

CARNELIAN ASSISTED LIVING FACILITY EXPANSION

REVISED
11:54 am, Jan 07, 2025

RECEIVED on 10/11/2024 CDLP23-02046
By Contra Costa County
Department of Conservation and Development

101 LUCAS VALLEY RD, SUITE 150
SAN RAFAEL, CA 94903
T: 415.597.6800 F: 925.558.4814



THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
2374 WARREN RD
WALNUT CREEK, CA 94595

MANAGED BY: HGCI
B-GENERAL BUILDING
CONTRACTOR
LIC. # 720437

STAMP

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REVISIONS/SUBMITTALS

DATE	DESCRIPTION
10/11/2024	LAND USE PERMIT

COVER SHEET

DATE	10/11/2024
SCALE	AS NOTED
PROJECT ID	23004
DRAWN BY	NW
CHECKED BY	JH
SHEET TITLE	
A0.0	
SHEET NO.	

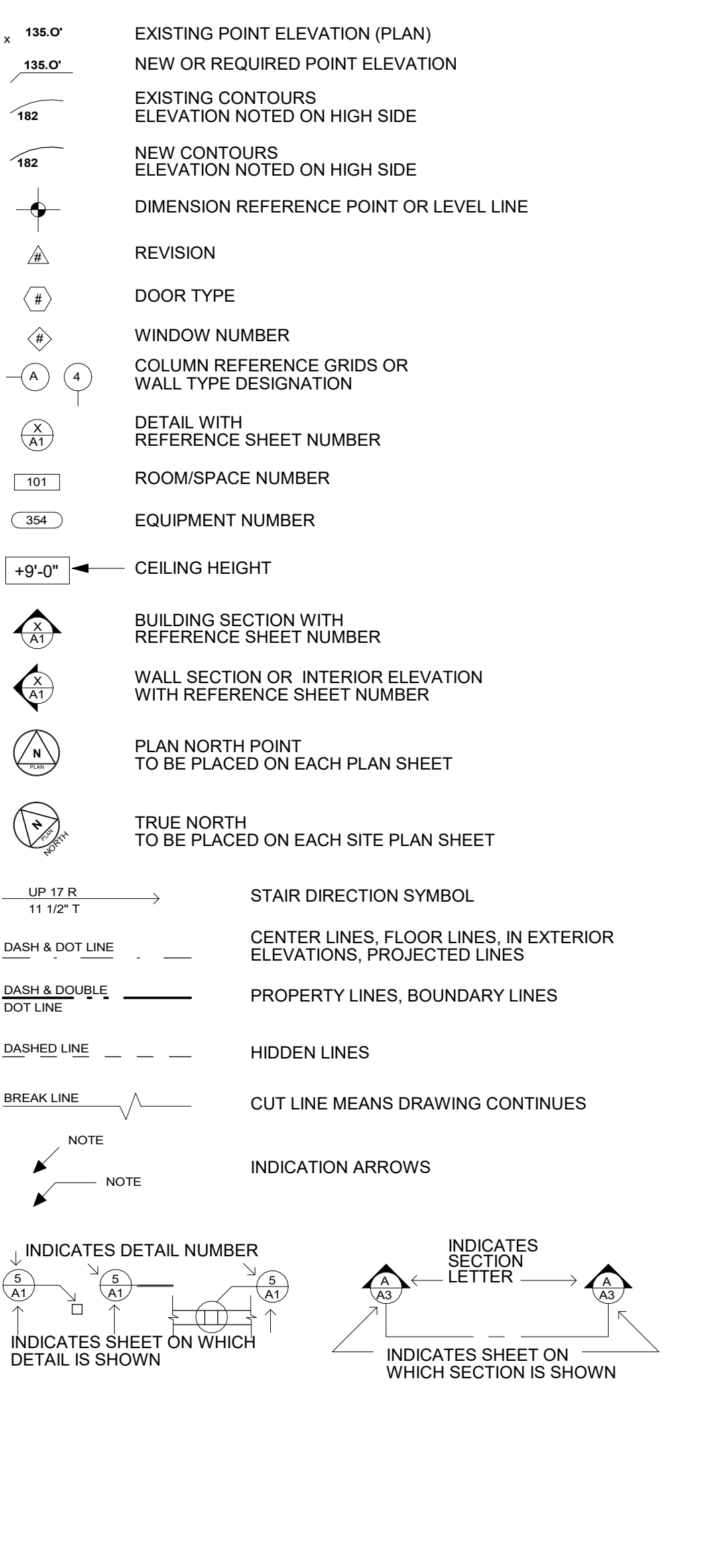
ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LAM	LAMINATED OR LAMINATE
A.B	ANCHOR BOLT	LAT.	LATERAL
A/C	AIR CONDITIONING	LAV.	LAVATORY
A.C.P.	ASBESTOS CEMENT PIPE	LBS.	POUNDS
A.D.	AREA DRAIN	L.F.	LINEAL FEET
A.F.F.	ABOVE FINISH FLOOR	L.L.	LIVE LOAD
AGG.	AGGREGATE	MAX.	MAXIMUM
ALT.	ALTERNATE	M.B.	MACHINE BOLT
ALUM.	ALUMINUM	M.C.	MEDICINE CABINET
APPROX.	APPROXIMATE	M.H.	MANHOLE
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
ASB.	ASBESTOS	MEZZ.	MEZZANINE
B.D.	BOARD	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MISC.	MISCELLANEOUS
B.M.	BENCH MARK	MTL.	METAL
BW	BEAM	N	NORTH
BOT.	BOTTOM	(N)	NEW
B.U.	BUILT-UP	N.E.C.	NATIONAL ELECTRICAL CODE
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	N.L.	NIGHT LIGHT
C.A.C.	CALIFORNIA ADMINISTRATIVE CODE	NO	NUMBER
C.A.R.	COLD AIR RETURN	NOM.	NOMINAL
CAR.	CARPET	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN	O	OVENS
C.E.C.	CALIFORNIA ENERGY CODE	O/A	OVER
CEM.	CEMENT	O/O	OVERALL
CER.	CERAMIC	OBS.	OBSCURE
CER.	CAST IRON	O.C.	ON CENTER
C.I.P.	CAST IN PLACE	O.F.D.	OVERFLOW DRAIN
C.J.	CONSTRUCTION JOINT	O.H.	OVERHEAD
CEILING	CEILING	OPNG.	OPENING
CLO.	CLOSET	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
C.O.	CLEAN OUT	P.L.	PLATE OR PLATE LINE
COL.	COLUMN	PLUMB.	PLUMBING
CONC.	CONCRETE	P.L.Y.	PLYWOOD
COND.	CONDITION	PR	PAIR
CONN.	CONNECTION	P.S.I.	POUNDS PER SQUARE INCH
CONST.	CONSTRUCTION	PT.	POINT
CONT.	CONTINUOUS	R	RADIUS
DBL.	DOUBLE	R.O.	ROOF DRAIN
DEPT.	DEPARTMENT	R.C.P.	REINFORCED CONCRETE PIPE
DET.	DETAIL	REF.	REFRIGERATOR
D.F.	DOUGLAS FIR	REG.	REGISTER
D.I.	DROP INLET	REF.	REINFORCED OR REINFORCING
D.I.	DIAMETER	REQD.	REQUIRED
DIM.	DIMENSION	RESIL.	RESILIENT
DISP.	DISPATCH	RM	ROOM
D.S.P.	DEAD LOAD	R.O.	ROUGH OPENING
DN	DOWN	R.O.W.	RIGHT OF WAY
DRWG.	DRAWING	RWD.	REDWOOD
D.S.	DOWNSPUT	R.W.L.	RAIN WATER LEADER
DSP.	DISPOSER	S	SOUTH
DW	DISHWASHER OR DRIVEWAY	S.C.	SOLID CORE
E	EAST	SCHED.	SCHEDULE
(E)	EXISTING	SCR.	SCREEN
EA	EACH	SECT.	SECTION
E.I.	EXPANSION JOINT	SEL.	SELECT
ELEC.	ELECTRICAL	S.F.	SQUARE FEET
ELEV.	ELEVATION	SHWR.	SHOWER
EMERG.	EMERGENCY	SM.	SIMILAR
ENCL.	ENCLOSURE	SLID.	SLIDING
EQU.	EQUAL	SPEC.	SPECIFICATION
EQUIP.	EQUIPMENT	SQ	SQUARE
E.W.	EACH WAY	S.S.	SANITARY SEWER
EXIST.	EXISTING	S.S.D.	SEE STRUCTURAL DRAWINGS
EXT.	EXTERIOR	STD.	STANDARD
FL	FLOOR LINE	STL	STEEL
F.A.	FIRE ALARM	STOR.	STORAGE
F.D.	FLOOR DRAIN	STRUC.	STRUCTURAL
FDN.	FOUNDATION	SUSP.	SUSPENDED
F.E.	FIRE EXTINGUISHER	SW.	SIDEWALK
F.F.	FINISH FLOOR	S.W.M.	SEWER/METRIC
F.H.	FIRE HYDRANT	T.C.	TOP OF CURB
FIN.	FINISH	TEL	TELEPHONE
FLASH.	FLASHING	TEMP.	TEMPERED
FLR.	FLOORING	T. & G.	TONGUE & GROOVE
FLOOR.	FLOURESCENT	T.L.	TOTAL LOAD
F.O.	FACE OF	TOIL.	TOILET
F.O.C.	FACE OF CONCRETE	T.O.S.	TOP OF STRUCTURE
F.D.S.	FACE OF STUD	T.P.	TOILET PAPER
FT.	FOOT	T.S.	TUBE STEEL
FTG.	FOOTING	T.V.	TELEVISION
FUR.	FURRED	TYP.	TYPICAL
GA.	GALVE	U.B.C.	UNIFORM BUILDING CODE
ALV.	GALVANIZED	U.F.C.	UNIFORM FIRE CODE
G.B.	GRAB BAR	U.M.C.	UNIFORM MECHANICAL CODE
G.F.I.	GROUND FAULT INTERRUPTER	U.N.O.	UNLESS NOTED OTHERWISE
G.L.	GLASS	U.P.C.	UNIFORM PLUMBING CODE
G.L.B.	GLU LAM BEAM	VERT.	VERTICAL
GYP.	GYPSPUM	VEST.	VESTIBULE
H.B.	HOSE BIBB	VTR.	VENT THRU ROOF
H.C.	HOLLOW CORE	W	WEST
HDR.	HEADER	WI.	WITH
HGT.	HEIGHT	WD.	WOOD
H.M.	HOLLOW METAL	W/O	WITHOUT
HORIZ.	HORIZONTAL	W/HT	WATER HEATER
HVAC.	HEATING, VENTILATING & AIR CONDITIONING	W.C.	WATER CLOSET
IN.	INCHES	W.P.	WATERPROOF
INFO.	INFORMATION	W.P.J.	WEAKENED PLANE JOINT
INSUL.	INSULATION	W.S.	WATER SERVICE
INT.	INTERIOR		

CODES

THE NEW CONSTRUCTION IN THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA ADMINISTRATIVE CODE TITLE 24 (2022) AS ADOPTED BY THE LOCAL GOVERNING AGENCY AND THE FOLLOWING:
 • 2022 CALIFORNIA BUILDING CODE
 • 2022 CALIFORNIA MECHANICAL CODE
 • 2022 CALIFORNIA ELECTRICAL CODE
 • 2022 CALIFORNIA PLUMBING CODE
 • 2022 CALIFORNIA ENERGY CODE
 • 2022 CALIFORNIA FIRE CODE

LEGEND



CONTACT INFORMATION

OWNER:
CARNELIAN ASSISTED LIVING
P: 925.938.0200

CONTRACTOR:
JAMES HUSTON
HGCI
101 LUCAS VALLEY RD, SUITE 150
SAN RAFAEL, CA 94903
P: 415.509.0304

ARCHITECT:
NATHAN WATKINS
HGCI
101 LUCAS VALLEY RD, SUITE 150
SAN RAFAEL, CA 94903
P: 415.300.6392

SCOPE OF WORK

RESIDENTIAL 2,665 SF ADDITION TO AN EXISTING (R-2.1) ASSISTED LIVING CARE FACILITY. THE ADDITION WILL INCLUDE: A NEW CONCRETE SLAB-ON-GRADE; NEW WOOD FRAME CONSTRUCTION TO MATCH EXISTING BUILDING; MECHANICAL WORK; ELECTRICAL WORK; PLUMBING WORK; AND A NEW ROOF. NEW ADDITION WILL REQUIRE REMOVAL OF EXISTING WOOD FRAMING AND MINOR SOILS REMOVAL FOR THE FOOTINGS AT THE RAISED FOUNDATION.

PROJECT INFORMATION

APN/LOT
184-120-071

PARCEL AREAS
LOT 071 = 12,763 SF (29 ACRES)

ZONING DISTRICTS
R-10 ZONING
UNINCORPORATED CONTRA COSTA COUNTY

BUILDING HEIGHT AND SETBACKS
R-10 = 2.5 STORIES OR 35FT MAX.
FRONT YARD = 20FT
SIDE YARDS = 10FT
REAR YARD = 15FT

LOT COVERAGE
R-10 5.5-7.2 UNITS PER ACRE (2.5-3 PERSONS/ UNIT)
M-29 = 35% MAX. LOT COVERAGE

REQUIRED PARKING
PARKING SPACES REQUIREMENTS: 3 BEDS / 1 SPACE
TOTAL PROPOSED BEDS FOR THIS PROJECT: 18
PARKING SPACES REQUIRED: 6
PARKING SPACES PROVIDED: 6

PLANNING AREAS
EXISTING RESIDENTIAL CARE FACILITY, CONGREGATE HOUSING, ASSISTED LIVING

SETBACK REQUIREMENTS
25' FRONT YARD SETBACK
10' SIDE YARD SETBACKS
15' REAR YARD SETBACK

BUILDING AREAS (R-2.1)
EXISTING BUILDING 1 AREA (071): 2,072 SF
EXPANSION/ADDITION AREA: 2,665 SF
TOTAL BUILDING AREAS: 4,737 SF

ALLOWABLE AREA (S13R SPRINKLER): 10,500 SF

CONSTRUCTION TYPE
TYPE V-A

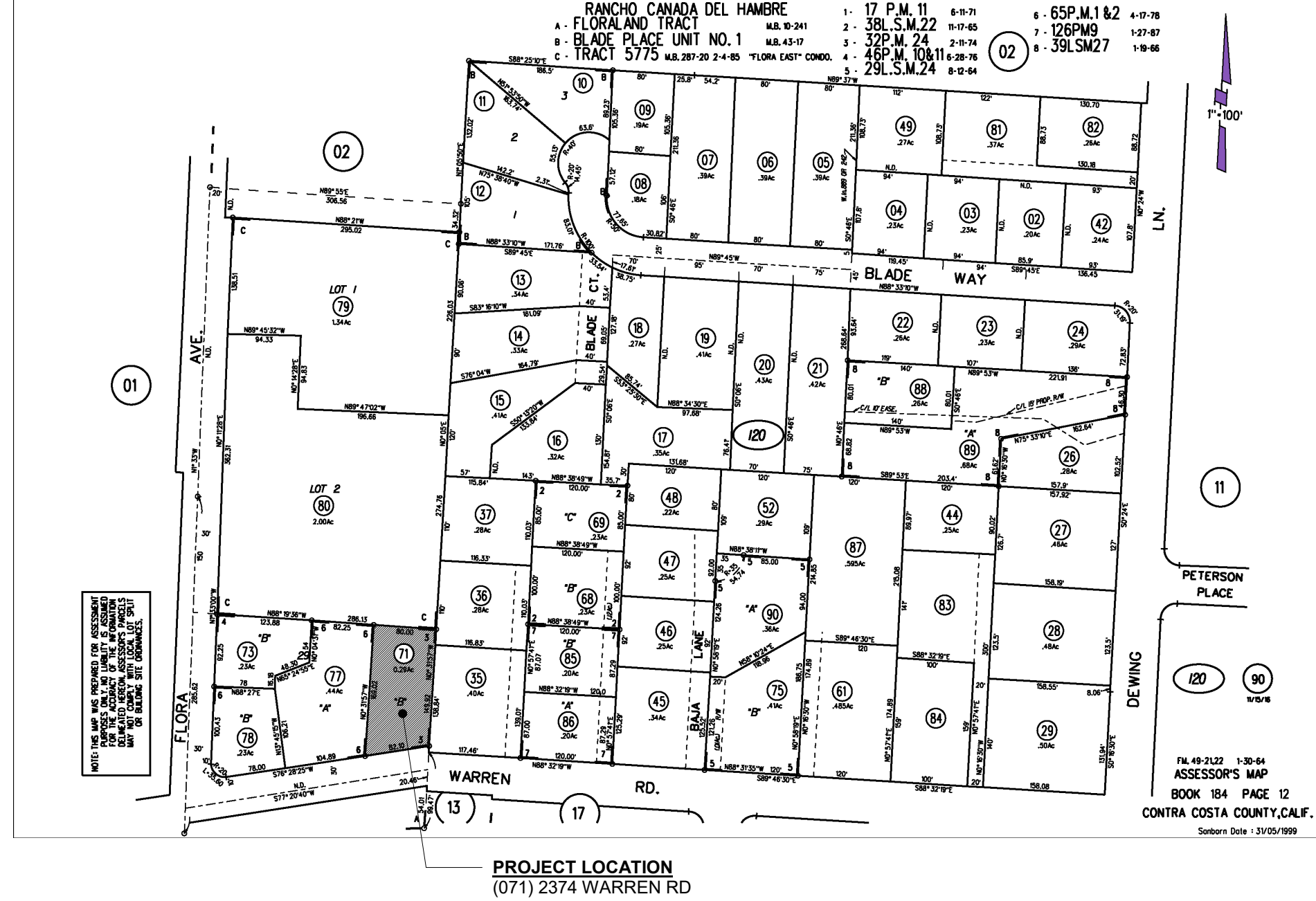
NUMBER OF STORIES
TWO

OCCUPANCY TYPE
R-2.1, RESIDENTIAL CARE FACILITIES FOR THE ELDERLY (RCFE)
ADULT RESIDENTIAL FACILITIES

OCCUPANCY GROUP
RESIDENTIAL (200 GROSS)
(PER TABLE 1004.5)

DEFERRED SUBMITTALS
FIRE SPRINKLER
FIRE ALARM

ASSESSOR'S BLOCK MAP



SHEET INDEX

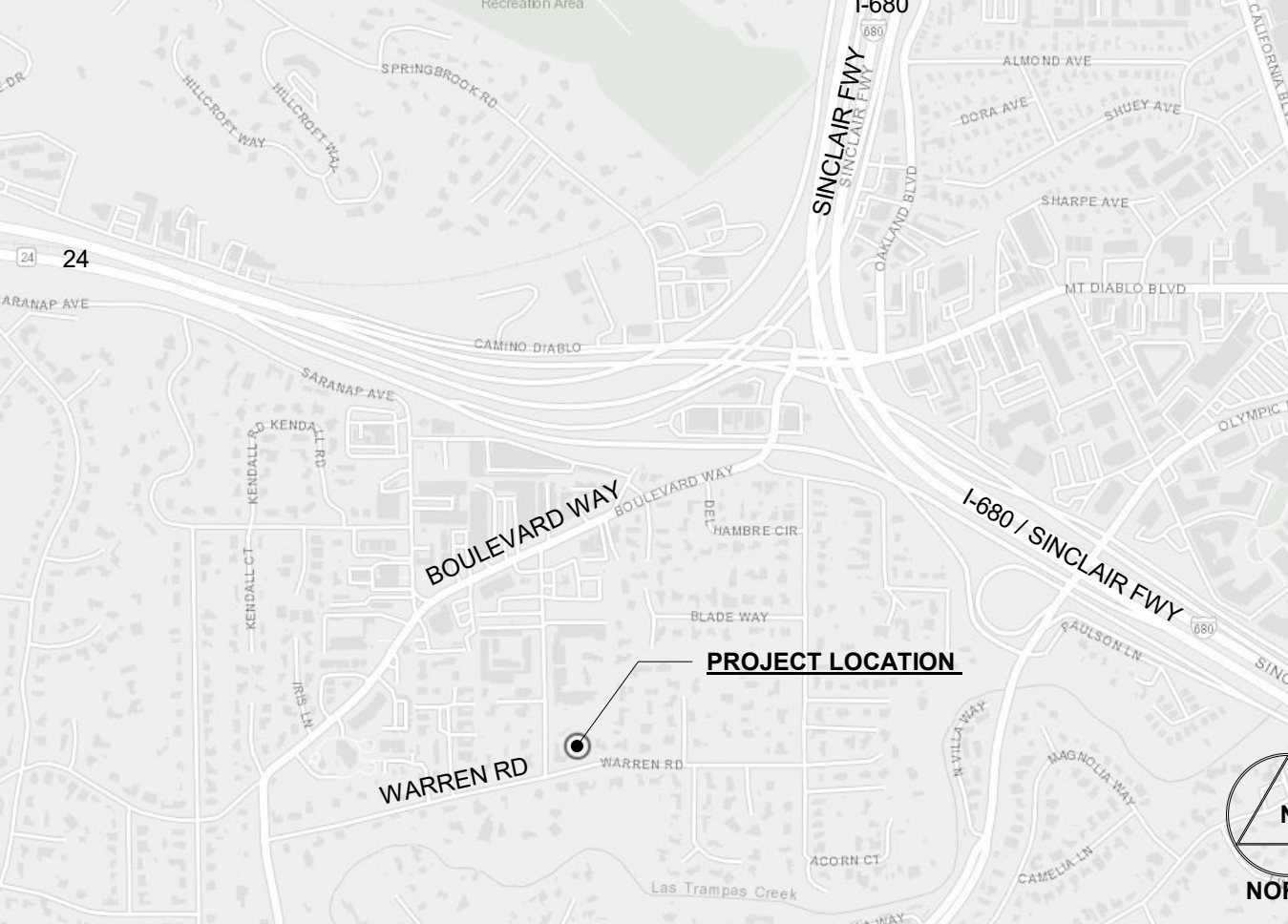
TITLE SHEETS
A0.0 COVER SHEET
A0.1 EXISTING SITE PHOTOS
A0.2 SHADOW STUDY

ARCHITECTURAL
A1.0 CONTEXT MAP
A1.1 SITE PLAN + TREE REMOVAL + TREE PROTECTION PLAN
A1.2 FIRST FLOOR PLAN + SECOND FLOOR PLAN
A2.0 EXTERIOR BUILDING ELEVATIONS
A3.0 BUILDING SECTIONS
A9.0 AERIAL VIEWS - EXISTING REMOVALS + NEW
A9.1 PERSPECTIVE VIEWS - FRONT
A9.2 PERSPECTIVE VIEWS - REAR

CIVIL
C1.0 CONCEPTUAL GRADING + DRAINAGE PLAN
C1.1 STORMWATER CONTROL PLAN

LANDSCAPE
L1.0 LANDSCAPE + IRRIGATION PLAN

VICINITY MAP





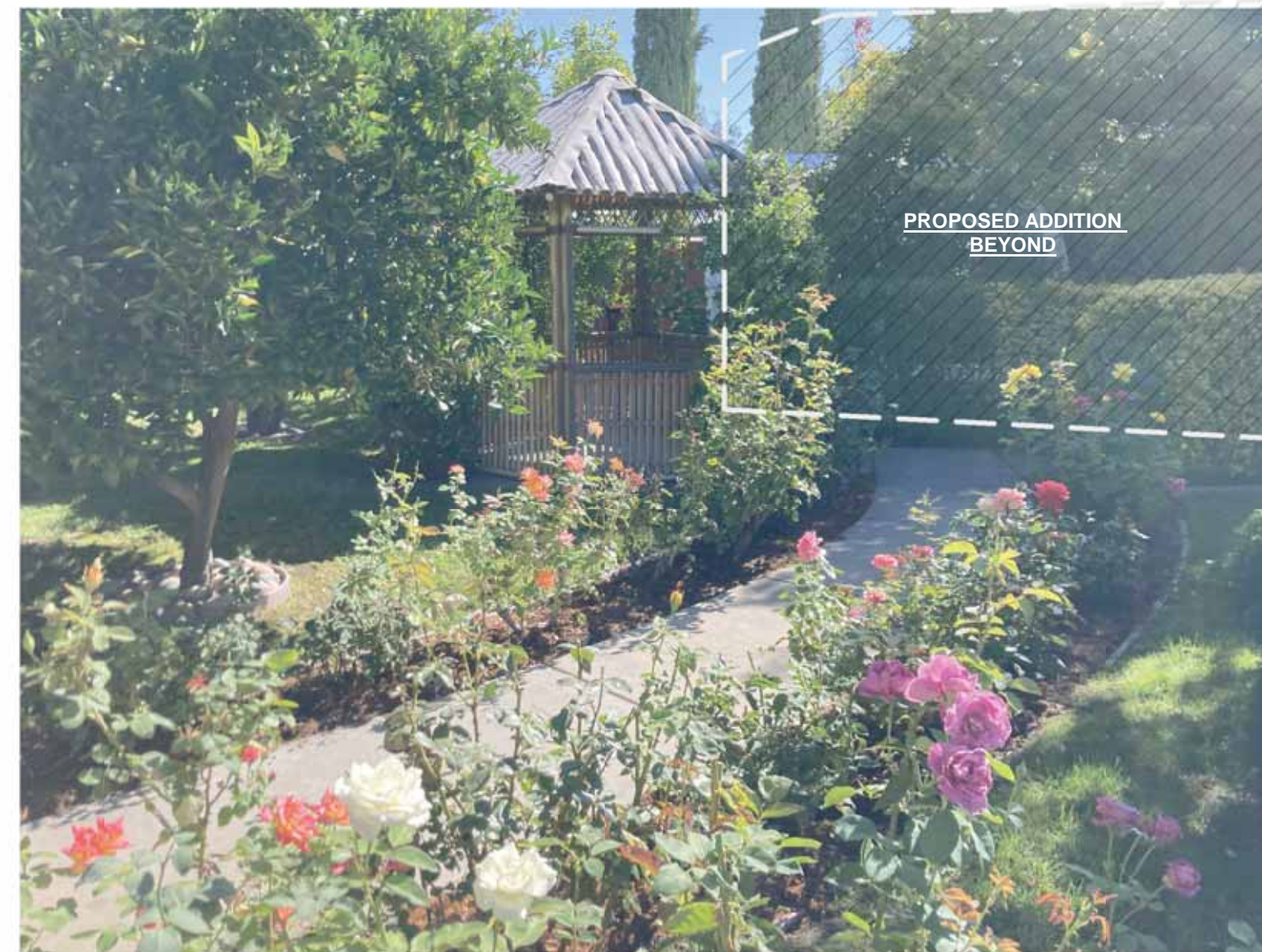
1 PHOTO 1 - FRONT VIEW ALONG WARREN RD
SCALE: NTS



2 PHOTO 2 - FRONT VIEW FACING EAST
SCALE: NTS



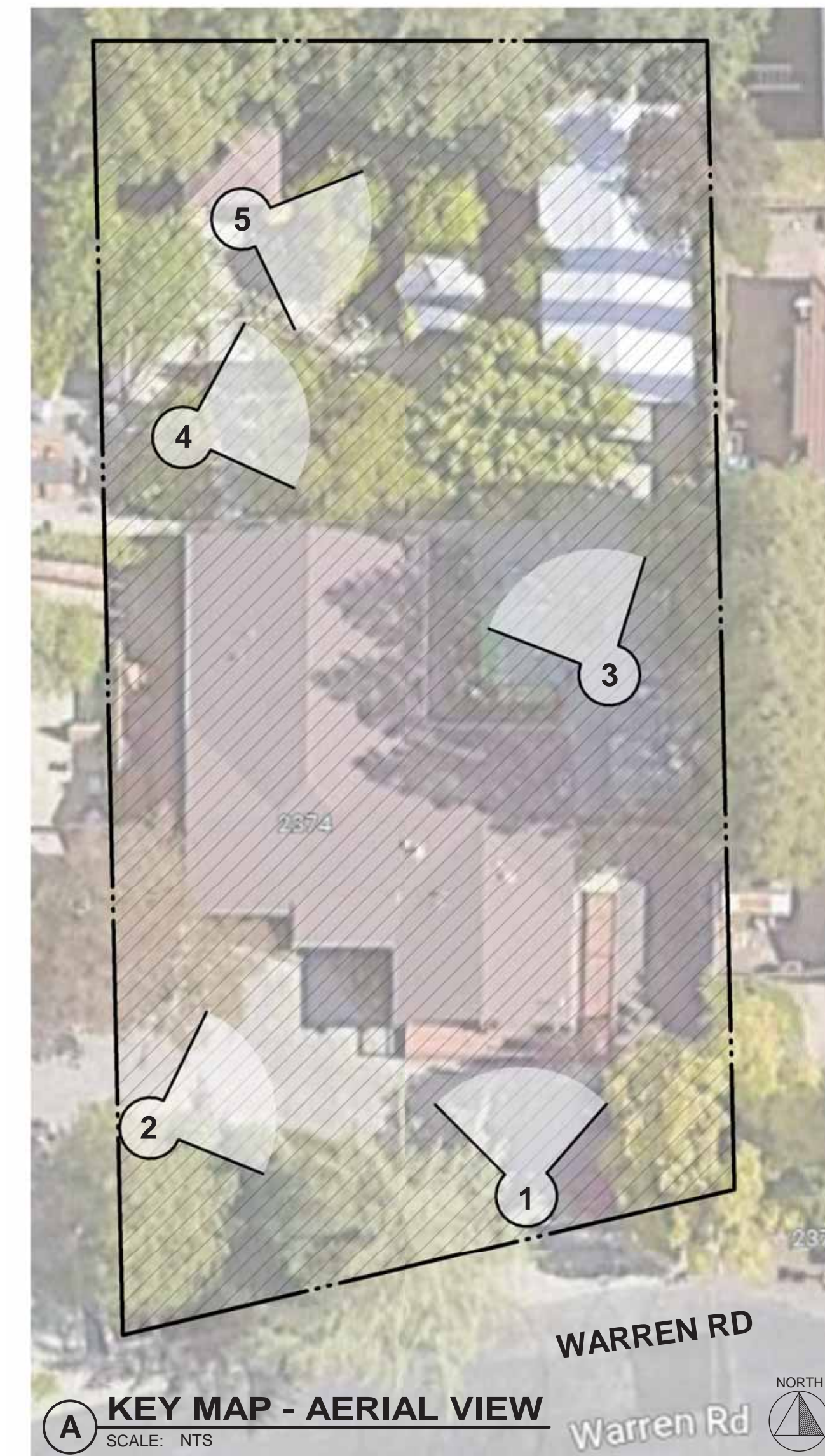
3 PHOTO 3 - REAR VIEW FACING NORTHWEST
SCALE: NTS



4 PHOTO 4 - REAR VIEW FACING EAST NORTHEAST
SCALE: NTS



5 PHOTO 5 - REAR VIEW FACING EAST SOUTHEAST
SCALE: NTS



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EXISTING SITE PHOTOS

SHEET TITLE

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A0.1

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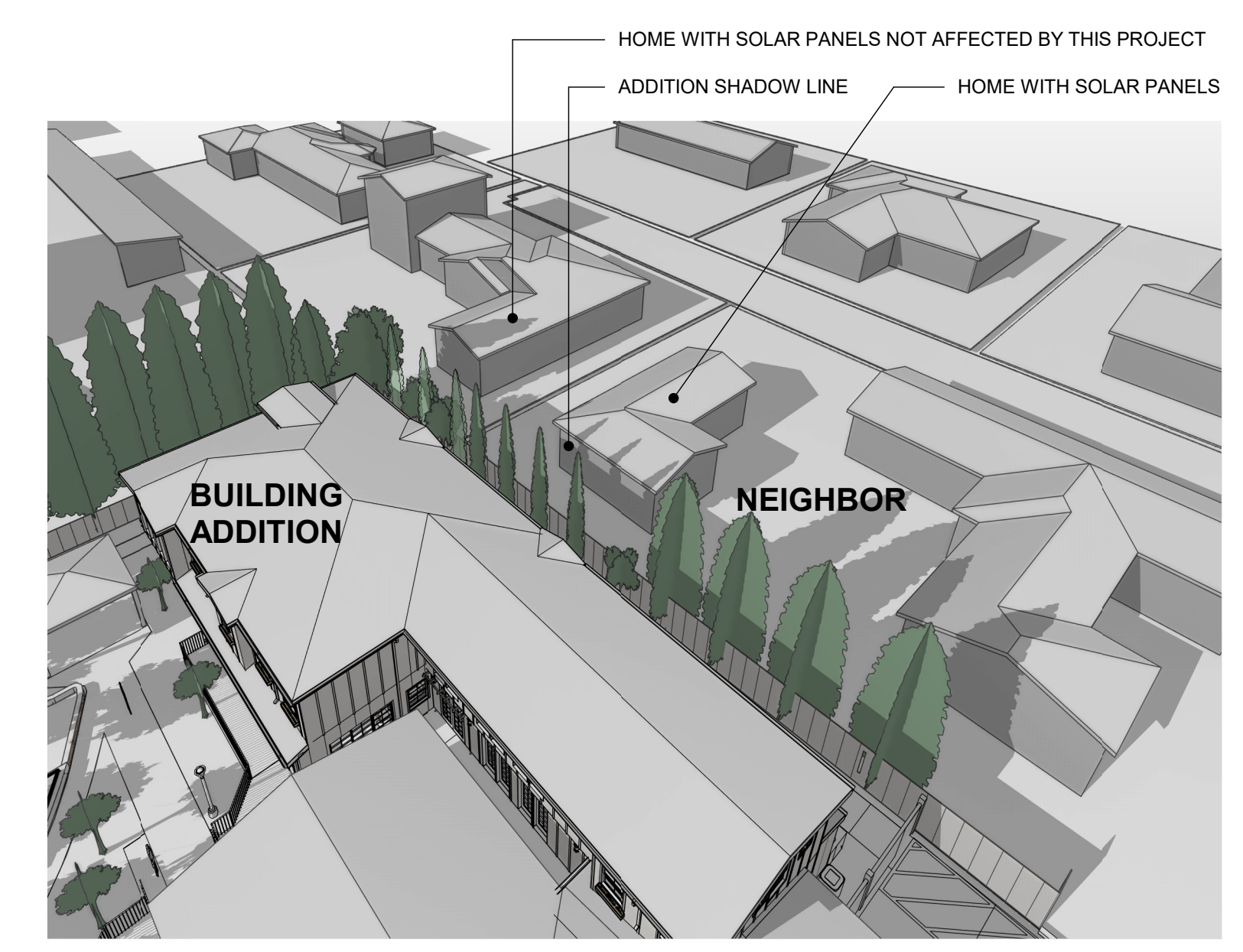


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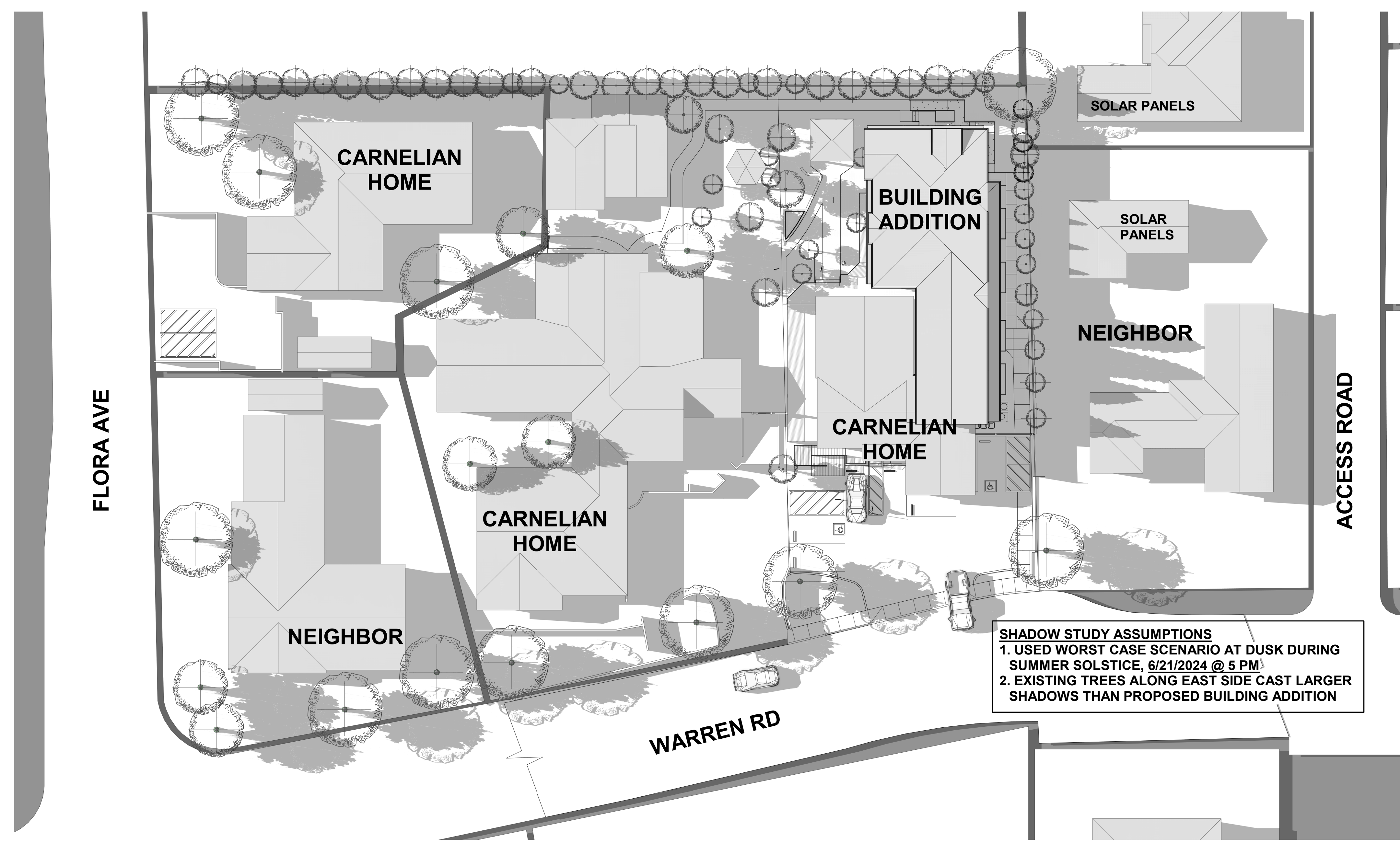
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2 SHADOW STUDY - 3D PERSPECTIVE
 SCALE:



1 SHADOW STUDY - SITE PLAN
 SCALE:

SHADOW STUDY ASSUMPTIONS
 1. USED WORST CASE SCENARIO AT DUSK DURING SUMMER SOLSTICE, 6/21/2024 @ 5 PM
 2. EXISTING TREES ALONG EAST SIDE CAST LARGER SHADOWS THAN PROPOSED BUILDING ADDITION



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SHADOW STUDY

SHEET TITLE

SHEET NO.

A0.2

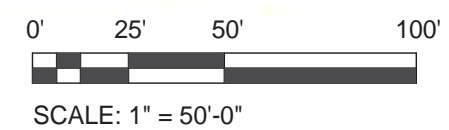
10/11/2024 12:10:59 PM

Context Map



1 CONTEXT MAP

SCALE: 1" = 50'-0" AERIAL IMAGE FROM GOOGLE EARTH



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CONTEXT MAP

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A1.0

10/11/2024 12:28:06 PM

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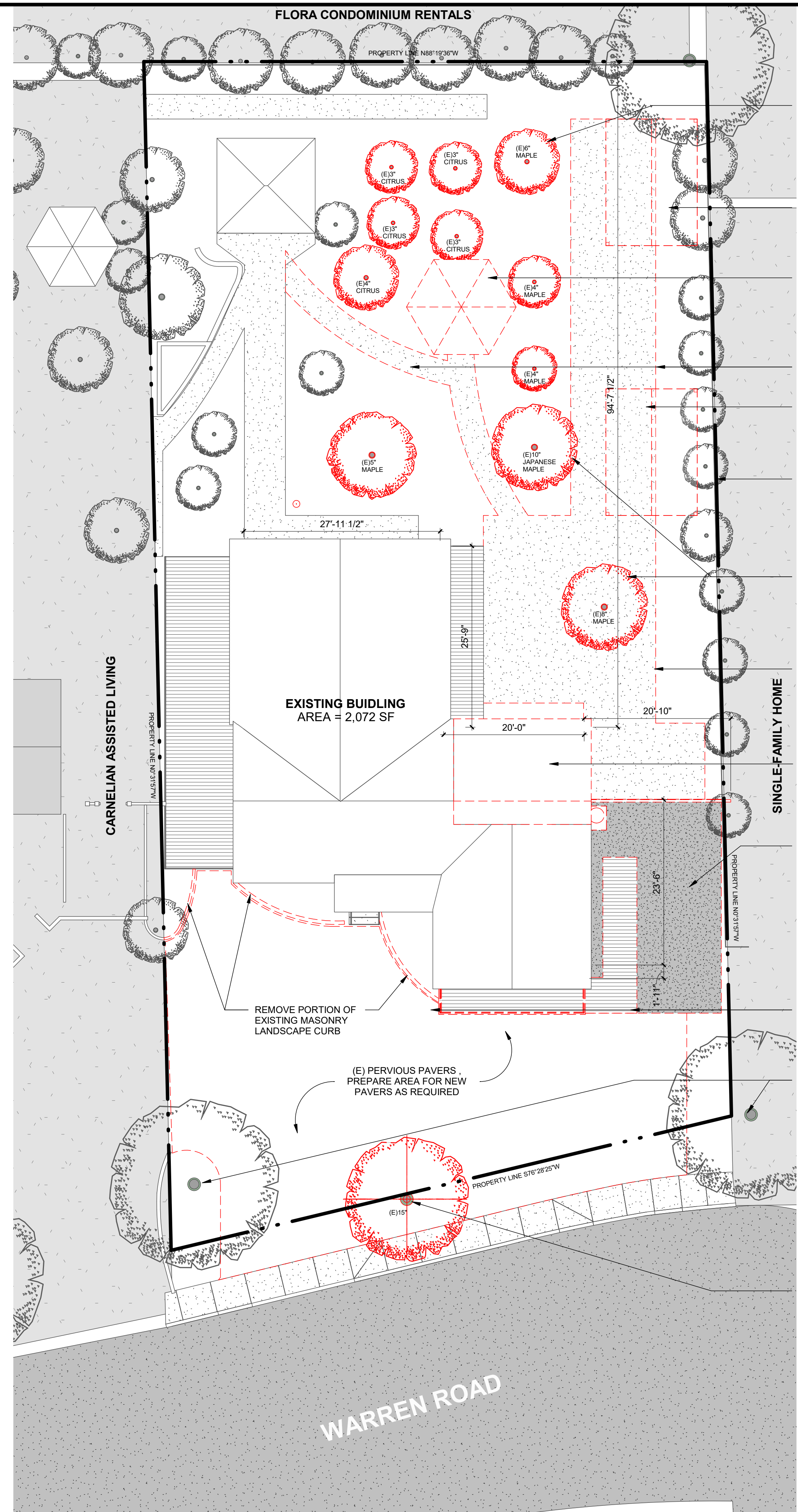
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SITE PLAN + TREE REMOVAL + TREE PROTECTION PLAN

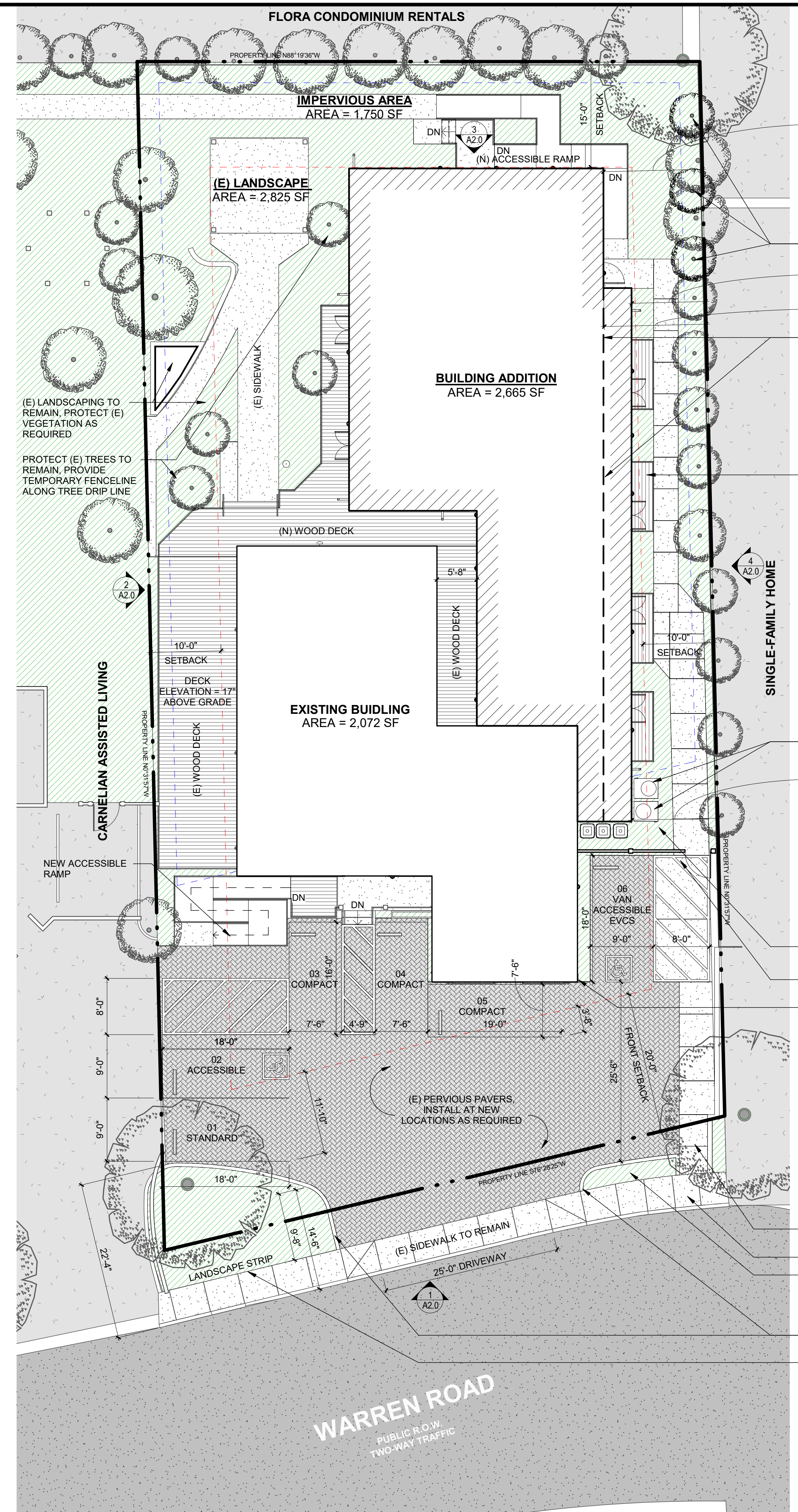
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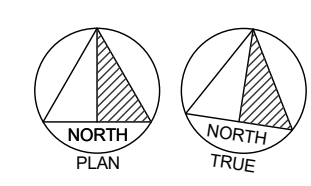
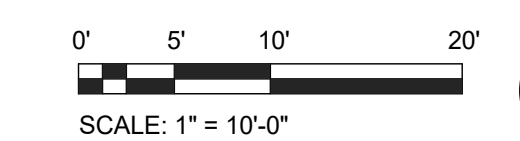
2 EXISTING SITE PLAN + REMOVALS
 SCALE: 1" = 10'-0"



1 SITE PLAN
 SCALE: 1" = 10'-0"

PARKING PROVIDED

PARKING TYPE	QTY.
ACCESSIBLE PARKING	1
ACCESSIBLE VAN PARKING + EVCS	1
COMPACT PARKING	3
STANDARD PARKING	1
TOTAL SHOWN	6



10/11/2024 12:12:12 PM

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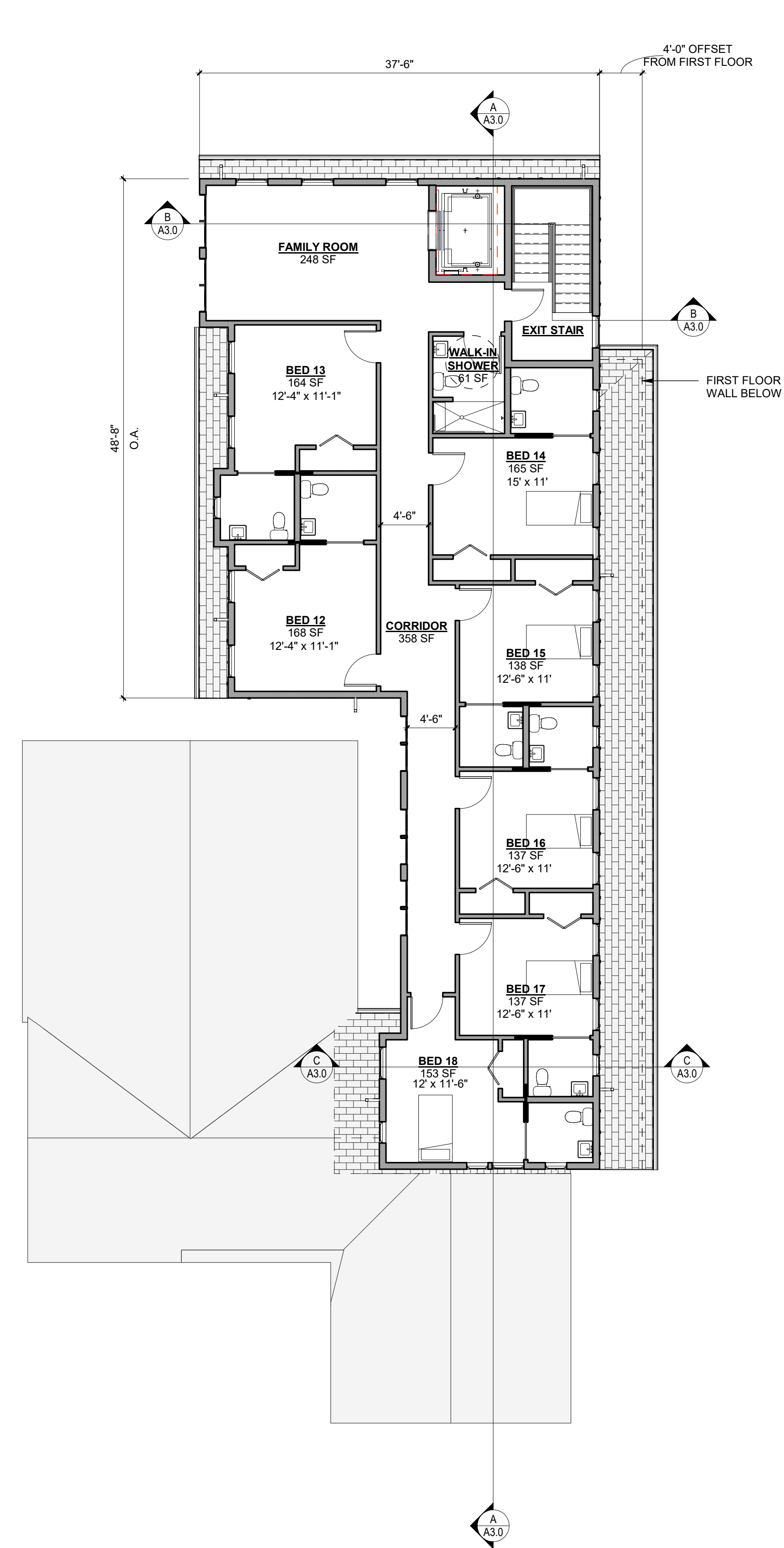
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FIRST FLOOR PLAN + SECOND FLOOR PLAN

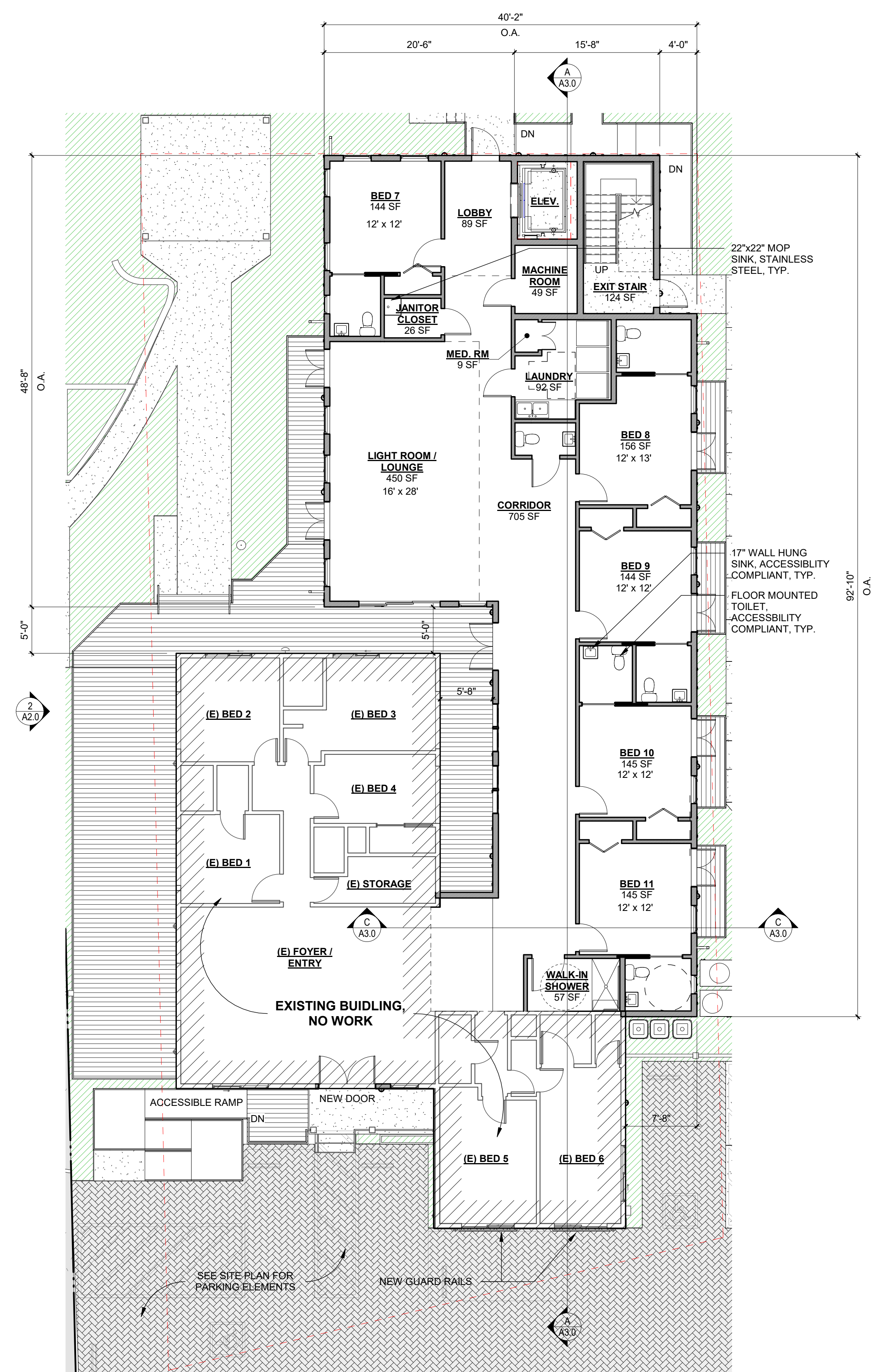
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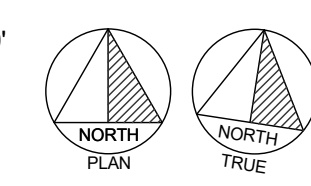
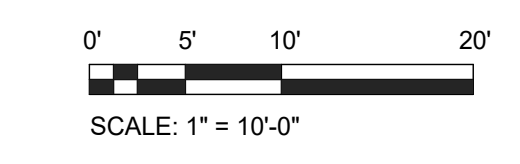
A1.2



2 SECOND FLOOR
 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR
 SCALE: 1/8" = 1'-0"



10/11/2024 12:12:14 PM

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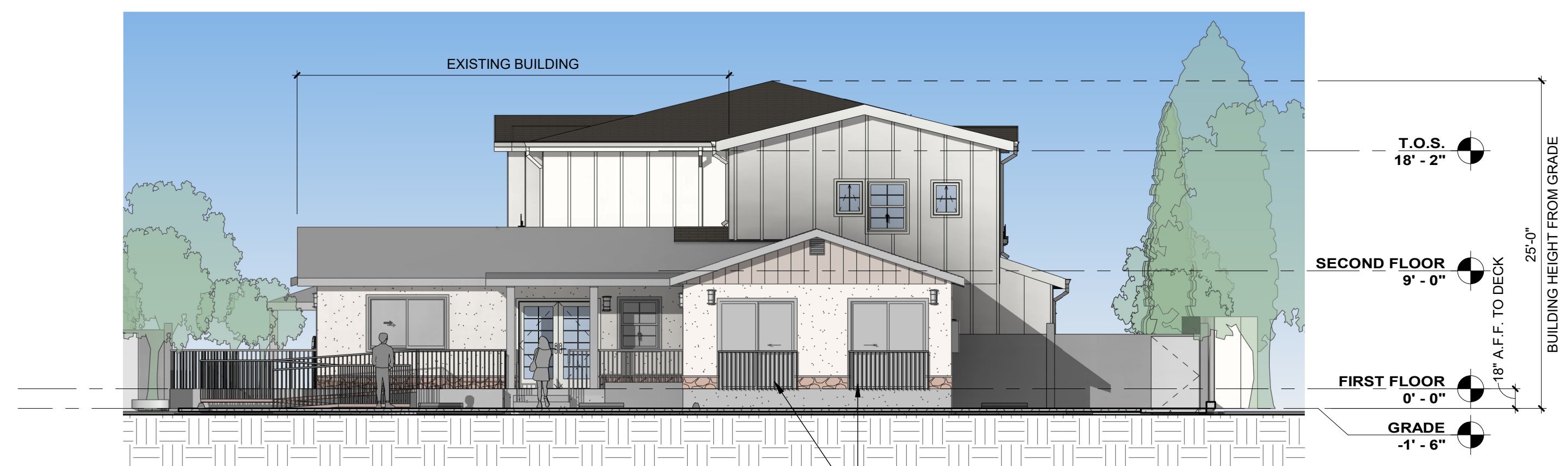
DATE	10/11/2024
SCALE	AS NOTED
PROJECT ID	23004
DRAWN BY	NW
CHECKED BY	JH

EXTERIOR BUILDING ELEVATIONS

SHEET TITLE

SHEET NO.

A2.0



1 EXTERIOR ELEVATION - SOUTH (FRONT)
 SCALE: 1/8" = 1'-0"

METAL GUARDRAIL, PAINTED TO MATCH EXISTING FINISHES

1x8 WOOD FASCIA, PAINTED WHITE TO MATCH WINDOWS, TYP.

ASPHALT ROOF SHINGLES, SIMILAR TO EXISTING, TYP.

VINYL OPERABLE WINDOWS, WHITE, TYP.



2 EXTERIOR ELEVATION - WEST
 SCALE: 1/8" = 1'-0"



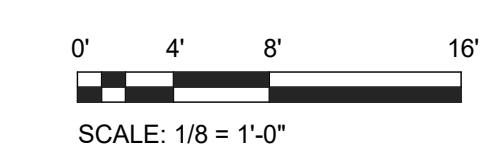
3 EXTERIOR ELEVATION - NORTH
 SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"

MECHANICAL EQUIPMENT

ITALIAN CYPRESS, TREE SCREEN TOWARD EAST NEIGHBOR



101 LUCAS VALLEY RD, SUITE 150
 SAN RAFAEL, CA 94903
 T: 415.597.8800 F: 925.558.4814

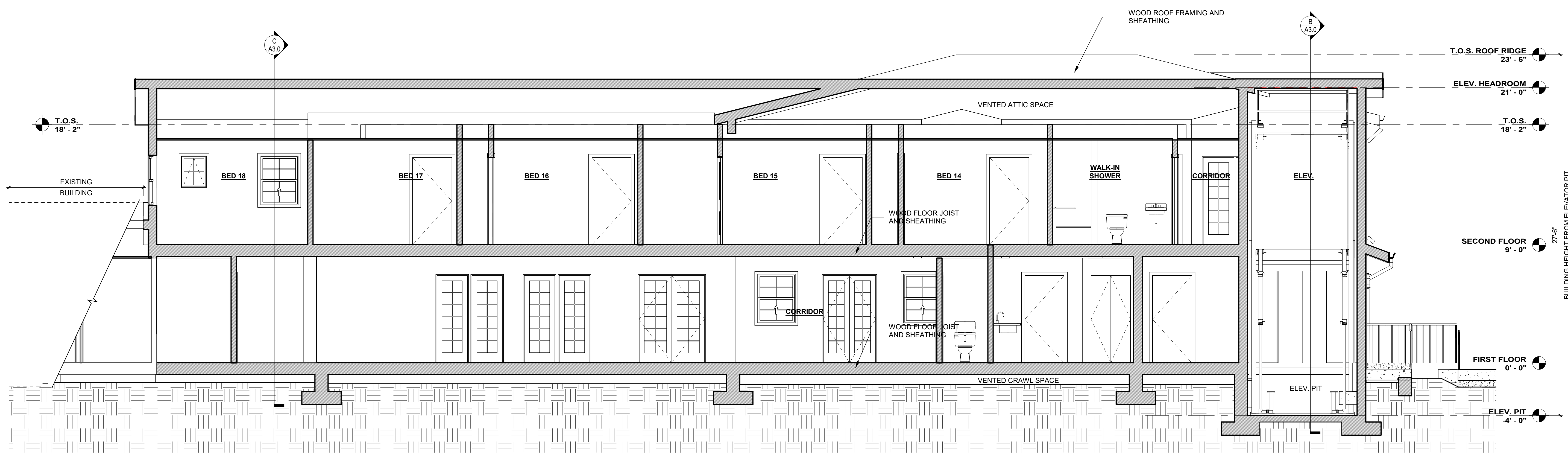


THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

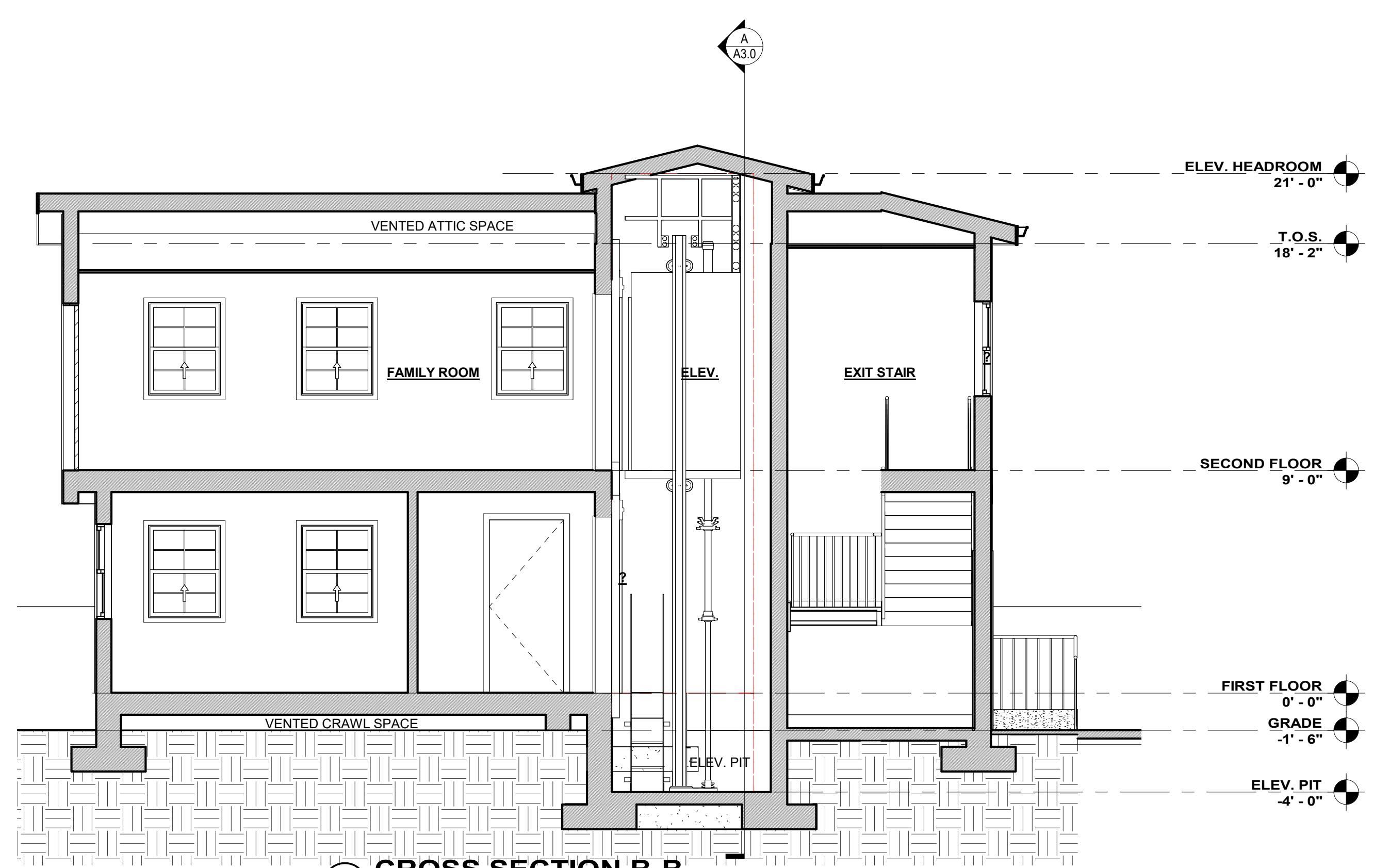
APN # 184-120-071

PROJECT ADDRESS
 2374 WARREN RD
 WALNUT CREEK, CA 94595

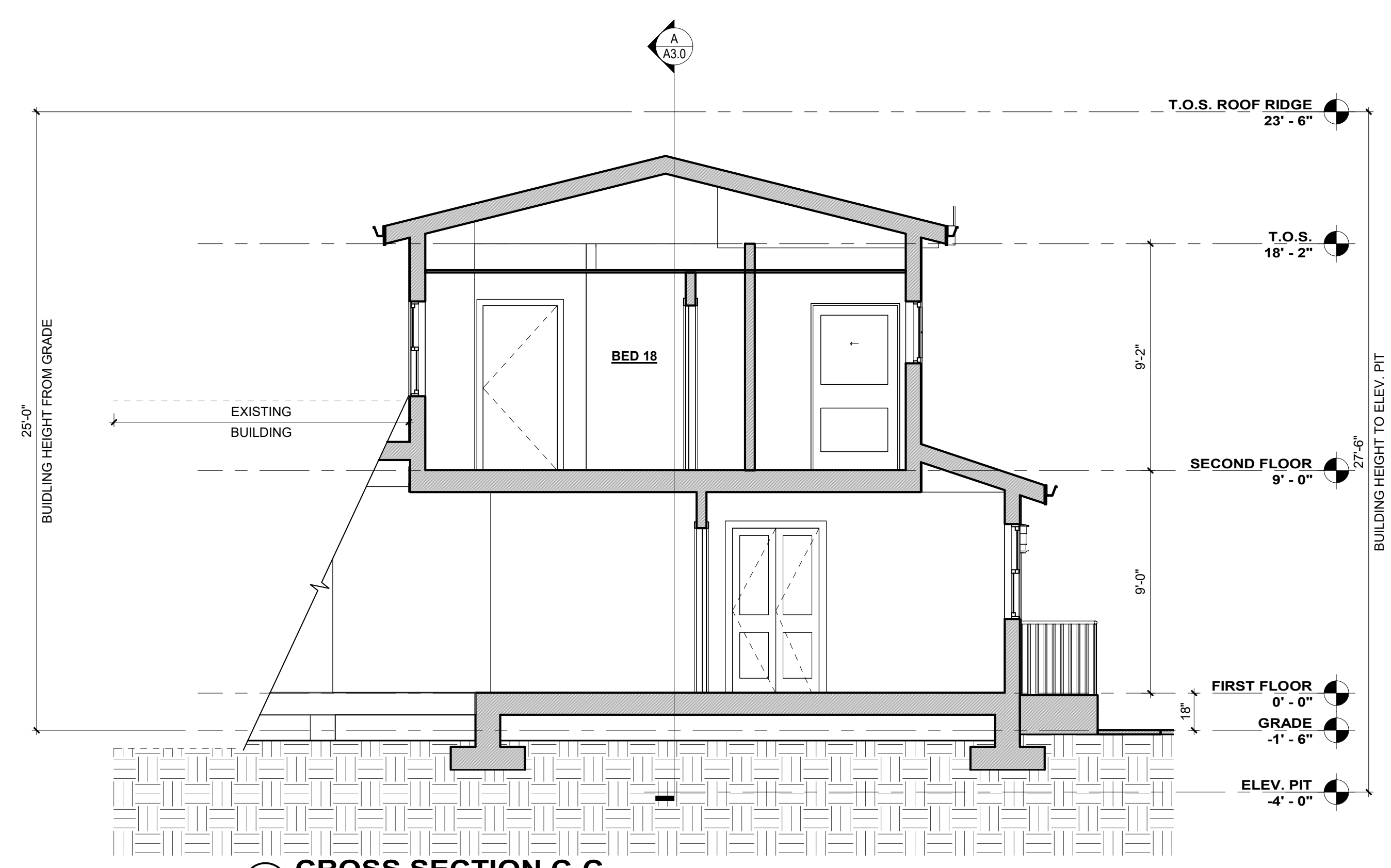
MANAGED BY: HGCI
 B-GENERAL BUILDING
 CONTRACTOR
 LIC. # 720437



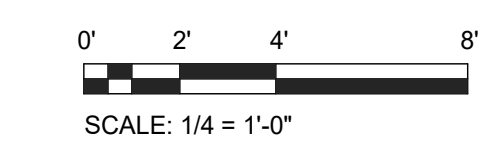
A BUILDING SECTION A-A
 SCALE: 1/4" = 1'-0"



B CROSS SECTION B-B
 SCALE: 1/4" = 1'-0"



C CROSS SECTION C-C
 SCALE: 1/4" = 1'-0"



STAMP

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BUILDING SECTIONS

SHEET TITLE

SHEET NO.

A3.0

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**THE CARNELIAN ASSITED
 LIVING FACILITY EXPANSION**

APN # 184-120-071

PROJECT ADDRESS
 2374 WARREN RD
 WALNUT CREECK, CA 94595

MANAGED BY: HGCI
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**AERIAL VIEWS - EXISTING
 REMOVALS + NEW**

SHEET TITLE

SHEET NO.

A9.0



1 AERIAL VIEW - REMOVALS
 SCALE:



2 AERIAL VIEW - NEW
 SCALE:

10/11/2024 12:12:53 PM

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THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
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 WALNUT CREEK, CA 94595

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 CONTRACTOR
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1 STREET VIEW - FRONT APPROACH
 SCALE:



2 STREET VIEW - FRONT
 SCALE:

STAMP

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PERSPECTIVE VIEWS - FRONT

SHEET TITLE

SHEET NO.

A9.1

10/11/2024 12:13:20 PM

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THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
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 WALNUT CREECK, CA 94595

MANAGED BY: HGCI
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 CONTRACTOR
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REVISIONS/SUBMITTALS

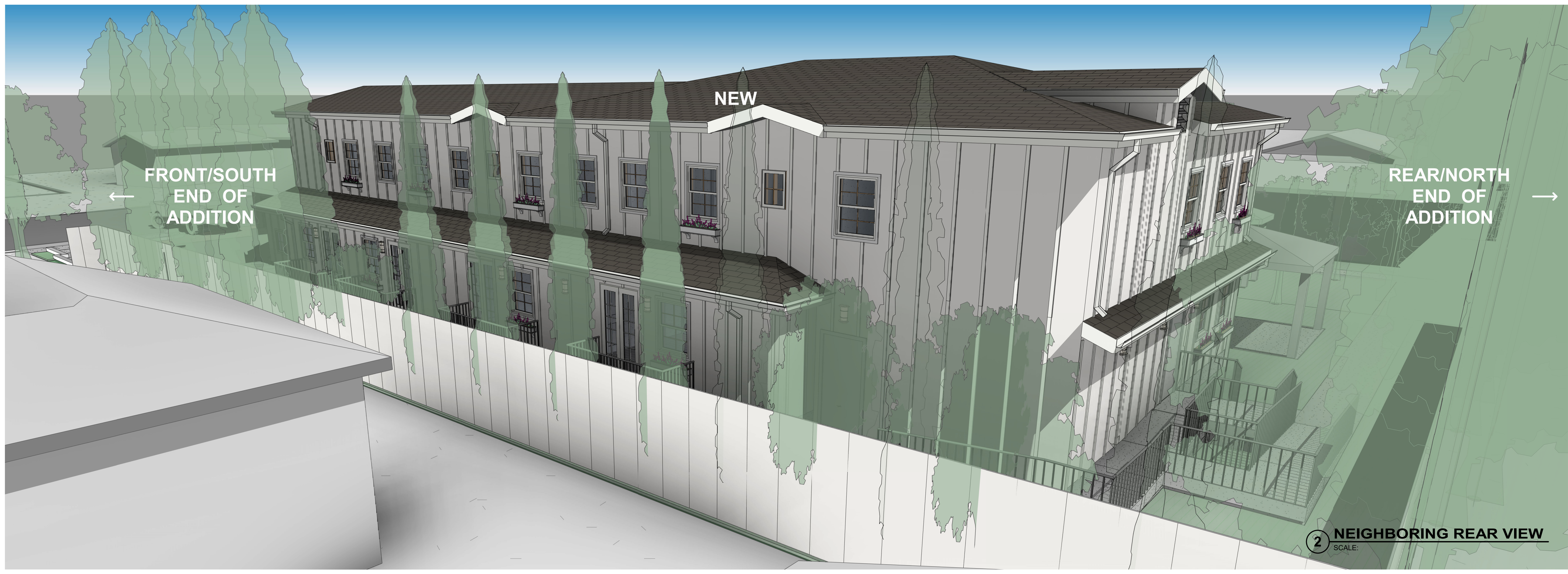
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CHECKED BY	JH

PERSPECTIVE VIEWS - REAR

SHEET TITLE

SHEET NO.



A9.2

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THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
2374 WARREN RD
WALNUT CREECK, CA 94595

MANAGED BY: HGCI
B-GENERAL BUILDING
CONTRACTOR
LIC. # 720437

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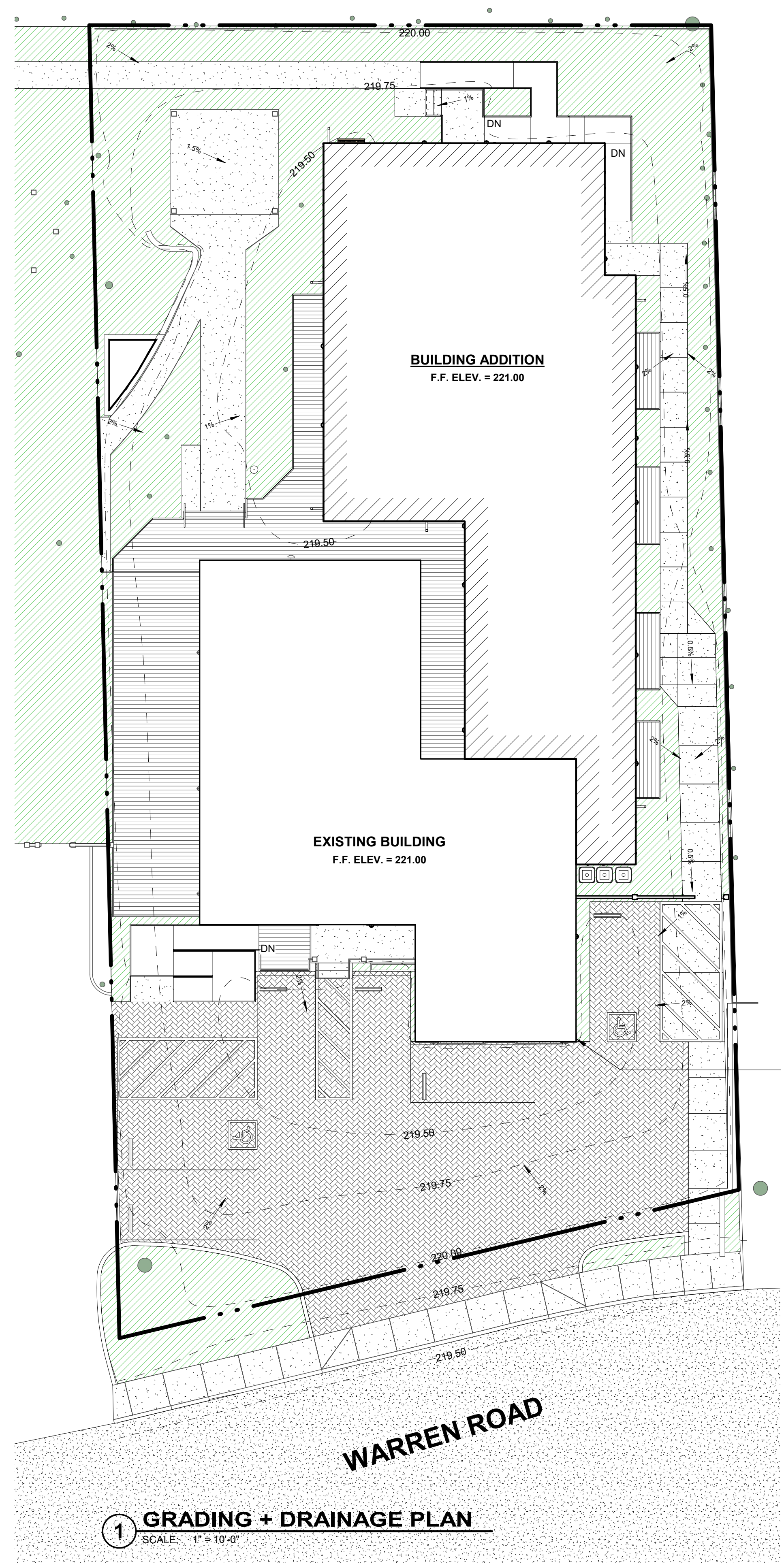
DATE	10/11/2024
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CHECKED BY	JH

CONCEPTUAL GRADING + DRAINAGE PLAN

SHEET TITLE

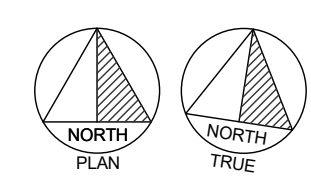
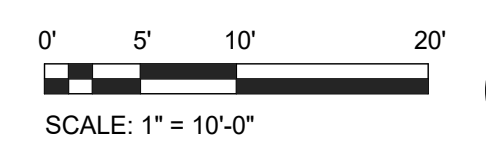
SHEET NO.

C1.0



LEGEND	
SITE CUT =	67.6 CY, NATIVE SOIL
SITE FILL =	33.8 CY, SELECT FILL

- NOTES:**
- EXISTING UTILITIES SHOWN ON PLAN ARE FOR GENERAL INFORMATION ONLY AND DOES NOT CONSTITUTE AN ACTUAL UTILITIES SURVEY. ALL UTILITIES SHALL BE SURVEYED AND MARKED ON THE GROUND PRIOR TO CONSTRUCTION.
 - ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION.
 - ALL STORM DRAIN INLETS SHALL BE LABELED PER THE COUNTY STANDARD OR APPROVED EQUAL.



1 GRADING + DRAINAGE PLAN

SCALE: 1" = 10'-0"

10/11/2024 12:13:53 PM

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THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
 2374 WARREN RD
 WALNUT CREEK, CA 94595

MANAGED BY: HGCI
 B-GENERAL BUILDING CONTRACTOR
 LIC. # 720437

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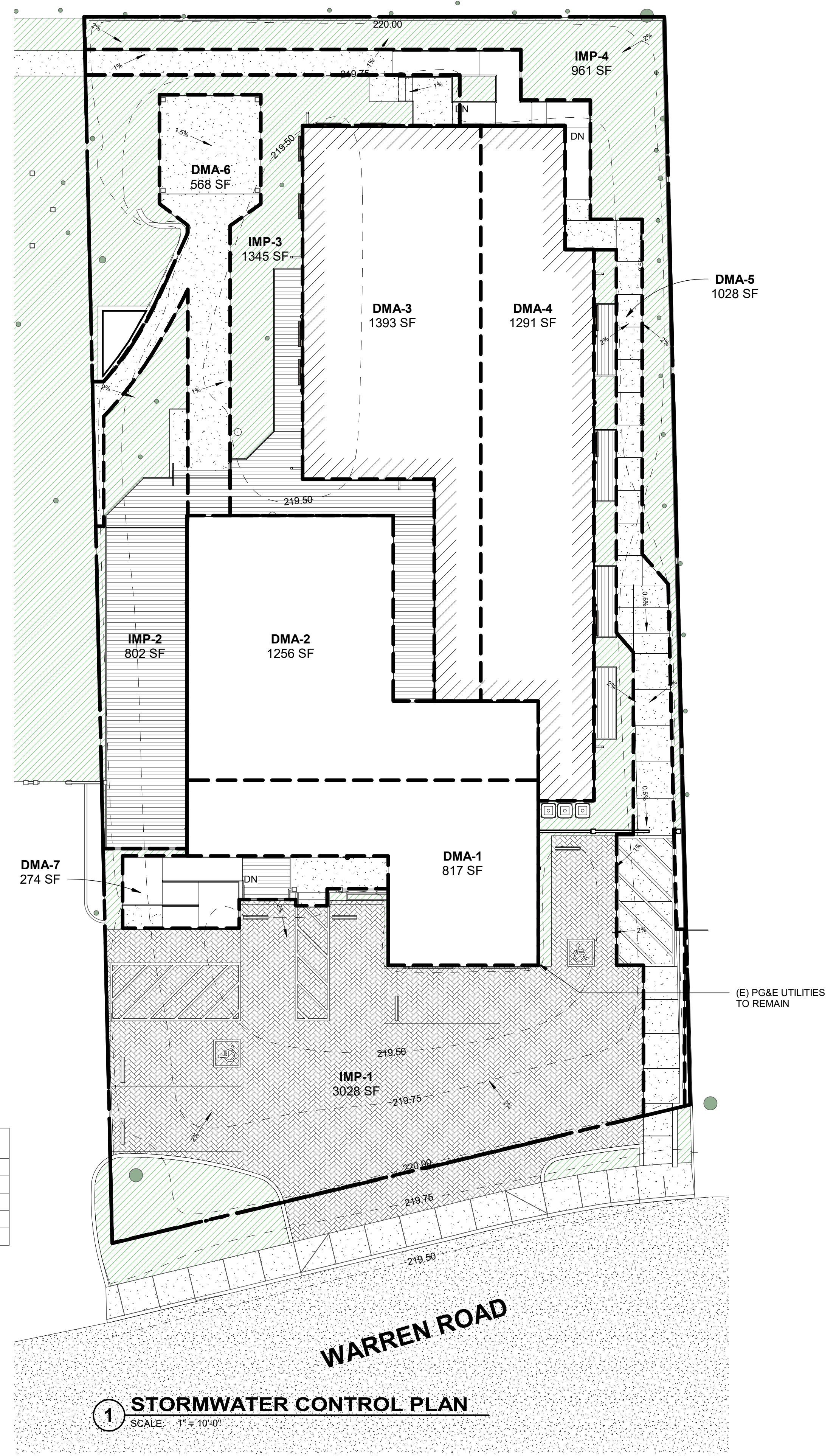
DATE	10/11/2024
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STORMWATER CONTROL PLAN

SHEET TITLE

SHEET NO.

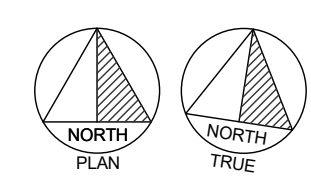
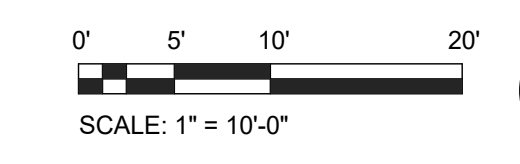
C1.1



DMA SCHEDULE					IMP SCHEDULE		
DMA	AREA	SURFACE	CN POST	DRAINS TO BMP	DMA	AREA	SURFACE
DMA-1	817 SF	ROOF	98	IMP-1	IMP-1	3,028 SF	VEGETATED BUFFER AREA
DMA-2	1,256 SF	ROOF	98	IMP-2	IMP-2	802 SF	VEGETATED BUFFER AREA
DMA-3	1,393 SF	ROOF	98	IMP-3	IMP-3	1,345 SF	VEGETATED BUFFER AREA
DMA-4	1,291 SF	ROOF	98	IMP-4	IMP-4	961 SF	VEGETATED BUFFER AREA
DMA-5	1,028 SF	CONCRETE	98	TOTAL	TOTAL	6,136 SF	
DMA-6	568 SF	CONCRETE	98				
DMA-7	274 SF	CONCRETE	98				
TOTAL	6,625 SF						

LEGEND

DMA-1	DRAINAGE MANAGEMENT AREA - DENOTES IMPERVIOUS SURFACES
IMP-1	INTEGRATED MANAGEMENT PRACTICE



1 STORMWATER CONTROL PLAN
 SCALE: 1" = 10'-0"

10/11/2024 12:13:56 PM

THE CARNELIAN ASSITED LIVING FACILITY EXPANSION

APN # 184-120-071

PROJECT ADDRESS
2374 WARREN RD
WALNUT CREEK, CA 94595

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC. # 720437

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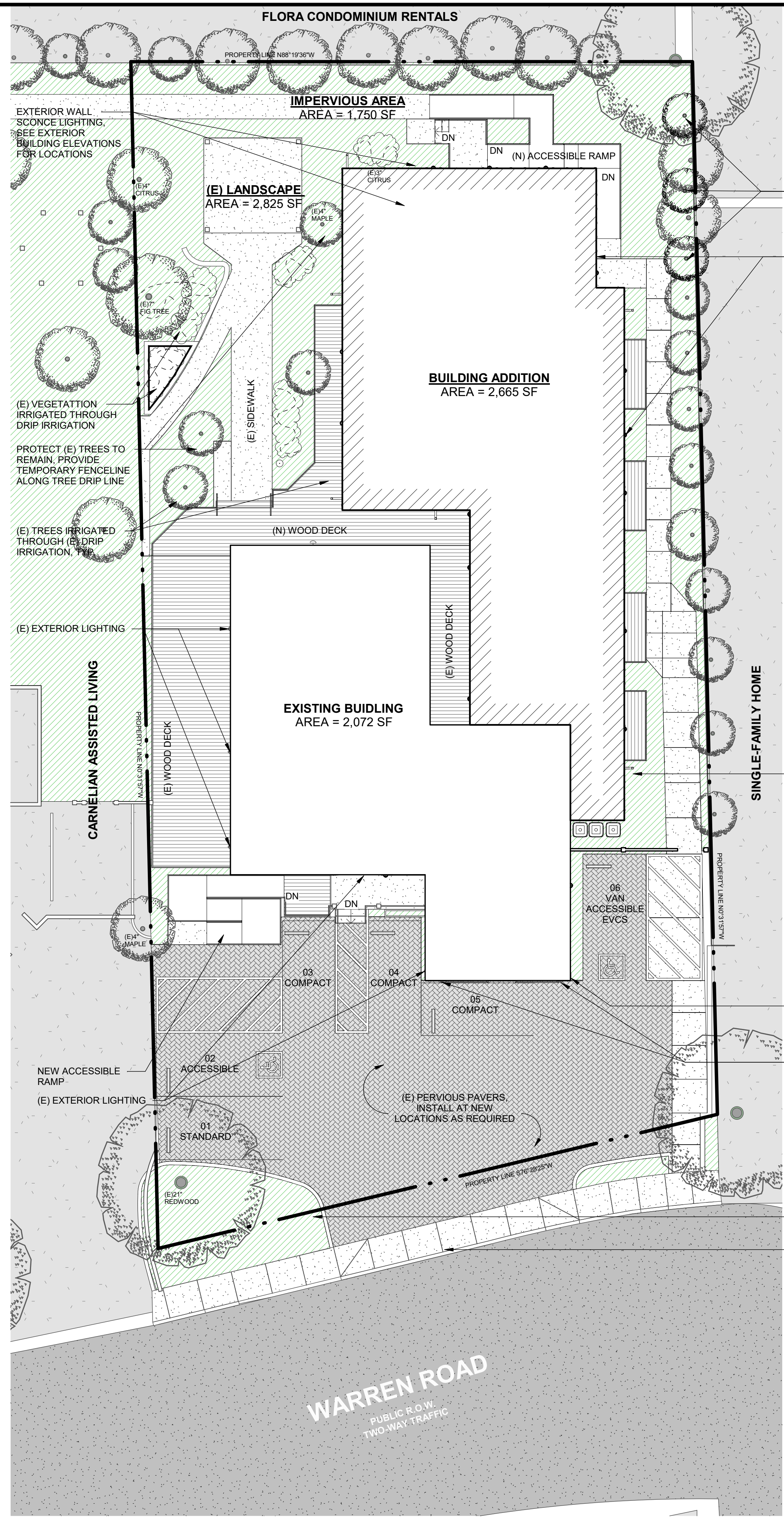
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LANDSCAPE + IRRIGATION PLAN

SHEET TITLE

SHEET NO.



NEW CYPRESS TREES (3 LOCATIONS)

EXTERIOR WALL SCONCE LIGHTING SEE EXTERIOR BUILDING ELEVATIONS FOR LOCATIONS

ROOF RAIN LEADER LINE, TYP.

(E) PG&E UTILITIES TO REMAIN

(E) EXTERIOR LIGHTING

(E) LANDSCAPE AREAS SHOWN IN DIAGONAL LINES, TYP.

(E) SIDEWALK ALONG R.O.W.

LEGEND

- (E) LANDSCAPING + VEGETATED AND PERMEABLE AREAS
- PERMEABLE PAVERS
- CONCRETE SIDEWALK - IMPERMEABLE SURFACE
- (E) TREES TO REMAIN - SEE NOTES IN PLANS FOR TYPE AND DIAMETER
- SMALL GROUND COVER: EMERALD CARPET/HIDCOTE
- DRIP IRRIGATION AREAS



TREE & SHRUB SLOPE PLANTING DETAIL

TREE & SHRUB ROCK SLOPE PLANTING DETAIL

TREE & SHRUB PLANTING DETAIL

WEED CONTROL FABRIC DETAIL

NO.	DATE	REVISION DESCRIPTION	BY

COUNTY OF CONTRA COSTA PUBLIC WORKS DEPARTMENT
STANDARD PLAN
MITIGATION LANDSCAPING DETAILS
SCALE: NO SCALE DATE: 3/14
DRAWN BY: H. HERRERA, COSTA PLAN NO. CH10
CHECKED BY: W. HOLMESWORTH

STD. PLAN CH10

1 LANDSCAPE + IRRIGATION PLAN
SCALE: 1" = 10'-0"