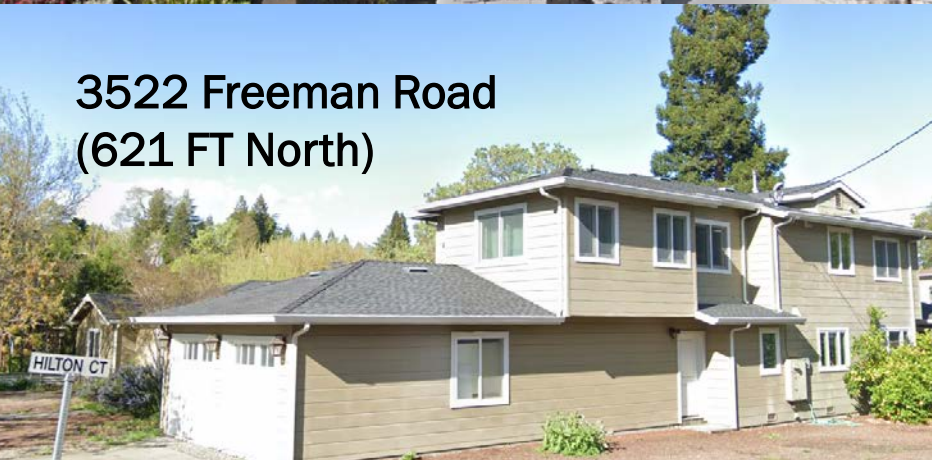
3448 Freeman Road
57 FT North)



3559 Melody Drive
(750 FT East)



41 Manzanita Ct
(1,105 FT north east)



3522 Freeman Road
(621 FT North)

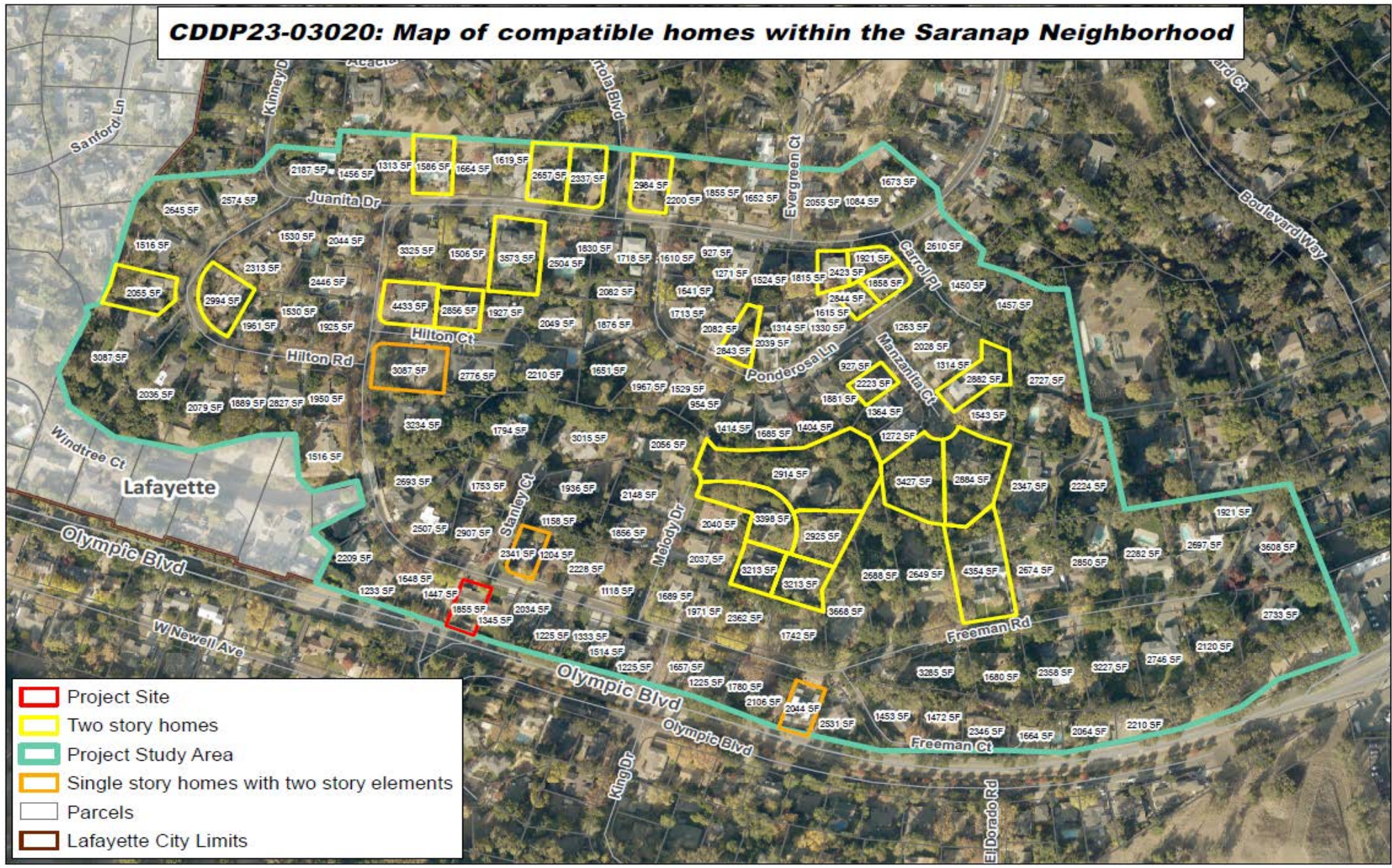


144 Ponderosa Lane
(766 FT north)



3338 Freeman Road
(1,240 FT east)

CDDP23-03020: Map of compatible homes within the Saranap Neighborhood



- Project Site
- Two story homes
- Project Study Area
- Single story homes with two story elements
- Parcels
- Lafayette City Limits



0 95 190 380 Feet
 (Aerial Photo taken 2019)

Map Created 10/31/2023
 by Contra Costa County Department of
 Conservation and Development, GIS Group
 30 Muir Road, Martinez, CA 94553
 37:59:41.791N 122:07:03.755W

This map was created by the Contra Costa County Department of Conservation and Development with data from the Contra Costa County GIS Program. Some base data, primarily City Limits, is derived from the CA State Board of Equalization's tax rate areas. While obligated to use this data the County assumes no responsibility for its accuracy. This map contains copyrighted information and may not be altered. It may be reproduced in its current state if the source is cited. Users of this map agree to read and accept the County of Contra Costa disclaimer of liability for geographic information.



Staff Conclusion

- The project is consistent with the applicable policies/standards of:
 - *County General Plan*
 - *Zoning Consistency*
 - *Small Lot Design Review Findings*
- The project is a residential addition and promotes residential development growth that is consistent with the Saranap neighborhood.

Staff Recommendation

Staff recommends that the County Board of Supervisors:

DENY the appeal by Lindsey and Logan Daniels, et al,

APPROVE the project based on the findings and conditions of approval



QUESTIONS?